

AGENDA
ST. TAMMANY PARISH PLANNING COMMISSION MEETING
6:00PM – TUESDAY, OCTOBER 10, 2017
ST. TAMMANY PARISH GOVERNMENT COMPLEX
PARISH COUNCIL CHAMBERS
21490 KOOP DRIVE, MANDEVILLE, LOUISIANA

DRAFT

ROLL CALL

PUBLIC ANNOUNCEMENTS

- Phones and Pagers
- Appeals
- Speaker Cards
- Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal
- Please exit the building

INVOCATION

PLEDGE OF ALLEGIANCE

APPROVAL OF THE SEPTEMBER 12, 2017 MINUTES

PUBLIC HEARINGS

ENTERING PARISH RIGHTS-OF-WAY, SERVITUDES, EASEMENTS

Entering Parish Right-of-Way (St. Landry Street & Lowe Davis Road), Ward 3, District 2
Request to enter Parish right-of-way for the purpose of laying fiber optic cable
Debtor: Southern Light, L.L.C. Parish Council District Representative: David Fitzgerald
(POSTPONED AT THE SEPTEMBER 12, 2017 MEETING)

Entering Parish Right-of-Way (River Highlands Boulevard & Echo Street), Ward 3, District 5
Request to enter Parish right-of-way for the purpose of laying fiber optic cable
Debtor: Southern Light, L.L.C. Parish Council District Representative: Hon. Rykert Toledano
(POSTPONED AT THE SEPTEMBER 12, 2017 MEETING)

Entering Parish Right-of-Way (Harrison Avenue), Ward 3, District 5
Request to enter Parish right-of-way for the purpose of laying fiber optic cable
Debtor: Hunt Communications, L.L.C. Parish Council District Representative: Hon. Rykert Toledano
(POSTPONED AT THE SEPTEMBER 12, 2017 MEETING)

MINOR SUBDIVISIONS

2017-793-MSP

A 34.89 acre parcel into Parcels A & B, Ward 3, District 2
Owner: Mark & Mary Chatry Surveyor: LS Land Surveying, L.L.C.
Parish Council District Representative: Hon. David Fitzgerald

2017-795-MSP

A 2.121 acre parcel into parcels A & B, Ward 8, District 13
Owner: Alphonse Collins Surveyor: John G. Cummings & Associates, Inc.
Parish Council District Representative: Hon. Michele Blanchard

AGENDA
ST. TAMMANY PARISH PLANNING COMMISSION
OCTOBER 10, 2017
MANDEVILLE, LOUISIANA

PETITIONS/REQUESTS

ENTERING THE TAMMANY TRACE

REVOCATION/CLOSINGS REVIEW

RESUBDIVISION REVIEW

DORMANT SUBDIVISION REVIEW

TENTATIVE SUBDIVISION REVIEW

PRELIMINARY SUBDIVISION REVIEW

2017-680-PP

Whispering Forest, Ward 1, District 3

Developer/Owner: Bob Hesson

Engineer: Arrow Engineering & Consultants

Parish Council District Representative: Hon. James "Red" Thompson

(POSTPONED INDEFINITELY AT THE AUGUST 8, 2017 MEETING)

2017-774-PP

Arundel, Ward 1, District 1

Developer/Owner: Wing 21, L.L.C.

Engineer: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon. Marty Dean

(POSTPONED AT THE SEPTEMBER 12, 2017 MEETING)

FINAL SUBDIVISION REVIEW

PROPOSED AMENDMENTS TO ORDINANCE 499

OLD BUSINESS

2017-693-MSP

A 16.95 acre parcel into parcels A & B, Ward 3, District 3

Owner: Gary & Martha Cazaubon

Surveyor: LS Land Surveying, L.L.C.

Parish Council District Representative: Hon. James "Red" Thompson

(Request by owner to amend the minor subdivision survey)

Spring Haven, Phase 2, Ward 1, District 4

Developer/Owner: Autumn Creek II, L.L.C.

Engineer: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon. Michael Lorino, Jr.

(Request for approval of a "T" turnaround)

AGENDA
ST. TAMMANY PARISH PLANNING COMMISSION
OCTOBER 10, 2017
MANDEVILLE, LOUISIANA

NEW BUSINESS

Ord. Cal. No. 5849AA - Ordinance adopting and enacting a new 2017 Code of Ordinances of St. Tammany Parish, Louisiana; providing for the repeal of certain provisions not included therein; providing penalties for the violation thereof; providing for the manner of amending such code; and providing when such code and this ordinance shall become effective, specifically the reformatting of the Subdivision Regulations to allow for online publishing via the Municode system.

ADJOURNMENT

PLANNING
COMMISSION
MINUTES

DRAFT

**MINUTES OF THE
ST. TAMMANY PARISH PLANNING COMMISSION MEETING
6:00 P.M. – TUESDAY, SEPTEMBER 12, 2017
ST. TAMMANY PARISH ADMINISTRATIVE COMPLEX, COUNCIL CHAMBERS**

Note: Audio and video tapes of this meeting, produced by Parish employees, are considered part of these minutes. Should any action reflected in these written minutes be in conflict with said tapes, the audio/video tapes shall supersede the written minutes.

CALL TO ORDER

The regular meeting of the St. Tammany Parish Planning Commission was called to order by the Chairman, Dave Mannella.

ROLL CALL

Present: Cazaubon, Lorren, Richardson, Richard, Willie, Mannella, Davis, Fitzmorris, Doherty, Drumm, and Randolph
Absent: Mannella – Absent for ½ of meeting
Staff Present: Cara Bartholomew, Ron Keller, Chris Tissue, Jennifer Lange, Karlin Riles and Mike Sevante

INVOCATION

Mr. Randolph presented the Invocation.

PLEDGE OF ALLEGIANCE

Mr. Fitzmorris presented The Pledge of Allegiance.

APPROVAL OF THE AUGUST 8, 2017 MINUTES

Randolph moved to approve, second by Fitzmorris.

Yea: Cazaubon, Lorren, Richardson, Richard, Willie, Randolph, Davis, Fitzmorris, Doherty, and Drumm
Absent: Mannella
Nay: NONE
Abstain: NONE

PUBLIC HEARINGS

ENTERING PARISH RIGHTS-OF-WAY, SERVITUDES, EASEMENTS

Entering Parish Right-of-Way (St. Landry Street & Lowe Davis Road), Ward 3, District 2

Request to enter Parish right-of-way for the purpose of laying fiber optic cable

Debtor: Southern Light, L.L.C. Parish Council District Representative: David Fitzgerald

(POSTPONED AT THE AUGUST 8, 2017 MEETING)

Willie moved to postpone, second by Davis.

Yea: Cazaubon, Lorren, Richardson, Richard, Willie, Randolph, Davis, Fitzmorris, Doherty, and Drumm
Absent: Mannella
Nay: NONE
Abstain: NONE

**ST. TAMMANY PARISH PLANNING COMMISSION
SEPTEMBER 12, 2017 MINUTES (CONT.)**

Entering Parish Right-of-Way (River Highlands Boulevard & Echo Street), Ward 3, District 5
Request to enter Parish right-of-way for the purpose of laying fiber optic cable
Debtor: Southern Light, L.L.C. Parish Council District Representative: Hon. Rykert Toledano
(POSTPONED AT THE JULY, 2017 MEETING)

Cazaubon moved to postpone, second by Richardson.

Yea: Cazaubon, Lorren, Richardson, Richard, Willie, Randolph, Davis, Fitzmorris,
Doherty, and Drumm
Absent: Mannella
Nay: NONE
Abstain: NONE

Entering Parish Right-of-Way (Harrison Avenue), Ward 3, District 5
Request to enter Parish right-of-way for the purpose of laying fiber optic cable
Debtor: Hunt Communications, L.L.C. Parish Council District Representative: Hon. Rykert Toledano

Randolph moved to postpone, second by Drumm.

Yea: Cazaubon, Lorren, Richardson, Richard, Willie, Randolph, Davis, Fitzmorris ,
Doherty, and Drumm
Absent: Mannella
Nay: NONE
Abstain: NONE

Entering Parish Right-of-Way (Riverhill Court Extension), Ward 3, District 2
Request to enter Parish right-of-way for the purpose of gaining access to property
Debtor: Diane Weigand Parish Council District Representative: Hon. David Fitzgerald

Davis moved to approve with a temporary waiver until time of certificate of occupancy (condition is transferable to property owners), second by Cazaubon.

Yea: Cazaubon, Richardson, Richard, Willie, Randolph, Davis, Fitzmorris , Doherty, and
Drumm
Absent: Mannella
Nay: Lorren
Abstain: NONE

Entering Parish Right-of-Way (Roger Drive), Ward 8, District 9
Request to enter Parish right-of-way for the purpose of gaining access to property
Debtor: Denty Crawford Parish Council District Representative: Hon. Gene Bellisario

Cazaubon moved to approve without waiver, second by Willie.

Yea: Cazaubon, Richardson, Richard, Willie, Randolph, Davis, Fitzmorris , Doherty,
Drumm, and Mannella
Absent: NONE
Nay: Lorren
Abstain: NONE

**ST. TAMMANY PARISH PLANNING COMMISSION
SEPTEMBER 12, 2017 MINUTES (CONT.)**

MINOR SUBDIVISIONS

PETITIONS/REQUESTS

ENTERING THE TAMMANY TRACE

REVOCATION/CLOSINGS REVIEW

RESUBDIVISION REVIEW

DORMANT SUBDIVISION REVIEW

TENTATIVE SUBDIVISION REVIEW

PRELIMINARY SUBDIVISION REVIEW

2017-772-PP

Maison du Lac, Phase 3, Ward 1, District 1

Developer/Owner: WBB Realty, L.L.C. Engineer: Richard C. Lambert Consultants

Parish Council District Representative: Hon. Marty Dean

Lorren moved to approve, second by Cazaubon .

**Yea: Cazaubon, Lorren, Richardson, Richard, Willie, Randolph, Davis, Fitzmorris ,
Doherty, Drumm, and Mannella**

Absent: NONE

Nay: NONE

Abstain: NONE

2017-773-PP

Bedico Creek, Parcel 13 (Resubmitted), Ward 1, District 1

Developer/Owner: Bedico Creek Preserve, L.L.C. Engineer: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon. Marty Dean

Lorren moved to approve, second by Randolph.

**Yea: Cazaubon, Lorren, Richardson, Richard, Willie, Randolph, Davis, Fitzmorris ,
Doherty, Drumm, and Mannella**

Absent: NONE

Nay: NONE

Abstain: NONE

2017-774-PP

Arundel, Ward 1, District 1

Developer/Owner: Wing 21, L.L.C. Engineer: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon. Marty Dean

(DEVELOPER REQUESTS POSTPONEMENT UNTIL THE NEXT MEETING)

**ST. TAMMANY PARISH PLANNING COMMISSION
SEPTEMBER 12, 2017 MINUTES (CONT.)**

Fitzmorris moved to postpone, second by Randolph .

**Yea: Cazaubon, Lorren, Richardson, Richard, Willie, Randolph, Davis, Fitzmorris ,
Doherty, Drumm, and Mannella**

Absent: NONE

Nay: NONE

Abstain: NONE

FINAL SUBDIVISION REVIEW

2017-775-FP

Ashton Park, 2nd Filing, Ward 8, District 8

Developer/Owner: First Horizon, Inc. Engineer: Benchmark Group, L.L.C.

Parish Council District Representative: Hon. Chris Canulette

Cazaubon moved to approve, second by Randolph .

**Yea: Cazaubon, Lorren, Richardson, Richard, Willie, Randolph, Davis, Fitzmorris ,
Doherty, Drumm, and Mannella**

Absent: NONE

Nay: NONE

Abstain: NONE

PROPOSED AMENDMENTS TO ORDINANCE 499

OLD BUSINESS

2017-680-PP

Whispering Forest, Ward 1, District 3

Developer/Owner: Bob Hesson Engineer: Arrow Engineering & Consultants

Parish Council District Representative: Hon. James "Red" Thompson

(POSTPONED INDEFINATELY AT THE AUGUST 8, 2017 MEETING)

(The developer requests to be placed back on the agenda for the October 10, 2017 meeting)

Lorren moved to approve, second by Cazaubon.

**Yea: Cazaubon, Lorren, Richardson, Richard, Willie, Randolph, Davis, Fitzmorris , Doherty,
Drumm, and Mannella**

Absent: NONE

Nay: NONE

Abstain: NONE

Entering Parish Right-of-Way ("H" Street), Ward 3, District 2

Request to enter Parish right-of-way for the purpose of gaining access to property

Debtor: DMM Construction Parish Council District Representative: Hon. David Fitzgerald

(Request by debtor to extend time for six (6) months for documentation)

**ST. TAMMANY PARISH PLANNING COMMISSION
SEPTEMBER 12, 2017 MINUTES (CONT.)**

Davis moved to approve, second by Randolph .

Yea: Cazaubon, Lorren, Richardson, Richard, Willie, Randolph, Davis, Fitzmorris , Doherty, Drumm, and Mannella

Absent: NONE

Nay: NONE

Abstain: NONE

2017-710-FP

Grand Oaks, Phase 2-C, Ward 1, District 1

Developer/Owner: Trinity Developers Engineer: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon. Marty Dean

(Request by developer to record a sub-phase of Phase 2-C, labeled as Phase 2-C-1)

Withdrawn by Developer

The Estates at Watercross, Phase 1A, lot 96, Ward 1, District 1

Parish Council District Representative: Hon. Marty Dean

(Request by owner to waive the 60' setback for a driveway from the property corner)

Davis moved to approve, second by Fitzmorris .

Yea: Cazaubon, Lorren, Richardson, Richard, Willie, Randolph, Davis, Fitzmorris , Doherty, Drumm, and Mannella

Absent: NONE

Nay: NONE

Abstain: NONE

The Estates at Watercross, Phase 1A, lot 103, Ward 1, District 1

Parish Council District Representative: Hon. Marty Dean

(Request by owner to waive the 60' setback for a driveway from the property corner)

Randolph moved to approve, second by Drumm.

Yea: Cazaubon, Lorren, Richardson, Richard, Willie, Randolph, Davis, Fitzmorris, Doherty, Drumm, and Mannella

Absent: NONE

Nay: NONE

Abstain: NONE

NEW BUSINESS

ADJOURNMENT

**ST. TAMMANY PARISH PLANNING COMMISSION
SEPTEMBER 12, 2017 MINUTES (CONT.)**

Mr. Dave Doherty
Vice - Chairman

ENTERING PARISH
RIGHTS-OF-WAY, SERVITUDES
AND/OR EASEMENTS

(DRAFT DATE OCTOBER 10, 2017)

ST. TAMMANY PARISH PLANNING COMMISSION

RESOLUTION

RESOLUTION PLANNING COMMISSION SERIES NO. _____

**TITLE: A RESOLUTION AUTHORIZING SOUTHERN LIGHT,
L.L.C. TO ENTER PARISH RIGHT-OF-WAY.**

**SUB-TITLE: A RESOLUTION GRANTING SOUTHERN LIGHT, L.L.C.,
107 ST. FRANCIS ST; SUITE 1800; MOBILE, AL 36602
PERMISSION TO ENTER PARISH RIGHT-OF-WAY,
SPECIFICALLY THE PORTION OF ST. LANDRY ST. &
& LOWE DAVIS ROAD LOCATED WITHIN SUNRISE PARK
SUBDIVISION, FOR THE PURPOSE OF LAYING
FIBER OPTIC CABLES.
WARD 3 DISTRICT 2**

NOW, THEREFORE, BE IT RESOLVED, by the St. Tammany Parish Planning Commission that it hereby grants permission to the aforementioned petitioner to enter Parish right-of-way for the aforementioned purposes, subject to the following conditions:

1. That the improvements that will be undertaken will be at the sole expense of the petitioner.
2. That the petitioner agrees to accept full responsibility, financial and all other, for the damage and/or relocation of utilities currently located within Parish right-of-way.
3. That the petitioner shall submit plans prepared by a licensed engineer to the Department of Engineering for review and approval. Upon approval of plans and specifications by the Director of Engineering, the petitioner must notify the Department of Engineering prior to the commencement of any activity.
4. That should the petitioner commence work thereon, petitioner by such act acquiesces and acknowledges thereby that he will hold this Parish, its officials, agents, servants, and employees free and harmless from any liability or responsibility whatsoever in connection with the construction of the project. Petitioner will provide copy of Liability Insurance Policy including the naming of the Parish as an insured party. The insurance will remain in effect until the Parish releases the Performance Obligation.
5. That nothing herein shall be construed as a revocation of the dedication of the aforementioned right-of-way.
6. That no maintenance nor financial nor material nor assistance shall be provided by the Parish for the project nor the maintenance thereof, except for the inspection of the plans and specifications by the Department of Engineering to insure the construction complies with Parish specifications.
7. That the petitioner post a Performance Obligation in the amount of \$18,900 for a period of six (6) months.

(DRAFT DATE OCTOBER 10, 2017)

RESOLUTION P.C. NO.

PAGE NO. 2 OF 2

8. That the petitioner and any assignees submit a Hold Harmless Agreement in connection with the construction of the project and utilization of the R.O.W. by (an) individual (s) until the time that the project is satisfactorily completed.
9. That the petitioner submit as-built drawings certifying that the fiber optic cables are constructed in accordance with the approved drawing(s).
10. That the petitioner submit all documentation required within SIX (6) months from date of adoption, additionally petitioner has two (2) years to complete all work on this project, if not completed within two (2) years, approval of this work will be required to reapply for permission.

THIS RESOLUTION HAVING BEEN SUBMITTED TO A VOTE, THE VOTE THEREON WAS AS FOLLOWS:

MOVED FOR ADOPTION BY _____, SECONDED BY _____; A VOTE THEREON RESULTED IN THE FOLLOWING:

YEA:

NAY:

ABSTAIN:

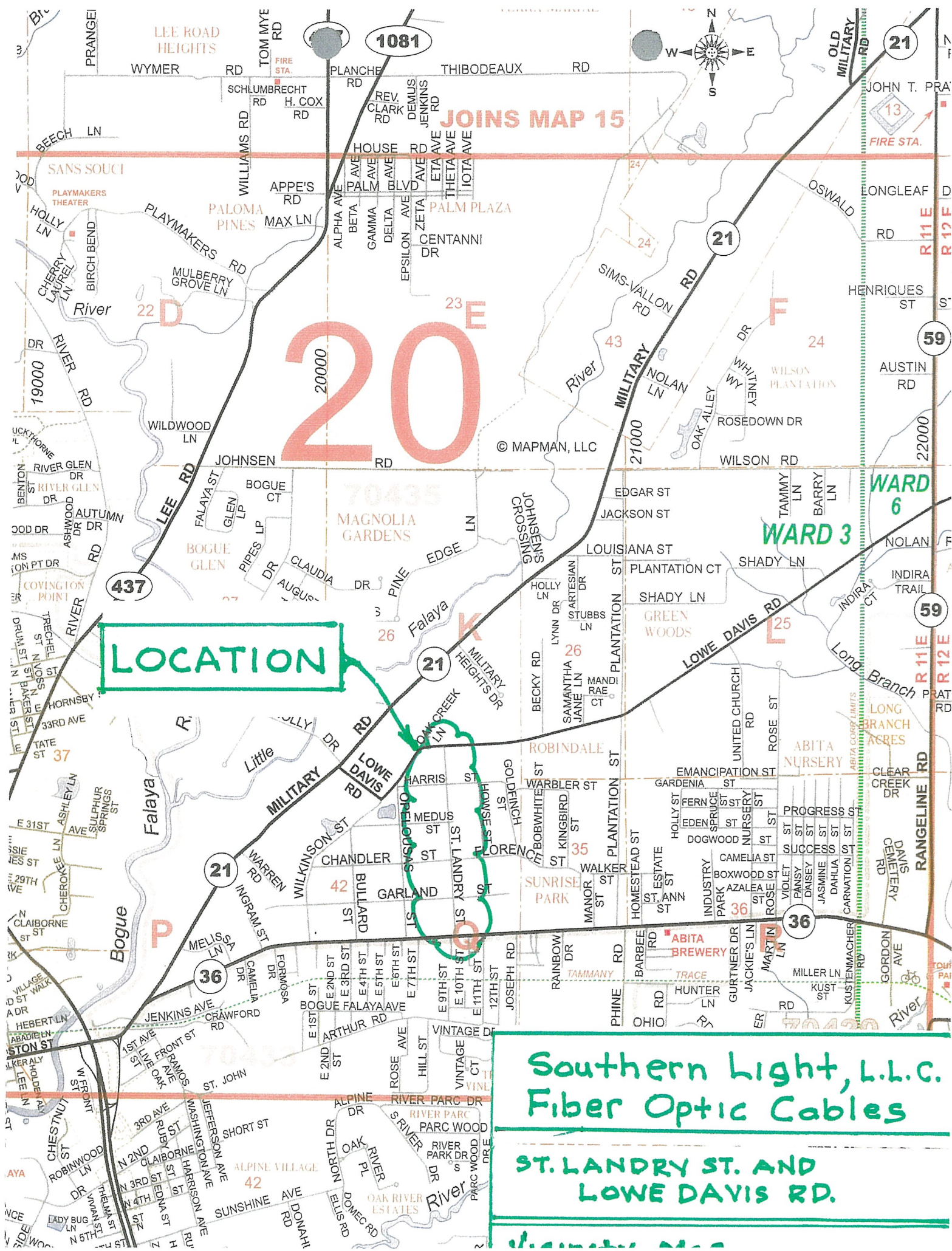
ABSENT:

AND THIS RESOLUTION WAS DECLARED DULY ADOPTED ON THE _____ DAY OF _____, 20____ AT A REGULAR MEETING OF THE PLANNING COMMISSION, A QUORUM OF THE MEMBERS BEING PRESENT

DAVID G. MANNELLA, CHAIRMAN
ST. TAMMANY PARISH PLANNING COMMISSION

ATTEST:

RON KELLER, SECRETARY
ST. TAMMANY PARISH PLANNING COMMISSION



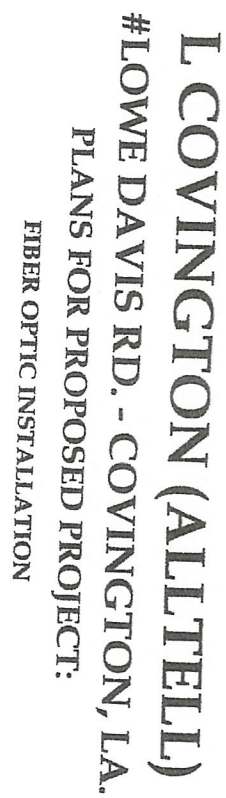
JOINS MAP 15

LOCATION

© MAPMAN, LLC

Southern Light, L.L.C.
Fiber Optic Cables

ST. LANDRY ST. AND
LOWE DAVIS RD.



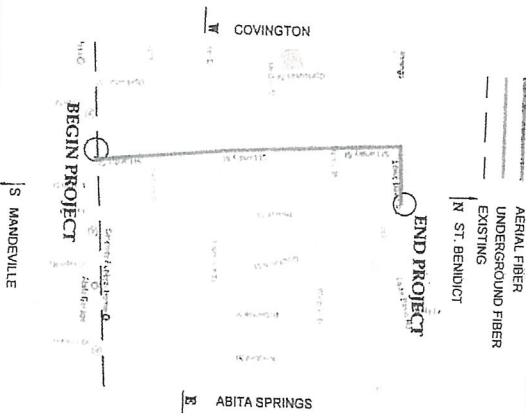
FIBER OPTIC INSTALLATION

MARCH 22, 2017

JOB INFORMATION

APPROVED: _____
DATE: _____
JOB # N/A
UNDERGROUND: EST - 4.670 / ACT - _____
AERIAL: N/A
TOTAL FIBER: EST - 4.670 / ACT - _____

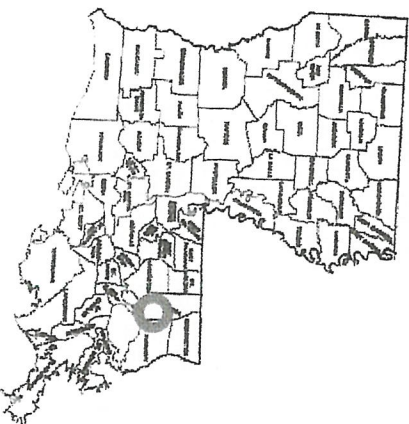
VICINITY MAP



**southern
light**



PROJECT LOCATION



CONTACT LIST

PROJECT MANAGER: DONALD COOPER - (251) 209-4155
ENGINEER BOB ORCHISON - (251) 459-1705
PROJECT CONTACT: ALYSON HASTY - (251) 662-4436
CAROLINA SUBIRATS - (251) 445-1658

ATTENTION PERMITTING DEPARTMENT
DIRECTORY

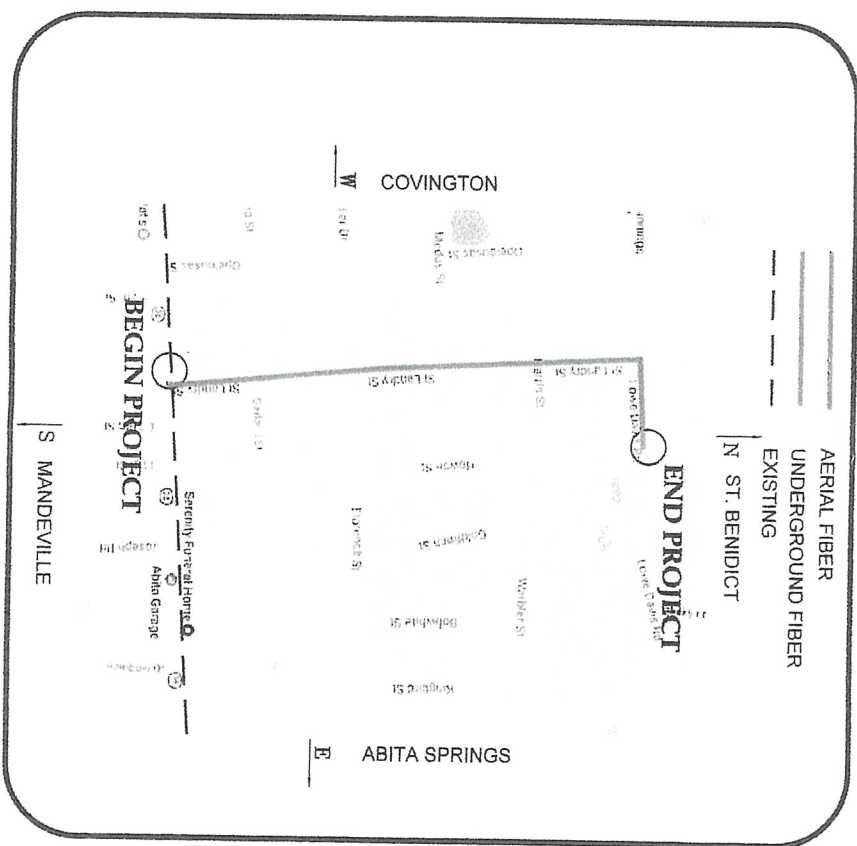
[illegible]

CPE LOCATION <http://nats.watforce.com/a02a0000012a4n>

L COVINGTON (ALLTELL) **#LOWE DAVIS RD. - COVINGTON, LA.** **PLANS FOR PROPOSED PROJECT:**

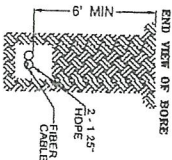
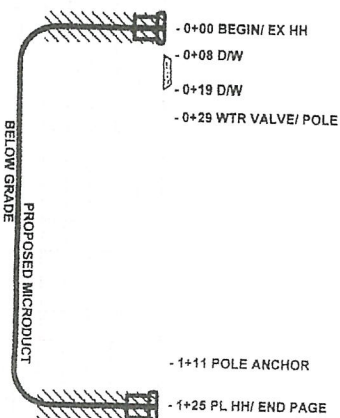
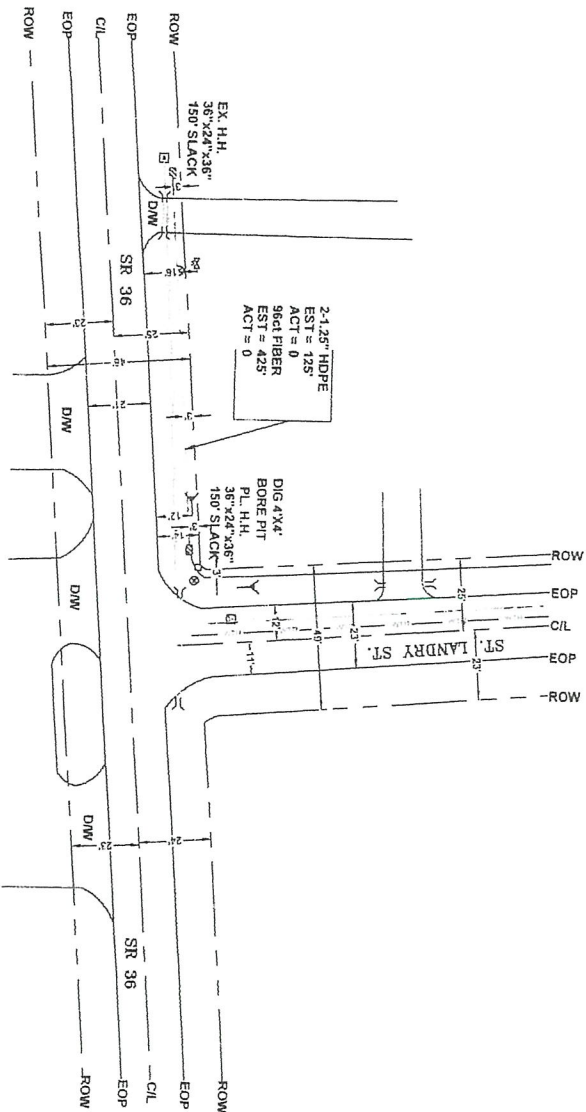
FIBER OPTIC INSTALLATION

VICINITY MAP



SPEED
LIMIT
20

PULL FIBER
EST = 425'
ACT = 0

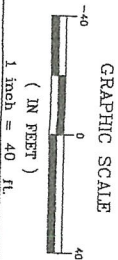


0' 1' 2' 3' 4' 5' 6' 7' 8' 9'

DEPTH TO BE A MINIMUM OF 24\"/>

UNDERGROUND

ALL CONSTRUCTION IS PROPOSED
SOUTHERN LIGHT WILL MAINTAIN 24\"/>



ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR ALL LOCATING. CONTACT SOUTHERN LIGHT 251-62-1170			
DATE:	REVISION:	REVISION: IN THE EVENT OF A DISCREPANCY BETWEEN THE LOCATION SHOWN ON THIS DRAWING AND THE LOCATION SHOWN ON THE GROUND, THE LOCATION SHOWN ON THE GROUND SHALL PREVAIL.	
DATE:	REVISION:	REVISION: IN THE EVENT OF A DISCREPANCY BETWEEN THE LOCATION SHOWN ON THIS DRAWING AND THE LOCATION SHOWN ON THE GROUND, THE LOCATION SHOWN ON THE GROUND SHALL PREVAIL.	
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DATE:	REVISION:	REVISION: IN THE EVENT OF A DISCREPANCY BETWEEN THE LOCATION SHOWN ON THIS DRAWING AND THE LOCATION SHOWN ON THE GROUND, THE LOCATION SHOWN ON THE GROUND SHALL PREVAIL.	

southern light

1. CONSTRUCTION (ALTER)
FLOWE DAVIS RD.
COVINGTON, LA.
DATE: 05/17/2017
DRAWN BY: B. AGEE
CHECKED BY: T. CANNON

PULL FIBER
EST = 489'
ACT = 0



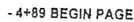
BELTOW GRADE

GRAPHIC SCALE

(IN FEET)
1 inch = 40 ft.

<p>ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR ALL LOCATING PRIOR TO ANY WORK PERFORMED.</p> <p>CONTACT: SOUTHERN LIGHT: 231-463-1170</p>		<p>INDICATION IS THE CONTRACTOR'S BEST EFFORT TO IDENTIFY THE LOCATION OF THE UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF THE UTILITY PRIOR TO ANY WORK PERFORMED.</p>	
DATE:	REVISION:		
<p>southern light</p>		<p>1. CONVICTION (LIMITED) #1 ONE DAVIS RD. CONVICTION, LA</p>	
SYMBOL	PROJ. NO.	DATE	
1-40	N/A	03/7/2017	
LC40-CV	ENG. B. ORNISHON	B. ASCE	
ROUTE DESIGN: N/A	STATIONING: N/A	LC40-02	
		DATE: 03/7/2017	

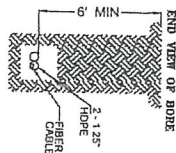
PULL FIBER
EST = 565'
ACT = 0



- 5+50 CULVERT
- 5+54 DW
- 5+71 BOX
- 5+74 CULVERT

- 6+09 CULVERT
- 6+15 EOP
- 6+31 EOP
- 6+40 CULVERT

- 6+99 CULVERT
- 7+02 D/W
- 7+18 D/W
- 7+21 CULVERT



- 9+42 COMM PED

- 10+30 CULVERT
- 10+33 D/W
- 10+44 D/W
- 10+48 CULVERT
- 10+54 END PAGE

BELOW GRADE

PROPOSED MICROPRODUCT

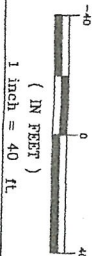
BELDW GRADE

DEPTH TO BE A MINIMUM OF TWO FEET

UNDERGROUND

ALL CONSTRUCTION IS PROPOSED
SOUTHERN LIGHT WILL MAINTAIN 24" FROM EXISTING UTILITIES.
SOUTHERN LIGHT HAS LOCATED ALL EXISTING UTILITIES.
AN EXTENSIVE LOCATE WILL BE PERFORMED PRIOR TO CONSTRUCTION

GRAPHIC SCALE



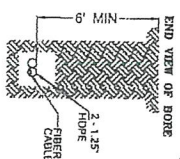
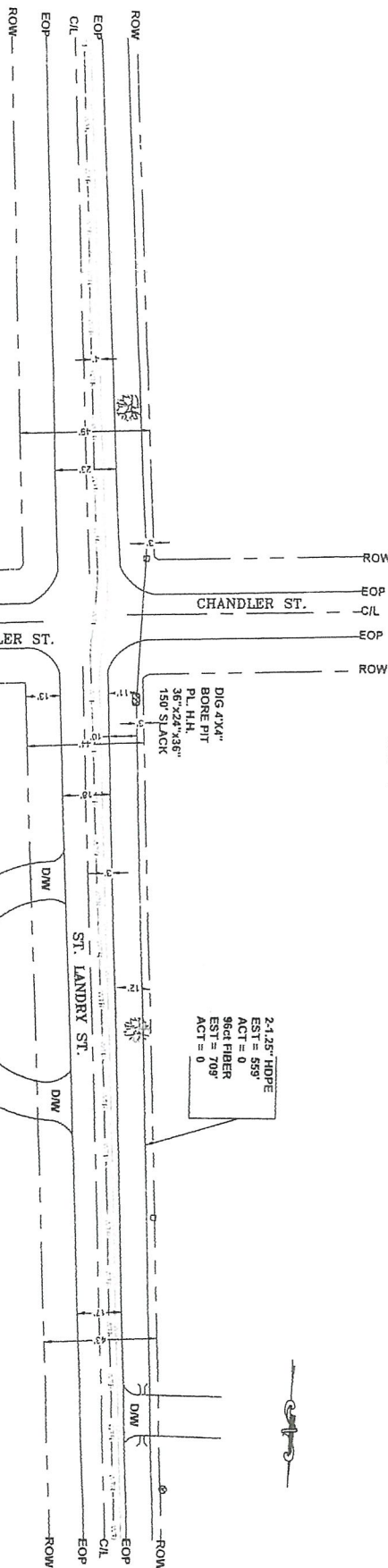
<p>ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE. INFORMATION IS RESPONSIBLE FOR ALL LOCATING, MARKING AND WISER OPERATIONS. CONTACT SOUTHERN LIGHT 251-442-1170</p>		<p>REGISTRATION IN THE JOINTLY OWNED AND OPERATED BY SOUTHERN LIGHT, INC. AND SOUTHERN LIGHT, INC. IN THE STATE OF ALABAMA SOUTHERN LIGHT, INC.</p>	
<p>DATE</p>		<p>REGIONS</p>	
<p>SCALE</p>		<p>PROJ. NO.</p>	
1"=40'	1"=40'	N/A	N/A
1"=40'	1"=40'	DATE	DATE
1"=40'	1"=40'	03/7/2017	03/7/2017
1"=40'	1"=40'	BY	BY
1"=40'	1"=40'	D. ORNICHSON	D. ORNICHSON
1"=40'	1"=40'	DATE	DATE
1"=40'	1"=40'	03/4/2017	03/4/2017
1"=40'	1"=40'	BY	BY
1"=40'	1"=40'	B. ACEE	B. ACEE
1"=40'	1"=40'	DATE	DATE
1"=40'	1"=40'	03/4/2017	03/4/2017
1"=40'	1"=40'	BY	BY
1"=40'	1"=40'	B. ACEE	B. ACEE
1"=40'	1"=40'	DATE	DATE
1"=40'	1"=40'	03/4/2017	03/4/2017
1"=40'	1"=40'	BY	BY
1"=40'	1"=40'	B. ACEE	B. ACEE
1"=40'	1"=40'	DATE	DATE
1"=40'	1"=40'	03/4/2017	03/4/2017
1"=40'	1"=40'	BY	BY
1"=40'	1"=40'	B. ACEE	B. ACEE
1"=40'	1"=40'	DATE	DATE
1"=40'	1"=40'	03/4/2017	03/4/2017
1"=40'	1"=40'	BY	BY
1"=40'	1"=40'	B. ACEE	B. ACEE
1"=40'	1"=40'	DATE	DATE
1"=40'	1"=40'	03/4/2017	03/4/2017
1"=40'	1"=40'	BY	BY
1"=40'	1"=40'	B. ACEE	B. ACEE
1"=40'	1"=40'	DATE	DATE
1"=40'	1"=40'	03/4/2017	03/4/2017
1"=40'	1"=40'	BY	BY
1"=40'	1"=40'	B. ACEE	B. ACEE
1"=40'	1"=40'	DATE	DATE
1"=40'	1"=40'	03/4/2017	03/4/2017
1"=40'	1"=40'	BY	BY
1"=40'	1"=40'	B. ACEE	B. ACEE
1"=40'	1"=40'	DATE	DATE
1"=40'	1"=40'	03/4/2017	03/4/2017
1"=40'	1"=40'	BY	BY
1"=40'	1"=40'	B. ACEE	B. ACEE
1"=40'	1"=40'	DATE	DATE
1"=40'	1"=40'	03/4/2017	03/4/2017
1"=40'	1"=40'	BY	BY
1"=40'	1"=40'	B. ACEE	B. ACEE
1"=40'	1"=40'	DATE	DATE
1"=40'	1"=40'	03/4/2017	03/4/2017
1"=40'	1"=40'	BY	BY
1"=40'	1"=40'	B. ACEE	B. ACEE
1"=40'	1"=40'	DATE	DATE
1"=40'	1"=40'	03/4/2017	03/4/2017
1"=40'	1"=40'	BY	BY
1"=40'	1"=40'	B. ACEE	B. ACEE
1"=40'	1"=40'	DATE	DATE
1"=40'	1"=40'	03/4/2017	03/4/2017
1"=40'	1"=40'	BY	BY
1"=40'	1"=40'	B. ACEE	B. ACEE
1"=40'	1"=40'	DATE	DATE
1"=40'	1"=40'	03/4/2017	03/4/2017
1"=40'	1"=40'	BY	BY
1"=40'	1"=40'	B. ACEE	B. ACEE
1"=40'	1"=40'	DATE	DATE
1"=40'	1"=40'	03/4/2017	03/4/2017
1"=40'	1"=40'	BY	BY
1"=40'	1"=40'	B. ACEE	B. ACEE
1"=40'	1"=40'	DATE	DATE
1"=40'	1"=40'	03/4/2017	03/4/2017
1"=40'	1"=40'	BY	BY
1"=40'	1"=40'	B. ACEE	B. ACEE
1"=40'	1"=40'	DATE	DATE
1"=40'	1"=40'	03/4/2017	03/4/2017
1"=40'	1"=40'	BY	BY
1"=40'	1"=40'	B. ACEE	B. ACEE
1"=40'	1"=40'	DATE	DATE
1"=40'	1"=40'	03/4/2017	03/4/2017
1"=40'	1"=40'	BY	BY
1"=40'	1"=40'	B. ACEE	B. ACEE
1"=40'	1"=40'	DATE	DATE
1"=40'	1"=40'	03/4/2017	03/4/2017
1"=40'	1"=40'	BY	BY

SPEED
LIMIT
20

PULL FIBER
EST = 709'
ACT = 0
DIR. BORE 1.2"
EST = 559'
ACT = 0

2.125" HOPE
EST = 559'
ACT = 0
96d FIBER
EST = 709'
ACT = 0

DIG 4'X4'
BORE PIT
P.L. H.H.
36' 724' X 38"
150' SLACK



BELOW GRADE

PROPOSED MICRODUCT

BELOW GRADE

0
1
2
3
4
5
6
7
8
9

DEPTH TO BE A MINIMUM OF 72" BELOW GRADE

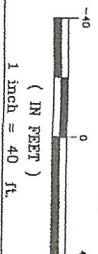
UNDERGROUND

ALL CONSTRUCTION IS PROPOSED

SOUTHERN LIGHT HAS LOCATED ALL EXISTING UTILITIES

AN EXTENSIVE LOCATE WILL BE PERFORMED PRIOR TO CONSTRUCTION.

GRAPHIC SCALE



ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE. SOUTHERN LIGHT IS RESPONSIBLE FOR ALL LOCATING. CONTACT SOUTHERN LIGHT: 2514621170			
DATE:	REVISION:	SOUTHERN LIGHT'S POLICY IS TO PROVIDE THE BEST POSSIBLE SERVICE TO ITS CLIENTS. ANY CHANGES TO THE DESIGN OR CONSTRUCTION SHALL BE MADE IN WRITING AND SIGNED BY A SOUTHERN LIGHT ENGINEER.	
SCALE	INDEX	DATE	BY
1:40	1:40	03/27/2017	CONSTRUCTION
LOAD - CV	LOAD - CV	DATE	BY
N/A	N/A	03/27/2017	CONSTRUCTION
SPACING	SPACING	DATE	BY
N/A	N/A	03/27/2017	CONSTRUCTION

southern light

1 COWINGTON (ALTERNATE)
#LOWE DAVIS RD.
COWINGTON, LA.

0
1
2
3
4
5
6
7
8
9

- 10+54 BEGIN PAGE

- 11+90 TREE

- 12+46 COMM PED

- 12+58 EOP

- 12+77 EOP

- 12+99 PL HH

- 14+24 TREE

- 14+93 COMM PED

- 15+55 CULVERT

- 15+55 DW

- 15+75 DW

- 15+78 CULVERT

- 15+93 POLE

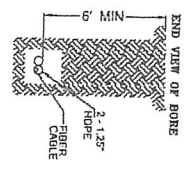
- 16+13 END PAGE

SPEED
LIMIT
20

PULL FIBER
EST = 695
ACT = 0
DIR. BORE 1-2"
EST = 545
ACT = 0

2-1.25" HDPE
EST = 545
ACT = 0
96ft FIBER
EST = 695
ACT = 0

DIG 4'x4'
BORE PIT
PL 11H,
36" DIA,
150' SLACK



- 21+80 BEGIN PAGE
- 22+21 WTR METER
- 22+29 CULVERT
- 22+33 D/W
- 22+46 D/W
- 22+50 CULVERT
- 22+63 POLE/ COMM PED
- 22+68 PL HH

- 25+79 CULVERT
- 25+84 EOP
- 25+01 EOP
- 26+06 CULVERT

- 27+26 END PAGE

BELOW GRADE

PROPOSED MICRODUCT

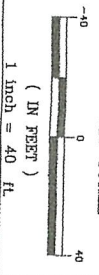
BELOW GRADE

- 0
- 1
- 2
- 3
- 4
- 5
- 6
- 7
- 8
- 9

UNDERGROUND

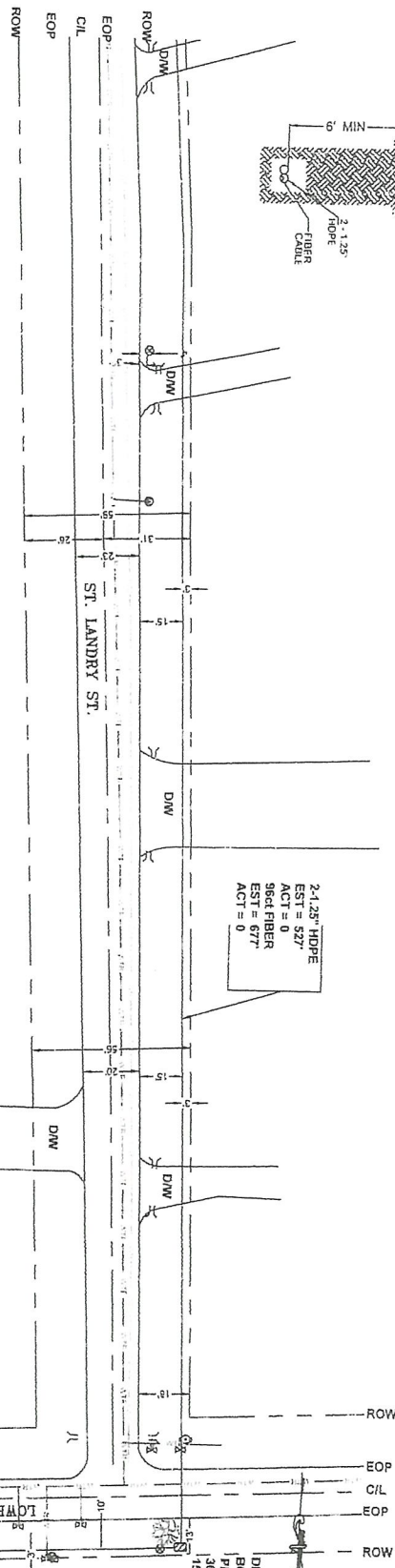
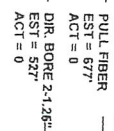
ALL CONSTRUCTION IS PROPOSED
SOUTHERN LIGHT WILL MAINTAIN 24" FROM EXISTING UTILITIES.
AN EXTENSIVE LOCATE WILL BE PERFORMED PRIOR TO CONSTRUCTION.

GRAPHIC SCALE



ALL UTILITIES LOCATING SIGNALS ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR ALL LOCATING. CONTACT SOUTHERN LIGHT 251-483-1170			
DWT	REVISIONS	REVISIONS IN THE DESIGN OF THIS PROJECT ARE THE SOLE RESPONSIBILITY OF SOUTHERN LIGHT. NO OTHER CHANGES WILL BE MADE WITHOUT WRITTEN CONSENT OF SOUTHERN LIGHT.	
SCALE	1:40	PROJ. NO.	N/A
PROJECT	LCAD-CV	ENG. BY	ORCHISON
PROJECT NO.	N/A	DATE	02/7/2017
PROJECT NAME	N/A	DESIGNED BY	B. AGEE
PROJECT NO.	N/A	PROJECT NO.	LCAD-06

southern light 1. COWINGTON (LITTEL)
#LOWE DAVIS RD.
COWINGTON, LA.



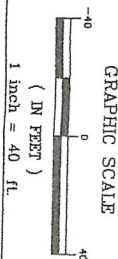
- 31+15 CULVERT
- 31+18 D/W
- 31+32 D/W
- 31+37 CULVERT

- 32+16 HYDRANT/WTR V
- 32+24 EOP
- 32+29 WTR LINE
- 32+41 EOP
- 32+52 PL HHI/END PAGE

TO BE A MINIMUM OF 72" BEI OR GRADE

UNDERGROUND

ALL CONSTRUCTION IS PROPOSED
SOUTHERN LIGHT WILL MAINTAIN 24" FROM EXISTING UTILITIES
SOUTHERN LIGHT HAS LOCATED ALL EXISTING UTILITIES
AN EXTENSIVE LOCATE WILL BE PERFORMED PRIOR TO CONSTRUCTION

[illegible]

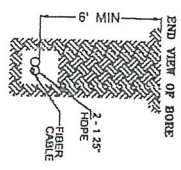
SPEED
LIMIT
20

PULL FIBER
EST = 543
ACT = 0
DIR. BORE 2-1.25"
EST = 393
ACT = 0

2-1.25" HDPE
EST = 393
ACT = 0
96ct FIBER
EST = 543
ACT = 0

DIG 4'x4"
BORE PIT
7 L.H.H.
25'x24'x36"
150' SLACK

DIG 4'x4"
BORE PIT
7 L.H.H.
25'x24'x36"
150' SLACK



0' 1' 2' 3' 4' 5' 6' 7' 8' 9'

0' 1' 2' 3' 4' 5' 6' 7' 8' 9'

- 32+52 BEGIN PAGE
- 32+88 WTR VALVE
- 32+99 WTR VALVE/COMM PER POLE
- 33+12 WTR VALVE

- 35+42 POLE
- 35+63 4' CULVERT

- 35+45 PL. HHI MMP

BELOW GRADE

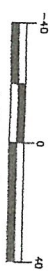
PROPOSED MICRODUCT

BELOW GRADE

UNDERGROUND

ALL CONSTRUCTION IS PROPOSED
SOUTHERN LIGHT WILL MAINTAIN 24" FROM EXISTING UTILITIES.
AN EXTENSIVE LOCATE WILL BE PERFORMED PRIOR TO CONSTRUCTION

GRAPHIC SCALE



ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR ALL LOCATIONS. CONTACT SOUTHERN LIGHT: 251-663-1170			
DATE	REVISION	REVISIONS TO THIS DRAWING 1. ALL UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR ALL LOCATIONS. CONTACT SOUTHERN LIGHT: 251-663-1170	
SCALE	1:40	PROJ. NO.	N/A
DESIGNER	LCAD-CV	CHK. B. DECISION	N/A
PROJECT NO.	N/A	SHEET NO.	N/A
SOUTHERN LIGHT		DATE	03/17/2017
1. COWINGTON (ALTD.)		DESIGNED BY	B. ADGE
LOWE DAVIS RD.		PROJECT NO.	LCAD-08
COWINGTON, LA.			

(DRAFT DATE OCTOBER 10, 2017)

ST. TAMMANY PARISH PLANNING COMMISSION

RESOLUTION

RESOLUTION PLANNING COMMISSION SERIES NO. _____

**TITLE: A RESOLUTION AUTHORIZING SOUTHERN LIGHT,
L.L.C. TO ENTER PARISH RIGHT-OF-WAY.**

**SUB-TITLE: A RESOLUTION GRANTING SOUTHERN LIGHT, L.L.C.,
107 ST. FRANCIS ST; SUITE 1800; MOBILE, AL 36602
PERMISSION TO ENTER PARISH RIGHT-OF-WAY,
SPECIFICALLY THE PORTION OF RIVER HIGHLANDS
BOULEVARD & ECHO STREET LOCATED WITHIN
RIVER HIGHLANDS BOULEVARD SUBDIVISION, FOR
THE PURPOSE OF LAYING FIBER OPTIC CABLES.
WARD 3 DISTRICT 5**

NOW, THEREFORE, BE IT RESOLVED, by the St. Tammany Parish Planning Commission that it hereby grants permission to the aforementioned petitioner to enter Parish right-of-way for the aforementioned purposes, subject to the following conditions:

1. That the improvements that will be undertaken will be at the sole expense of the petitioner.
2. That the petitioner agrees to accept full responsibility, financial and all other, for the damage and/or relocation of utilities currently located within Parish right-of-way.
3. That the petitioner shall submit plans prepared by a licensed engineer to the Department of Engineering for review and approval. Upon approval of plans and specifications by the Director of Engineering, the petitioner must notify the Department of Engineering prior to the commencement of any activity.
4. That should the petitioner commence work thereon, petitioner by such act acquiesces and acknowledges thereby that he will hold this Parish, its officials, agents, servants, and employees free and harmless from any liability or responsibility whatsoever in connection with the construction of the project. Petitioner will provide copy of Liability Insurance Policy including the naming of the Parish as an insured party. The insurance will remain in effect until the Parish releases the Performance Obligation.
5. That nothing herein shall be construed as a revocation of the dedication of the aforementioned right-of-way.
6. That no maintenance nor financial nor material nor assistance shall be provided by the Parish for the project nor the maintenance thereof, except for the inspection of the plans and specifications by the Department of Engineering to insure the construction complies with Parish specifications.
7. That the petitioner post a Performance Obligation in the amount of \$8,100 for a period of six (6) months.

(DRAFT DATE OCTOBER 10, 2017)

RESOLUTION P.C. NO.

PAGE NO. 2 OF 2

8. That the petitioner and any assignees submit a Hold Harmless Agreement in connection with the construction of the project and utilization of the R.O.W. by (an) individual (s) until the time that the project is satisfactorily completed.
9. That the petitioner submit as-built drawings certifying that the fiber optic cables are constructed in accordance with the approved drawing(s).
10. That the petitioner submit all documentation required within SIX (6) months from date of adoption, additionally petitioner has two (2) years to complete all work on this project, if not completed within two (2) years, approval of this work will be required to reapply for permission.

THIS RESOLUTION HAVING BEEN SUBMITTED TO A VOTE, THE VOTE THEREON WAS AS FOLLOWS:

MOVED FOR ADOPTION BY _____, SECONDED BY _____; A VOTE THEREON RESULTED IN THE FOLLOWING:

YEA:

NAY:

ABSTAIN:

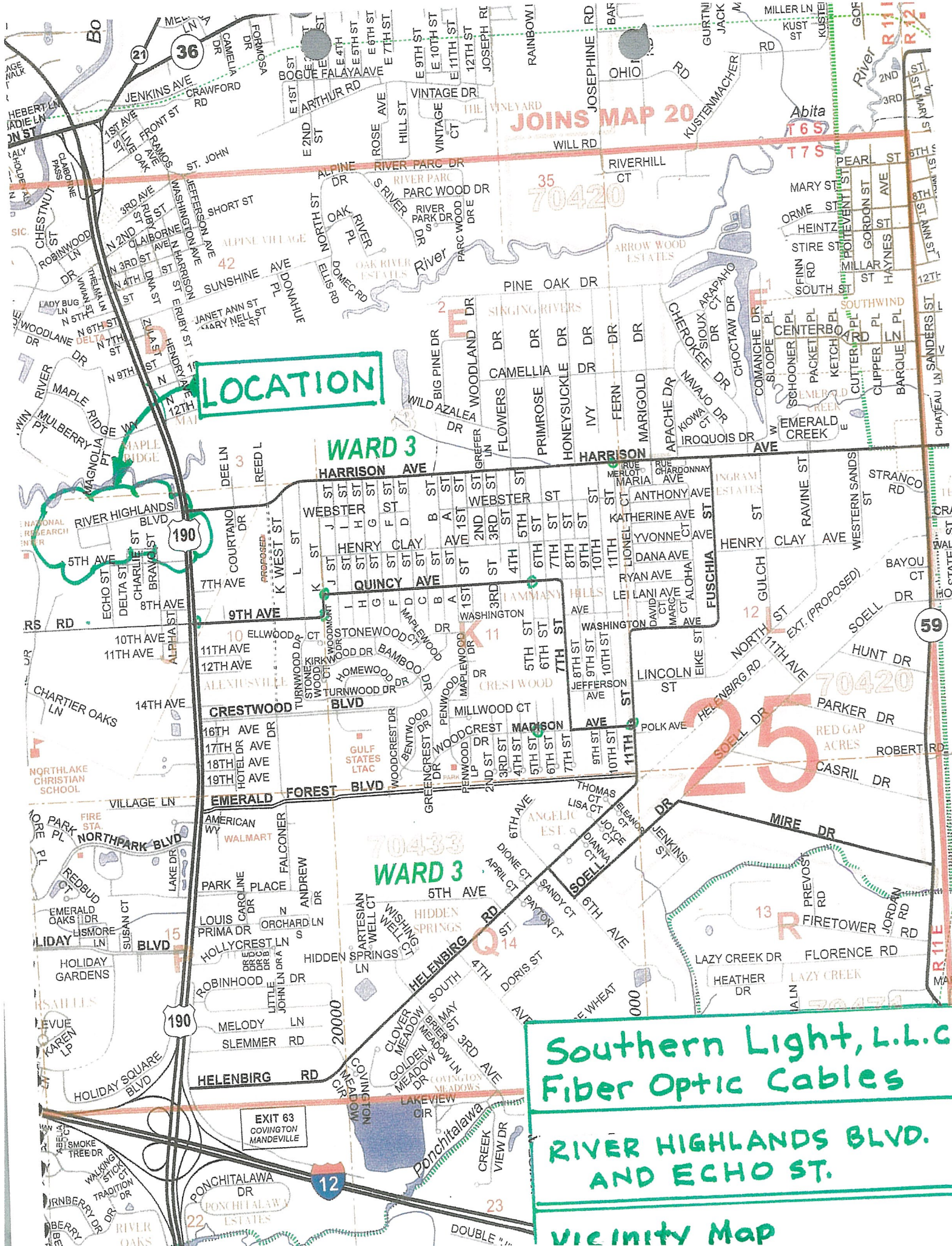
ABSENT:

AND THIS RESOLUTION WAS DECLARED DULY ADOPTED ON THE _____ DAY OF _____, 20____ AT A REGULAR MEETING OF THE PLANNING COMMISSION, A QUORUM OF THE MEMBERS BEING PRESENT.

DAVID G. MANNELLA, CHAIRMAN
ST. TAMMANY PARISH PLANNING COMMISSION

ATTEST:

RON KELLER, SECRETARY
ST. TAMMANY PARISH PLANNING COMMISSION



Southern Light, L.L.C.
Fiber Optic Cables

RIVER HIGHLANDS BLVD.
AND ECHO ST.

VICINITY MAP



**#651 RIVER HIGHLANDS BOULEVARD - COVINGTON, LA.
PLANS FOR PROPOSED PROJECT:**

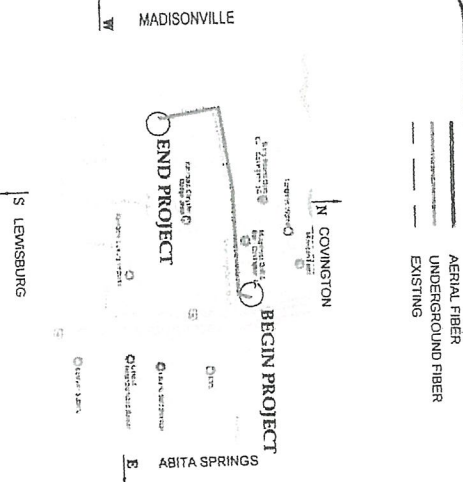
FIBER OPTIC INSTALLATION

APRIL 17, 2017

JOB INFORMATION

APPROVED: _____
DATE: _____
JOB # LST03141701
UNDERGROUND: EST -2,226 / ACT -
AERIAL: N/A
TOTAL FIBER: EST -2,226 / ACT -

VICINITY MAP



PROJECT LOCATION



CONTACT LIST

PROJECT MANAGER DONALD COOPER - (251) 209-4155

ENGINEER: BOB ORCHISON - (251) 459-1705

PROJECT CONTACT: ALLYSON HASTY - (251) 662-1436
CAROLINA SUBIRATS - (251) 445-1658

ATTENTION PERMITTING DEPARTMENT
DIRECTORY

[illegible]

CPE LOCATION: 14755 Avenue 13 subsector de civivida 00000016604

PATRICK GROS CPA

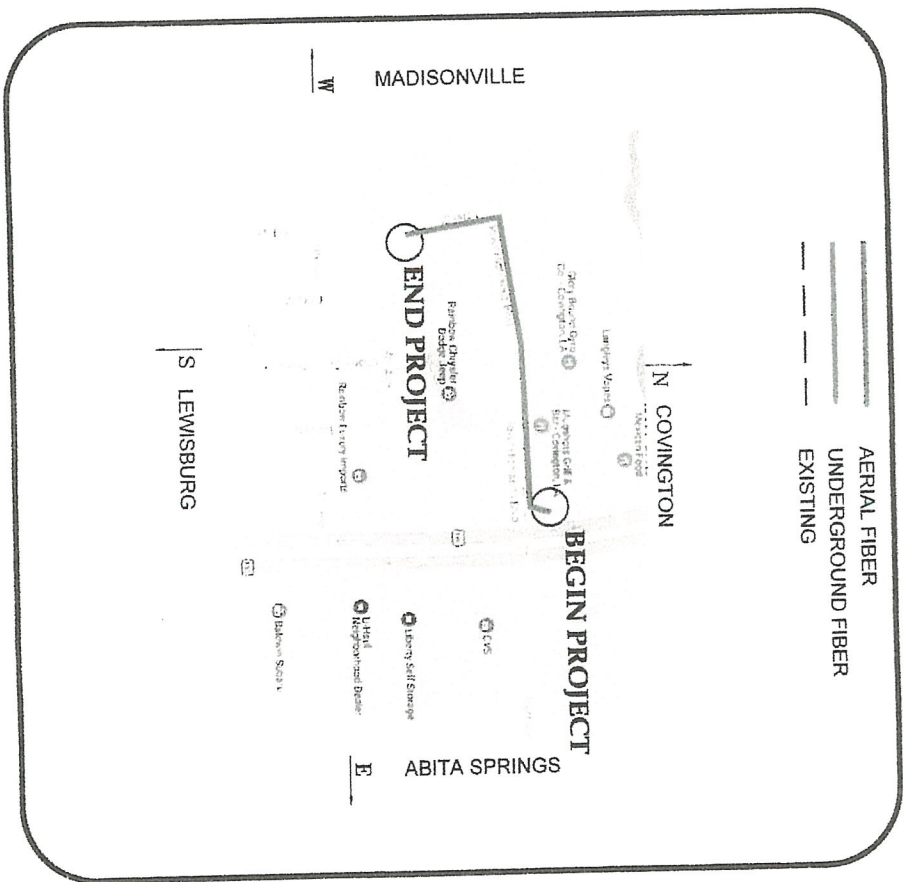
#651 RIVER HIGHLANDS BOULEVARD - COVINGTON, LA.

PLANS FOR PROPOSED PROJECT:

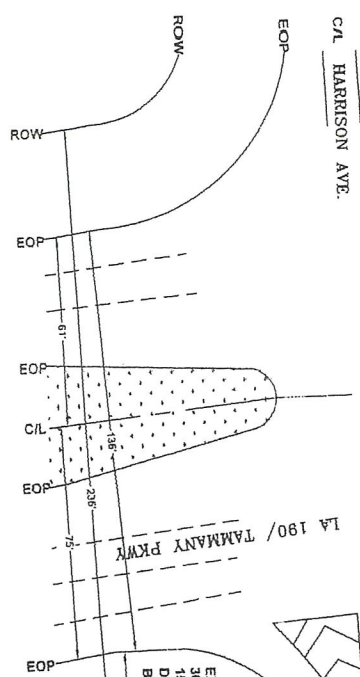
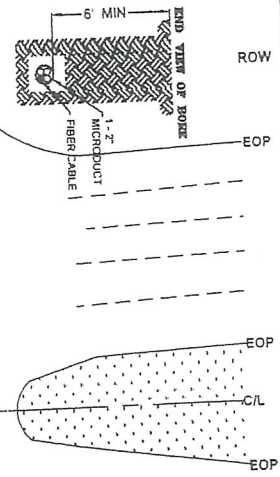
FIBER OPTIC INSTALLATION

VICINITY MAP

===== AERIAL FIBER
===== UNDERGROUND FIBER
- - - - - EXISTING

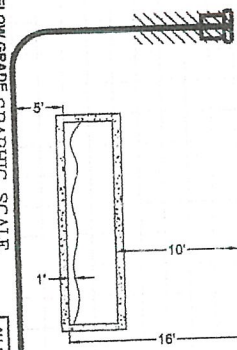


SPEED
LIMIT
45



0' 1' 2' 3' 6' 10'

DEPTH TO BE A MINIMUM OF 72" BELOW GRADE GRAPHIC SCALE



- 0+00 EX HH/BEGIN PAGE
- 0+27 POLE
- 0+30 CONCRETE FLUME
- 0+59 BOX CULVERT
- 0+76 BOX CULVERT
- 0+97 CONCRETE FLUME

- 1+22 POLE
- 1+33 POLE
- 1+39 CULVERT
- 1+48 D/W
- 1+74 D/W
- 1+83 CULVERT

2-1.25" HOPE
EST = 338
ACT = 0
96ft FIBER
EST = 468
ACT = 0

- 2+60 CULVERT
- 2+73 D/W
- 2+98 D/W
- 3+10 CULVERT
- 3+38 END PAGE

PROPOSED MICRODUCT

0' 1' 2' 3' 6' 10'

PULL FIBER
EST = 408
ACT = 0
DIR. BORE 2-1.25"
EST = 338
ACT = 0

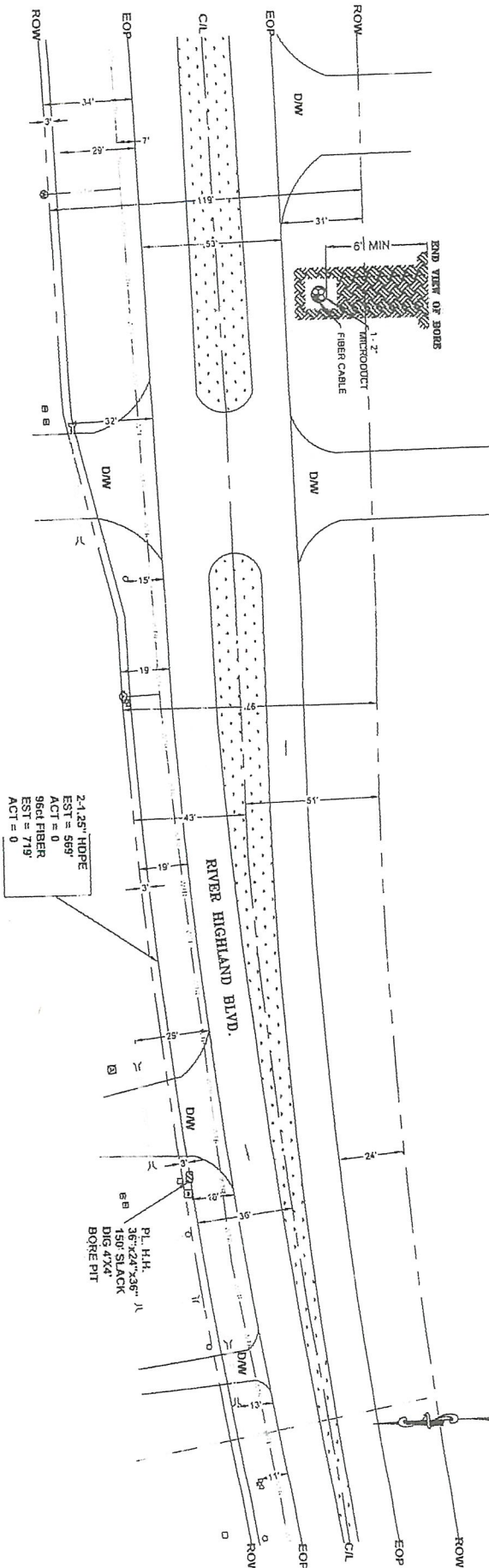
ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR ALL LOCATING. PRIOR TO ANY WORK PERFORMED FOR ALL LOCATING. CONTACT SOUTHERN LIGHT: 281-482-1178			
DATE:	REVISIONS:	SOUTHERN LIGHT'S DESIGN SHALL BE USED FOR THE PROJECT ONLY. ANY OTHER USE OF THIS DESIGN SHALL BE AT THE USER'S RISK. SOUTHERN LIGHT SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USER'S MISUSE OF THIS DESIGN.	
SCALE:	PROJECT:	PROJECT NO.:	DATE:
1:40	PCC-CV	N/A	04/14/17
DESIGNED BY:	DRAWN BY:	CHECKED BY:	DATE:
B. ORCHISON	B. AGEE		

southern light
PATRICK GROS CPA
651 RIVERSIDE BLVD
COWINGTON, LA

UNDERGROUND
ALL CONSTRUCTION IS PROPOSED
SOUTHERN LIGHT WILL MAINTAIN 24" FROM EXISTING UTILITIES.
SOUTHERN LIGHT HAS LOCATED ALL EXISTING UTILITIES.
AN EXTENSIVE DATE WILL BE PERFORMED PRIOR TO CONSTRUCTION

SPEED
LIMIT
45

PULL FIBER
EST = 719
ACT = 0
DIR. BORE 2'-1.25"
EST = 589
ACT = 0



- 3+38 BEGIN PAGE

- 3+96 WTR METER

- 4+82 CULVERT
- 4+85 D/W

- 5+18 D/W
- 5+27 BOX CULVERT
- 5+41 COMM MRKR

- 5+85 HYDRANT/ WTR VALVE

2'-1.25" HOPE
EST = 589
ACT = 0
96d FIBER
EST = 719
ACT = 0

- 7+30 D/W
- 7+60 D/W
- 7+68 PL HH

- 8+24 DRAIN
- 8+31 CULVERT
- 8+36 D/W
- 8+47 D/W
- 8+56 CULVERT
- 8+67 SWR LINE
- 8+85 WTR VALVE
- 9+07 END PAGE

BELOW GRADE

PROPOSED MICRODUCT

BELOW GRADE

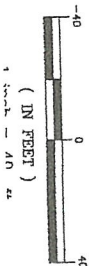
0
1
2
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4
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7
8
9

0
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9

UNDERGROUND

ALL CONSTRUCTION IS PROPOSED
SOUTHERN LIGHT WILL MAINTAIN 24" FROM EXISTING UTILITIES.
SOUTHERN LIGHT HAS LOCATED ALL EXISTING UTILITIES.
AN EXTENSIVE LOCATE WILL BE PERFORMED PRIOR TO CONSTRUCTION

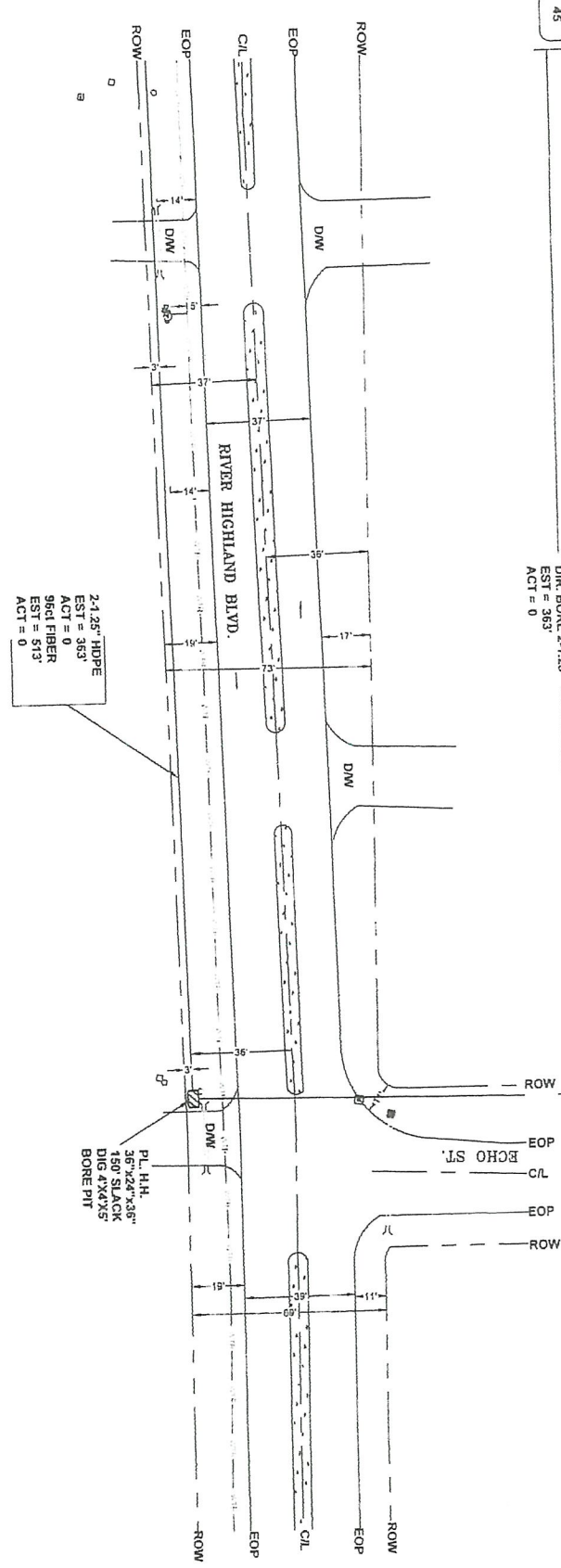
DEPTH TO BE A MINIMUM OF 72" BELOW GRADE GRAPHIC SCALE



ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL LOCATIONS PRIOR TO CONSTRUCTION. ALL LOCATIONS CONTRACT TO SOUTHERN LIGHT: 251-452-1178		SOUTHERN LIGHT logo		PATRICK GROSS CPA (SOUTHERN LIGHT) COUNCIL, LA.	
DATE:	REVISIONS	SCALE:	PROJ. NO.:	DATE:	DATE:
		1:40	H/A	04/14/17	04/14/17
		PDC-CV	B. ORCHISON	B. ORCHISON	B. ADEE

SPEED
LIMIT
45

PULL FIBER
EST = 513'
ACT = 0
DIR. BORE 2-1.25"
EST = 363'
ACT = 0



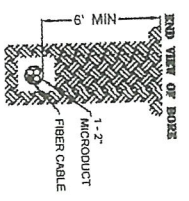
- 9+07 BEGIN PAGE
- 9+18 COMM MRKR
- 9+58 CULVERT
- 6+63 D/W
- 9+77 D/W
- 9+83 CULVERT
- 9+96 HYDRANT/ WTR VALVE

BELOW GRADE

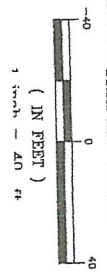
PROPOSED MICRODUCT

0
1
2
3
4
5
6
7
8
9

0
1
2
3
4
5
6
7
8
9



DEPTH TO BE A MINIMUM OF 72" BELOW GRADE GRAPHIC SCALE



ALL CONSTRUCTION IS PROPOSED
SOUTHERN LIGHT WILL MAINTAIN 24" FROM EXISTING UTILITIES.
SOUTHERN LIGHT HAS LOCATED ALL EXISTING UTILITIES.
AN EXTENSIVE LOCATE WILL BE PERFORMED PRIOR TO CONSTRUCTION

ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR ALL LOCATING. CONTACT SOUTHERN LIGHT: 281-462-1170	
DATE:	REVISIONS:
SOUTHERN LIGHT	
SCALE: 1"=40'	PROJ. NO.: N/A
DESIGNER: TDC-CV	DATE: 04/14/17
DRWING: B. AGEE	DATE: 04/14/17
PATRICK GROS CPA 655 RIVERHIGHLAND BOULEVARD CONVINGTON, LA.	

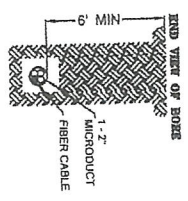
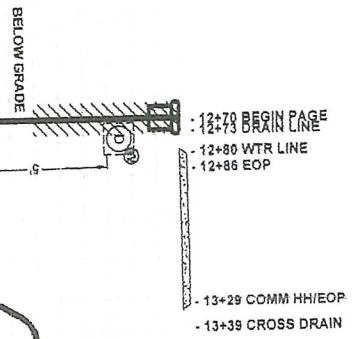
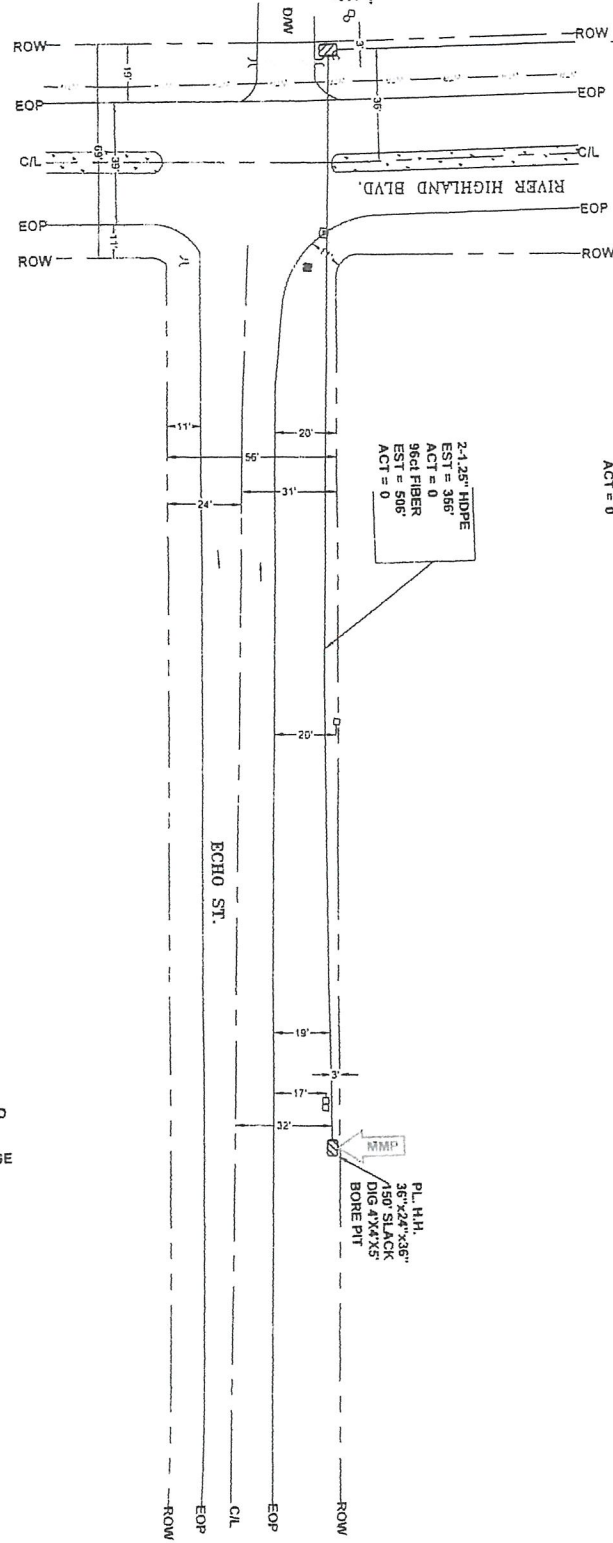
SPEED
LIMIT
45

PULL FIBER
EST = 506'
ACT = 0
DIR. BORE 2-1.25"
EST = 356'
ACT = 0

2-1.25" HDPE
EST = 356'
ACT = 0
96ft FIBER
EST = 506'
ACT = 0

PL. H.H.
36"x24"x36"
150' SLACK
DIG 4'X4'X5'
BORE PIT

PL. H.H.
36"x24"x36"
150' SLACK
DIG 4'X4'X5'
BORE PIT



DEPTH TO BE A MINIMUM OF 12" BELOW GRADE GRAPHIC SCALE



UNDERGROUND
ALL CONSTRUCTION IS PROPOSED
SOUTHERN LIGHT WILL MAINTAIN 24" FROM EXISTING UTILITIES.
SOUTHERN LIGHT HAS LOCATED ALL EXISTING UTILITIES.

ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR ALL LOCATING. CONTRACT SOUTHERN LIGHT: 351-482-1170			
DATE:	REVISIONS	REVISIONS	REVISIONS
1:40	PCC-CV	PROJ. NO.	N/A
1:40	PCC-CV	DES. B.	ORCHISON
DATE:	DATE:	DATE:	DATE:
04/14/17	04/14/17	04/14/17	04/14/17
DRAWN BY:	DRAWN BY:	DRAWN BY:	DRAWN BY:
B. ADER	B. ADER	B. ADER	B. ADER

southern light PATRICK GROS CPA
REGISTERED ACCOUNTANT
CONVINGTON, LA.

ST. TAMMANY PARISH PLANNING COMMISSION

RESOLUTION

RESOLUTION PLANNING COMMISSION SERIES NO. _____

TITLE: A RESOLUTION AUTHORIZING HUNT TELECOMMUNICATIONS, L.L.C., TO ENTER PARISH RIGHT-OF-WAY.

SUB-TITLE: A RESOLUTION GRANTING PERMISSION TO HUNT TELECOMMUNICATIONS, L.L.C. 110 E. COLEMAN AVE; HAMMOND, LA, 70403; TO ENTER PARISH RIGHT-OF-WAY, SPECIFICALLY THE PORTION OF HARRISON AVENUE BETWEEN LA HWY 59 AND FUCHSIA STREET, FOR THE PURPOSE OF LAYING AND CONNECTING UNDERGROUND FIBER OPTIC CABLES.
WARD 3, DISTRICTS 2 AND 5.

NOW, THEREFORE, BE IT RESOLVED, by the St. Tammany Parish Planning Commission that it hereby grants permission to the aforementioned petitioner to enter Parish right-of-way for the aforementioned purposes, subject to the following conditions:

1. That the improvements that will be undertaken will be at the sole expense of the petitioner.
2. That the petitioner agrees to accept full responsibility, financial and all other, for the damage and/or relocation of utilities currently located within Parish right-of-way.
3. That the petitioner shall submit plans prepared by a licensed engineer to the Department of Engineering for review and approval. Upon approval of plans and specifications by the Director of Engineering, the petitioner must notify the Department of Engineering prior to the commencement of any activity.
4. That should the petitioner commence work thereon, petitioner by such act acquiesces and acknowledges thereby that he will hold this Parish, its officials, agents, servants, and employees free and harmless from any liability or responsibility whatsoever in connection with the construction of the project. Petitioner will provide copy of Liability Insurance Policy, including the naming of the Parish as an insured party. The insurance will remain in effect until the Parish releases the Performance Obligation.
5. That nothing herein shall be construed as a revocation of the dedication of the aforementioned right-of-way.
6. That no maintenance nor financial nor material nor assistance shall be provided by the Parish for the project nor the maintenance thereof, except for the inspection of the plans and specifications by the Department of Engineering to insure the construction complies with Parish specifications.
7. That the petitioner post a Performance Obligation in the amount of \$32,500 for a period of six (6) months.
8. That the petitioner and any assignees submit a Hold Harmless Agreement in connection with the construction of the project and utilization of R.O.W. by (an) individual(s) until the time that the project is satisfactorily completed.

(DRAFT DATE OCTOBER 10, 2017)

RESOLUTION P.C. NO. _____

PAGE NO. 2 OF 2

9. That the petitioner submit as-built drawings certifying that the cables are constructed in accordance with the approved drawing(s).
10. That the petitioner submit all documentation required within SIX (6) months from date of adoption, additionally petitioner has two (2) years to complete all work on this project, if not completed within two (2) years, approval of this work will be voided and petitioner will be required to reapply for permission.

BE IT FURTHER RESOLVED that permission hereby given is also contingent upon the applicant receiving approval and permission by the Town of Abita Springs for entering that portion of Harrison Avenue Right-Of-Way lying within the municipal limits of the Town; specifically that portion west of Highway 59 and east of Western Sands Street.

THIS RESOLUTION HAVING BEEN SUBMITTED TO A VOTE, THE VOTE THEREON WAS AS FOLLOWS:

MOVED FOR ADOPTION BY _____, SECONDED BY _____; A VOTE THEREON RESULTED IN THE FOLLOWING:

YEA:

NAY:

ABSTAIN:

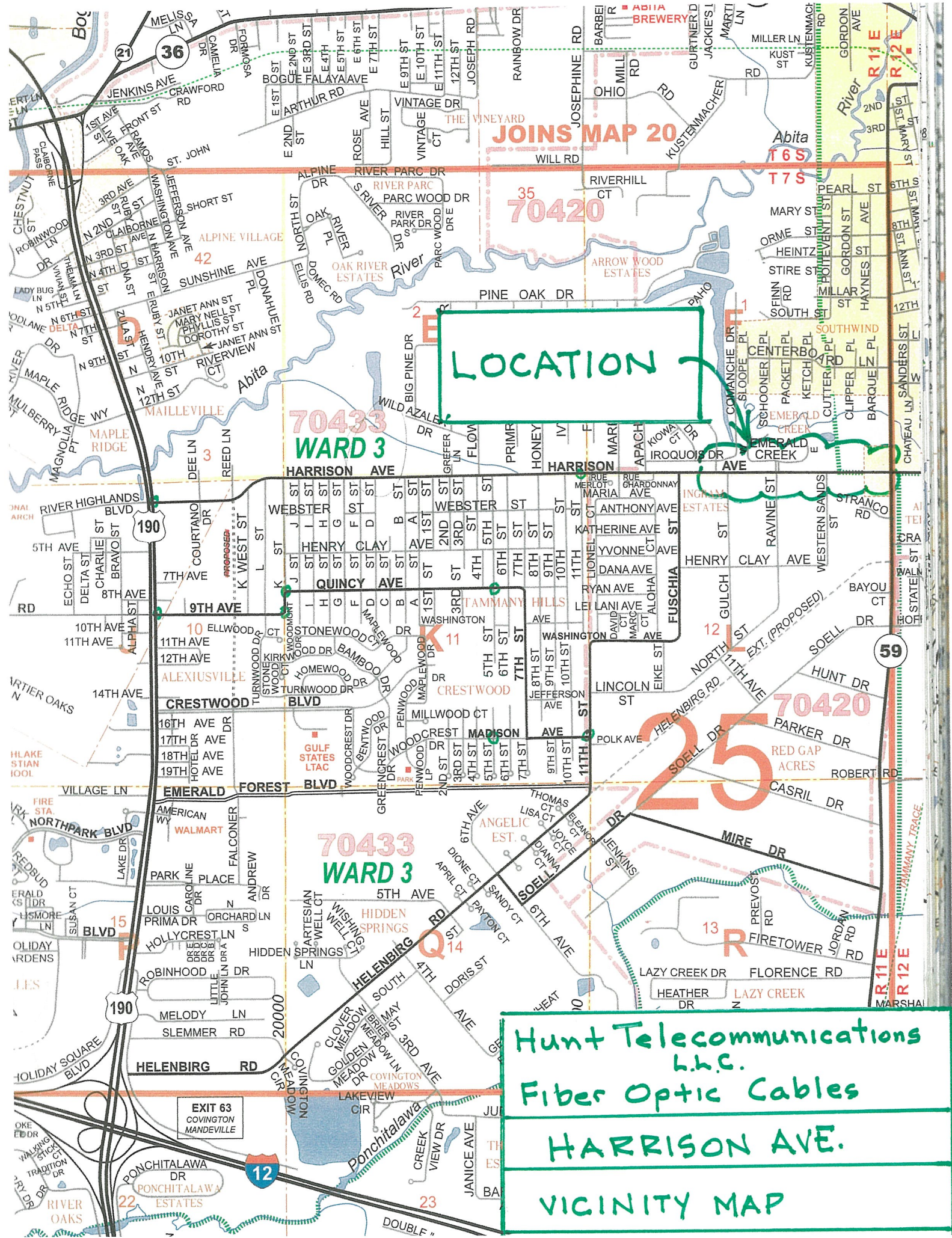
ABSENT:

AND THIS RESOLUTION WAS DECLARED DULY ADOPTED ON THE ____ DAY OF _____, 20__ AT A REGULAR MEETING OF THE PLANNING COMMISSION, A QUORUM OF THE MEMBERS BEING PRESENT.

DAVID G. MANNELLA, CHAIRMAN
ST. TAMMANY PARISH PLANNING COMMISSION

ATTEST:

RON KELLER, SECRETARY
ST. TAMMANY PARISH PLANNING COMMISSION



Hunt Telecommunications
L.H.C.
Fiber Optic Cables
HARRISON AVE.
VICINITY MAP

SHEET INDEX

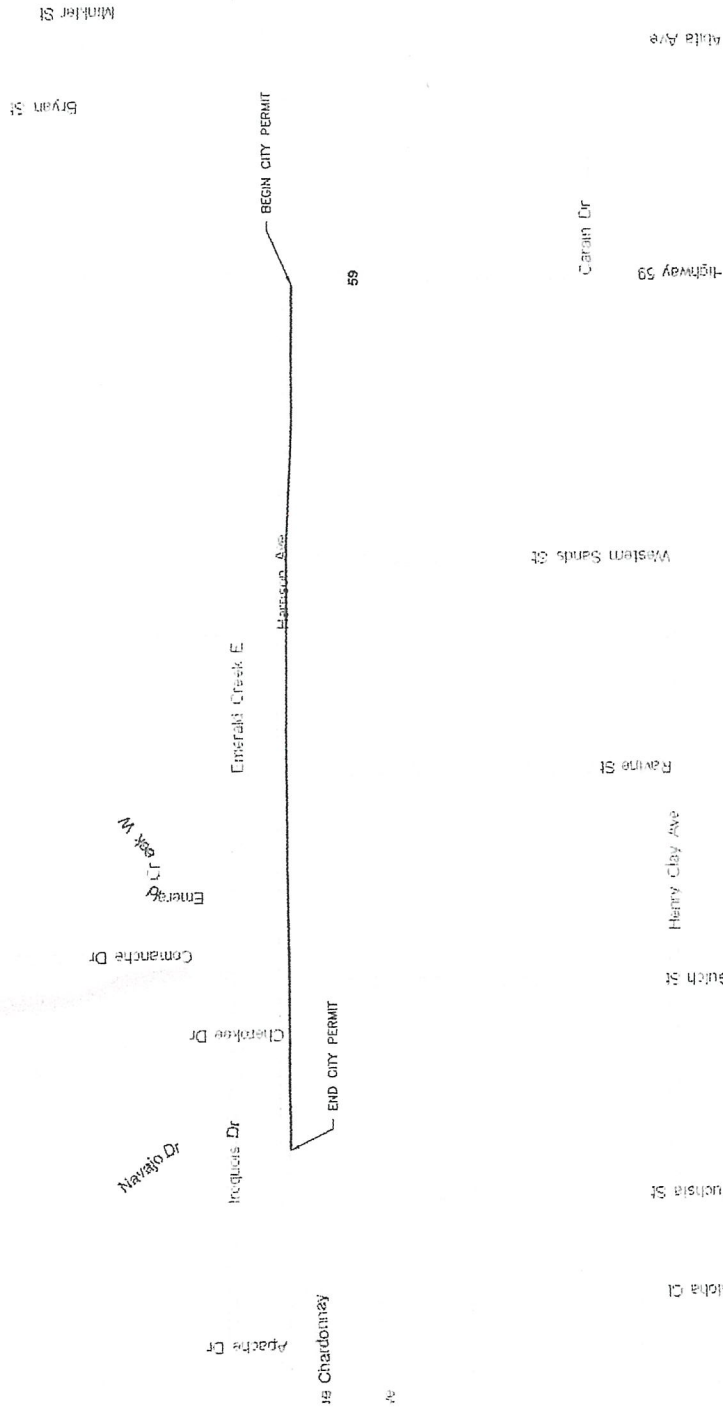
SHEET NO.
 1-2
 2-7

DESCRIPTION

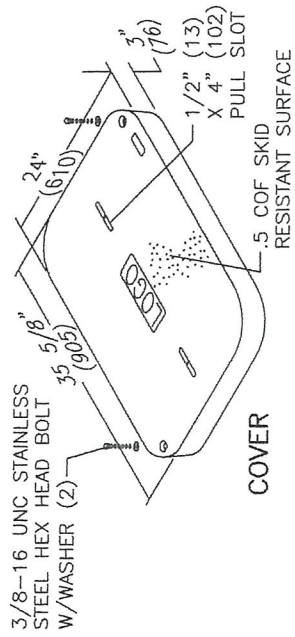
LA-59 - GRAIN ST TO HARRISON AVE - 594'
 HARRISON AVE - LA-59 TO FUCHSIA ST - 3,506'



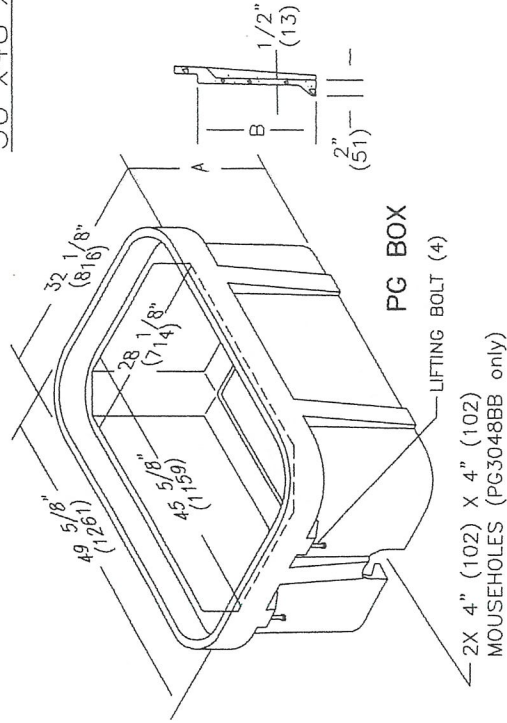
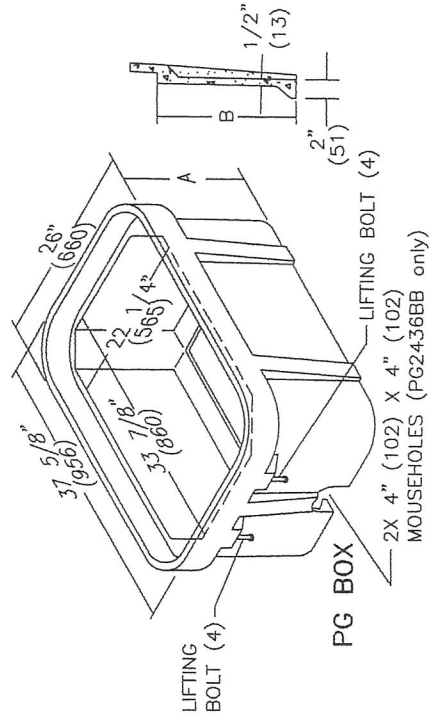
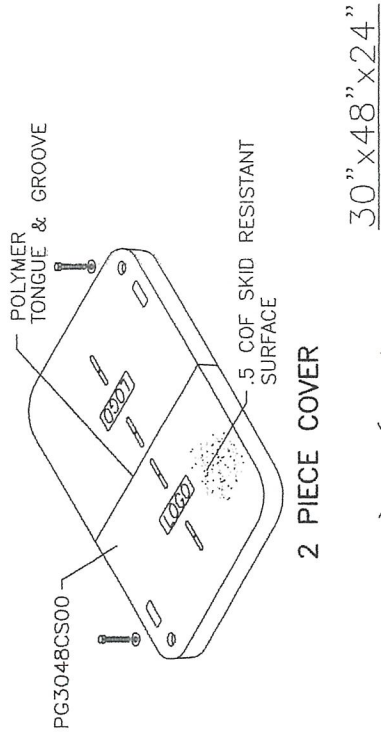
Abita Springs



HARRISON AVE RW PERMIT
LA-59 TO FUCHSIA ST
ST TAMMANY PARISH

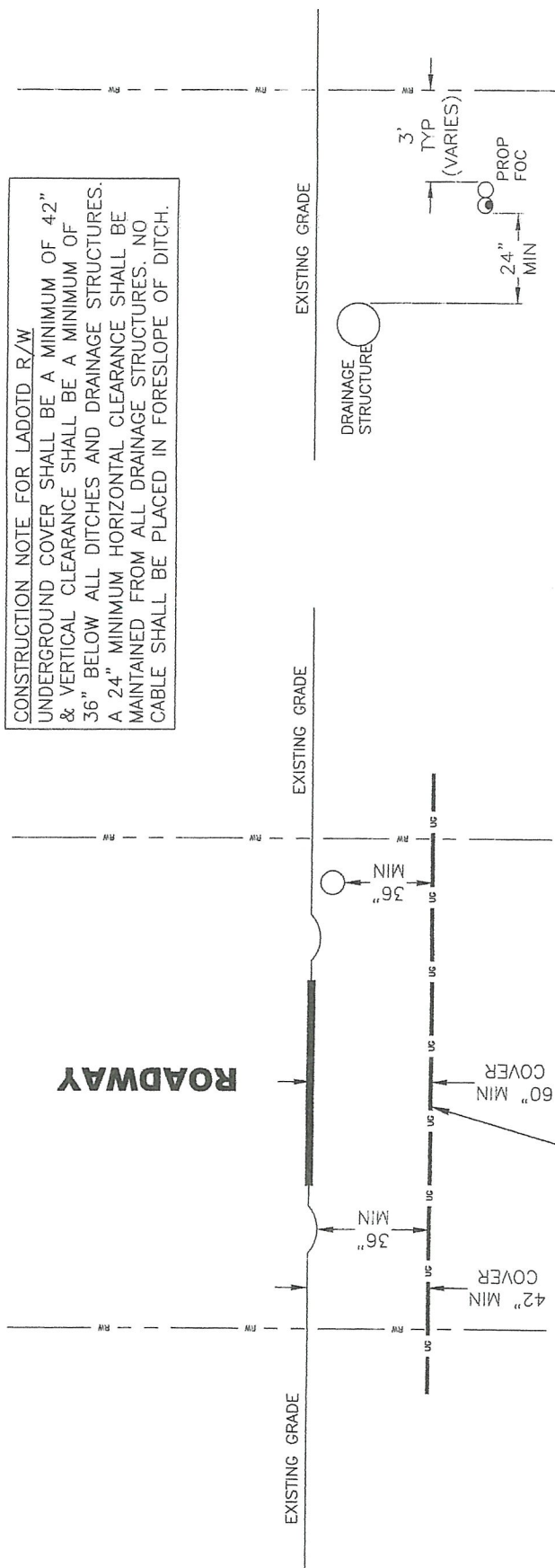


24" x 36" x 24"



HANDHOLE TYPICALS

SCALE: N.T.S.



CONSTRUCTION NOTE FOR LADOTD R/W
 UNDERGROUND COVER SHALL BE A MINIMUM OF 42"
 & VERTICAL CLEARANCE SHALL BE A MINIMUM OF
 36" BELOW ALL DITCHES AND DRAINAGE STRUCTURES.
 A 24" MINIMUM HORIZONTAL CLEARANCE SHALL BE
 MAINTAINED FROM ALL DRAINAGE STRUCTURES. NO
 CABLE SHALL BE PLACED IN FORESLOPE OF DITCH.

PROPOSED HUNT COMM 2-1.25"
 SDR-11 HDPE DUCT W/ FOC
 60" MIN DEPTH UNDER ROAD BED

MAINTAIN 36" SEPARATION
 BELOW ALL DITCHES, CULVERTS
 AND SUBSURFACE DRAINAGE

MAINTAIN 24" HORIZONTAL
 SEPARATION FROM DRAINAGE
 STRUCTURES.

ROAD CROSSING TYPICAL

SCALE: N.T.S.

CROSS SECTION TYPICAL

SCALE: N.T.S.

LEGEND

SYMBOLS

	STORM MANHOLE		SEWER MANHOLE
	CATCH BASIN		GAS METER
	CULVERT		GAS VALVE
	WATER MANHOLE		ELECTRIC MANHOLE
	FIRE HYDRANT		TRAFFIC SIGNAL
	WATER METER		STREET LIGHT
	WATER VALVE		ELECTRIC MISC
	PROPOSED HANDHOLE		POWER POLE
	COMM MANHOLE		TRAFFIC FLOW
	COMM HANDHOLE		RR SIGNAL ARM
	COMM CABINET		RR CONTROL BOX
	COMM PED		
	R/W MARKER (UNFOUND)		
	R/W MARKER		

LINETYPES

	SIDEWALK		EXISTING SANITARY SEWER LINE
	PAINT LINES		EXISTING GAS LINE
	EDGE OF PAVEMENT		EXISTING WATER LINE
	RAILROAD TRACKS		EXISTING TELEPHONE LINE (BURIED)
	RIGHT OF WAY (APPARENT - FIELD VERIFY)		OVERHEAD POWER
	PROPERTY LINE (APPARENT - FIELD VERIFY)		EXISTING ELECTRIC LINE (BURIED)
	CENTERLINE		EXISTING CATV LINE (BURIED)
	EASEMENT		(UG) PROPOSED UNDERGROUND CONSTRUCTION
	FENCE		(DB) PROPOSED PLACE CONDUIT CONSTRUCTION
	SURFACE WATER		PROPOSED AERIAL CONSTRUCTION
	EXISTING STORM SEWER LINE		EXISTING/FUTURE FOC

MATCHLINE 17+60 SEE SHEET 4

17+25 PROPOSED HH
HTLA.007.HH.0XX
(200' SLACK)

17+13 EOP

WESTERN SANDS ST

16+97 EOP

DRIVE

25'
22'
3'

15+47 E DRIVE

DRIVE

HARRISON AVE

PLACE CONDUIT
2-1.25" SDR-11 HDPE
DUCT W/ 1-72 FOC
42" MIN DEPTH

13+40 E DRIVE

DRIVE

3'
22'
25'

11+01 E DRIVE

DRIVE

MATCHLINE 10+60 SEE SHEET 2



CONSTRUCTION NOTES:
ALL EXISTING UTILITIES MUST BE
LOCATED AND MARKED PRIOR TO
CONSTRUCTION. ALL NEW UTILITIES
SHALL BE INSTALLED IN ACCORDANCE
WITH THE LATEST EDITIONS OF THE
NATIONAL ELECTRICAL CODE (NEC) AND
THE NATIONAL FIRE PROTECTION
ASSOCIATION (NFPA) 70B. ALL
CONDUIT SHALL BE INSTALLED IN
ACCORDANCE WITH THE LATEST
EDITION OF THE NFPA 70B. ALL
CONDUIT SHALL BE INSTALLED IN
ACCORDANCE WITH THE LATEST
EDITION OF THE NFPA 70B.

HUNT TELECOM
www.hunttelecom.com

CALL BEFORE YOU DIG
72 HOURS NOTICE REQUIRED
DATE: 6/12/17
DESIGNER: B. BERGERON
DRAWN BY: MILLENNIUM

REVISIONS

DATE	DESCRIPTION	INITIAL

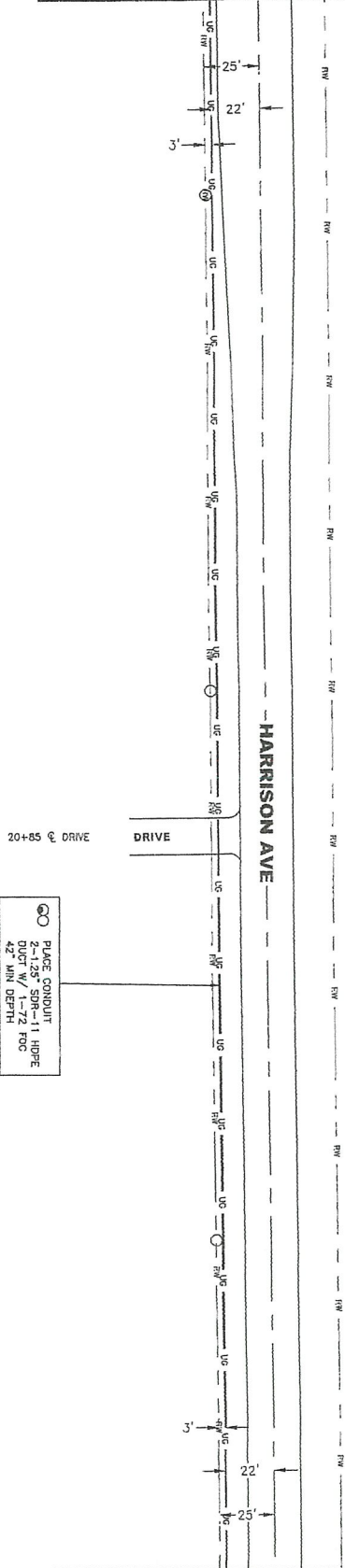
SCALE

HORIZONTAL: 1"=50'
VERTICAL: N.T.S.

SHEET 3 OF 7

FIRE DISTRICT 12
LA-59 &
HARRISON AVE
ABITA SPRINGS, LA
ST TAMMANY PARISH

MATCHLINE 24+60 SEE SHEET 5



○ PLACE CONDUIT
2-125" SPR-11 HDPE
DUCT W/ 42" MIN DEPTH

20+85 & DRIVE

DRIVE

HARRISON AVE



MATCHLINE 17+60 SEE SHEET 3

FIRE DISTRICT 12
LA-59 &
HARRISON AVE
ABITA SPRINGS, LA
ST TAMMANY PARISH

HUNT TELECOM
www.hunttelecom.com

CONSTRUCTION NOTES:
ALL EXISTING UTILITIES MUST BE
LOCATED AND MARKED PRIOR TO CONSTRUCTION.
ALL 8" & LARGER SIZES ARE APPROVED AND
SHOULD BE FIELD VERIFIED PRIOR TO
START OF CONSTRUCTION.

CALL BEFORE YOU DIG
72 HOURS NOTICE REQUIRED

DATE: 6/12/17
DESIGNER: B. BERGERON
DRAWN BY: MILLENNIUM

REVISIONS	
DATE	DESCRIPTION

EXCEPT AS MAY BE OTHERWISE
SPECIFIED, THESE SHEETS SHALL
BE USED FOR THE PURPOSES OF
CONSTRUCTION AND SHALL NOT
BE USED FOR ANY OTHER
PURPOSE.

SCALE

HORIZONTAL: 1"=50'

VERTICAL: N.T.S.

SHEET 4 OF 7

MATCHLINE 31+60 SEE SHEET 6

○ PLACE CONDUIT
2-1.25" SDR-11 HDPE
DUCT W/ 1'-72" FOC
42" MIN DEPTH

28+20 PROPOSED HH
HTLA.007.HH.OXX
(200' SLACK)

HARRISON AVE

25+69 EOP

RAVINE ST

25+57 EOP

EMERALD CREEK BLVD



MATCHLINE 24+60 SEE SHEET 4

CONSTRUCTION NOTES:
ALL EXISTING UTILITIES MUST BE MAINTAINED AND PROTECTED. ALL NEW UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MDT AND NCEC SPECIFICATIONS. ALL B/W SHOWN IS APPROPRIATE AND SHOULD BE FIELD VERIFIED PRIOR TO START OF CONSTRUCTION.

CALL BEFORE YOU DIG
72 HOURS NOTICE REQUIRED

DATE: 6/12/17
DESIGNER: B. BERGERON
DRAWN BY: MILLENNIUM

REVISIONS	
DATE	DESCRIPTION

EXCEPT AS NOTED, ALL UTILITIES SHOWN ARE BASED ON THE LATEST AVAILABLE RECORDS. THE USER OF THESE SHIRTS SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. NO GUARANTEE IS MADE FOR ANY PURPOSE WITHOUT PERMISSION.

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FIRE DISTRICT 12
LA-59 &
HARRISON AVE
ABITA SPRINGS, LA
ST TAMMANY PARISH

SCALE

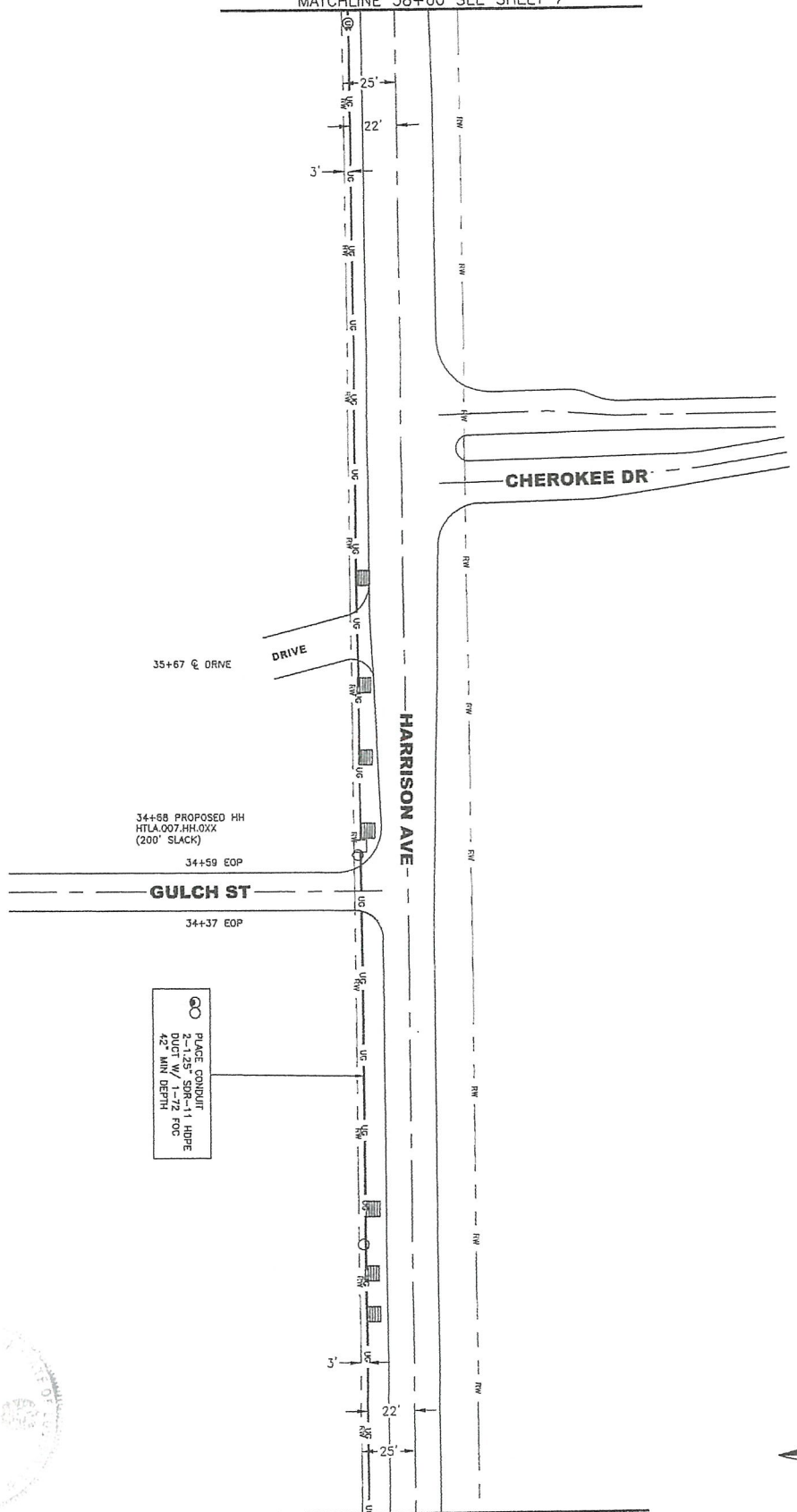
HORIZONTAL: 1"=50'

VERTICAL: N.T.S.

SHEET 5 OF 7

DATE OF ISSUE: 6-12-17

MATCHLINE 38+60 SEE SHEET 7



34+68 PROPOSED HH
HTLA:007.HH.OXX
(200' SLACK)

GULCH ST

34+37 EOP

PLACE CONDUIT
2-1/2\"

CHEROKEE DR

HARRISON AVE

DRIVE

35+67 & DRIVE

MATCHLINE 31+60 SEE SHEET 5



FIRE DISTRICT 12

LA-59 &
HARRISON AVE

ABITA SPRINGS, LA
ST TAMMANY PARISH



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TELECOM**

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CONSTRUCTION NOTES:
ALL UTILITIES SHOWN MUST BE
PROPERLY LOCATED AND FIELD
VERIFIED PRIOR TO CONSTRUCTION.
ALL R/W SHOWN IS APPROPRIATE AND TO
BE MAINTAINED PRIOR TO
START OF CONSTRUCTION.



CALL BEFORE YOU DIG
811

72 HOURS NOTICE REQUIRED

DATE: 6/12/17

DESIGNER: B. BERGERON

DRAWN BY: MILLENNIUM

REVISIONS

DATE	DESCRIPTION	INITIAL

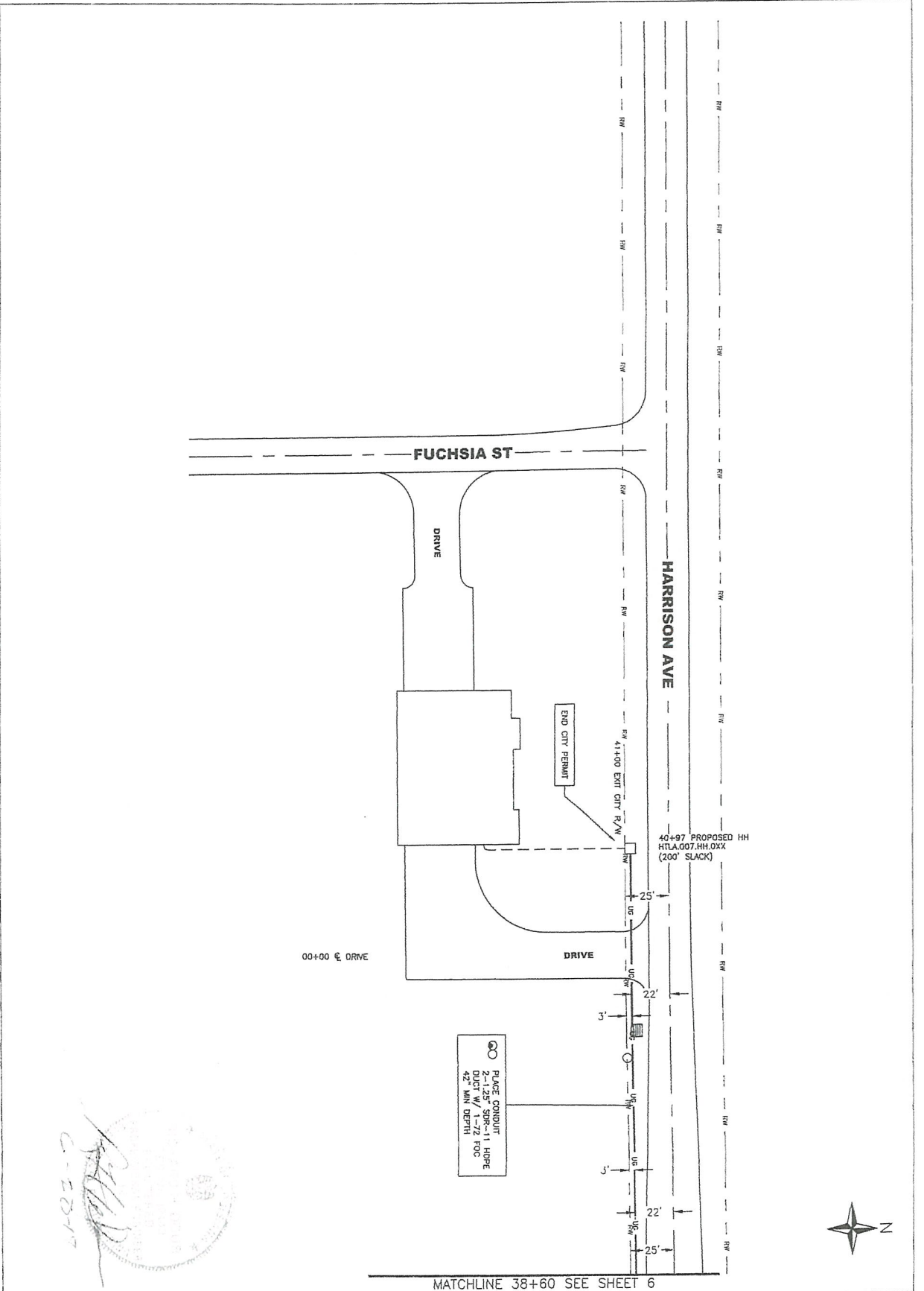
EXCEPT AS MAY BE OTHERWISE
PROVIDED BY CONTRACT OR WRITTEN
AGREEMENT, THE INFORMATION AND
TELECOM PLANS ARE ISSUED FOR
CONSTRUCTION PURPOSES ONLY AND
SHALL NOT BE REPRODUCED, COPIED, OR USED
FOR ANY OTHER PURPOSE WITHOUT
PERMISSION.

SCALE

HORIZONTAL: 1"=50'

VERTICAL: N.T.S.

SHEET 6 OF 7



MATCHLINE 38+60 SEE SHEET 6

CONSTRUCTION NOTES:
 ALL EXISTING UTILITIES AND FIELD
 CONDITIONS SHALL BE VERIFIED PRIOR TO CONSTRUCTION.
 ALL R/W SHOWN IS APPROPRIATE AND
 SHOULD BE FIELD VERIFIED PRIOR TO
 START OF CONSTRUCTION.


CALL BEFORE YOU DIG
 811
 72 HOURS NOTICE REQUIRED

DATE: 6/12/17
DESIGNER: B. BERGERON
DRAWN BY: MILLENNIUM

REVISIONS

DATE	DESCRIPTION	INITIAL

EXCEPT AS MAY BE OTHERWISE
 PROVIDED BY CONTRACT OR WRITTEN
 AGREEMENT, HUNT TELECOM SHALL
 NOT BE RESPONSIBLE FOR ANY
 REPRODUCTION, COPIES, OR USE
 FOR ANY PURPOSE WITHOUT
 PERMISSION.



**HUNT
TELECOM**

www.hunttelecom.com

FIRE DISTRICT 12
 LA-59 &
 HARRISON AVE
 ABITA SPRINGS, LA
 ST TAMMANY PARISH

SCALE

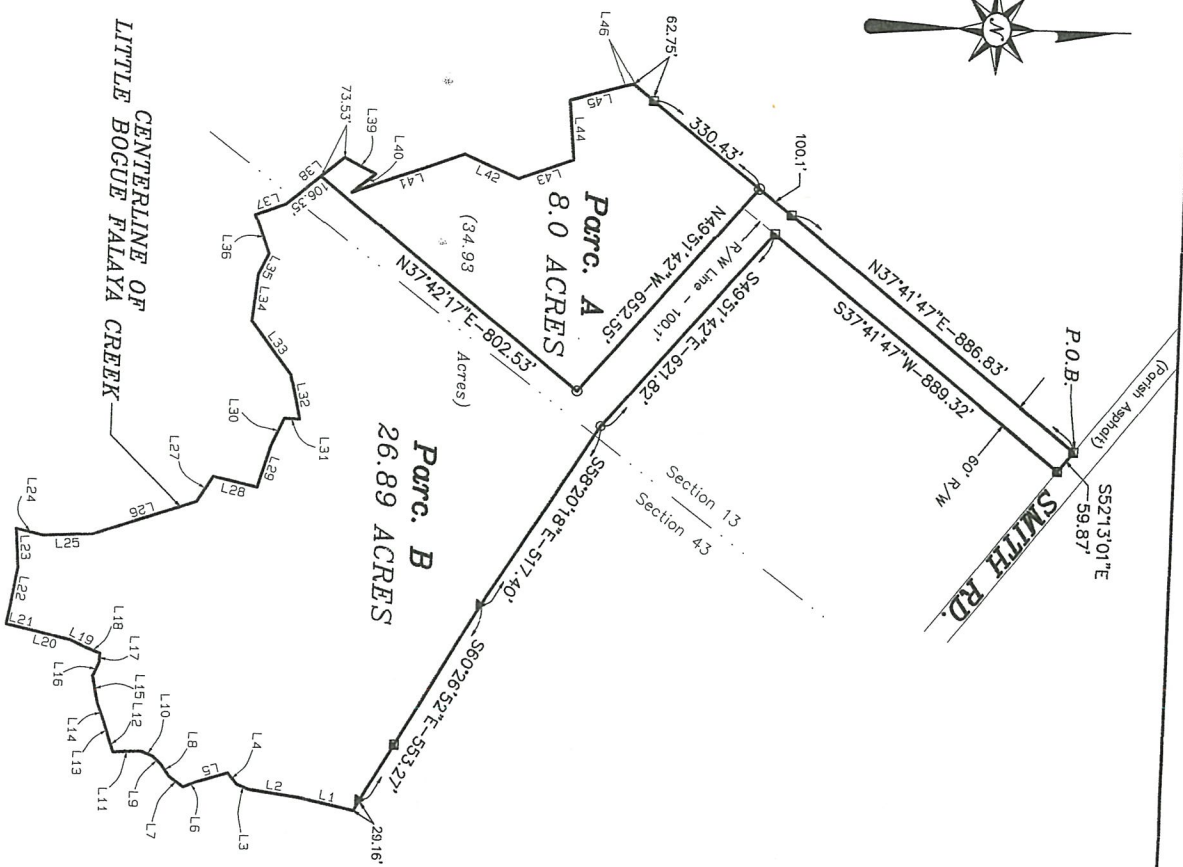
HORIZONTAL: 1"=50'

VERTICAL: N.T.S.

SHEET 7 OF 7

MINOR
SUBDIVISIONS

The staff has no objection to the proposed minor subdivision request due to the large parcel sizes and subject to the waiver being granted.



LINE	BEARING	DISTANCE
L1	S10°38'24"W	136.76ft
L2	S6°35'44"W	122.15ft
L3	S22°02'28"W	30.38ft
L4	S48°43'02"W	34.93ft
L5	S18°13'24"E	76.12ft
L6	S22°55'59"E	36.91ft
L7	S34°05'21"W	42.34ft
L8	S85°31'48"W	35.50ft
L9	S40°37'11"W	28.76ft
L10	S20°13'22"W	29.18ft
L11	S3°15'17"E	66.76ft
L12	S69°13'18"W	33.23ft
L13	S70°17'52"W	43.90ft
L14	S68°26'32"W	46.52ft
L15	S78°18'53"W	69.89ft
L16	N66°03'16"W	36.35ft
L17	N66°51'17"W	20.41ft
L18	S20°17'33"W	37.44ft
L19	S24°58'13"W	41.47ft
L20	S11°52'11"W	91.97ft
L21	S11°36'18"W	66.34ft
L22	N60°41'33"W	138.56ft
L23	S85°41'20"W	94.70ft
L24	N12°51'53"E	65.33ft
L25	N3°50'53"W	117.73ft
L26	N19°46'54"W	264.32ft
L27	N58°37'50"W	72.08ft
L28	N11°20'28"E	108.88ft
L29	N73°45'14"W	107.48ft
L30	N65°54'38"W	71.05ft
L31	N0°31'25"W	37.09ft
L32	S77°06'14"W	110.30ft
L33	S51°43'58"W	160.15ft
L34	N84°26'39"W	112.07ft
L35	N64°47'24"W	56.42ft
L36	S68°48'06"W	99.24ft
L37	N21°35'53"W	79.71ft
L38	N40°18'58"W	179.66ft
L39	N65°17'40"E	65.22ft
L40	S39°08'26"E	71.94ft
L41	N20°55'19"W	285.83ft
L42	N22°45'51"E	142.17ft
L43	N21°04'57"W	140.17ft
L44	S64°30'16"W	144.50ft
L45	N16°13'35"W	134.17ft
L46	N12°39'20"W	23.91ft

LEGEND:
□ = 1/2" Iron Pipe Fnd.
○ = 1/2" Rebar Set
▲ = Conc. Monument Fnd.

A Minor Subdivision Map of a 34.93 Acre Parcel of Land, into Parcels A & B, situated in Sections 13 & 43, T-6-S, R-11-E, St. Tammany Parish, Louisiana

Reference: A Survey Plat by John Bonnaeu, Dated 9-07-1997, #97536

The P.O.B. is described as being N89°06'56"E-60.0'; S00°32'35"E-933.31'; N89°06'56"E-1200.84'; S55°59'56"E-75.02'; S49°26'58"E-116.63'; S04°53'43"W-115.31'; S09°13'55"W-16.53'; S31°32'28"W-45.52'; S63°26'47"W-16.52'; S49°51'42"E-671.51'; N37°41'42"E-886.73'; from the Section Corner common to Sections 11, 12, 13 & 14, T-6-S, R-11-E, St. Tammany Parish, Louisiana

FINAL APPROVAL

DIR. DEPT. OF ENGINEERING

SECRETARY PLANNING COMM.

CLERK OF COURT

DATE

FILE NO.

EXCERPTS SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE. SERVANTS OF THE RECORD AS SHOWN ON TITLE OR TITLE POLICY. THE UNDERSIGNED HAS REVIEWED HERETO UPON OR TITLE SEARCH. THE UNDERSIGNED HAS ATTEMPTED TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED FEATURES.

THIS MAP IS IN ACCORDANCE WITH THE STANDARD DETAILED RECORDS PURSUANT TO THE ACCURACY STANDARDS OF SURVEY AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN L&O 461-LAI.

THIS MAP IS IN ACCORDANCE WITH THE STANDARD OF PRACTICE CITED IN L&O 461-LAI.

BRUCE M. BUTLER III
LA PROFESSIONAL LAND SURVEYOR
LIC. NO. 4894

LS Land Surveying, LLC
518 N. Columbia Street
Covington, LA 70433
(985) 842-6211 office (985) 848-0355 fax

MAP PREPARED FOR
MARK CHATRY

SCALE: 1" = 300'
DATE: 4-5-2017
DRAWN BY: JWG

Sections 13 & 43, T6S-R11E, St. Tammany Parish, La.

DRAWN NUMBER
17935

Ter3/MarkChantry/Presb

MINOR SUBDIVISION STAFF ANALYSIS REPORT
(As of October 3, 2017)

CASE NO.: 2017-795-MSP

OWNER/DEVELOPER:

ENGINEER/SURVEYOR: John G. Cummings and Associates

SECTION: 13

WARD: 8

TOWNSHIP: 9 South

PARISH COUNCIL DISTRICT: 13

RANGE: 14 East

TYPE OF DEVELOPMENT: x SUBURBAN (Residential acreage between 1-5 acres)
 RURAL (Low density residential 5 acres or more)
 OTHER (PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: The property is located at the far western end of Smith Road and south of U.S. Highway 90, south of Slidell, Louisiana.

SURROUNDING LAND USES: Single family residential

TOTAL ACRES IN DEVELOPMENT: 2.121

NUMBER OF LOTS/PARCELS: 2 TYPICAL LOT SIZE: 1 acre

ZONING: A-3 Suburban

REASONS FOR PUBLIC HEARING: Proposed Parcel B does not meet the minimum 100' public road frontage for the A-3 Suburban zoning district.

STAFF COMMENTARY:

Department of Development - Planning

The owner is proposing to create two (2) parcels from a 2.121 acre parent parcel.

However, since the minimum public road frontage of 100' is not being met for proposed Parcel B, if the commission decides to approve this request, a waiver of the regulations are required relative to the lot width issue, and a 2/3rds majority vote of the full membership of the commission (8 members) is needed in order to approve pursuant to Section 40-100.0 Waiver of Regulations, of Subdivision Regulatory Ordinance No. 499.

The staff has no objection to the proposed minor subdivision request subject to the waiver being granted.

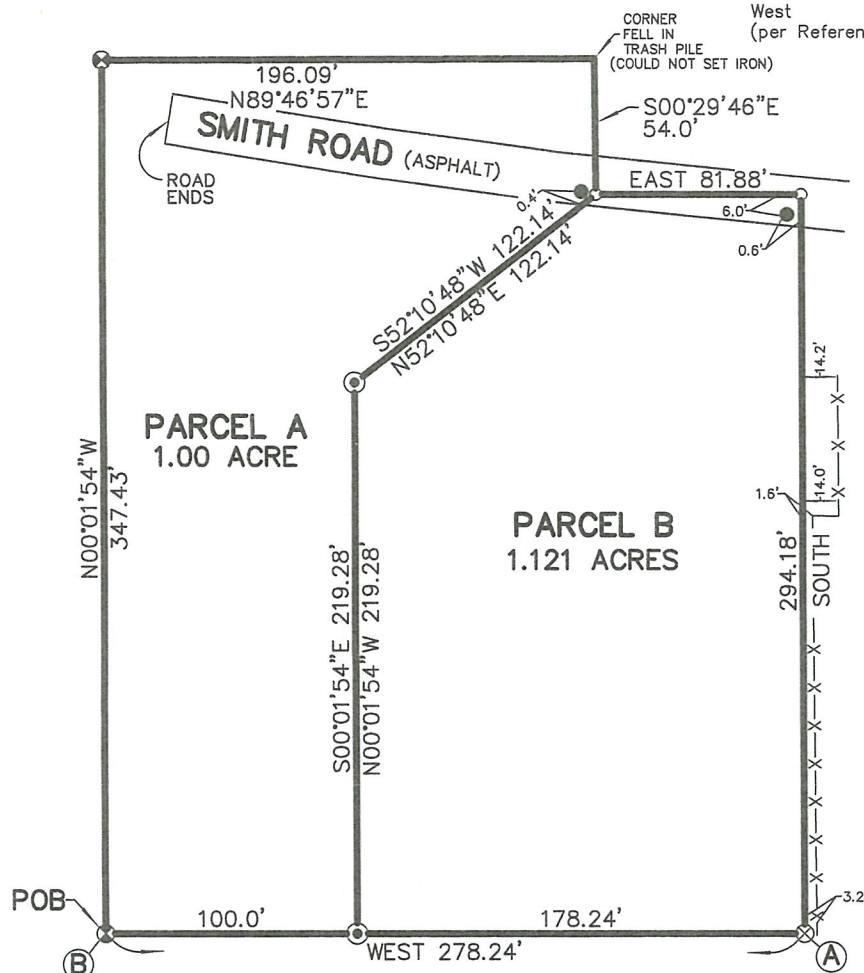
Department of Engineering

None

REFERENCE SURVEY:

Survey for Elton L. Archie by Ivan M. Borgen,
Surveyor, dated May 4, 1984.

REFERENCE BEARING:
Iron Rod A to Iron Rod B
West
(per Reference Survey)



LEGEND

- = MAGNETIC SIGNAL FOUND UNDER ASPHALT
- ⊗ = 5/8" IRON ROD FOUND
- ⊗ = 1/2" IRON ROD FOUND
- = MAG NAIL SET
- ⊗ = 1/2" IRON ROD SET
- X- = FENCE
- RS = REFERENCE SURVEY

POB is reported to be North 641.82' from the
SW 1/4 of the NE 1/4 of Sec. 13, T9S, R14E.

APPROVAL:

A MINOR SUBDIVISION OF 2.121 ACRES INTO PARCELS A &
B, LOCATED IN SECTION 13, TOWNSHIP 9 SOUTH, RANGE 14
EAST, ST. TAMMANY PARISH, LOUISIANA.

NOTES:

1. This property is located in Flood Zone C,
per F.E.M.A. Map No. 225205 0440 C, dated
April 21, 1999.

2. Improvements not shown, per request of owner.

THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND/OR
RESTRICTIONS HAVE BEEN SHOWN HEREON. ANY SERVITUDES AND/OR
RESTRICTIONS SHOWN ON THIS PLAT ARE LIMITED TO THOSE SET FORTH
IN THE DESCRIPTION AND/OR INFORMATION FURNISHED THE UNDERSIGNED.
A TITLE OR PUBLIC RECORD SEARCH FOR SUCH INFORMATION WAS NOT MADE
BY THE UNDERSIGNED IN COMPILING DATA FOR THIS SURVEY.

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

SECRETARY OF THE PARISH PLANNING COMMISSION

CLERK OF COURT

DATE FILED

FILE NO.

(985) 892-1549

John G. Cummings and Associates
PROFESSIONAL LAND SURVEYORS

FAX (985) 892-9250

503 N. JEFFERSON AVENUE

COVINGTON, LA 70433

PLAT PREPARED FOR: **Alphonse Collins**

SHOWING A SURVEY OF: A MINOR SUBDIVISION OF 2.121 ACRES INTO PARCELS
A & B, LOCATED IN SECTION 13, TOWNSHIP 9 SOUTH,
RANGE 14 EAST, ST. TAMMANY PARISH, LOUISIANA.

THIS PLAT REPRESENTS A PHYSICAL SURVEY MADE ON
THE GROUND BY ME, OR THOSE UNDER MY DIRECTION,
AND IS IN ACCORDANCE WITH THE APPLICABLE
STANDARDS OF PRACTICE AND BEARS A CLASS C
SURVEY.

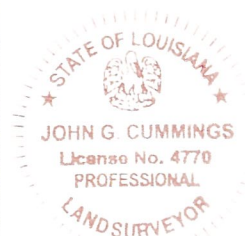
PROFESSIONAL LAND SURVEYOR

SCALE: 1" = 60'

JOB NO. 17208

DATE: 7-28-2017

REVISED: 9-11-2017



PRELIMINARY
SUBDIVISION
REVIEW

PRELIMINARY SUBDIVISION STAFF ANALYSIS REPORT
(As of October 3, 2017)

CASE NO.: 2017-680-PP

SUBDIVISION NAME: Whispering Forest (Resubmitted)

DEVELOPER: Bob Hesson
12090 Joiner-Wymner Road
Covington, LA 70433

ENGINEER/SURVEYOR: Arrow Engineering & Consulting/John C. Cummings & Associates

SECTION: 33

WARD: 1

TOWNSHIP: 6 South

PARISH COUNCIL DISTRICT: 3

RANGE: 10 East

TYPE OF DEVELOPMENT: ☒ URBAN (Residential lots less than 1 acre)
☐ SUBURBAN (Residential lots between 1-5 acres)
☐ RURAL (Residential Farm Tract lots 5 acres plus)
☐ OTHER (Multi family, commercial or industrial)

GENERAL LOCATION: On the west side of Joiner-Wymer Road west of LA 1077 and west of Covington, LA

TOTAL ACRES IN DEVELOPMENT OR PHASE: 8.98

NUMBER OF LOTS: 13

AVERAGE LOT SIZE: 0.45 Acres

SEWER AND WATER SYSTEMS: Community

PROPOSED OR EXISTING ZONING: A-3

FLOOD ZONE DESIGNATION: "A"

TENTATIVE APPROVAL GRANTED: October 13, 2015

STAFF COMMENTARY:

Department of Development – Engineering

Preliminary plans and Hydrologic Study have been reviewed by this office and an inspection of the site was made. The following comments must be addressed before a work order will be issued:

General Comment:

1. Provide all applicable state, local, and federal permits for Whispering Forest.
2. Provide written approval of the plans from the utility provider.

3. A waiver is required for the entrance of the subdivision. The developer has proposed to use a 60ft wide ROW at the entrance instead of the required 80ft boulevard entrance. Staff has no objection to this proposal due to the layout of the entrance and the width of the existing ROW along Joiner Wymer Rd. Additionally the developer has proposed to relocate his existing drive at the entrance to a location within the subdivision to further improve the safety of this intersection.

Preliminary Plat:

4. The drainage servitude between lots 4-9 needs to be added to the plat.
5. Include in the dedication statement or the restrictive covenants a note stating that St. Tammany Parish is to maintain all signage for the subdivision.
6. Revise the "60' R.O.W. Typical Section" so that the property lines and ROW lines are at the same location. Also include the water and sewer lines in the correct locations.
7. Item # 1 on the "60' R.O.W. Typical Section" is not labeled.

Paving & Drainage Plan:

8. Provide a cross-section for the drainage servitude between lots 4-9 to indicate which lots will have the 15' working area & which lots will have the 5' area.

Sewer & Water:

9. Verify that the sewer force main extension along Joiner Wymer Rd is located completely within Parish ROW or a utility servitude.
10. Provide a detail and cross section showing how the sewer force main will be installed at the crossing of Bedico Creek.

SWPPP:

11. Delete the lot sizes from the SWPP Plan.

A funded Maintenance Obligation in the amount of \$10,000 is required in accordance with Subdivision Ordinance #499; Section 40.061.08 funded letters of credit for existing Parish roads to ensure the repair of any damage to the Parish roads resulting from construction in connection with the subdivision.

An additional Maintenance Obligation in the amount of 1,888 linear feet at \$5.00 per linear foot and 1 jack and bore at \$5,000 per bore = \$14,500 is required for the construction of the water and sewer lines within the Joiner Wymer Road right-of-way to ensure the repair of any damage to the Parish roads from construction activity in connection with the installation of the water and sewer lines.

Public Works will also require a maintenance obligation before a land clearing permit is issued. The amount of this obligation will be established by Public Works upon review of the land clearing permit.

Mandatory Development fees will be required at Final Submittal in accordance with Ordinance Number 04-0990 since no public hearing was held prior to January 1, 2005.

Revised drawings will not be accepted prior to the October 10, 2017 Planning Commission meeting to ensure that any additional comments established at the meeting can be incorporated into the revised plans.

Development – Planning

None

PRELIMINARY SUBDIVISION STAFF ANALYSIS REPORT
(As of October 3, 2017)

CASE NO.: 2017-774-PP

SUBDIVISION NAME: Arundel

DEVELOPER: Wing 21, L.L.C.
123 Tchefuncte Park Drive
Madisonville, LA 70447

ENGINEER/SURVEYOR: Kelly McHugh and Associates

SECTION: 15
TOWNSHIP: 7 South
RANGE: 10 East

WARD: 1
PARISH COUNCIL DISTRICT: 1

TYPE OF DEVELOPMENT: X URBAN (Residential lots less than 1 acre)
 SUBURBAN (Residential lots between 1-5 acres)
 RURAL (Residential Farm Tract lots 5 acres plus)
 OTHER (Multi family, commercial or industrial) PUD

GENERAL LOCATION: Main entrance is off Brewster Road, east of Dummy Line Road and north of Madisonville.

TOTAL ACRES IN DEVELOPMENT OR PHASE: 16.7686

NUMBER OF LOTS: 25 AVERAGE LOT SIZE: Varies

SEWER AND WATER SYSTEMS: Central

PROPOSED OR EXISTING ZONING: A4

FLOOD ZONE DESIGNATION: "A" & "C"

STAFF COMMENTARY:

Department of Development – Engineering

Preliminary plans and Hydrologic Study have been reviewed by this office and an inspection of the site was made. The following comments must be addressed before a work order will be issued:

General Comment:

1. Provide all applicable state, local, and federal permits for Arundel.
2. Provide written approval of the plans from the utility provider.
3. Provide proof of the revocation of Oak Lane.

Preliminary Plat:

4. Add the agreed upon note to the plans defining the buffers for Black River.
5. Revise the label for the 5ft drainage servitude on lot 25. This servitude is not private.

Paving & Drainage Plan:

6. Cross-section B-B is not shown on the paving & drainage plan, provide this cross-section.
7. Provide grades at the property corners for the drainage servitude behind lots 22-24 to show positive flow.
8. Remove drainage arrow from lot #13 showing the lot drainage to the south.

Sewer & Water:

9. Revise the buffer call-out for Black River to be consistent with the call-out on the Preliminary Plat.
10. Cross-section C-C does not show the north side of Brewster Rd. where the proposed sewer lines are to be placed. Provide a cross-section of Brewster Road showing the location of the required sewer infrastructure within the road ROW.
11. ROW on the north side of Brewster Rd. is labeled "apparent." Additional survey in this area is required to locate the actual ROW line.

SWPPP:

12. The construction entrance detail and call-out show different required widths. Revise to eliminate this conflict. Also, provide the required depth for the stabilized construction entrance.

A funded Maintenance Obligation in the amount of \$10,000.00 is required in accordance with Subdivision Ordinance No. 499; Section 40.061.08 funded letters of credit for existing Parish roads to ensure the repair of any damage to the Parish roads resulting from construction in connection with the subdivision.

An additional Maintenance Obligation in the amount of 876 linear feet at \$5.00 per linear foot and 2 jack and bores at \$5,000 per bore = \$14,400 is required for the construction of the water and sewer lines within the Brewster Road right-of-way to ensure the repair of any damage to the Parish roads from construction activity in connection with the installation of the water and sewer lines.

Public Works will also require a maintenance obligation before a land clearing permit is issued. The amount of this obligation will be established by Public Works upon review of the land clearing permit.

Mandatory Developmental Fees will be required at the Final Submittal in accordance with Ordinance No. 04-0990 since no Public Hearing was held prior to January 1, 2005.

Revised drawings will not be accepted prior to the October 10, 2017 Planning Commission meeting to ensure that any additional comments established at the meeting can be incorporated into the revised plans.

OLD BUSINESS

Ron Keller

From: Kristen O'Keefe <okeefe7@me.com>
Sent: Thursday, September 28, 2017 1:50 PM
To: Ron Keller
Subject: Cazaubon - Old Business

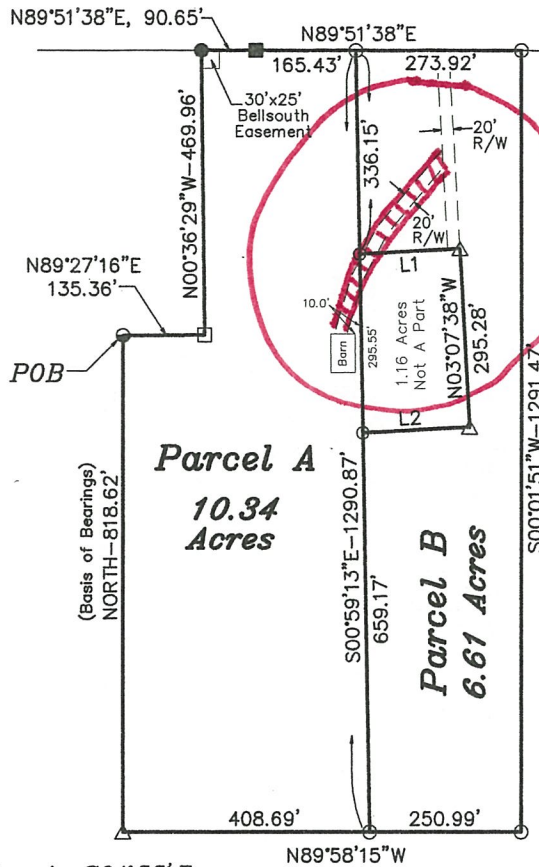
Good Afternoon,
Thank you for educating us on the steps necessary to record the driveway usage.

Will you please accept this request as my formal request to be put on the October 10th agenda under old business?

I greatly appreciate everything,
Kristen O'Keefe

Sent from my iPhone

La. Hwy. 1078



Line Table:
 L1=S86°51'00"W-165.99'
 L2=N86°49'58"E-177.02'

Reference Survey:
 Survey prepared by Land
 Surveying, Inc. dated
 Aug. 14, 1979 revised
 Oct. 18, 1979 Survey No.
 1785 (Basis of Bearings)

Point of Beginning is S01°55'E,
 1864.47' from the 1/4 Corner common
 to Section 3 T6S R10E and Section
 34 T5S R10E, St. Tammany Parish,
 Louisiana

Building setback lines should
 be determined by owner or
 contractor prior to any
 construction

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE.
 SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY
 WILL BE ADDED HERETO UPON REQUEST AS THE UNDERSIGNED HAS
 PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS
 MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED
 PEDESTALS.
 THIS MAP IS IN ACCORDANCE WITH THE STANDARD DETAILED
 REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A "D" SURVEY
 AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46: LXI.
 THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE
 GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED.

Legend:
 ○ 1/2" Rebar Set
 ● 1/2" Rebar Found
 ● 3/4" Rebar Found
 △ 5/8" Rebar Found
 □ 1/2" Iron Pipe Found
 ■ Concrete Hwy. Monument

AN AMENDMENT TO A MINOR
 SUBDIVISION OF PROPERTY
 DEPICTING THE ADDITION OF
 A PRIVATE DRIVE EXTENDING
 TO PARCEL (A) LOCATED IN
 SECTION 3 TOWNSHIP
 6 SOUTH RANGE 10 EAST
 INTO PARCELS A AND B,
 ST. TAMMANY PARISH,
 LOUISIANA FOR GARY
 CAZAUBON, et al

FILED FOR RECORD:

CHAIRMAN, PLANNING COMM.

DIR. DEPT. OF ENGINEERING

SECRETARY PLANNING COMM.

CLERK OF COURT

DATE

FILE NO.

BRUCE M. BUTLER, III
 L.A. PROFESSIONAL LAND SURVEYOR
 LICENSE NO. 4894

Land Surveying, LLC
 518 N. Columbia Street
 Covington, LA 70433
 (985) 892-6277 office (985) 898-0355 fax

SCALE: 1" = 250' DATE: Sept. 8, 2014

NUMBER: 16478

Revised: 5-01-2017 (Par. A & B Ac.), 9-30-2017 (Amend. R/W)

Terr3/KristinFussellResub22017



ST. TAMMANY PARISH

PATRICIA P. BRISTER
PARISH PRESIDENT

October 3, 2017

St. Tammany Parish Planning Commission
P. O. Box 628
Covington, LA 70434

OLD BUSINESS
October 10, 2017 Agenda

Re: Spring Haven Subdivision, Phase 2

Honorable Commissioners:

Spring Haven Subdivision, Phase 2 was approved with a cul-de-sac at the western end of Sweet Clover Way.

The developer is now requesting that the cul-de-sac be converted to a "T" turnaround to accommodate a revision to the off-site drainage channel that flows through the subdivision, see drawing dated September 11, 2017 attached.

The Department of Development – Engineering has no objection to this change.

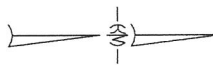
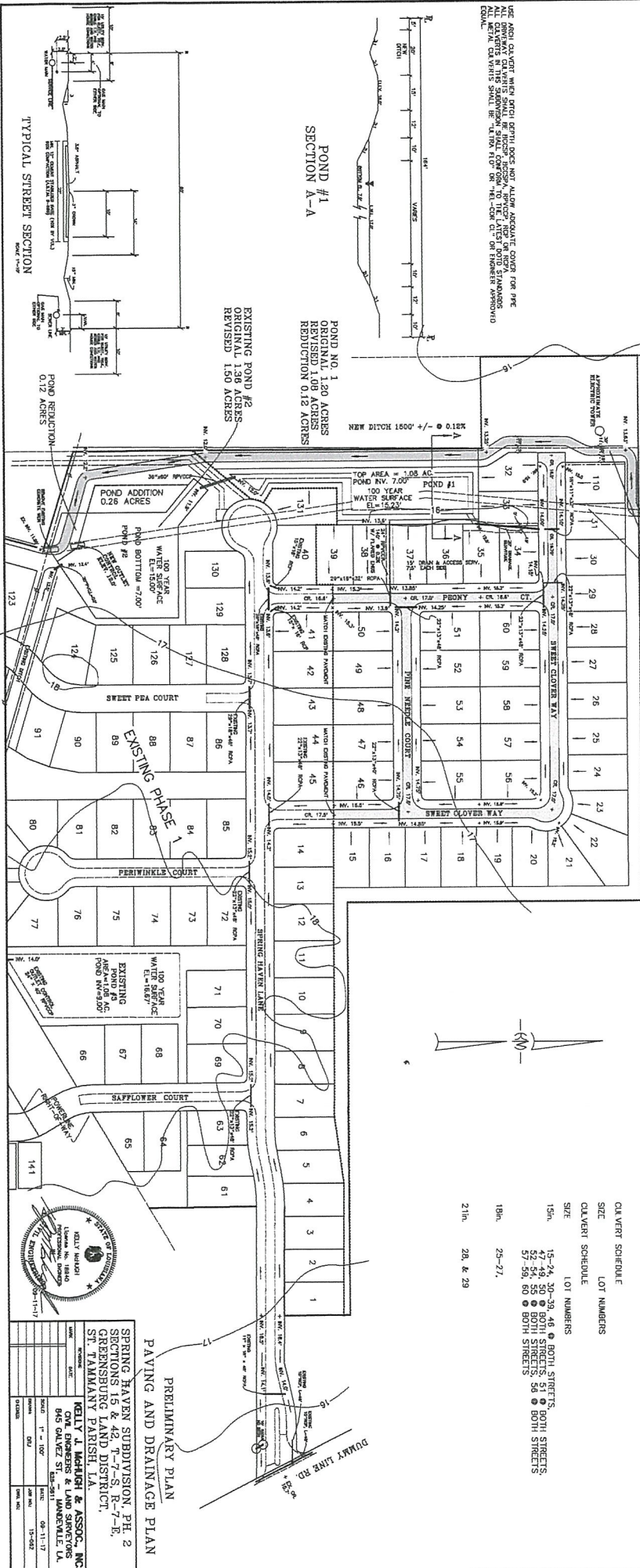
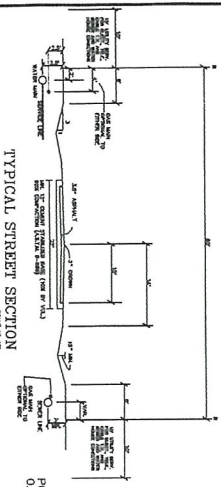
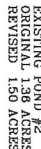
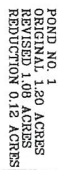
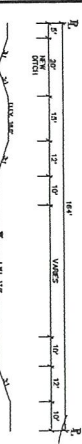
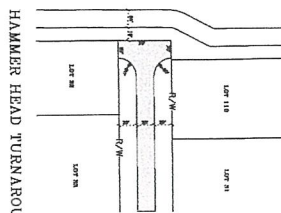
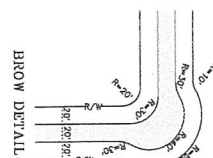
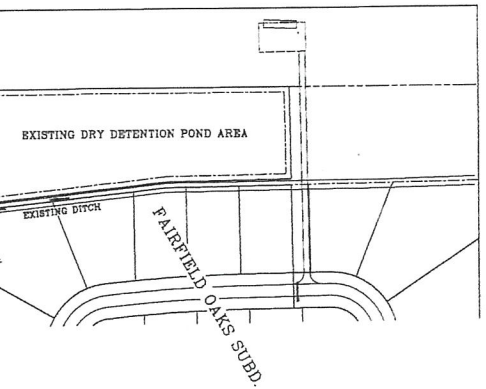
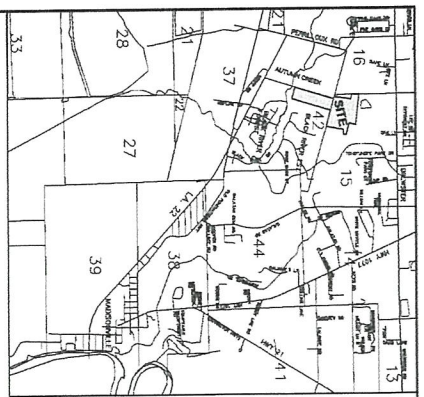
Sincerely,



Jay B. Watson, P.E.
Lead Development Engineer

*Enclosed: Drawing dated September 11, 2017
Request from Mr. Kelly McHugh*

xc:	Honorable Marty Dean	Mr. Mike Noto
	Mr. Sidney Fontenot	Ms. Donna O'Dell, P.E., PhD
	Ms. Erin Stair	Mr. Theodore Reynolds, E.I.
	Mr. Earl J. Wagner, P.E., P.L.S.	Mr. Donald Jenkins
	Mr. Ron Keller	Kelly McHugh and Associates



CALVERT	SCHEDULE F
SIZE	LOT NUMBERS
15in.	15-24 ● BOTH STREETS 25-30 ● BOTH STREETS 31-47 ● BOTH STREETS 52-54 ● BOTH STREETS 57-59, 60 ● BOTH STREETS
18in.	25-27,
21in.	28 & 29



DATE	10/11/17
TIME	1:00
LOCATION	045 COWEN & LAND SERVICES 645 DAVENPORT BLVD SUITE 100 DALLAS, TX 75248-1117
DATE	06-11-17
TIME	1:00
LOCATION	045 COWEN & LAND SERVICES 645 DAVENPORT BLVD SUITE 100 DALLAS, TX 75248-1117

Shelby R. Vorenkamp - Development

From: Kelly McHugh <kjm@kellymchugh.com>
Sent: Monday, September 25, 2017 12:02 PM
To: Jay Watson
Cc: Shelby R. Vorenkamp - Development; 'Donald R. Jenkins'; 'Buddy Coate'; 'Paul Maronne'
Subject: RE: Spring Haven , Phase 2pau

Jay,

Please accept this e-mail as a request to place the "T" turnaround in lieu of a cul de sac to be placed on the Oct 10 Planning commission under ".Old Business"

Kelly McHugh

Kelly McHugh & Associates, Inc.

845 Galvez Street
Mandeville, LA 70448
985-626-5611

From: Jay Watson [mailto:jwatson@stpgov.org]
Sent: Thursday, September 21, 2017 3:56 PM
To: Kelly McHugh
Cc: Sidney Fontenot; Erin Stair; Shelby R. Vorenkamp - Development; Donna S. O'Dell; 'Donald R. Jenkins'
Subject: Spring Haven , Phase 2

Kelly,

With regard to the "T" turnaround in lieu of the cul-de-sac, it will be necessary that we receive a request for this item to be placed on the October 10, 2017 Planning Commission meeting under "OLD BUSINESS."

Let me know if you have any questions.

Thanks,



Jay B. Watson, P.E.

Lead Development Engineer
Department of Planning and Development
St. Tammany Parish Government
21490 Koop Drive, Mandeville, LA 70471
p: 985.809.7448 e: jwatson@stpgov.org
www.stpgov.org

Any e-mail may be construed as a public document, and may be subject to a public records request. The contents of this e-mail reflect the opinion of the writer, and are not necessarily the opinion or policy of St. Tammany Parish Government.

NEW BUSINESS

ST. TAMMANY PARISH COUNCIL

ORDINANCE

ORDINANCE CALENDAR NO: 5849AA

ORDINANCE COUNCIL SERIES NO: _____

COUNCIL SPONSOR: STEFANCIK

PROVIDED BY: COUNCIL ATTORNEYS

INTRODUCED BY: MR. TANNER

SECONDED BY: MR. GROBY

ON THE 3 DAY OF AUGUST, 2017

AN ORDINANCE ADOPTING AND ENACTING A NEW 2017 CODE OF ORDINANCES OF ST. TAMMANY PARISH, LOUISIANA; PROVIDING FOR THE REPEAL OF CERTAIN PROVISIONS NOT INCLUDED THEREIN; PROVIDING PENALTIES FOR THE VIOLATION THEREOF; PROVIDING FOR THE MANNER OF AMENDING SUCH CODE; AND PROVIDING WHEN SUCH CODE AND THIS ORDINANCE SHALL BECOME EFFECTIVE.

WHEREAS, in order to provide transparent and user friendly access to the laws and codes of St. Tammany Parish Government, including the Charter, Code of Ordinances and appendixes thereto, St. Tammany Parish Government partnered with Municipal Code Corporation (Municode) to reformat and organize the 1998 Code of Ordinances of St. Tammany Parish, As Amended; and

WHEREAS, by partnering with Municode, the Charter, Code of Ordinances and its appendixes will be available online in a searchable, user friendly format making access to the laws of St. Tammany Parish Government easier for the public, Parish employees and outside agencies; and

WHEREAS, no substantive changes were made to the Code of Ordinances beyond those required to eliminate conflicts within itself, correct references to the prior Police Jury form of government where appropriate, and formatting and organizational changes making the Code of Ordinances and appendixes more user friendly, intuitive and appropriate for an online database.

THE PARISH OF ST. TAMMANY HEREBY ORDAINS:

Section 1. The Code entitled the "Code of General Ordinances of St. Tammany Parish, Louisiana," published by Municipal Code Corporation, consisting of chapters 1 through 130, each inclusive, is adopted.

Section 2. All ordinances of a general and permanent nature enacted on or before this adoption date and not included in this Code or recognized and continued in force by reference therein, are repealed save and except that the 1998 St. Tammany Parish Code of Ordinances and its Appendices, including but not limited to Subdivision Regulations Ordinance 499 and the Unified Development Code, amended through March 2017 and currently published on the St. Tammany Parish Government website, which shall remain in effect as to the intent of the law unless specifically repealed. Ordinances enacted after March 2017 but prior to the adoption of this ordinance do not appear in the attached new code but remain adopted and enacted as if contained herein, and will appear in the first supplement to the new code.

Section 3. The repeal provided for in section 2 hereof shall not be construed to revive any ordinance or part thereof that has been repealed by an ordinance that is repealed by this ordinance.

Section 4. Unless another penalty is expressly provided, every person convicted of a violation of any provision of the Code or any ordinance, rule or regulation adopted or issued in pursuance thereof shall be punished by a misdemeanor punishable by a term of imprisonment of up to 30 days in the Parish Jail or a fine of not less than \$ 300.00 nor more than \$ 500.00 or both. Each act of violation and each day upon which any such violation shall continue or occur shall constitute a separate offense. The penalty provided by this section, unless another penalty is expressly provided, shall apply to the amendment of any Code section, whether or not such penalty is reenacted in the amendatory ordinance. In addition to the penalty prescribed above, the Parish may pursue other remedies such as abatement of nuisances, injunctive relief and revocation of licenses or permits.

Section 5. Additions or amendments to this Code when passed in such form as to indicate the intention of the Parish to make the same a part of this Code shall be deemed to be incorporated in the Code, so that reference to the Code includes the additions and amendments.

Section 6. Ordinances adopted after this adoption date that amend or refer to ordinances that have been codified in this Code shall be construed as if they amend or refer to like provisions of the Code.

REPEAL: All ordinances or parts of Ordinances in conflict herewith are hereby repealed.

SEVERABILITY: If any provision of this Ordinance shall be held to be invalid, such invalidity shall not affect other provisions herein which can be given effect without the invalid provision and to this end the provisions of this Ordinance are hereby declared to be severable.

EFFECTIVE DATE: This Ordinance shall become effective fifteen (15) days after adoption.

MOVED FOR ADOPTION BY: _____ SECONDED BY: _____

WHEREUPON THIS ORDINANCE WAS SUBMITTED TO A VOTE AND RESULTED IN THE FOLLOWING:

YEAS: _____

NAYS: _____

ABSTAIN: _____

ABSENT: _____

THIS ORDINANCE WAS DECLARED DULY ADOPTED AT A REGULAR MEETING OF THE PARISH COUNCIL ON THE 7 DAY OF SEPTEMBER, 2017; AND BECOMES ORDINANCE COUNCIL SERIES NO _____.

STEVE STEFANCIK, COUNCIL CHAIRMAN

ATTEST:

THERESA L. FORD, COUNCIL CLERK

PATRICIA P. BRISTER, PARISH PRESIDENT

Published Introduction: JULY 26, 2017

Published Adoption: _____, 2017

Delivered to Parish President: _____, 2017 at _____

Returned to Council Clerk: _____, 2017 at _____