

AGENDA
ST. TAMMANY PARISH ZONING COMMISSION MEETING
6:00 P.M. –TUESDAY, JANUARY 9, 2018
ST. TAMMANY PARISH ADMINISTRATIVE COMPLEX, COUNCIL CHAMBERS
KOOP DRIVE OFF OF HIGHWAY 59, MANDEVILLE, LOUISIANA

ROLL CALL

CALL TO ORDER

ANNOUNCEMENTS

- **Phones and Pagers**
- **Appeals**
- **Speaker Cards**
- **Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal**
- **Please exit the building**

INVOCATION

PLEDGE OF ALLEGIANCE

ELECTION OF OFFICERS

APPROVAL OF THE DECEMBER 5, 2017 MINUTES

POSTPONING OF CASES

PUBLIC HEARINGS

APPEARERS

ZONING CHANGE REQUEST CASES - APPLICATIONS FOR A PROPOSED CHANGE OF ZONING DISTRICT OR AMENDMENTS TO THE LAND USE ORDINANCE REQUIRING REVIEW & RECOMMENDATION OF APPROVAL BY THE ZONING COMMISSION BEFORE ACTION BY THE PARISH COUNCIL ARE AS FOLLOWS:

1. **2017-782-ZC**
 EXISTING ZONING: A-3 (Suburban District)
 PROPOSED ZONING: A-3 (Suburban District) & MHO (Manufactured Housing Overlay)
 LOCATION: Parcel located on the north side of Sisters Road, west of
 Carroll Road, S38, T9S, R14E, Ward 9, District 12.
 ACRES: 9300 sq. ft.
 PETITIONER: Erich Fuest
 OWNER: Tamland Investments, Inc - James A. Lindsay
 COUNCIL DISTRICT: 12

2. **2017-835-ZC**
 EXISTING ZONING: A-6 (Multiple Family Residential District)
 PROPOSED ZONING: A-4A (Single-Family Residential District)
 LOCATION: Parcel located on the north side of Lakeview Drive, being lot 52A1,
 Eden Isles, Unit 2A & 226 Lakeview Drive, Slidell, S32, T9S, R14E,
 Ward 9, District 13.
 PETITIONER: James & Tammy Burns
 OWNER: James & Tammy Burns
 COUNCIL DISTRICT: 13

KOOP DRIVE OFF OF HIGHWAY 59, MANDEVILLE, LOUISIANA

3. **2017-845-ZC**
Text Change: An Ordinance amending the Unified Development Code – Volume I, (Zoning) relative to the definition and establishment of reception venues within unincorporated St. Tammany Parish.

 4. **2017-848-ZC**
EXISTING ZONING: A-1 (Suburban District)
PROPOSED ZONING: A-1 (Suburban District) & MHO (Manufactured Housing Overlay)
LOCATION: Parcel located on the south side of Philebar Road & Bennett Bridge Road, S29 & 30, T5S, R10E, Ward 2, District 3.

ACRES: 4 acres
PETITIONER: Todd N. Leon
OWNER: Todd N. Leon
COUNCIL DISTRICT: 3

 5. **2017-851-ZC**
EXISTING ZONING: A-2 (Suburban District)
PROPOSED ZONING: A-2 (Suburban District) & MHO (Manufactured Housing Overlay)
LOCATION: Parcel located on the south side of Wilson Road, east of Plantation Street, west of Rangeline Road, being 21312 Wilson Road, Covington, S25, T6S, R11E, Ward 10, District 2.

ACRES: 0.74 acres
PETITIONER: Michael D. Fletcher
OWNER: Michael D. Fletcher
COUNCIL DISTRICT: 2

 6. **2017-852-ZC**
EXISTING ZONING: CB-1 (Community Based Facilities District)
PROPOSED ZONING: MD-2 (Medical Clinic District)
LOCATION: Parcel located at the end of Terra Mariae Blvd, east of LA Highway 1081, S14, T6S, R11E, Ward 3 District 2

ACRES: 2.32 acres
PETITIONER: St. John 1427, LLC - Kenneth Lopiccolo
OWNER: Gary Richardson
COUNCIL DISTRICT: 2

 7. **2017-853-ZC**
EXISTING ZONING: A-4 (Single-Family Residential District) & (PUD Planned Unit Development Overlay)
PROPOSED ZONING: MD-2 (Medical Clinic District)
LOCATION: Parcel located on the east side of LA Highway 1081, south of Smith Road, north of Planche Road, S14, T6S, R11E, Ward 3, District 2

ACRES: 6.78 acres
PETITIONER: Kenneth Lopiccolo
OWNER: Military Road Land Co, LLC - Kenneth Lopiccolo
COUNCIL DISTRICT: 2

 8. **2017-854-ZC**
EXISTING ZONING: A-4 (Single-Family Residential District)
PROPOSED ZONING: A-4 (Single-Family Residential District) & MHO (Manufactured Housing Overlay)
LOCATION: Parcel located on the southeast corner of Gardenia Drive & Nursery Street, being lot 16-A, Square 13, Abita Nursery Subdivision, S36, T6S, R11E, Ward 3, District 2

ACRES: 14,000 sq.ft.
PETITIONER: Clint R. Meche
OWNER: Joe & Ida James
COUNCIL DISTRICT: 2

AGENDA

ST. TAMMANY PARISH ZONING COMMISSION MEETING

6:00 P.M. –TUESDAY, JANUARY 9, 2018

ST. TAMMANY PARISH ADMINISTRATIVE COMPLEX, COUNCIL CHAMBERS

KOOP DRIVE OFF OF HIGHWAY 59, MANDEVILLE, LOUISIANA

9. 2017-855-ZC

EXISTING ZONING: A-2 (Suburban District)
PROPOSED ZONING: HC-2 (Highway Commercial District)
LOCATION: Parcel located on the north side of US Highway 190, west of N. Mill Road, being lots 362 & 363, North Oaklawn Subdivision, S39, T8S, R13E, Ward 7, District 7
ACRES: 9.63 acres
PETITIONER: James "Sonny" Salande
OWNER: Donald I. Geier, Thomas L. Hutchinson & Rebecca Hutchinson
COUNCIL DISTRICT: 7

10. ZC01-11-072

Major Amendment to PUD (Planned Unit Development Overlay)
LOCATION: Parcel located on the north side of Oak Harbor Blvd, east of I-10, being Parcel C-2, Ward 9, District 13
ACRES: 2.19 acres
PETITIONER: Pfeifer Properties, LLC
OWNER: Tammany Holding Corp., et al

11. ZC04-08-067

Major Amendment to PUD (Planned Unit Development Overlay)
LOCATION: Parcel located on the south side of US Highway 190, east of Transmitter Road and west of S. Tranquility Drive, S33, T8S, R13E, Ward 7, District(s) 7 & 11
ACRES: 78.51 acres
PETITIONER: Kelly McHugh
OWNER: J/MAC Development LLC

12. 2016-155-ZC

Major Amendment to PUD (Planned Unit Development Overlay)
LOCATION: Parcel located on the east side of LA Highway 1081, south of Smith Road, S14, T6S, R11E, Ward 3, District 2
ACRES: 71.454 acres
PETITIONER: Paul J. Mayronne
OWNER: Military Road Land CO, LLC - Frank J. Lopiccolo

PLAN REVIEW CASES - APPLICATIONS REQUIRING REVIEW AND APPROVAL OF SITE PLANS ALONG A PLANNED DISTRICT BY THE ZONING COMMISSION ARE AS FOLLOWS:

1. PR17-12-002 - USE: Retail Center

CORRIDOR: Highway 21 Planned Corridor Overlay
ZONING: HC-2 Highway Commercial District
USE SIZE: 54,000 sq. ft.
PETITIONER: Scott M. Gros P.E.
OWNER: JSB Hwy 21 Lots, LLC – John S. Bowers III
LOCATION: Parcel located on the east side of LA Highway 21, south of Azalea Drive; S47, T7S, R11E; Ward 1, District 1

POSTPONED FROM THE 12/5/2017 MEETING

OLD BUSINESS

NEW BUSINESS

ADJOURNMENT

**MINUTES OF THE ST. TAMMANY PARISH ZONING COMMISSION MEETING
6:00 P.M. –TUESDAY, DECEMBER 5, 2017
ST. TAMMANY PARISH ADMINISTRATIVE COMPLEX, COUNCIL CHAMBERS
KOOP DRIVE OFF OF HIGHWAY 59, MANDEVILLE, LOUISIANA**

ROLL CALL

Present: Cazaubon, Lorren, Richard, Willie, Manella, Davis, Doherty, Drumm, Randolph

Absent: Richardson

Staff Present: Helen Lambert, Cara Bartholomew, Tayler Celey, Terry Hand, Karlin Riles

CALL TO ORDER

The regular meeting of the St. Tammany Parish Zoning Commission was called to order by David Mannella.

INVOCATION

The Invocation was presented by Mr. Randolph.

PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was presented by Mrs. Cazaubon.

APPROVAL OF THE NOVEMBER 7, 2017 MINUTES

Randolph moved, second by Davis.

Yea: Cazaubon, Lorren, Richard, Willie, Manella, Davis, Doherty, Drumm,
Randolph

Nay:

Absent: Richardson

POSTPONING OF CASES:

2017-727-ZC

PUBLIC HEARINGS

APPEARERS

ZONING CHANGE REQUEST CASES - APPLICATIONS FOR A PROPOSED CHANGE OF ZONING DISTRICT OR AMENDMENTS TO THE LAND USE ORDINANCE REQUIRING REVIEW & RECOMMENDATION OF APPROVAL BY THE ZONING COMMISSION BEFORE ACTION BY THE PARISH COUNCIL ARE AS FOLLOWS:

1. 2017-727-ZC-Postponed

Existing Zoning:	A-3 (Suburban District) & A-4 (Single Family Residential District)
Proposed Zoning:	A-6 (Multiple Family Residential District)
Acres:	17.69 acres
Petitioner:	Joan Prieto Doolittle, Golden Properties, LLC, The Calla Prieto Trust, Zan Nichols Prieto, Clay Carl Prieto, Roslyn F. Prieto
Owner:	Joan Prieto Doolittle, Golden Properties, LLC, The Calla Prieto Trust, Zan Nichols Prieto, Clay Carl Prieto, Roslyn F. Prieto
Representative:	Paul Mayronne
Location:	Parcel located on the south side of Emerald Forest Blvd, east of Falconer Drive, being lot P-2, S14, T7S, R11E, Ward 3, District 5.
Council District:	5

POSTPONED FROM THE 11/5/2017 MEETING

Doherty moved to postpone to the April 2018, second by Davis.

Yea: Cazaubon, Lorren, Richard, Willie, Manella, Davis, Doherty, Drumm,
Randolph

Nay:

Absent: Richardson

DECEMBER 5, 2017 ZONING COMMISSION MEETING MINUTES, CONT.

2. 2017-786-ZC

Existing Zoning: A-3 (Suburban District)
Proposed Zoning: A-3 (Suburban District) & MHO (Manufactured Housing Overlay)
Acres: 14,609.72 sq.ft.
Petitioner: Council Motion
Owner: George Pichon
Location: Parcel located on the south side of Sycamore Drive, east of 24th Street, S48, T8S, R12E, Ward 7, District 7
Council District: 7

Cazaubon moved to approve, second by Randolph

Yea: Cazaubon, Lorren, Richard, Willie, Manella, Davis, Doherty, Drumm, Randolph

Nay:

Absent: Richardson

3. 2017-805-ZC

Existing Zoning: A-1 (Suburban District) , RO (Rural Overlay) & MHO (Manufactured Housing Overlay)
Proposed Zoning: A-2 (Suburban District), RO (Rural Overlay) & MHO (Manufactured Housing Overlay)
Acres: 2.99 acres
Petitioner: Colin & Eva Shonti Vial
Owner: Colin & Eva Shonti Vial
Location: Parcel located at the end of J Lane, west of LA Highway 40, S13, T5S, R11E, Ward 2, District 6
Council District: 6

Cazaubon moved to approve, second by Willie

Yea: Cazaubon, Willie, Manella, Davis, Doherty, Drumm, Randolph

Nay: Lorren and Richard

Absent: Richardson

4. 2017-827-ZC

Existing Zoning: A-1A (Suburban District)
Proposed Zoning: A-2 (Suburban District)
Acres: 3.1 acres
Petitioner: Jimmy R. Rogers Jr. & Denise Hurstell
Owner: Jimmy R. Rogers Jr. & Denise Hurstell
Location: Parcel located on the northeast corner of Dove Park Road & Buras Ranch Road, S23, T7S, R11E, Ward 4, District 5.
Council District: 5

Richard moved to deny, second by Lorren

Yea: Cazaubon, Lorren, Richard, Willie, Manella, Davis, Doherty, Drumm, Randolph

Nay: Davis and Randolph

Absent: Richardson

5. 2017-829-ZC

Existing Zoning: NC-4 (Neighborhood Institutional District)
Proposed Zoning: I-1 (Industrial District)
Acres: 1.196 acres
Petitioner: Inferno Customz - Jeffrey Schoen
Owner: B and CP Corporation - Peter Penton
Location: Parcel located on the south side of US Highway 190, on the north side of Susan Street, west of Marc Drive, being 30152 US Highway 190, Lacombe, S33, T8S, R13E, Ward 7, District 7
Council District: 7

DECEMBER 5, 2017 ZONING COMMISSION MEETING MINUTES, CONT.

Randolph moved to approve, second by Lorren.

Yea: Cazaubon, Lorren, Richard, Willie, Manella, Davis, Doherty, Drumm,

Randolph

Nay: Richard

Absent: Richardson

6. 2017-831-ZC

Existing Zoning: A-1 (Suburban District)

Proposed Zoning: A-2 (Suburban District)

Acres: 2.11 acres

Petitioner: David W. & Darlene S. Melton

Owner: David W. & Darlene S. Melton

Location: Parcel located on the east side of Section Road, north of Nelson Road
S21, T5S, R11E, Ward 2, District 6

Council District: 6

Cazaubon moved to approve, second by Willie.

Yea: Cazaubon, Lorren, Richard, Willie, Manella, Davis, Doherty, Drumm,

Randolph

Nay:

Absent: Richardson

7. 2017-832-ZC

Existing Zoning: HC-2 (Highway Commercial District)

Proposed Zoning: A-4A (Single-Family Residential District)

Acres: 6250 sq.ft.

Petitioner: Peggy Newcomb

Owner: Flo-Ron Properties LLC - Randal L. Richmond

Location: Parcel located on the west side of Nellie Drive, north of Shortcut
Highway, south of Alice Avenue, being lot 17, Square 4, Pine Shadow
Subdivision, S11, T9S, R14E, Ward 8, District 12

Council District: 12

Cazaubon moved to approve, second by Willie.

Yea: Cazaubon, Lorren, Richard, Willie, Manella, Davis, Doherty, Drumm,

Randolph

Nay:

Absent: Richardson

**PLAN REVIEW CASES - APPLICATIONS REQUIRING REVIEW AND APPROVAL
OF SITE PLANS ALONG A PLANNED DISTRICT BY THE ZONING COMMISSION
ARE AS FOLLOWS:**

1. PR17-12-002 - USE: Retail Center

CORRIDOR: Highway 21 Planned Corridor Overlay

ZONING: HC-2 Highway Commercial District

USE SIZE: 54,000 sq. ft.

PETITIONER: Scott M. Gros P.E.

OWNER: JSB Hwy 21 Lots, LLC – John S. Bowers III

LOCATION: Parcel located on the east side of LA Highway 21, south of Azalea Drive;
S47, T7S, R11E; Ward 1, District 1

Davis moved to postpone, second by Lorren.

Yea: Cazaubon, Lorren, Richard, Willie, Manella, Davis, Doherty, Drumm,

Randolph

Nay: Cazaubon

Absent: Richardson

DECEMBER 5, 2017 ZONING COMMISSION MEETING MINUTES, CONT.

OLD BUSINESS-None

NEW BUSINESS-None

ADJOURNMENT

ZONING STAFF REPORT

Date: 12/29/2017
Case No.: 2017-782-ZC
Posted:12/21/17

Meeting Date: 1/9/2018
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: Erich Fuest

OWNER: Tamland Investments, Inc - James A. Lindsay

REQUESTED CHANGE: From A-3 Suburban District to A-3 Suburban District & MHO Manufactured Housing Overlay

LOCATION: Parcel located on the north side of Sisters Road, west of Carroll Road ; S38, T9S, R14E; Ward 9, District 12

SIZE: 9,300 sq. ft.

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: Parish **Road Surface:** 2 lane asphalt **Condition:** Good

LAND USE CONSIDERATIONS
SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Undeveloped	A-3 Suburban District
South	Residential	A-3 Suburban District
East	Vacant	A-3 Suburban District
West	Residential	A-3 Suburban District

EXISTING LAND USE:

Existing development: No **Multi occupancy development:** No

COMPREHENSIVE PLAN:
Residential - Areas that provide for dwelling units. Such areas may vary in site design, structure design, and in the density of units per acre. Certain areas such as “village or town residential” may include mixed uses and would have the highest number of units per acre, while “Rural residential” would have the lowest number of units per acre, and may include agricultural or open space uses as well. In between these two types of residential areas would be varying levels of single-family detached dwellings, multi-family attached residential, and planned subdivisions for manufactured homes.

STAFF COMMENTS:
The petitioner is requesting to change the zoning from A-3 Suburban District to A-3 Suburban District & MHO Manufactured Housing Overlay. This site is located on the north side of Sisters Road, west of Carroll Road. The 2025 future land use plan calls for the area to be developed with residential uses including manufactured homes. Staff does not have any objections to the request.

STAFF RECOMMENDATION:
The staff recommends that the request for a MHO Manufactured Housing Overlay designation be approved.

Case No.: 2017-782-ZC

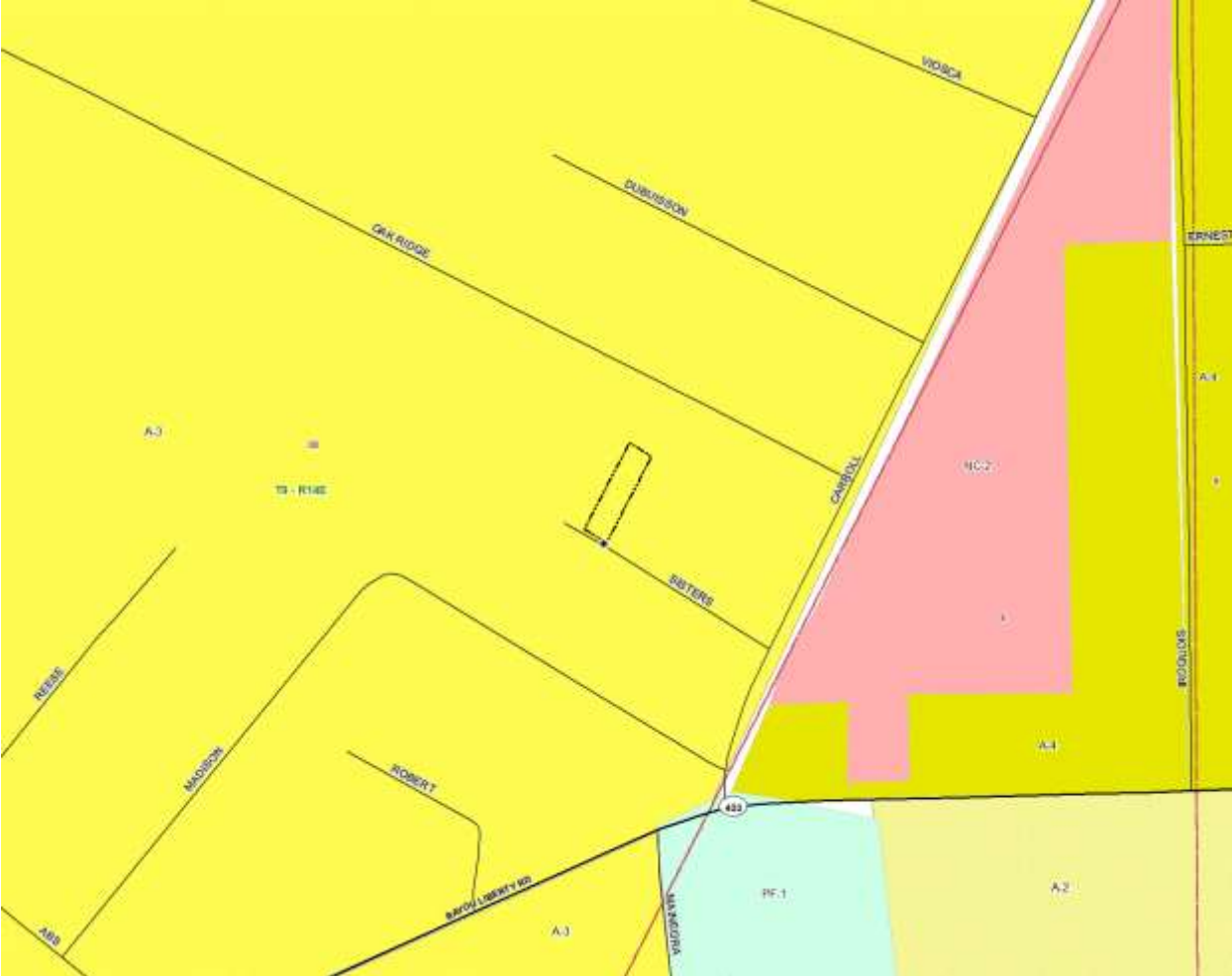
PETITIONER: Erich Fuest

OWNER: Tamland Investments, Inc - James A. Lindsay

REQUESTED CHANGE: From A-3 Suburban District to A-3 Suburban District & MHO Manufactured Housing Overlay

LOCATION: Parcel located on the north side of Sisters Road, west of Carroll Road ; S38, T9S, R14E; Ward 9, District 12

SIZE: 9,300 sq. ft.





2017-782-ZC

2017-782-ZC

Oak ridge

A-3

Sisters

A-2

Madison

Carroll

T9-R14E

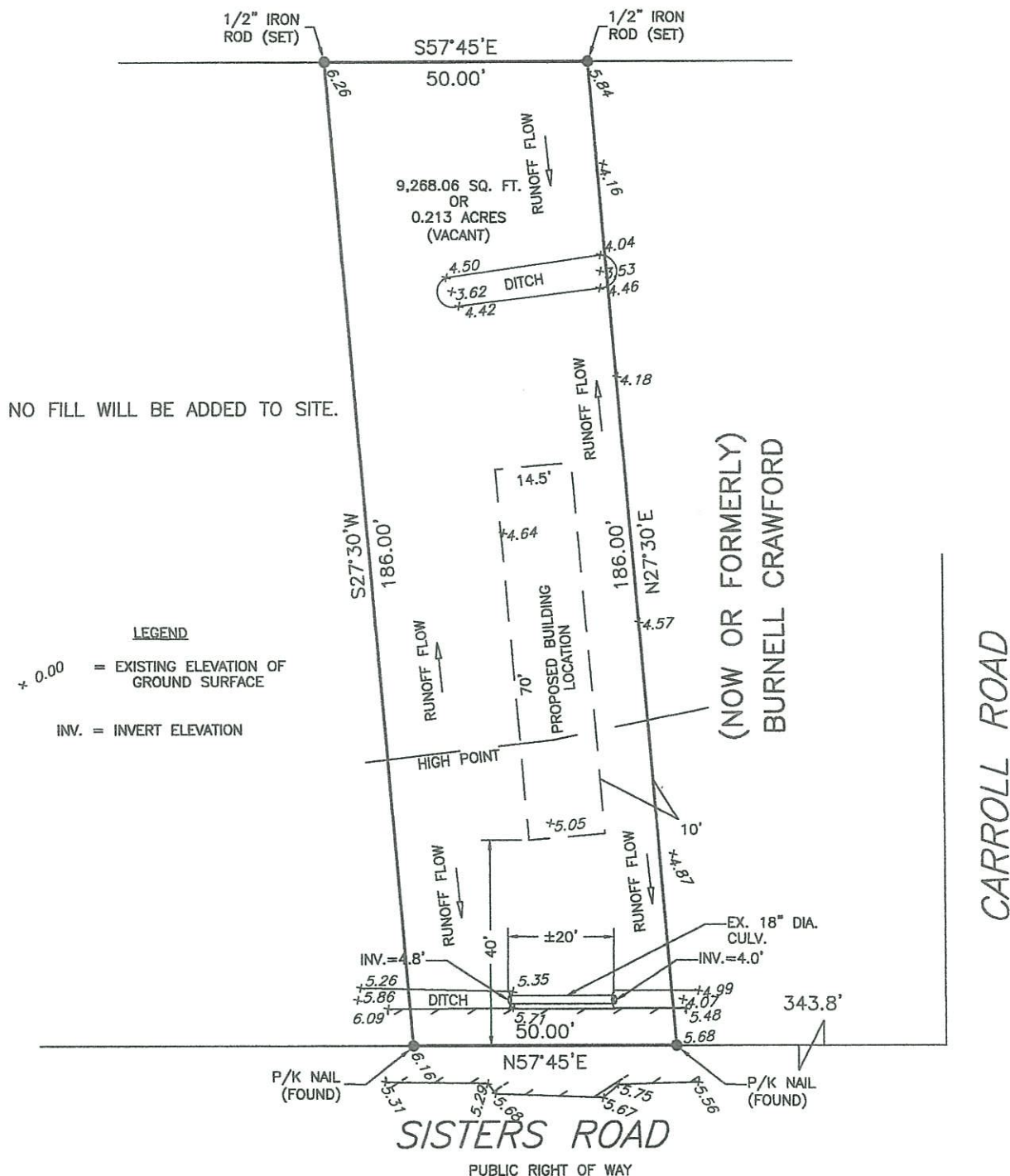
NC-2

A-4

0 125 Feet



SURVEY OF
50'x186' PARCEL
SECTION 38
T9S-R14E
ST. TAMMANY PARISH, LA
SCALE: 1" = 30'



NOTES:

1) THE SERVITUDES SHOWN ON THIS PLAN ARE LIMITED TO THOSE FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES ARE REFLECTED OR SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS PLAN.

2) THE PERIMETER SHOWN SHALL NOT CONSTITUTE A LEGAL OPINION OF TITLE, AND SHALL NOT BE RELIED UPON FOR THAT PURPOSE. THERE IS NO WARRANTY THAT IT CONFORMS TO THE LEGAL TITLE, AND WAS MADE SOLELY ACCORDING TO THE INFORMATION PROVIDED THE SURVEYOR.

3) CERTAIN FEATURES, I.E., FENCES, WALLS, ETC. MAY BE EXAGGERATED IN SCALE FOR CLARITY. DIMENSIONS SHOW ACTUAL LOCATION.

4) ALL FENCE DIMENSIONS ARE MEASURED FROM FACE OF FENCE. FENCE IS ON THE PROPERTY LINE IF NO DIMENSION IS GIVEN.

5) REFERENCES: SUBDIVISION PLAN

6) NORTH BASED ON LOUISIANA STATE PLANE COORDINATES, SOUTH ZONE.

7) MUNICIPAL NUMBER: SISTER ROAD

8) ELEVATION DATUM:

FLOOD_ZONE_DATA:

FLOOD ZONE: A7, ELEVATION 9.2' (INTERPOLATED).
FIRM 225205 0420 E, REVISED APRIL 21, 1999. ST. TAMMANY PARISH,
LOUISIANA (UNINCORPORATED AREAS).

SURVEY MADE AT THE REQUEST OF ERICH FUEST

8/16/2017

THE PROPERTY BOUNDARY SURVEY RECORDED HEREON WAS
MADE ON THE GROUND UNDER MY DIRECT SUPERVISION, AND IS
IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE
FOR PROFESSIONAL LAND SURVEYORS AS STIPULATED IN
LOUISIANA ADMINISTRATIVE CODE TITLE 46:XXI, CHAPTER 29
FOR A CLASS "C" SURVEY.

JOHN WY STARRING

REG. No. 3585

REGISTERED

BY John W. Starring
JOHN W. STARRING, P.L.S.
LA REGISTRATION NO. 3585



McKay & Associates, L.L.C.

ENGINEERING ~ LAND SURVEYING

#208 W. Judge Perez Dr., Ste. 2, Chalmette (504) 509-7603

ZONING STAFF REPORT

Date: 12/29/2017
Case No.: 2017-835-ZC
Posted: 12/21/17

Meeting Date: 1/9/2018
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: James & Tammy Burns
OWNER: James & Tammy Burns
REQUESTED CHANGE: From A-6 Multiple Family Residential District to A-4A Single-Family Residential District
LOCATION: Parcel located on the north side of Lakeview Drive, being lot 521, Eden Isles, Unit 2A & 226 Lakeview Drive, Slidell ; S32, T9S, R14E; Ward 9, District 13
SIZE: 10,277 sq.ft.

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: Parish **Road Surface:** 2 lane asphalt **Condition:** Good

LAND USE CONSIDERATIONS
SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Canal/Undeveloped Residential	PUD Planned Unit Development Overlay
South	Undeveloped/Residential	A-4A Single Family Residential District
East	Residential	A-6 Multiple Family Residential District
West	Undeveloped/Residential	A-6 Multiple Family Residential District

EXISTING LAND USE:

Existing development: No **Multi occupancy development:** No

COMPREHENSIVE PLAN:

Residential - Areas that provide for dwelling units. Such areas may vary in site design, structure design, and in the density of units per acre. Certain areas such as “village or town residential” may include mixed uses and would have the highest number of units per acre, while “Rural residential” would have the lowest number of units per acre, and may include agricultural or open space uses as well. In between these two types of residential areas would be varying levels of single-family detached dwellings, multi-family attached residential, and planned subdivisions for manufactured homes.

STAFF COMMENTS:

The petitioner is requesting to change the zoning from A-6 Multiple Family Residential District to A-4A Single-Family Residential District. This site is located on the north side of Lakeview Drive, being lot 521, Eden Isles, Unit 2A & 226 Lakeview Drive, Slidell. The 2025 future land use plan calls for the area to be developed with residential uses. Staff does not have any objection to the request.

STAFF RECOMMENDATION:

The staff recommends that the request for a A-4A Single Family Residential District be approved.

Case No.: 2017-835-ZC

PETITIONER: James & Tammy Burns

OWNER: James & Tammy Burns

REQUESTED CHANGE: From A-6 Multiple Family Residential District to A-4A Single-Family Residential District

LOCATION: Parcel located on the north side of Lakeview Drive, being lot 521, Eden Isles, Unit 2A & 226 Lakeview Drive, Slidell ; S32, T9S, R14E; Ward 9, District 13

SIZE: 10,277 sq.ft.



2017-835-ZC

13

A-1
T5-R11E

TOMMY KING

BEN KING

0 375 Feet

N



APPROVED:

SECRETARY OF PLANNING COMMISSION

DATE

DIRECTOR OF ENGINEERING

DATE

CLERK OF COURT

DATE

12-09-2016

5593A

DATE FILED

FILE NO.

TOTAL AREA: 9,754 SQ. FT. OR 0.224 ACRES

LOT 15
PONTLAKE EST.

REFERENCE SURVEYS:

- 1.) A SURVEY BY THIS FIRM DATED 3/19/98, SURVEY NO. 972099, FILED FOR RECORD UNDER MAP FILE NO. 1623.
- 2.) A SURVEY BY THIS FIRM DATED 9/24/07, SURVEY NO. 20072392.

10' UTILITY EASEMENT

Fnd. 1/2" Iron Rod

20.96'

52.00'
N68°01'06"W

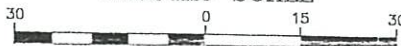
LAKEVIEW DRIVE
(AKA RAT'S NEST ROAD)

LEGEND

- 1/2" Iron Rod Set
- 1/2" Iron Rod Found
- ⊕ Cross

ADDRESS: LAKEVIEW DRIVE

GRAPHIC SCALE



(IN FEET)

1 INCH = 30 FEET

BUILDING SETBACKS
(* Verify Prior to Construction)

Front Setback.....20'
Side Setback.....*
Rear Setback.....*

I CERTIFY THAT THIS PLAT DOES REPRESENT AN ACTUAL GROUND SURVEY AND THAT TO THE BEST OF MY KNOWLEDGE NO ENCROACHMENTS EXIST EITHER WAY ACROSS ANY OF THE PROPERTY LINES, EXCEPT AS SHOWN.

PROPERTY IS SURVEYED IN ACCORDANCE WITH THE LOUISIANA "MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" FOR A CLASS C SURVEY. BEARINGS ARE BASED ON RECORD BEARINGS UNLESS NOTED OTHERWISE.

ENCUMBRANCES SHOWN HEREON ARE NOT NECESSARILY EXCLUSIVE. ENCUMBRANCES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST, AS SURVEYOR HAS NOT PERFORMED ANY TITLE SEARCH OR ABSTRACT.

F.I.R.M. No. 225205.0535 D
F.I.R.M. Date 4/2/91
ZN: A10 B.F.E. 13'
* Verify prior to construction with Local Governing Body.

DRAWING NO.

20160575

DATE:

11/7/16

J.V. Burkes & Associates, Inc.

SURVEYING

ENGINEERING

ENVIRONMENTAL

1805 Shortcut Highway
Slidell, Louisiana 70458
E-mail: jvbassoc@jvburkes.com

Phone: 985-649-0075 Fax: 985-649-0154

DRAWN BY:

JDL

CHECKED BY:

JCR

SCALE:

1" = 30'

A RESUBDIVISION MAP OF
LOTS 52A & B INTO LOT 52A1,
EDEN ISLES, UNIT 2A IN
SECTION 32, T-9-S, R-14-E, GLD,
ST. TAMMANY PARISH, LOUISIANA

CERTIFIED
TO: JAMES BURNS

SURVEYED BY:

SEAN M. BURKES
LA REG. No. 4785

ST. TAMMANY PARISH COUNCIL

ORDINANCE

ORDINANCE CALENDAR NO. _____ ORDINANCE COUNCIL SERIES NO. _____

COUNCIL SPONSOR STEFANCIK PROVIDED BY: PLANNING & DEVELOPMENT

INTRODUCED BY: _____ SECONDED BY: _____

ON THE _____ DAY OF _____, 2018

An Ordinance amending the Unified Development Code – Volume I
(Zoning) relative to the definition and establishment of reception venues
within unincorporated St. Tammany Parish (2017-845-ZC).

Whereas, the Zoning Commission of the Parish of St. Tammany after hearing in accordance with law, Case No. 2017-845-ZC, has recommended to the Council of the Parish of St. Tammany, Louisiana, that the text of the Unified Development Code, Volume I (Zoning) to add a new use relative to reception venues be added to Section 2 Definitions and as a permitted use in the following Sections; and

Whereas, the St. Tammany Parish Council has held its public hearing in accordance with law;
and

Whereas, the St. Tammany Parish Council has found it necessary for the purpose of protecting the public health, safety and general welfare, to amend the Unified Development Code as outlined below,

THE PARISH OF ST. TAMMANY HEREBY ORDAINS that it amends the St. Tammany Unified Development Code, Volume I (Zoning), as follows:

Amend Section 2, Definitions to add a new use,

RECEPTION VENUE, SMALL – An establishment providing space for meetings, receptions or similar gatherings with a capacity of no more than 150 persons.

Amend Section 2, Definitions to add a new use,

RECEPTION VENUE, MEDIUM – An establishment providing space for meetings, receptions or similar gatherings with a capacity of more than 150 and fewer than 500 persons.

Amend Section 2, Definitions to add a new use,

RECEPTION VENUE, LARGE – An establishment providing space for meetings, receptions or similar gatherings with a capacity of 500 persons or more.

Amend Section 5.17 NC-4 Neighborhood Institutional District, specifically Section 5.1702 PERMITTED USES to add a new:

#11 Reception Venue, Small

Amend Section 5.19 NC-6 Neighborhood Public, Cultural, and Recreational District, specifically Section 5.1902 PERMITTED USES to add a new:

#9 Reception Venue, Medium

Amend Section 5.21 HC-2 Highway Commercial District, specifically Section 5.2102 PERMITTED USES to add a new:

#18 Reception Venue, Large

REPEAL: All Ordinances or parts of Ordinances in conflict herewith are hereby repealed.

SEVERABILITY: If any provision of this Ordinance shall be held to be invalid, such invalidity shall not affect other provisions herein which can be given effect without the invalid provision and to this end the provisions of this Ordinance are hereby declared to be severable.

EFFECTIVE DATE: This Ordinance shall become effective fifteen (15) days after adoption.

MOVED FOR ADOPTION BY: _____, SECONDED BY: _____

WHEREUPON THIS ORDINANCE WAS SUBMITTED TO A VOTE AND RESULTED IN THE FOLLOWING:

YEAS:

NAYS:

ABSTAIN:

ABSENT:

THIS ORDINANCE WAS DECLARED DULY ADOPTED AT A REGULAR MEETING OF THE PARISH COUNCIL ON THE _____ DAY OF _____, 2018; AND BECOMES ORDINANCE COUNCIL SERIES NO. 18-_____.

STEVE STEFANCIK, COUNCIL CHAIRMAN

ATTEST:

THERESA L. FORD, COUNCIL CLERK

PATRICIA P. BRISTER, PARISH PRESIDENT

Published Introduction: _____, 2018
Published Adoption: _____ 2018
Delivered to Parish President: _____ 2018 at _____
Returned to Council Clerk: _____ 2018 at _____

ZONING STAFF REPORT

Date: 12/29/2017
Case No.: 2017-848-ZC
Posted: 12/21/17

Meeting Date: 1/9/2018
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: Todd N. Leon

OWNER: Todd N. Leon

REQUESTED CHANGE: From A-1 Suburban District to A-1 Suburban District & MHO Manufactured Housing Overlay

LOCATION: Parcel located on the south side of Philebar Road & Bennett Bridge Road; S29 & 30, T5S, R10E; Ward 2, District 3

SIZE: 4 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: Parish & State **Road Surface:** 2 lane asphalt **Condition:** Good

LAND USE CONSIDERATIONS
SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Residential	A-1 Suburban District
South	Undeveloped	A-1 Suburban District
East	Commercial	A-1 Suburban District
West	Undeveloped	A-1 Suburban District

EXISTING LAND USE:

Existing development: **Multi occupancy development:**

COMPREHENSIVE PLAN:
Residential/ Agricultural - Agricultural and related or other active or passive uses that use or preserve the countryside, forests and other areas and rural residential uses – widely ranging in dwelling size or type, siting and organization; both of which are generally located some distance from more intense land uses. Permitted uses include single-family residential, and uses ancillary to either of these primary uses. Other uses require a change in zoning.

STAFF COMMENTS:
The petitioner is requesting to change the zoning from A-1 Suburban District to A-1 Suburban District & MHO Manufactured Housing Overlay. This site is located on the south side of Philebar Road & Bennett Bridge Road. The 2025 future land use plan calls for the area to be developed with residential and agricultural uses. Staff does not have any objection to the request.

STAFF RECOMMENDATION:
The staff recommends that the request for a MHO Manufactured Housing Overlay designation be approved.

Case No.: 2017-848-ZC

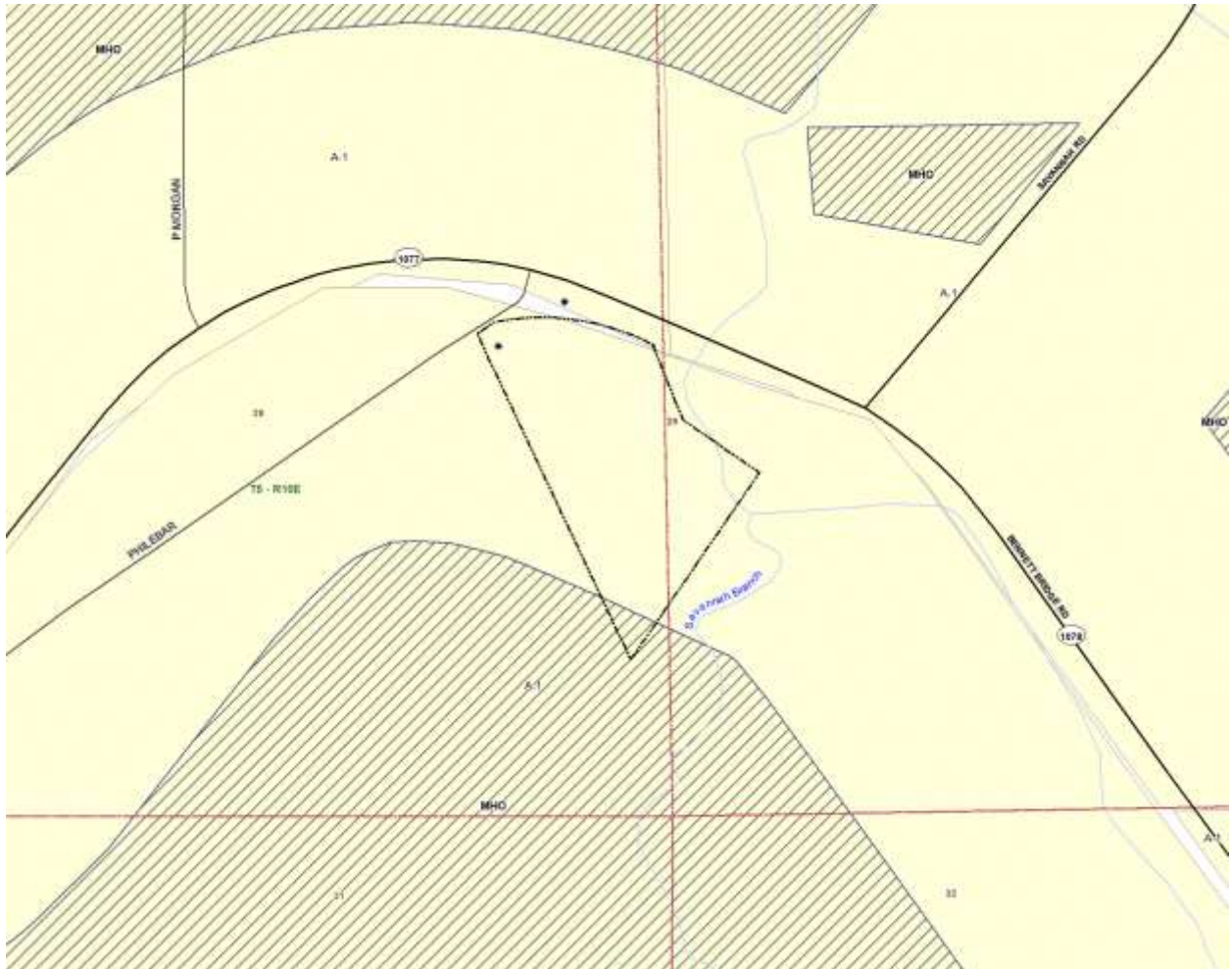
PETITIONER: Todd N. Leon

OWNER: Todd N. Leon

REQUESTED CHANGE: From A-1 Suburban District to A-1 Suburban District & MHO Manufactured Housing Overlay

LOCATION: Parcel located on the south side of Philebar Road & Bennett Bridge Road; S29 & 30, T5S, R10E; Ward 2, District 3

SIZE: 4 acres



PHILEBAR

BENNETT BRIDGE RD

SAVANNAH RD

1077

1077

1078

T5-R10E

A-1

31

32

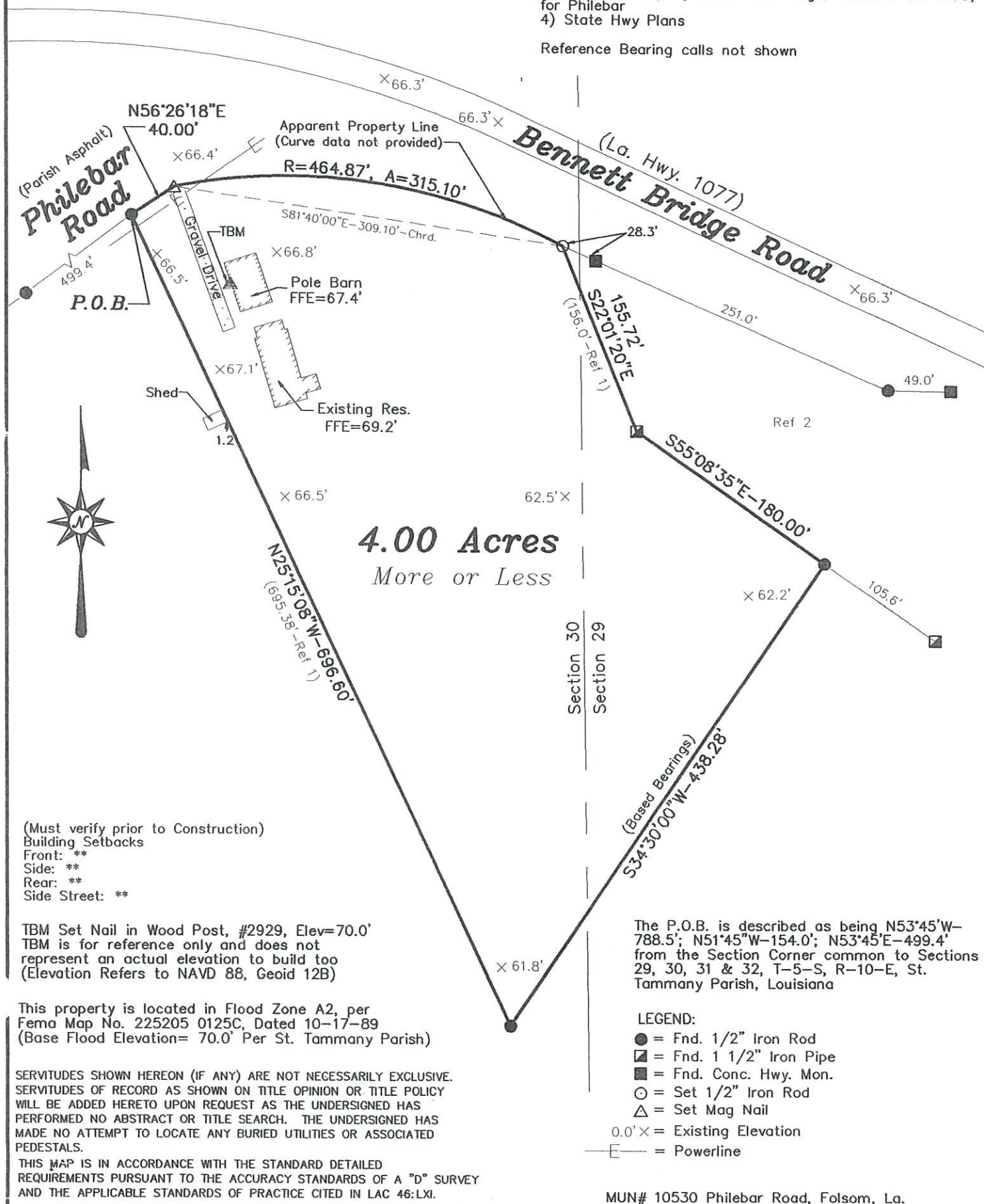


2017-848-ZC

Reference:

- 1) A Survey Map by Edward L. Jones, for Lloyd Vautrot Jr. (Basis of Bearings)
- 2) A Survey Map by John Cummings, Dated 6-16-2008, #08105
- 3) A Survey Map by Lowell Cummings, Dated 5-12-1975, for Philebar
- 4) State Hwy Plans

Reference Bearing calls not shown



MAP PREPARED FOR

Todd N. Leon

SHOWN A SURVEY MADE OF PROPERTY LOCATED IN Sections 29 & 30 , T-5-S, R-10-E, Greensburg District, St. Tammany Parish, Louisiana

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED. SIGNATURE AND STAMPED SEAL MUST BE IN RED ON THIS PLAT IS NOT A TRUE COPY.

LAND SURVEYING LLC

518 N. Columbia Street, Covington, LA 70433
(985) 842-6277 office (985) 848-0355 fax
landsuri@bellsouth.net email

BRUCE M. BUTLER, III
LOUISIANA PROFESSIONAL LAND SURVEYOR
LICENSE NO. 4894

SCALE: 1"=100'

DATE: 8-3-2017

NUMBER: 18261

ZONING STAFF REPORT

Date: 12/29/2017
Case No.: 2017-851-ZC
Posted: 12/21/17

Meeting Date: 1/9/2018
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: Michael D. Fletcher

OWNER: Michael D. Fletcher

REQUESTED CHANGE: From A-2 Suburban District to A-2 Suburban District & MHO Manufactured Housing Overlay

LOCATION: Parcel located on the south side of Wilson Road, east of Plantation Street, west of Rangeline Road, being 21312 Wilson Road, Covington; S25, T6S, R11E; Ward 10, District 2

SIZE: 0.74 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: Parish **Road Surface:** 2 lane asphalt **Condition:** Good

LAND USE CONSIDERATIONS
SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Residential	A-2 Suburban District
South	Residential	A-2 Suburban District
East	Residential	A-2 Suburban District
West	Residential	A-2 Suburban District

EXISTING LAND USE:

Existing development: **Multi occupancy development:**

COMPREHENSIVE PLAN:

Residential - Areas that provide for dwelling units. Such areas may vary in site design, structure design, and in the density of units per acre. Certain areas such as “village or town residential” may include mixed uses and would have the highest number of units per acre, while “Rural residential” would have the lowest number of units per acre, and may include agricultural or open space uses as well. In between these two types of residential areas would be varying levels of single-family detached dwellings, multi-family attached residential, and planned subdivisions for manufactured homes.

STAFF COMMENTS:

The petitioner is requesting to change the zoning from A-2 Suburban District to A-2 Suburban District & MHO Manufactured Housing Overlay. This site is located on the south side of Wilson Road, east of Plantation Street, west of Rangeline Road, being 21312 Wilson Road, Covington. The 2025 future land use plan call for the area to be developed with residential uses, including manufactured homes. Staff does not have any objection to the request.

STAFF RECOMMENDATION:

The staff recommends that the request for a MHO Manufactured Housing Overlay designation be approved.

Case No.: 2017-851-ZC

PETITIONER: Michael D. Fletcher

OWNER: Michael D. Fletcher

REQUESTED CHANGE: From A-2 Suburban District to A-2 Suburban District & MHO Manufactured Housing Overlay

LOCATION: Parcel located on the south side of Wilson Road, east of Plantation Street, west of Rangeline Road, being 21312 Wilson Road, Covington; S25, T6S, R11E; Ward 10, District 2

SIZE: 0.74 acres



2017-851-ZC

PUD
24

A-1A

WILSON

T6-R1E

TAMMY

A-2
25

0 180 Feet

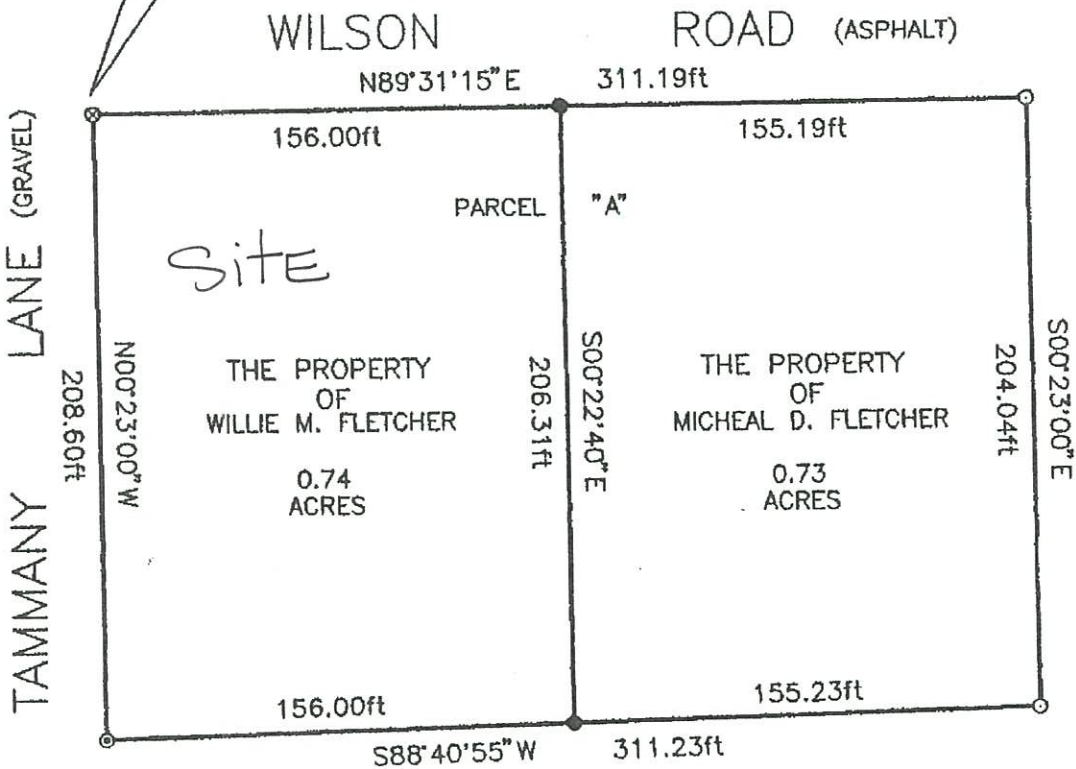
N

2017-851-ZC



A SURVEY OF THE PROPERTY
OF
WILLIE M. FLETCHER
AND
MICHEAL D. FLETCHER

THE POINT OF BEGINNING is described to be N89°13'E 183.4ft;
thence S00°21'E 20.0ft from the 1/4 Section corner common
to Sections 24 & 25, T6S, R11E, St. Tammany Parish, La.



LEGEND

- 1/2" IRON ROD SET
- 1/2" IRON ROD FOUND
- ⊙ 1/2" IRON PIPE FOUND
- ⊗ 1-1/2" IRON PIPE FOUND

Reference: 1) Survey for Yvonne Rooney, et al by H. C. Sanders & Assoc. dated Jan. 26, 1995, Job #ST-95-4. Said Survey was used as the basis of bearings shown.

NOTE: Said property is located in Flood Zone "A" per the Flood Insurance Rate Map for St. Tammany Parish, Community Panel #2252050150C, map revised October 17, 1989.

I certify that this plat represents an actual ground survey performed in accordance with the applicable standards of practice as stipulated by the Louisiana State Board of Registration for Professional Engineers and Land Surveyors and bears a "D" survey classification.



WAYNE R. SIMKIN P.L.S. #4751

A PORTION OF GROUND SITUATED IN SECTION 25,
TOWNSHIP 6 SOUTH, RANGE 11 EAST,
ST. TAMMANY PARISH, LOUISIANA.



D & S SURVEYORS, INC.

PROFESSIONAL LAND SURVEYORS

2401 N. HWY. 190 SUITE 203, COVINGTON, LA. 70433
OFFICE 892-2847 FAX 892-2806

JOB NO.
0083

DRAWN
W.R.S.
CHECK'D
W.R.S.

DATE
JULY 05, 2000
SCALE
1"=60'

SHEET NO.
1 of 1

ZONING STAFF REPORT

Date: 12/29/2017
Case No.: 2017-852-ZC
Posted:12/21/17

Meeting Date: 1/9/2018
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: St. John 1427, LLC - Kenneth Lopiccolo

OWNER: Gary Richardson

REQUESTED CHANGE: From CB-1 Community Based Facilities District to MD-2 Medical Clinic District

LOCATION: Parcel located at the end of Terra Mariae Blvd, east of LA Highway 1081; S14, T6S, R11E; Ward 3, District 2

SIZE: 2.32 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: State **Road Surface:** 2 lane asphalt **Condition:** Good

LAND USE CONSIDERATIONS
SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	St. Scholastica Pior	MD-2 Medical Clinic District
South	Terra Mariae Subdivision	PUD Planned Unit Development District
East	Vacant/Undeveloped	CB-1 Community Based Facilities District
West	Entrance to Terra Mariae Subdivision	PUD Planned Unit Development District

EXISTING LAND USE:

Existing development: Yes **Multi occupancy development:** No

COMPREHENSIVE PLAN:

Planned Districts - Coordinated development on several parcels, usually at a higher density – but not in all cases - than other parcels in the proximity, planned in an integrated fashion as single units including residential, commercial and possibly other (institutional, recreational, *e.g.*) uses, as well as the supporting infrastructure and public services they will require (*See “Small Area Plans,” below*). Generally, such developments improve environmental qualities, preserve natural environments, provide for open space and recreational uses, and for residential as well as commercial uses, and are equipped with central utility systems and efficient and effective internal and external transportation access in multiple modes.

Single Family Residential – Conservation - These planned districts would include clustered single family residential uses, at a density – within the overall tract – which is similar to that of adjoining residential uses, and conservation areas, following a Small Area Plan, and providing for balance, compatibility and integration of uses and all supporting infrastructure. Such individual Planned Residential – Conservation developments should aim to achieve contiguity among adjoining conservation areas in adjacent developments.

STAFF COMMENTS:

The petitioner is requesting to change the zoning from CB-1 Community Based Facilities District to MD-2 Medical Clinic District. The 2025 future land use plan calls for the site to be developed as a planned district with residential uses and conservation areas. The zoning change is being requested in order to allow for the 2.32 acre parcel of land to be added to the 13.62 acre adjacent site, which is currently zoned MD-2, and is proposed to be developed as a senior care facility. Staff does not have any objection to the request.

STAFF RECOMMENDATION:

The staff recommends that the request for a MD-2 Medical Clinic District designation be approved.

Case No.: 2017-852-ZC

PETITIONER: St. John 1427, LLC - Kenneth Lopiccolo

OWNER: Gary Richardson

REQUESTED CHANGE: From CB-1 Community Based Facilities District to MD-2 Medical Clinic District

LOCATION: Parcel located at the end of Terra Mariae Blvd, east of LA Highway 1081; S14, T6S, R11E; Ward 3, District 2

SIZE: 2.32 acres



2017-852-ZC

1081

STAFFORD RD

A-1

A-1

CB-1

MD-2

T6 - R11E

14

TERRAMARIAE

MT CARMEL

QUEEN OF PEACE

A-4A

PUD

RUE DE BAC

LOURDES

0 460 Feet



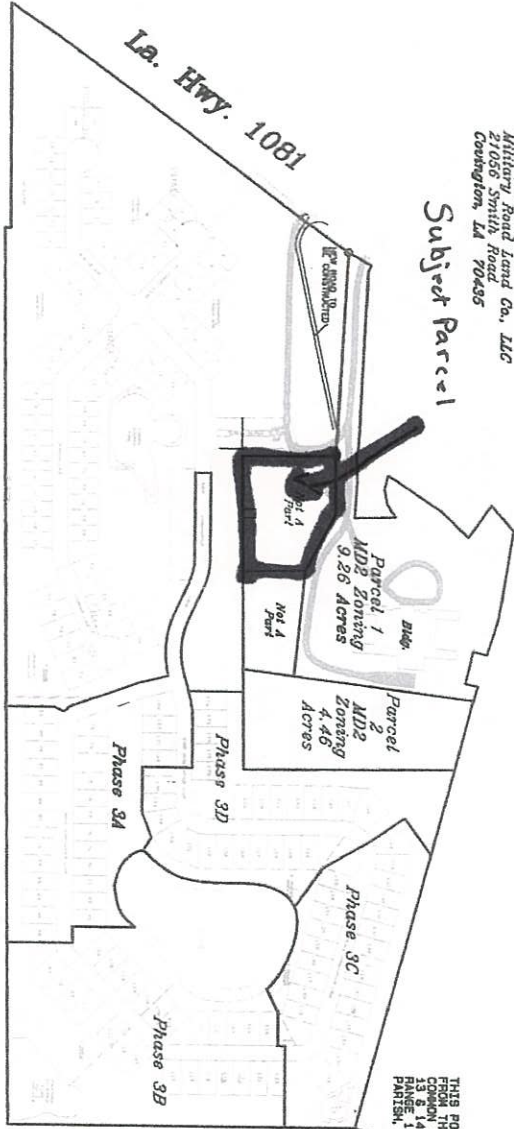
02-58-7102

Terra Mariae & Priory Assisted Living

Section 14 Township 6 South
Range 11 East, St. Tammany Parish, Louisiana

Owner/Developer:
Military Road Land Co., LLC
21056 Smith Road
Covington, LA 70435


Subject Parcel



4.64 Acres

Number of lots in Phase 3A - 28 Lots
Number of lots in Phase 3B - 28 Lots
Number of lots in Phase 3C - 28 Lots
Number of lots in Phase 3D - 25 Lots
Total Number of Lots - 109 Lots

Building Setback Lines for Phases 3A, 3B, 3C & 3D
Front - 5'
Side - 5'
Side Street - 5'
Rear - 5'

**Land Surveying, LLC**
510 N. Columbia Street
Covington, LA 70433
(504) 937-0771 office (504) 937-0000 fax

Terra Mariae & Priory
Assisted Living

SCALE 1" = 200'	DRAWN BY
DATE 11-8-2013	
located in Section 14, Township 6 South	
Range 11 East, St. Tammany Parish, Louisiana	
SHEET NUMBER 11/187	

ZONING STAFF REPORT

Date: 12/29/2017
Case No.: 2017-853-ZC
Posted: 12/21/17

Meeting Date: 1/9/2018
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: Kenneth Lopiccolo

OWNER: Military Road Land Co, LLC - Kenneth Lopiccolo

REQUESTED CHANGE: From A-4 Single-Family Residential District & PUD Planned Unit Development Overlay to MD-2 Medical Clinic District with

LOCATION: Parcel located on the east side of LA Highway 1081, south of Smith Road, north of Planche Road ; S14, T6S, R11E; Ward 3, District 2

SIZE: 6.78 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: State Road Surface: 2 lane asphalt Condition: Good

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Senior living facility	CB-1 Community Based Facilities District
South	Terra Mariae Subdivision	PUD Planned Unit Development Overlay
East	Residence & Terra Mariae	CB-1 Community Based Facilities District & PUD
West	Subdivision	PUD Planned Unit Development Overlay
	Undeveloped & Terra Mariae	A-1 Suburban District & PUD Planned Unit
	Subdivision	Development Overlay

EXISTING LAND USE:

Existing development: Yes **Multi occupancy development:** No

COMPREHENSIVE PLAN:

Planned Districts - Coordinated development on several parcels, usually at a higher density – but not in all cases - than other parcels in the proximity, planned in an integrated fashion as single units including residential, commercial and possibly other (institutional, recreational, *e.g.*) uses, as well as the supporting infrastructure and public services they will require (*See “Small Area Plans,” below*). Generally, such developments improve environmental qualities, preserve natural environments, provide for open space and recreational uses, and for residential as well as commercial uses, and are equipped with central utility systems and efficient and effective internal and external transportation access in multiple modes.

Single Family Residential – Conservation - These planned districts would include clustered single family residential uses, at a density – within the overall tract – which is similar to that of adjoining residential uses, and conservation areas, following a Small Area Plan, and providing for balance, compatibility and integration of uses and all supporting infrastructure. Such individual Planned Residential – Conservation developments should aim to achieve contiguity among adjoining conservation areas in adjacent developments.

STAFF COMMENTS:

The petitioner is requesting to change the zoning from A-4 Single-Family Residential District & PUD Planned Unit Development Overlay to MD-2 Medical Clinic District. This site is located on the east side of LA Highway 1081, south of Smith Road, north of Planche Road. The 2025 future land use plan calls for the site to be developed as a planned district with residential uses and conservation areas. The zoning change is being requested in order to allow for the 6.78 acre parcels of land to be added to the 13.62 acre adjacent site, which is currently zoned MD-2, and is proposed to be developed as a senior care facility. Staff does not have any objection to the request

STAFF RECOMMENDATION:

The staff recommends that the request for a MD-2 Medical Clinic District designation be approved.

Case No.: 2017-853-ZC

PETITIONER: Kenneth Lopiccolo

OWNER: Military Road Land Co, LLC - Kenneth Lopiccolo

REQUESTED CHANGE: From A-4 Single-Family Residential District & PUD Planned Unit Development Overlay to MD-2 Medical Clinic District

LOCATION: Parcel located on the east side of LA Highway 1081, south of Smith Road, north of Planche Road ; S14, T6S, R11E; Ward 3, District 2

SIZE: 6.78 acres



A-1

CB-1

T6-R11E

14

MD-2

TERRAMARIAE

PUD

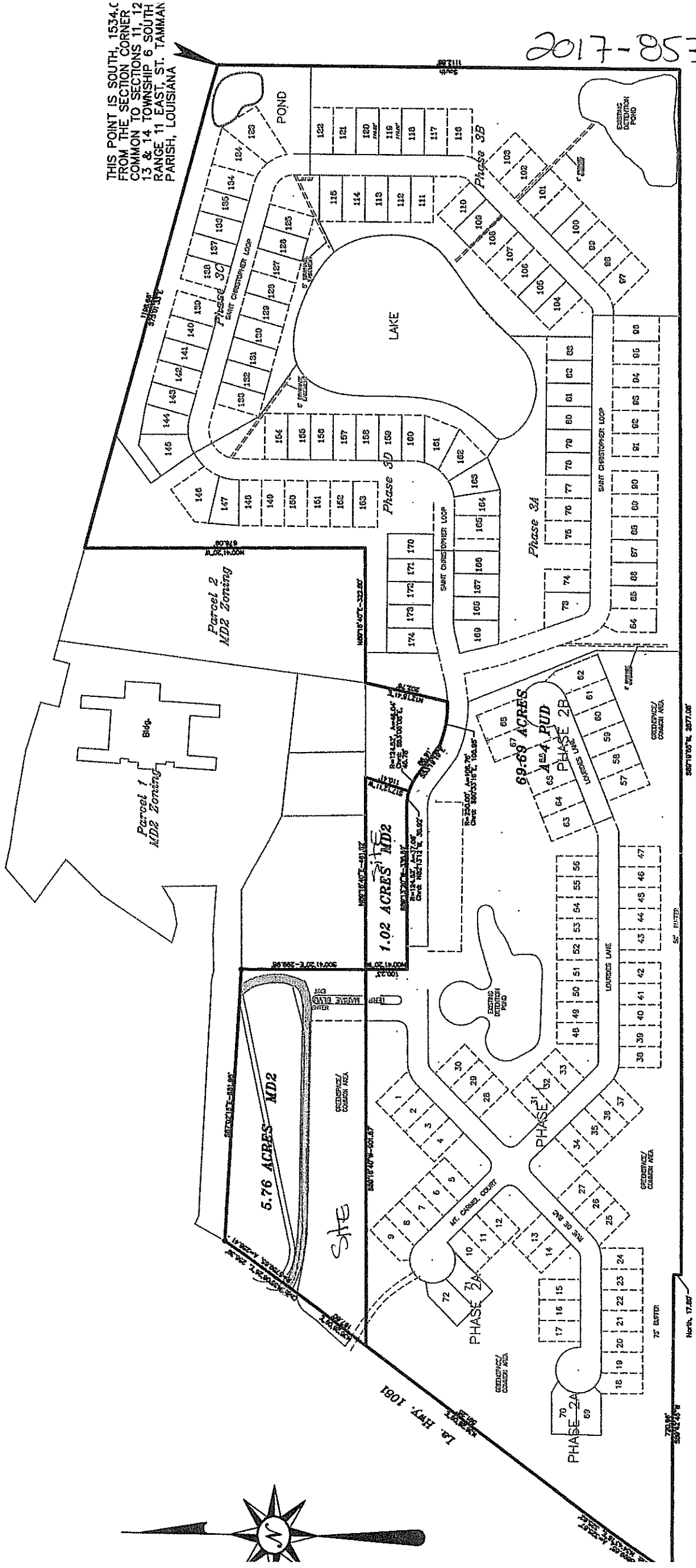
MT CARMEL
A-4A

QUEEN OF PEACE

RUE DE BAC

LOURDES

*THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY,
SOLE PURPOSE OF THIS MAP IS FOR ZONING ONLY



THIS POINT IS SOUTH, 1534.C
FROM THE SECTION CORNER
COMMON TO SECTIONS 11, 12
13 & 14 TOWNSHIP 6 SOUTH
RANGE 11 EAST, ST. TAMMAN
PARISH, LOUISIANA

2017-853-2C

ZONING STAFF REPORT

Date: 12/29/2017
Case No.: 2017-854-ZC
Posted:12/21/17

Meeting Date: 1/9/2018
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: Clint R. Meche

OWNER: Joe & Ida James

REQUESTED CHANGE: From A-4 Single-Family Residential District to A-4 Single-Family Residential District & MHO Manufactured Housing Overlay

LOCATION: Parcel located on the southeast corner of Gardenia Drive & Nursery Street, being lot 16-A, Square 13, Abita Nursery Subdivision ; S36, T6S, R11E; Ward 3, District 2

SIZE: 14,000 sq.ft.

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: Parish **Road Surface:** 2 lane asphalt **Condition:** Good

LAND USE CONSIDERATIONS
SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Residential/Manufactured Home	A-4 Single-Family Residential District
South	Residential	A-4 Single-Family Residential District
East	Residential	A-4 Single-Family Residential District
West	Undeveloped	A-4 Single-Family Residential District

EXISTING LAND USE:

Existing development: No **Multi occupancy development:** No

COMPREHENSIVE PLAN:

Residential - Areas that provide for dwelling units. Such areas may vary in site design, structure design, and in the density of units per acre. Certain areas such as “village or town residential” may include mixed uses and would have the highest number of units per acre, while “Rural residential” would have the lowest number of units per acre, and may include agricultural or open space uses as well. In between these two types of residential areas would be varying levels of single-family detached dwellings, multi-family attached residential, and planned subdivisions for manufactured homes.

STAFF COMMENTS:

The petitioner is requesting to change the zoning from A-4 Single-Family Residential District to A-4 Single-Family Residential District & MHO Manufactured Housing Overlay, This site is located on the southeast corner of Gardenia Drive & Nursery Street, being lot 16-A, Square 13, Abita Nursery Subdivision. The 2025 future land use plan calls for the area to be developed with residential uses, including manufactured homes. Staff does not have any objection to the request.

STAFF RECOMMENDATION:

The staff recommends that the request for a MHO Manufactured Housing Overlay designation be approved.

Case No.: 2017-854-ZC

PETITIONER: Clint R. Meche

OWNER: Joe & Ida James

REQUESTED CHANGE: From A-4 Single-Family Residential District to A-4 Single-Family Residential District & MHO Manufactured Housing Overlay

LOCATION: Parcel located on the southeast corner of Gardenia Drive & Nursery Street, being lot 16-A, Square 13, Abita Nursery Subdivision ; S36, T6S, R11E; Ward 3, District 2

SIZE: 14,000 sq.ft.



2017-854-ZC

UNITED CHURCH

25

A-2

GARDENIA

T6-R1E

36

A-4

FERN

NURSERY

EDEN

ROSE

0 180 Feet



2017-854-ZC

FINAL APPROVAL

DIR. DEPT. OF ENGINEERING

SECRETARY PLANNING COMM.

Carol Ann Theriot
CLERK OF COURT

07-26-2016 5553B
DATE FILE NO.

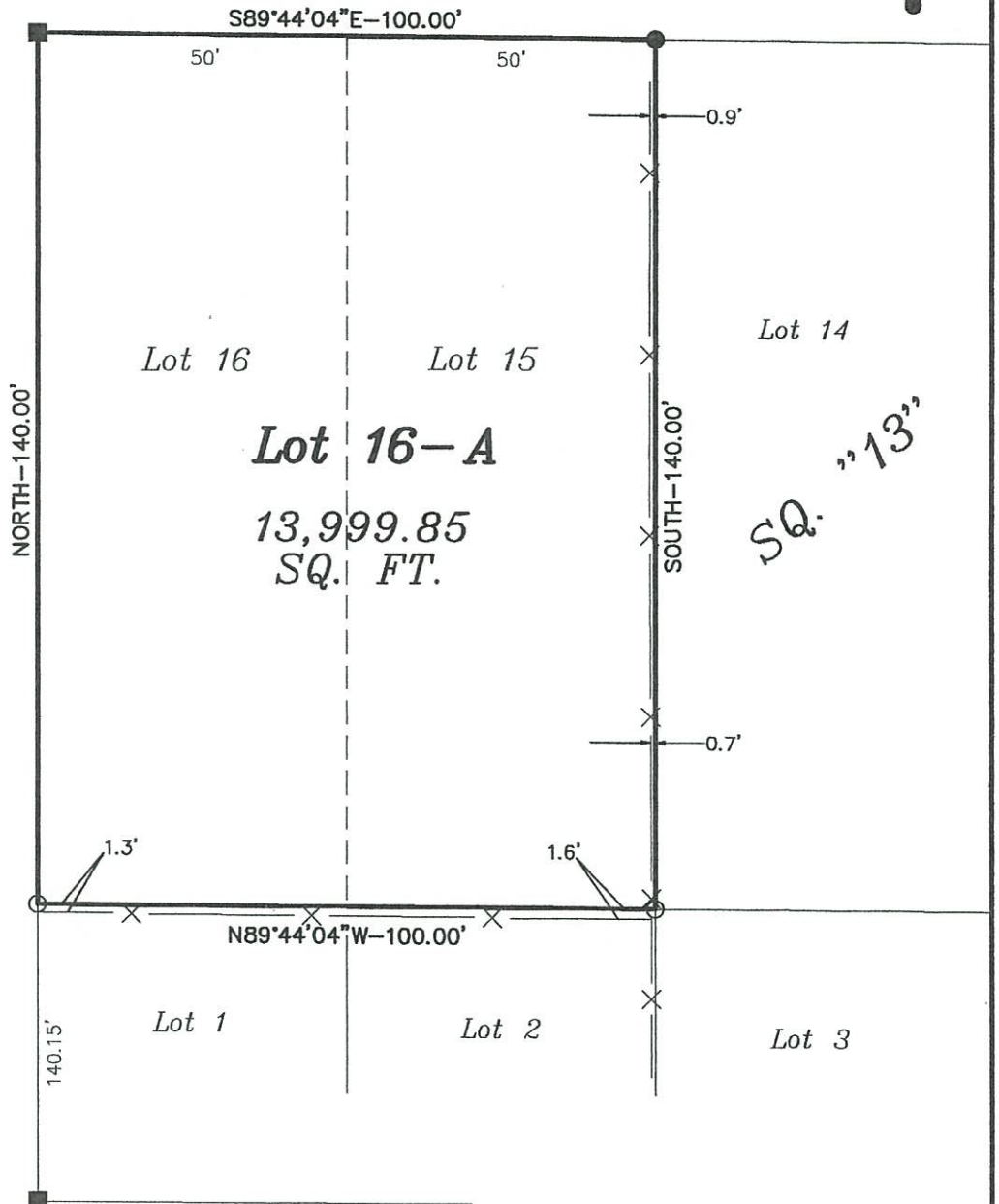
A RESUBDIVISION OF LOTS 15 & 16 INTO LOT 16-A,
SQUARE 13, ABITA NURSERY SUBDIVISION, SECTION
35, T-6-S, R-11-E, ST. TAMMANY PARISH, LOUISIANA

Reference: The recorded Plat of Abita Nursery S/D,
by Russell P. Morgan, Dated 8-16-55



GARDENIA STREET

NURSERY STREET



Building Setbacks must be
verified prior to Construction

Bearings shown were observed
by magnetic compass

Some items shown are not to
scale for clarity, dimensions
shown prevail over scale

N89°44'04\"W-100.00'

FERN STREET

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE.
SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY
WILL BE ADDED HERETO UPON REQUEST AS THE UNDERSIGNED HAS
PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS
MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED
PEDESTALS.

THIS MAP IS IN ACCORDANCE WITH THE STANDARD DETAILED
REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A C SURVEY
AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46:LXI.

LEGEND:

■ = Fnd. 1/2" Iron Pipe

● = Fnd. 1/2" Iron Rod

○ = Set 1/2" Iron Rod

—X— = Fence

MAP PREPARED FOR

JOE JAMES

SHOWN A SURVEY MADE OF PROPERTY LOCATED IN LOTS 15 & 16, SQUARE 13, ABITA NURSERY S/D,
ST. TAMMANY PARISH, LOUISIANA

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED.
SIGNATURE AND STAMPED SEAL MUST BE IN RED OR THIS PLAT IS NOT A TRUE COPY.

LAND SURVEYING LLC

518 N. Columbia Street, Covington, LA 70433
(985) 892-6277 office (985) 898-0355 fax
landsur@bellsouth.net email

BRUCE M. BUTLER, III

License No. 4894
CERTIFIED PROFESSIONAL

BRUCE M. BUTLER, III
LOUISIANA PROFESSIONAL LAND SURVEYOR
LICENSE NO. 4894

SCALE:

1" = 30'

DATE:

6-15-16

NUMBER:

17554

ZONING STAFF REPORT

Date: 12/29/2017
Case No.: 2017-855-ZC
Posted: 12/21/17

Meeting Date: 2/6/2018
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: James "Sonny" Salande

OWNER: Donald I. Geier, Thomas L. Hutchinson & Rebecca Hutchinson

REQUESTED CHANGE: From A-2 Suburban District to HC-2 Highway Commercial District

LOCATION: Parcel located on the north side of US Highway 190, west of N. Mill Road, being lots 362 & 363, North Oaklawn Subdivision; S39, T8S, R13E; Ward 7, District 7

SIZE: 9.63 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: Federal **Road Surface:** 2 lane asphalt **Condition:** Good

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Residential & Undeveloped	A-3 Suburban District
South	Residential	A-2 Suburban District & HC-2 Highway Commercial District
East	Commercial/Office Warehouse	A-2 Suburban District & HC-2 Highway Commercial District
West	Undeveloped	A-2 Suburban District

EXISTING LAND USE:

Existing development: No **Multi occupancy development:** No

COMPREHENSIVE PLAN:

Residential - Areas that provide for dwelling units. Such areas may vary in site design, structure design, and in the density of units per acre. Certain areas such as “village or town residential” may include mixed uses and would have the highest number of units per acre, while “Rural residential” would have the lowest number of units per acre, and may include agricultural or open space uses as well. In between these two types of residential areas would be varying levels of single-family detached dwellings, multi-family attached residential, and planned subdivisions for manufactured homes.

STAFF COMMENTS:

The petitioner is requesting to change the zoning from A-2 Suburban District to HC-2 Highway Commercial District. This site is located on the north side of US Highway 190, west of N. Mill Road, being lots 362 & 363, North Oaklawn Subdivision. The 2025 future land use plan calls for the area to be developed with residential uses. Staff is not completely opposed to the request, considering that the site is located along Highway 190; however, the site requested to be rezoned, should significantly be reduced in size, in order to allow for the rear portion of the site, along Erindale Street, to remain zoned A-2.

STAFF RECOMMENDATION:

The staff recommends that the request for a HC-2 Highway Commercial District designation be denied.

Case No.: 2017-855-ZC

PETITIONER: James "Sonny" Salande

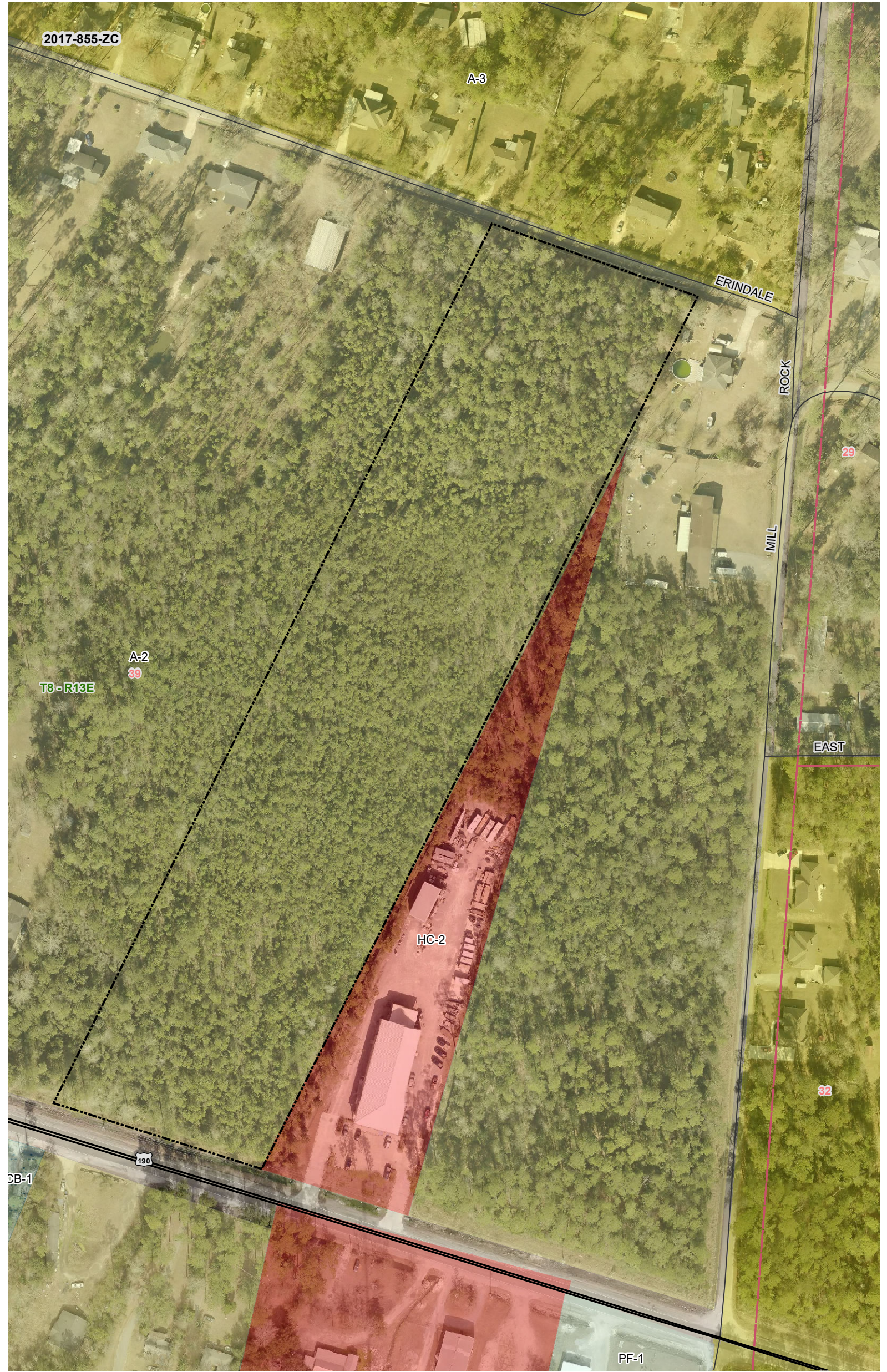
OWNER: Donald I. Geier, Thomas L. Hutchinson & Rebecca Hutchinson

REQUESTED CHANGE: From A-2 Suburban District to HC-2 Highway Commercial District

LOCATION: Parcel located on the north side of US Highway 190, west of N. Mill Road, being lots 362 & 363, North Oaklawn Subdivision; S39, T8S, R13E; Ward 7, District 7

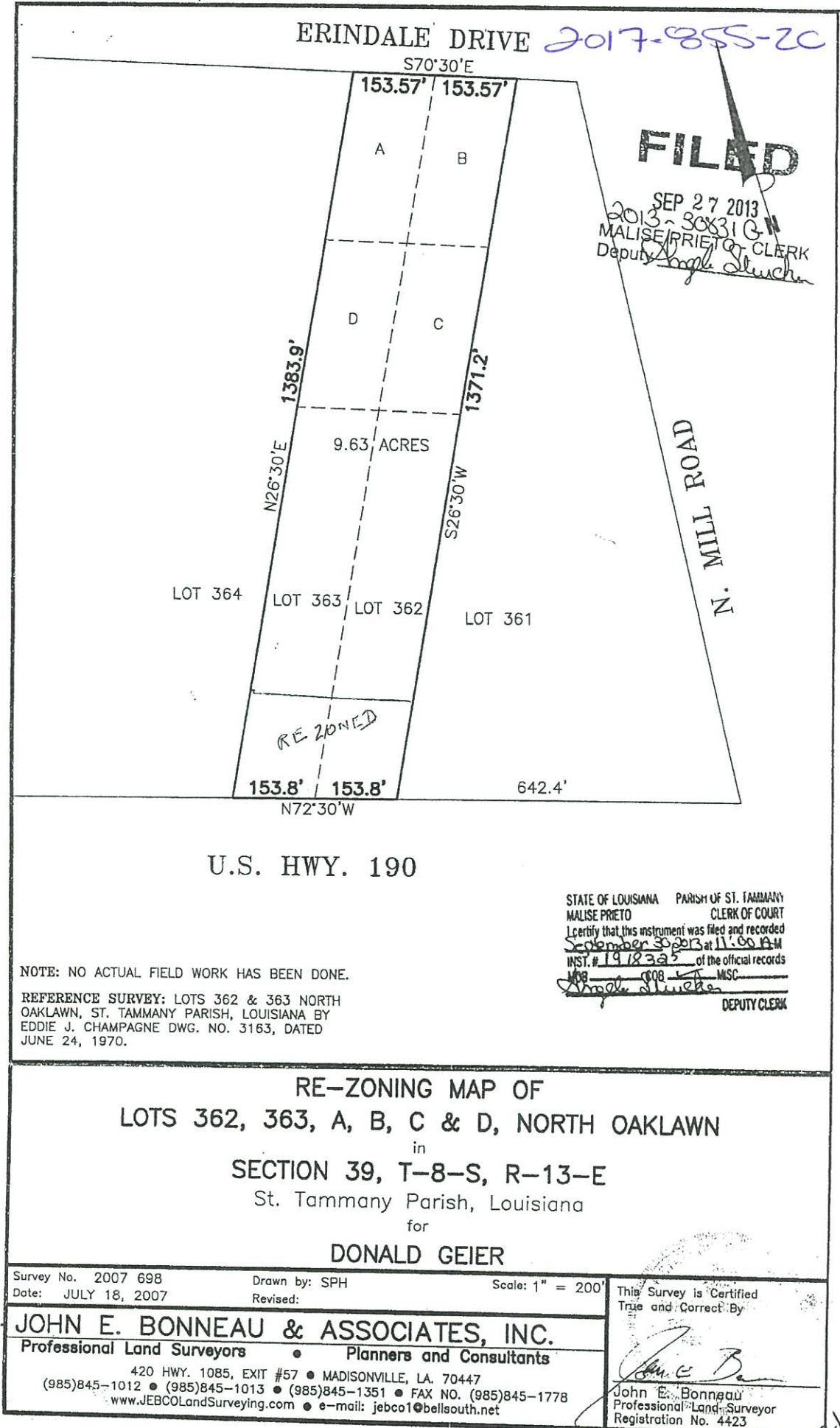
SIZE: 9.63 acres





0 280 Feet





ZONING STAFF REPORT

Date: 12/29/17
Case No.: ZC01-11-072
Posted: 12/21/17

Meeting Date: 1/9/2018
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: Pfeifer Properties, LLC
OWNER: Pfeifer Properties, LLC
REQUESTED CHANGE: Major Amendment to the PUD Planned Unit Development Overlay
LOCATION: Parcel located on the north side of Oak Harbor Blvd, east of I-10, being Parcel C-2, S34, T9S, R14E, Ward 9, District 13
SIZE: 2.19 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: Parish **Road Surface:** 2 lane asphalt **Condition:** Good

LAND USE CONSIDERATIONS
SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Undeveloped	PUD Planned Unit Development Overlay
South	Commercial	PUD Planned Unit Development Overlay
East	Undeveloped	PUD Planned Unit Development Overlay
West	Interstate Ramp to I-10	

EXISTING LAND USE:

Existing development: No **Multi occupancy development:** No

COMPREHENSIVE PLAN:

Commercial Infill – New commercial uses developed on undeveloped tracts within existing commercial districts that are compatible with, or improve upon, those existing uses. Such uses may be allowed a greater density of use, in exchange for public benefits that would be provided.

STAFF COMMENTS:

The petitioner is requesting a major amendment to the PUD Planned Unit Development Overlay. This site is located on the north side of Oak Harbor Blvd, east of I-10. The request consist of allowing Parcel C-2 to be included into the PUD Planned Unit Development Overlay and be assigned the zoning designation LE-5 Interstate Commercial, (see attached definition). Staff does not have any objection to the request considering that the LE-5 zoning designation, which allows for a variety of retail and commercial uses, meets the objective of the 2025 future land use plan. Note that the 2025 future land use plan designates the area as commercial infill, which would allow for the development of a variety of commercial uses, compatible with the surrounding area.

STAFF RECOMMENDATION:

The staff recommends that the request for a major amendment to the PUD Planned Unit Development Overlay be approved.

Case No.: ZC01-11-072

PETITIONER: Pfeifer Properties, LLC

OWNER: Pfeifer Properties, LLC

REQUESTED CHANGE: Major Amendment to the PUD Planned Unit Development Overlay

LOCATION: Parcel located on the north side of Oak Harbor Blvd, east of I-10, being Parcel C-2, Ward 9, District 13

SIZE: 2.19 acres



ZC01-11-072

HOWZE BEACH

PUD

OAK HARBOR

T9-R14E

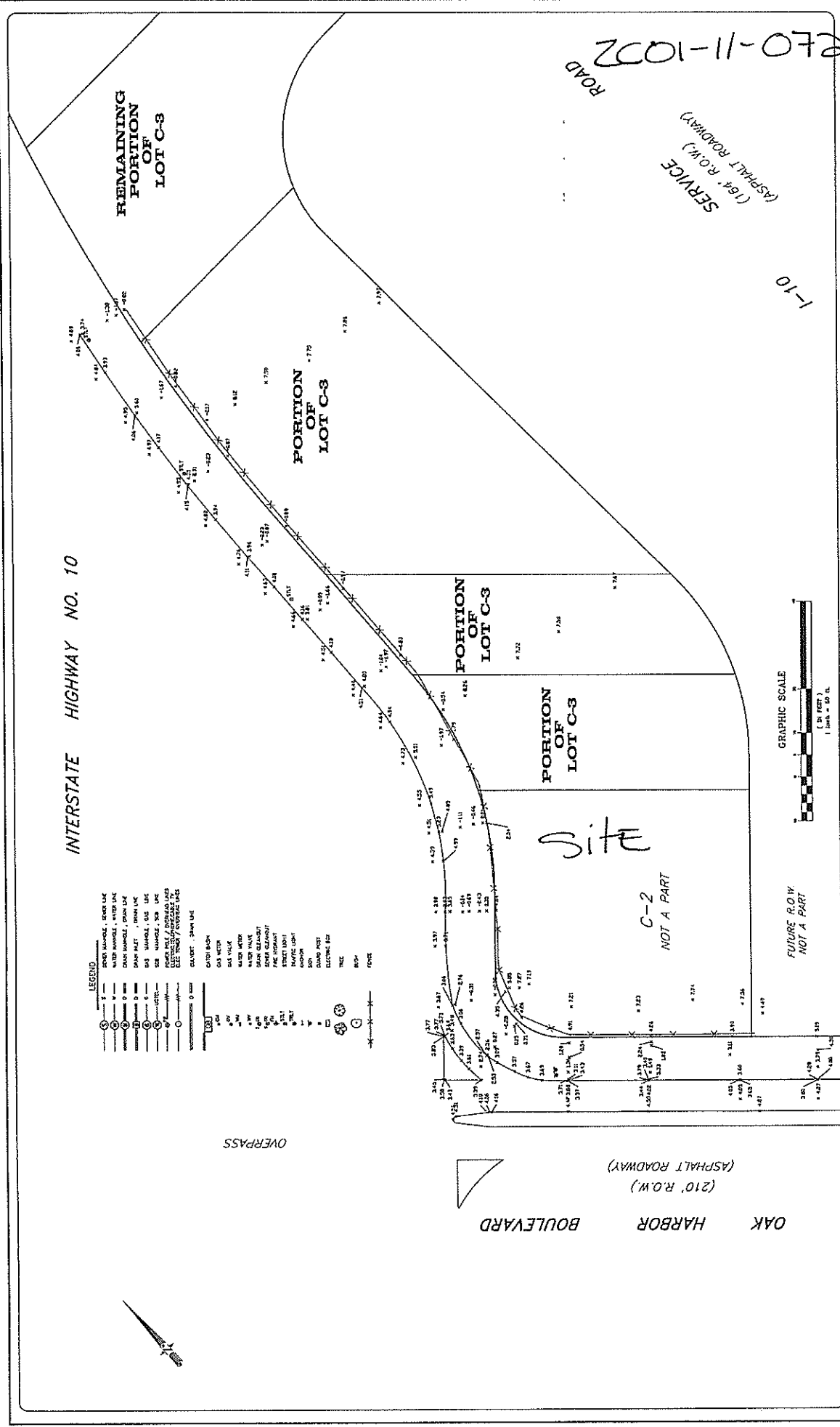
34

SOUTH LAKE

WEST END



INTERSTATE HIGHWAY NO. 10



REFERENCE NOTES	
ANGLES AND/OR HEADINGS ARE BASED ON REFERENCE PLAIN #1 REFERENCE PLAIN #1: A PLAIN OF SURVEY BY THE KNOTS DATED MAY 9, 2008	
DATE: MAY 25, 2017	DRAWN BY: JMD
SCALE: 1" = 50'	CHECKED BY:
JOB #: 2008-17	TEL: 313-582-1171

EVALUATION NOTE:

THIS IS CERTAIN THAT SUBJECT PROPERTY IS
LOCATED IN THE FOLLOWING FLOOD ZONE FOR

GENERAL NOTES

AN ELEVATION PLAN OF AN AREA
NEXT TO LOTS C-2 & C-3 IN
LAKESHORE ESTATES,
ST TAMMANY PARISH, LA

cc C Randall Depton, Sr



KLS Group Inc.
 BUILDING • CONSTRUCTION LA VOIE
 2000 Boulevard de la Voie, Suite 1000
 3113 Avenue St. Maurice, LA 70009
 P 504-383-0701 F 504-383-3717
 info@klsgr.com klsgr.com
 Created in 1981

2001-11-072

LAKESHORE ESTATES PUD LAKESHORE VILLAGE PUD CONCEPTUAL 25 YEAR MASTER PLAN

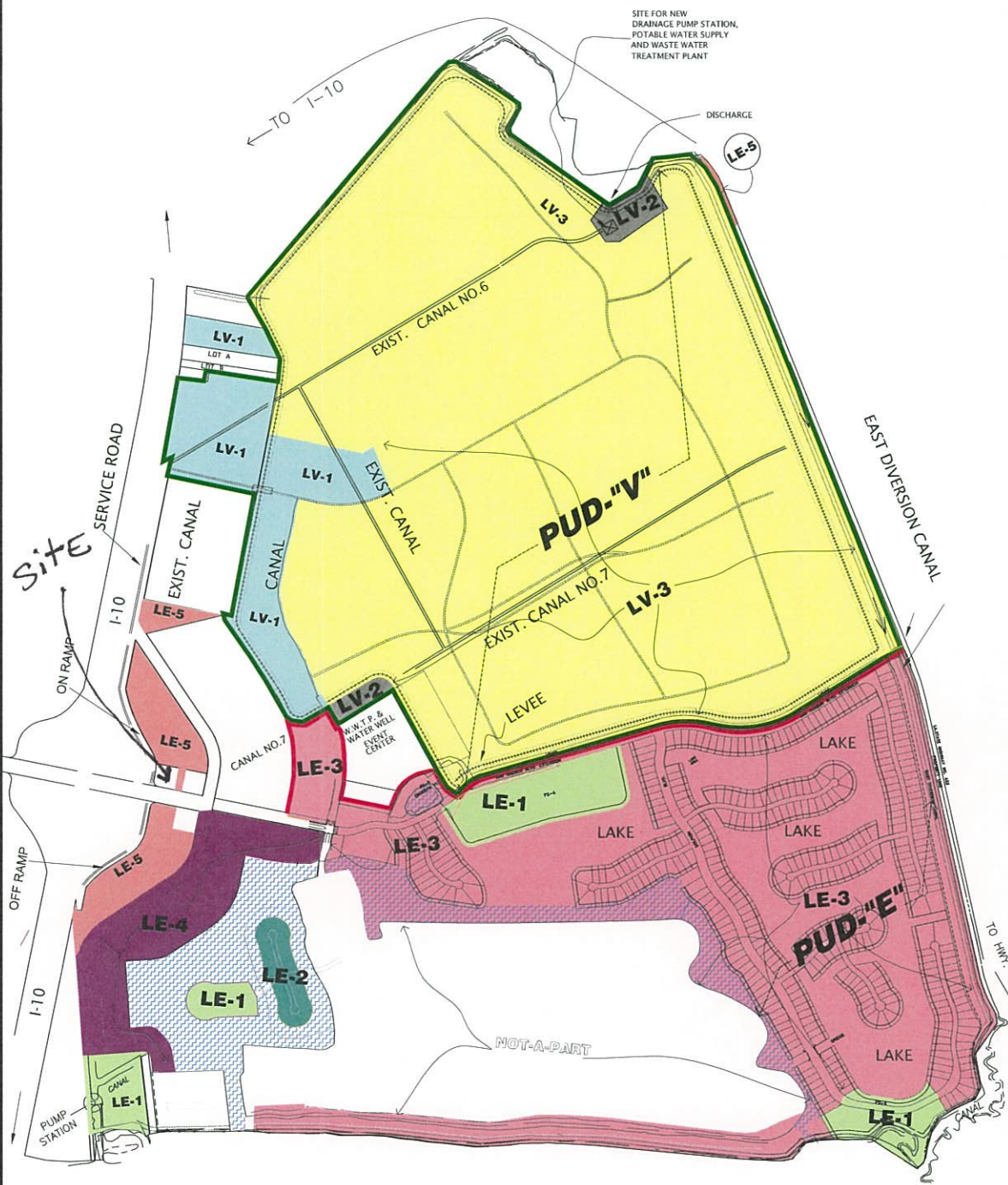
TAMMANY HOLDING CORPORATION

ST. TAMMANY PARISH, LA.

DATE: APRIL 30, 2004

REVISED AND AMENDED JUNE 7, 2005

MP 06-07-05A



PERMITTED USES
LAKESHORE ESTATES PLANNED UNIT DEVELOPMENT
(Will be printed on final plan)

Parcels in LE-1: Multi-Family Residential and Commercial
Permitted uses include multi-family dwelling units, townhouses, condominiums, hotels, motels, boarding and lodging houses, apartment hotels, professional offices, health and medical facilities, places of entertainment, specialty retail shops and services which are similar and compatible with the permitted uses in LE-1 as determined by the Director of Development acting in the capacity of Zoning Administrator. Maximum building height is 325 feet. There are no minimum or maximum building sizes. There are no minimum or maximum side-yard, front yard or rear yard setbacks. Parking for commercial buildings shall be a minimum of one space per 500 feet of net leasable area excluding areas used for warehousing or storage and for residential buildings shall be at least one space per each family dwelling unit. Maximum density for residential uses shall be 656 units per acre and for multi-unit residential 250 units per acre.

Parcels in LE-2: Warehouse and Industrial
Permitted uses include single-family dwellings, townhouses, condominiums, and multi-family dwelling units and other such uses which are similar and compatible with the permitted uses in LE-2 as determined by the Director of Development acting in the capacity of Zoning Administrator. Maximum building height is 75 feet. There are no minimum or maximum building sizes. There are no minimum or maximum side-yard, front yard or rear yard setbacks. Parking shall be at least one space per each family dwelling unit. Maximum density for single-family residential uses shall be 12 units per acre and for multi-unit residential 250 units per acre.

Parcels in LE-3: Medium-Density Residential
Permitted uses include single-family dwellings, townhouses, condominiums, hotels, motels, boarding and lodging houses, apartment hotels, professional offices, health and medical facilities, places of entertainment, restaurants, lounges, health clubs, yacht clubs, marinas, specialty retail and other uses which are similar and compatible with the permitted uses in LE-3 as determined by the Director of Development acting in the capacity of Zoning Administrator. Maximum building height is 200 feet. There are no minimum or maximum building sizes. There are no minimum or maximum side-yard, front yard or rear yard setbacks. Parking for commercial buildings shall be a minimum of one space per 500 feet of net leasable area excluding areas used for warehousing or storage and for residential buildings shall be at least one space per each family dwelling unit. Maximum density for residential uses is 656 units per acre.

Parcels in LE-4: Medium-Density Residential
Permitted uses include medium and boat services, general retail, specialty retail and service uses including but not limited to marinas, restaurants, lounges, places of entertainment, health clubs, yacht clubs, and the like as well as multi-family dwelling units, townhouses, condominiums, hotels, motels, boarding and lodging houses, apartment hotels, professional offices, health and medical facilities, and other uses which are similar and compatible with the permitted uses in LE-4 as determined by the Director of Development acting in the capacity of Zoning Administrator. Maximum building height is 200 feet. There are no minimum or maximum building sizes. There are no minimum or maximum side-yard, front yard or rear yard setbacks. Parking for commercial buildings shall be a minimum of one space per 500 feet of net leasable area excluding areas used for warehousing or storage. Maximum density for multi-unit residential is 250 units per acre.

Parcels in LE-5: Medium-Density Residential
Permitted uses include shopping centers and shopping malls, general and specialty retail, hotels, motels, boarding and lodging houses, apartment hotels, professional offices, health and medical facilities, places of entertainment, restaurants, lounges, health clubs, yacht clubs, marinas, specialty retail and other uses which are similar and compatible with the permitted uses in LE-5 as determined by the Director of Development acting in the capacity of Zoning Administrator. Maximum building height is 75 feet. There are no minimum or maximum building sizes. There are no minimum or maximum side-yard, front yard or rear yard setbacks. Parking for commercial buildings shall be a minimum of one space per 500 feet of net leasable area excluding areas used for warehousing or storage. Maximum density for multi-unit residential is 250 units per acre.

PERMITTED USES
LAKESHORE VILLAGE PLANNED UNIT DEVELOPMENT
(Will be printed on final plan)

Parcels in LE-1: Medium-Density Residential
Permitted uses include general retail and specialty retail, shopping centers, shopping malls, medium and boat services, general retail, specialty retail and service uses including but not limited to marinas, restaurants, lounges, places of entertainment, health clubs, yacht clubs, and the like as well as multi-family dwelling units, townhouses, condominiums, hotels, motels, boarding and lodging houses, apartment hotels, professional offices, health and medical facilities, and other uses which are similar and compatible with the permitted uses in LE-1 as determined by the Director of Development acting in the capacity of Zoning Administrator. Maximum building height is 125 feet. There are no minimum or maximum building sizes. There are no minimum or maximum side-yard, front yard or rear yard setbacks. Parking for commercial buildings shall be a minimum of one space per 500 feet of net leasable area excluding areas used for warehousing or storage. Maximum density for multi-unit residential is 250 units per acre.

Parcels in LE-2: Warehouse and Industrial
Permitted uses include single-family dwelling units, and multi-family dwelling units, townhouses, condominiums, and other uses which are similar and compatible with the permitted uses in LE-2 as determined by the Director of Development acting in the capacity of Zoning Administrator. Maximum building height is 75 feet. There are no minimum or maximum building sizes. There are no minimum or maximum side-yard, front yard or rear yard setbacks. Parking shall be at least one space per each family dwelling unit. Maximum density for single-family dwellings is 7 units per acre and for multi-family dwellings maximum density is 150 units per acre.

Parcels in LE-3: Medium-Density Residential
Permitted uses include schools, churches, fire stations, police stations, post offices, health and medical facilities, recreational facilities, and government offices which are compatible with a neighborhood location in close proximity to children, and other uses which are similar and compatible with the permitted uses in LE-3 as determined by the Director of Development acting in the capacity of Zoning Administrator. Maximum building height is 75 feet. There are no minimum or maximum building sizes. There are no minimum or maximum side-yard, front yard or rear yard setbacks. Parking for commercial buildings shall be a minimum of one space per 500 feet of net leasable area excluding areas used for warehousing or storage and for residential buildings shall be at least one space per each family dwelling unit.

Restrictive Covenants including the assurance of the maintenance of common areas and the continued protection of the PUD shall be governed by the Association identified in the Restrictive Covenants. All development must be approved by the Decedent, Successor or Assignee.

PARISH PRESIDENT _____
CHAIRMAN OF PLANNING COMMISSION _____
SECRETARY, PARISH PLANNING COMMISSION _____
CLERK OF COURT _____
DATE _____ FILE NO. _____

KREBS, LaSALLE, LeMIEUX, CONSULTANTS, INC.
ENGINEERING • PLANNING • SURVEYING • HYDROLOGY • ENVIRONMENTAL

2001-11-072

Parcels in LE-5 and S: Interstate Commercial

Permitted uses include shopping centers and shopping malls, general and specialty retail, hotels, motels, boarding and lodging houses, apartment hotels, professional offices, health and medical facilities, service stations, convenience stores, fast food outlets as well as multi-family dwelling units, townhouses, condominiums, and other uses which are similar and compatible with the permitted uses in LE-5 as determined by the Director of Development acting in the capacity of Zoning Administrator. Maximum building height is 75 feet. There are no minimum or maximum building sizes. There are no minimum or maximum side-yard, front yard or rear yard setbacks. Parking for commercial buildings shall be a minimum of one space per 500 feet of net leaseable area excluding areas used for warehousing or storage. Maximum density for multi-unit residential is 250 units per acre.

ZONING STAFF REPORT

Date: 12/29/17

Case No.: ZC04-08-067

Prior Action: Approved Zoning Meeting 10/05/04

Posted: 12/21/17

Meeting Date: 1/9/2018

Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: Kelly McHugh

OWNER: J/MAC Development LLC

REQUESTED CHANGE: Major Amendment to the PUD Planned Unit Development Overlay

LOCATION: Parcel located on the south side of US Highway 190, east of Transmitter Road and west of S. Tranquility Drive S33, T8S, R13E WARD 7, DISTRICT 7 & 11

SIZE: 78.51 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: State

Road Surface: 2 lane asphalt

Condition: Good

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Commercial	HC-2 Highway Commercial District & NC-4 Neighborhood Institutional District
South	Undeveloped	A-2 Suburban District
East	Undeveloped & Residential	A-2 Suburban District & NC-4 Neighborhood Institutional District
West	Undeveloped and Residential	A-4 Single Family Residential District & NC-4 Neighborhood Institutional District

EXISTING LAND USE:

Existing development: Yes

Multi occupancy development: Yes

COMPREHENSIVE PLAN:

Residential - Areas that provide for dwelling units. Such areas may vary in site design, structure design, and in the density of units per acre. Certain areas such as “village or town residential” may include mixed uses and would have the highest number of units per acre, while “Rural residential” would have the lowest number of units per acre, and may include agricultural or open space uses as well. In between these two types of residential areas would be varying levels of single-family detached dwellings, multi-family attached residential, and planned subdivisions for manufactured homes.

STAFF COMMENTS:

The petitioner is requesting a major amendment to the PUD Planned Unit Development Overlay. This site is located on the south side of US Highway 190, east of Transmitter Road and west of S. Tranquility Drive.

The requests consist of the following:

- Remove Parcel C-1, which was planned to be developed with commercial uses, and replace with Parcel U-1, to be developed as a site for the water well (note that the list of commercial uses shall be removed from the plan).
- Reconfiguration of lots, mainly along the northeast side of Sunset Oak Blvd, to allow for the creation of Parcel U-2, for the Waste Water Treatment Plan site.
- Increase in the total number of residential lots from 160 lots to 161 lots.

Note that the proposed amendments to the PUD will not affect the total acreage or percentage of greenspace.

STAFF RECOMMENDATION:

The staff recommends that the request for a major amendment to the PUD Planned Unit Development Overlay be approved.

SIZE: 78.51 acres





ZC04-08-067

BIRD WORLD

BRIER LAKE

A-3

SPRUCE

MONTALBAND

190

KAY

HC-3

HC-2

NC-4

T8-R13E

33

34

A-4

PUD

HUEY

TAMMANY TRACE

MAIN

CLESI

NATURES

CARLOS

T9-R13E

4

A-2

3

0

750 Feet

N

ZC04-08-067



Kelly McHugh
&
Associates, Inc.

November 21, 2017

St. Tammany Parish
Department of Development
Attn: Helen Lambert
PO Box 628
Covington, LA 70434

RE: Oaklawn Trace PUD

Helen,

Attached is the revised PUD Plan.

This plan is revised moving the sewer site from the southwest corner of site to where Lots 9,10,&11 were located. The prior sewer site will become 3 lots. The sewer site needed more room for buffers.

The water well location was moved 1 lot north onto the commercial lot. The prior water well site will become one lot.

The prior approved plan had 160 residential lots and one commercial lot. The revised plan has 161 residential lots and no commercial lots.

Also attached is a \$325 check for fees.

The roadways and greenspace remain the same.

We request this major amendment to this PUD.

Please let me know if you need anything additional.

Sincerely,

Kelly McHugh, PE, PLS

KJM/kah

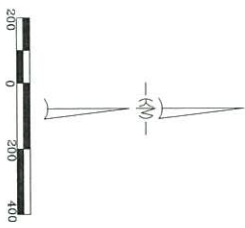
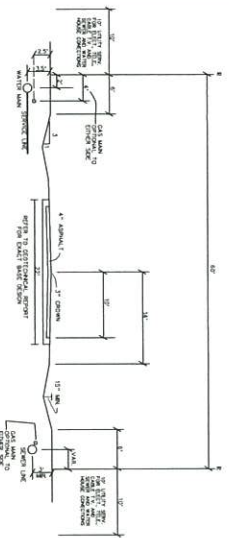
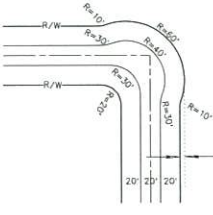
cc://Tim Henning, Chris Jean, Jeff Schoen

845 Galvez Street • Mandeville, LA 70448 • (985) 626-5611

Civil Engineers

Land Surveyors

Proposed



PUD DATA	
TOTAL AREA	78.51 ac.
TOTAL LOTS	2,015 LOTS/ACRE
MIN. LOT	35 FEET
MIN. BLDG. HEIGHT	
TOTAL GREENSPACE	32.62 ac.
TOTAL GREENSPACE	29.32 ac.
RECREATION GREENSPACE	3.07
RECREATION AREA (not included in greenspace)	5.13 ac.
EXPECTED COMPLETION	
04-2018	
04-2019	

AMENDED P.U.D. PLAN
FOR OAKLAWN TRACE
OAKLAWN TRACE
SECTION 33, T-8-S, R-13-E,
ST. TAMMANY PARISH, LA.

NOTES:

1. MAXIMUM HEIGHT FOR ALL RESIDENCES AND/OR COMMERCIAL BUILDING SHALL BE 35' ABOVE ADJACENT GROUND SURFACE. HEIGHT OF DETENTION POND SHALL BE 10' ABOVE DETENTION POND.

2. FLOOD WALL BE FLOOD TIED IN THE DETENTION POND.

[illegible]

OAKLAWN TRACE
SECTION 33, T-8-S, R-13-E,
ST. TAMMANY PARISH, LA.

RESTRICTIVE COVENANTS

CORNER LOTS BY LOT #

[illegible]

LEGAL DESCRIPTION OF 61.7408 ACRES

[illegible]

LEGAL DESCRIPTION OF 16.7708 ACRES

A certain group of land situated in Section 33, Township 8 South, Range 13 East, 51st Primary survey, contains more fully described as follows: Commence at the Section Corner between Sections 33, 34, Township 8 South, Range 13 East and Section 36, Township 8 South, Range 13 East, thence North 01°19'44" East a distance of 324.600 feet to a point, thence North 01°19'44" East a distance of 552.73 feet to a point, thence South 89°26'45" East a distance of 552.73 feet to a point, thence South 02°52'42" East a distance of 1,320.41 feet to a point, thence South 02°52'42" East a distance of 552.73 feet to the RIGHT of BECKMAN, and containing 70,553.288 square feet or 1.617768 acre(s) of land, more or less.

7851 sq. ft.	181 RECORDING	7500' +/-	CENTRAL
AREA	NO. OF LOTS	LENGTH OF STREETS	SEWER SYSTEM
VANCES	VANCES	60' W/TH	CENTRAL
AVG. LOT SIZE	LOT FRONTAGE	STREET WIDTH	WATER SYSTEM
APPROX.	VANCES	PAV	
ROAD SIDE AVE	LOT DEPTH	20'W/62	

ULTIMATE SURFACE WATER DISPOSAL

FOR: JMAC DEVELOPMENT LLC
CORPORATION
TM HENNING
OFFICER
310 HOWZE BEACH RD.
SHELBY, LA. 71461
ADDRESS

ZONING STAFF REPORT

Date: 12/29/17

Case No.: 2016-155-ZC

Prior Action: Approved 11/01/16 Zoning Meeting

Posted: 12/21/17

Meeting Date: 1/9/2018

Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: Frank J. Lopiccolo

OWNER: Military Road Land CO, LLC - Frank J. Lopiccolo

REQUESTED CHANGE: Major Amendment to the PUD Planned Unit Development Overlay

LOCATION: Parcel located on the east side of LA Highway 1081, south of Smith Road; S14, T6S, R11E; Ward 3, District 2

SIZE: 77.36 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: State

Road Surface: 2 lane asphalt

Condition: Good

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Undeveloped & Residential	A-1 Suburban District
South	Undeveloped & Residential	A-1 Suburban District
East	Undeveloped & Residential	A-1 Suburban District
West	Undeveloped & Residential	A-1 Suburban District

EXISTING LAND USE:

Existing development:

Multi occupancy development:

COMPREHENSIVE PLAN:

Planned Districts - Coordinated development on several parcels, usually at a higher density – but not in all cases - than other parcels in the proximity, planned in an integrated fashion as single units including residential, commercial and possibly other (institutional, recreational, *e.g.*) uses, as well as the supporting infrastructure and public services they will require (*See “Small Area Plans,” below*). Generally, such developments improve environmental qualities, preserve natural environments, provide for open space and recreational uses, and for residential as well as commercial uses, and are equipped with central utility systems and efficient and effective internal and external transportation access in multiple modes.

Single Family Residential – Conservation - These planned districts would include clustered single family residential uses, at a density – within the overall tract – which is similar to that of adjoining residential uses, and conservation areas, following a Small Area Plan, and providing for balance, compatibility and integration of uses and all supporting infrastructure. Such individual Planned Residential – Conservation developments should aim to achieve contiguity among adjoining conservation areas in adjacent developments.

STAFF COMMENTS:

The petitioner is requesting a major amendment to the PUD Planned Unit Development Overlay. This site is located on the east side of LA Highway 1081, south of Smith Road. The request consist of a reduction of the total acreage of the subdivision from 76.47 acres to 69.69 acres. The reduction in acreage will result in the removal of 2 parcels of land (total of 6.78 acres) from the Terra Mariea/Alexander Ridge PUD:

- 5.76 acre parcel:** A servitude rights of access will remain in place over and across the 5.76 acre parcel in order to preserve the access road, from LA Highway 1081/Stafford Road to the PUD subdivision.
- 1.02 acre parcel:** The removal of the 1.02 acre parcel, which is currently classified as greenspace for the Terra Mariea/Alexander Ridge PUD subdivision, will create a reduction of the total required percentage of greenspace for the PUD; however, it will not result in a reduction below the required 25% (remaining 33.84 acres/48.5% of greenspace).

Note that a request has been submitted for the 2 parcels in the question, to be rezoned to MD-2 (2017-853-ZC), to become part of the proposed development of the existing St. Scholastica Priory into a senior care facility.

STAFF RECOMMENDATION:

The staff recommends that the request for a major amendment to the PUD Planned Unit Development Overlay be approved.

Case No.: 2016-155-ZC

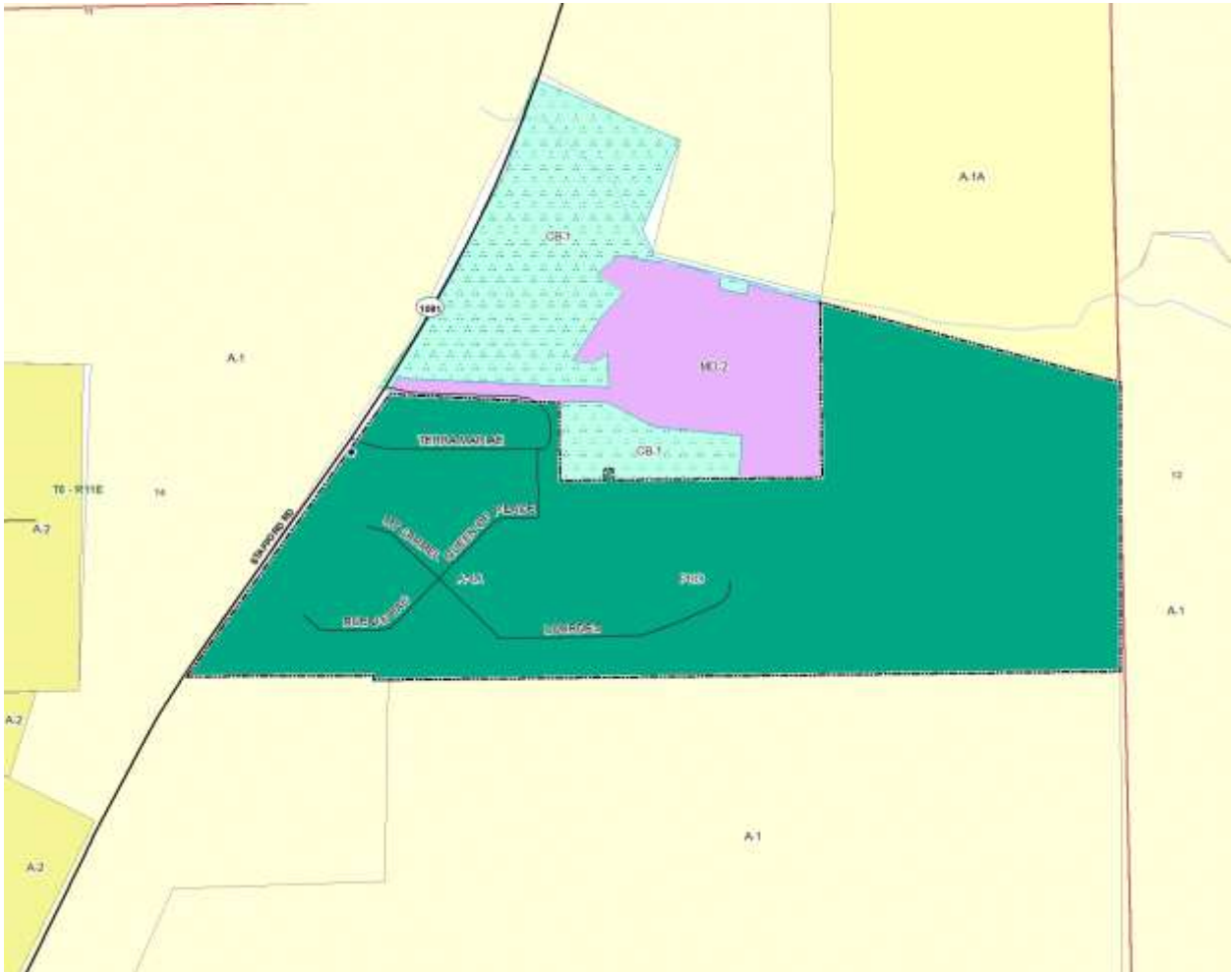
PETITIONER: Frank J. Lopiccolo

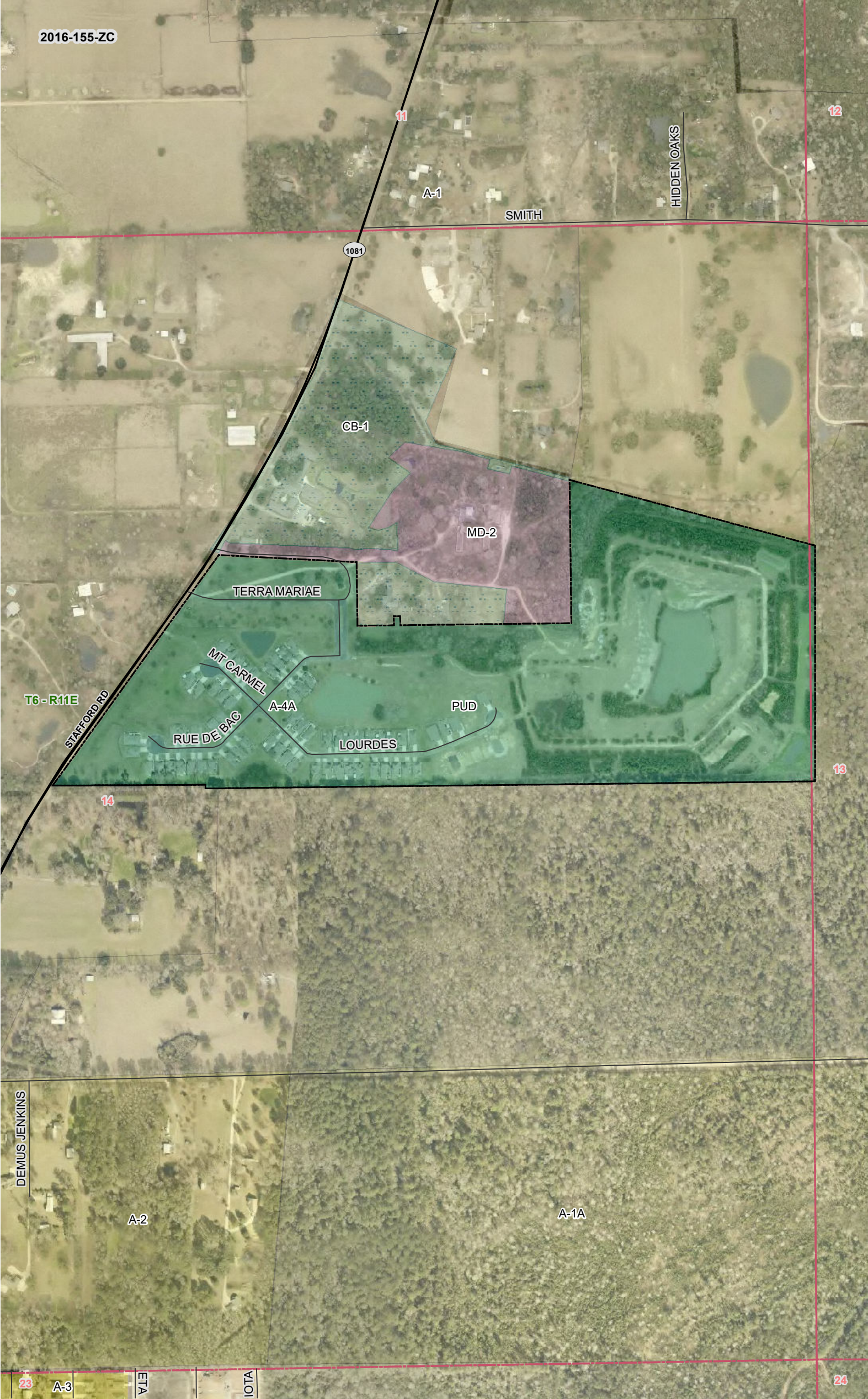
OWNER: Military Road Land CO, LLC - Frank J. Lopiccolo

REQUESTED CHANGE: Major Amendment to the PUD Planned Unit Development Overlay

LOCATION: Parcel located on the east side of LA Highway 1081, south of Smith Road; S14, T6S, R11E; Ward 3, District 2

SIZE: 77.36 acres





2016-155-ZC

WILLIAM J. JONES, JR.
JEFFREY D. SCHOEN
JOHN R. WALKER
SAM J. COLLETT, JR.
MARGARET H. KERN
CALVIN P. BRASSEAU
THOMAS H. HUVAL
PAUL J. MAYRONNE
BAILEY DIRMANN MORSE

SAM J. COLLETT III
MATTHEW J. CRAIN

JONES FUSSELL, L.L.P.

ATTORNEYS AT LAW

NORTHLAKE CORPORATE PARK, SUITE 103
1001 SERVICE ROAD EAST, HIGHWAY 190

P.O. BOX 1810
COVINGTON, LOUISIANA 70434-1810

TELEPHONE (985) 892-4801
FAX (985) 892-4925

HOWARD R. FUSSELL
(1937-2015)

November 29, 2017

Via Email & U.S. Mail

St. Tammany Parish
Department of Development
c/o Helen Lambert, Assistant Director
P.O. Box 628
Covington, LA 70434

**Re: Request to Rezone 6.7 Acres from A-4 Single Family Residential
and PUD Overlay to MD-2 Medical Clinic District**

Dear Helen:

As you may recall, I represent Military Road Land Co., LLC, which is the owner of the property subject to the aforementioned request. The purpose of my letter is to provide an explanation of the reasons underlying our request.

The subject property consists of two parcels (collectively the "Property"). The first is a 5.76 acre parcel which fronts Louisiana Highway 1081. The second is a 1.02 acre parcel which is situated north of the entrance road to Alexander Ridge (formerly Terra Mariae, Phase 3). The Property was once part of the St. Scholastica Priory. Currently, the old priory property (other than the subject Property) consists of Terra Mariae, Phases 1 and 2, to the south, Alexander Ridge, to the south and east, and the remaining parcel of MD-2 property (where the old priory facility is actually located) to the north. The Property presently adjoins the property zoned MD-2.

As the MD-2 property is developed as an assisted living facility, along with other approved appurtenant uses, my client believes that it was more compatible to have the Property as part of that development as opposed to the single-family residential components to the south and east. It is the future assisted living facility that will have a more direct interest in the Property and which will have, through contract, the maintenance obligation. It is for these reasons that we believe the Property is more appropriately zoned MD-2 and joined with, and made a part of, the existing MD-2 zoning.

Furthermore, I should point out that both Terra Mariae and Alexander Ridge have predial servitude rights of access over and across the 5.76 acre parcel, which cannot and will not be

2016-155-20

Helen Lambert
Page 2
November 29, 2017

modified as a result of the rezoning. The practical and legal access to these developments will not change.

I hope the foregoing adequately explains the reasons for our request, but should you have any further questions, or need any additional information, please do not hesitate to contact me.

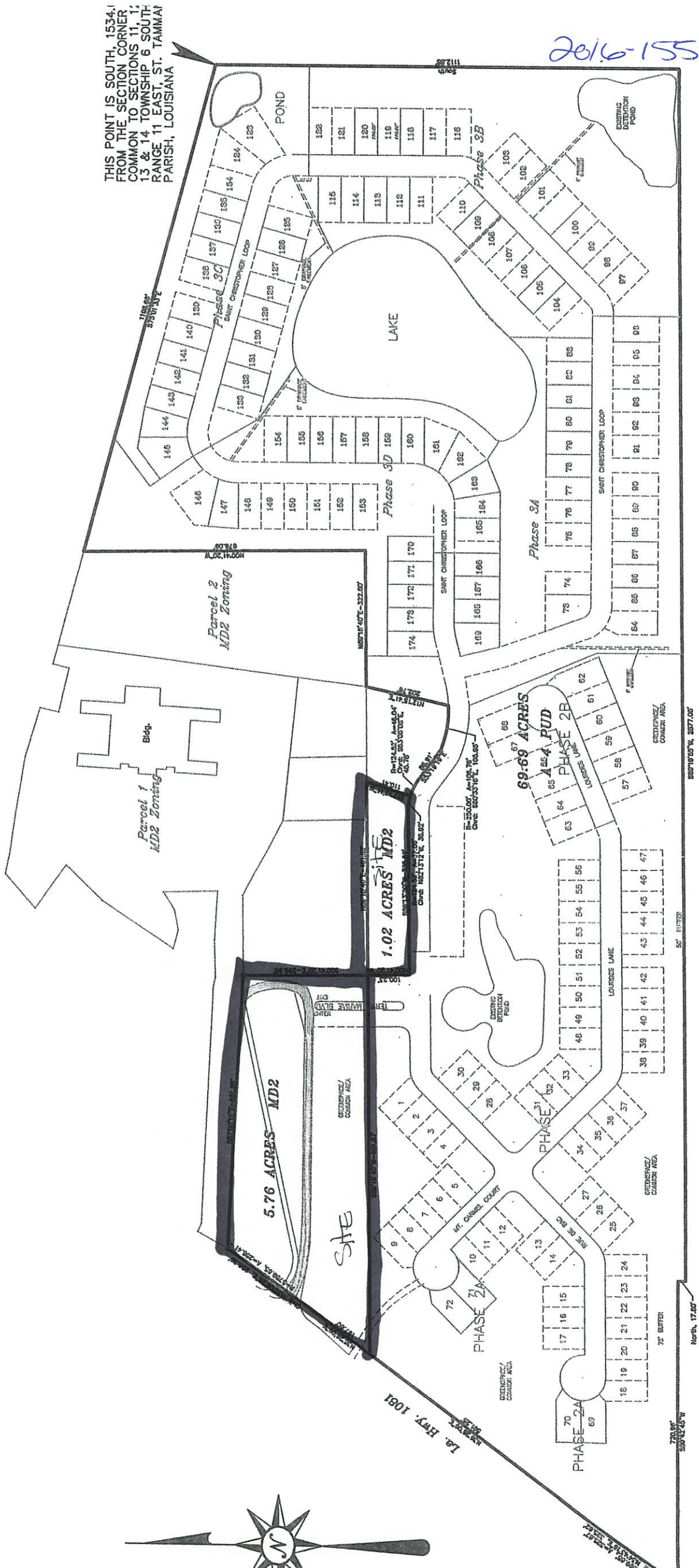
Sincerely,



Paul J. Mayronne

PJM:lmr

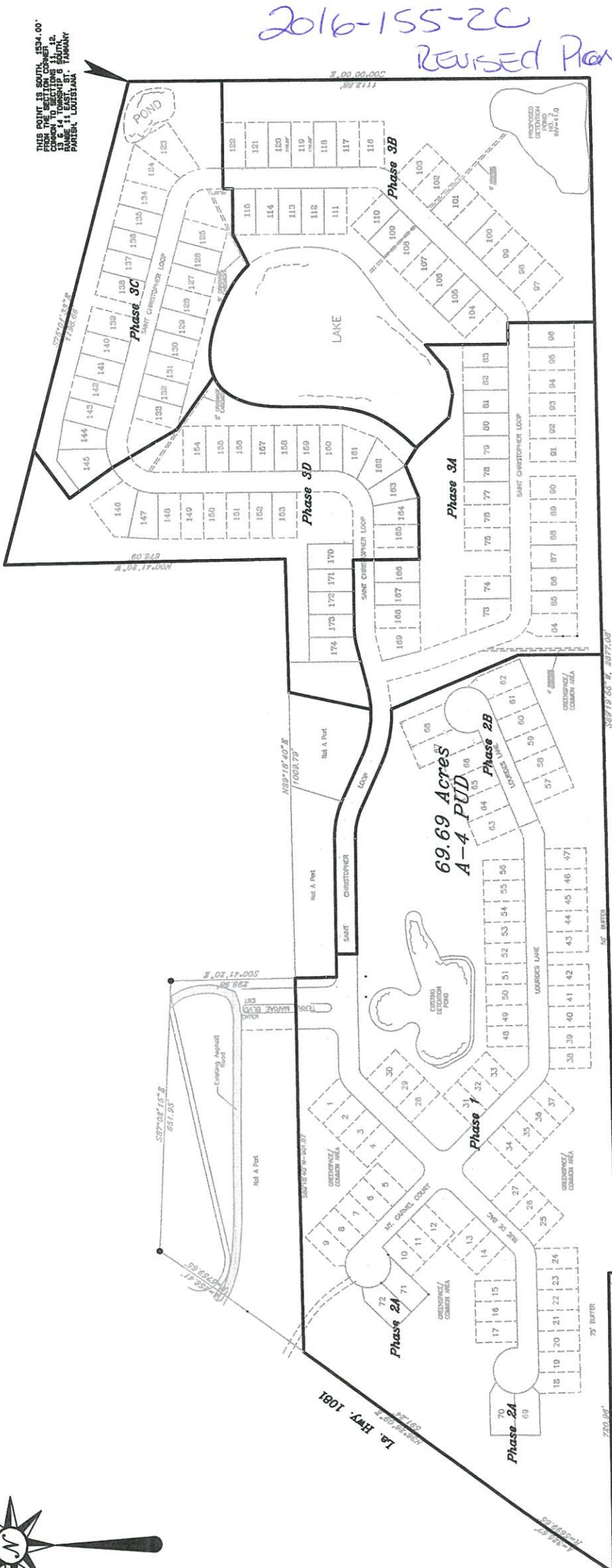
* THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY,
SOLE PURPOSE OF THIS MAP IS FOR ZONING ONLY





Terra Mariae
Phase 1, 2A, 2B, 3A, 3B, 3C & 3D
Section 14 Township 8 South,
Range 11 East, 8th, Tangany Parish, Louisiana
District 2 Ward 3

Owner/Developer:
Military Road Land Co., LLC
21056 Smith Road
Covington, LA 70435



Number of Lots in Phase 1 - 56 Lots
Number of Lots in Phase 2A - 4 Lots
Number of Lots in Phase 2B - 12 Lots
Number of Lots in Phase 3A - 28 Lots
Number of Lots in Phase 3B - 26 Lots
Number of Lots in Phase 3C - 23 Lots
Number of Lots in Phase 3D - 25 Lots
Total Number of Lots - 174 Lots

Min. Lot Size for Phases 1, 2A & 2B: 50' x 100'
Min. Lot Size for Phases 3A, 3B, 3C & 3D: 55' x 110'


This property is located in Flood Zone C
as per FEMA FIRI, Comm. Panel No.
226205 0150 C, map dated 10-17-1989

Total Acres in Development: 69.69 Acres
Acres in Greenspace: 30.53 Acres (Not including Ponds)
Acres in Pond Area: 6.62 Acres (86% 3.31 Acres)
Total Acres in Greenspace and Pond Area: 37.15 Acres
Total Percentage of Greenspace 49%

***THIS MAP DOES NOT REPRESENT A BOUNDARY SURVEY,
SOLE PURPOSE OF THIS MAP IS FOR ZONING ONLY
(This is a reduce copy and is not to scale.)**

Building Setback Lines for Phases 1, 2A & 2B:
Front - 20'
Side - 0' on 1 side, 10' on other side
Rear - 5'

Building Setback Lines for Phases 3A, 3B, 3C & 3D:
Front - 20'
Side - 5'
Rear - 5'



LAND SURVEYING LLC
518 N. COLUMBIA ST.
COVINGTON, LA. 70433

**Terra Mariae Phases 1, 2A,
2B, 3A, 3B, 3C & 3D**

SCALE: 1" = 125'	DATE: 10-28-2016	SECTION: 14, Township 8 South, Range 11 East, 8th, Tangany Parish, Louisiana	OWNER: MLC
Revised: Nov. 13, 2016			Revised: Nov. 30, 2017

PLAN REVIEW STAFF REPORT

Date: 12/29/17
CASE NO.: PR17-12-002
Posted: 12/21/17

Meeting Date: January 9, 2018
Determination: Approved, Amended Postponed, Denied

PETITIONER: Scott M. Gros P.E.
OWNER: JSB Hwy 21Lots, LLC - John S. Bowers III
PROPOSED USE: Retail Center
PREVIOUS/CURRENT USE: Undeveloped
SQ. FT. OF USE: 54,000 sq. ft.
GROSS AREA LOT SIZE: 4.75 acres
ZONING CLASSIFICATION: HC-2 Highway Commercial District
CORRIDOR: Planned Corridor Overlay
LOCATION: Parcel located on the east side of LA Highway 21, south of Azalea Drive; S47, T7S, R11E; Ward 1, District 1

SITE ASSESSMENT

ACCESS ROAD INFORMATION

Type: State

Road Surface: 5 lane asphalt

Condition: Good

LAND USE CONSIDERATIONS

Surrounding Land Use and Zoning:

<u>Direction</u>	<u>Land Use</u>	<u>Zoning</u>
North	Apartments & Undeveloped	HC-2 Highway Commercial District
South	Single Family Residential	A-2 Suburban District
East	Undeveloped	HC-2 Highway Commercial District
West	Commercial/office	HC-2 Highway Commercial District
Existing development?	Yes	Multi occupancy development? Yes

STAFF COMMENTS:

Petitioner is proposing a new retail center on a parcel located on the east side of LA Highway 21, south of Azalea Drive. A site plan and landscape plan were provided.

STAFF RECOMMENDATIONS:

The staff recommends approval of this proposal, as the majority of comments have been addressed. Should the Zoning Commission grant approval of the request, it should be subject to all applicable regulations and the following conditions:

1.

Landscape Plan must show the size and location of all existing trees to be preserved and any new plant materials to meet the applicable landscaping requirements (see attached chart). The size, caliper and species of the proposed trees shall be shown on the landscape plan. Class A trees shall be a minimum of 10' to 12' high. Class B trees shall be a minimum of 8’10’ in height. The caliper of Class A trees shall be a minimum of 2½" and the caliper of Class B trees shall be a minimum of 1½" measured at 1½ feet above the ground.
2.

Label 50’ buffer and parking setback and 100’ building setback.
3.

Re-subdivision must be approved or request a variance to waive the required side buffers and required number of trees.
4.

Show dimensions of the driveways on the plan and identify location of drive thru, if applicable.
5.

The proposed driveway, from Hwy 21, must be permitted by the Department of Transportation.
6.

Separate permit application will have to submit for fascia & monument signs. Monument sign must be located 5 ft. from the property line. See Section 6.05 Planned Corridor Overlay for sign regulations.
7.

A land clearing permit will have to be obtain before apply for a building permit (UDC Section 8.02). A trees survey shall be provided showing all existing trees to be preserved within the buffers and all cypress & live oak trees to be preserved on the site.
8.

The property owner shall be responsible for the maintenance and the replacement of the required plant materials.
9.

During construction, planting or open ground areas surrounding preserved trees shall be wired off with a properly flagged, reinforced & rolled wire mesh.
10.

Provide an exterior lighting plan meeting the Unified Development Code, Section 7.03 Lighting Regulations.

NOTE TO PETITIONER

There is a 10 day appeals period following the Zoning Commission decision. If the request is approved, permits will not be issued until this 10 day period has elapsed. The petitioner shall have one year to obtain the appropriate building permits or occupy the site from the date of approval of the St. Tammany Parish Zoning Commission, unless otherwise stipulated by the St. Tammany Parish Zoning Commission.

CASE NO.:

PETITIONER

OWNER

PROPOSED USE:

PREVIOUS/CURRENT USE:

SQ. FT. OF USE:

GROSS AREA LOT SIZE:

ZONING CLASSIFICATION:

CORRIDOR:

LOCATION:

PR17-12-002

Scott Gros

JSB Hwy 21Lots, LLC - John S. Bowers III

Retail Center

Undeveloped

54,000 sq. ft.

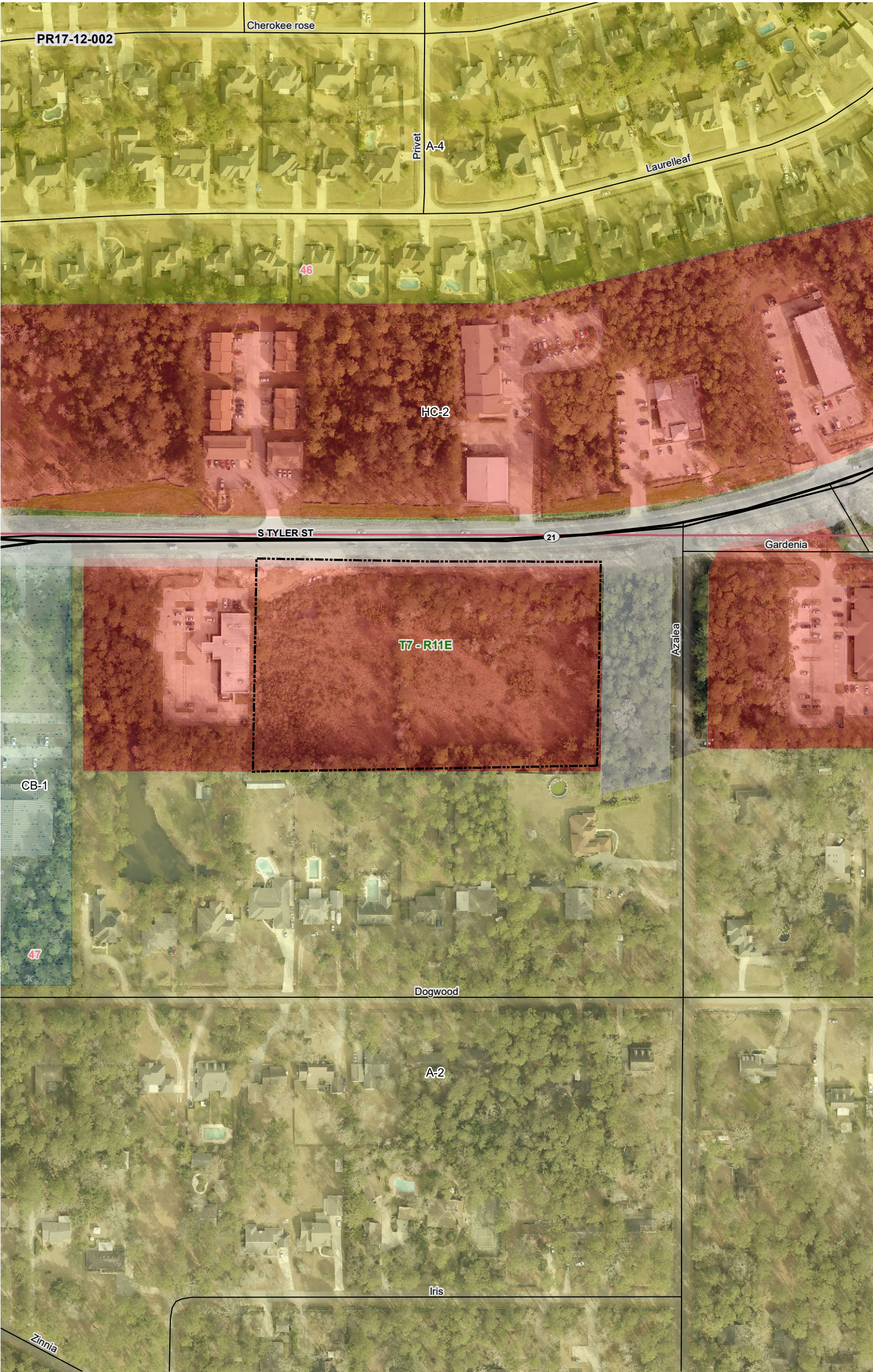
4.75 acres

HC-2 Highway Commercial District

Planned Corridor Overlay

Parcel located on the east side of LA Highway 21, south of Azalea Drive; S47, T7S, R11E; Ward 1, District 1

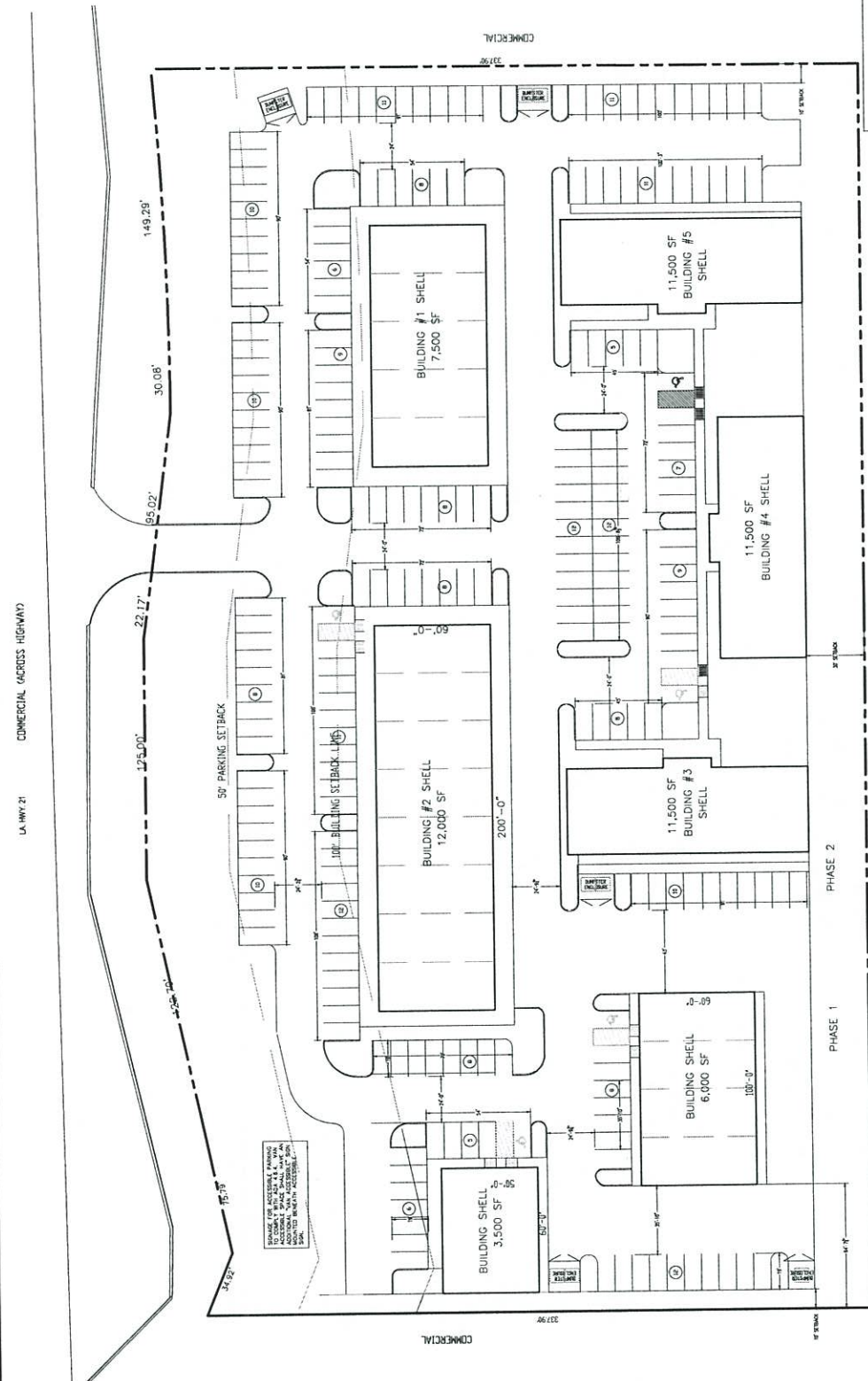




0 375 Feet



PR17-12-002



GENERAL CONDITIONS

Contractor shall obtain all permits and approvals required from authorities having jurisdiction. Construction shall not begin until the contractor has received and thoroughly reviewed all contract documents and documents of authorities having jurisdiction. Contractor shall secure Driveway Permit and notify authorities having jurisdiction prior to performing work interfering with traffic on adjacent roads and shall conform with Manual on Traffic Control Devices of the State of Louisiana. Furnish and maintain all necessary or required signs and/or barricades during the work.

Contractor shall examine all contract documents and secure information from the architect as required for a full understanding of the work. During the bid period, if any discrepancies, conflicts and interpretations of the contract shall be submitted in writing to the architect. The architect shall issue written addenda as required for clarification.

Contractor shall coordinate with local utility companies as may be required for relocation of all underground and overhead utilities to work on the site. Removal and/or relocation of utilities, meters, valves, etc. shall be performed per requirements of utility companies. Damage to existing utilities shall be repaired by Contractor.

Contractor shall contain construction / demolition within boundaries of site or as designated herein. Contractor shall repair damage caused to adjoining property. Protect vegetation, structures, utilities, pavements and other facilities to remain from damage caused by clearing, demolition and new construction.

Contractor shall perform all work in a safe and orderly manner avoiding hazardous conditions wherever possible. Provide all necessary, temporary shoring and bracing required to maintain safe and structurally sound execution of the work. Erect suitable barriers at hazardous areas to detour pedestrian traffic and prevent normal access to such areas to unauthorized persons. Perform all work in accordance with latest edition applicable safety codes, standards and regulations. Keep site clean during the work, trash and debris free. Remove all debris from the site and dispose legally. Site cleanup and repair is part of this work.

SITE WORK

Remove the entire depth of topsoil from areas to be occupied by structures, paving, drives, walkways, sidewalks and landscaping. The contractor shall provide a bill of material for the topsoil to be removed and disposed legally. Notify architect of any special soil or water conditions present at the site.

Contractor shall provide soil test, by independent soil laboratory, as directed by the architect, for all compacted fill as follows:

One standard proctor in fill material six density test on compacted fill at locations directed by architect, with compaction certificate as may be required.

Sub-grade shall be free of extraneous material. Proof roll detected subgrade prior to placing base. Soft or unstable areas detected thereby shall be undercut to firm soil and backfilled with aggregate. All concrete shall be uniformly stable prior to placing base. No base material shall be placed if the sub-grade indicates pumping.

Place base fill material in horizontal layers not exceeding 4" in depth and compact each layer. Density measurements may be required to assure degree of compaction. All site preparation data in these documents, and/or soil report shall be minimum acceptable standards.

Driveways and drainage structures between roadway and property line shall be constructed in accordance with Paralel and Slope of Louisiana standard engineering details. Such driveways shall be constructed of portland cement concrete, with minimum compressive strength of 4000 psi in twenty-eight days and a minimum thickness of 6". Initial expansion joints at 20 foot intervals.

Sidewalks, pathways and accessible routes shall be constructed of portland cement concrete with a minimum compressive strength of 2500 psi at twenty-eight days and a minimum thickness of five inches and width of 4 feet. Concrete expansion joints at 20 foot intervals. Any sidewalks or accessible route not level at the intersection of driveway or roadway shall be required to have a curb ramp at minimum slope of 1:12 and maximum rise of 30 inches and minimum level straight curb segment of 4 feet. Any weed in contact with ground, concrete and/or masonry shall be pressure treated.

PARKING TABULATION		
RETAIL USE 19,000 SF	1 SPACE PER 350 SF	44 REQ'D 44 PROVIDED
RESTAURANT USE 9,500 SF	1/3 SPACE PER PATRON (114) 1 SPACE PER EMPLOYEE (22)	35 REQ'D 35 PROVIDED
MEDICAL OFFICE USE 9,000 SF	1 SPACE PER 175 SF. 1 SPACE PER DOCTOR (12) 2 PER 3 EMPLOYEES (18)	104 REQ'D 104 PROVIDED
PROFESSIONAL OFFICE USE 17,000 SF	1 SPACE PER 350 SF	48 REQ'D 48 PROVIDED
HANDICAPPED	1 SPACE PER 50 SPACES	5 REQ'D 5 PROVIDED
TOTAL	ALL CATEGORIES	231 REQ'D 231 PROVIDED

1

SITE PLAN - PHASES 1 AND 2

1" = 30'-0"


$$12 \mid 27 \mid 17$$
L.A. HWY 21
COMMERCIAL (ACROSS HIGHWAY)

AZALEA GARDENS - PHASE 2
 HWY 21 - COVINGTON
 JSB 21 LOTS, LLC
 ST. TAMMANY PARISH
 SITE PLAN - PHASE I

SCALE: (24x36) 1" = 20'-0"	DESIGNED BY: SMG
SCALE: (11x17) 1" = 40'-0"	DRAWN BY: SMG
	CHECKED BY: SMG
DATE: 10.OCT.17	JOB NO. 1621

DATE: 10.OCT.17 JOB NO. 1621

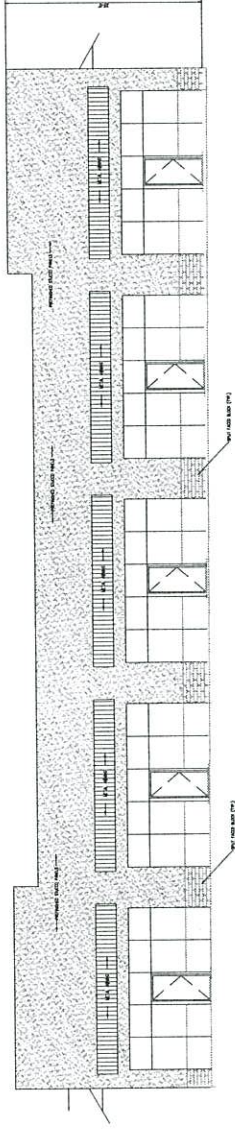
DATE	REMARKS	APP'D
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G&S ENGINEERING, LLC
PO BOX 71
MANDVILLE, LA 70470
504-722-0630

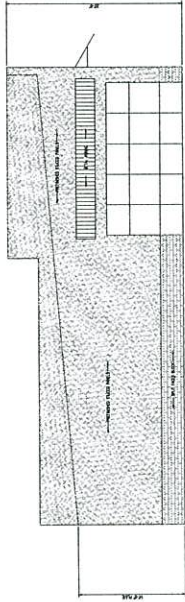


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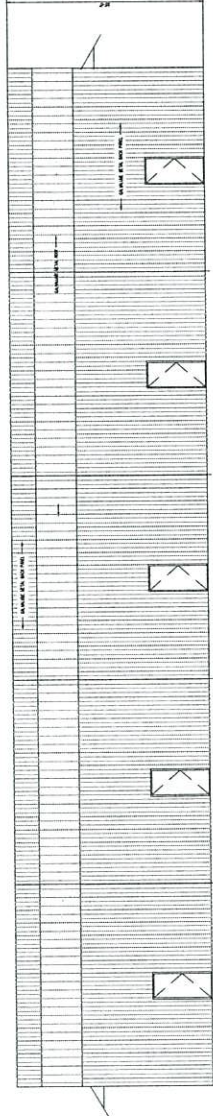
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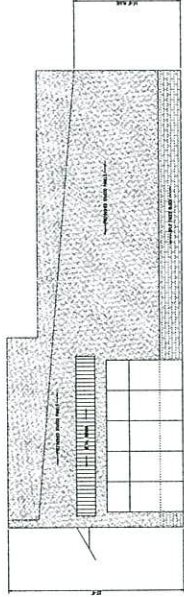
1 FRONT ELEVATION - BUILDING 1
3/16" = 1'-0"



3 LEFT ELEVATION - BUILDING 1
3/16" = 1'-0"



2 REAR ELEVATION - BUILDING 1
3/16" = 1'-0"



4 RIGHT ELEVATION - BUILDING 1
3/16" = 1'-0"



12/27/17

SHEET NO.

A2

G&S ENGINEERING, LLC
PO BOX 71
MANDERLY, LA 70470
504-723-0530



DATE _____
REMARKS _____
APPD _____

DATE: 10.OCT.17
JOB NO. 1621

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1" = 40'-0"

DRAWN BY: SMG
SCALE: (24x36)
1" = 20'-0"

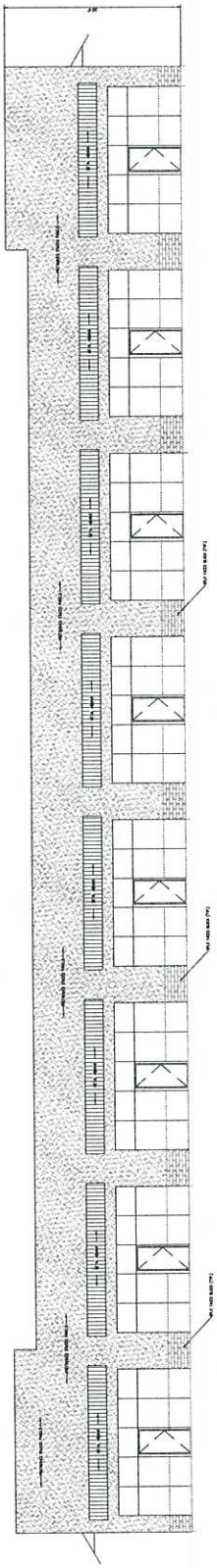
DESIGNED BY: SMG
1" = 20'-0"

AZALEA GARDENS - PHASE 2
HWY 21 - COVINGTON
JSB 21 LOTS, LLC
ST. TAMMANY PARISH
ELEVATIONS - BUILDING 1

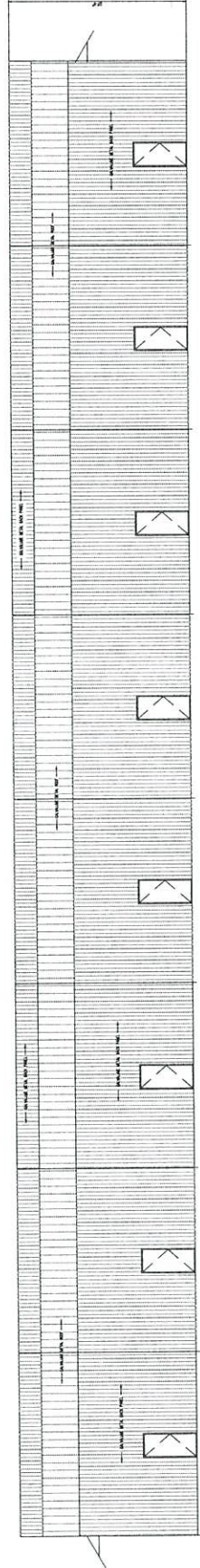
PR17-12-002

PR17-12-002

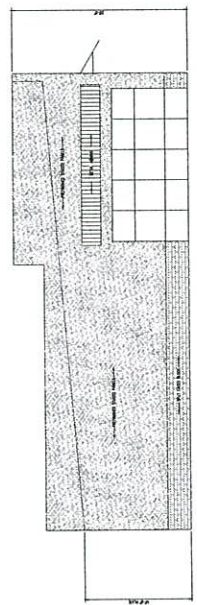
	SHEET NO.		GAS ENGINEERING, LLC PO BOX 71 MANDEVILLE, LA 70470 504-722-0630	DATE	REMARKS	APPD.
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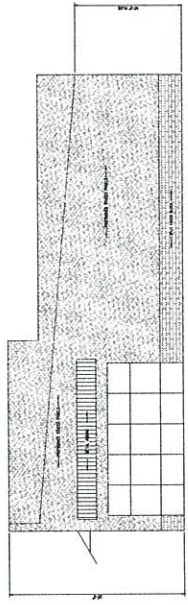
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3/16" = 1'-0"



2 REAR ELEVATION - BUILDING 2
3/16" = 1'-0"




3 LEFT ELEVATION - BUILDING 2
3/16" = 1'-0"



4 RIGHT ELEVATION - BUILDING 2
3/16" = 1'-0"



12/27/17

A4		G&S ENGINEERING, LLC PO BOX 71 MANDEVILLE, LA 70470 504-722-0630		DATE _____ REMARKS _____ APPD _____
		ORDERED BY: _____ DRAWN BY: _____ CHECKED BY: _____ DATE: 10.OCT.17		
		SCALE: (1/4") = 1' = 20' 0"	SNG SNG SNG	
		SCALE: (1/16") = 1' = 40' 0"	SNG SNG SNG	

AZALEA GARDENS - PHASE 2

HWY 21 - COVINGTON

JSE 21 LOTS, LLC

ST. TAMMANY PARISH

ELEVATIONS - BUILDING 3

SCALE: (24x36)	DESIGNED BY: SMG
1" = 20'-0"	DRAWN BY: SMG
SCALE: (11x17)	CHECKED BY: SMG
1" = 40'-0"	JOB NO. 1621
DATE: 10.OCT.17	

G&S ENGINEERING, LLC
PO BOX 71
MANDVILLE, LA 70470
504-722-0630



A4

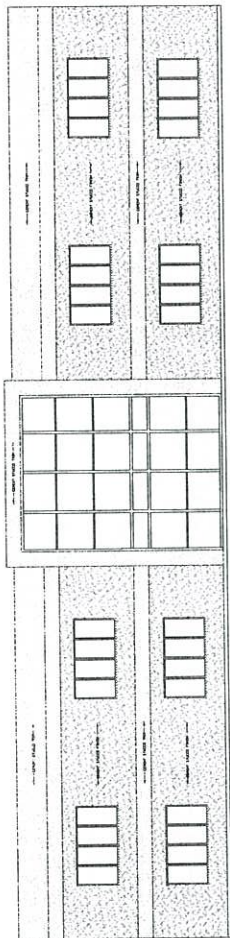
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3 LEFT ELEVATION - BUILDING 3
3/16" = 1'-0"

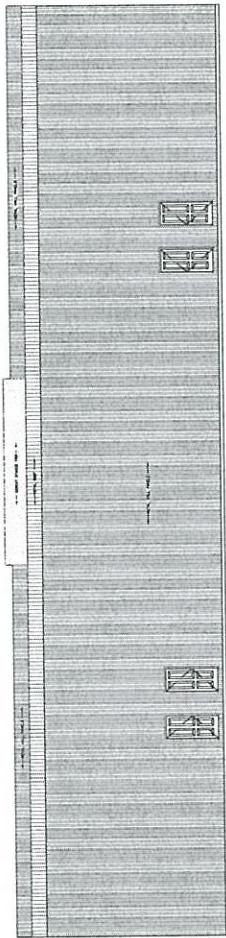
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PR12-17-002

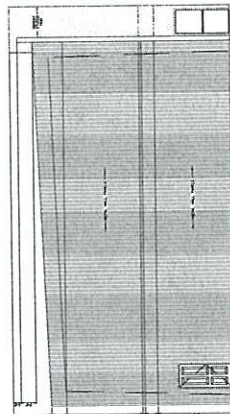
AZALEA GARDENS - PHASE 2 HWY 21 - COVINGTON USB 21 LOTS, LLC ST. TAMMANY PARISH ELEVATIONS - BUILDING 5	SCALE: (24"x36") 1" = 20'-0"	DESIGNED BY: SMG	10.OCT.17 1621	DATE: JOB NO.	CHECKED BY: SMG	DRAWN BY: SMG	SCALE: (11x17) 1" = 40'-0"	REMARKS	DATE	APPD


$$12 \mid 27 \mid 17$$


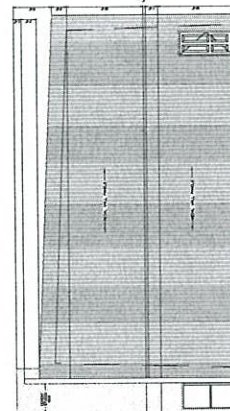
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3/16" = 1'-0"



2 REAR ELEVATION - BUILDING 5
3/16" = 1'-0"

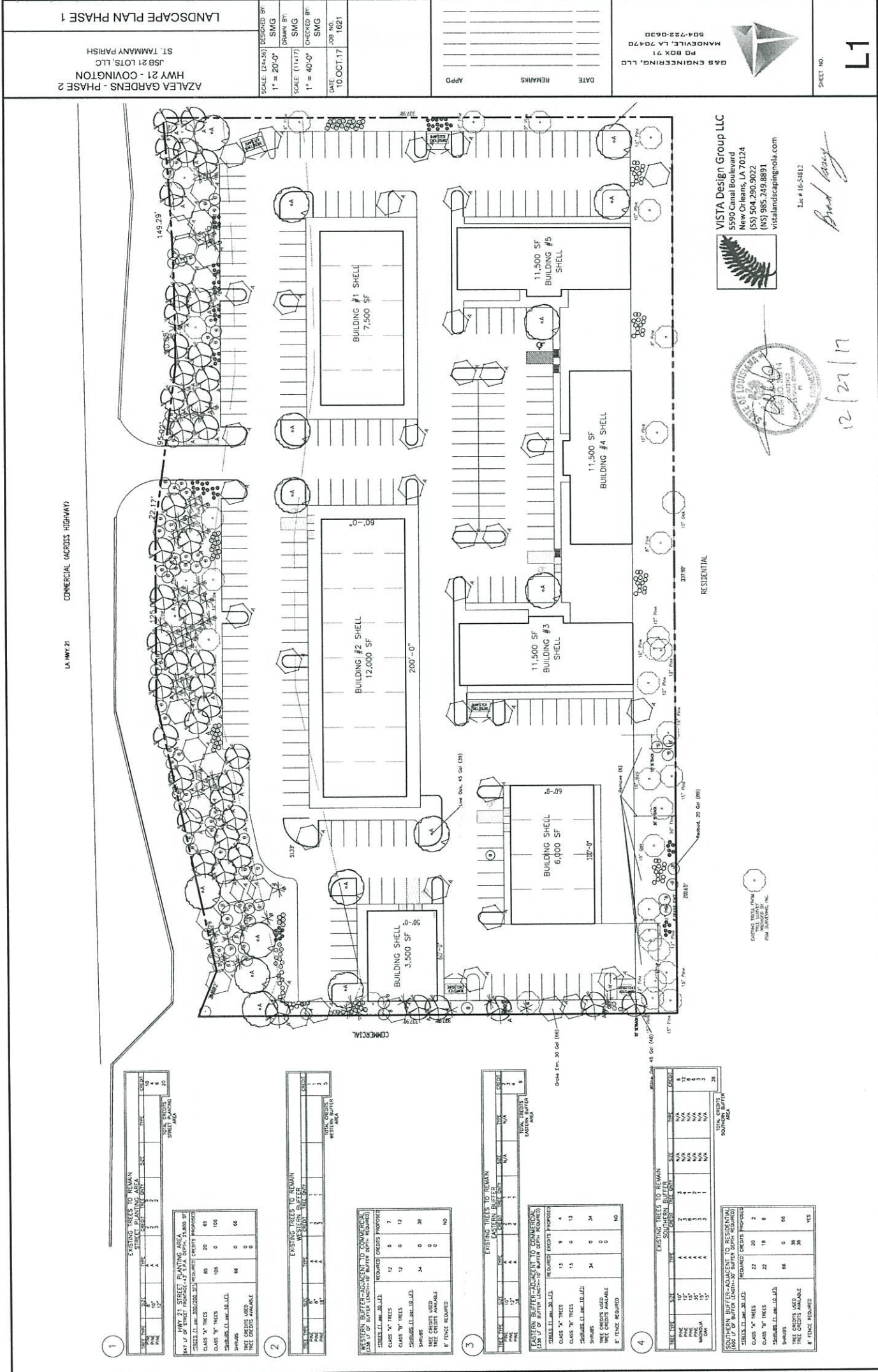


3 LEFT ELEVATION - BUILDING 5
3/16" = 1'-0"



4 RIGHT ELEVATION - BUILDING 5
3/16" = 1'-0"

PR12-17-002



VISTA Design Group LLC
5590 Canal Boulevard
New Orleans, LA 70124
(504) 504-2500
(504) 504-2502
vistadesigngroup.com



12/27/17

Brad Kary

QUANTITY	BOTANICAL NAME	DESCRIPTION	ROOT (MIN.)	HEIGHT (MIN.)	SPREAD (MIN.)	CALIPER (MIN.)	NOTES
TREE							
38	Quercus Virginiana	Live Oak	B&B or Col.	10'-12'	6-8'	2.5	Well Branched specimen
48	Quercus phellos	Willow Oak	B&B or Col.	10'-12'	6-8'	2.5	Well Branched specimen
66	Ulmus parvifolia 'Draee'	Draze Elm	B&B or Col.	8-10'	4-6'	2.0"	Well Branched
84	Cornus florida	Dogwood	B&B or Col.	8-10'	4-6'	2.0"	Well Branched
88	Cercis canadensis	Redbud	B&B or Col.	8-10'	4-6'	2.0"	Well Branched
SHRUBS							
90	Raphiolepis indica	Indian Hawthorn	3 gal	12"	18"	-	Full Material
79	Rhododendron indicum	George Tabor Azalea	3 gal	24-30"	24-30"	-	Full Material
89	Dietes vegeta	Butterfly lily	3 gal	-	-	-	-
GROUND COVER							
3 Flats Annuals		Owners selection	4" pots	-	-	-	Specified by owner

QUANTITY	BOTANICAL NAME	DESCRIPTION	ROOT (MIN.)	HEIGHT (MIN.)	SPREAD (MIN.)	CALIPER (MIN.)	NOTES
TREE							
38	Quercus Virginiana	Live Oak	B&B or Col.	10'-12'	6-8'	2.5	Well Branched specimen
48	Quercus phellos	Willow Oak	B&B or Col.	10'-12'	6-8'	2.5	Well Branched specimen
66	Ulmus parvifolia 'Drace'	Draze Elm	B&B or Col.	8-10'	4-6'	2.0"	Well Branched
84	Cornus florida	Dogwood	B&B or Col.	8-10'	4-6'	2.0"	Well Branched
88	Cercis canadensis	Redbud	B&B or Col.	8-10'	4-6'	2.0"	Well Branched
SHRUBS							
90	Raphiolepis indica	Indian Hawthorn	3 gal	12"	18"	-	Full Material
79	Rhododendron indicum	George Tabor Azalea	3 gal	24-30"	24-30"	-	Full Material
89	Dietes vegeta	Butterfly lily	3 gal	-	-	-	-
GROUND COVER							
3 Flats Annuals		Owners selection	4" pots	-	-	-	Specified by owner

GENERAL NOTES

AZALEA GARDENS - PHASE 2
 HWY 21 - COVINGTON
 JSB 21 LOTS, LLC
 ST. TAMMANY PARISH

SCALE: (24x36) 1" = 20'-0"	DESIGNED BY: SMG
SCALE: (11x17) 1" = 40'-0"	DRAWN BY: SMG
DATE: 10.OCT.17	CHECKED BY: SMG
	JOB NO. 1621

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G&S ENGINEERING, LLC
PO BOX 71
MANDVILLE, LA 70470
504-722-0630



SHEET NO.

2



VISTA Design Group LLC
5590 Canal Boulevard
New Orleans, LA 70124
(504) 504.290.9022
(504) 985.249.8891
vistalandscapingnola.com

LJC # 16-54812

Bradbury

APPENDIX A
CASE NO.: PR17-12-002
LANDSCAPE CHART

FOR COMMERCIAL/INDUSTRIAL/INSTITUTIONAL/MULTI-FAMILY USES ONLY

Affected Area	Planned Corridor Requirements	Minimum Required Buffer Plantings	Petitioner Provided	Staff Recommends
Street Planting Hwy 21 544.26 ft.	50' planting area & parking setback 100' building setback 1 Class A/300 sq. ft. 1 Class B/ 200sq ft. 1 Shrub per 10 linear feet	78 Class A trees Required 117 Class B trees Required 55 shrubs required	Show required 50' planting area and 100' building setback Plan Does not delineate property lines nor differentiate Phase 1 from Phase 2	Provide Landscape Plan for Phase 2 Parcel
South Perimeter Planting 538.55 ft.	30' planting area 1 Class A/ 30 sq. ft. 1 Class B/ 30 sq. ft. 8' opaque fence	30' planting area 15 Class A 15 Class B 8' opaque fence	Identify 30' planting area Provide the credits and required number of class A & class b trees for Phase 2	Provide Landscape Plan for Phase 2 Parcel
East Perimeter Planting 337.90 ft.	10' planting area 1 Class A/ 30 sq. ft. 1 Class B/ 30 sq. ft.	10' planting area 12 Class A 12 Class B	10' planting area 9 credits for Class A 12 Class B trees	Credits will be granted if trees remain healthy thru the duration of construction.
West Perimeter Planting 337.90 ft.	10' planting area 1 Class A/ 30 sq. ft. 1 Class B/ 30 sq. ft.	10' planting area 12 Class A 12 Class B	10' planting area	Show size of existing trees and proposed number of trees to be provided
Parking Planting Spaces Required Spaces Provided	1 Class A in Island / 12 spaces & in island at ends of row	1 Class A in Island / 12 spaces & in island at ends of row	1 Class A / 12 spaces & in islands at ends of row	Provide the required number of parking spaces according to the UDC Section 7.07 for retail & restaurant