

AGENDA
ST. TAMMANY PARISH ZONING COMMISSION MEETING
6:00 P.M. TUESDAY, AUGUST 7, 2018
ST. TAMMANY PARISH ADMINISTRATIVE COMPLEX, COUNCIL CHAMBERS
KOOP DRIVE OFF OF HIGHWAY 59, MANDEVILLE, LOUISIANA

ROLL CALL

CALL TO ORDER

ANNOUNCEMENTS

- **Phones and Pagers**
- **Appeals**
- **Speaker Cards**
- **Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal**
- **Please exit the building**

INVOCATION

PLEDGE OF ALLEGIANCE

APPROVAL OF THE JULY 3, 2018 MINUTES

POSTPONING OF CASES

PUBLIC HEARINGS

APPEARERS

ZONING CHANGE REQUEST CASES - APPLICATIONS FOR A PROPOSED CHANGE OF ZONING DISTRICT OR AMENDMENTS TO THE LAND USE ORDINANCE REQUIRING REVIEW & RECOMMENDATION OF APPROVAL BY THE ZONING COMMISSION BEFORE ACTION BY THE PARISH COUNCIL ARE AS FOLLOWS:

1. **2018-917-ZC**
Existing Zoning: A-3 (Suburban District)
Proposed Zoning: PF-1 (Public Facilities District)
Location: Parcel located on the west side of Allen Road, north of Miller Road, being 57209 Allen Road, Slidell, S13, T9S, R14E, Ward 8, District 14
Acres: 3.44 acres
Petitioner: Jeffrey Schoen
Owner: Faith Bible Church of Slidell - Alfred N. Young
Council District: 14
POSTPONED- 7/3/2018 MEETING

2. **2018-1064-ZC**
Existing Zoning: HC-2 (Highway Commercial District)
Proposed Zoning: A-4A (Single-Family Residential District)
Location: Parcel located on the west side of Nellie Drive, north of US Highway 190, being lot 16, Square 4, Pine Shadows Subdivision, S11, T9S, R14E, Ward 8, District 12.
Acres: 6250 sq.ft.
Petitioner: Barbin Builders Inc - Dorene Barbin
Owner: Flo-Ron Properties LLC - Rondal L. Richmond
Council District: 12

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KOOP DRIVE OFF OF HIGHWAY 59, MANDEVILLE, LOUISIANA

3. **2018-1069-ZC**
Existing Zoning: A-2 (Suburban District)
Proposed Zoning: A-2 (Suburban District) & MHO (Manufactured Housing Overlay)
Location: Parcel located on the north side of Ned Avenue, east of Sunrise Street,
 west of Bayou Paquet Street, being lot 35, Chateau Estates & 144 Ned
 Avenue, Slidell, S40, T9S, R13E, Ward 9, District 11.

Acres: 1.25 acres
Petitioner: Roxanne Wojeik
Owner: Roxanne Wojeik
Council District: 11

4. **2018-1075-ZC**
Text Change: An ordinance to amend the St. Tammany Parish Unified Development
 Code, Section 130-2163. Minimum off-street loading requirements to
 amend the required number of parking spaces for Institutional and
 commercial medical uses, clinics & medical office buildings.

5. **2018-1079-ZC**
Existing Zoning: A-3 (Suburban District) & HC-3 (Highway Commercial District)
Proposed Zoning: HC-3(Highway Commercial District)
Location: Parcel located on the southeast corner of I-12 & LA Highway 434, S17
 & 18, T8S, R13E, Ward 7, District 7.

Acres: 31.34 acres
Petitioner: David T. & Mary M. Aquistapace
Owner: David T. & Mary M. Aquistapace
Council District: 7

6. **2018-1090-ZC**
Existing Zoning: A-2 (Suburban District)
Proposed Zoning: A-2 (Suburban District) & RO (Rural Overlay)
Location: Parcel located on the northwest corner of Surrey Lane & Red Mill Drive,
 being lot 40 Belle Acres Subdivision & 56165 Red Mill Drive, Slidell,
 S21, T9S, R15E, Ward 8, District 13.

Acres: 2.33 acres
Petitioner: Stancel LaFaver
Owner: Stancel LaFaver
Council District: 13

7. **2018-1091-ZC**
Text Change: An ordinance to amend Chapter 130 of the St. Tammany Parish Unified
 Development Code, to add Brewery or Distillery with Tours, specifically
 Section 130-5 Definitions and to Sections: 130-1075 I-2 Industrial
 District Administrative Permits, 130-1108 I-3 Heavy Industrial District
 Administrative Permits, 130-1130 I-4 Heavy Industrial District
 Administrative Permits and 130-2113 Minimum Standards.

8. **2018-1092-ZC**
Existing Zoning: A-2 (Suburban District)
Proposed Zoning: A-3 (Suburban District)
Location: Parcel located on the west side of Dixie Ranch Road, south of Idlewild
 Pines Road, S36, T8S, R13E, Ward 9, District 11.

Acres 4.09 acres
Petitioner: ReMax - Michelle Pennino
Owner: The Rose Mary Gunn and Willie Gunn Revocable Trust - Cynthia B
 King & Brenda A. Franklin
Council District: 11

AGENDA

ST. TAMMANY PARISH ZONING COMMISSION MEETING

6:00 P.M. TUESDAY, AUGUST 7, 2018

ST. TAMMANY PARISH ADMINISTRATIVE COMPLEX, COUNCIL CHAMBERS

KOOP DRIVE OFF OF HIGHWAY 59, MANDEVILLE, LOUISIANA

- 9. 2018-1093-ZC**
Existing Zoning: A-1 (Suburban District)
Proposed Zoning: A-1A (Suburban District) & RO (Rural Overlay)
Location: Parcel located on the north side of Stonehill Road, west of LA Highway 25, S32, T4S, R10E, Ward 2, District 3.

Acres: 8 acres
Petitioner: Wayne W. Weiser
Owner: Nicole and Jared Weiser
Council District: 3
- 10. 2018-1094-ZC**
Existing Zoning: A-5 (Two Family Residential District)
Proposed Zoning: A-4 (Single-Family Residential District) & MHO (Manufactured Housing Overlay)

Location: Parcel located on the east side of Jacob Road, south of Browns switch Road, S31, T8S, R15E, Ward 8, District 9.

Acres: 0.918 acres
Petitioner: Salvadore & Sena Ranatza
Owner: Salvadore & Sena Ranatza
Council District: 9
- 11. 2018-1096-ZC**
Existing Zoning: A-1A (Suburban District)
Proposed Zoning: A-3 (Suburban District-32,471.26 sq. ft.) & A-5 (Two Family Residential District-22,979.50 sq.ft.)

Location: Parcel located on the west side of Eugene Wallace Road, south of Cleland Road, S8, T6S, R12E, Ward 10, District 6.

Acres: 1.27 acres
Petitioner: James Robert & Carrie Landry Boltin
Owner: James Robert & Carrie Landry Boltin
Council District: 6
- 12. 2018-1099-ZC**
Existing Zoning: I-4 (Heavy Industrial District)
Proposed Zoning: SWM-1 (Solid Waste Management District)
Location: Parcel located on the south side of T.J. Smith Parkway, west of US Highway 11, S23, T8S, R14E, Ward 8, District 9.

Acres: 3.988 acres
Petitioner: St. Joe Brick Works INC. - M.P. Schneider
Owner: St. Joe Brick Works INC. - M.P. Schneider
Council District: 9
- 13. 2018-1100-ZC**
Existing Zoning: I-4 (Heavy Industrial District)
Proposed Zoning: SWM-1 (Solid Waste Management District)
Location: Parcel located on the north side of T.J. Smith Parkway, west of US Highway 11, S23, T8S, R14E, Ward 8, District 9.

Acres: 3.495 acres
Petitioner: Chris Jean
Owner: Bush Farms INC - Linda Bush Burdine
Council District: 9

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PLAN REVIEW CASES - APPLICATIONS REQUIRING REVIEW AND APPROVAL
OF SITE PLANS ALONG A PLANNED DISTRICT BY THE ZONING COMMISSION
ARE AS FOLLOWS:

- 1. PR17-12-002 - USE: Reconfiguration of proposed Retail Center
CORRIDOR: Highway 21 Planned Corridor Overlay
ZONING: HC-2 Highway Commercial District
USE SIZE: 48,000 sq. ft.
PETITIONER: Scott M. Gros P.E.
OWNER: JSB Hwy 21 Lots, LLC – John S. Bowers III
LOCATION: Parcel located on the east side of LA Highway 21, south of Azalea Drive;
S47, T7S, R11E; Ward 1, District 1.

OLD BUSINESS

NEW BUSINESS

ADJOURNMENT

**MINUTES OF THE ST. TAMMANY PARISH ZONING COMMISSION MEETING
6:00 P.M. - TUESDAY, JULY 3, 2017
ST. TAMMANY PARISH ADMINISTRATIVE COMPLEX, COUNCIL CHAMBERS
KOOP DRIVE OFF OF HIGHWAY 59, MANDEVILLE, LOUISIANA**

ROLL CALL

Present: Cazaubon, Lorren, Richardson, Willie, Mannella, Davis, Doherty, Drumm,
Randolph
Absent: Richard and Fitzmorris
Staff Present: Helen Lambert, Cara Bartholomew, Karlin Riles

CALL TO ORDER

The regular meeting of the St. Tammany Parish Zoning Commission was called to order by the Chairman, Dave Mannella.

INVOCATION

The Invocation was presented by Mr. Randolph.

PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was presented by Mr. Richardson

APPROVAL OF THE MINUTES FOR THE June 5, 2018 ZONING MEETING

Randolph moved to approve, second by Davis

Yea: Cazaubon, Lorren, Richardson, Willie, Mannella, Davis, Doherty, Drumm,
Randolph

Nay:

Abstain:

POSTPONING OF CASES –

2018-917-ZC – Petitioner Jeff Schoen requests postponement for 1 Month

PUBLIC HEARINGS

ZONING CHANGE REQUEST CASES - APPLICATIONS FOR A PROPOSED CHANGE OF ZONING DISTRICT OR AMENDMENTS TO THE LAND USE ORDINANCE REQUIRING REVIEW & RECOMMENDATION OF APPROVAL BY THE ZONING COMMISSION BEFORE ACTION BY THE PARISH COUNCIL ARE AS FOLLOWS:

1. 2018-917-ZC

Existing Zoning: A-3 (Suburban District)
Proposed Zoning: PF-1 (Public Facilities District)
Location: Parcel located on the west side of Allen Road, north of Miller Road, being 57209 Allen Road, Slidell, S13, T9S, R14E, Ward 8, District 14
Acres: 3.44 acres
Petitioner: Jeffrey Schoen
Owner: Faith Bible Church of Slidell - Alfred N. Young
Council District: 14

POSTPONED FROM THE 5/1/2018 MEETING

A Public Hearing was opened for discussion of this case.

Jeff Schoen/ Jones Fussell request to postpone 1 month in order to further work with the neighborhood.

In Favor of the Postponement: Alissa Sanderson, Brandy Webb, Thomas Bradford, Donald Laurent, Judy Tregre

Opposition:

Drumm moved to postpone for 1 month, second by Randolph

Yea: Cazaubon, Lorren, Richardson, Willie, Mannella, Davis, Doherty, Drumm,
Randolph

Nay:

Abstain:

July 3, 2018 ZONING COMMISSION MEETING MINUTES, CONT.

5. 2018-1060-ZC

Existing Zoning: A-2 (Suburban District)
Proposed Zoning: A-2 (Suburban District) & MHO (Manufactured Housing Overlay)
Acres: 1.306 acres
Petitioner: Lola Lagman
Owner: Lola Lagman
Location: Parcel located on the south side of Clifford Singletary
Road, east of P. Kennedy Road, S27, T7S, R14E, Ward 6,
District 11.
Council District: 11

A Public Hearing was opened for discussion of this case.

In favor of this request: Lola Lagman

Opposition: none

Randolph moved to approve, second by Doherty

Yea: Cazaubon, Lorren, Richardson, Willie, Mannella, Davis, Doherty, Drumm,
Randolph

Nay:

Abstain:

6. ZC15-04-035

Major Amendment to the PUD (Planned Unit Development Overlay)
Location: Parcel located on the south side of LA Highway 22, west of
Trepagnier Road, S16, T7S, R10E, Ward 1, District 4.
Acres: 71 acres
Petitioner: Yanin LLC – Jason L. Yancey & Brian Intravia
Owner: Yanin LLC – Jason L. Yancey & Brian Intravia
Representative: Paul Mayronne

A Public Hearing was opened for discussion of this case.

In favor of this request: Paul Mayronne

Opposition: none

Lorren moved to approve, second by Cazaubon

Yea: Cazaubon, Lorren, Richardson, Willie, Mannella, Davis, Doherty, Drumm,
Randolph

Nay:

Abstain:

OLD BUSINESS

NEW BUSINESS

ADJOURNMENT

Mr. Dave Mannella, Chairman

ZONING STAFF REPORT

Date: 07/27/2018
Case No.: 2018-917-ZC
Prior Action: Postponed 07/03/18
Posted: 07/18/18

Meeting Date: 08/07/18
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: Jeffrey Shoen
OWNER: Faith Bible Church of Slidell - Alfred N. Young
REQUESTED CHANGE: From A-3 Suburban District to PF-1 Public Facilities District
LOCATION: Parcel located on the west side of Allen Road, north of Miller Road, being 57209 Allen Road , Slidell; S13, T9S, R14E; Ward 8, District 14
SIZE: 3.44 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: Parish **Road Surface:** 2 lane asphalt **Condition:** Good

LAND USE CONSIDERATIONS
SURROUNDING LAND USE AND ZONING:

| <u>Direction</u> | <u>Surrounding Use</u> | <u>Surrounding Zone</u> |
|------------------|------------------------|-------------------------|
| North | Residential | A-3 Suburban District |
| South | Residential | A-3 Suburban District |
| East | Church | A-3 Suburban District |
| West | Residential | A-3 Suburban District |

EXISTING LAND USE:

Existing development: Yes **Multi occupancy development:** No

COMPREHENSIVE PLAN:

Residential - Areas that provide for dwelling units. Such areas may vary in site design, structure design, and in the density of units per acre. Certain areas such as “village or town residential” may include mixed uses and would have the highest number of units per acre, while “Rural residential” would have the lowest number of units per acre, and may include agricultural or open space uses as well. In between these two types of residential areas would be varying levels of single-family detached dwellings, multi-family attached residential, and planned subdivisions for manufactured homes.

STAFF COMMENTS:

The petitioner is requesting to change the zoning from A-3 Suburban District to PF-1 Public Facilities District. This site is located on the west side of Allen Road, north of Miller Road, being 57209 Allen Road, Slidell. The 2025 future land use plan calls for the area to be developed with residential uses. Staff does not have any objection, considering that the objective of the request is to bring the existing use in compliance with the appropriate zoning district.

Note that the site is currently developed with a church, which was originally approved under conditional use permit.

STAFF RECOMMENDATION:

The staff recommends that the request for a PF-1 Public Facilities District designation be approved.

2018-917-ZC



0 375 Feet

N



Case No.: 2018-917-ZC

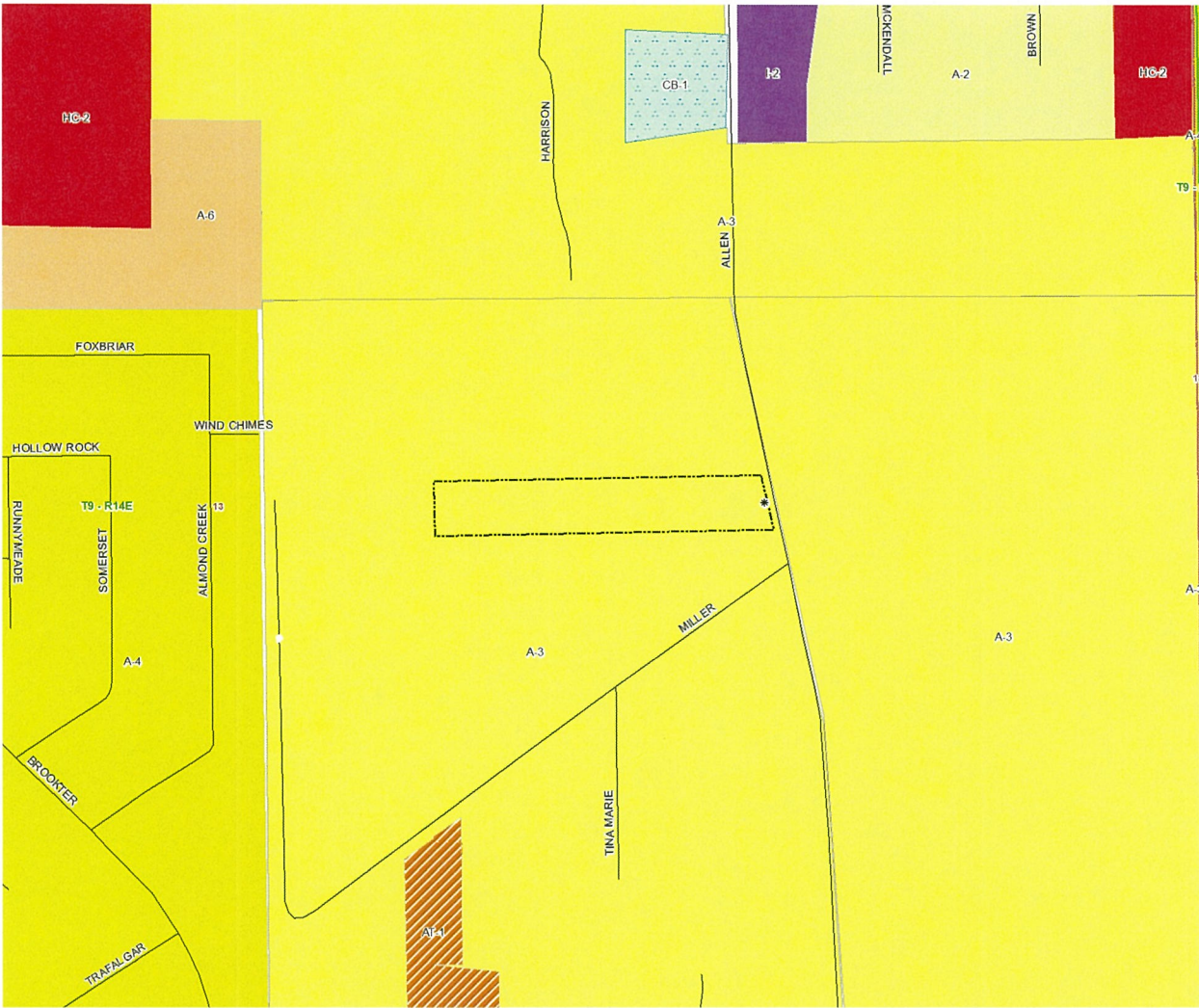
PETITIONER: Jeffrey Shoen

OWNER: FAITH BIBLE CHURCH of Slidell - Alfred N. Young

REQUESTED CHANGE: From A-3 Suburban District to PF-1 Public Facilities District

LOCATION: Parcel located on the west side of Allen Road, north of Miller Road, being 57209 Allen Road , Slidell; S13, T9S, R14E; Ward 8, District 14

SIZE: 3.44 acres



[illegible]

Ivon M. Borgen
No. 686

ZONING STAFF REPORT

Date: 7/27/2018
Case No.: 2018-1064-ZC
Prior Action: 07/18/18

Meeting Date: 8/7/2018
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: Barbin Builders Inc - Dorene Barbin
OWNER: Flo-Ron Properties LLC - Rondal L. Richmond
REQUESTED CHANGE: From HC-2 Highway Commercial District to A-4A Single-Family Residential District
LOCATION: Parcel located on the west side of Nellie Drive, north of US Highway 190, being lot 16, Square 4, Pine Shadows Subdivision ; S11, T9S, R14E; Ward 8, District 12
SIZE: 6250 sq.ft.

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: Parish **Road Surface:** 2 lane asphalt **Condition:** Good

LAND USE CONSIDERATIONS
SURROUNDING LAND USE AND ZONING:

| <u>Direction</u> | <u>Surrounding Use</u> | <u>Surrounding Zone</u> |
|------------------|------------------------|--|
| North | Residential | A-4A Single-Family Residential District |
| South | Undeveloped | HC-2 Highway Commercial District |
| East | Residential | A-4 Single-Family Residential District |
| West | Residential | NC-4 Neighborhood Institutional District |

EXISTING LAND USE:

Existing development: No **Multi occupancy development:** No

COMPREHENSIVE PLAN:
Commercial - Sales outlets for goods and services. Several levels or forms of commercial structures include: limited or specialty; neighborhood service centers; generous “highway commercial” uses; offices; public uses; planned mixed commercial and residential centers, and the traditional village or town central business district.

Residential - Areas that provide for dwelling units. Such areas may vary in site design, structure design, and in the density of units per acre. Certain areas such as “village or town residential” may include mixed uses and would have the highest number of units per acre, while “Rural residential” would have the lowest number of units per acre, and may include agricultural or open space uses as well. In between these two types of residential areas would be varying levels of single-family detached dwellings, multi-family attached residential, and planned subdivisions for manufactured homes.

STAFF COMMENTS:
The petitioner is requesting to change the zoning from HC-2 Highway Commercial District to A-4A Single-Family Residential District. This site is located on the west side of Nellie Drive, north of US Highway 190, being lot 16, Square 4, Pine Shadows Subdivision. The 2525 future land use plan call for the lot to be developed with commercial and/or residential uses. Staff does not have any objection, considering that the objective of the request is to allow for the construction of a single family residence.

STAFF RECOMMENDATION:
The staff recommends that the request for an A-4A Single-Family Residential District designation be approved.

Case No.: 2018-1064-ZC

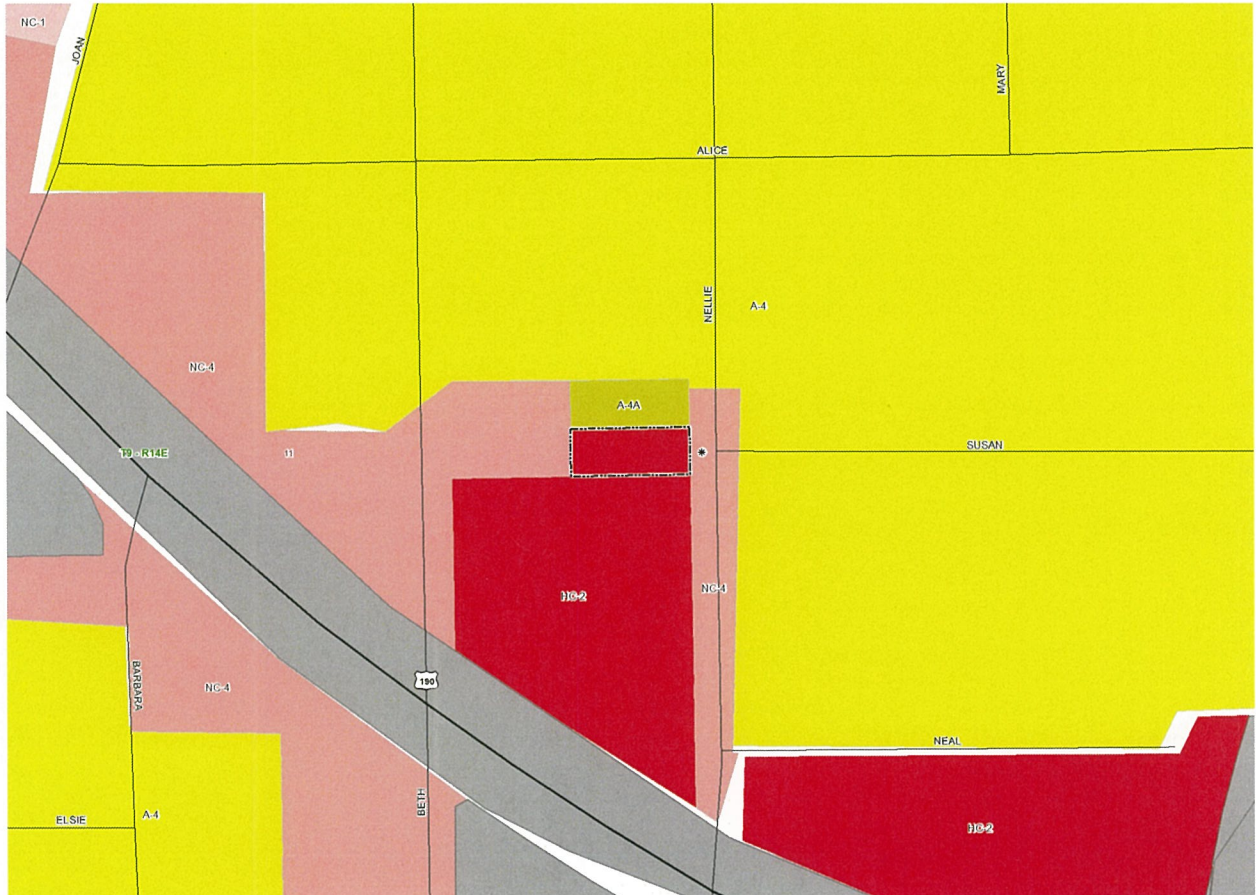
PETITIONER: Barbin Builders Inc - Dorene Barbin

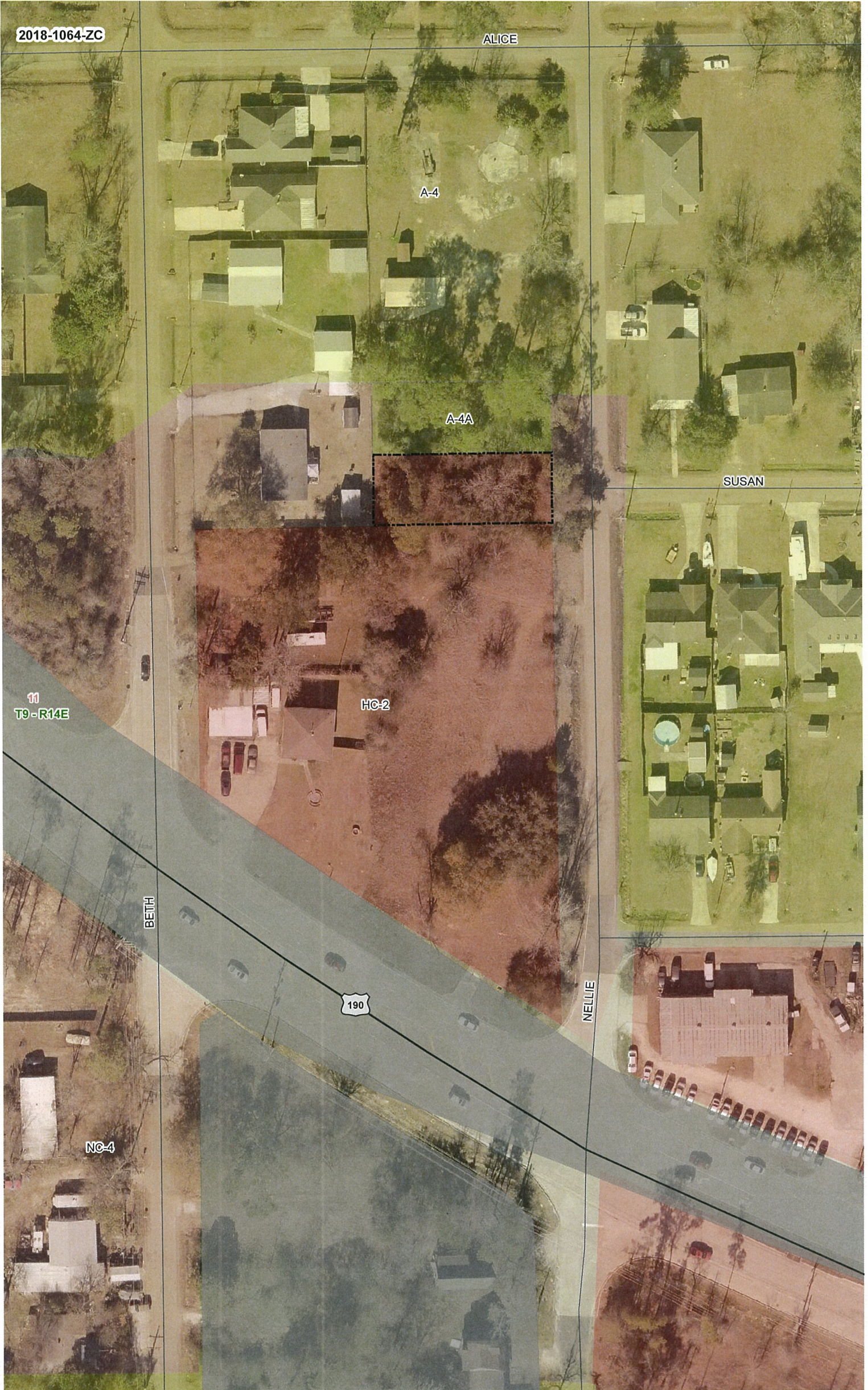
OWNER: Flo-Ron Properties LLC - Rondal L. Richmond

REQUESTED CHANGE: From HC-2 Highway Commercial District to A-4A Single-Family Residential District

LOCATION: Parcel located on the west side of Nellie Drive, north of US Highway 190, being lot 16, Square 4, Pine Shadows Subdivision ; S11, T9S, R14E; Ward 8, District 12

SIZE: 6250 sq.ft.





2018-1064-ZC

ALICE

A-4

A-4A

SUSAN

HC-2

11
T9-R14E

BETH

190

NELLIE

NC-4

0 130 Feet

N

NOTE: ACCORDING TO H&M, F.I.A. PLATON BATTERY BOUNDARY MAP NO. 225205-Q4200
THE PROPERTY IS LOCATED IN FLOOD ZONE C.

CAMBIT

A

2018-1064-ZC

ALICE AVENUE SIDE
SQUARE 4

SITE →

← SITE

BETH DRIVE 60' R/W

NELLIE DRIVE 60' R/W

U.S. HWY 190 80' R/W

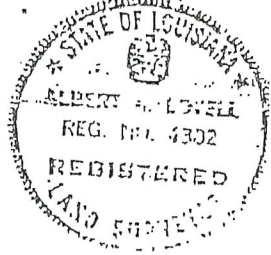
SCALE: 1" = 40'

MAP SHOWING SURVEY OF LOTS 7, 8, 9, 10, 11, 12 & 13, SQ. 4
PINE SHADOWS SUBDIVISION
LOCATED IN SECTION 11, T9S - R14E, G1D
NEAR THE CITY OF SLIDELL, ST.
TAMMANY PARISH, LOUISIANA

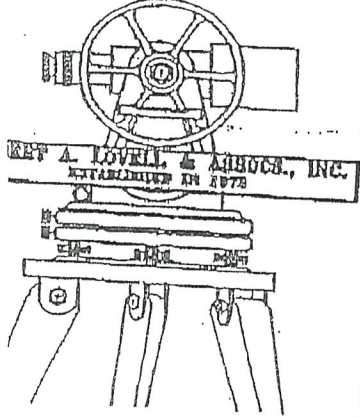
BY: CAPT. ANDREW MCKINNEY

TO ALL PARTIES INTERESTED IN TITLE TO PREMISES E
I HEREBY CERTIFY THAT THE ABOVE SURVEY WAS ACTUALLY MA
AND IN CORRECT, AND THAT THERE ARE NO ENCUMBRANCES SHOWN

DATE: SEPTEMBER 10, 1990
JOB NO. 100-937



WITNESSED:
ON THE GROUND, AS PER RECORD DESCRIPTION,
LAND PROPERTY LINES, EXCEPT AS MAY BE
Robert A. Lovell
ROBERT A. LOVELL & ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS
2311 503, ALFRED DRIVE
SLIDELL, LA 70458 841-241-2221



ROBERT A. LOVELL & ASSOCIATES, INC.
ESTABLISHED IN 1978

ZONING STAFF REPORT

Date: 7/27/2018
Case No.: 2018-1069-ZC
Posted: 07/18/18

Meeting Date: 8/7/2018
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: Roxanne Wojeik
OWNER: Roxanne Wojeik
REQUESTED CHANGE: From A-2 Suburban District to A-2 Suburban District & MHO Manufactured Housing Overlay
LOCATION: Parcel located on the north side of Ned Avenue, east of Sunrise Street, west of Bayou Paquet Street, being lot 35 Chateau Estates & 144 Ned Avenue, Slidell ; S40, T9S, R13E; Ward 9, District 11
SIZE: 1.25 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: Parish **Road Surface:** 2 lane asphalt **Condition:** Good

LAND USE CONSIDERATIONS
SURROUNDING LAND USE AND ZONING:

| <u>Direction</u> | <u>Surrounding Use</u> | <u>Surrounding Zone</u> |
|------------------|-------------------------------|-------------------------|
| North | Residential/Manufactured Home | A-2 Suburban District |
| South | Residential | A-2 Suburban District |
| East | Residential | A-2 Suburban District |
| West | Undeveloped | A-2 Suburban District |

EXISTING LAND USE:

Existing development: No **Multi occupancy development:** no

COMPREHENSIVE PLAN:
Residential - Areas that provide for dwelling units. Such areas may vary in site design, structure design, and in the density of units per acre. Certain areas such as “village or town residential” may include mixed uses and would have the highest number of units per acre, while “Rural residential” would have the lowest number of units per acre, and may include agricultural or open space uses as well. In between these two types of residential areas would be varying levels of single-family detached dwellings, multi-family attached residential, and planned subdivisions for manufactured homes.

STAFF COMMENTS:
The petitioner is requesting to change the zoning from A-2 Suburban District to A-2 Suburban District & MHO Manufactured Housing Overlay. This site is located on the north side of Ned Avenue, east of Sunrise Street, west of Bayou Paquet Street, being lot 35 Chateau Estates & 144 Ned Avenue, Slidell. The 2025 future land use plan calls for the area to be developed with residential uses including manufactured homes.

STAFF RECOMMENDATION:
The staff recommends that the request for a MHO Manufactured Housing Overlay designation be approved.

Case No.: 2018-1069-ZC

PETITIONER: Roxanne Wojeik

OWNER: Roxanne Wojeik

REQUESTED CHANGE: From A-2 Suburban District to A-2 Suburban District & MHO Manufactured Housing Overlay

LOCATION: Parcel located on the north side of Ned Avenue, east of Sunrise Street, west of Bayou Paquet Street, being lot 35 Chateau Estates & 144 Ned Avenue, Slidell ; S40, T9S, R13E; Ward 9, District 11

SIZE: 1.25 acres





2018-1069-ZC

BAYOU PAQUET

FRANCES

T9-R13E 40

A-2

NED

0 280 Feet



—



SURVEYOR'S CERTIFICATE
STATE OF LOUISIANA
PARISH OF ST. TAMMANY

I, Lester H. Martin Jr. Professional Surveyor do hereby certify that I have surveyed, computed and plotted the premises shown hereon located in Chateau Estates Subdivision, Phase 2, East Tammany Parish, LA. Surveyed at the request of Nathan and Melvin White & Barry Walton.

Witness my signature on this, the 22nd day of December 2015

Lester H. Martin Jr.
License #4758

LESTER H. MARTIN, JR.

REGISTERED
PROFESSIONAL

LAND SURVEYOR

SURVEY OF LOT 35
CHATEAU ESTATES S/D
PHASE 2
ST. TAMMANY PARISH, LA

DATE: 12/22/2014

SCALE: 1"=60'

DWG BY: JHJ

LESTER MARTIN JR.

& Associates LLC

822 Kostmayer Avenue
Slidell, Louisiana 70458

Mobile: (985) 285-9099 Fax: 1 (208) 279-0935
E-mail: LMSurveyor@aol.com

Roxanne Wojcik

04-13-2018 3:29 PM PDT

ST. TAMMANY PARISH COUNCIL

ORDINANCE

ORDINANCE CALENDAR NO. _____ ORDINANCE COUNCIL SERIES NO. _____

COUNCIL SPONSOR _____ PROVIDED BY: PLANNING & DEVELOPMENT

INTRODUCED BY: _____ SECONDED BY: _____

ON THE _____ DAY OF _____, 2018

An ordinance to amend the text of Chapter 130 St. Tammany Parish Unified Development Code, Section 130-2163. Minimum off-street loading requirements to amend the required number of parking spaces for Institutional and commercial medical uses, clinics & medical office buildings.

WHEREAS, the Zoning Commission of the Parish of St. Tammany after hearing in accordance with law, 2018-1075-ZC, has recommended to the Council of the Parish of St. Tammany, Louisiana, that the text of Chapter 130 St. Tammany Parish Unified Development Code, Section 130-2163. Minimum off-street loading requirements be amended to modify the required number of parking spaces for Institutional and commercial medical uses, clinics & medical office buildings; and

WHEREAS, the St. Tammany Parish Council considered the possibility that the amendment below may be advantageous to the economic development of St. Tammany Parish; and

WHEREAS, the St. Tammany Parish Council has determined that it is in the best interest of the businesses and citizens of St. Tammany Parish to amend the ordinance addressing the minimum off-street loading requirements; and

THE PARISH OF ST. TAMMANY HEREBY ORDAINS, that it amends Chapter 130 St. Tammany Unified Development Code, Section 130-2163. Minimum off-street loading requirements as follow:

Sec. 130-2163. - Minimum parking requirements.

The following table sets forth minimum off-street parking space requirements:

| <i>Health and Medical Uses</i> | |
|--|--|
| Institutional and commercial medical uses, clinics, medical office buildings | <div>1 space per each 175 sq. ft. of gross floor area plus 1 space per doctor on duty and 2 for every 3 employees on duty</div> <div><u>5 spaces per 1000 sq.ft. of building</u></div> |

REPEAL: All Ordinances or parts of Ordinances in conflict herewith are hereby repealed.

SEVERABILITY: If any provision of this Ordinance shall be held to be invalid, such invalidity shall not affect other provisions herein which can be given effect without the invalid provision and to this end the provisions of this Ordinance are hereby declared to be severable.

EFFECTIVE DATE: This Ordinance shall become effective fifteen (15) days after adoption.

MOVED FOR ADOPTION BY: _____, SECONDED BY: _____

WHEREUPON THIS ORDINANCE WAS SUBMITTED TO A VOTE AND RESULTED IN THE FOLLOWING:

YEAS:

NAYS:

ABSTAIN:

ABSENT:

THIS ORDINANCE WAS DECLARED DULY ADOPTED AT A REGULAR MEETING OF THE PARISH COUNCIL ON THE _____ DAY OF _____, 2018; AND BECOMES ORDINANCE _____ COUNCIL _____ SERIES _____ NO. 18-____.

S. MICHELLE BLANCHARD, COUNCIL CHAIRMAN

ATTEST:

THERESA L. FORD, COUNCIL CLERK

PATRICIA P. BRISTER, PARISH PRESIDENT

Published Introduction: _____, 2018
Published Adoption: _____, 2018
Delivered to Parish President: _____, 2018 at _____
Returned to Council Clerk: _____, 2018 at _____

ZONING STAFF REPORT

Date: 7/27/2018
Case No.: 2018-1079-ZC
Posted:07/18/18

Meeting Date: 8/7/2018
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: David T. & Mary M. Aquistapace
OWNER: David T. & Mary M. Aquistapace
REQUESTED CHANGE: From A-3 Suburban District & HC-3 Highway Commercial District to HC-3 Highway Commercial District
LOCATION: Parcel located on the southeast corner of I-12 & LA Highway 434; S17 & 18, T8S, R13E; Ward 7, District 7
SIZE: 31.34 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: State & Federal **Road Surface:** 2 lane asphalt and interstate ramp **Condition:** Good

LAND USE CONSIDERATIONS SURROUNDING LAND USE AND ZONING:

| <u>Direction</u> | <u>Surrounding Use</u> | <u>Surrounding Zone</u> |
|------------------|---|----------------------------------|
| North | Interstate Ramp to I-12 | |
| South | Commercial, Residential & Undeveloped | A-3 Suburban District |
| East | Undeveloped | A-3 Suburban District |
| West | Vacant & Entrance to the Transfer Station | HC-3 Highway Commercial District |

EXISTING LAND USE:

Existing development: **Multi occupancy development:**

COMPREHENSIVE PLAN:

Planned Districts - Coordinated development on several parcels, usually at a higher density – but not in all cases - than other parcels in the proximity, planned in an integrated fashion as single units including residential, commercial and possibly other (institutional, recreational, *e.g.*) uses, as well as the supporting infrastructure and public services they will require (*See “Small Area Plans,” below*). Generally, such developments improve environmental qualities, preserve natural environments, provide for open space and recreational uses, and for residential as well as commercial uses, and are equipped with central utility systems and efficient and effective internal and external transportation access in multiple modes.

Single Family Residential – Conservation - These planned districts would include clustered single family residential uses, at a density – within the overall tract – which is similar to that of adjoining residential uses, and conservation areas, following a Small Area Plan, and providing for balance, compatibility and integration of uses and all supporting infrastructure. Such individual Planned Residential – Conservation developments should aim to achieve contiguity among adjoining conservation areas in adjacent developments.

STAFF COMMENTS:

The petitioner is requesting to change the zoning from A-3 Suburban District & HC-3 Highway Commercial District to HC-3 Highway Commercial District. This site is located on the southeast corner of I-12 & LA Highway 434. The 2025 Future land use plan calls for the area to be as a Planned District with residential uses and conservation areas.

The objective of the request is to allow for the southern portion of the 31.34 acre parcel to be rezoned to HC-3. Staff is not completely opposed to the request considering that the site is abutting the on-ramp to Interstate 12; however, the request should be reduced in size to allow for a portion of the property, along the southern boundary line, to remain zoned A-3 Suburban District, due to the proximity of some existing single family residential lots to the south.

STAFF RECOMMENDATION:

The staff recommends that the request for a HC-3 Highway Commercial District designation be denied.

Case No.: 2018-1079-ZC

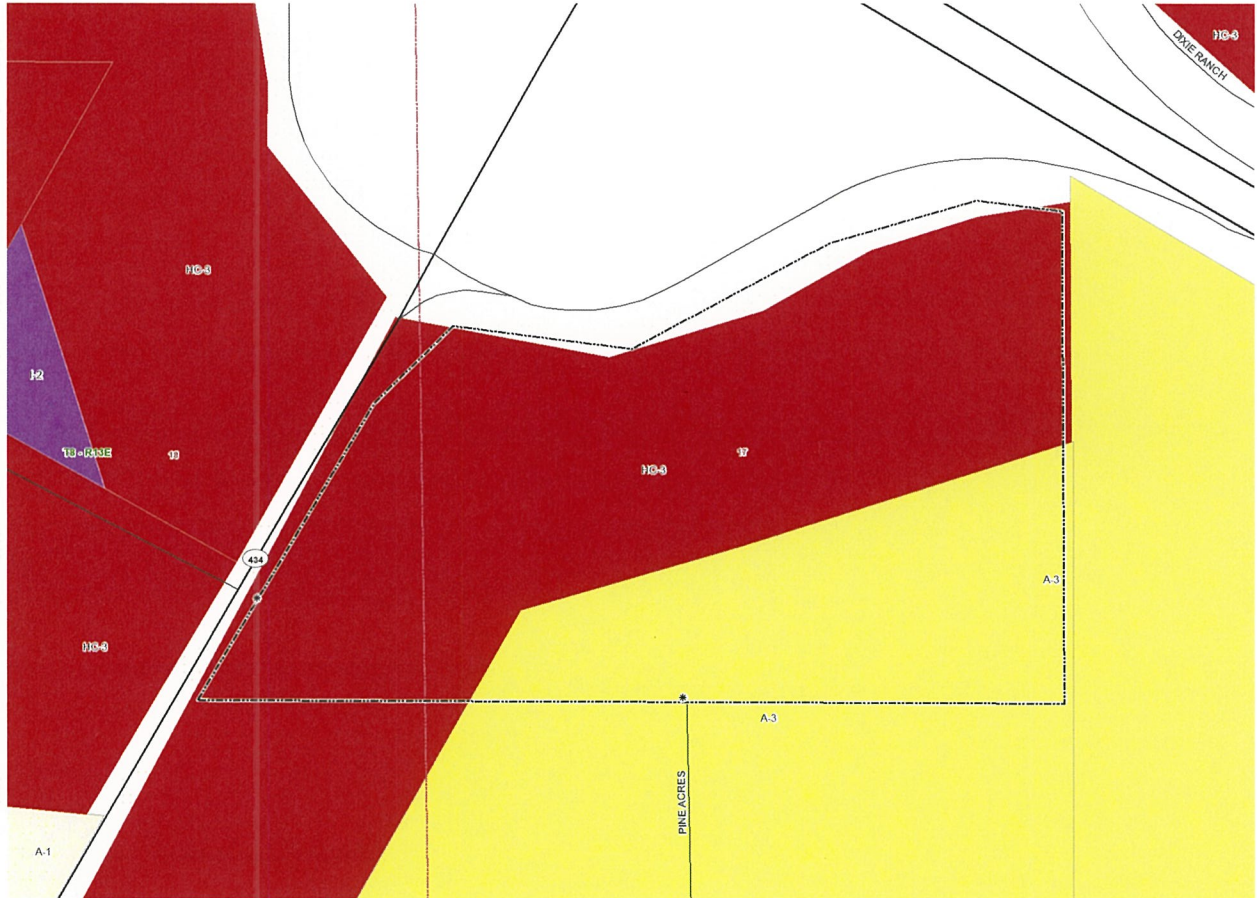
PETITIONER: David T. & Mary M. Aquistapace

OWNER: David T. & Mary M. Aquistapace

REQUESTED CHANGE: From A-3 Suburban District & HC-3 Highway Commercial District to HC-3 Highway Commercial District

LOCATION: Parcel located on the southeast corner of I-12 & LA Highway 434; S17 & 18, T8S, R13E; Ward 7, District 7

SIZE: 31.34 acres





2018-1079-ZC

DIXIE RANCH

12E

12W

I-2
18

HC-3
T8-R13E

17

A-1

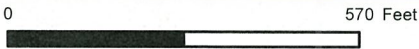
PINEACRES

A-3

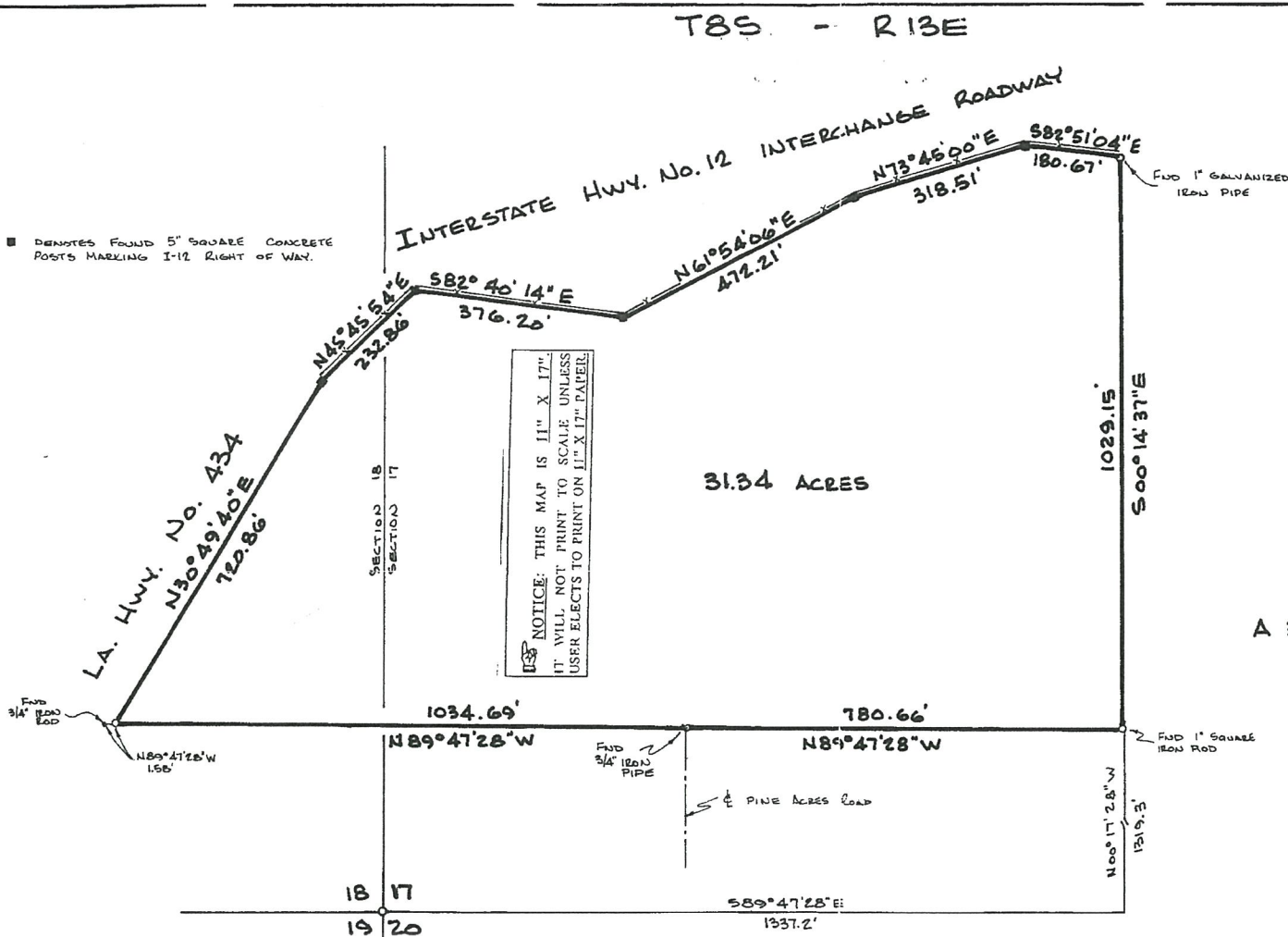
LITTLE DIXIE RANCH

19

20



208-1079-2C

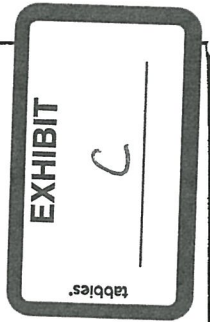


SURVEY MAP
OF
A 31.34 ACRE PARCEL OF LAND SITUATED
IN
SECTIONS 17 & 18, T8S - R13E
ST. TAMMANY PARISH, LA.
FOR
JOHN J. CUMMINGS III
&
STEWART TITLE OF LOUISIANA

REFERENCE SURVEYS: 1) MAP BY ROSS B. CASHION, JR.
DATED 7-16-84
2) MAP BY EDDIE J. CHAMPAGNE
DATED MARCH 29, 1963; DWG. NO. 1921

John E. Borneau
JOHN E. BORNEAU
PROFESSIONAL LAND SURVEYOR
REGISTRATION NO. 4423

| | |
|--|-------|
| JOHN E. BORNEAU AND ASSOCIATES, INC. | |
| PROFESSIONAL LAND SURVEYORS • PLANNERS • CONSULTANTS | |
| COVINGTON • MADISONVILLE • SLIDELL | |
| SCALE: 1" = 200' | BO |
| DATE: SEPT. 18, 1985 | |
| SECTION 17 & 18, T8S - R13E | |
| FOR: JOHN J. CUMMINGS III | 85386 |



ZONING STAFF REPORT

Date: 7/27/2018
Case No.: 2018-1090-ZC
Posted: 07/18/18

Meeting Date: 8/7/2018
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: Stancel LaFaver
OWNER: Stancel LaFaver
REQUESTED CHANGE: From A-2 Suburban District to A-2 Suburban District & RO Rural Overlay
LOCATION: Parcel located on the northwest corner of Surrey Lane & Red Mill Drive, being lot 40 Belle Acres Subdivision & 56165 Red Mill Drive, Slidell ; S21, T9S, R15E; Ward 8, District 13
SIZE: 2.33 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: Parish **Road Surface:** 2 lane asphalt **Condition:** Good

LAND USE CONSIDERATIONS
SURROUNDING LAND USE AND ZONING:

| <u>Direction</u> | <u>Surrounding Use</u> | <u>Surrounding Zone</u> |
|------------------|------------------------|-------------------------|
| North | Vacant | A-2 Suburban District |
| South | Residential | A-2 Suburban District |
| East | Residential | A-2 Suburban District |
| West | Residential | A-2 Suburban District |

EXISTING LAND USE:

Existing development: Yes **Multi occupancy development:** No

COMPREHENSIVE PLAN:

Residential - Areas that provide for dwelling units. Such areas may vary in site design, structure design, and in the density of units per acre. Certain areas such as “village or town residential” may include mixed uses and would have the highest number of units per acre, while “Rural residential” would have the lowest number of units per acre, and may include agricultural or open space uses as well. In between these two types of residential areas would be varying levels of single-family detached dwellings, multi-family attached residential, and planned subdivisions for manufactured homes.

STAFF COMMENTS:

The petitioner is requesting to change the zoning from A-2 Suburban District to A-2 Suburban District & RO Rural Overlay. This site is located on the northwest corner of Surrey Lane & Red Mill Drive, being lot 40 Belle Acres Subdivision & 56165 Red Mill Drive, Slidell. The 2025 future land use plan calls for the area to be developed with residential uses and may also include some agricultural uses. Staff does not have any objection to the request, considering the size of the property (2.33 acres) and the rural character of the area.

Note that the objective of the request is to bring the existing agricultural building in compliance with the appropriate zoning.

STAFF RECOMMENDATION:

The staff recommends that the request for a RO Rural Overlay designation be approved.

Case No.: 2018-1090-ZC

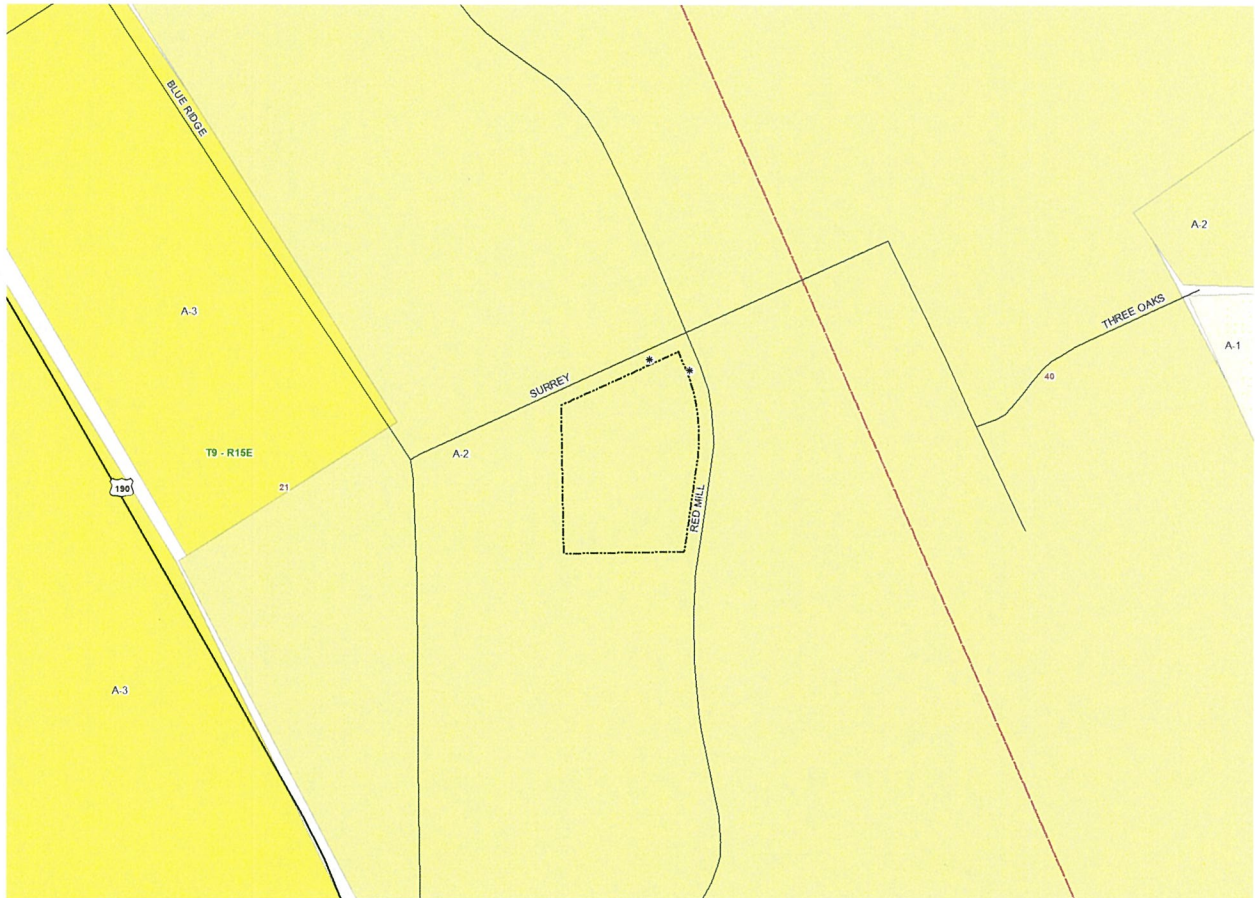
PETITIONER: Stancel LaFaver

OWNER: Stancel LaFaver

REQUESTED CHANGE: From A-2 Suburban District to A-2 Suburban District & RO Rural Overlay

LOCATION: Parcel located on the northwest corner of Surrey Lane & Red Mill Drive, being lot 40 Belle Acres Subdivision & 56165 Red Mill Drive, Slidell ; S21, T9S, R15E; Ward 8, District 13

SIZE: 2.33 acres





RED MILL

WOODVIEW

CARRIAGE

39

SURREY

THREE OAKS

A-2

T9 - R15E



A-3

BLUE RIDGE

A-1

28

A-1A

0

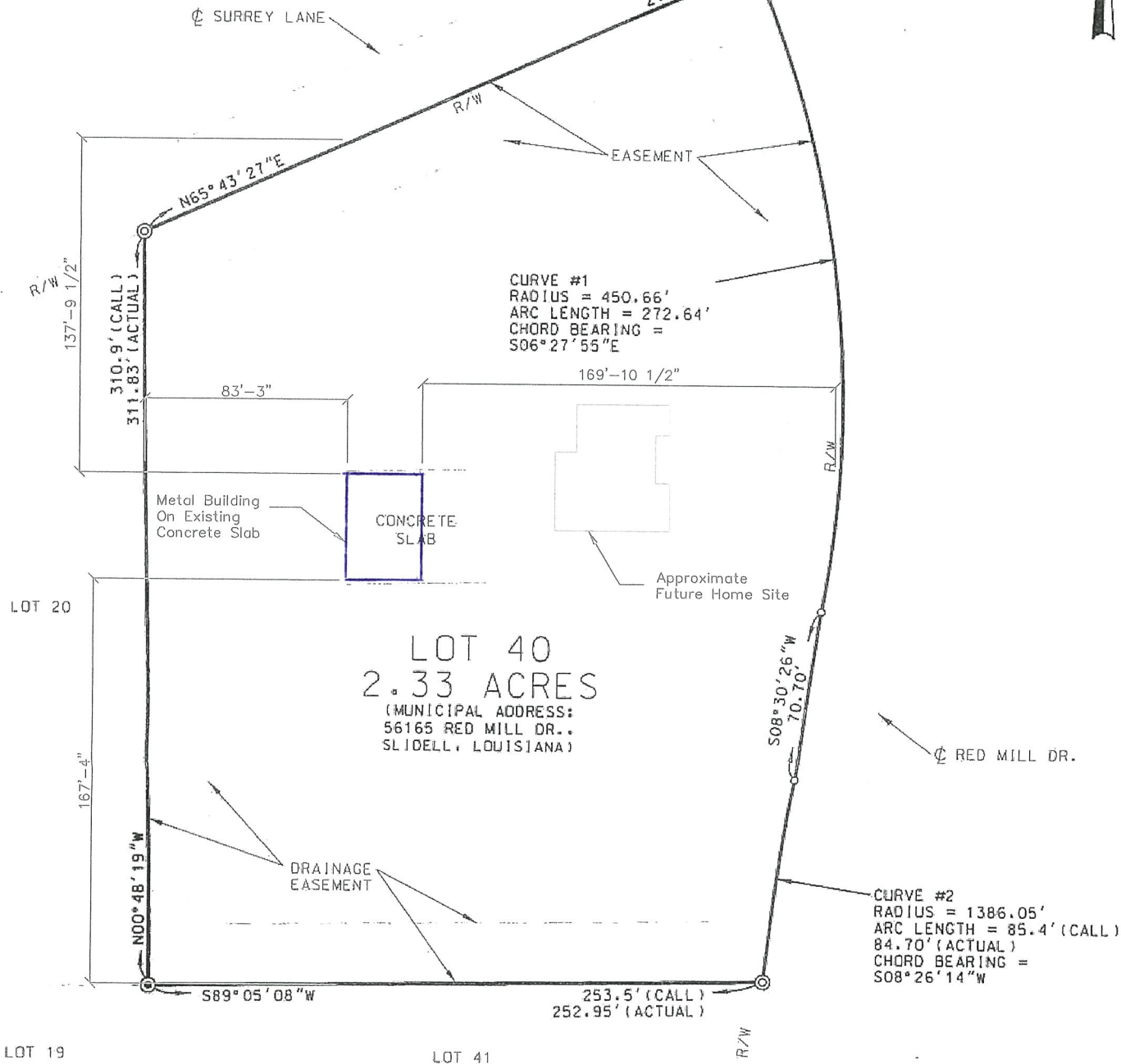
570 Feet



2018-1090-ZC



P.O.B.
LA. STATE PLAIN
COORDINATE
SOUTH ZONE (NAD 83)
N 638452.40
E 3797082.47

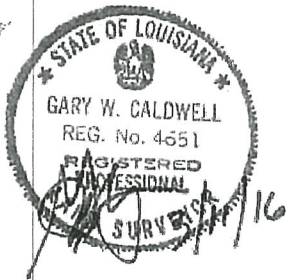


PLAT OF
A LOT 40
of Belle Acres Subdivision
Situated in
Section 21, T9N-R15E
St. Tammany Parish, Louisiana

NOTES: 1) Bearings based on Louisiana State Plane Coordinate System (South Zone NAD83). 2) Reference plat entitled "Belle Acres" dated Sept. 14, 1966 by Robert A. Berlin, R.L.S. 3) This survey was prepared from information and/or documents provided to this firm by the client or person requesting the survey. No title search was done by this firm and this firm takes no responsibility for any encumbrances a complete title search may reveal. 4) This survey meets all requirements of a Class "C" survey as required by the Louisiana State Board of Registration for Professional Engineers and Land Surveyors' minimum requirements.

LLT NO. TAM 173452

LEGEND:
⊙ SET 1/2" IRON ROD
⊕ FOUND CROSS TIE
SET 1/2" IRON ROD



Bryant Hammett
And Assoc., L.L.C.
6885 Highway 84 West
Ferryday, Louisiana 71334
(318)757-6576

| REVISIONS | | |
|---------------------------------|-------------------------|-------------------|
| NO. | DESCRIPTION | BY. |
| | | |
| | | |
| 50' 0 50' SCALE: 1" = 50' | | |
| PREPARED FOR: LA. LAND TRUST | | DATE: 3/10/16 |
| SCALE: 1" = 50' | F.B. NO.: JEFF NO. 4 | FILE NO.: 6248 |

ST. TAMMANY PARISH COUNCIL

ORDINANCE

ORDINANCE CALENDAR NO. _____ ORDINANCE COUNCIL SERIES NO. _____

COUNCIL SPONSOR _____ PROVIDED BY: COUNCIL

INTRODUCED BY: _____ SECONDED BY: _____

ON THE _____ DAY OF _____, 2018

An Ordinance to Amend Chapter 130 St. Tammany Parish Unified Development Code, to add Brewery or Distillery With Tours, specifically to Section 130-5 Definitions, and to Sections: 130-1075 I-2 Industrial District Administrative Permits, 130-1108 I-3 Heavy Industrial District Administrative Permits, 130-1130 I-4 Heavy Industrial District Permits, and 130-2213 Minimum Standards. (2018-1091-ZC)

WHEREAS, the St. Tammany Parish Government considers the possibility that the amendment below may be advantageous to the economic development of St. Tammany Parish; and

WHEREAS, the St. Tammany Parish Government considers that it is in the best interest of the business and citizens of St. Tammany Parish to implement an ordinance addressing the operations of breweries and distilleries with tours; and

WHEREAS, the St. Tammany Parish Government considers that it is necessary to amend Chapter 130 of the St. Tammany Parish Unified Development Code, to provide definitions and regulations regarding breweries and distilleries with tours.

THE PARISH OF ST. TAMMANY HEREBY ORDAINS that it amends Chapter 130 of the St. Tammany Unified Development Code, as follows:

Amend Section 130-5., Definitions to add a new use:

BREWERY OR DISTILLERTY WITH TOURS – An establishment in the business of brewing or distilling beer or spirits which also opens its doors to the general public for tours of its facilities.

Amend I-2 Industrial District, specifically Sec. 130-1075. - Administrative permits to add a new:

(10) Brewery or Distillery with Tours

Amend I-3 Heavy Industrial District, specifically Sec. 130-1108. - Administrative permits to add a new:

(10) Brewery or Distillery with Tours

Amend I-4 Heavy Industrial District, specifically Sec. 130-1130. - Administrative permits to add a new:

(10) Brewery or Distillery with Tours

Amend Sec. 130-2213 Minimum standards to add new (57) Brewery or Distillery with Tours:

(57) Brewery or Distillery with Tours.

a. A site plan shall be submitted to the department of development planning division. The plan shall indicate, at a minimum:

1. Location of all structures on site including proposed structures.
2. Proposed traffic movements and points of ingress and egress, including parking and site triangle.
3. Drawing showing the location of proposed sign, setback from property line and dimensions.

b. Where a brewery or distillery with tours is allowed, the proposed use shall meet the following criteria:

1. The daily time period during which a brewery or distillery with tours may be open to the general public shall be from 10:00 a.m. until 6:00 p.m.
2. At any time, the number of visitors to the brewery or distillery shall not exceed 50 visitors.
3. The brewery or distillery with tours tasting room may have one accessory structure for the purpose of beer or spirit tasting and sales of beer, spirit, beer or spirit related items, and brand related promotional items. The size of the tasting room shall be limited to 800 square feet.
4. Tour, beer or spirit tasting and consumption are limited to tour of the facility and sampling, by the general public, of beer or spirits, and the purchase of beer or spirits by the glass or bottle to drink on or off the premises of the brewery or distillery with tours. No brewery or distillery shall permit the beer or spirit tasting and consumption without the proper permit from the parish and the state.
5. Beer or spirit-related items: Items that may be used in connection with the serving, storing or display of beer or spirits, or written material describing beer, spirits, or food, or items of apparel displaying the name and/or logo of the specific brewery or distillery can be sold on the site; other non-beer or spirit-related items may not be sold.
6. Sale, delivery, or shipment of beer or spirits manufactured by the permittee directly to a consumer in the state, licensed wholesalers and out-of-state purchasers are permitted.
7. The storage, warehousing, and wholesaling of beer or spirits is allowed on site.
8. All signage shall be in compliance with article VI, division 3, of this chapter.
9. Special events are permitted subject to compliance with requirements set out in section 6-30.

REPEAL: All Ordinances or parts of Ordinances in conflict herewith are hereby repealed.

SEVERABILITY: If any provision of this Ordinance shall be held to be invalid, such invalidity shall not affect other provisions herein which can be given effect without the invalid provision and to this end the provisions of this Ordinance are hereby declared to be severable.

EFFECTIVE DATE: This Ordinance shall become effective fifteen (15) days after adoption.

MOVED FOR ADOPTION BY: _____, SECONDED BY: _____

WHEREUPON THIS ORDINANCE WAS SUBMITTED TO A VOTE AND RESULTED IN THE FOLLOWING:

YEAS:

NAYS:

ABSTAIN:

ABSENT:

THIS ORDINANCE WAS DECLARED DULY ADOPTED AT A REGULAR MEETING OF THE PARISH COUNCIL ON THE _____ DAY OF _____, 2018; AND BECOMES ORDINANCE _____ COUNCIL _____ SERIES _____ NO. _____ 18-____.

S. MICHELLE BLANCHARD, COUNCIL CHAIRMAN

ATTEST:

THERESA L. FORD, COUNCIL CLERK

PATRICIA P. BRISTER, PARISH PRESIDENT

Published Introduction: _____, 2018

Published Adoption: _____, 2018

Delivered to Parish President: _____, 2018 at

Returned to Council Clerk: _____, 2018 at

ZONING STAFF REPORT

Date: 7/27/2018
Case No.: 2018-1092-ZC
Posted: 07/18/18

Meeting Date: 8/7/2018
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: ReMax - Michelle Pennino

OWNER: The Rose Mary Gunn and Willie Gunn Revocable Trust - Cynthia B King & Brenda A. Franklin

REQUESTED CHANGE: From A-2 Suburban District to A-3 Suburban District

LOCATION: Parcel located on the west side of Dixie Ranch Road, south of Idlewild Pines Road ; S36, T8S, R13E; Ward 9, District 11

SIZE: 4.09 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: Parish **Road Surface:** 2 lane asphalt **Condition:** Good

LAND USE CONSIDERATIONS
SURROUNDING LAND USE AND ZONING:

| <u>Direction</u> | <u>Surrounding Use</u> | <u>Surrounding Zone</u> |
|------------------|------------------------|-------------------------|
| North | Undeveloped | A-2 Suburban District |
| South | Residential | A-2 Suburban District |
| East | Undeveloped | A-2 Suburban District |
| West | Residential | A-2 Suburban District |

EXISTING LAND USE:

Existing development: No **Multi occupancy development:** Yes

COMPREHENSIVE PLAN:

Residential - Areas that provide for dwelling units. Such areas may vary in site design, structure design, and in the density of units per acre. Certain areas such as “village or town residential” may include mixed uses and would have the highest number of units per acre, while “Rural residential” would have the lowest number of units per acre, and may include agricultural or open space uses as well. In between these two types of residential areas would be varying levels of single-family detached dwellings, multi-family attached residential, and planned subdivisions for manufactured homes.

STAFF COMMENTS:

The petitioner is requesting to change the zoning from A-2 Suburban District to A-3 Suburban District. This site is located on the west side of Dixie Ranch Road, south of Idlewild Pines Road. The 2025 future land use plan calls for the area to be developed with residential uses. Staff feels that there is no compelling reason to recommend approval, considering that the area is surrounded by undeveloped land and single family residential lots zoned A-2 Suburban District.

STAFF RECOMMENDATION:

The staff recommends that the request for an A-3 Suburban District designation be denied.

Case No.: 2018-1092-ZC

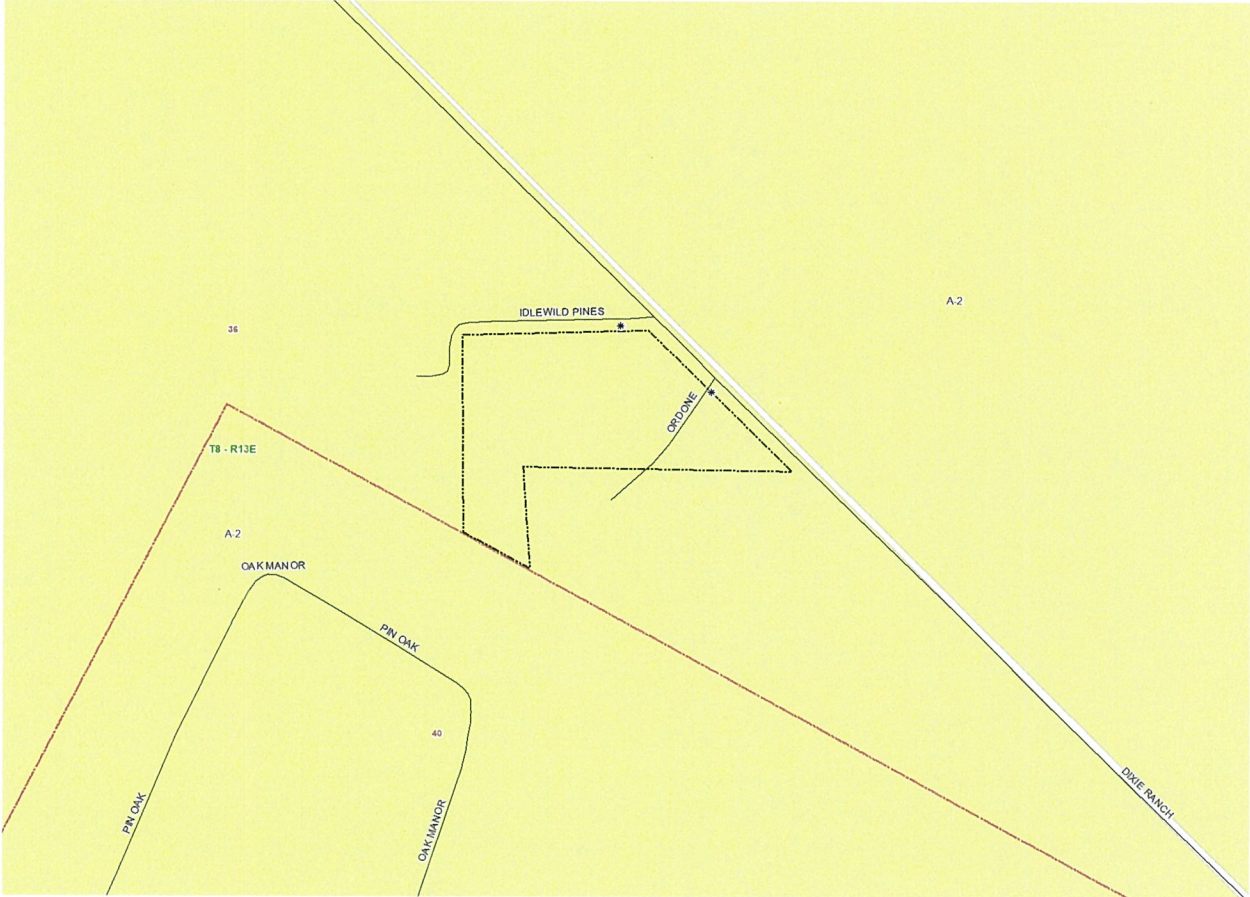
PETITIONER: ReMax - Michelle Pennino

OWNER: The Rose Mary Gunn and Willie Gunn Revocable Trust - Cynthia B King & Brenda A. Franklin

REQUESTED CHANGE: From A-2 Suburban District to A-3 Suburban District

LOCATION: Parcel located on the west side of Dixie Ranch Road, south of Idlewild Pines Road ; S36, T8S, R13E; Ward 9, District 11

SIZE: 4.09 acres



2018-1092-ZC

DIXIE RANCH

36

IDLEWILD PINES

T8-R13E

ORDONE

A-2

PINOAK

OAK MANOR

40

0 280 Feet

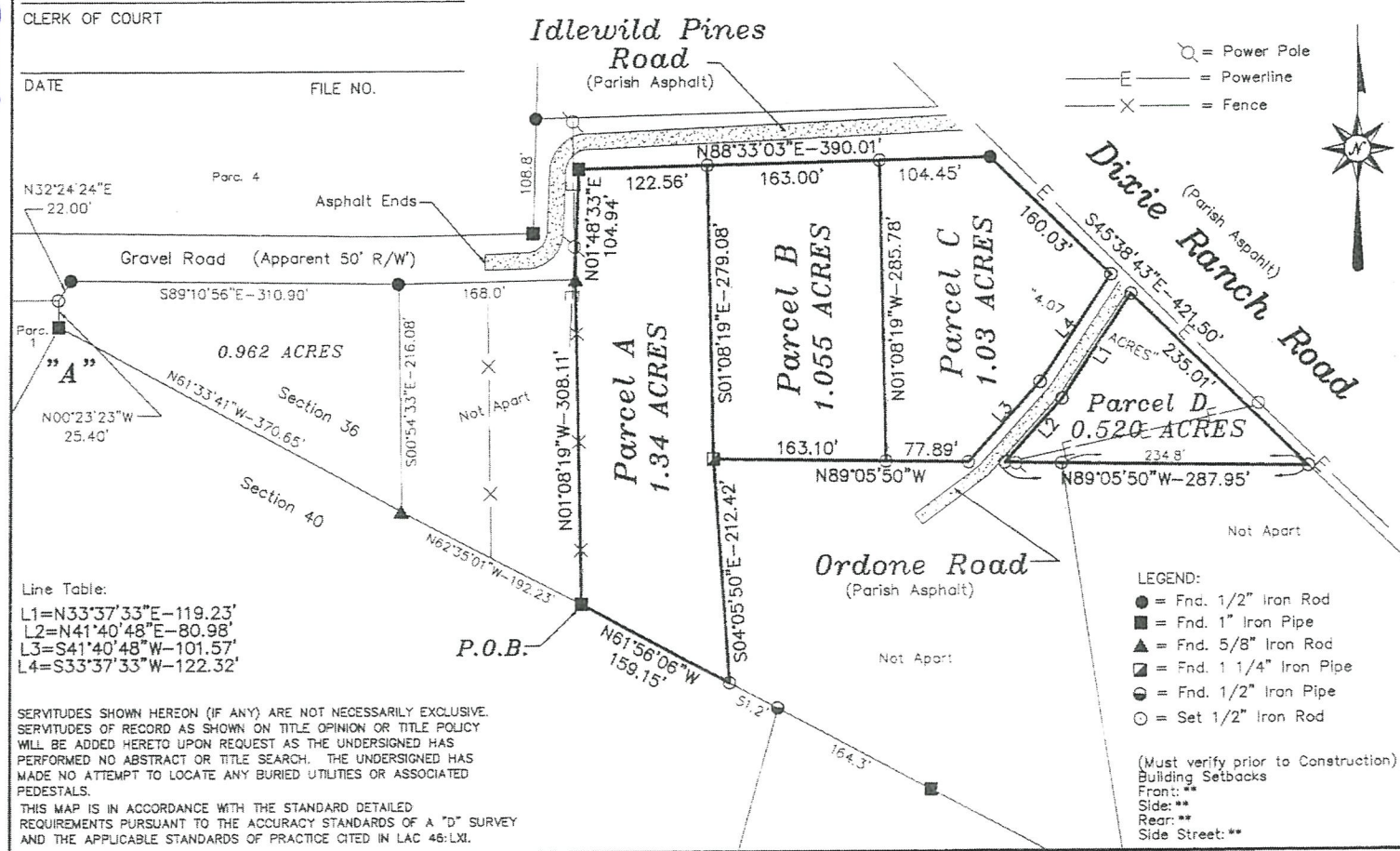


| | |
|---------------------------|----------|
| FINAL APPROVAL | |
| DIR. DEPT. OF ENGINEERING | |
| SECRETARY PLANNING COMM. | |
| CLERK OF COURT | |
| DATE | FILE NO. |

A Minor Subdivision of a 4.07 Acre Parcel of Land, into Parcels A, B, C & D, situated in Section 36, T-8-S, R-13-E, St. Tammany Parish, Louisiana

Point "A" is reported to be the NW Corner of Section 40, T-8-S, R-13-E, St. Tammany Parish, Louisiana

Bearings shown Refer to the Louisiana State Plane Coordinate System (1702 La. South) and was observed by GPS



MAP PREPARED FOR
CYNTHIA KING & BRENDA FRANKLIN

SHOWN A SURVEY MADE OF PROPERTY LOCATED IN SECTION 36, T-8-S, R-13-E, ST. TAMMANY PARISH, LA.

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED. SIGNATURE AND STAMPED SEAL MUST BE IN RED OR THIS PLAT IS NOT A TRUE COPY.

LAND SURVEYING LLC

LAND SURVEYING LLC
518 N. Columbia Street, Covington, LA 70433
(905) 892-6277 office (985) 898-0355 fax
landsur1@bellsouth.net email

BRUCE M. BUTLER, III
LOUISIANA PROFESSIONAL LAND SURVEYOR
LICENSE NO. 4894

| | | |
|------------------|----------------|---------------|
| SCALE: 1" = 130' | DATE: 3-5-2018 | NUMBER: 18705 |
|------------------|----------------|---------------|

Terra Consulting

ZONING STAFF REPORT

Date: 7/27/2018
Case No.: 2018-1093-ZC
Posted:07/18/18

Meeting Date: 8/7/2018
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: Wayne W. Weiser
OWNER: Nicole and Jared Weiser
REQUESTED CHANGE: From A-1 Suburban District to A-1A Suburban District & RO Rural Overlay
LOCATION: Parcel located on the north side of Stonehill Road, west of LA Highway 25; S32, T4S, R10E; Ward 2, District 3
SIZE: 8 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: Parish **Road Surface:** 2 lane asphalt **Condition:** Good

LAND USE CONSIDERATIONS
SURROUNDING LAND USE AND ZONING:

| <u>Direction</u> | <u>Surrounding Use</u> | <u>Surrounding Zone</u> |
|------------------|------------------------|-------------------------|
| North | Residential | A-1 Suburban District |
| South | Residential | A-1 Suburban District |
| East | Residential | A-1 Suburban District |
| West | Residential | A-1 Suburban District |

EXISTING LAND USE:

Existing development: Yes **Multi occupancy development:** Yes

COMPREHENSIVE PLAN:

Residential/ Agricultural - Agricultural and related or other active or passive uses that use or preserve the countryside, forests and other areas and rural residential uses – widely ranging in dwelling size or type, siting and organization; both of which are generally located some distance from more intense land uses. Permitted uses include single-family residential, and uses ancillary to either of these primary uses. Other uses require a change in zoning.

STAFF COMMENTS:

The petitioner is requesting to change the zoning from A-1 Suburban District to A-1A Suburban District & RO Rural Overlay. This site is located on the north side of Stonehill Road, west of LA Highway 25. The 2025 future land use plan calls for the area to be developed with residential and agricultural uses. Staff is not in favor of the request considering that the site is surrounded by undeveloped land and single family residence on large parcels of land, zoned A-1 Suburban District.

Note that the zoning change is being requested in order to allow for the creation of two 4 acre parcels of land.

STAFF RECOMMENDATION:

The staff recommends that the request for an A-1A Suburban District & RO Rural Overlay designation be denied.

Case No.: 2018-1093-ZC

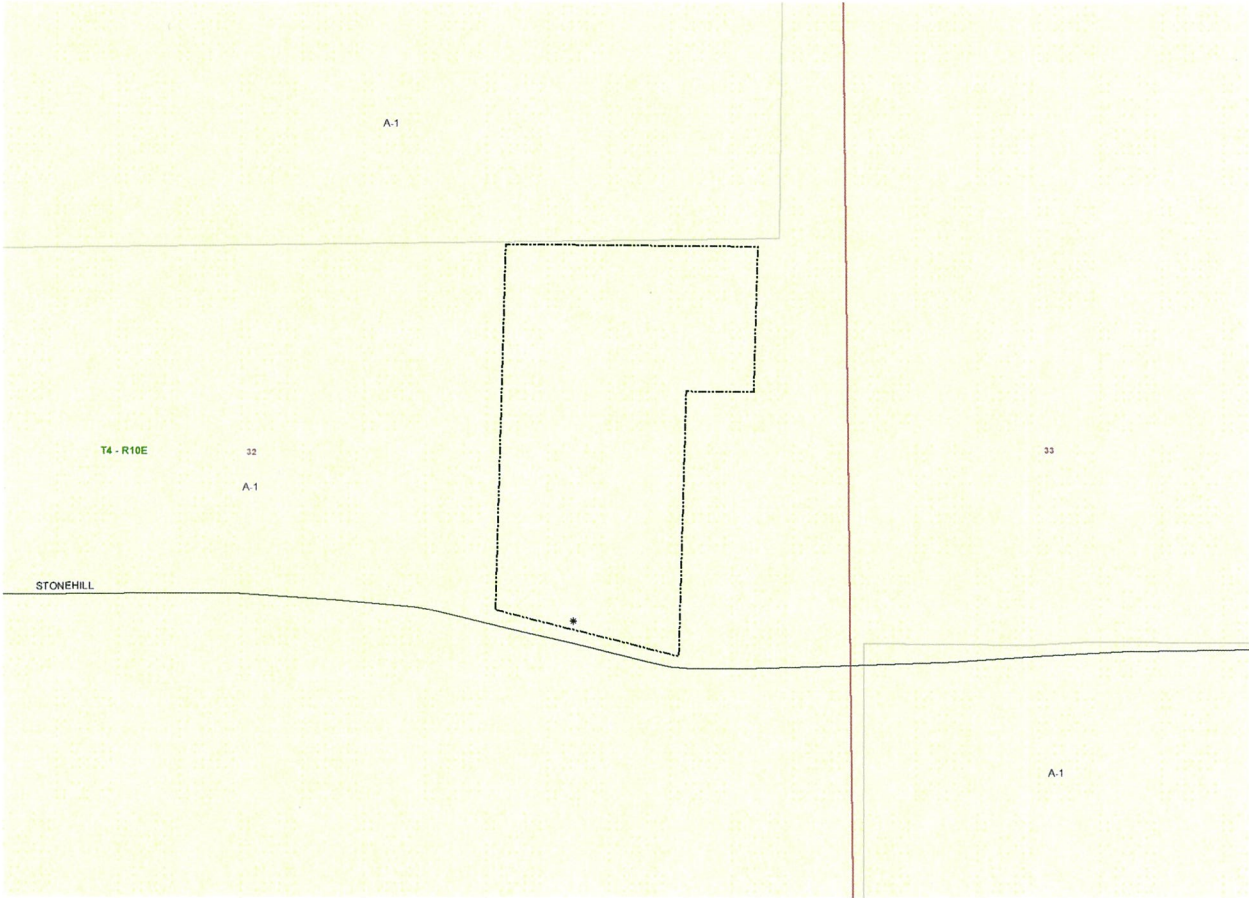
PETITIONER: Wayne W. Weiser

OWNER: Nicole and Jared Weiser

REQUESTED CHANGE: From A-1 Suburban District to A-1A Suburban District & RO Rural Overlay

LOCATION: Parcel located on the north side of Stonehill Road, west of LA Highway 25; S32, T4S, R10E; Ward 2, District 3

SIZE: 8 acres



DAMIANO

2018-1093-ZC

T4-R10E

32

A-1

33

STONEHILL

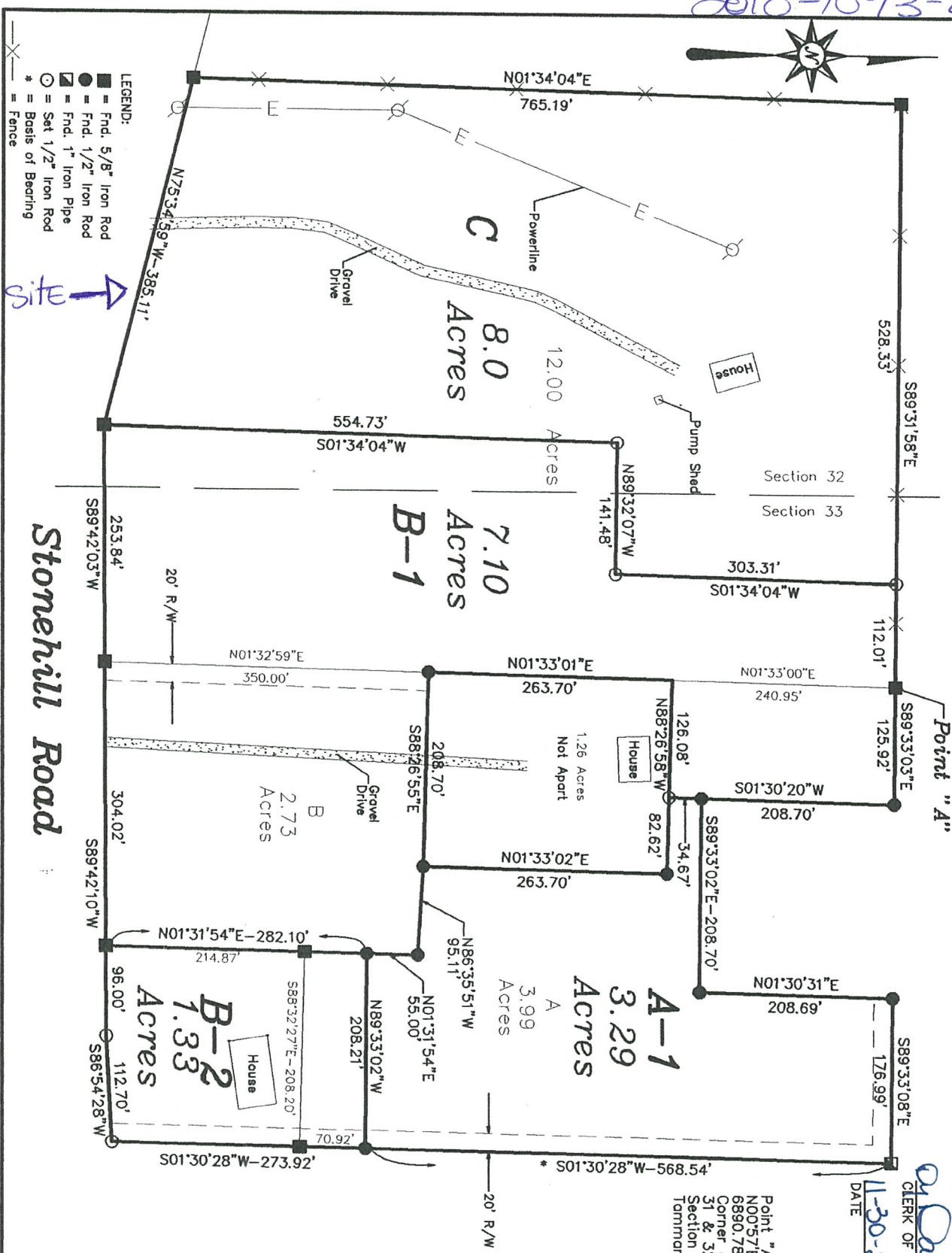
0 375 Feet

N

2018-1093-ZC

Reference:
1.) A Survey Map by Jeron R. Fitzmorris, Dated 9-23-08, #13761, (Basis of Bearings)
2.) A Survey Map of 12.0 Acres for Wayne & Gayle Weiser
Reference calls not shown
Building Setbacks must be verified prior to Construction

A Minor Subdivision of Parcels A & B, and a 1.00 & 12.00 Acre Parcel of Land, into Parcels A-1, B-1, B-2 & C, situated in Sections 32 & 33, T-4-S, R-10-E, St. Tammany Parish, Louisiana



SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS.

THIS MAP IS IN ACCORDANCE WITH THE STANDARD DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A "D" SURVEY AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46:LXI.

Point "A" is N89°22'W, 1378.5'; N00°57'E, 3424.4'; S89°30'E, 6880.78' from the Section Corner common to Sections 31 & 32 T4S, R10E and Section 5 T5S, R10E, St. Tammany Parish, Louisiana

FINAL APPROVAL
DIR. DEPT. OF ENGINEERING
SECRETARY PLANNING COMM.
CLERK OF COURT
DATE 11-30-2016 FILE NO. 5591B

Wayne W. Weiser, Shannon S. O'Bryant and
Linda M. Michel

MAP PREPARED FOR

SHOWN A SURVEY MADE OF PROPERTY LOCATED IN SECTION 32 & 33, T-4-S, R-10-E, ST. TAMMANY PARISH, LOUISIANA

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED. SIGNATURE AND STAMPED SEAL MUST BE IN RED OR THIS PLAT IS NOT A TRUE COPY.

LAND SURVEYING LLC

518 N. Columbia Street, Covington, LA 70433
(985) 892-6277 office (985) 898-0355 fax

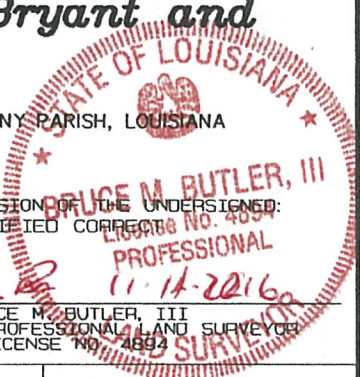
Revised: 9-5-16 (Acreage) 10-31-2016

SCALE: 1" = 150'

DATE: 7-28-16

NUMBER: 17591

Terr3/WayneWeiser



ZONING STAFF REPORT

Date: 7/27/2018
Case No.: 2018-1094-ZC
Posted: 07/18/18

Meeting Date: 8/7/2018
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: Salvadore & Sena Ranatza

OWNER: Salvadore & Sena Ranatza

REQUESTED CHANGE: From A-5 Two Family Residential District to A-4 Single-Family Residential District & MHO Manufactured Housing Overlay

LOCATION: Parcel located on the east side of Jacob Road, south of Browns switch Road ; S31, T8S, R15E; Ward 8, District 9

SIZE: 0.918 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: Parish Road Surface: 2 lane asphalt Condition: Good

LAND USE CONSIDERATIONS
SURROUNDING LAND USE AND ZONING:

| <u>Direction</u> | <u>Surrounding Use</u> | <u>Surrounding Zone</u> |
|------------------|-------------------------|---|
| North | Undeveloped | NC-4 Neighborhood Institutional District |
| South | Single Family Residence | A-5 Two Family Residential District |
| East | Mobile Home Park | A-5 Two Family Residential District & MHO Manufactured Housing Overlay |
| West | Pond | A-5 Two Family Residential District |

EXISTING LAND USE:

Existing development: Multi occupancy development:

COMPREHENSIVE PLAN:

Residential - Areas that provide for dwelling units. Such areas may vary in site design, structure design, and in the density of units per acre. Certain areas such as “village or town residential” may include mixed uses and would have the highest number of units per acre, while “Rural residential” would have the lowest number of units per acre, and may include agricultural or open space uses as well. In between these two types of residential areas would be varying levels of single-family detached dwellings, multi-family attached residential, and planned subdivisions for manufactured homes.

Residential Infill – New residential uses developed on undeveloped tracts within existing residential districts that are compatible with, or improve upon, those existing uses. Such uses may be allowed a greater density of use, in exchange for public benefits that would be provided.

STAFF COMMENTS:

The petitioner is requesting to change the zoning from A-5 Two Family Residential District to A-4 Single-Family Residential District & MHO Manufactured Housing Overlay. This site is located on the east side of Jacob Road, south of Browns switch Road. The 2025 future land use plan calls for the site to be developed with residential uses compatible with the existing uses and density in the area and including manufactured homes. Staff does not have any objection to the request.

STAFF RECOMMENDATION:

The staff recommends that the request for an A-4 Single-Family Residential District & MHO Manufactured Housing Overlay designation be approved.

Case No.: 2018-1094-ZC

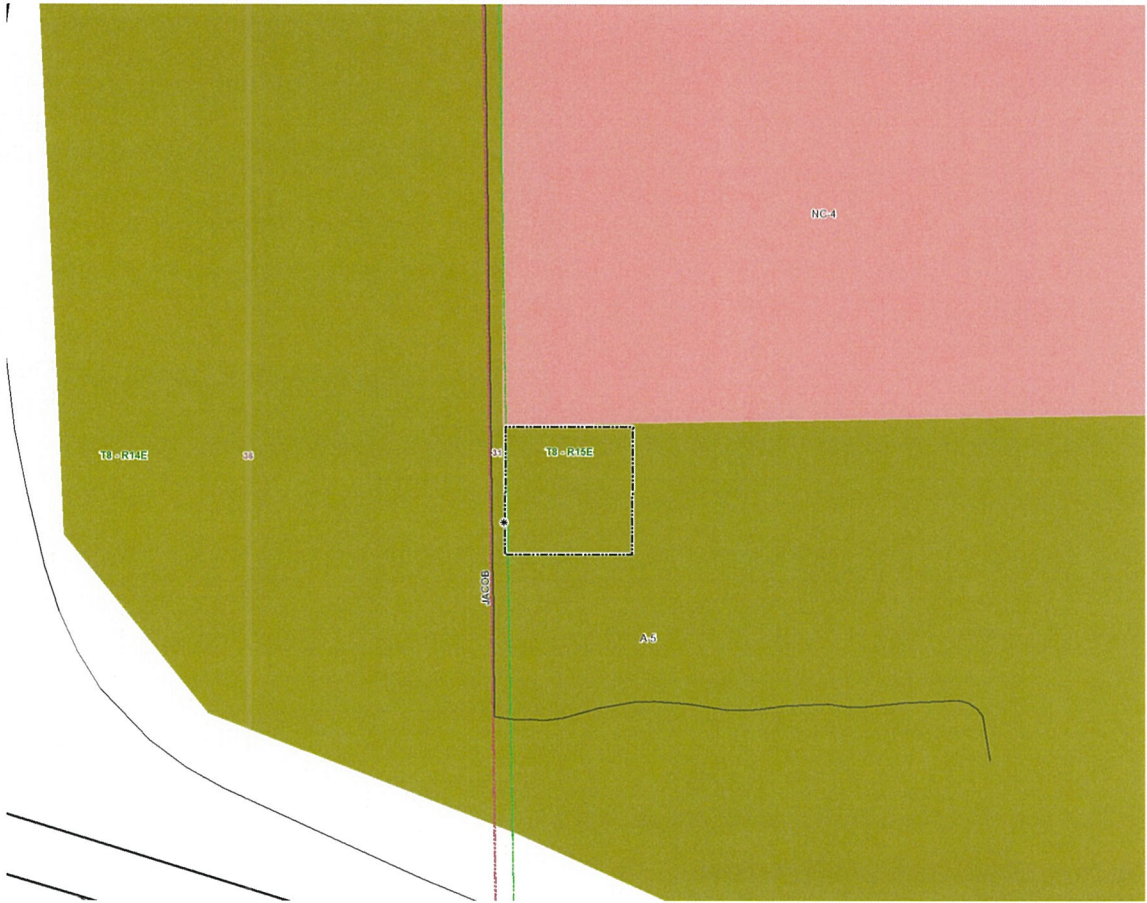
PETITIONER: Salvadore & Sena Ranatza

OWNER: Salvadore & Sena Ranatza

REQUESTED CHANGE: From A-5 Two Family Residential District to A-4 Single-Family Residential District & MHO Manufactured Housing Overlay

LOCATION: Parcel located on the east side of Jacob Road, south of Brownswitch Road ; S31, T8S, R15E; Ward 8, District 9

SIZE: 0.918 acres



2018-1094-ZC

ST PETER

PEARL

HC-2

ST LOUIS

BROWNSWITCH

UPPERLINE

LOWERLINE

JACOB

T8-R14E 36

T8-R15E

31

NG-4

A-5

MHO

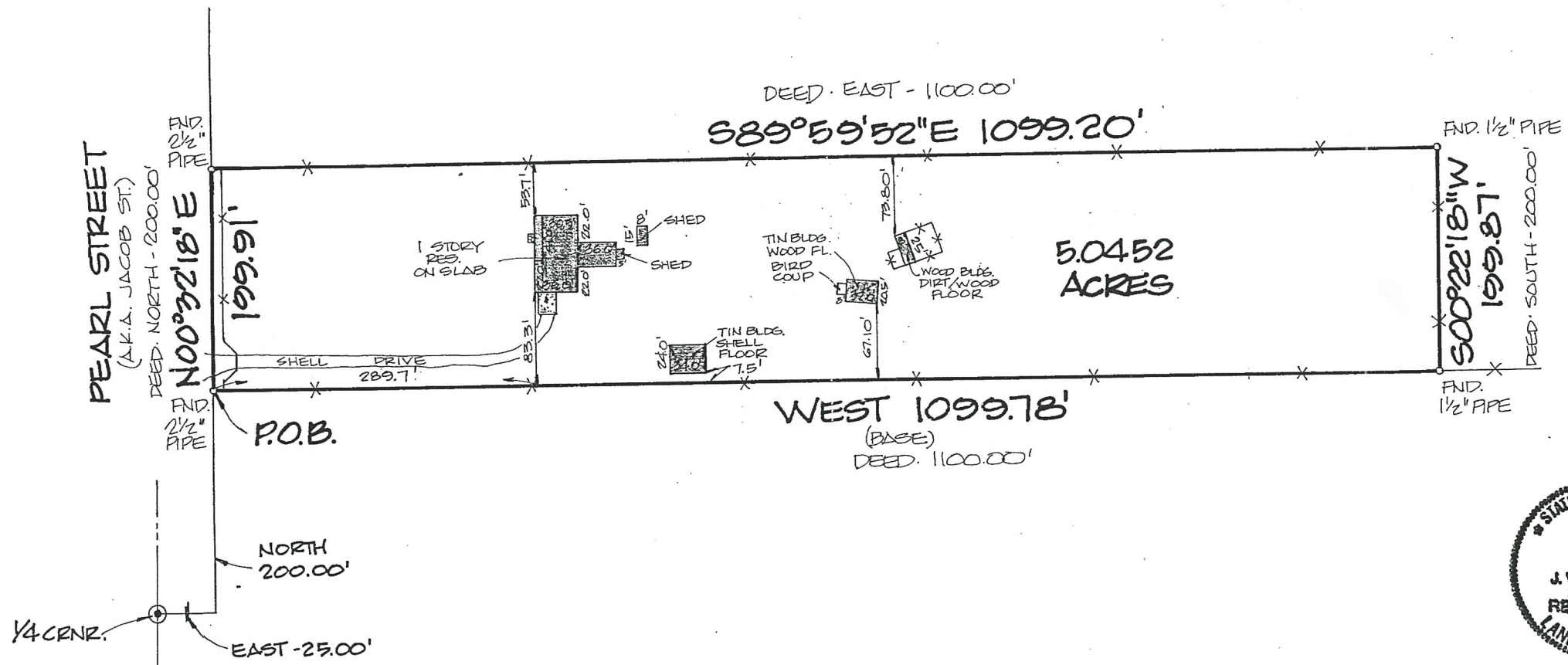
LITTLE OAK

0 375 Feet

A-1



2018-1094-ZC



SURVEY PLAT
OF
A PARCEL OF LAND
IN
SECTION 31.T8S.R15E
ST. TAMMANY PARISH, LOUISIANA

EM# 1993
INST# 944509

SURVEYED BY
J.V. BURKES III
LA. REG. NO. 840

CERTIFIED TO: SALVADORE S. RANATZA -
SENA JOHNSON | WOLCOTT MORTGAGE
GROUP, INC.

J.V. BURKES & ASSOC., INC.
2990 GAUSE BLVD EAST, SUITE B
SLIDELL, LA 70461 504.649.0075
SCALE: 1"=100' DRAWN BY: CAD
DATE: 3-28-1995 NO. 950450

THIS PROPERTY IS IN F.I.R.M.
ZONE C SHOWN ON
PANEL 22520304AOC / OCT. 17, 89.

ZONING STAFF REPORT

Date: 7/28/2018
Case No.: 2018-1096-ZC
Posted: 07/19/18

Meeting Date: 8/7/2018
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: James Robert & Carrie Landry Boltin

OWNER: James Robert & Carrie Landry Boltin

REQUESTED CHANGE: From A-1A Suburban District to A-3 Suburban District (32,471.26 sq.ft.) & A-5 Two Family Residential District (22,979.5 sq.ft.)

LOCATION: Parcel located on the west side of Eugene Wallace Road, south of Cleland Road ; S8, T6S, R12E; Ward 10, District 6

SIZE: 1. 27 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: Parish **Road Surface:** 2 lane asphalt **Condition:** Good

LAND USE CONSIDERATIONS
SURROUNDING LAND USE AND ZONING:

| <u>Direction</u> | <u>Surrounding Use</u> | <u>Surrounding Zone</u> |
|------------------|-------------------------|-------------------------|
| North | Single Family Residence | A-1A Suburban District |
| South | Single Family Residence | A-1A Suburban District |
| East | Single Family Residence | A-1A Suburban District |
| West | Single Family Residence | A-1A Suburban District |

EXISTING LAND USE:

Existing development: Yes **Multi occupancy development:** Yes

COMPREHENSIVE PLAN:

Residential/ Agricultural - Agricultural and related or other active or passive uses that use or preserve the countryside, forests and other areas and rural residential uses – widely ranging in dwelling size or type, siting and organization; both of which are generally located some distance from more intense land uses. Permitted uses include single-family residential, and uses ancillary to either of these primary uses. Other uses require a change in zoning.

STAFF COMMENTS:

The petitioner is requesting to change the zoning from A-1A Suburban District to A-3 Suburban District (32,471.26 sq.ft.) & A-5 Two Family Residential District (22,979.5 sq.ft.). This site is located on the west side of Eugene Wallace Road, south of Cleland Road. The 2025 future land use plan calls for the area to be developed with residential and agricultural uses. The site is currently surrounded by undeveloped land and single family residences on large parcels of land zoned A-1A.

Note that the site is currently developed with a duplex and a single family residence with an attached barn, as shown on the attached preliminary survey. The zoning change is being requested to bring the existing uses in compliance with the appropriate zoning.

STAFF RECOMMENDATION:

The staff recommends that the request for an A-3 Suburban District (32,471.26 sq.ft.) & A-5 Two Family Residential District designation (22,979.5 sq.ft.) be denied.

Case No.: 2018-1096-ZC

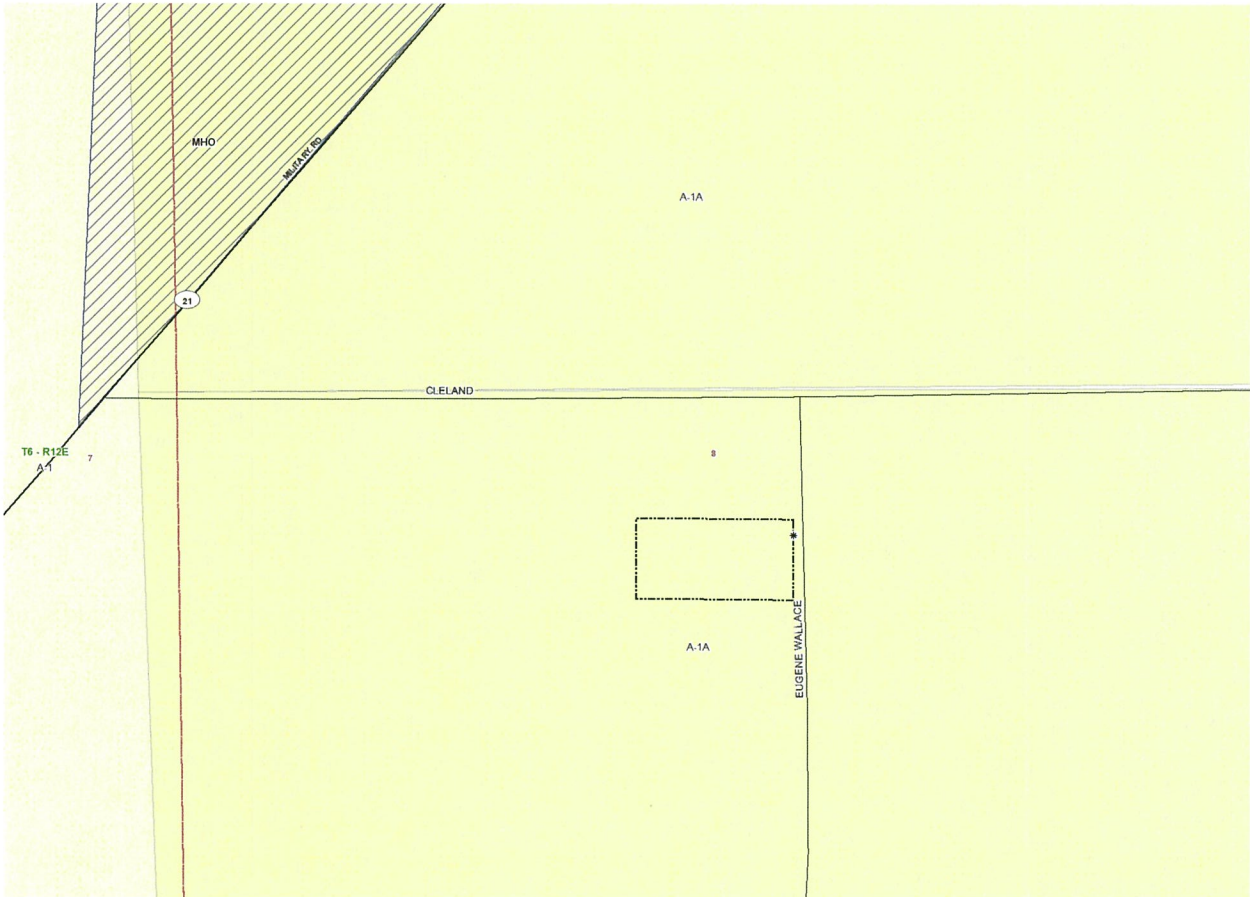
PETITIONER: James Robert & Carrie Landry Boltin

OWNER: James Robert & Carrie Landry Boltin

REQUESTED CHANGE: From A-1A Suburban District to A-3 Suburban District (32,471.26 sq.ft.) & A-5 Two Family Residential District (22,979.5 sq.ft.)

LOCATION: Parcel located on the west side of Eugene Wallace Road, south of Cleland Road ; S8, T6S, R12E; Ward 10, District 6

SIZE: 1. 27 acres



2018-1096-ZC

T6-R12E

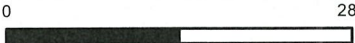
8



EUGENE WALLACE

A-1A

OAKALLEY



2018-1096-ZC

*This is a Preliminary Map and should not be used for construction, bidding, recordation, conveyance, sales, or as the basis for issuance of a permit

Cleland Rd.

A-3 Zoning
32,471.26
SQ. FT.

A-5 Zoning
22,979.50
SQ. FT.

Eugene Wallace Road
(Parish Asphalt)

P.O.B.

■ = Fnd. 1/2" Iron Pipe
 ● = Fnd. 1/2" Iron Rod
 ▣ = Fnd. 3/4" Iron Pipe
 ○ = Set 1/2" Iron Rod
 — = Fence

Shed Cor. 0.4'
South of P/L

THIS MAP IS IN ACCORDANCE WITH THE STANDARD DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A "D" SURVEY AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46:LXI.

JAMES ROBERT BOLTIN JR.

SHOWN A SURVEY MADE OF PROPERTY LOCATED IN SECTION 8, T-6-S, R-12-E, ST. TAMMANY PARISH, LA.

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED:
 STENOGRAPHIC AND STAMPED SEAL MUST BE IN RED OR THIS PLAT IS NOT A TRUE COPY. CERTIFIED CORRECT

AND STAMPED SEAL MUST BE IN RED OR THIS P
LAND SURVEYING LLC
N Columbia Street, Covington, LA 70433

LAND SURVEYING LLC
518 N. Columbia Street, Covington, LA 70438
(985) 892-6277 office (985) 898-0355 fax
landsur@bellsouth.net email

Preliminary

BRUCE M. BUTLER, III
LOUISIANA PROFESSIONAL LAND SURVEYOR
LICENSE NO. 4894

1835

 $1'' = 40'$

DATE:

2-6-2018

NUMBER: 18585

ZONING STAFF REPORT

Date: 7/27/2018
Case No.: 2018-1099-ZC
Posted: 07/18/18

Meeting Date: 8/7/2018
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: St. Joe Brick Works INC. - M.P. Schneider

OWNER: St. Joe Brick Works INC. - M.P. Schneider

REQUESTED CHANGE: From I-4 Heavy Industrial District to SWM-1 Solid Waste Management District

LOCATION: Parcel located on the south side of T.J Smith Parkway, west of US Highway 11; S23, T8S, R14E; Ward 8, District 9

SIZE: 3.988 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: Parish

Road Surface: 4 lane asphalt with turning lane

Condition: Good

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

| <u>Direction</u> | <u>Surrounding Use</u> | <u>Surrounding Zone</u> |
|------------------|------------------------|-------------------------------|
| North | Undeveloped | I-4 Heavy Industrial District |
| South | Undeveloped | I-4 Heavy Industrial District |
| East | Undeveloped | I-4 Heavy Industrial District |
| West | Vacant | I-4 Heavy Industrial District |

EXISTING LAND USE:

Existing development: No

Multi occupancy development: No

COMPREHENSIVE PLAN:

Conservation - Areas designated for uses of land, water, flora and fauna that appear naturally. Such uses may include such activities as extraction or production for commerce; human enjoyment, hunting, fishing, or other recreation within natural landscapes; or preservation of natural systems. The concept of “conservation” includes a private landowner’s understanding of responsibility to wisely manage that resource so that it remains in good condition for future generations (often simple referred to as “good stewardship”); this concept may also include the conservation of energy through efficient transportation options as well as through climate responsive building design, as well as the conservation of historic, scenic, or otherwise serviceable buildings and landscapes. Means to achieve conservation are myriad and include both private and public sector initiatives – such means will be considered in subsequent phases of the New Directions 2025 planning process.

STAFF COMMENTS:

The petitioner is requesting to change the zoning from I-4 Heavy Industrial District to SWM-1 Solid Waste Management District. This site is located on the south side of T.J Smith Parkway, west of US Highway 11. The 2025 future land use plan calls for the area to be developed as a conservation area. The site is currently surrounded by land zoned I-4 Heavy Industrial District and is proposed to be developed as a solid waste management site. Note that the purpose of the SWM-1 Solid Waste Management District is to provide for the location of uses including and generally compatible with the collection of solid waste material for transport to processing facilities.

STAFF RECOMMENDATION:

The staff recommends that the request for a SWM-1 Solid Waste Management District designation be approved.

Case No.: 2018-1099-ZC

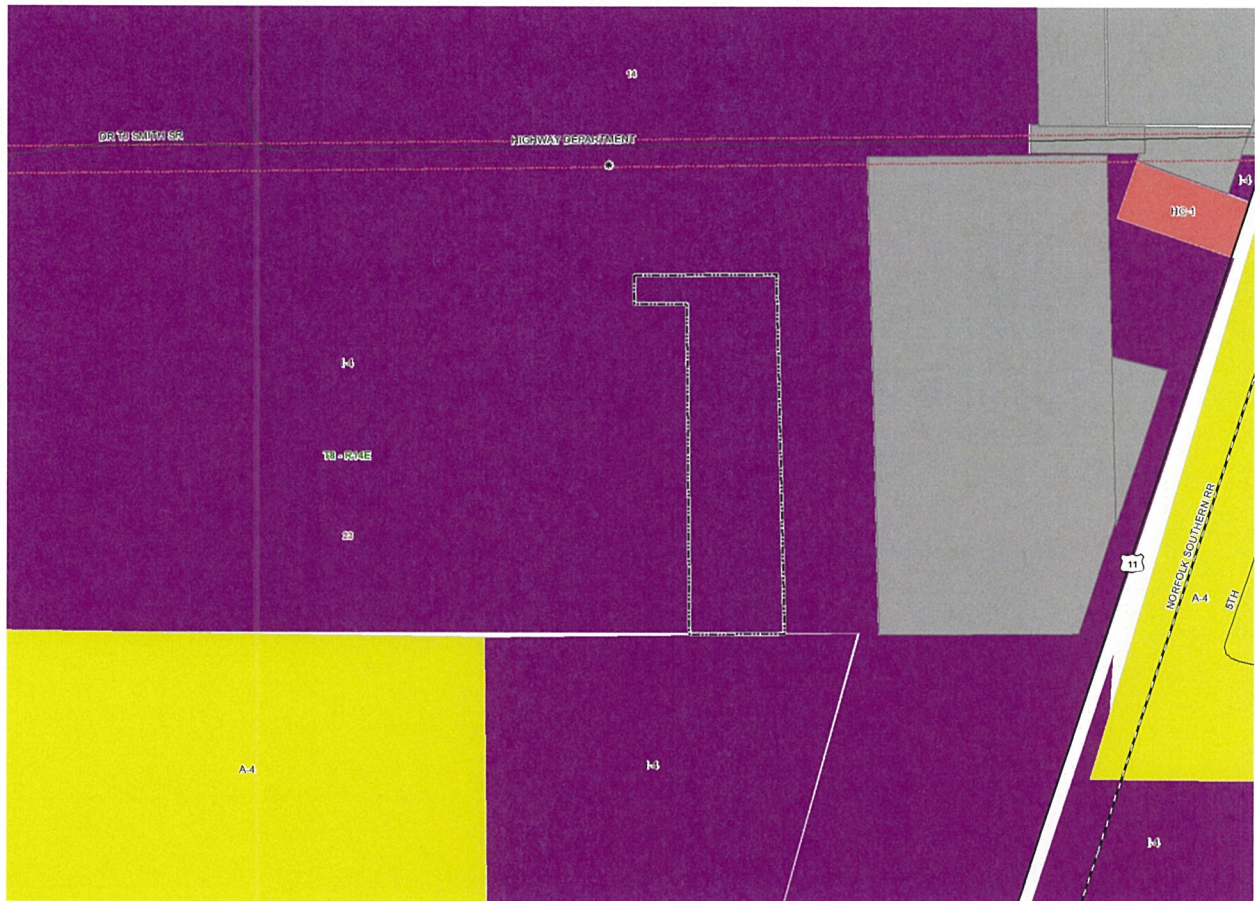
PETITIONER: St. Joe Brick Works INC. - M.P. Schneider

OWNER: St. Joe Brick Works INC. - M.P. Schneider

REQUESTED CHANGE: From I-4 Heavy Industrial District to SWM-1 Solid Waste Management District

LOCATION: Parcel located on the south side of T.J Smith Parkway, west of US Highway 11; S23, T8S, R14E;
Ward 8, District 9

SIZE: 3.988 acres



2018-1099-ZC

14

HIGHWAY DEPARTMENT

I-4

T8-R14E

23

A-8

A-4

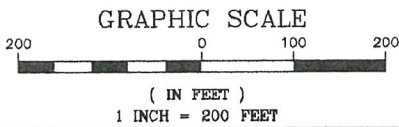
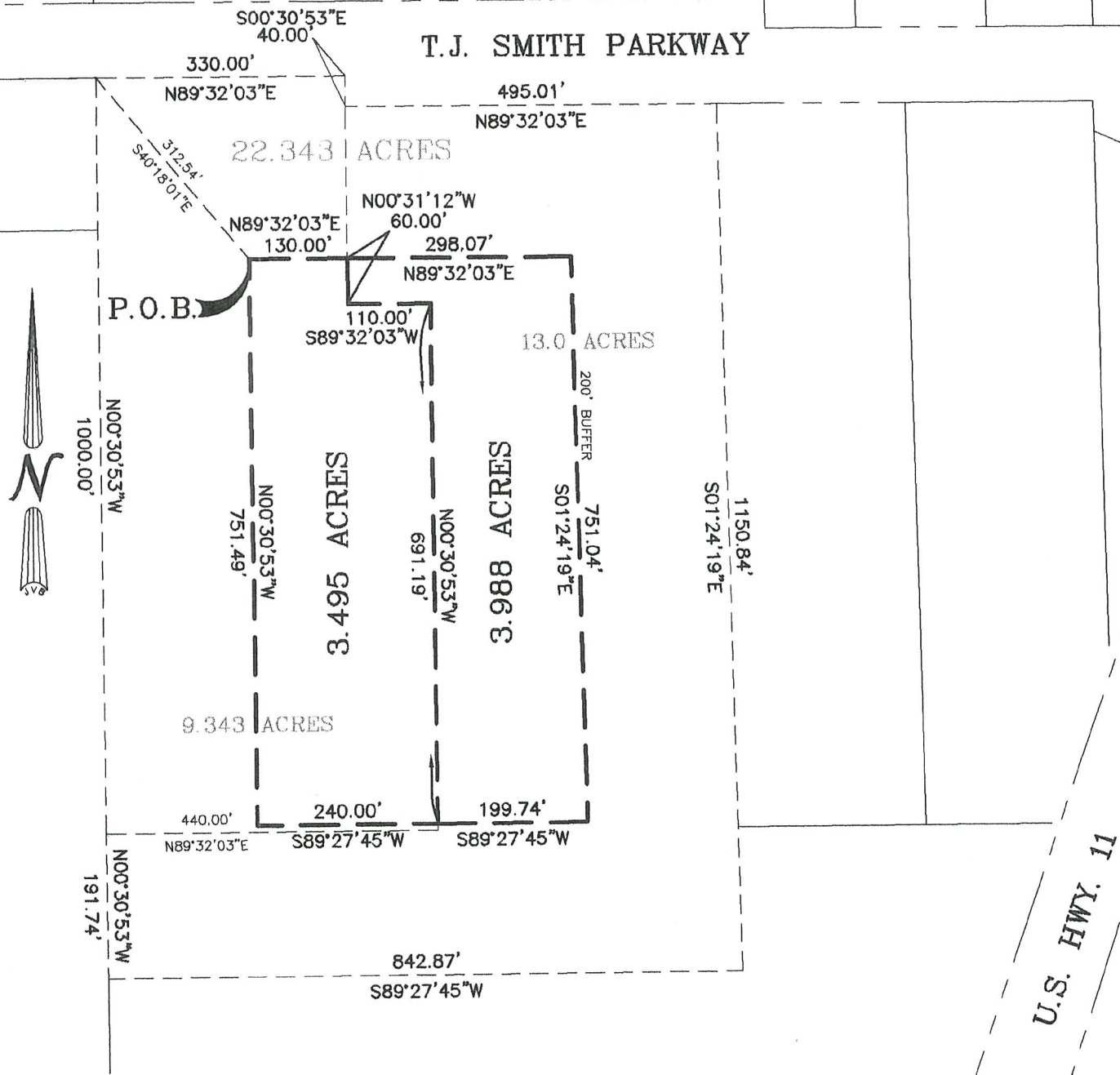
0 280 Feet

N



2018-1099-2C

P.O.B. IS REPORTED TO BE S89°30'E 2754.2';
THENCE S40°18'01"E 312.54' FROM THE SECTION
CORNER COMMON TO SECTIONS 14, 15, 22 & 23,
T-8-S, R-14-E, GREENSBURG LAND DISTRICT, ST.
TAMMANY PARISH, LOUISIANA.



BUILDING SETBACKS
(* Verify Prior to Construction)
Front Setback.....*
Side Setback.....*
Rear Setback.....*

ADDRESS: T.J. SMITH PARKWAY

I CERTIFY THAT THIS PLAT DOES REPRESENT AN
ACTUAL GROUND SURVEY AND THAT TO THE
BEST OF MY KNOWLEDGE NO ENCROACHMENTS
EXIST EITHER WAY ACROSS ANY OF THE
PROPERTY LINES, EXCEPT AS SHOWN.

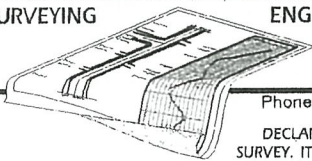
ENCUMBRANCES SHOWN HEREON ARE NOT
NECESSARILY EXCLUSIVE. ENCUMBRANCES OF RECORD
AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE
ADDED HERETO UPON REQUEST, AS SURVEYOR HAS
NOT PERFORMED ANY TITLE SEARCH OR ABSTRACT.

F.I.R.M. No. 225205 0410 D
F.I.R.M. Date 4/21/99
ZN: A & C B.F.E. N/A
* Verify prior to construction with
Local Governing Body.

DRAWING NO.
20180356
DATE:
6/8/18

J.V. Burkes & Associates, Inc.
SURVEYING ENGINEERING • ENVIRONMENTAL
1805 Shortcut Highway
Slidell, Louisiana 70458
E-mail: jvbassoc@jvburkes.com
Phone: 985-649-0075 Fax: 985-649-0154

DRAWN BY: JDL
CHECKED BY: RMK
SCALE: 1" = 200'



DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE
SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS
OR SUBSEQUENT OWNERS. SURVEY IS VALID ONLY IF PRINT HAS
ORIGINAL SEAL OF SURVEYOR.

**A REZONING MAP OF A 3.495 AC. FROM A 9.343 AC.
TRACT & 3.988 AC. FROM A 13.0 AC. TRACT, ALL
FROM A CURRENT ZONING OF I-4 TO A ZONING OF
SWM - 1, IN SECTION 23, T-8-S, R-14-E,
GREENSBURG LAND DISTRICT
ST. TAMMANY PARISH, LOUISIANA**

CERTIFIED
TO: CHRIS JEAN

ZONING STAFF REPORT

Date: 7/27/2018
Case No.: 2018-1100-ZC
Posted: 07/18/18

Meeting Date: 8/7/2018
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: Chris Jean
OWNER: Bush Farms INC - Linda Bush Burdine
REQUESTED CHANGE: From I-4 Heavy Industrial District to SWM-1 Solid Waste Management District
LOCATION: Parcel located on the north side of T.J. Smith Parkway, west of US Highway 11; S23, T8S, R14E; Ward 8, District 9
SIZE: 3.495 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: Parish **Road Surface:** 2 lane asphalt **Condition:** Good

LAND USE CONSIDERATIONS
SURROUNDING LAND USE AND ZONING:

| <u>Direction</u> | <u>Surrounding Use</u> | <u>Surrounding Zone</u> |
|------------------|---------------------------|-------------------------------|
| North | Entrance to Asphalt Plant | I-4 Heavy Industrial District |
| South | Undeveloped | I-4 Heavy Industrial District |
| East | Undeveloped | I-4 Heavy Industrial District |
| West | Vacant | I-4 Heavy Industrial District |

EXISTING LAND USE:

Existing development: Yes **Multi occupancy development:** Yes

COMPREHENSIVE PLAN:

Industrial - The processing, packaging, delivery or production of goods or services, allowed at various types of and levels of activity. Such activities may include governmental, research, archival or medical.

STAFF COMMENTS:

The petitioner is requesting to change the zoning from I-4 Heavy Industrial District to SWM-1 Solid Waste Management District. This site is located on the north side of T.J. Smith Parkway, west of US Highway 11. The 2025 future land use plan calls for the area to be developed with industrial I uses. The site is currently surrounded by land zoned I-4 Heavy Industrial District and is proposed to be developed as a solid waste management site. Note that the purpose of the SWM-1 Solid Waste Management District is to provide for the location of uses including and generally compatible with the collection of solid waste material for transport to processing facilities

STAFF RECOMMENDATION:

The staff recommends that the request for a SWM-1 Solid Waste Management District designation be approved.

Case No.: 2018-1100-ZC

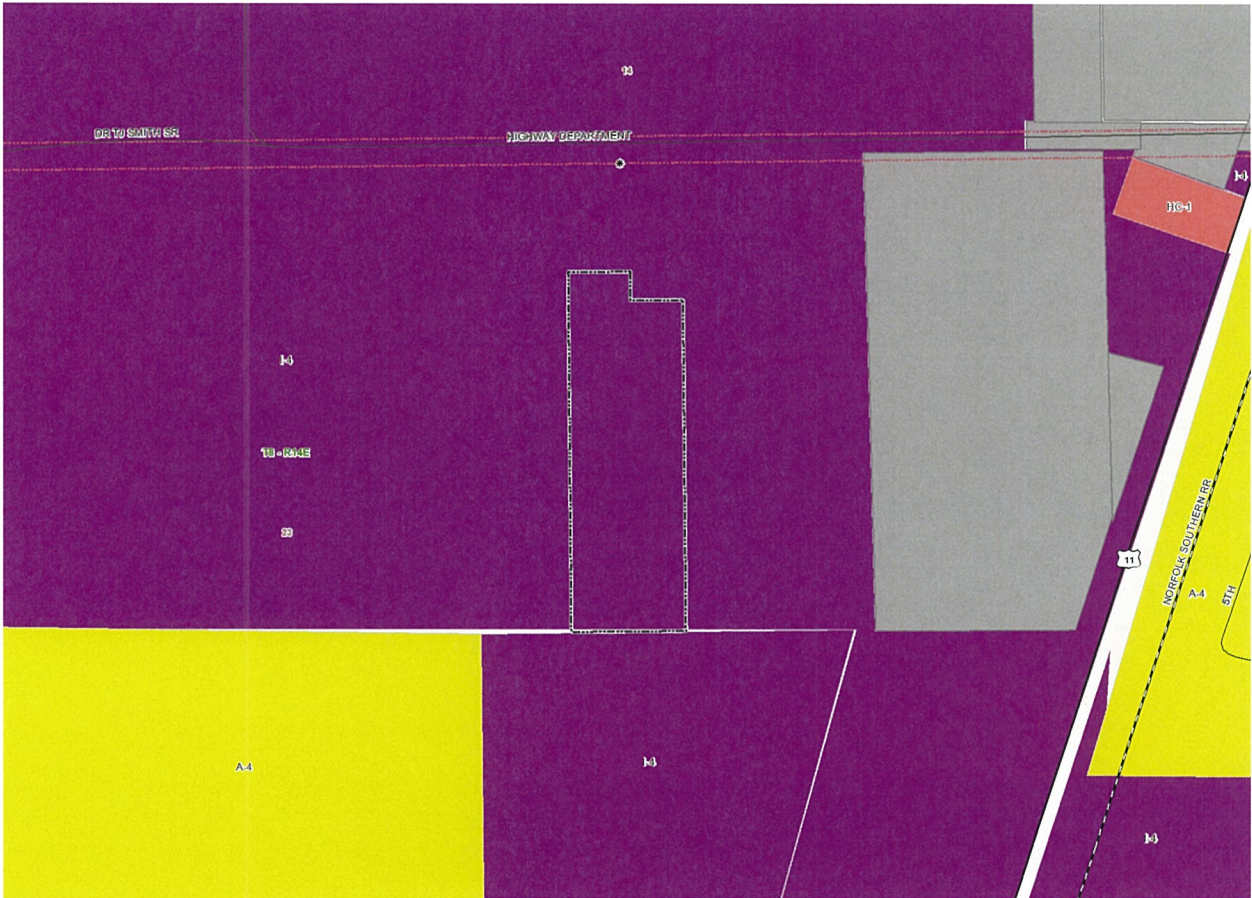
PETITIONER: Chris Jean

OWNER: Bush Farms INC - Linda Bush Burdine

REQUESTED CHANGE: From I-4 Heavy Industrial District to SWM-1 Solid Waste Management District

LOCATION: Parcel located on the north side of T.J. Smith Parkway, west of US Highway 11; S23, T8S, R14E; Ward 8, District 9

SIZE: 3.495 acres



2018-1100-ZC

14

HIGHWAY DEPARTMENT

I-4

T8-R14E

23

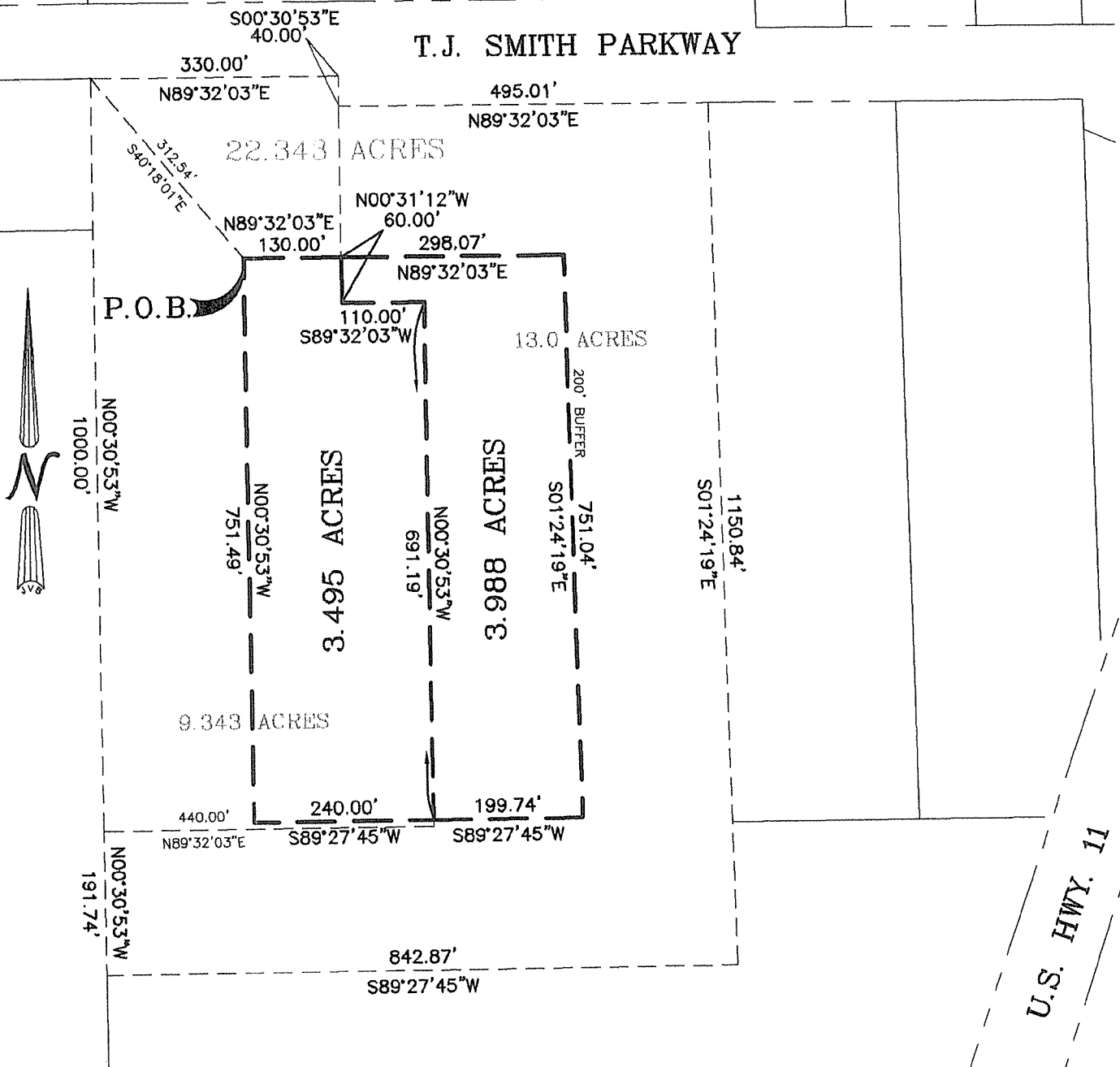
A-3

A-4

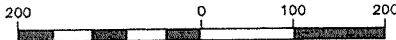
0 280 Feet



P.O.B. IS REPORTED TO BE S89°30'E 2754.2';
THENCE S40°18'01"E 312.54' FROM THE SECTION
CORNER COMMON TO SECTIONS 14, 15, 22 & 23,
T-8-S, R-14-E, GREENSBURG LAND DISTRICT, ST.
TAMMANY PARISH, LOUISIANA.



GRAPHIC SCALE



(IN FEET)
1 INCH = 200 FEET

BUILDING SETBACKS
(* Verify Prior to Construction)

Front Setback.....*
Side Setback.....*
Rear Setback.....*

ADDRESS: T.J. SMITH PARKWAY

I CERTIFY THAT THIS PLAT DOES REPRESENT AN
ACTUAL GROUND SURVEY AND THAT TO THE
BEST OF MY KNOWLEDGE NO ENCROACHMENTS
EXIST EITHER WAY ACROSS ANY OF THE
PROPERTY LINES, EXCEPT AS SHOWN.

ENCUMBRANCES SHOWN HEREON ARE NOT
NECESSARILY EXCLUSIVE. ENCUMBRANCES OF RECORD
AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE
ADDED HERETO UPON REQUEST, AS SURVEYOR HAS
NOT PERFORMED ANY TITLE SEARCH OR ABSTRACT.

F.I.R.M. No. 225205 0410 D
F.I.R.M. Date 4/21/99
Z.N. A & C B.F.E. N/A
* Verify prior to construction with
Local Governing Body.

DRAWING NO.
20180356

DATE:
6/8/18

J.V. Burkes & Associates, Inc.

SURVEYING

ENGINEERING • ENVIRONMENTAL

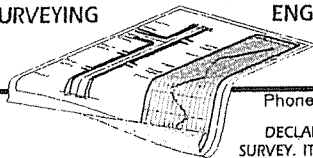
1805 Shortcut Highway
Slidell, Louisiana 70458
E-mail: jvbassoc@jvburkes.com

Phone: 985-649-0075 Fax: 985-649-0154

DRAWN BY:
JDL

CHECKED BY:
RMK

SCALE:
1" = 200'



DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE
SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS
OR SUBSEQUENT OWNERS. SURVEY IS VALID ONLY IF PRINT HAS
ORIGINAL SEAL OF SURVEYOR.

**A REZONING MAP OF A 3.495 AC. FROM A 9.343 AC.
TRACT & 3.988 AC. FROM A 13.0 AC. TRACT, ALL
FROM A CURRENT ZONING OF I-4 TO A ZONING OF
SWM - 1, IN SECTION 23, T-8-S, R-14-E,
GREENSBURG LAND DISTRICT
ST. TAMMANY PARISH, LOUISIANA**

CERTIFIED
TO: CHRIS JEAN

PLAN REVIEW STAFF REPORT

Date: 07/27/18

CASE NO.: PR17-12-002

Posted: 07/23/18

Meeting Date: August 7, 2018

Determination: Approved, Amended, Postponed, Denied

PETITIONER:

OWNER:

PROPOSED USE:

PREVIOUS/CURRENT USE:

SQ. FT. OF USE:

GROSS AREA LOT SIZE:

ZONING CLASSIFICATION:

CORRIDOR:

LOCATION:

Scott M. Gros P.E.

JSB Hwy 21 Lots, LLC - John S. Bowers III

Retail Center

Undeveloped

48,000 sq. ft.

3.7 acres

HC-2 Highway Commercial District

Planned Corridor Overlay

Parcel located on the east side of LA Highway 21, south of Azalea Drive; S47, T7S, R11E; Ward 1, District 1

SITE ASSESSMENT

ACCESS ROAD INFORMATION

Type: State

Road Surface: 5 lane asphalt

Condition: Good

LAND USE CONSIDERATIONS

Surrounding Land Use and Zoning:

| Direction | Land Use | Zoning |
|-----------------------|---------------------------|----------------------------------|
| North | Apartments & Undeveloped | HC-2 Highway Commercial District |
| South | Single Family Residential | A-2 Suburban District |
| East | Undeveloped | HC-2 Highway Commercial District |
| West | Commercial/office | HC-2 Highway Commercial District |
| Existing development? | Yes | Multi occupancy development? Yes |

STAFF COMMENTS:

Petitioner is proposing a reconfiguration of the previously approved retail center as follow:

- Provide additional parking spaces to accommodate medical uses.
- Remove approximately 1 acre of land to be developed separately.

STAFF RECOMMENDATIONS:

The staff recommends approval of this proposal, subject to all applicable regulations and the following conditions:

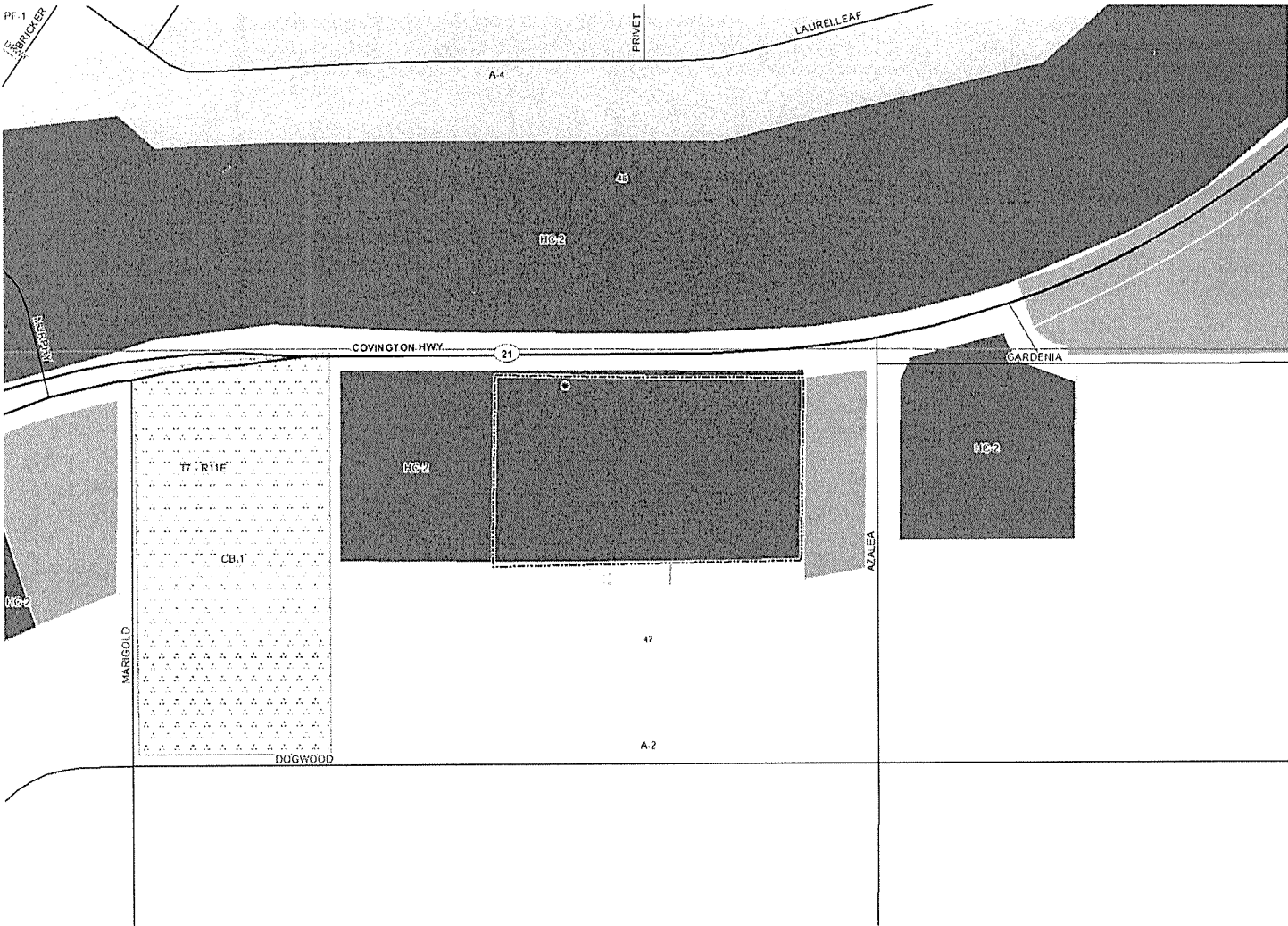
1. Landscape Plan must show the size and location of all existing trees to be preserved and any new plant materials to meet the applicable landscaping requirements (see attached chart). The size, caliper and species of the proposed trees shall be shown on the landscape plan. Class A trees shall be a minimum of 10' to 12' high. Class B trees shall be a minimum of 8'10' in height. The caliper of Class A trees shall be a minimum of 2½" and the caliper of Class B trees shall be a minimum of 1½" measured at 1½ feet above the ground.
2. Label 50' buffer and parking setback and 100' building setback.
3. Approval of Re-subdivision for separate out parcel.
4. Show dimensions of the driveways on the plan and identify location of drive thru, if applicable.
5. Separate permit application will have to submit for fascia & monument signs. Monument sign must be located 5 ft. from the property line. See Section 6.05 Planned Corridor Overlay for sign regulations.
6. The property owner shall be responsible for the maintenance and the replacement of the required plant materials.
7. During construction, planting or open ground areas surrounding preserved trees shall be wired off with a properly flagged, reinforced & rolled wire mesh.
8. Provide an exterior lighting plan meeting the Unified Development Code, Section 7.03 Lighting Regulations.

NOTE TO PETITIONER

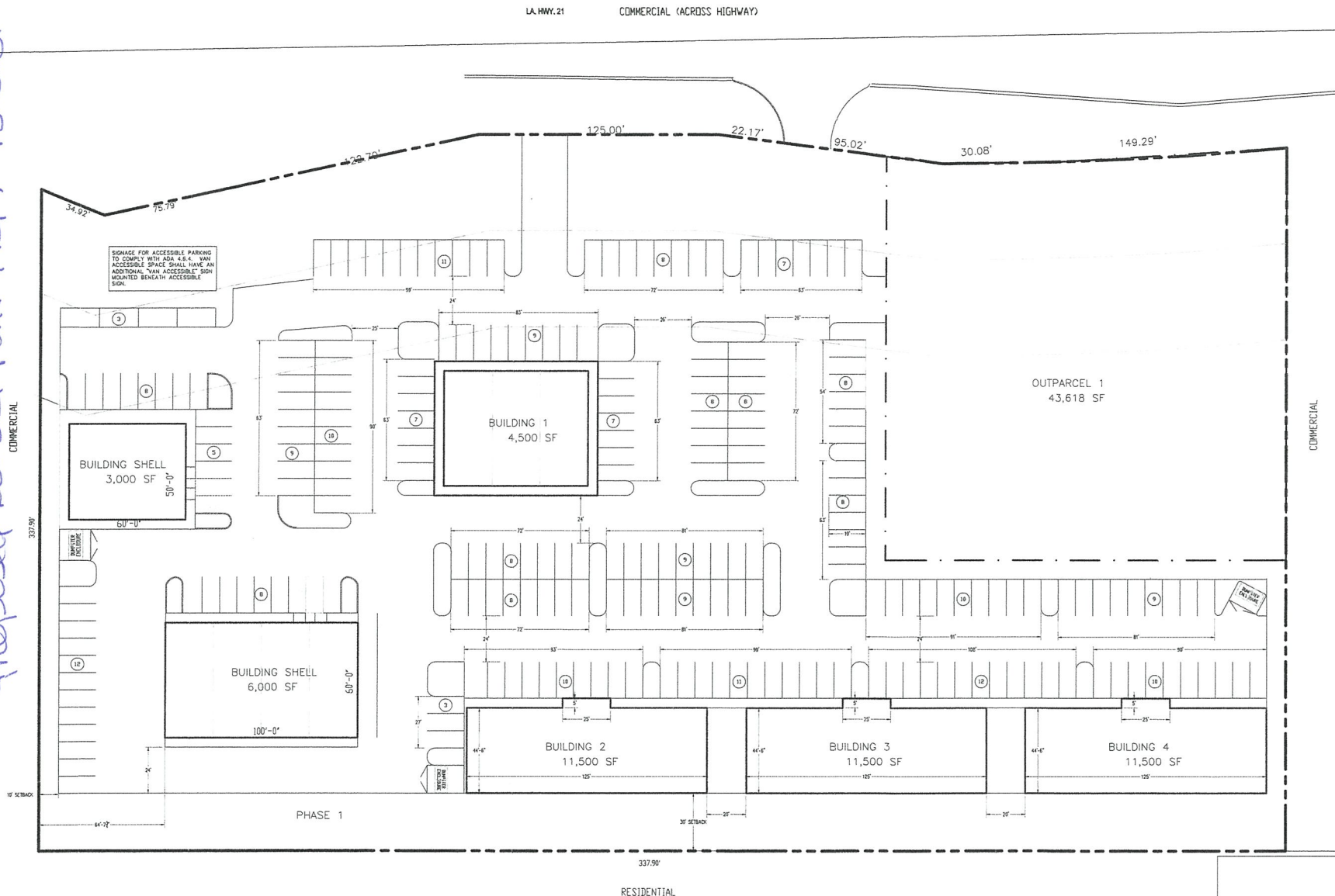
There is a 10 day appeals period following the Zoning Commission decision. If the request is approved, permits will not be issued until this 10 day period has elapsed. The petitioner shall have one year to obtain the appropriate building permits or occupy the site from the date of approval of the St. Tammany Parish Zoning Commission, unless otherwise stipulated by the St. Tammany Parish Zoning Commission.

CASE NO.:
PETITIONER
OWNER
PROPOSED USE:
PREVIOUS/CURRENT USE:
SQ. FT. OF USE:
GROSS AREA LOT SIZE:
ZONING CLASSIFICATION:
CORRIDOR:
LOCATION:

PR17-12-002
Scott Gros
JSB Hwy 21 Lots, LLC - John S. Bowers III
Retail Center
Undeveloped
48,000 sq. ft.
3.7 acres
HC-2 Highway Commercial District
Planned Corridor Overlay
Parcel located on the east side of LA Highway 21, south of Azalea Drive; S47, T7S, R11E; Ward 1, District 1



Proposed Revised Plan PR17-12-002



1 SITE PLAN - PHASES 1 AND 2
1" = 30'-0"



7/2/18

GENERAL CONDITIONS

Contractor shall obtain all permits and approvals required from authorities having jurisdiction. Construction shall not begin until the Contractor has received and thoroughly reviewed all contract documents and documents of authorities having jurisdiction. Contractor shall secure Driveway Permit and notify authorities having jurisdiction prior to performing work interfering with traffic of adjacent roads and shall conform with Manual on Traffic Control Devices of the State of Louisiana. Furnish and maintain all necessary or required signs and/or barricades during the work.

Contractor shall examine all contract documents and secure additional information from the architect as required for a full understanding of the work. During the bid period, if any, discrepancies, conflicts and interpretations of the contract documents shall be submitted in writing to the architect. The architect shall issue written addenda as required for clarification.

Contractor shall coordinate with local utility companies as may be required. Verify location of all underground and overhead utilities prior to work on the site. Removal and/or relocation of utilities, meters, valves, etc. shall be performed per requirements of utility companies. Damage to existing utilities shall be repaired by Contractor.

Contractor shall contain construction / demolition within boundaries of site or as designated herein. Contractor shall repair damage caused to adjoining property. Protect vegetation, structures, utilities, pavements and other facilities to remain from damage caused by clearing, demolition and new construction.

Contractor shall perform all work in a safe and orderly manner avoiding hazardous conditions wherever possible. Provide all necessary, temporary shop and bridge required to maintain safe and structurally sound execution of the work. Erect suitable barriers at hazardous areas to detour pedestrian traffic and prevent normal access to such areas to unauthorized persons. Perform all work in accordance with latest edition applicable safety codes, standards and regulations. Keep site clean during the work, trash and debris shall not accumulate at the site. Remove all waste materials from the site and dispose legally. Final cleanup and repair is part of this work.

SITE WORK

Remove the entire depth of topsoil from areas to be occupied by structures, paving, drives, walkways, sidewalks and landscaping and dispose legally. Notify architect of any special soil or water conditions present at the site.

Contractor shall provide soil test, by independent soil laboratory, as directed by the architect, for all compacted fill as follows: One standard proctor in fill material six density test on compacted fill at locations directed by architect, with compaction certificate as may be required.

Sub-grade shall be free of extraneous material. Proof roll soil subgrade prior to placing base. Soft or unstable areas detected thereby shall be undercut to firm soil and backfilled with engineered earth fill compacted or specified. The sub-grade for all concrete shall be uniformly stable prior to placing base. No base material shall be placed if the sub-grade indicates pumping.

Place base fill material in horizontal layers not exceeding 4" in depth and compact each layer with mechanical tamper. In place density measurements may be required to assure degree of compaction. All site preparation data in these documents and/or soil report shall be minimum acceptable standards.

Driveways and drainage structures between roadway and property line shall be constructed in accordance with Parish and State of Louisiana standard engineering details. Such driveways shall be constructed of portland cement concrete, with minimum compressive strength of 4000 psi in twenty-eight days and a minimum thickness of 6". Install expansion joints at 20 foot intervals.

Sidewalks, walkways and accessible routes shall be constructed of portland cement concrete with a minimum compressive strength of 2500 psi at twenty-eight days and a minimum thickness of five inches and width of 4 feet. Concrete shall be scored to depth of 3/8" at 4 foot intervals with expansion joints at 20 foot intervals. Any sidewalk or accessible route not level at the intersection of driveway or roadway shall be required to have a curb ramp at maximum slope of 1:12 and maximum rise of 30 inches and minimum level straight curb segment of 4 feet. Any wood in contact with ground, concrete and/or masonry shall be pressure treated.

PARKING TABULATION

| | | |
|--------------------------------------|--|---------------------------|
| RETAIL USE 7,500 SF | 1 SPACE PER 350 SF | 22 REQ'D 22 PROVIDED |
| RESTAURANT USE 9,000 SF | 1/3 SPACE PER PATRON (114) 1 SPACE PER EMPLOYEE (22) | 60 REQ'D 60 PROVIDED |
| MEDICAL OFFICE USE 12,000 SF | 1 SPACE PER 175 SF. 1 SPACE PER DOCTOR (16) 2 PER 3 EMPLOYEES (32) | 106 REQ'D 106 PROVIDED |
| PROFESSIONAL OFFICE USE 12,000 SF | 1 SPACE PER 350 SF | 34 REQ'D 34 PROVIDED |
| HANDICAPPED | 1 SPACE PER 50 SPACES | 5 REQ'D 5 PROVIDED |
| TOTAL | ALL CATEGORIES | 222 REQ'D 223 PROVIDED |

AZALEA GARDENS - PHASE 2
HWY 21 - COVINGTON
JSB 21 LOTS, LLC
ST. TAMMANY PARISH

SITE PLAN - PHASE I & II

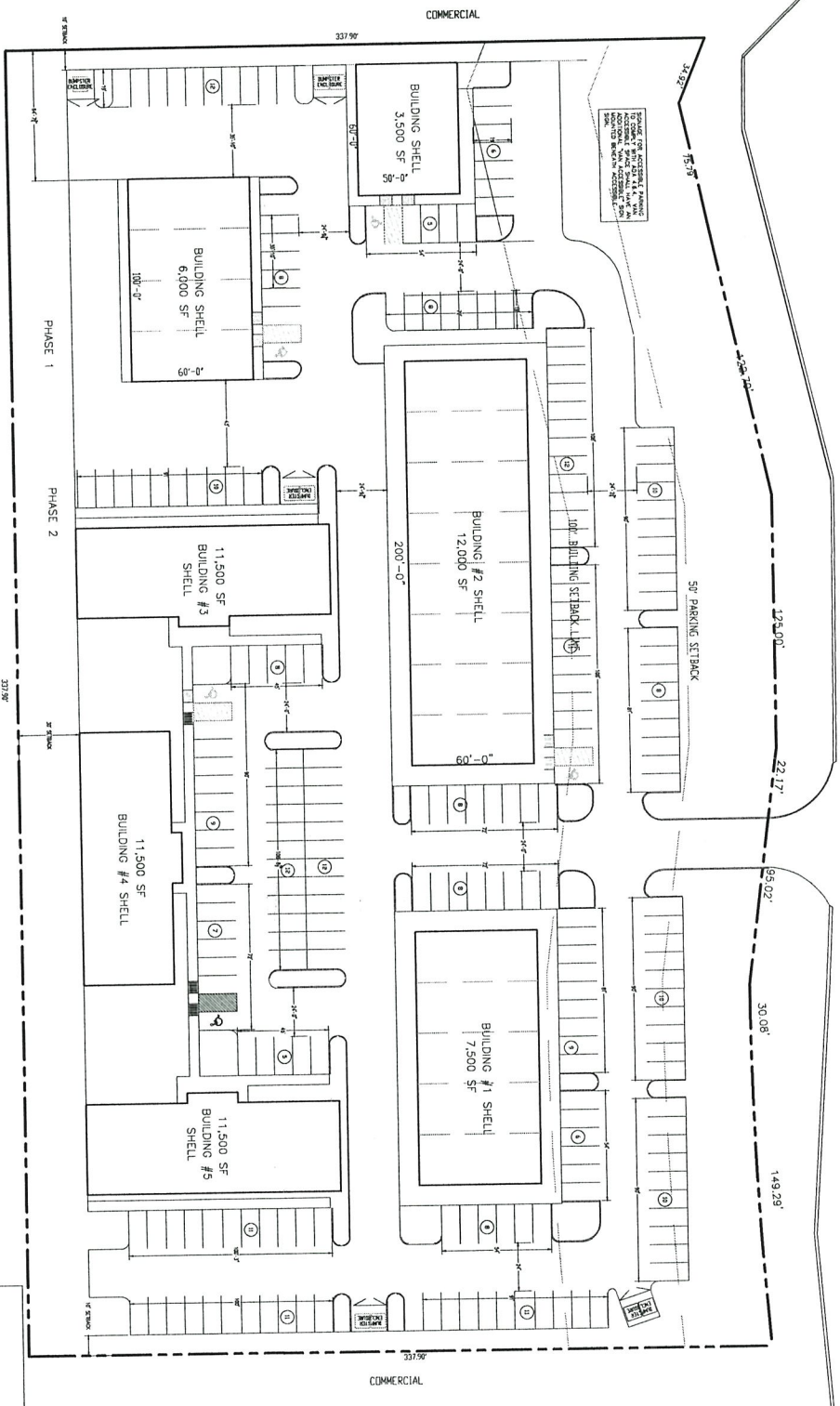
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| SCALE: (11x17) 1" = 40'-0" | DRAWN BY: SMG |
| DATE: 2.JUL.18 | CHECKED BY: SMG |
| | JOB NO. 1621 |

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| APPD | |
| REMARKS | |
| DATE | |

G&S ENGINEERING, LLC
PO BOX 71
MANDEVILLE, LA 70470
504-722-0630



SHEET NO.



GENERAL CONDITIONS

Contractor shall obtain all permits and approvals required from all authorities having jurisdiction. Construction shall not begin until the Contractor has received and thoroughly reviewed all contract documents and documents of authorities having jurisdiction. Contractor shall secure Driveway Permit and notify authorities having jurisdiction prior to performing work interfering with use of adjacent roads and shall conform with all applicable codes, ordinances and rules of the State of Louisiana. Furnish and maintain all Control Devices of the State of Louisiana. Notify authorities having jurisdiction of all necessary or required signs and/or barricades during the work.

SITE WORK

[illegible]

| PARKING TABULATION | | |
|--------------------------------------|--|--------------------------|
| RETAIL USE 19,000 SF | 1 SPACE PER 350 SF | 44 RECD 44 PROVIDED |
| RESTAURANT USE 9,500 SF | 1/2 SPACE PER PATRON (114) 1 SPACE PER EMPLOYEE (22) | 35 RECD 35 PROVIDED |
| MEDICAL OFFICE USE 9,000 SF | 1 SPACE PER 175 SF 1 SPACE PER 100 SF 2 PER 5 EMPLOYEES (18) | 104 RECD 104 PROVIDED |
| PROFESSIONAL OFFICE USE 17,000 SF | 1 SPACE PER 350 SF | 48 RECD 48 PROVIDED |
| HANDICAPPED | 1 SPACE PER 50 SPACES | 5 RECD 5 PROVIDED |
| TOTAL | ALL CATEGORIES | 231 RECD 231 PROVIDED |

| | | | | | |
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| SCALE: (24x36) | DESIGNED BY: | DRAWN BY: | CHECKED BY: | JOB NO. | DATE: |
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| SCALE: (11x17) | SMG | | | | |
| 1" = 40'-0" | SMG | | | | |
| | | | | 1621 | 10.OCT.17 |

AZALEA GARDENS - PHASE 2
HWY 21 - COVINGTON
JSB 21 LOTS, LLC
ST. TAMMANY PARISH

SITE PLAN - PHASE I

G&S ENGINEERING, LLC
PO BOX 71
MANDEVILLE, LA 70470
504-722-0630

SHEET NO.

A

| EXISTING TREES TO REMAIN STREET PLANTING AREA | | | | | | | | | |
|--|------|------|--------|-----------|------|------|--------|---------------------------------------|--|
| TREE TYPE | SIZE | TYPE | CREDIT | TREE ONLY | SIZE | TYPE | CREDIT | | |
| PINE | 10" | A | 2 | 1 | | | | 30 | |
| PINE | 12" | A | 3 | 1 | | | | 18 | |
| PINE | 18" | A | 5 | 1 | | | | 15 | |
| | | | | | | | | TOTAL CREDITS STREET PLANTING AREA | |
| | | | | | | | | 62 | |

| HWY 21 STREET PLANTING AREA (647 LF OF STREET FRONTAGE-43' S.P.A. DEPTH, 25,800 SF) | | | | |
|--|----------|---------|----------|--|
| TREES (1 per 300/200 SF) | REQUIRED | CREDITS | PROPOSED | |
| CLASS "A" TREES | 85 | 85 | 3 | |
| CLASS "B" TREES | 106 | 106 | 46 | |
| SHRUBS (1 per 10 LF) | | | | |
| SHRUBS | 66 | 0 | 66 | |
| TREE CREDITS USED | | 0 | | |
| TREE CREDITS AVAILABLE | | 0 | | |

| EXISTING TREES TO REMAIN WESTERN BUFFER | | | | | | | | | |
|--|------|------|--------|-----------|------|------|--------|--------------------------------------|--|
| TREE TYPE | SIZE | TYPE | CREDIT | TREE ONLY | SIZE | TYPE | CREDIT | | |
| PINE | 8" | A | 1 | 1 | | | | 1 | |
| PINE | 8" | A | 2 | 1 | | | | 1 | |
| PINE | 18" | A | 5 | 1 | | | | 5 | |
| | | | | | | | | TOTAL CREDITS WESTERN BUFFER AREA | |
| | | | | | | | | 7 | |

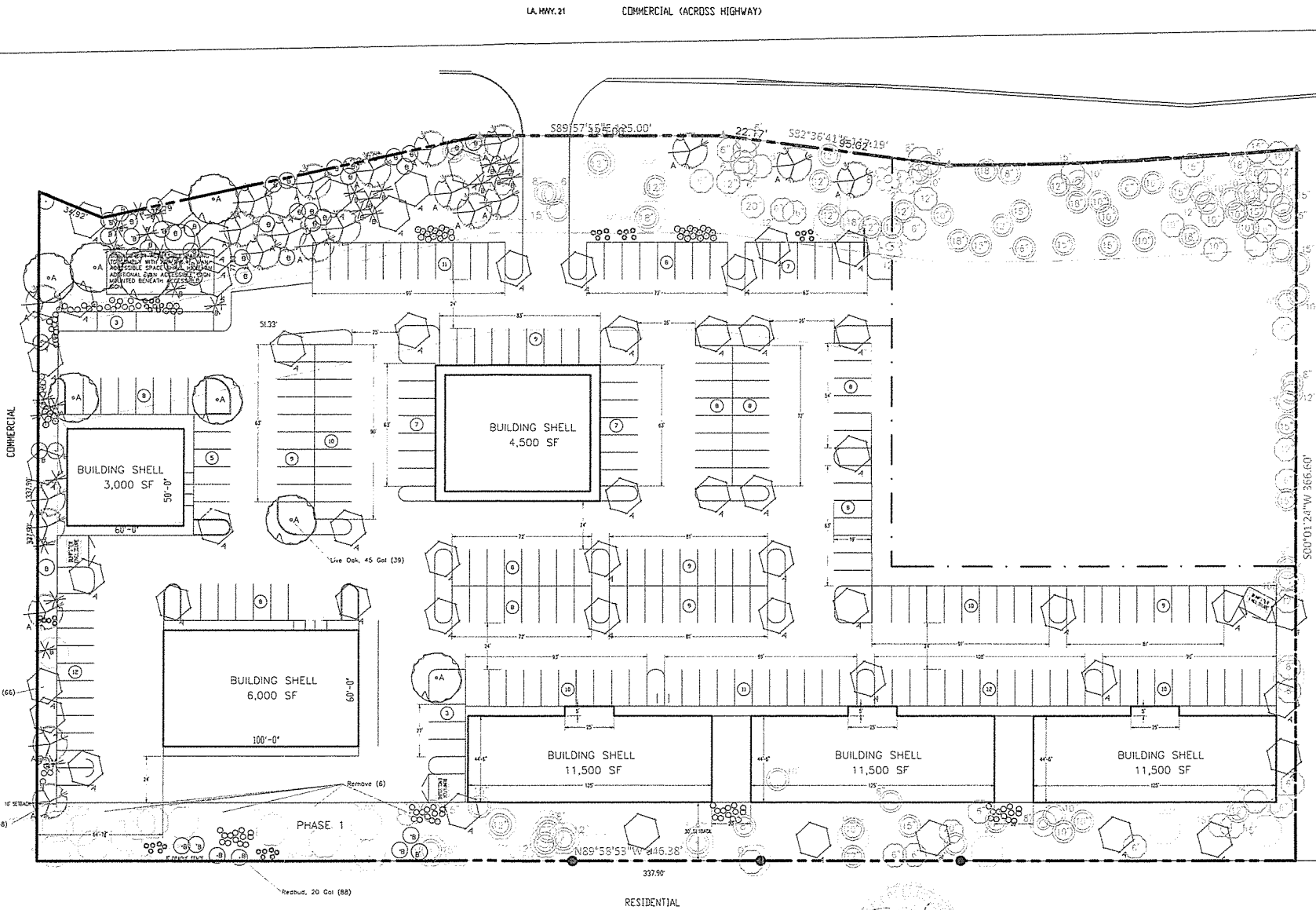
| WESTERN BUFFER-ADJACENT TO COMMERCIAL (338 LF OF BUFFER LENGTH-10' BUFFER DEPTH REQUIRED) | | | |
|--|----------|---------|----------|
| TREES (1 per 30 L.F.) | REQUIRED | CREDITS | PROPOSED |
| CLASS "A" TREES | 12 | 5 | 7 |
| CLASS "B" TREES | 12 | 0 | 12 |
| SHRUBS (1 per 10 L.F.) | | | |
| SHRUBS | 34 | 0 | 38 |
| TREE CREDITS USED | | 0 | |
| TREE CREDITS AVAILABLE | | 0 | |
| 8' FENCE REQUIRED | | | NO |

| EXISTING TREES TO REMAIN EASTERN BUFFER | | | | | | | | | |
|--|------|------|--------|-----------|------|------|--------|--------------------------------------|--|
| TREE TYPE | SIZE | TYPE | CREDIT | TREE ONLY | SIZE | TYPE | CREDIT | | |
| PINE | 10" | A | 2 | 1 | N/A | N/A | 1 | 1 | |
| PINE | 12" | A | 3 | 1 | N/A | N/A | 4 | 4 | |
| PINE | 18" | A | 5 | 1 | N/A | N/A | 9 | 9 | |
| | | | | | | | | TOTAL CREDITS EASTERN BUFFER AREA | |
| | | | | | | | | 16 | |

| EASTERN BUFFER-ADJACENT TO COMMERCIAL (338 LF OF BUFFER LENGTH-10' BUFFER DEPTH REQUIRED) | | | |
|--|----------|---------|----------|
| <u>*TREES (1 per 30 LF)</u> | REQUIRED | CREDITS | PROPOSED |
| CLASS "A" TREES | 13 | 9 | 4 |
| CLASS "B" TREES | 13 | 0 | 13 |
| <u>*SHRUBS (1 per 10 LF)</u> | | | |
| SHRUBS | 34 | 0 | 34 |
| TREE CREDITS USED | | 0 | |
| TREE CREDITS AVAILABLE | | 0 | |
| 8' FENCE REQUIRED | | | NO |

| EXISTING TREES TO REMAIN SOUTHERN BUFFER | | | | | | | | | |
|---|------|------|--------|-----------|------|------|--------|---------------------------------------|--|
| TREE TYPE | SIZE | TYPE | CREDIT | TREE ONLY | SIZE | TYPE | CREDIT | | |
| PINE | 10" | A | 2 | 3 | N/A | N/A | 8 | 8 | |
| PINE | 12" | A | 3 | 8 | N/A | N/A | 24 | 24 | |
| PINE | 18" | A | 5 | 1 | N/A | N/A | 9 | 9 | |
| PINE | 36" | A | 3 | 2 | N/A | N/A | 6 | 6 | |
| MAGNOLIA | 15" | A | 3 | 1 | N/A | N/A | 3 | 3 | |
| OAK | 15" | A | 3 | 1 | N/A | N/A | 3 | 3 | |
| | | | | | | | | TOTAL CREDITS SOUTHERN BUFFER AREA | |
| | | | | | | | | 50 | |

| SOUTHERN BUFFER-ADJACENT TO RESIDENTIAL (600 LF OF BUFFER LENGTH-30' BUFFER DEPTH REQUIRED) | | | |
|--|----------|---------|----------|
| TREES (1 per 30 L.F.) | REQUIRED | CREDITS | PROPOSED |
| CLASS "A" TREES | 22 | 22 | 0 |
| CLASS "B" TREES | 22 | 22 | 0 |
| *SHRUBS (1 per 10 L.F.) | | | |
| SHRUBS | 66 | 0 | 66 |
| TREE CREDITS USED | | 44 | |
| TREE CREDITS AVAILABLE | | 50 | |
| 8' FENCE REQUIRED | | | YES |



AZALEA GARDENS - PHASE 2
 HWY 21 - COVINGTON
 JSB 21 LOTS, LLC
 ST. TAMMANY PARISH
 LANDSCAPE PLAN PHASE 1

SCALE: (24x36)
 1" = 20'-0"
 SCALE: (11x17)
 1" = 40'-0"
 DATE: 2.JUL.18
 DESIGNED BY: SMG
 DRAWN BY: SMG
 CHECKED BY: SMG
 JOB NO. 1621

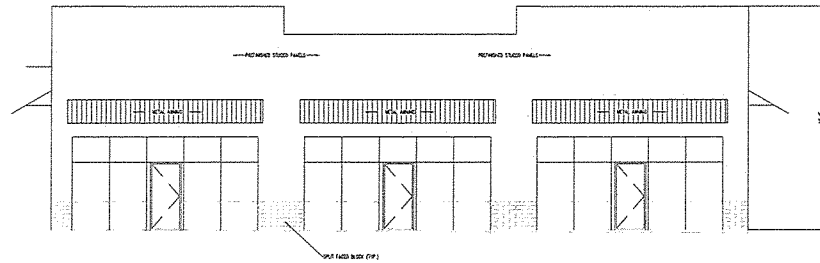
APPD
 REMARKS
 DATE

ENGINEERING, LLC
 PO BOX 71
 EVILE, LA 70470
 14-722-0630

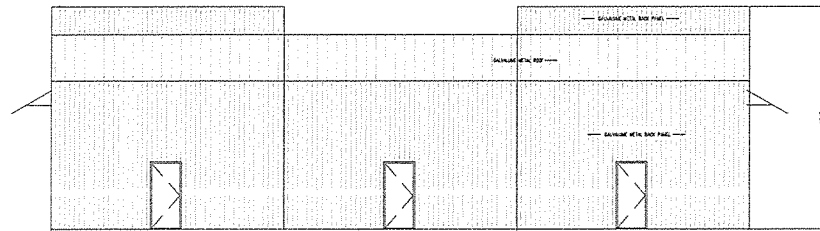
VISTA Design Group LLC
 5590 Canal Boulevard
 New Orleans, LA 70124
 (SS) 504.290.9022
 (NS) 985.249.8891
 vistalandscapingnola.com

Lic # 16-54612

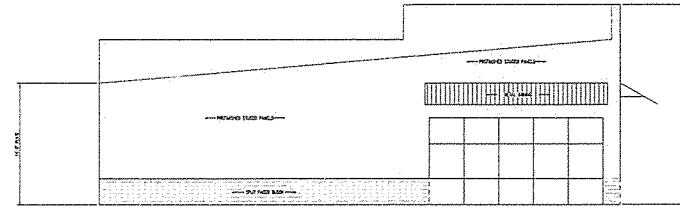
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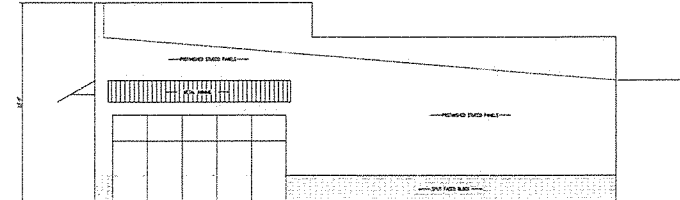
1 FRONT ELEVATION - BUILDING 1
3/16" = 1'-0"



2 REAR ELEVATION - BUILDING 1
3/16" = 1'-0"



3 LEFT ELEVATION - BUILDING 1
3/16" = 1'-0"



4 RIGHT ELEVATION - BUILDING 1
3/16" = 1'-0"

[Signature]
7/2/18

AZALEA GARDENS - PHASE 2
HWY 21 - COVINGTON
JSB 21 LOTS, LLC
ST. TAMMANY PARISH

ELEVATIONS - BUILDING 1

| | |
|-------------------------------|---------------------|
| SCALE: (24x36) 1" = 20'-0" | DESIGNED BY: SMG |
| SCALE: (11x17) 1" = 40'-0" | DRAWN BY: SMG |
| DATE: 2.JUL.18 | CHECKED BY: SMG |
| | JOB NO. 1621 |

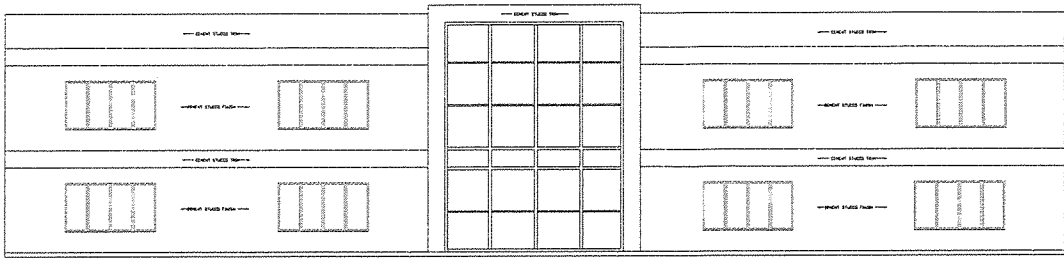
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G&S ENGINEERING, LLC
PO BOX 71
MANDERLY, LA 70470
504-722-0630

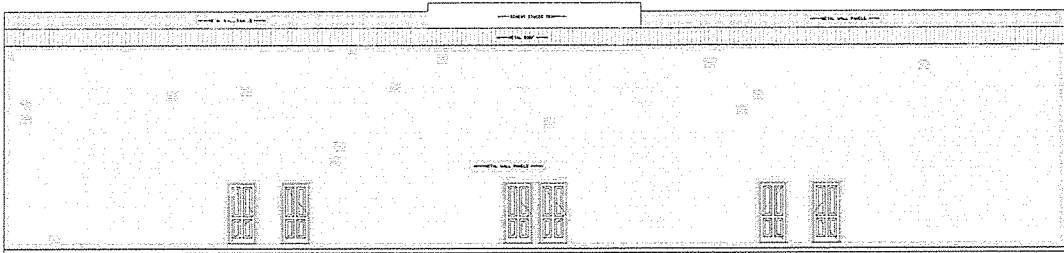


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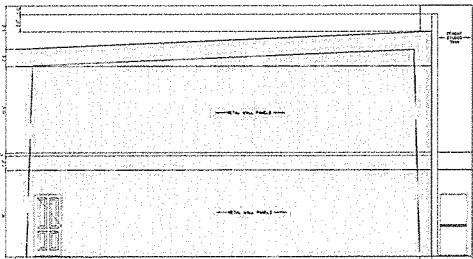
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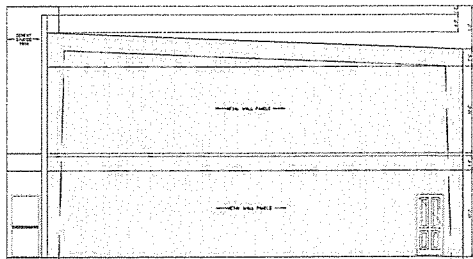
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3/16" = 1'-0"



2 REAR ELEVATION - BUILDING 2
3/16" = 1'-0"



3 LEFT ELEVATION - BUILDING 2
3/16" = 1'-0"



4 RIGHT ELEVATION - BUILDING 2
3/16" = 1'-0"

Tyler
7/2/18

AZALEA GARDENS - PHASE 2
HWY 21 - COVINGTON
JSB 21 LOTS, LLC
ST. TAMMANY PARISH

ELEVATIONS - BUILDING 5

| | |
|----------------|--------------|
| SCALE: (24x36) | DESIGNED BY: |
| 1" = 20'-0" | SMG |
| SCALE: (11x17) | DRAWN BY: |
| 1" = 40'-0" | SMG |
| DATE: | CHECKED BY: |
| 2.JUL.18 | SMG |
| JOB NO. | |
| 1621 | |

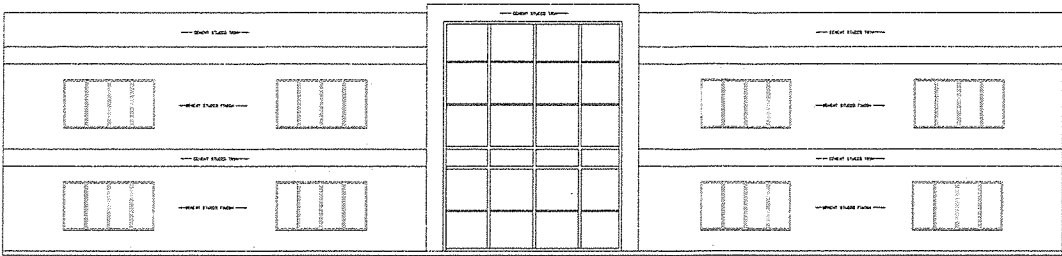
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B&S ENGINEERING, LLC
PO BOX 71
MANDERLY, LA 70470
504-722-0630

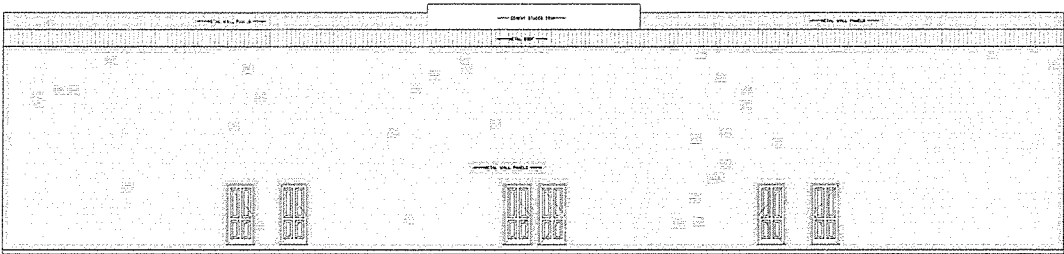


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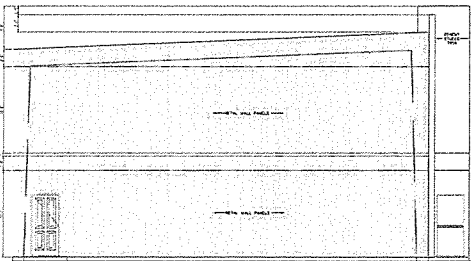
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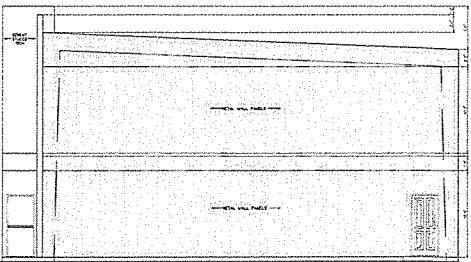
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3/16" = 1'-0"



2 REAR ELEVATION - BUILDING 4
3/16" = 1'-0"



3 LEFT ELEVATION - BUILDING 4
3/16" = 1'-0"



4 RIGHT ELEVATION - BUILDING 4
3/16" = 1'-0"

Signature
7/2/13

AZALEA GARDENS - PHASE 2
HWY 21 - COVINGTON
JSB 21 LOTS, LLC
ST. TAMMANY PARISH

ELEVATIONS - BUILDING 4

| | |
|-------------------------------|---------------------|
| SCALE: (24x36) 1" = 20'-0" | DESIGNED BY: SMG |
| SCALE: (11x17) 1" = 40'-0" | DRAWN BY: SMG |
| | CHECKED BY: SMG |
| DATE: 2.JUL.18 | JOB NO. 1621 |

| DATE | REMARKS | APPROVED |
|------|---------|----------|
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G&S ENGINEERING, LLC
PO BOX 71
MANDEVILLE, LA 70470
504-722-0630



SHEET NO.

A5

APPENDIX A
CASE NO.: PR17-12-002
LANDSCAPE CHART

FOR COMMERCIAL/INDUSTRIAL/INSTITUTIONAL/MULTI-FAMILY USES ONLY

| Affected Area | Planned Corridor Requirements | Minimum Required Buffer Plantings | Petitioner Provided | Staff Recommends |
|--|---|---|---|--|
| Street Planting Hwy 21 475.6 ft. | 50' planting area & parking setback 100' building setback 1 Class A/300 sq. ft.: 79 Class A trees 1 Class B/ 200sq ft.: 119 Class B trees 1 Shrub per 10 linear feet: 48 Shrubs | 78 Class A trees Required 117 Class B trees Required 55 shrubs required | Provide required number of shrubs and trees as per Planned corridor Requirements. | Show required 50' planting area and 100' building setback |
| South Perimeter Planting 538.55 ft. | 30' planting area 1 Class A/ 30 sq. ft. 1 Class B/ 30 sq. ft. 8' opaque fence | 30' planting area 18 Class A 18 Class B 8' opaque fence | 30' planting area 18 Class A 18 Class B 8' opaque fence | Provide required number of shrubs and trees as per ordinance |
| West Perimeter Planting 337.90 ft. | 10' planting area 1 Class A/ 30 sq. ft. 1 Class B/ 30 sq. ft. | 10' planting area 12 Class A 12 Class B | 10' planting area 9 credits for Class A 12 Class B trees | Credits will be granted if trees remain healthy thru the duration of construction. |
| East Perimeter Planting | 10' planting area 1 Class A/ 30 sq. ft. 1 Class B/ 30 sq. ft. | 10' planting area 12 Class A 12 Class B | 10' planting area | Provide required number of Class A & Class B trees and dimensions of the Eastern Perimeter |
| Parking Planting | 1 Class A in Island / 12 spaces & in island at ends of row | 1 Class A in Island / 12 spaces & in island at ends of row | 1 Class A / 12 spaces & in islands at ends of row | Provide the required number of parking spaces according to the UDC Section 7.07 for retail & restaurant & for medical offices. |