

**AGENDA**  
**ST. TAMMANY PARISH PLANNING COMMISSION MEETING**  
**IMMEDIATELY FOLLOWING ADJOURNMENT OF THE SPECIAL RESCHEDULED**  
**MEETING FOR THE OCTOBER 8, 2019 AGENDA - TUESDAY, NOVEMBER 12, 2019**  
**ST. TAMMANY PARISH GOVERNMENT COMPLEX**  
**PARISH COUNCIL CHAMBERS**  
**21490 KOOP DRIVE, MANDEVILLE, LOUISIANA**

**ROLL CALL**

**PUBLIC ANNOUNCEMENTS**

- Please silence all phones and electronic devices
- Appeals
- Speaker Cards
- Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal
- Please exit the building

**INVOCATION AND PLEDGE OF ALLEGIANCE**

**APPROVAL OF THE OCTOBER 8, 2019 MINUTES**

**PUBLIC HEARINGS:**

**REQUEST FOR POSTPONEMENTS**

**ENTERING PARISH RIGHT-OF-WAY, SERVITUDES, EASEMENTS & TAMMANY TRACE**

**Entering the Parish Right-of-way**

Request to Enter the Parish Right-of-way of Dove Park Road for the purpose of installing a sewer force main in conjunction with the construction of Dove Park Estates Subdivision

Debtor: Dove Park Estates, LLC

Parish Council District: Hon. Rykert Toledano

General Location: The property is located on the north side of Dove Park Road, west of LA Highway 59 Mandeville, Louisiana. Ward 4, District 5

**REVOCATION REVIEW**

**MINOR SUBDIVISION REVIEW**

**2019-1674-MSP**

A minor subdivision of 1.89 acres into Parcels A & B

Owners: Jeffrey Johannsen

Surveyor: John Bonneau & Associates, Inc.

Parish Council District Representative: Hon. Steve Stefancik

General Location: The property is located on the north side of Philip Smith Road, west of LA Highway 434, Lacombe, Louisiana. Ward 6, District 11

**2019-1681-MSP**

A minor subdivision of 14.20 acres identified as Parcel KS-1 into Parcels KS-1A & KS-1B

Owners: Byron A. & Myra D. Brown

Surveyor: Dading, Marques & Associates, LLC

Parish Council District Representative: Hon. Steve Stefancik

General Location: The property is located on the east side of Transmitter Road, south of East Main Street, Lacombe, Louisiana. Ward 7, District 11

**RESUBDIVISION REVIEW**

**2019-1679-MRP**

A resubdivision of lots 12-25 into Lots 13A, 15A, 19A, 21A, 23A, and 25A, Square 11, Beverly Heights Manor

Owners: VARNCO Properties, LLC – Kenneth & Bettina Varnado

Surveyor: J. V. Burkes & Associates, Inc.

Parish Council District Representative: Hon. S. Michele Blanchard

General Location: The property is located on the north side US Highway 190 East, on the west side of Northshore Lane & on the east side of Panther Street, Slidell, Louisiana, Ward 8, District 13

**2019-1683-MRP**

A resubdivision of lot 588A-1 into lots 587A-1 & 588A-2, Tchefunta Club Estates, Phase II

Owners: Bluebird Development & Design, LLC – Jamison Bagnell

Surveyor: Land Surveying, LLC

Parish Council District Representative: Hon. Marty Dean

General Location: The property is located on the southwest side of Hummingbird Road, north of Riverdale Drive, Covington, Louisiana. Ward 1, District 1

**2019-1689-MRP**

A resubdivision of lots 27-34 into Lots 28A, 30A, 32A & 34A, Sq. 322A & Lots 8-10 & 27-36 into Lots 9A, 28A, 30A, 34A & 36A Sq. 322B, Town of Mandeville

Owners: SMS Holdings Company, LLC

Surveyor: John E. Bonneau & Associates, Inc.

Parish Council District Representative: Hon. Jacob Groby

General Location: The property is located on the east & west sides of Ozone Place & on the west side of Rapatel Street, Mandeville, Louisiana. Ward 4, District 7

**PETITIONS/WAIVER REQUESTS**

**DORMANT SUBDIVISION REVIEW**

**TENTATIVE SUBDIVISION REVIEW**

**PRELIMINARY SUBDIVISION REVIEW**

**2018-1105-PP**

Providence Parks, Phase 1

Developer/Owner: Providence Parks, LLC

Engineer: SLD Engineering and Surveying

Parish Council District Representative: Hon. James Thompson

General Location: The property is located on the east side LA Highway 1077, north of U.S.

Highway 190, Covington, Louisiana. Ward 1, District 3

*Postponed from the July 10, 2018 meeting*

*Postponed from the August 14, 2018 meeting*

*Postponed from the September 11, 2018 meeting*

*Postponed from the October 9, 2018 meeting for 2 months*

*Postponed from the December 11, 2018 meeting indefinitely*

*Requesting postponement at the special rescheduled meeting for the October 8, 2019 agenda*

**2019-1604-PP**

River Park Estates, Phase 2

Developer/Owner: River Park Estates, LLC

Engineer/Surveyor: Deep South Design Group, LLC

Parish Council District Representative: Hon. James Thompson

General Location: The property is located on the north side of M. P. Planche Road, west of LA

Highway 25, Covington, Louisiana. Ward 3 District 3

*Postponed at the September 10, 2019 meeting*

*Requesting postponement at the special rescheduled meeting for the October 8, 2019 agenda*

**2019-1638-PP**

Spring Lakes, Phase 3

Developer/Owner: Lonesome Development, LLC

Engineer/Surveyor: Richard C. Lambert Consultants, LLC

Parish Council District Representative: Hon. James Thompson

General Location: The property is located on the east side of LA Highway 1077, west of Tantela

Ranch Road, north of U.S. Highway 190, Covington, Louisiana. Ward 1, District 3

*Requesting postponement at the special rescheduled meeting for the October 8, 2019 agenda*

**FINAL SUBDIVISION REVIEW**

**2019-1633-FP**

Grande Maison, Phase 3-C

Developer/Owner: Grande Maison Development, LLC

Engineer/Surveyor: Kelly McHugh and Associates, Inc.

Parish Council District Representative: Hon. Rykert Toledano

General Location: The property is located on the east side of LA Highway 59, south of Interstate -

12, Mandeville, Louisiana. Ward 4 District 5

*Requesting postponement at the special rescheduled meeting for the October 8, 2019 agenda*

**2019-1640-FP**

Maison du Lac, Phase 3-B

Developer/Owner: WBB Realty, LLC

Engineer/Surveyor: Richard C. Lambert Consultants, LLC

Parish Council District Representative: Hon. Marty Dean

General Location: The property is located on the west side LA Highway 1085, north of LA Highway 21, Covington, Louisiana. Ward 1 District 1

***Requesting postponement at the special rescheduled meeting for the October 8, 2019 agenda***

**2019-1685-FP**

Spring Lakes, Phase 2

Developer/Owner: Lonesome Development, LLC

Engineer/Surveyor: Richard C. Lambert Consultants, LLC

Parish Council District Representative: Hon. James Thompson

General Location: The property is located on the east side of LA Highway 1077, west of Tantela Ranch Road, north of U.S. Highway 190, Covington, Louisiana. Ward 1, District 3

**2019-1686-FP**

Lakeshore Villages, Phase 4-A-3

Developer/Owner: D.R. Horton, Inc. - Gulf Coast

Engineer/Surveyor: Duplantis Design Group, PC/Acadia land Surveying, LLC

Parish Council District Representative: Hon. S. Michele Blanchard

General Location: The property is located north of Oak Harbor Blvd., west of LA Highway 433, east of Interstate-10, Slidell, Louisiana. Ward 9 District 13

**2019-1687-FP**

Oaklawn Trace, Phase 1

Developer/Owner: J/MAC Development, LLC

Engineer/Surveyor: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon. Steve Stefancik

General Location: The property is located on the south side of US Highway 190, east of Transmitter Road, west of South Tranquility Road, Lacombe, Louisiana. Ward 7 District 11

**2019-1688-FP**

Wingfield

Developer/Owner: Bruno Brothers Real Estate

Engineer/Surveyor: Arrow Engineering & Consulting, Inc,

Parish Council District Representative: Hon. James Thompson

General Location: The property is located on the north side of Joiner Wymer Road, west of LA Highway 1077, Covington, Louisiana. Ward 1 District 3

**AMENDMENTS TO CHAPTER 125 - SUBDIVISION REGULATIONS**



**AMENDMENT TO DEVELOPMENTAL AGREEMENT**

**Notice of Intention to Consider Adoption of Amendment to Developmental Agreement**

A public hearing will be held by the St. Tammany Parish Planning Commission to consider adoption of an Amendment to the Developmental Agreement between St. Tammany Parish Government and Advance Mortgage Company to remove Lots 2, 4, 6, 8, 10, 12, 14, 16, 18, 20, 22, 24, 26, 28, 30, 32, 34, 36, 38, 40, 42 of Square 31, Lots 1, 3, 5, 7, 9, 11, 13, 15, 17, 19, 21, 23, 25, 27, 29, 31, 33, 35, 37, 39, 41 of Square 21 and add Lot 1, 3, 5, 7, 9, 11, 13, 15, 17, 19, 21, 23, 25, 27, 29, 31, 33, 35, 37, 39, 41 of Square 14, Lots 2, 4, 6, 8, 10, 12, 14, 16, 18, 20, 22, 24, 26, 28, 30, 32, 34, 36, 38, 40, 42 of Square 15 of South Abita Springs Subdivision a/k/a Tammany Hills Subdivision (removing 42 lots and adding 42 lots).

Debtor: Advanced Mortgage Company

Parish Council District: Hon. David Fitzgerald

General Location: The property is located on 5th Street between Adams and Jefferson Avenue, Covington, Louisiana. Ward 3, District 2

**OLD BUSINESS**

**NEW BUSINESS**

**ADJOURNMENT**

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**MINUTES**  
**ST. TAMMANY PARISH PLANNING COMMISSION MEETING**  
**6:00PM - TUESDAY, OCTOBER 8, 2019**  
**ST. TAMMANY PARISH GOVERNMENT COMPLEX**  
**PARISH COUNCIL CHAMBERS**  
**21490 KOOP DRIVE, MANDEVILLE, LOUISIANA**

**ROLL CALL**

Present: Willie, Richard, Doherty, Fitzmorris, Crawford, Drumm, Randolph

Absent: Seeger, Parker, Bagert and Lorren (Deceased)

Staff Present: Tissue, Lambert, Reynolds, Riles, McMenamin, Vorenkamp

The Planning Commission failed to achieve quorum; therefore, a special rescheduled meeting will be announced.

**ADJOURNMENT**

---

**Mr. Dave Doherty**  
**Chairman**

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**ENTERING THE PARISH  
RIGHTS-OF-WAY,  
SERVITUDES AND  
EASEMENTS**

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(Draft Date November 12, 2019)

ST. TAMMANY PARISH PLANNING COMMISSION

RESOLUTION

RESOLUTION PLANNING COMMISSION SERIES NO. \_\_\_\_\_

**TITLE: A RESOLUTION AUTHORIZING MR. CORIE HERBERGER, TO ENTER PARISH RIGHT-OF-WAY.**

**SUB-TITLE: A RESOLUTION GRANTING PERMISSION TO MR. CORIE HERBERGER, 22161 MARSHAL ROAD, MANDEVILLE. LA 70471 OR ASSIGNEES; TO ENTER PARISH RIGHT-OF-WAY, SPECIFICALLY THE PORTION OF DOVE PARK ROAD LOCATED JUST WEST OF LOUISIANA HIGHWAY 59 FOR THE PURPOSE OF LAYING A SIX (6) INCH SEWER FORCE MAIN. WARD 4, DISTRICT 5.**

NOW, THEREFORE, BE IT RESOLVED, by the St. Tammany Parish Planning Commission that it hereby grants permission to the aforementioned petitioner to enter Parish right-of-way for the aforementioned purposes, subject to the following conditions:

1. That the improvements that will be undertaken will be at the sole expense of the petitioner.
2. That the petitioner agrees to accept full responsibility, financial and all other, for the damage and/or relocation of utilities currently located within Parish right-of-way.
3. That the petitioner shall submit plans prepared by a licensed engineer to the Department of Engineering for review and approval. Upon approval of plans and specifications by the Director of Engineering, the petitioner must notify the Department of Engineering prior to the commencement of any activity.
4. That should the petitioner commence work thereon, petitioner by such act acquiesces and acknowledges thereby that he will hold this Parish, its officials, agents, servants, and employees free and harmless from any liability or responsibility whatsoever in connection with the construction of the project. Petitioner will provide copy of Liability Insurance Policy including the naming of the Parish as an insured party. The insurance will remain in effect until the Parish releases the Performance Obligation.
5. That nothing herein shall be construed as a revocation of the dedication of the aforementioned right-of-way.
6. That no maintenance nor financial nor material nor assistance shall be provided by the Parish for the project nor the maintenance thereof, except for the inspection of the plans and specifications by the Department of Engineering to insure the construction complies with Parish specifications.
7. That the petitioner post a Performance Obligation in the amount of \$6,400 for a period of one (1) year.
8. That the petitioner and any assignees submit a Hold Harmless Agreement in connection with the construction of the project and utilization of the R.O.W. by (an) individual(s) until the time that the project is satisfactorily completed and the Performance Obligation released.
9. That the petitioner submit as-built drawings certifying that the sewer force main is constructed in accordance with the approved drawing(s).

10. That the petitioner submit all documentation required within ONE (1) year from date of adoption, additionally petitioner has two (2) years to complete all work on this project, if not completed within two (2) years, approval of this work will be required to reapply for permission.

THIS RESOLUTION HAVING BEEN SUBMITTED TO A VOTE, THE VOTE THEREON WAS AS FOLLOWS:

MOVED FOR ADOPTION BY \_\_\_\_\_, SECONDED BY \_\_\_\_\_; A VOTE THEREON RESULTED IN THE FOLLOWING:

YEA:

NAY:

ABSTAIN:

ABSENT:

AND THIS RESOLUTION WAS DECLARED DULY ADOPTED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ AT A REGULAR MEETING OF THE PLANNING COMMISSION, A QUORUM OF THE MEMBERS BEING PRESENT.

\_\_\_\_\_  
DAVE DOHERTY, JR., CHAIRMAN  
ST. TAMMANY PARISH PLANNING COMMISSION

ATTEST:

\_\_\_\_\_  
SIDNEY FONTENOT, SECRETARY  
ST. TAMMANY PARISH PLANNING COMMISSION





**DEEP SOUTH DESIGN GROUP**  
Civil/Environmental Engineering Firm

Enter R.O.W. Project  
PLANS  
RECEIVED  
10/8/2019 - 12:14 P.M.  
DEVELOPMENT  
ENGINEERING

**ENGINEERING  
REVIEW COPY**

October 8, 2019

St. Tammany Parish Government  
Department of Engineering  
P.O. Box 628  
Covington, LA 70434

Attention: Mr. Chris Tissue, P.E.

Re: Dove Park Road Sewer Force Main

Mr. Tissue,

My client is requesting the right to enter St. Tammany Parish right-of-way (Dove Park Road) for the purpose of installing a new 6" sewer force main that will benefit Dove Park Estates and Tammany Utilities.

Client information:  
Mr. Corie Herberger  
22161 Marshall Road  
Mandeville, LA 70471  
985-966-0549

I've attached a conceptual plan of the proposed infrastructure for your review and use.

Please let me know if you have any questions or concerns regarding this request.

Sincerely,

Alex E. Williams, P. E.

P.O. Box 1122 Madisonville, LA 70447  
PH.: (985) 705-4696  
Email: alex@deepsouthdesign.com

CONSTRUCTION PLANS

FOR

DOVE PARK ROAD

SEWER FORCE MAIN INSTALLATION

ST. TAMMANY PARISH, LOUISIANA

FOR

CORIE HERBERGER

INDEX TO DRAWINGS

SHEET NO.	DESCRIPTION
C-0	TITLE SHEET
C-1	SEWER FORCE MAIN PLAN
C-2	SEWER FORCE MAIN PLAN
C-3	CONSTRUCTION DETAILS



THESE DRAWINGS DO NOT INCLUDE COMPONENTS FOR CONSTRUCTION SAFETY.

CALL "LOUISIANA ONE-CALL" BEFORE DIGGING  
PH. 1-(800)-272-3020

THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

Enter R.O.W. Project  
PLANS  
RECEIVED  
10/8/2019 - 12:14 P.M.  
DEVELOPMENT  
ENGINEERING

ENGINEERING  
REVIEW COPY

Prepared by:

DEEP SOUTH DESIGN GROUP

P.O. BOX 1122  
Madisonville, Louisiana 70447  
PH.: 985-705-4696

02/2019



Client:  
CORIE HERBERGER

Project:  
DOVE PARK ROAD  
SEWER FORCE MAIN

General Notes

No.	Revision/Issue	Date



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Project NO. 14-197	Sheet C-0
Date 10.05.2019	
Scale AS SHOWN	



Client:  
CORIE HERBERGER

Project:  
DOVE PARK ROAD  
SEWER FORCE MAIN

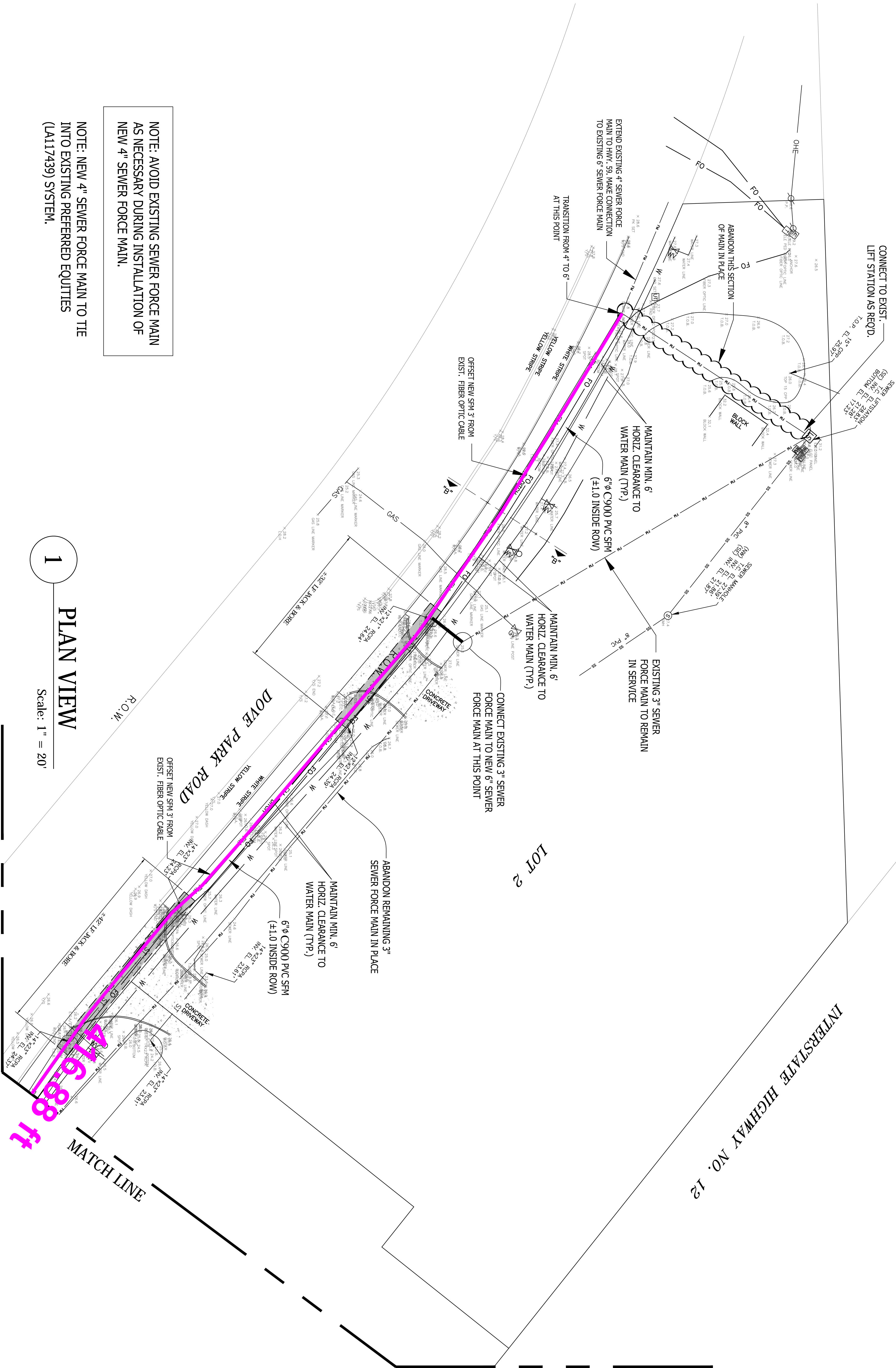
General Notes

No.	Revision/Issue	Date



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Project NO.	Sheet
14-197	C-1
Date	10.05.2019
Scale	AS SHOWN

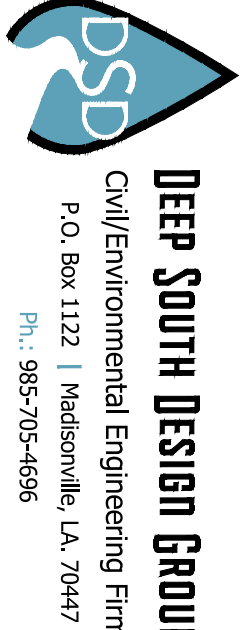


NOTE: AVOID EXISTING SEWER FORCE MAIN AS NECESSARY DURING INSTALLATION OF NEW 4\"/>

NOTE: NEW 4\"/>

1 PLAN VIEW  
Scale: 1" = 20'





Client: CORIE HERBERGER

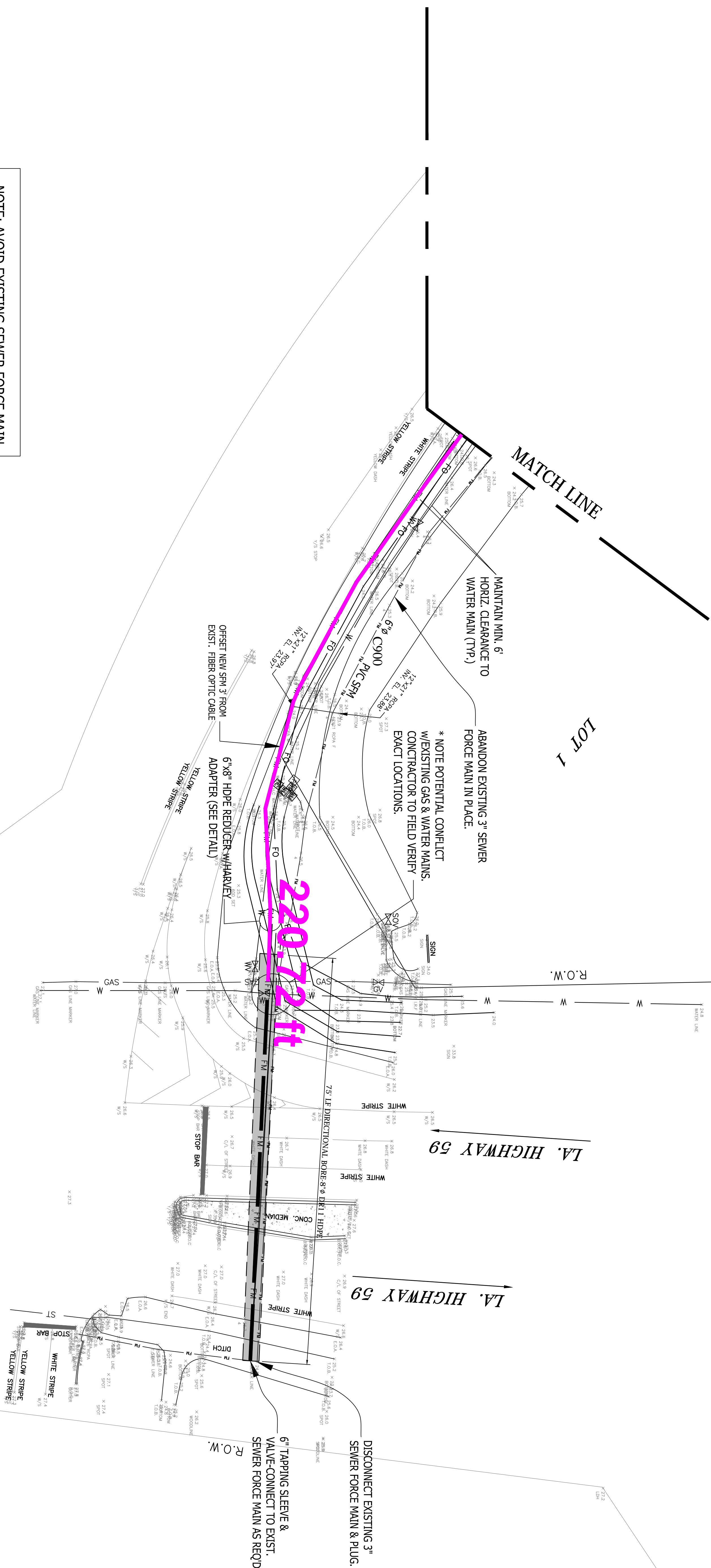
**Project:**  
**DOVE PARK ROAD**  
**SEWER FORCE MAIN**

## General Notes

[illegible]

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Project NO.	Sheet C-2
14-197	
Date	
10.05.2019	
Scale	
AS SHOWN	



NOTE: AVOID EXISTING SEWER FORCE MAIN AS NECESSARY DURING INSTALLATION OF NEW 4" SEWER FORCE MAIN.

NOTE: NEW 4" SEWER FORCE MAIN TO TIE INTO EXISTING PREFERRED EQUITIES (LA117439) SYSTEM.

1

# PLAN VIEW

Scale: 1" = 20'





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# **MINOR SUBDIVISIONS**

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In order to approve the request a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 - Subdivision Regulations

POB IS REPORTED TO BE S89°45'E-238.9';  
THENCE S05°25'E-1113.9'; THENCE  
N89°50'W-12.62' FROM THE 1/4 SECTION CORNER  
COMMON TO SECTIONS 28 & 33 T7S, R13E.



APPROVALS:

SECRETARY - ST. TAMMANY PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

CLERK OF COURT

DATE FILED MAP FILE NO.

COPYRIGHT © 2019  
ALL RIGHTS RESERVED  
JOHN E. BONNEAU & ASSOCIATES, INC.

REFERENCE SURVEY:

A Survey Map by John G. Cummings & Associates  
dated 5/7/2018, having Job No. 18112.

BASIS FOR BEARINGS/ANGLES:

The Reference Survey.

NOTE: This is to certify that I have done an  
actual ground survey and found that no  
encroachments exist either way across any  
property lines except as shown.

BUILDING SETBACKS

FRONT: N/A  
SIDE: N/A  
SIDE STREET: N/A  
REAR: N/A

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL;  
AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "STANDARDS  
OF PRACTICE FOR BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF  
REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS "C" SURVEY.

**FLOODZONE NOTE:** This is to certify that I have consulted the Federal  
Insurance Administration Flood Hazard Boundary Maps and found the  
property described is located in Flood Zone(s) "C" with a  
Base Flood Elevation of N/A in accordance with Community  
Panel No. 225205 0275 C; Revised: OCTOBER 17, 1989

Scale: 1" = 40'

Survey No. 2019 461 Drawn by: JCW  
Date: SEPTEMBER 27, 2019 Revised:

**JOHN E. BONNEAU & ASSOCIATES, INC.**  
Professional Land Surveyors • Planners and Consultants

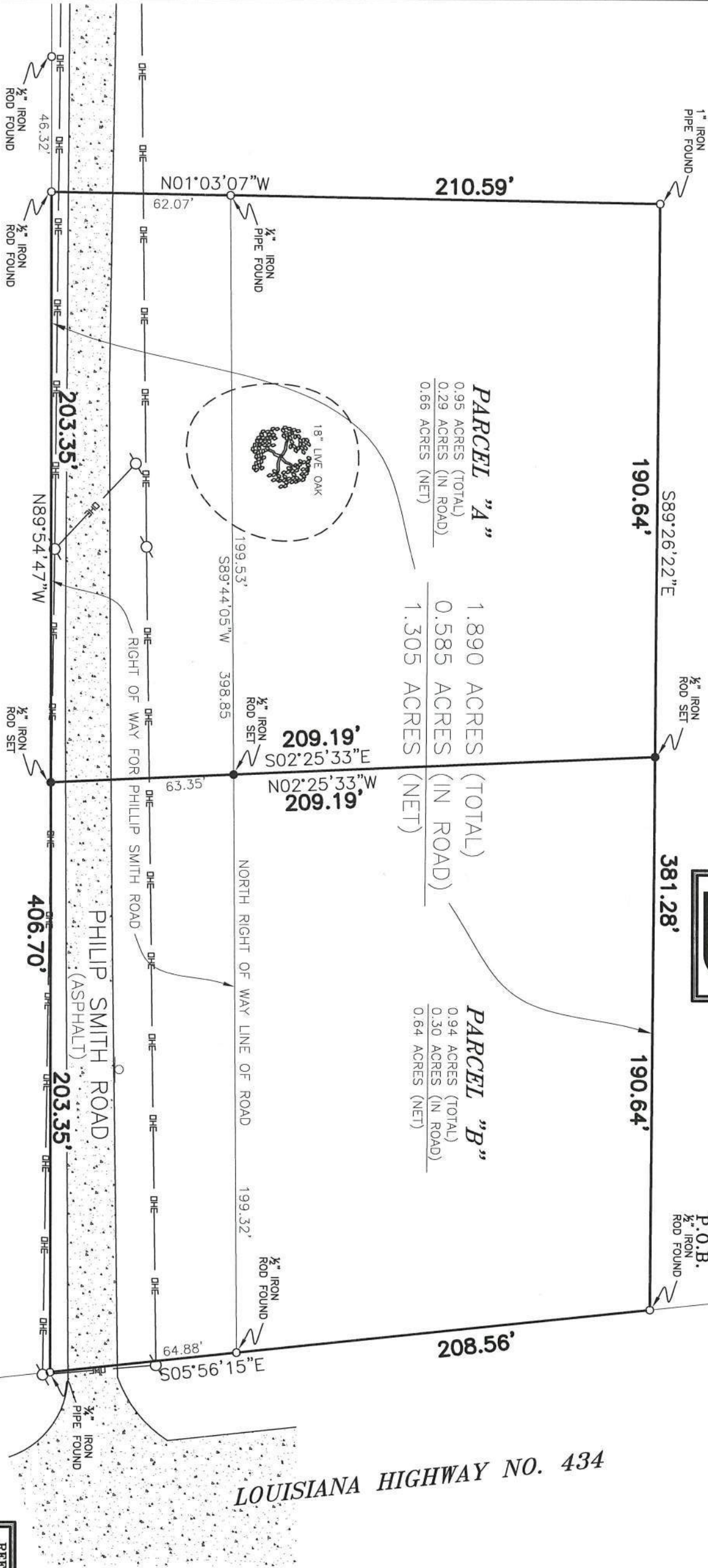
1011 NORTH CAUSEWAY BLVD., SUITE 34 • MANDEVILLE, LA 70471  
(985)845-1012 • (985)845-1013 • FAX NO. (985)845-1778  
www.JEBCOLandSurveying.com • e-mail: info@jebcosurvey.com

NOTE: Setback lines shall be verified by  
owner and/or contractor prior to any  
construction, as an abstract has not  
been performed by the undersigned.

NOTE: Servitudes shown herein are not  
necessarily exclusive. Servitudes of record  
as shown on title opinion or title policy  
will be added hereto upon request, as  
surveyor has not performed any title  
search or abstract.

This Survey is Certified  
True and Correct By

JOHN E. BONNEAU  
LICENSE NO. 4423  
Professional Land Surveyor  
Registration No. 4423



**PARCEL "A"**  
0.95 ACRES (TOTAL)  
0.29 ACRES (IN ROAD)  
0.66 ACRES (NET)

1.890 ACRES (TOTAL)  
0.585 ACRES (IN ROAD)  
1.305 ACRES (NET)

**PARCEL "B"**  
0.94 ACRES (TOTAL)  
0.30 ACRES (IN ROAD)  
0.64 ACRES (NET)

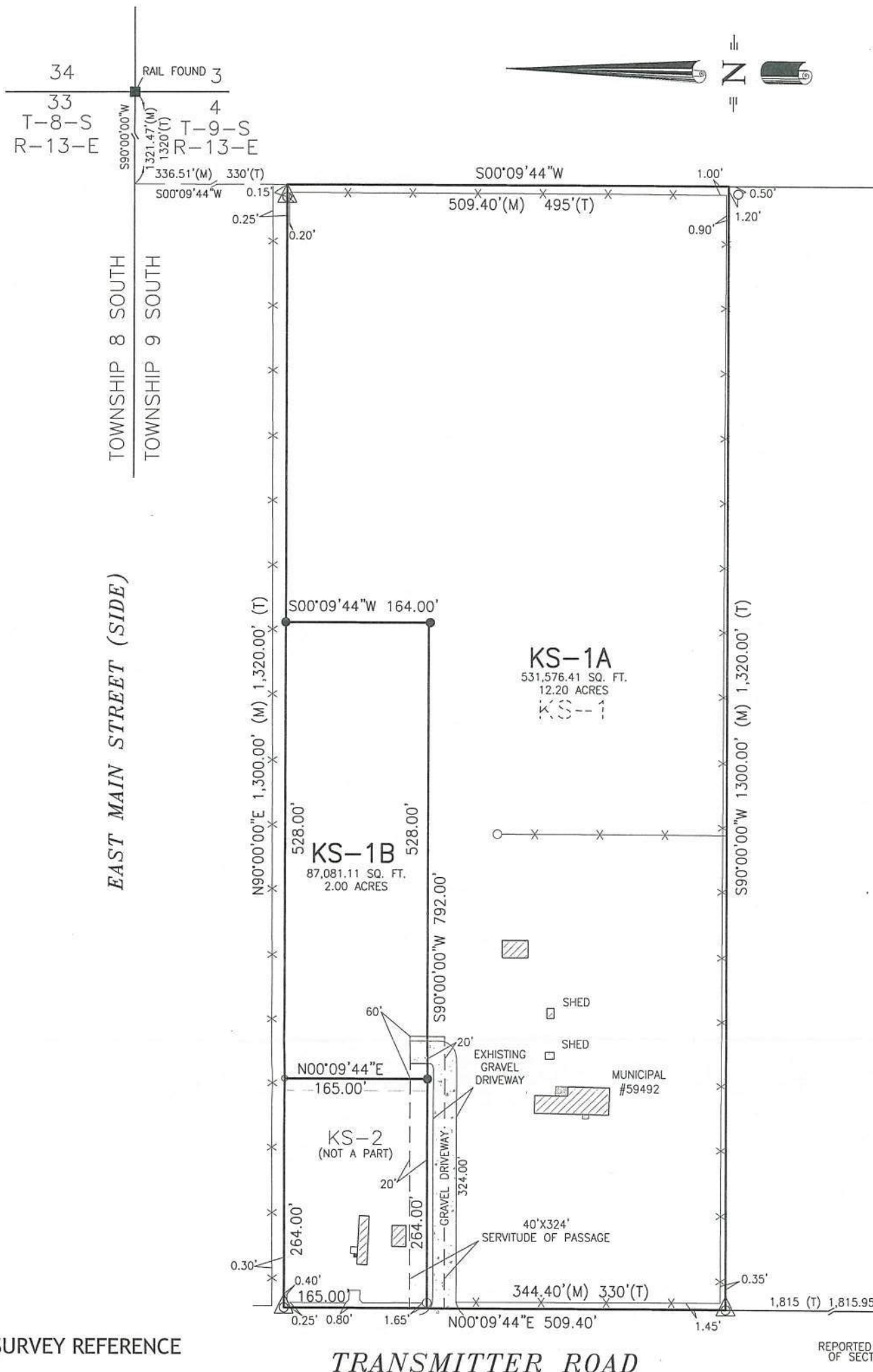
A RESUBDIVISION MAP OF  
A 1.890 ACRE PARCEL OF LAND  
into  
PARCEL "A" BEING 0.95 ACRES &  
PARCEL "B" BEING 0.94 ACRES

Section 33, Township 7 in South, Range 13 East,  
St. Tammany Parish, Louisiana

for  
**PAUL WRIGHT**

In order to approve the request a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 - Subdivision Regulations





VICINITY MAP  
(NOT TO SCALE)

APPROVED:

SECRETARY PARISH PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

CLERK OF COURT

DATE FILE NO.

SURVEY REFERENCE

- RESUBDIVISION OF TWO PORTIONS OF GROUND SITUATED IN THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 9 SOUTH, RANGE 13 EAST INTO LOTS KS-1 AND KS-2, SECTION 4, TOWNSHIP 9 SOUTH, RANGE 13 EAST BY JOSEPH M. MARQUES, P.L.S. DATED APRIL 21, 2010.
- SURVEY OF 9.86 ACRE TRACT IN SECTION 4, T9S-R13E, ST. TAMMANY PARISH BY ROBERT A. BERLIN, DATED APRIL 1, 1965.
- PLAT OF SURVEY OF 5 ACRE LAND IN WEST 1/2 OF NORTHEAST 1/4 OF SECTION 4, T-9-2, R-13-E BY JOHN H. SOLLBERGER, C.E. DATED AUGUST 7, 1958.

BASIS OF BEARING

TAKEN FROM REFERENCED SURVEY PLAT NO. 2.

TRANSMITTER ROAD

10.02.2019: REVISED TO SHOW SERVITUDE OF PASSAGE.

LEGEND

- (T) = TITLE
- (M) = MEASURED
- = SQUARE ROD FOUND (UNLESS NOTED)
- = IRON PIPE FOUND
- = 1/2" IRON ROD SET
- = 1/2" IRON ROD FOUND
- x— = FENCE

GENERAL SURVEY NOTES

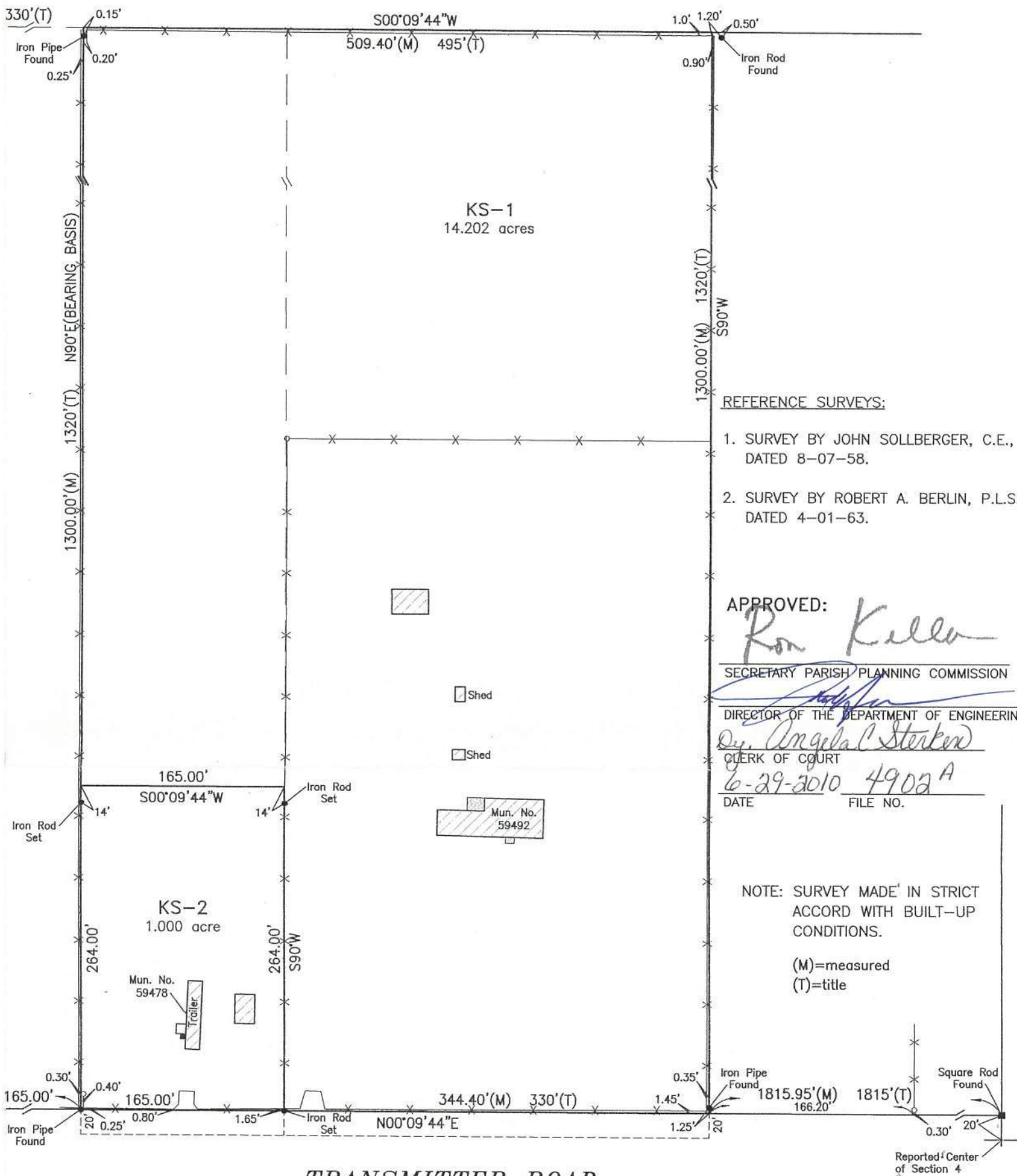
IMPROVEMENTS MAY NOT BE TO SCALE FOR CLARITY. THE DIMENSIONS SHOWN PREVAIL OVER SCALE.

RESUBDIVISION OF LOT KS-1 INTO KS-1A & KS-1B SECTION 4 TOWNSHIP-9-SOUTH, RANGE-13-EAST ST. TAMMANY PARISH, LOUISIANA					
I CERTIFY THAT THIS SURVEY AND PLAT WAS PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION. MADE AT THE REQUEST OF:  KENNETH SCHIFFERS					
THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.		THIS PLAT IS CORRECT AND IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE DIRECTION OF THE UNDERSIGNED AND COMPLIES WITH THE REQUIREMENTS OF LOUISIANA'S "STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS" FOR A CLASS "C" SURVEY			
DATE:	SCALE:	DRAWN BY:	CHECKED BY:	JOB NO.:	
06-05-2019	1" = 150'	J.R.	C.A.D.	58191	



34  
33  
T 8 S  
R 13 E

3  
Rail Found  
4  
T 9 S  
R 13 E



- REFERENCE SURVEYS:
1. SURVEY BY JOHN SOLLBERGER, C.E., DATED 8-07-58.
  2. SURVEY BY ROBERT A. BERLIN, P.L.S., DATED 4-01-63.

APPROVED:  
*Ron Kello*  
SECRETARY PARISH PLANNING COMMISSION  
DIRECTOR OF THE DEPARTMENT OF ENGINEERING  
*Angela C. Sterben*  
CLERK OF COURT  
6-29-2010 4902 A  
DATE FILE NO.

NOTE: SURVEY MADE IN STRICT ACCORD WITH BUILT-UP CONDITIONS.  
(M)=measured  
(T)=title

NOTE:  
Improvements may not be to scale for clarity. The dimensions shown prevail over scale.

SITUATION OF THE WEST HALF OF THE NORTHEAST QUARTER SECTION 4, TOWNSHIP 9 SOUTH, RANGE 13 EAST into LOTS KS-1 and KS-2 N 4, TOWNSHIP 9 SOUTH, RANGE 13 EAST ST. TAMMANY PARISH, LOUISIANA	DADING, MARQUES & ASSOCIATES, LLC				
	P.O. BOX 790 METAIRIE, LA. 70004 (504) 834-0200				
	KENNETH SCHIFFERS				
I CERTIFY THAT THIS SURVEY AND PLAT WAS PREPARED BY THOSE UNDER MY DIRECT SUPERVISION. AT THE REQUEST OF:	THIS SURVEY MEETS THE MINIMUM REQUIREMENTS FOR A CLASS "C" SURVEY ACCORDING TO THE "LOUISIANA MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS."				
THE SECTIONS AND RESTRICTIONS SHOWN ON THIS SURVEY ARE THOSE SET FORTH IN THE DESCRIPTION FURNISHED US AND NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES OR EASEMENTS ARE SHOWN HEREON THE SURVEYOR HAS MADE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THIS SURVEY.					
DATE: 4-2-10	SCALE: 1" = 100'	DRAWN BY: R.J.R.	CHECKED BY: J.M.M.	JOB NO.: 1032088	PLAT No.: M-2342A

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# **RESUBDIVISION REVIEW**

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**RESUBDIVISION STAFF ANALYSIS REPORT**  
*(As of November 4<sup>th</sup>, 2019)*

CASE FILE NO: 2019-1679-MRP

NAME OF SUBDIVISION: Beverly Heights Manor

LOTS BEING DIVIDED: Resubdivision Lots 12-25 into lots 13A, 15A, 19A, 21A, 23A & 25A  
Square 11, Beverly Heights Manor Subdivision

SECTION:	13	WARD:	8
TOWNSHIP:	9 South	PARISH COUNCIL DISTRICT:	13
RANGE:	14 East		

PROPERTY LOCATION: The property is located on the on the north side of US Highway 190 East, on the west side of Northshore Lane & on the east side of Panther Drive, Slidell, Louisiana.

ZONING: A-4A Single Family Residential District

PROPERTY OWNER: Varnco Properties LLC –Kenneth & Bettina Varnado

**STAFF COMMENTARY:**

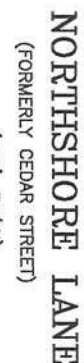
The owner is requesting to resubdivide fourteen (14) lots into six (6) buildable residential sites.

The reason for the public hearing requirement is that the proposal involves the creation/adjustment of more than five (5) lots.

**Recommendation:**

Staff has no objections to the resubdivision request, as shown on the attached survey, subject to the following:

1. Survey is amended as follow: “Panther Street” should be “Panther Drive (formerly West Street)” & “U.S. Hwy 190” should be “U.S Hwy 190 E”.



REF: A Survey by Ivan Borgen Dated  
07/25/1973 Survey # 1502.

End. 5/8"  
Iron Rod

(40' R/W)

Set 1/2"  
Iron Rod

**BUILDING SETBACKS**  
(Verify Prior to Construction)

Front Setback.....\*

Side Setback.....\*

Rear Setback.....\*

TOTAL AREA: 48.484 SQ. FT. OR 1.121 ACRES

U.S. HWY. 190  
FORMERLY SALT BAYOU ROAD

( IN FEET )  
1 INCH = 30 FEET

ADDRESS: SHORTCUT HWY 190 (FORMERLY SALT BAYOU ROAD)

I CERTIFY THAT THIS PLAT DOES REPRESENT AN  
ACTUAL GROUND SURVEY AND THAT TO THE  
BEST OF MY KNOWLEDGE NO ENCROACHMENTS  
EXIST EITHER WAY ACROSS ANY OF THE  
PROPERTY LINES, EXCEPT AS SHOWN.

ENCUMBRANCES SHOWN HEREON ARE NOT NECESSARILY EXCLUSIVE. ENCUMBRANCES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST, AS SURVEYOR HAS NOT PERFORMED ANY TITLE SEARCH OR ABSTRACT.

F.I.R.M. No. 225205 0440 D  
F.I.R.M. Date 04/21/1999  
ZN: C B.F.E. N/A  
\* Verify prior to construction with  
Local Governing Body.

DRAWING NO.  
20190516

DATE: 08/19/2019

**J.V. Burkes & Associates, Inc.**

## SURVEYING

ENGINEERING • ENVIRONMENTAL

1805 Shortcut Highway  
Slidell, Louisiana 70458  
E-mail: [ivbassoc@ivburkes.com](mailto:ivbassoc@ivburkes.com)

Phone: 985-649-0075 Fax: 985-649-0154

DRAWN BY: VLL	CHECKED BY: JDL
------------------	--------------------

SCALE:  $1'' = 30'$

REVISÉ:

**A RESUBDIVISION MAP OF LOTS 12-25 INTO LOT 13A,  
LOT 15A, LOT 19A, LOT 21A, LOT 23A & LOT 25A,  
SQ. 11, BEVERLY HEIGHTS MANOR SUBDIVISION  
IN SECTION 13, T-9-S, R-14-E,  
GREENSBURG LAND DISTRICT,  
ST. TAMMANY PARISH, LOUISIANA**

**CERTIFIED TO: TINA & AUSTIN VARNADO**

DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL OF SURVEYOR.

**SURVEYED BY:**  
**SEAN M. BURKES**  
**REG. NO. 4785**  
**SEAN M. BURKES**  
**LA REG No 4785**

**RESUBDIVISION STAFF ANALYSIS REPORT**  
*(As of November 4<sup>th</sup>, 2019)*

CASE FILE NO: 2019-1683-MRP

NAME OF SUBDIVISION: Tchefuncta Club Estates

LOTS BEING DIVIDED: Resubdivision lots 588A-1 into lots 587A-1 & 588A-2, Tchefuncta Club Estates, Phase II

SECTION: 49

WARD: 1

TOWNSHIP: 7 South

PARISH COUNCIL DISTRICT: 1

RANGE: 11 East

PROPERTY LOCATION: The property is located on the southwest side of Hummingbird Road, north of Riverdale Drive, Covington, Louisiana.

ZONING: PUD Planned Unit Development Overlay

PROPERTY OWNER: Bluebird Development & Design, LLC – Jamison Bagnell

**STAFF COMMENTARY:**

The owner is requesting to resubdivide one (1) lot into two (2) buildable residential sites.

The reason for the public hearing requirement is that the proposal involves the creation/adjustment of lots within a subdivision that requires approval of the Planning Commission.

**Recommendation:**

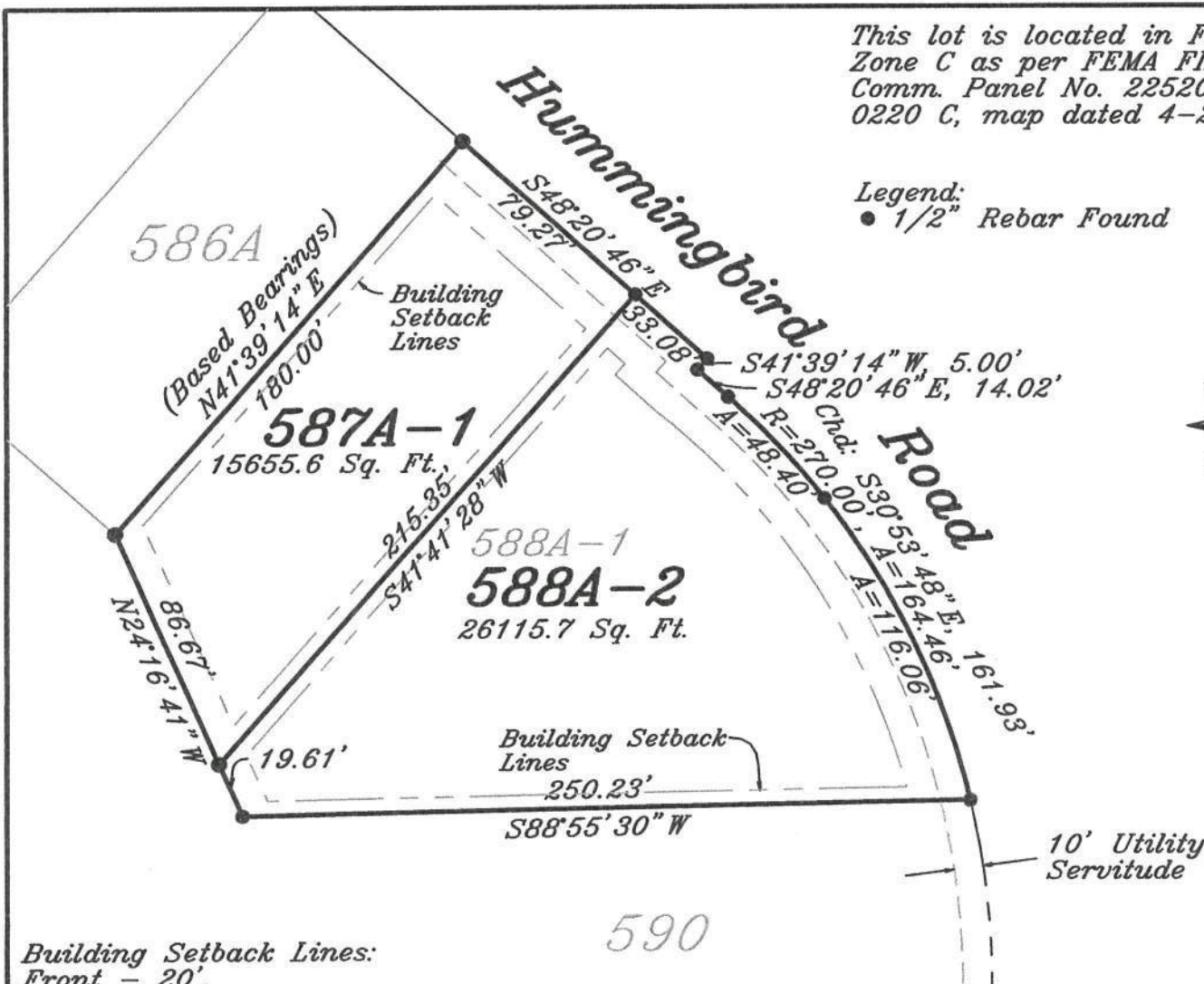
Staff has no objections to the resubdivision request, as shown on the attached survey, subject to the following:

1. The survey must be amended to include a signature line for the Chairman of the Planning Commission.
2. Renumber the lots as follow: Lot 588A-2 should be lot 588A-1-A since the parent property is lot 588A-1 & Lot 587A-1 should be lot 588A-1-B.



This lot is located in Flood Zone C as per FEMA FIRM Comm. Panel No. 225205 0220 C, map dated 4-2-1991

Legend:  
• 1/2" Rebar Found



Building Setback Lines:  
Front - 20'.  
Side - 5'.  
Rear - 10'.  
Building setback lines should be determined by owner or contractor prior to any construction

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS.

THIS MAP IS IN ACCORDANCE WITH THE MINIMUM STANDARD DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A C SURVEY AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46: LXI.

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED.

Reference Survey:  
(Basis of Bearing)  
1. Survey prepared by Land Surveying, Inc. of Tchefuncta Club Estates Phase II, Map File No. 4702, Clerk of Court, St. Tammany Parish, Louisiana  
2. Resubdivision Survey prepared by Land Surveying, LLC dated 8-31-2012 Map File No. 5100 D, Clerk of Court, St. Tammany Parish, Louisiana  
3. Resubdivision Survey prepared by Land Surveying, LLC dated 6-14-2013 Map File No. 5187C, Clerk of Court, St. Tammany Parish, Louisiana

RESUBDIVISION MAP OF LOT 588A-1 INTO LOTS 587A-1 & 588A-2 TCHEFUNCTA CLUB ESTATES PHASE II, ST. TAMMANY PARISH, LOUISIANA FOR BLUEBIRD DEVELOPMENT

*Bruce M. Butler*  
LA. PROFESSIONAL LAND SURVEYOR  
LICENSE NO. 4894

**LS** Land Surveying, LLC  
518 N. Columbia Street  
Covington, LA 70433  
(985) 892-6271 office (985) 898-0355 fax

SCALE: 1" = 60' DATE: Sept. 24, 2019 NUMBER: 19530

FINAL APPROVAL

DIR. DEPT. OF ENGINEERING

SECRETARY PLANNING COMM.

CLERK OF COURT

DATE FILE NO.

**RESUBDIVISION STAFF ANALYSIS REPORT**  
*(As of November 4<sup>th</sup>, 2019)*

CASE FILE NO: 2019-1689-MRP

NAME OF SUBDIVISION: Town of Mandeville

LOTS BEING DIVIDED: Resubdivision lots 27-34 into Lots 28A, 30A, 32A & 34A, Sq. 322A Town of Mandeville & Lots 8-10 & 27-36 into Lots 9A, 28A, 30A, 34A & 36A Sq. 322B, Town of Mandeville

SECTION: 44

WARD: 4

TOWNSHIP: 8 South

PARISH COUNCIL DISTRICT: 7

RANGE: 12 East

PROPERTY LOCATION: The property is located on the east & west sides of Ozone Place & on the west side of Rapatel Street, Mandeville, Louisiana.

ZONING: A-4 Single Family Residential District

PROPERTY OWNER: SMS Holdings Company, LLC

**STAFF COMMENTARY:**

The owner is requesting to resubdivide twenty-one (21) lot into ten (10) buildable residential sites.

The reason for the public hearing requirement is that the proposal involves the creation/adjustment of more than five (5) lots.

**Recommendation:**

Staff has no objections to the resubdivision request, as shown on the attached survey, subject to the following:

1. Survey is amended as follow: "Nelson Place" should be "Nelson Street".





APPROVALS:

CHAIRMAN – ST. TAMMANY PLANNING COMMISSION

SECRETARY – ST. TAMMANY PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

CLERK OF COURT

DATE FILED MAP FILE NO.

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JOHN E. BONNEAU & ASSOCIATES, INC.

REFERENCE SURVEY:

A survey by Land Surveying Inc. dated 7-14-82 with number 2715.

BASIS FOR BEARINGS/ANGLES:

The Reference Survey.

NOTE: This is to certify that I have done an actual ground survey and found that no encroachments exist either way across any property lines except as shown.

NOTE: INTERIOR LOT ANGLES = 90°.

BUILDING SETBACKS  
FRONT: N/A  
SIDE: N/A  
SIDE STREET: N/A  
REAR: N/A

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL, AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS "D" SURVEY.

FLOODZONE NOTE: This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described is located in Flood Zone(s) "C" with a Base Flood Elevation of N/A in accordance with Community Panel No. 225205 0360 C; Revised: APRIL 2, 1991

Survey No. 2019 441 Drawn by: JCW Scale: 1" = 60'  
Date: 10/03/2019 Revised:

JOHN E. BONNEAU & ASSOCIATES, INC.  
Professional Land Surveyors • Planners and Consultants

1011 NORTH CAUSEWAY BLVD., SUITE 34 • MANDEVILLE, LA 70471  
(985)845-1012 • (985)845-1013 • FAX NO. (985)845-1778  
www.JEBCOLandSurveying.com • e-mail: info@jebcosurvey.com

LOTS 28A, 30A, 32A & 34A, SQ. 322A, TOWN OF MANDEVILLE

LOTS 8-10 & 27-36, SQ. 322B, TOWN OF MANDEVILLE

LOTS 27-34, SQ. 322A, TOWN OF MANDEVILLE

into

into

into

situated in

Section 44, T-8-S, R-12-E, St. Tammany Parish, Louisiana

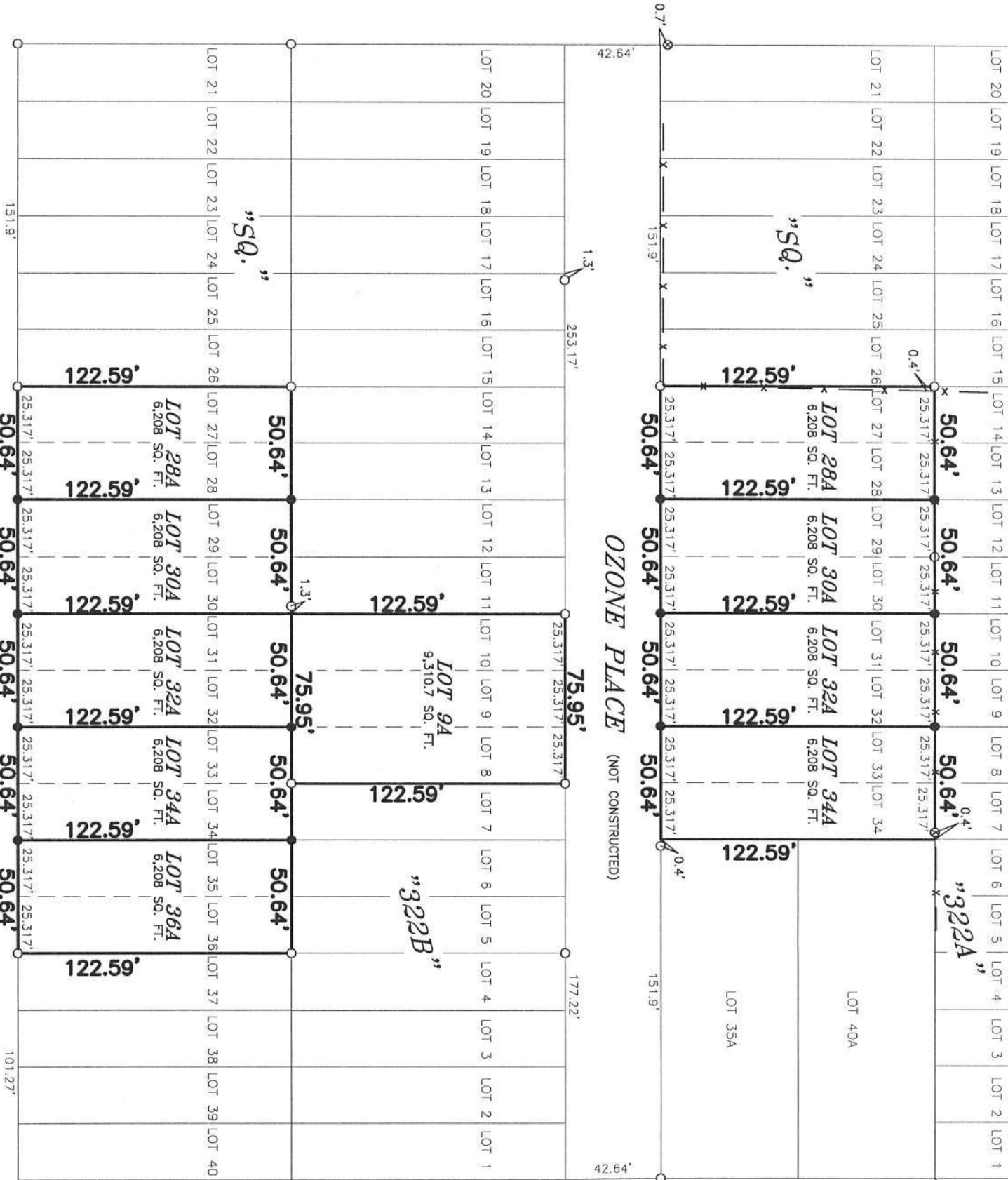
for  
SMS HOLDINGS COMPANY, LLC, SEAN DELANCY, SEAN KILLEEN  
AND MICHAEL DEMORAN

RAPATEL STREET

JOANS STREET

NELSON PLACE

OZONE PLACE (NOT CONSTRUCTED)



⊗ = 1/2" CAPPED IRON ROD FOUND  
○ = 1/2" IRON ROD FOUND  
● = 1/2" IRON ROD SET

# **PRELIMINARY SUBDIVISION REVIEW**

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**PRELIMINARY SUBDIVISION STAFF ANALYSIS REPORT**  
**(As of November 5, 2019)**

CASE NO.: 2018-1105-PP

SUBDIVISION NAME: Providence Parks, Phase 1

DEVELOPER: Providence Parks, LLC  
1100 Camellia Boulevard; Suite 200  
Lafayette, LA 70508

ENGINEER/SURVEYOR:	SLD Engineering and Surveying 323 Florida Street, Suite 200 Baton Rouge, LA 70801	Barry J. Bleichner, P.E., P.L.S, LLC Civil Engineer and Land Surveyor 321 Richland Avenue Lafayette, LA 70508
--------------------	---	--

SECTION: 21

WARD: 1

TOWNSHIP: 6 South

PARISH COUNCIL DISTRICT: 3

RANGE: 10 East

TYPE OF DEVELOPMENT: \_\_\_\_\_ URBAN (Residential lots less than 1 acre)  
\_\_\_\_\_ SUBURBAN (Residential lots between 1-5 acres)  
\_\_\_\_\_ RURAL (Residential Farm Tract lots 5 acres plus)  
\_\_\_\_\_ X OTHER (Multi family, commercial or industrial)(**PUD**)

GENERAL LOCATION: The property is located on the east side LA Highway 1077, north of U.S. Highway 190, Covington, Louisiana.

TOTAL ACRES IN DEVELOPMENT: 54.15

NUMBER OF LOTS: 180

AVERAGE LOT SIZE: 6,402 Square Feet

SEWER AND WATER SYSTEMS: Central

PROPOSED OR EXISTING ZONING: PUD

FLOOD ZONE DESIGNATION: "A4"

PUD APPROVAL GRANTED: June 6, 2017

**STAFF COMMENTARY:**

**Department of Planning and Development**

This project was submitted for Preliminary Approval at the October 8, 2019 meeting; however, the developer has requested postponement to the November 12, 2019 meeting.

The Preliminary plans and hydrologic study have been reviewed by this office and an inspection was made of the site on September 23, 2019.

Staff has no objection to the preliminary subdivision submittal subject to the following items being addressed:

**General Comments:**

1. Provide written consent from Gulf South Gas for the proposed work within the existing gas line Right-of-Way.
2. Provide LADOTD approval and permit(s) for the proposed driveway connection(s) and turn lane work within Highway 1077 Right-of-Way.

**Preliminary Plat:**

3. Revise Preliminary Plat to show 911 addresses on each lot of the plat in lieu of the provided address table.
4. Revise the metes and bounds description to agree with the footprint of phase 1 shown on the preliminary plat.

**Water & Sewer Plan:**

5. Provide written approval from the utility provider for the provided water and sewer plans.
6. Provide written verification from the utility provider that the existing sewer system this development is connecting to has sufficient capacity.

**Informational Items:**

A Letter of No Objection from St. Tammany Parish and L.D.H. approval regarding the water and sewer infrastructure is required for this development.

No funded Maintenance Obligation is required since this project will not connect to a Parish maintained roadway.

**Mandatory Developmental fees** will be required at Final Submittal in accordance with St. Tammany Code of Ordinances, Part II "Land Development Code," Chapter 125 "Subdivision Regulations," since no public hearing was held prior to January 1, 2005.

Revised drawings will not be accepted for review or placement in the packet prior to the November 12, 2019 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.

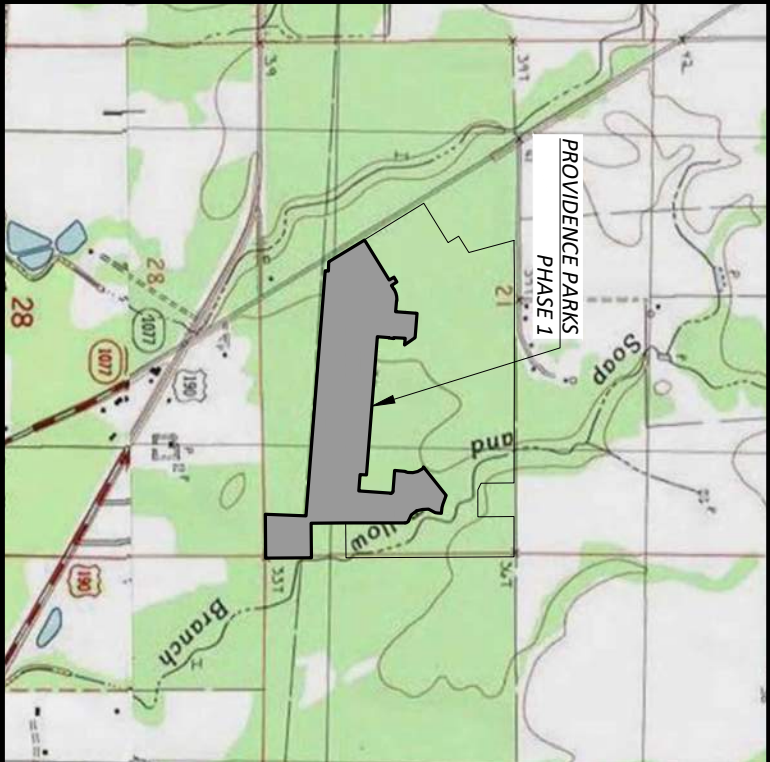












- LEGEND
- 1 CENTRALITY OF ROADWAY
- 2 TO BE DETERMINED BY GEOTECHNICAL REPORT
- 3 TO BE DETERMINED BY GEOTECHNICAL REPORT
- 4 SUPERPAVE GEOTECHNICAL CONCRETE (BROADBOND 27 THICK), LA 550B SEC. 502
- 5 SUPERPAVE GEOTECHNICAL CONCRETE (BROADBOND 27 THICK), LA 550B SEC. 502
- 6 2.0" CONCRETE CURB & GUTTER (BROADBOND), LA 550B SEC. 707
- 7 EMBANKMENT, (NO DUCT PAV.) LA 550B SEC. 203
- 8 CONCRETE SLOTTED 14" THICK, LA 550B SEC. 706
- 9 TO BE DETERMINED BY GEOTECHNICAL REPORT
- 10 P.C.C. PARKWAY ALLEY 27 THICK, LA 550B SEC. 101
- 11.5 CONCRETE CURB AND GUTTER (BROADBOND), LA 550B SEC. 707

CHAIRMAN OF PLANNING COMMISSION	DATE
SECRETARY OF PLANNING COMMISSION	DATE
DIRECTOR OF ENGINEERING	DATE
CLERK OF COURT	DATE
DATE FILED	FILE NO.

**PROVIDENCE PARKS PUD PHASE 1  
PRELIMINARY PLAT  
SECTION 21, T-6-S, R-10-E  
GREENSBURG LAND DISTRICT  
ST. TAMMANY PARISH, LOUISIANA**

LOT#	MUNICIPAL ADDRESS	INSTRUCTIONS	LOT#	MUNICIPAL ADDRESS	INSTRUCTIONS	LOT#	MUNICIPAL ADDRESS	INSTRUCTIONS
1	12428 PROVIDENCE BOULEVARD	DEFERNS ON HOUSE DIRECTION	65	12911 HARBERTON ALLEY		129	12151 ERIS AVENUE	
2	74616 LANGFORD ALLEY	DEFERNS ON HOUSE DIRECTION	66	12937 HARBERTON ALLEY		130	12155 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION
3	74612 LANGFORD ALLEY	DEFERNS ON HOUSE DIRECTION	67	12933 HARBERTON ALLEY		130	74911 BARTELL LANE	DEFERNS ON HOUSE DIRECTION
4	74608 LANGFORD ALLEY	DEFERNS ON HOUSE DIRECTION	68	12929 HARBERTON ALLEY		131	74919 BARTELL LANE	DEFERNS ON HOUSE DIRECTION
5	74604 LANGFORD ALLEY	DEFERNS ON HOUSE DIRECTION	69	12925 HARBERTON ALLEY		131	12304 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION
6	74623 DOBBIER PLACE	DEFERNS ON HOUSE DIRECTION	70	12921 HARBERTON ALLEY		132	12300 HENWITT AVENUE	
7	74622 DOBBIER PLACE	DEFERNS ON HOUSE DIRECTION	71	12917 HARBERTON ALLEY		133	12296 HENWITT AVENUE	
8	74621 DOBBIER PLACE	DEFERNS ON HOUSE DIRECTION	72	12913 HARBERTON ALLEY		134	12292 HENWITT AVENUE	
9	74631 DOBBIER PLACE	DEFERNS ON HOUSE DIRECTION	73	12909 HARBERTON ALLEY		135	12288 HENWITT AVENUE	
10	74630 DOBBIER PLACE	DEFERNS ON HOUSE DIRECTION	74	12905 HARBERTON ALLEY		136	12284 HENWITT AVENUE	
11	12006 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	75	12901 NEWHAM ALLEY		137	12280 HENWITT AVENUE	
12	12012 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	76	12898 NEWHAM ALLEY		138	12276 HENWITT AVENUE	
13	12016 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	77	12812 NEWHAM ALLEY		139	12272 HENWITT AVENUE	
14	12020 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	78	12816 NEWHAM ALLEY		140	12268 HENWITT AVENUE	
15	12024 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	79	12820 NEWHAM ALLEY		141	12264 HENWITT AVENUE	
16	12028 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	80	12824 NEWHAM ALLEY		142	12260 HENWITT AVENUE	
17	12032 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	81	12828 NEWHAM ALLEY		143	12256 HENWITT AVENUE	
18	12036 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	82	12832 NEWHAM ALLEY		144	12252 HENWITT AVENUE	
19	12040 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	83	12836 NEWHAM ALLEY		145	12248 HENWITT AVENUE	
20	12044 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	84	12840 NEWHAM ALLEY		146	12240 HENWITT AVENUE	
21	12048 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	85	12841 NEWHAM ALLEY		147	12236 HENWITT AVENUE	
22	12054 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	86	12844 PROVIDENCE BOULEVARD	DEFERNS ON HOUSE DIRECTION	148	12232 HENWITT AVENUE	
23	12058 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	87	12840 PROVIDENCE BOULEVARD	DEFERNS ON HOUSE DIRECTION	149	12228 HENWITT AVENUE	
24	12062 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	88	12486 PROVIDENCE BOULEVARD	DEFERNS ON HOUSE DIRECTION	150	12224 HENWITT AVENUE	
25	12066 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	89	12482 PROVIDENCE BOULEVARD	DEFERNS ON HOUSE DIRECTION	151	12220 HENWITT AVENUE	
26	12070 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	90	12474 PROVIDENCE BOULEVARD	DEFERNS ON HOUSE DIRECTION	152	12216 HENWITT AVENUE	
27	12074 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	91	12470 PROVIDENCE BOULEVARD	DEFERNS ON HOUSE DIRECTION	153	12212 HENWITT AVENUE	
28	12078 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	92	12466 PROVIDENCE BOULEVARD	DEFERNS ON HOUSE DIRECTION	154	12208 HENWITT AVENUE	
29	12082 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	93	12462 PROVIDENCE BOULEVARD	DEFERNS ON HOUSE DIRECTION	155	12204 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION
30	12086 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	94	12458 PROVIDENCE BOULEVARD	DEFERNS ON HOUSE DIRECTION	156	749716 FIDLER LANE	DEFERNS ON HOUSE DIRECTION
31	12090 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	95	12136 WHITSTONE ALLEY	DEFERNS ON HOUSE DIRECTION	157	749716 FIDLER LANE	DEFERNS ON HOUSE DIRECTION
32	12094 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	96	12140 WHITSTONE ALLEY	DEFERNS ON HOUSE DIRECTION	158	12205 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION
33	12102 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	97	12144 WHITSTONE ALLEY	DEFERNS ON HOUSE DIRECTION	159	12201 HENWITT AVENUE	
34	12106 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	98	12148 WHITSTONE ALLEY	DEFERNS ON HOUSE DIRECTION	160	12221 HENWITT AVENUE	
35	12110 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	99	12152 WHITSTONE ALLEY	DEFERNS ON HOUSE DIRECTION	161	12217 HENWITT AVENUE	
36	12114 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	100	12157 WHITSTONE ALLEY	DEFERNS ON HOUSE DIRECTION	162	12213 HENWITT AVENUE	
37	12118 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	95	12479 PROVIDENCE BOULEVARD	DEFERNS ON HOUSE DIRECTION	163	12209 HENWITT AVENUE	
38	12122 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	96	12140 WHITSTONE ALLEY	DEFERNS ON HOUSE DIRECTION	164	12205 HENWITT AVENUE	
39	12126 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	97	12483 PROVIDENCE BOULEVARD	DEFERNS ON HOUSE DIRECTION	165	12201 HENWITT AVENUE	
40	12130 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	98	12144 WHITSTONE ALLEY	DEFERNS ON HOUSE DIRECTION	166	12197 HENWITT AVENUE	
41	12134 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	99	12487 PROVIDENCE BOULEVARD	DEFERNS ON HOUSE DIRECTION	167	12193 HENWITT AVENUE	
42	12138 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	100	12148 WHITSTONE ALLEY	DEFERNS ON HOUSE DIRECTION	168	12189 HENWITT AVENUE	
43	12142 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	98	12491 PROVIDENCE BOULEVARD	DEFERNS ON HOUSE DIRECTION	169	12185 HENWITT AVENUE	
44	12146 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	99	12495 PROVIDENCE BOULEVARD	DEFERNS ON HOUSE DIRECTION	170	12181 HENWITT AVENUE	
45	12150 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	100	12157 WHITSTONE ALLEY	DEFERNS ON HOUSE DIRECTION	171	12185 HENWITT AVENUE	
46	12154 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	101	12153 WHITSTONE ALLEY	DEFERNS ON HOUSE DIRECTION	172	12189 HENWITT AVENUE	
47	12158 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	102	12149 WHITSTONE ALLEY	DEFERNS ON HOUSE DIRECTION	173	12189 HENWITT AVENUE	
48	74900 BARTELL LANE	DEFERNS ON HOUSE DIRECTION	103	12145 WHITSTONE ALLEY	DEFERNS ON HOUSE DIRECTION	174	12189 HENWITT AVENUE	
49	74908 BARTELL LANE	DEFERNS ON HOUSE DIRECTION	104	12141 WHITSTONE ALLEY	DEFERNS ON HOUSE DIRECTION	175	12185 HENWITT AVENUE	
50	74912 BARTELL LANE	DEFERNS ON HOUSE DIRECTION	105	12137 WHITSTONE ALLEY	DEFERNS ON HOUSE DIRECTION	176	12189 HENWITT AVENUE	
51	74916 BARTELL LANE	DEFERNS ON HOUSE DIRECTION	106	74704 FIDLER LANE	DEFERNS ON HOUSE DIRECTION	177	12189 HENWITT AVENUE	
52	74920 BARTELL LANE	DEFERNS ON HOUSE DIRECTION	106	12055 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	180	74935 BARTELL LANE	DEFERNS ON HOUSE DIRECTION
53	74924 BARTELL LANE	DEFERNS ON HOUSE DIRECTION	107	12059 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	C-1	74470 SHIRLEY LANE	
54	74932 BARTELL LANE	DEFERNS ON HOUSE DIRECTION	108	12063 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	W1	12161 WHITSTONE ALLEY	
55	12013 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	109	12067 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	X1	12436 PROVIDENCE BOULEVARD	DEFERNS ON ACCESS LOCATION
56	12017 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	110	12071 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	X1	74941 DOBBER PLACE	DEFERNS ON ACCESS LOCATION
57	12021 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	111	12075 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	X2	12454 PROVIDENCE BOULEVARD	DEFERNS ON ACCESS LOCATION
58	12025 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	112	12079 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	X2	74944 DOBBER PLACE	DEFERNS ON ACCESS LOCATION
59	12029 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	113	12083 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	X3	74932 DOBBER PLACE	DEFERNS ON ACCESS LOCATION
60	12033 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	114	12087 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	X3	74919 FIDLER LANE	DEFERNS ON ACCESS LOCATION
61	12037 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	115	12091 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	X4	12099 ERIS AVENUE	DEFERNS ON ACCESS LOCATION
62	12041 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	116	12095 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	X4	12246 HENWITT AVENUE	DEFERNS ON ACCESS LOCATION
63	12045 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	117	12103 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	X5	12249 HENWITT AVENUE	DEFERNS ON ACCESS LOCATION
64	12049 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	118	12107 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	X5	12550 PROVIDENCE BOULEVARD	DEFERNS ON ACCESS LOCATION
65	12053 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	119	12111 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	X6	12551 PROVIDENCE BOULEVARD	DEFERNS ON ACCESS LOCATION
66	12057 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	120	12115 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	X6	12133 WHITSTONE ALLEY	DEFERNS ON ACCESS LOCATION
67	12061 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	121	12119 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	X6	12132 WHITSTONE ALLEY	DEFERNS ON ACCESS LOCATION
68	12065 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	122	12123 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	X7	12503 PROVIDENCE BOULEVARD	DEFERNS ON ACCESS LOCATION
69	12069 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	123	12127 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION			
70	12073 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	124	12131 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION			
71	12077 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	125	12135 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION			
72	12081 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	126	12139 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION			
73	12085 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	127	12143 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION			
74	12089 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	128	12147 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION			
75	12093 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	129	12151 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION			
76	12097 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	130	12155 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION			
77	12101 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	131	74911 BARTELL LANE	DEFERNS ON HOUSE DIRECTION			
78	12105 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	132	12304 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
79	12109 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	133	12300 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
80	12113 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	134	12296 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
81	12117 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	135	12292 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
82	12121 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	136	12288 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
83	12125 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	137	12284 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
84	12129 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	138	12280 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
85	12133 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	139	12276 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
86	12137 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	140	12272 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
87	12141 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	141	12268 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
88	12145 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	142	12264 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
89	12149 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	143	12260 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
90	12153 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	144	12256 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
91	12157 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	145	12252 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
92	12161 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	146	12248 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
93	12165 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	147	12244 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
94	12169 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	148	12240 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
95	12173 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	149	12236 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
96	12177 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	150	12232 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
97	12181 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	151	12228 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
98	12185 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	152	12224 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
99	12189 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	153	12220 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
100	12193 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	154	12216 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
101	12197 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	155	12212 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
102	12201 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	156	12208 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
103	12205 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	157	12204 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
104	12209 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	158	749716 FIDLER LANE	DEFERNS ON HOUSE DIRECTION			
105	12213 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	159	749716 FIDLER LANE	DEFERNS ON HOUSE DIRECTION			
106	12217 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	160	12205 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
107	12221 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	161	12201 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
108	12225 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	162	12217 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
109	12229 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	163	12213 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
110	12233 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	164	12209 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
111	12237 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	165	12205 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
112	12241 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	166	12201 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
113	12245 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	167	12197 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
114	12249 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	168	12193 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
115	12253 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	169	12189 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
116	12257 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	170	12185 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
117	12261 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	171	12181 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
118	12265 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	172	12185 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
119	12269 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	173	12189 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
120	12273 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	174	12189 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
121	12277 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	175	12185 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
122	12281 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	176	12189 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
123	12285 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	177	12189 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
124	12289 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	178	12189 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
125	12293 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	179	12189 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
126	12297 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	180	12189 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
127	12301 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	180	12189 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
128	12305 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	180	12189 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
129	12309 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	180	12189 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
130	12313 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	180	12189 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			
131	12317 ERIS AVENUE	DEFERNS ON HOUSE DIRECTION	180	12189 HENWITT AVENUE	DEFERNS ON HOUSE DIRECTION			

## RESTRICTIVE COVENANTS

- [illegible]

## PUBLIC DEDICATION NOTE

[illegible]

## GREENSPACE POND TRACT NOTE

31. JANUARY PANISH SHALL BE RESPONSIBLE FOR TRACT X-8. PLEASE SEE PUBLIC DEDICATION NOTE

## SIDEWALK NOTE

51. JAMMANY NARISH SHALL NOT BE RESPONSIBLE FOR THE MAINTENANCE OF ANY SIDEWALKS.  
PLEASE SEE PUBLIC DEDICATION NOTE.

## SEWAGE NOTE

NO PERSON SHALL PROVIDE OR INSTALL A METHOD OF SEWAGE DISPOSAL OR ACCEPT CONNECTION TO AN APPROVED SANITARY SYSTEM, UNTIL THE METHOD OF SEWAGE TREATMENT OR DISPOSAL HAS BEEN APPROVED BY THE STATE BOARD OF HEALTH FOR THIS SUBDIVISION.

## SURFACE DRAINAGE NOTE

**FLOODZONE NOTE**

ACCORDING TO THE EFFECTIVE WIP FLOOD INSURANCE RATE MAP PANEL NO. 2352080105C DATED OCTOBER 1, 1989 THIS PROPERTY IS WITHIN FLOOD ZONE A CHARACTERIZED AS AREAS OF HIGH RISK FOR FLOOD DAMAGE AND LOSS. THIS AREA HAS BEEN DETERMINED TO BE AT RISK OF FLOOD DAMAGE FROM ANY OF THE FOLLOWING SOURCES: 1) NEARBY RIVERS OR LAKE; 2) NEARBY COASTAL WATERS; 3) NEARBY DAMS OR LEAKING DAMS; 4) NEARBY TIDAL WATERS; 5) NEARBY RESERVOIRS; 6) NEARBY CREEKS OR OTHER WATERWAYS; 7) NEARBY STORM SEWER SYSTEMS; 8) NEARBY DRAINAGE CANALS; 9) NEARBY PONDAGE DESIGN DETAILS.

AND SURFACE WATER FROM THE PROPOSED INDUSTRIAL SITE AND THAT IT DOES NOT HAVE AN IMPACT ANALYSIS DATED 7/19/2019 BY SLD ENGINEERING AND SURVEYING, LLC FOR DRAINAGE DESIGN DETAILS.

DATED APRIL 30, 2008 THIS PROPERTY IS LOCATED IN FLOOD ZONE X & AE.  
BASE FLOOD ELEVATION = 37.00 - 32.00 FEET.

## Basis of Bearing


THE BASIS OF BEARING AS SHOWN HEREON IS REFERENCED TO THE LOUISIANA STATE PLANE COORDINATE SYSTEM (NAD 83) SOUTH ZONE (1702) AS OBSERVED BY GPS OBSERVATION.

## REFERENCE MAP:

RESUBDIVISION MAP OF A 177.53 ACRE PARCEL OF LAND LOCATED IN SECTION 21, T-6-S, R-10-E 11E, PARCELS 1 & 2, ST. TAMMANY PARISH, LOUISIANA FOR 285 L.L.C. BY JOHN E. BONNEAU, PLS. DAT

I CERTIFY THAT THIS RECORD IS IN ACCORD WITH CURRENTLY APPLICABLE STANDARDS FOR DIRECT SUPERVISION AND MEETS THE REQUIREMENTS FOR A CLASS "C" SLURRY AS DERIVED BY THE STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS ADOPTED BY LAURELS IN 2016.

BARRETT J. BLECHNER, PLS



STATE OF LOUISIANA  
BARRETT J. BLECHNER  
REG. NO. 4422  
SURVEYING  
LAND SURVEYOR

PROVIDENCE PARKS - PHASE I

LOCATED IN  
SECTION 21 T-6-S, R-10-E, G.L.D.  
ST. TAMMANY PARISH, LOUISIANA  
DATE OF PLAT: OCTOBER 25, 2019

PREPARED BY:  
BARRY J. BLECHNER, P.E., PLS., LLC  
CIVIL ENGINEER & LAND SURVEYOR  
3521 RICHLAND AVENUE, LA-FAYETTE, LA 70508  
PHONE - (337) 849-7696

FOR:  
PROVIDENCE PARKS, LLC,  
C/O ROBERT DADGE,  
1100 CAMELLIA BLVD, SUITE 200  
LA-FAYETTE, LA 70508  
PHONE - (337) 216-6249 FAX - (337) 216-0550



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1

made of the site on August 27, 2019.

Staff has no objection to the preliminary subdivision submittal subject to the following items being addressed:

**General Comments:**

1. The T.I.A. review for the development is currently under review by LADOTD and St. Tammany Parish. Approval of this T.I.A. is required from LADOTD and St. Tammany Parish.
2. Provide updated LADOTD permit or written verification that an updated LADOTD permit is not required.

**Paving & Drainage Plan:**

3. Revise M.P. Planche roadway improvement design to include milling and overlay of the northern half of existing road in conjunction with the required roadway widening.
4. Revise plans and details to extend all four (4) existing cross-culverts under M.P. Planche Road and construct a headwall.

**Water & Sewer Plan:**

5. Provide written approval from H2O Systems for the proposed water and sewer plans.
6. Provide written verification from H2O Systems that the existing water and sewer systems this development is connecting to have sufficient capacity.

**Informational Items:**

A Letter of Objection from St. Tammany Parish and L.D.H. approval regarding the water and sewer infrastructure is required for this development.

A funded **Maintenance Obligation** in the amount of **\$10,000** is required in accordance with St. Tammany Code of Ordinances, Part II "Land Development Code," Chapter 125 "Subdivision Regulations," funded letters of credit for existing Parish roads to ensure the repair of any damage to the Parish roads resulting from construction in connection with the subdivision.

**No Mandatory Developmental fee** is required at Final Submittal in accordance with St. Tammany Code of Ordinances, Part II "Land Development Code," Chapter 125 "Subdivision Regulations," since a public hearing was held prior to January 1, 2005.

Revised drawings will not be accepted for review or placement in the packet prior to the November 12, 2019 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.



RESTRICTIVE COVENANTS

1. NO BUILDING MAY BE OCCUPIED AND NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED BEFORE THE SEWERAGE AND WATER SYSTEMS ARE INSTALLED AND OPERABLE OR OTHERWISE CONNECTED TO A COMMUNITY (CENTRAL) SEWERAGE AND/OR WATER SYSTEMS). ALL AS SEWERAGE AND WATER SYSTEMS ARE INSTALLED AND OPERABLE OR OTHERWISE CONNECTED TO A COMMUNITY (CENTRAL) SEWERAGE AND/OR WATER SYSTEMS). ALL AS WHENEVER A SUBDIVISION IS SERVED BY A COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY), NO PRIVATE WATER SUPPLY MAY BE DRILLED OR OTHERWISE CONSTRUCTED ON ANY LOT FOR THE PURPOSE OF SUPPLYING POTABLE WATER TO ANY BUILDING OR STRUCTURE, EXCEPT FOR THE SUBDIVISION'S OWNERS. ANY SUCH SOURCE AND ANY ELEMENT OF THE COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY).
2. BUILDING SETBACK REQUIREMENTS SHALL BE AS SHOWN ON THE PLAT. FRONT - 25'; SIDE - 5'; SIDE STREET - 10'; REAR - 25'; LOTS 10-16, SQUARE 2 (AAA ZONING) SHALL BE: FRONT - 30'; SIDE - 7.5'; REAR - 25'.
3. NO NOISE OR OFFENSIVE ACTIVITY SHALL BE CARRIED ON UPON ANY LOT NOR SHALL ANYTHING BE DONE THEREON THAT MAY BE OR MAY BECOME A NUISANCE TO THE NEIGHBORHOOD, PARTICULARLY THE USE OF LOTS AS DUMPS OR FOR JUNK CAR STORAGE.
4. DRAWINGS ON CORNER LOTS SHALL NOT BE LOCATED ANY CLOSER THAN SIXTY (60) FEET FROM THE CORNER OF SAID PROPERTY CLOSEST TO THE INTERSECTION AS MEASURED FROM THE CORNER OF THE PROPERTY WHERE THE SAID TWO STREET RIGHT-OF-WAYS INTERSECT. CORNER LOTS WHICH CANNOT MEET THIS REQUIREMENT SHALL BE SIDE LOADED.
5. MOBILE HOMES WILL NOT BE PERMITTED TO OCCUPY LOTS IN THIS SUBDIVISION.
6. NO LOT SHALL BE FURTHER SUBDIVIDED UNLESS OTHERWISE APPROVED BY ST. TAMMANY PARISH PLANNING COMMISSION.
7. CONSTRUCTION OF ABOVE GRADE IMPROVEMENTS OF ANY NATURE IS PROHIBITED IN DRAINAGE DISTRICTS OR STREET RIGHTS-OF-WAY.
8. THE FINISHED FLOOR ELEVATION SHALL BE A MINIMUM OF 12" (1 FOOT) ABOVE THE CROWN OF THE STREET IN FRONT OF LOT OR MEET THE FLOOD FLOOD ZONE REQUIREMENTS, WHICHEVER IS GREATER.
9. THE RESTRICTIVE COVENANTS RECITED ABOVE TOGETHER WITH THOSE RECORDED IN C.O.B. FLOOD SHALL BE RECORDED IN AND BE A PART OF EACH TITLE OR DEED.
10. THE DRAINAGE AND STORM WATER DETENTION STORAGE AREAS AS SHOWN HEREON ARE TO BE MAINTAINED BY THE PARISH OF ST. TAMMANY.
11. THE PARK AREA AND PARK ACCESS SHOWN HEREON ARE TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
12. EACH RESIDENCE OR ESTABLISHMENT WITHIN THE SUBDIVISION SHALL SUBSCRIBE AND BE SUBJECT TO THE WATER AND SEWERAGE SERVICES PROVIDED BY H2O SYSTEMS, INC.
13. THE APPOINTMENTED RESTRICTIONS SHALL BE RECORDED IN EACH TITLE OR DEED IN ADDITION TO THE REQUIRED LISTING ON THE FINAL SUBDIVISION PLAT.

DEDICATION

IF IT REQUIRED BY THE UNDERGROUND OWNERS) OF THE LAND AS SHOWN HEREON THAT HE DESIRES THIS TO BE A TRILE AND ACQUIRE PLAT OF RIVER PARK ESTATES, PHASE 2

ALL STREET RIGHTS-OF-WAY, INCLUDING ALL TRAFFIC SIGNS, STREET LIGHTS, SIGNS AND DETENTION BASINS, SHALL BE MAINTAINED BY THE SUBDIVISION. THE SUBDIVISION SHALL SUBSCRIBE AND BE SUBJECT TO THE WATER AND SEWERAGE SERVICES PROVIDED BY H2O SYSTEMS, INC. AND NO OBSTRUCTIONS OR IMPROVEMENTS WILL BE ALLOWED THAT WOULD PREVENT HIGH FLOW FROM BEING USED FOR THEIR INTENDED PURPOSES.

RIVER PARK ESTATES, PHASE 2

OWNER:	DATE:
20.230 ACRES	79
AREA	NO. OF LOTS
60' X 120'	SEWER SYSTEM
AVG. LOT SIZE	±4050 LF
LOT FRONTAGE	LENGTH OF STREET
120	60' ROW
ASPHALT	42.1' MEL
ROAD SURFACE	LOT DEPTH
TOUCHANT RIVER	STREET R.O.W.
ULTIMATE SURFACE WATER DISPOSAL	MANHOLE HEIGHT OF ROADWAY
	42-80/444
	ZONING

CERTIFICATION

THIS MAP IS CERTIFIED TO BE CORRECT AND IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED SURVEYOR, AND THAT THE SAME COMES IN ACCORDANCE WITH THE LAWS AND ORDINANCES OF THE PARISH OF ST. TAMMANY, LOUISIANA.

ALFRED E. SMITH  
REGISTERED PROFESSIONAL SURVEYOR  
REG. NO. 5051  
ALEX E. WILLIAMS  
Lo. Reg. Land Surveyor  
Reg. No. 35169

APPROVAL:

CHAIRMAN-ST. TAMMANY PARISH PLANNING COMMISSION  
SECRETARY-ST. TAMMANY PARISH PLANNING COMMISSION  
DIRECTOR-PARISH ENGINEERING

CLERK OF COURT  
DATE FILED  
FILE NO.

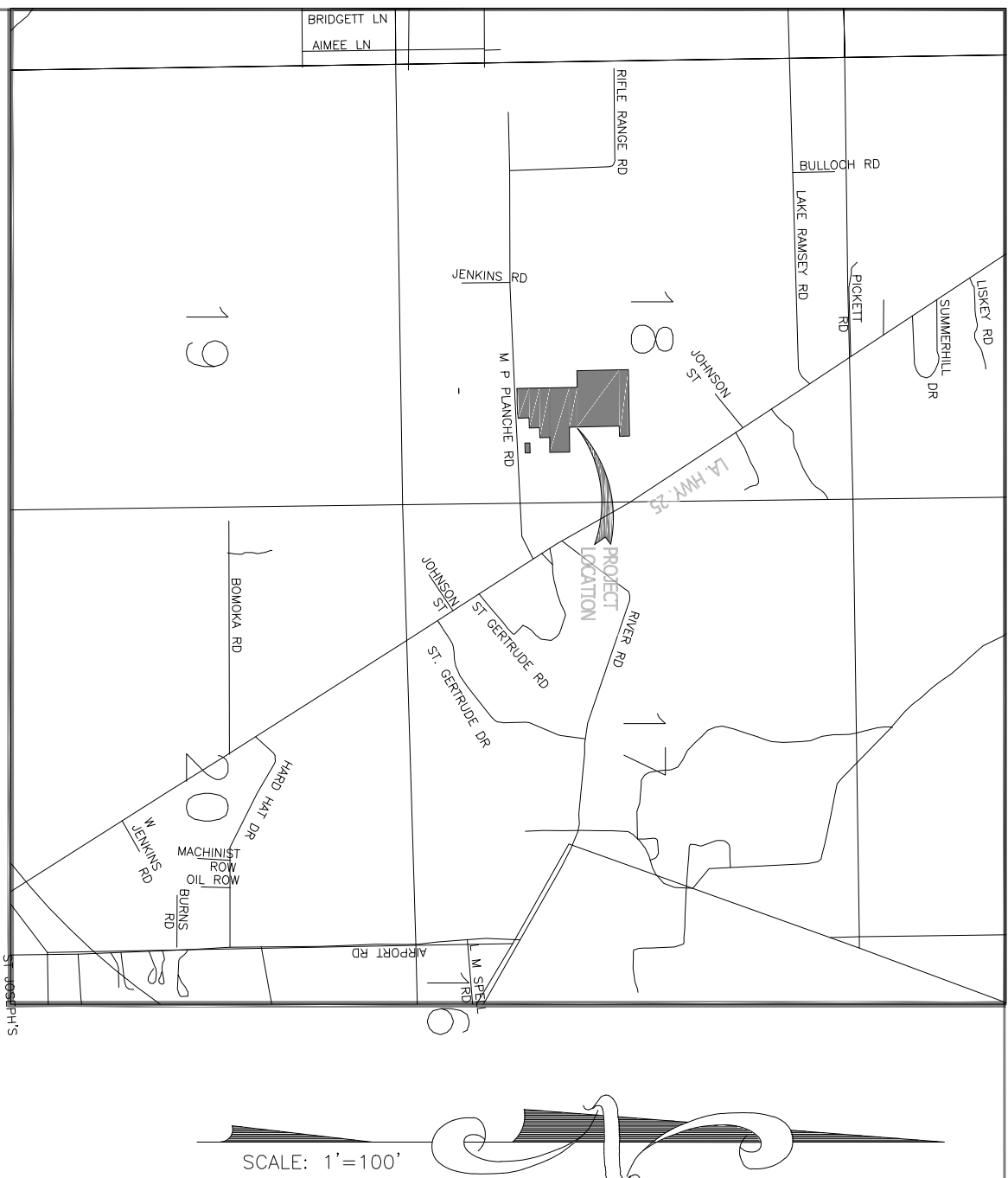
NOTE: DRAINAGE DETENTION SHALL BE PROVIDED FOR ALL LOTS LOCATED ON SITE. FLOODS SHALL BE MAINTAINED BY ST. TAMMANY PARISH.

NOTE: ALL LOTS IN RIVER PARK ESTATES, PHASE 2, EXCEPT LOTS 10 THROUGH 16 OF SQUARE 1 ARE EXISTING LOTS OF RECORD.

NOTE: DRAINAGE DETENTION IS LOCATED IN FLOOD ZONE 17 AS PER FEMA FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 22505 0123 C, MAP REVISED OCTOBER 17, 1989 BASE FLOOD ELEVATION N/A.

Preliminary Subdivision Plat of  
RIVER PARK ESTATES, PHASE 2

Located in Section 18, Township 6 South,  
Range 11 East, St. Tammany Parish, Louisiana



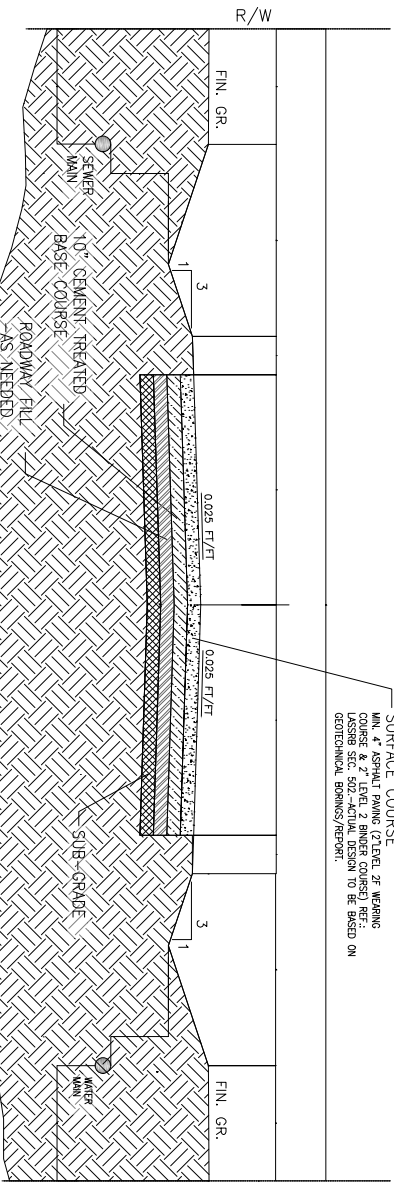
VICINITY MAP

Boundary Description for:  
RIVER PARK ESTATES, PHASE 2

A certain parcel of land situated in Section 18, Township 6 South, Range 11 East, St. Tammany Parish, Louisiana and more fully described as follows:  
Commence at the section corner common to Sections 17, 18, 19 & 20, Township 6 South, Range 11 East, and run North 00 Degrees 38 Minutes, 06 Seconds West for a Distance of 1,364.78 Feet to a point; Thence run South 88 Degrees 19 Minutes 40 Seconds West for a distance of 720.50 Feet to the Point of Beginning;

From the Point of Beginning, run South 88 Degrees 18 Minutes 06 Seconds West a Distance of 60.00 Feet to a Point; Thence run South 88 Degrees 18 Minutes 06 Seconds West a Distance of 251.00 Feet to a Point; Thence run South 89 Degrees 11 Minutes 37 Seconds East a Distance of 123.57 Feet to a Point; Thence run South 88 Degrees 51 Minutes 15 Seconds West a Distance of 121.38 Feet to a Point; Thence run South 01 Degrees 52 Minutes 06 Seconds East a Distance of 932.50 Feet to a Point; Thence run South 85 Degrees 24 Minutes 35 Seconds West a Distance of 120.50 Feet to a Point; Thence run North 01 Degrees 02 Minutes 52 Seconds West a Distance of 60.01 Feet to a Point; Thence run North 01 Degrees 02 Minutes 52 Seconds West a Distance of 729.86 Feet to a Point; Thence run South 88 Degrees 57 Minutes 13 Seconds West a Distance of 622.58 Feet to a Point; Thence run North 01 Degrees 02 Minutes 52 Seconds East a Distance of 120.00 Feet to a Point; Thence run South 89 Degrees 11 Minutes 37 Seconds East a Distance of 300.00 Feet to a Point; Thence run North 01 Degrees 09 Minutes 47 Seconds East a Distance of 120.00 Feet to a Point; Thence run South 89 Degrees 11 Minutes 37 Seconds West a Distance of 239.73 Feet to a Point; Thence run North 01 Degrees 09 Minutes 47 Seconds East a Distance of 120.00 Feet to a Point; Thence run South 89 Degrees 11 Minutes 37 Seconds West a Distance of 120.00 Feet to a Point; Thence run South 01 Degrees 09 Minutes 47 Seconds East a Distance of 70.33 Feet back to the Point of Beginning.

Containing 20.230 acres or 881,039 square feet



TYPICAL ROADWAY SECTION

NOT TO SCALE

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Staff has no objection to the preliminary subdivision submittal subject to the following items being addressed:

**Water & Sewer Plan:**

1. Provide written approval from the utility provider for these plans.
2. Provide written verification from the utility provider that the existing water and sewer systems this development is connecting to have sufficient capacity.

**Informational Items:**

A Letter of No Objection from St. Tammany Parish and L.D.H. approval regarding the water and sewer infrastructure is required for this development.

This phase of Spring Lakes Subdivision received PUD approval in 2016, as such is subject to all current St. Tammany Parish ordinances.

No funded Maintenance Obligation is required since it is an extension of roads in a private subdivision and the developer is prohibited from using Tantela Ranch Road.

**Mandatory Developmental fees** will be required at Final Submittal for 33 **lots** in accordance with St. Tammany Code of Ordinances, Part II “Land Development Code,” Chapter 125 “Subdivision Regulations,” since no public hearing was held prior to January 1, 2005.

Revised drawings will not be accepted for review or placement in the packet prior to the November 12, 2019 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.







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# **FINAL SUBDIVISION REVIEW**

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**FINAL SUBDIVISION STAFF ANALYSIS REPORT**  
(As November 5, 2019)

CASE NO.: 2019-1633-FP

SUBDIVISION NAME: Grande Maison, Phase 3-C

DEVELOPER: Grande Maison Development, LLC  
7037 Hwy 190  
Covington, LA 70433

ENGINEER/SURVEYOR: Kelly McHugh and Associates, Inc.  
845 Galvez Street  
Mandeville, LA 70448

SECTION: 30

WARD: 4

TOWNSHIP: 7 SOUTH

PARISH COUNCIL DISTRICT: 5

RANGE: 12 EAST

TYPE OF DEVELOPMENT:                    ☐ URBAN (Residential lots less than 1 acre)  
   ☐ SUBURBAN (Residential lots between 1-5 acres)  
   ☐ RURAL (Residential Farm Tract lots 5 acres plus)  
   ☒ OTHER (Multi family, commercial or industrial)(PUD)

GENERAL LOCATION: The property is located on the east side of LA Highway 59, south of Interstate -12, Mandeville, Louisiana.

TOTAL ACRES IN DEVELOPMENT: 18.85

NUMBER OF LOTS: 41                      AVERAGE LOT SIZE: 80' x 140'

SEWER AND WATER SYSTEMS: Central

ZONING: PUD

FLOOD ZONE DESIGNATION: "C"

**STAFF COMMENTARY:**

**Department of Planning and Development**

The developer requested postponement for the October 8, 2019 Planning Commission meeting.

Periodic inspections have been made by this office during construction and a final inspection was made on September 23, 2019, with a second confirmation inspection made on November 1, 2019.

Postponement of this submittal is advised due to the following uncompleted items that existed at the time of the confirmation inspection and review of the provided plans. These items will need to be completed prior to the plats being signed:

**General Information:**

1. Roadways need to be cleaned so a meaningful inspection can be made.
2. Road shoulders need a mature stand of grass to avoid further erosion and siltation of roadside ditches.
3. Reseal all roadway joints to top of pavement with joint sealant, where needed.
4. The perimeter of pond SDSA #8 needs to be cleared and graded to provide the required 10ft flat area along the top of the bank.
5. A waiver of the minimum access servitude width is being requested for pond SDSA #8, staff has no objection to this request. In order to approve the waiver request a 2/3rds majority vote of the full membership of the commission (8members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 – Subdivision Regulations.

**Final Plat:**

6. Revise the dedication statement to state who will be responsible to own and maintain all street name and traffic control signage and posts.
7. Revise restrictive covenant #3 to include the required 10' side setbacks for lots #179 and #18, to eliminate the conflict with the revised drainage servitude.
8. Update the fill and grading statement to accurately reflect the drainage design and revise the Final Plat and Drainage Plan to reflect the information required by the updated fill and grading statement for this phase of Grande Maison, including required elevations at all lot corners.

**Paving & Drainage Plan:**

9. Rear drainage swale from lot #167- #179 cannot completely be eliminated as requested due to lots #164-#166 of previously approved Phase 3-B requiring the rear swale to drain to pond. Construct drainage swale in field and show on As-Built plans.
10. Provide As-Built elevations for pond SDSA #8 showing mean water level, top of bank, and bottom of pond elevations verifying required storage capacity and the minimum depth required for a wet pond is provided.
11. Revise cross-section for pond SDSA #8 to show the required 15' drainage and access servitude with 10' flat area.

**Water & Sewer Plan:**

12. The sewer manhole in front of lot #183 is cracked and needs to be repaired.

**Signage Plan:**

13. "All-Way" plaques are required at the intersections of Chateau Fleuri and Chateau Papillon. Revise the As-

Built Signage Plan and legend to reflect this information.

**Informational Items:**

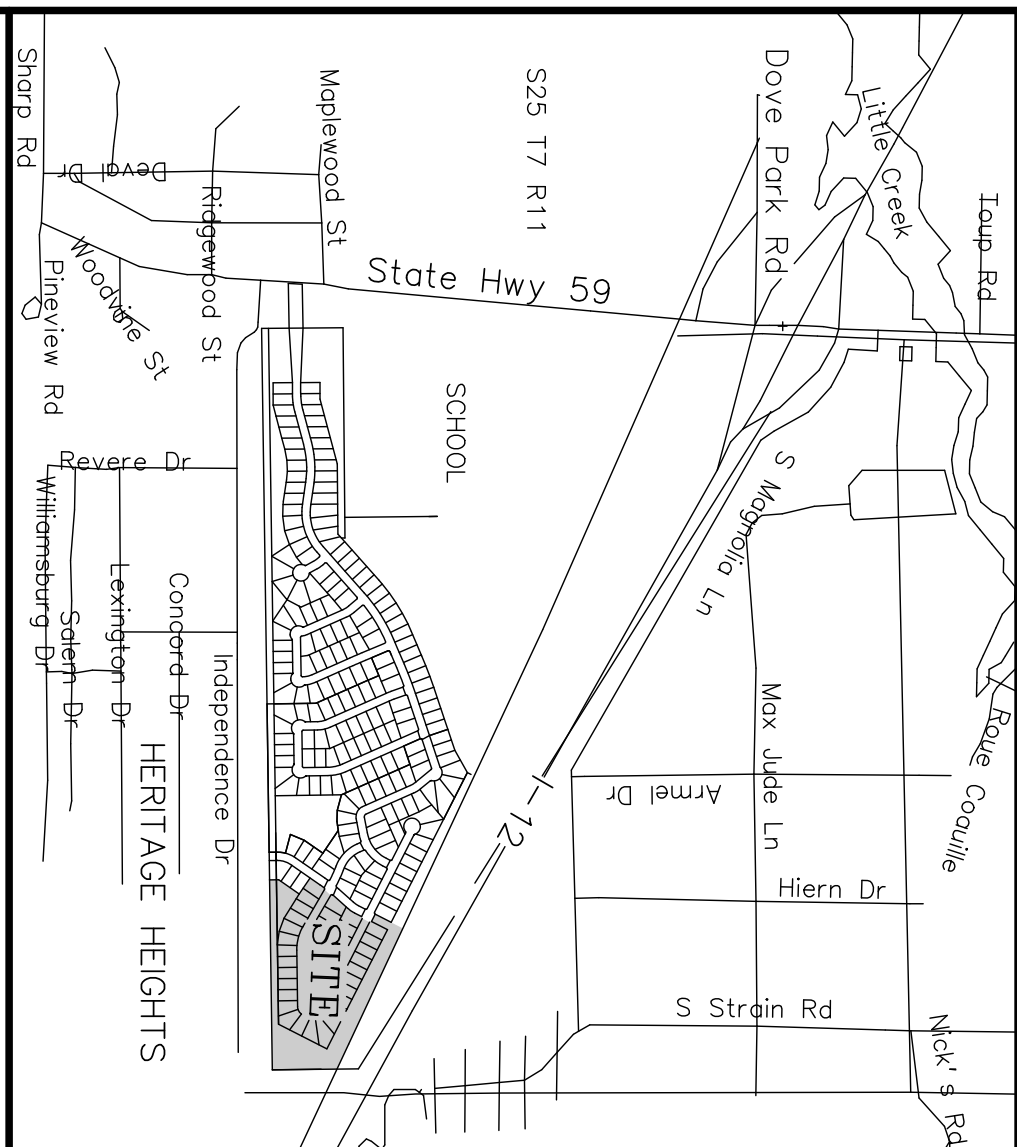
Should the Planning Commission approve the request for final approval, a Warranty Obligation will be required for the infrastructure in the amount of 1,788 linear feet x \$25.00 per linear foot = \$44,700 for a period of five (5) years.

No Mandatory Development fees are required since a public hearing was held prior to January 1, 2005.

Revised drawings will not be accepted for review or placement in the packet prior to the November 12, 2019 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.

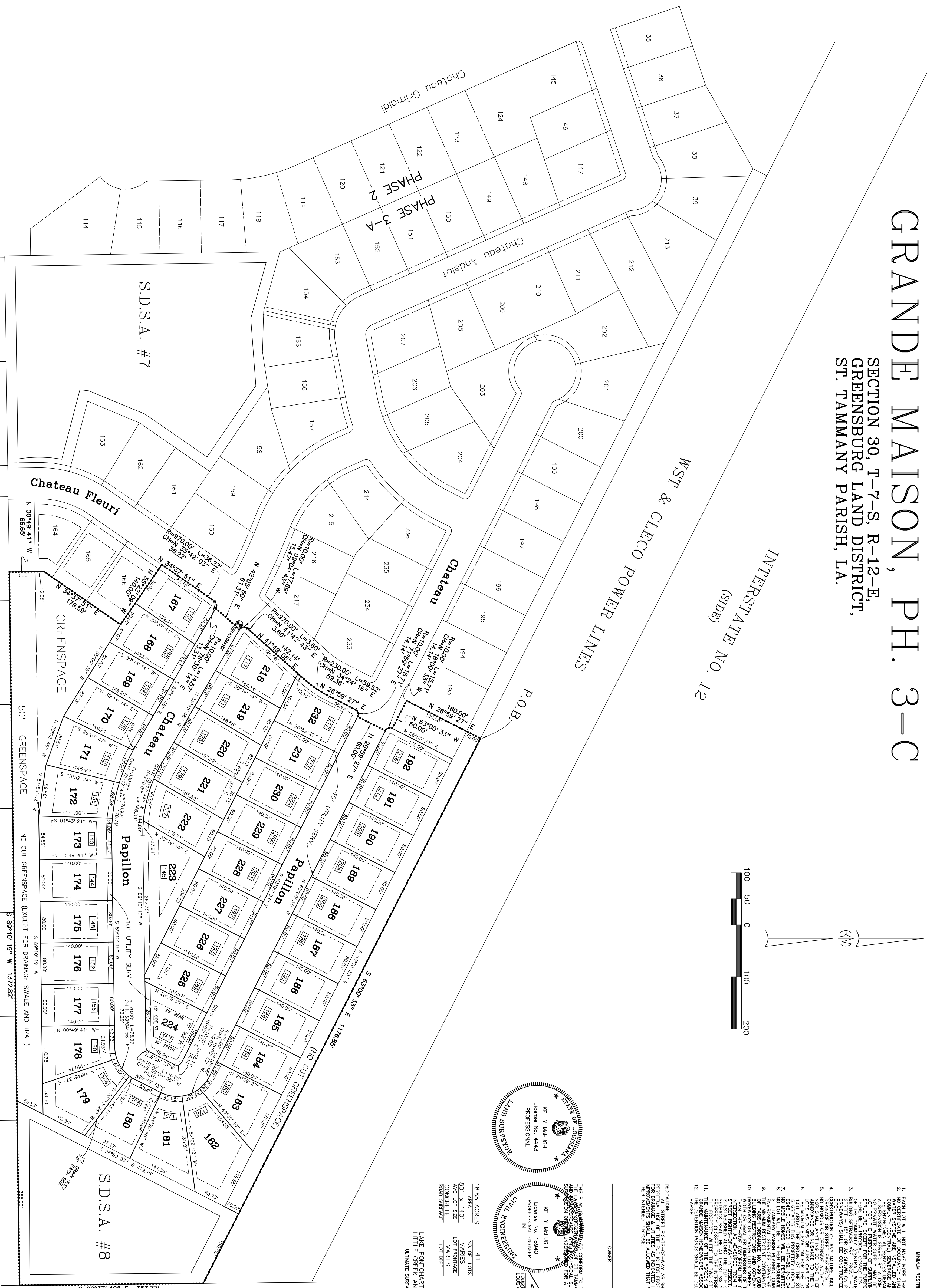


SECTION 30, T-7-S, R-12-E,  
GREENSBURG LAND DISTRICT,  
ST. TAMMANY PARISH, LA.



## VICINITY MAP

Legal Description  
Grande Maison Phase 3-4

[illegible][illegible]

THE PLAN, BURNING, TO CONFORM TO THE STATE OF LOUISIANA RS33-5051 AND THE LAWS OF LOUISIANA, OF ST. TAMMANY PARISH, AND CERTIFIED TO BE CORRECT AND ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE DISPOSITION OF THE UNDERGROUND FOR A CLASS "C" SURVEY.

A circular professional seal for a Land Surveyor in the State of Louisiana. The outer ring of the seal contains the text "STATE OF LOUISIANA" at the top and "LAND SURVEYOR" at the bottom, separated by two five-pointed stars. In the center of the seal is the Great Seal of the State of Louisiana, which depicts a pelican feeding its young in a nest. Below the Great Seal, the text "KELLY McHUGH" is written in a bold, sans-serif font, followed by "License No. 4443" and "PROFESSIONAL" in a smaller, all-caps, sans-serif font.

[illegible]

18.85 ACRES	41	1788' +/-	CENTRAL
AREA	NO. OF LOTS	LENGTH OF SHEETS	SAME SYSTEM
80' x 140'	VARIABLES	60' ROW	CENTRAL
AVG. LOT SIZE	LOT FRONTAGE	STREET WIDTH	WATER SYSTEM
CONCRETE	VARIABLES	ROAD	
ROAD SURFACE	LOT DEPTH	WORKS	
LAKE PONTCHARTRAIN VIA LITTLE CREEK AND BAYOU CHANCHUBA ULTIMATE SURFACE WATER DISPOSAL			

APPROVAL

**CHAIRMAN PARISH PLANNING COMMISSION**

[illegible]

DIRECTOR OF ST. TAMMANY PARISH ENGINEERING

1000

FOR: GRANDE MAISON

ADDRESS \_\_\_\_\_

1

13

12-12-15,

# SHIA

**10001 & 10000:**

31. MAINDL VILLAGE  
636-5611[illegible]

DWG. NO.: 18-37



**FINAL SUBDIVISION STAFF ANALYSIS REPORT**  
*(As November 5, 2019)*

CASE NO.: 2019-1640-FP

SUBDIVISION NAME: Maison du Lac, Phase 3-B

DEVELOPER: WBB Realty, LLC  
321 Veterans Boulevard; Suite 201  
Metairie, LA 70005

ENGINEER/SURVEYOR:	Richard C. Lambert, LLC	Randall W. Brown and Associates, Inc.
	900 West Causeway Approach	228 W. Causeway Approach
	Mandeville, LA 70471	Mandeville, LA 70448

SECTION: 46

WARD: 1

TOWNSHIP: 7 SOUTH

PARISH COUNCIL DISTRICT: 1

RANGE: 11 EAST

TYPE OF DEVELOPMENT:                    ☐ URBAN (Residential lots less than 1 acre)  
   ☐ SUBURBAN (Residential lots between 1-5 acres)  
   ☐ RURAL (Residential Farm Tract lots 5 acres plus)  
   ☒ OTHER (Multi family, commercial or industrial)(PUD)

GENERAL LOCATION:    The property is located on the west side LA Highway 1085, north of LA Highway 21, Covington, Louisiana.

TOTAL ACRES IN DEVELOPMENT: 2.225

NUMBER OF LOTS: 11                    AVERAGE LOT SIZE: 4,000 Square Feet

SEWER AND WATER SYSTEMS: Central

ZONING: PUD

FLOOD ZONE DESIGNATION: "C"

**STAFF COMMENTARY:**

**Department of Planning and Development**

The developer requested postponement for the special rescheduled meeting of the Planning Commission being held on November 12, 2019.

Periodic inspections have been made by this office during construction and the final inspection was made on September 23, 2019. The inspection disclosed that all of the concrete roads are constructed and subsurface drainage is function.

**Informational Items:**

Should the Planning Commission approve the request for final approval, a Warranty Obligation will be required for the infrastructure in the amount of 1,140 linear feet x \$25.00 per linear foot = \$28,500.00 for a period of two (2) years.

The staff has no objection to the proposed final subdivision request.

Mandatory Developmental Fees are required as follows:

Road Impact Fee = \$1,077.00 per lot x 11 lots = \$11,847.00

Drainage Impact Fee = \$1,114.00 per lot x 11 lots = \$12,254.00

Fees are due before subdivision plats can be signed.

This subdivision **is** within the "Urban Growth Boundary Line".

Revised drawings will not be accepted for review or placement in the packet prior to the November 12, 2019 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.



2.255 ACRES	11	CENTRAL	PUD
AREA	NO. OF LOTS	SEWER SYSTEM	PRESENT ZONING

E SURFACE WATER DISPOSAL

A) NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED BEFORE THE SEWERAGE AND WATER SYSTEMS ARE INSTALLED AND OPERATING AND CONNECTED TO A COMMUNITY (CENTRAL) SEWERAGE AND WATER TREATMENT PLANT.

- NOTES:
1. 12" IRON PIPES TO BE SET AT ALL LOT CORNERS UPON RECORPATION.
  2. ~~SEE~~ MINNEAPOLIS ADDRESS NUMBERS.
  3. A 5' UTILITY SERVIDUDE EXISTS ALONG THE REAR OF ALL LOTS.
  4. THE INDIVIDUAL HOME OWNERS ARE RESPONSIBLE FOR FILLING AND GRADING THE LOTS TO DRAIN IN ACCORDANCE WITH THE AS-BUILT DRAINAGE PLAN.

**NO DEDICATION:** The indication of the streets and roadways on this plat is not intended as a dedication to the Parish of St. Tammany, the state of Louisiana, or the public in general, of streets and roadways; the area shown as streets and roadways shall be defined to constitute only a servitude of passage for the lesser, invites and accommodates of lots in the subdivision. The fee title to such area shall belong to the developer, his successors and assigns. All street signage will be privately maintained by the Madison Du Lac Homeowners Association.

**PROPERTY DESCRIPTION:**

of 191.72 feet back to the point of beginning,

CLERK OF COURT

111

SECTION 46, TOWNSHIP 7 SOUTH – RANGE 11 EAST  
ST. TAMMANY PARISH, LOUISIANA





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**General Information:**

1. Repair roadside ditch shoulders and slopes that have washed out in several locations of this phase.
2. Regrade ditch and shoulder to provide required cover on the cross-culvert and catch basin at the corner of Elk Ridge and Lot #242.
3. Clean out silt from the cross-culvert under Elk Ridge.
4. A utility pipe is exposed at the corner of Elk Ridge and Lot #251. Modify the roadside ditch to provide required cover for this pipe and positive drainage for this ditch.
5. Install 10'x10' rip-rap pads at all pipes discharging into "Pond B".
6. Slopes near the subsurface pipe openings are washing out and need to be reestablished with erosion control measures implemented.
7. Remove the beds of silt that accumulated in the pond near the pipe outfalls discharging into "Pond B".

**Final Plat:**

8. Provide required fill and grading information on the plat according to the signed and completed fill and grading statement for this phase.
9. Revise restrictive covenant #13 to indicate the drainage system and detention will be privately maintained.

**Paving & Drainage Plan:**

10. Provide as-built elevation information for the bottom of "Pond B".
11. Provide design documentation for the subsurface drainage installed along Deer Fork Crossing.

**Water & Sewer Plan:**

12. Provide as-built information for sewer manhole #26.
13. Provide a clear water test for the new water lines within this phase of Spring Lakes.
14. Provide a letter of acceptance and responsibility for the perpetual maintenance and operation of the water and sewer system from the utility provider.
15. Provide written verification from the utility provider that the existing water and sewer systems this development is connecting to have sufficient capacity.
16. Provide sewer velocity calculations for all sewer lines that do not meet the minimum proposed design slopes.

**Informational Items:**

Should the Planning Commission approve the request for final approval, a Warranty Obligation will be required for the infrastructure in the amount of 4,358 linear feet x \$12.00 per linear foot = \$52,300.00 for a period of one (1) year.

No Mandatory Developmental fees are required since a public hearing was held prior to January 1, 2005.

This subdivision **is** within the "Urban Growth Boundary Line".

Revised drawings will not be accepted for review or placement in the packet prior to the November 12, 2019 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.







**FINAL SUBDIVISION STAFF ANALYSIS REPORT**  
*(As November 5, 2019)*

CASE NO.: 2019-1686-FP

SUBDIVISION NAME: Lakeshore Villages, Phase 4-A-3

DEVELOPER: D.R. Horton, Inc. Gulf Coast  
7696 Vincent Road  
Denham Springs, LA 70726

ENGINEER/SURVEYOR:	Duplantis Design Group, LLC	Acadia Land Survey
	16564 East Brewster Road	206 East 2nd Street
	Covington, LA 70433	Thibodaux, Louisiana 70301

SECTION: 26, 27, 34 and 35  
TOWNSHIP: 9 SOUTH  
RANGE: 14 EAST

WARD: 9  
PARISH COUNCIL DISTRICT: 13

TYPE OF DEVELOPMENT:                    ☐ URBAN (Residential lots less than 1 acre)  
   ☐ SUBURBAN (Residential lots between 1-5 acres)  
   ☐ RURAL (Residential Farm Tract lots 5 acres plus)  
   ☒ OTHER (Multi family, commercial or industrial)(PUD)

GENERAL LOCATION: The property is located north of Oak Harbor Blvd., West of LA Highway 433,  
East of I-10, Slidell.

TOTAL ACRES IN DEVELOPMENT: 50.947

NUMBER OF LOTS: 143                    AVERAGE LOT SIZE: 9, 246 Square Feet

SEWER AND WATER SYSTEMS: Central

ZONING: PUD

FLOOD ZONE DESIGNATION: "AH-EL 1.0"

**STAFF COMMENTARY:**

**Department of Planning and Development**

Periodic inspections have been made by this office during construction and the final inspection was made on October 29, 2019. The inspection disclosed that all of the asphalt roads are constructed, and the subsurface drainage is functioning.

The following uncompleted items existed at the time of the final inspection and review of the provided plans. These items will need to be completed prior to the plats being signed:



**General Information:**

1. Roadways and sidewalks need to be cleaned so a meaningful inspection can be made.
2. Blue reflectors need to be replaced where needed.
3. Roadside shoulders and medians need to be vegetated and a mature stand of grass established.
4. Provide asphalt roadway testing results.
5. Clearly delineate the phase limit for this phase on all as-built plan sheets.

**Final Plat:**

6. Revise the addresses for lots #672, #673, #846, #847 & #882 to reflect the addresses provided by 911 addressing.
7. The 65'x70' utility servitude on the north side of Lakeshore Village West needs to be included in this phase. Revise the plat and description to include this area.

**Paving & Drainage Plan:**

8. Revise the As-Built plans to include As-Built information for the new roundabout on East Howze Beach Road.

**Water & Sewer Plan:**

9. Include the PWS ID # and DEQ ID # for the water and sewer systems this development is connected to.
10. Provide a clear water test for the new water lines along Hook Island Lane.
11. Provide a letter of acceptance and responsibility for the perpetual maintenance and operation of the water and sewer systems from the utility provider.
12. Provide written verification from the utility provider that the existing water and sewer systems this development is connecting to have sufficient capacity.

**Informational Items:**

Should the Planning Commission approve the request for final approval, a Warranty Obligation will be required for the infrastructure in the amount of 11,191 linear feet x \$22.00 per linear foot = \$246,200.00 for a period of two (2) years.

The staff has no objection of the proposed final subdivision request subject to the developer complying

with all comments and no plats to be signed until all items are satisfactorily completed.

No Mandatory Development fees are required since a public hearing was held prior to January 1, 2005.

Phase 4-A-2 of Lakeshore Villages needs to be recorded before this phase of Lakeshore Villages can be recorded.

This subdivision **is** within the "Urban Growth Boundary Line".

Revised drawings will not be accepted for review or placement in the packet prior to the November 12, 2019 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.



A certain tract or parcel of land designated as the LAKESHORE VILLAGES (PHASE 4-A-3 Canal Tract Side) containing 31,212 Acres or 1,359,666 sq. ft., located in Sections 34 & Township 9 South - Range 14 East, St. Tammany Parish, State of Louisiana, being more particularly described as follows:

Then, South 20 degrees 58 minutes 42 seconds East a distance of 37.42 feet to a point located along the western right of way line of Carol Bank Drive;

Then, departing the northern right of way line of Cornelia Bird Court, South 00 degrees 53 minutes 53 seconds West a distance of 50.00 feet to a point, said point located along

Then, South 89 degrees 55 minutes 07 seconds East a distance of 120.00 feet to a point located along the western right of way line of Canal Bank Drive; Then, continuing along the western right of way line of Canal Bank Drive, South 00 degrees 53 seconds West a distance of 17.54 feet to a point;

Then, deprecating the southern right of way line of Bowen Harbor Road, South 00 degrees minutes 48 seconds West a distance of 99.09 feet to a point;  
Then, South 01 degrees 54 minutes 43 seconds West a distance of 57.96 feet to a point;  
Then, South 04 degrees 18 minutes 02 seconds West a distance of 62.13 feet to a point;  
Then, South 07 degrees 01 minutes 33 seconds West a distance of 58.69 feet to a point;

Then, South 7 degrees 54 minutes 12 seconds East a distance of 139.52 feet to a point located along the western right of way line of Delta Ridge Avenue; Then, continuing along the western right of way line of Delta Ridge Avenue, along a curve having a delta of 92 degrees 10 minutes 18 seconds, a radius of 1,035.00 feet the left having a delta of 39.23 feet and a chord bearing of South 07 degrees 28 minutes 43 seconds a distance of 39.23 feet to a point;

northern right of way line of Canal Bank Drive; Then, departing the northern right of way line of Canal Bank Drive, South 84 degrees 5 minutes 31 seconds East a distance of 115.17 feet to a point, said point located along eastern right of way line of Delta Ridge Avenue; Then, continuing along the eastern right of way line of Delta Ridge Avenue, along a curve having a radius of 60.00 feet, bearing S 89° 57' 07" E a distance of 945.00 feet to the right ending a chain of 40 courses.

Then, South 09 degrees 51 minutes 42 seconds West a distance of 57.48 feet to a point, North 85 degrees 09 minutes 07 seconds West a distance of 179.50 feet to a point located along the eastern right of way line of Delta Ridge Avenue;  
Then, continuing along the eastern right of way line of Delta Ridge Avenue, along a curve

Then, continuing the western right of way line Delta Ridge Avenue, along a curve to the having a delta of 02 degrees 53 minutes 33 seconds, a radius of 1,025.00 feet, an arc length of 52.25 feet and a chord bearing of South 05 degrees 07 minutes 23 seconds East a western right of way line of Delta Ridge Avenue;

Then, North 13 degrees 42 minutes West a distance of 15.50 feet to a post  
Then, North 41 degrees 52 minutes West a distance of 34.61 feet to a post  
Then, North 58 degrees 51 minutes East a distance of 71.30 feet to a post  
Then, North 58 degrees 24 minutes West a distance of 144.49 feet to a post  
Then, North 55 degrees 40 minutes West a distance of 145.79 feet to a post  
Then, North 55 degrees 40 minutes West a distance of 145.79 feet to a post

Then, South 86 degrees 52 minutes 13 seconds West a distance of 180.28 feet to a p  
Then, South 79 degrees 26 minutes 58 seconds West a distance of 286.23 feet to a p  
Then, North 56 degrees 28 minutes 33 seconds West a distance of 75.05 feet to a po  
Then, North 21 degrees 25 minutes 34 seconds West a distance of 117.03 feet to a p  
Then, North 12 degrees 59 minutes 10 seconds West a distance of 315.19 feet to a p

Then, North 48 degrees 18 minutes 54 seconds East a distance of 391.79 feet to the  
OF BEGINNING.

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OPEN/GREEN SPACE REQUIRED  
50.947 ACRES  
X 0.25 S.F. OPEN/GREENSPACE

OPEN/GREEN SPACE REQUIRED	OPEN/G
3.062 ACRES (PHASE 3A)	3.318 A

3.863 ACRES (PHASE 5)	0.657 A
21.751 ACRES (PHASE 6)	13.334
71.554 ACRES TOTAL OPEN/GREEN SPACE REQUIRED	459.147

$$\text{A} = \frac{\partial}{\partial x} + \frac{\partial}{\partial y} + \frac{\partial}{\partial z} + \frac{\partial}{\partial t}$$

Penham Springs, LA 70726

**Chairman – Parish Planning Commission**

**Secretary -- Parish Planning Commission**

Clerk of Court

Date Filed	File No.
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OF  
LAKE SHORE VILLAGES (PHASE 4-  
LOCATED IN SECTION 30 OF T4 S 77

**FINAL PLANS  
RECEIVED  
10/11/2019 - 10:00 A.M.  
DEVELOPMENT  
ENGINEERING**

All street rights-of-way as shown herein are not dedicated to the Port of St. Tammany but are dedicated to the perpetual use of the Community Development District and is to be owned and maintained by the Community Development District. Easements shall be reserved for drainage and utilities as indicated hereon and no obstructions or improvements shall be allowed that would prevent them from being used for intended use. The developer or homeowners association is responsible for maintenance of all drainage servitudes, street signs, and traffic control signs.



**VICINITY MAP**  
**SCALE 1" = 2000'**

LOUISIANA • MISSISSIPPI • TEXAS

206 EAST 2ND STREET, THIBODAUX, LOUISIANA 70301

Phone • (985) 449-0094 Fax • (985) 449-0085

EMAIL • ACADIA@ACADIALANDSURVEYING.COM

[illegible]

100

[illegible]

REVISION	DESCRIPTION	INT.
	APPROVED BY: MPB	

<p>RECEIVED ON: TBD</p>	<p>ALS FILE: 2017/17-1842/17-1842 P4A3 Final.d</p>
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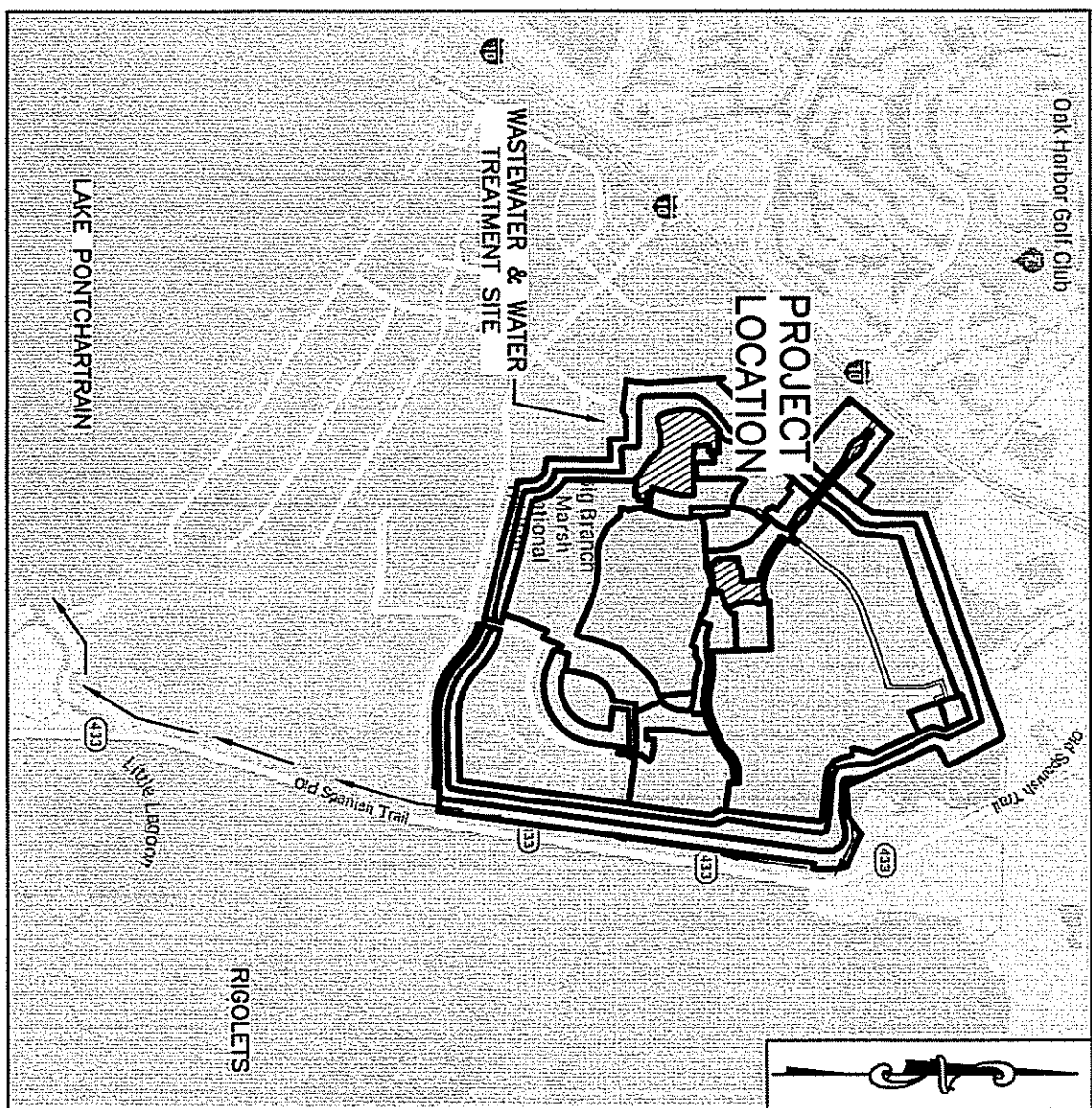




PLAT SHOWING FINAL SUBDIVISION

LAKESHORE VILLAGES (PHASE 4-A-3)

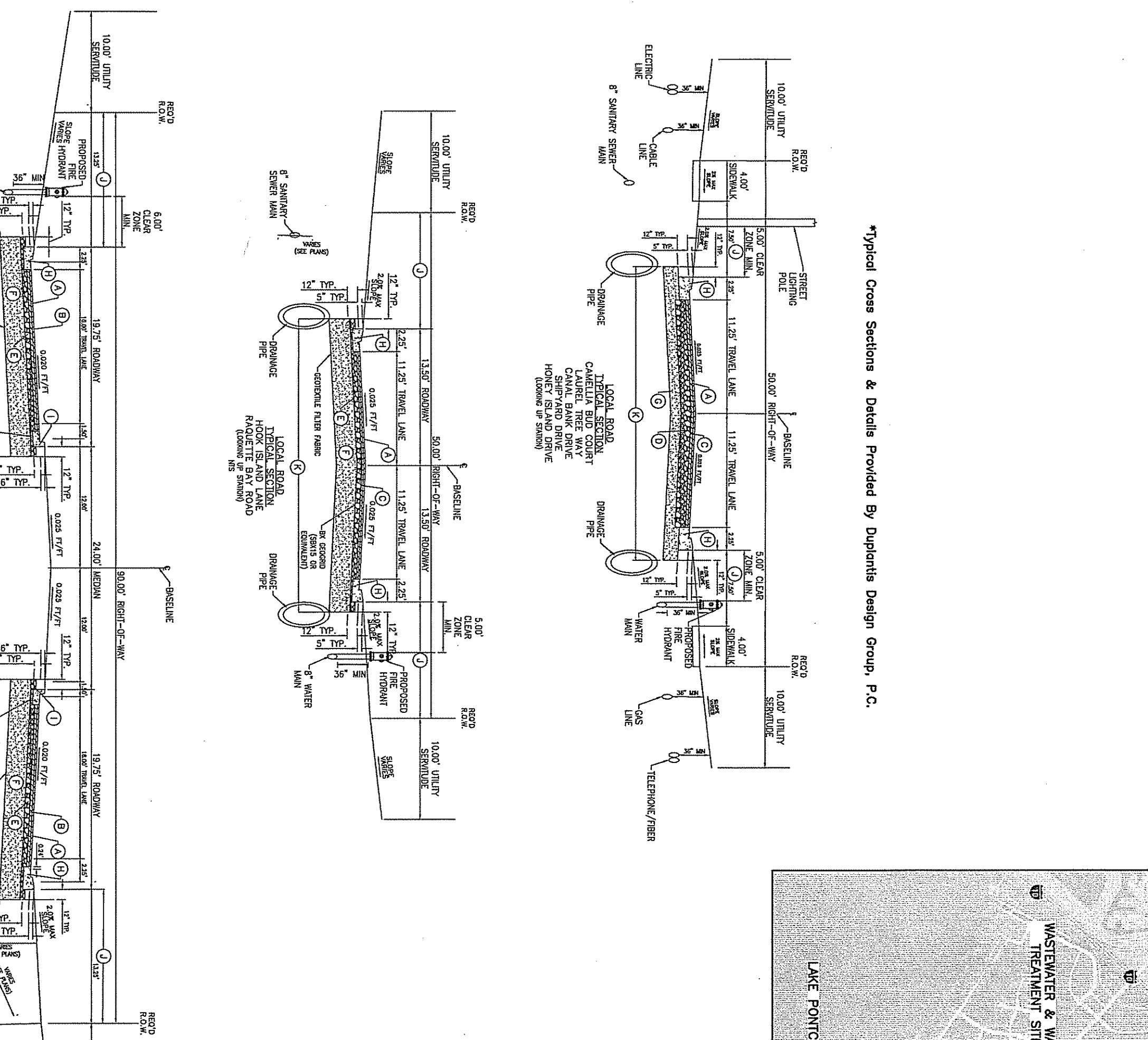
LOCATED IN SECTIONS 26, 27, 34 & 35  
TOWNSHIP 9 SOUTH - RANGE 14 EAST  
SUIDELL, ST. TAMMANY PARISH, LOUISIANA



ULTIMATE DISPOSAL

NOT TO SCALE

LINE	BEARING	LENGTH
L1	S 63°15'22" E	142.31'
L2	S 51°05'35" E	82.47'
L3	S 41°19'08" E	176.71'
L4	S 51°05'35" E	20.71'
L5	S 63°04'32" E	133.49'
L6	N 38°54'25" E	43.21'
L7	N 38°54'25" E	125.45'
L8	N 38°54'25" E	58.66'
L9	S 51°17'03" E	58.66'
L10	S 17°34'38" W	92.99'
L11	S 22°56'12" E	36.65'
L12	S 51°05'35" E	161.80'
L13	N 52°02'04" E	111.95'
L14	N 00°01'59" E	48.36'
L15	S 73°48'28" E	47.05'
L16	S 78°46'29" E	268.39'
L17	N 67°36'12" E	30.25'
L18	S 68°54'39" E	144.95'
L19	S 03°03'40" W	90.00'
L20	N 88°54'38" W	90.00'
L21	S 67°36'12" W	260.39'
L22	N 78°46'29" W	228.36'
L23	S 84°54'08" W	228.36'
L24	S 22°47'05" W	116.58'
L25	N 76°05'26" W	116.58'
L26	N 38°06'59" W	39.05'
L27	N 60°05'42" W	50.76'
L28	N 75°56'40" W	282.17'
L29	N 80°26'39" W	153.01'
L30	N 60°30'12" W	49.75'
L31	N 30°16'08" W	33.85'
L32	N 00°16'04" E	44.99'
L33	S 68°12'35" W	151.16'
L34	S 63°13'16" W	58.04'
L35	S 68°12'35" W	93.66'
L36	S 69°10'22" W	156.61'
L37	S 88°50'07" W	95.00'
L38	N 02°20'43" W	8.67'
L39	S 51°06'00" E	105.70'
L40	S 55°43'59" E	72.52'
L41	S 01°29'13" E	63.52'
L42	S 01°29'13" E	63.52'
L43	S 01°29'13" E	63.52'
L44	S 01°29'13" E	63.52'
L45	S 01°29'13" E	63.52'
L46	S 10°52'42" W	156.71'
L47	S 19°30'54" W	156.68'
L48	S 19°30'54" W	137.88'
L49	S 08°51'42" W	80.48'
L50	S 88°50'07" W	95.00'
L51	S 83°42'29" W	90.02'
L52	N 69°14'48" W	270.04'
L53	N 51°25'15" W	151.00'
L54	N 58°31'56" W	151.00'
L55	N 56°35'47" W	193.27'
L56	N 43°37'30" W	243.77'
L57	N 63°33'32" W	80.30'
L58	N 79°08'55" W	61.08'
L59	S 78°28'55" W	180.24'
L60	S 78°28'55" W	259.12'
L61	N 28°35'58" W	50.86'
L62	N 21°11'28" W	102.14'
L63	N 13°09'08" W	305.25'
L64	N 01°46'33" E	120.68'
L65	N 12°42'46" E	136.10'
L66	N 28°35'58" W	120.84'
L67	N 51°22'37" E	179.16'
L68	N 19°28'36" E	131.81'
L69	N 19°28'36" E	62.83'
L70	N 08°38'04" E	162.59'
L71	N 23°20'31" E	149.07'
L72	N 37°00'00" E	214.44'
L73	N 33°45'35" E	60.24'
L74	N 41°13'55" E	94.04'
L75	S 35°52'07" W	95.00'
L76	S 51°08'00" W	50.00'
L77	S 51°08'00" W	89.89'
L78	N 02°20'43" W	38.66'
L79	N 49°27'15" W	115.67'



\*Typical Cross Sections & Details Provided by Duponts Design Group, P.C.

LINE	BEARING	LENGTH
L80	N 51°05'35" E	33.58'
L81	N 41°19'08" E	41.95'
L82	N 69°44'41" W	62.65'
L83	N 48°11'27" W	53.14'
L84	S 00°04'53" W	30.25'
L85	N 00°04'53" E	31.67'
L86	N 12°03'54" E	58.66'
L87	N 09°32'49" E	58.66'
L88	N 04°10'33" E	58.66'
L89	N 01°54'43" E	57.95'
L90	N 01°54'43" E	69.05'
L91	N 00°15'16" E	69.05'
L92	S 63°08'12" E	57.14'
L93	S 50°01'02" E	80.00'
L94	S 73°48'28" E	47.05'
L95	S 73°48'28" E	46.35'
L96	N 00°04'53" E	30.25'
L97	S 77°18'48" E	73.25'
L98	N 42°48'25" W	47.71'
L99	N 03°00'33" E	67.18'
L100	N 27°18'59" E	71.95'
L101	N 13°52'33" E	51.23'
L102	N 02°15'53" E	58.60'
L103	S 22°47'05" W	62.77'
L104	N 11°33'57" W	61.30'
L105	N 21°28'20" E	61.30'
L106	N 31°22'44" E	61.30'
L107	N 38°42'52" E	75.53'
L108	S 01°03'16" W	57.54'
L109	S 01°03'16" W	42.99'
L110	N 03°33'16" E	44.99'
L111	S 01°56'04" E	53.22'
L112	S 38°52'07" E	48.45'
L113	S 08°03'09" E	65.88'
L114	S 35°04'12" W	63.07'
L115	S 11°14'50" E	44.99'
L116	S 88°50'07" E	95.00'
L117	S 08°50'07" E	75.00'
L118	S 08°50'07" E	75.00'
L119	S 08°50'07" E	75.00'
L120	S 86°19'24" W	90.00'
L121	N 41°52'51" W	15.60'
L122	N 41°52'51" W	56.03'
L123	N 58°31'56" W	71.30'
L124	N 64°23'03" W	68.34'
L125	N 89°55'07" W	50.03'
L126	S 20°58'42" E	34.65'
L127	S 20°58'42" E	37.42'

LINE	BEARING	LENGTH
L1	S 63°15'22" E	142.31'
L2	S 51°05'35" E	82.47'
L3	S 41°19'08" E	176.71'
L4	S 51°05'35" E	20.71'
L5	S 63°04'32" E	133.49'
L6	N 38°54'25" E	43.21'
L7	N 38°54'25" E	125.45'
L8	N 38°54'25" E	58.66'
L9	S 51°17'03" E	58.66'
L10	S 17°34'38" W	92.99'
L11	S 22°56'12" E	36.65'
L12	S 51°05'35" E	161.80'
L13	N 52°02'04" E	111.95'
L14	N 00°01'59" E	48.36'
L15	S 73°48'28" E	47.05'
L16	S 78°46'29" E	268.39'
L17	N 67°36'12" E	30.25'
L18	S 68°54'39" E	144.95'
L19	S 03°03'40" W	90.00'
L20	N 88°54'38" W	90.00'
L21	S 67°36'12" W	260.39'
L22	N 78°46'29" W	228.36'
L23	S 84°54'08" W	228.36'
L24	S 22°47'05" W	116.58'
L25	N 76°05'26" W	116.58'
L26	N 38°06'59" W	39.05'
L27	N 60°05'42" W	50.76'
L28	N 75°56'40" W	282.17'
L29	N 80°26'39" W	153.01'
L30	N 60°30'12" W	49.75'
L31	N 30°16'08" W	33.85'
L32	N 00°16'04" E	44.99'
L33	S 68°12'35" W	151.16'
L34	S 63°13'16" W	58.04'
L35	S 68°12'35" W	93.66'
L36	S 69°10'22" W	156.61'
L37	S 88°50'07" W	95.00'
L38	N 02°20'43" W	8.67'
L39	S 51°06'00" E	105.70'
L40	S 55°43'59" E	72.52'
L41	S 01°29'13" E	63.52'
L42	S 01°29'13" E	63.52'
L43	S 01°29'13" E	63.52'
L44	S 01°29'13" E	63.52'
L45	S 01°29'13" E	63.52'
L46	S 10°52'42" W	156.71'
L47	S 19°30'54" W	156.68'
L48	S 19°30'54" W	137.88'
L49	S 08°51'42" W	80.48'
L50	S 88°50'07" W	95.00'
L51	S 83°42'29" W	90.02'
L52	N 69°14'48" W	270.04'
L53	N 51°25'15" W	151.00'
L54	N 58°31'56" W	151.00'
L55	N 56°35'47" W	193.27'
L56	N 43°37'30" W	243.77'
L57	N 63°33'32" W	80.30'
L58	N 79°08'55" W	61.08'
L59	S 78°28'55" W	180.24'
L60	S 78°28'55" W	259.12'
L61	N 28°35'58" W	50.86'
L62	N 21°11'28" W	102.14'
L63	N 13°09'08" W	305.25'
L64	N 01°46'33" E	120.68'
L65	N 12°42'46" E	136.10'
L66	N 28°35'58" W	120.84'
L67	N 51°22'37" E	179.16'
L68	N 19°28'36" E	131.81'
L69	N 19°28'36" E	62.83'
L70	N 08°38'04" E	162.59'
L71	N 23°20'31" E	149.07'
L72	N 37°00'00" E	214.44'
L73	N 33°45'35" E	60.24'
L74	N 41°13'55" E	94.04'
L75	S 35°52'07" W	95.00'
L76	S 51°08'00" W	50.00'
L77	S 51°08'00" W	89.89'
L78	N 02°20'43" W	38.66'
L79	N 49°27'15" W	115.67'

LINE	BEARING	LENGTH
L1	S 63°15'22" E	142.31'
L2	S 51°05'35" E	82.47'
L3	S 41°19'08" E	176.71'
L4	S 51°05'35" E	20.71'
L5	S 63°04'32" E	133.49'
L6	N 38°54'25" E	43.21'
L7	N 38°54'25" E	125.45'
L8	N 38°54'25" E	58.66'
L9	S 51°17'03" E	58.66'
L10	S 17°34'38" W	92.99'
L11	S 22°56'12" E	36.65'
L12	S 51°05'35" E	161.80'
L13	N 52°02'04" E	111.95'
L14	N 00°01'59" E	48.36'
L15	S 73°48'28" E	47.05'
L16	S 78°46'29" E	268.39'
L17	N 67°36'12" E	30.25'
L18	S 68°54'39" E	144.95'
L19	S 03°03'40" W	90.00'
L20	N 88°54'38" W	90.00'
L21	S 67°36'12" W	260.39'
L22	N 78°46'29" W	228.36'
L23	S 84°54'08" W	228.36'
L24	S 22°47'05" W	116.58'
L25	N 76°05'26" W	116.58'
L26	N 38°06'59" W	39.05'
L27	N 60°05'42" W	50.76'
L28	N 75°56'40" W	282.17'
L29	N 80°26'39" W	153.01'
L30	N 60°30'12" W	49.75'
L31	N 30°16'08" W	33.85'
L32	N 00°16'04" E	44.99'
L33	S 68°12'35" W	151.16'
L34	S 63°13'16" W	58.04'
L35	S 68°12'35" W	93.66'
L36	S 69°10'22" W	156.61'
L37	S 88°50'07" W	95.00'
L38	N 02°20'43" W	8.67'
L39	S 51°06'00" E	105.70'
L40	S 55°43'59" E	72.52'
L41	S 01°29'13" E	63.52'
L42	S 01°29'13" E	63.52'
L43	S 01°29'13" E	63.52'
L44	S 01°29'13" E	63.52'
L45	S 01°29'13" E	63.52'
L46	S 10°52'42" W	156.71'
L47	S 19°30'54" W	156.68'
L48	S 19°30'54" W	137.88'
L49	S 08°51'42" W	80.48'
L50	S 88°50'07" W	95.00'
L51	S 83°42'29" W	90.02'
L52	N 69°14'48" W	270.04'
L53	N 51°25'15" W	151.00'
L54	N 58°31'56" W	151.00'
L55	N 56°35'47" W	193.27'
L56	N 43°37'30" W	243.77'
L57	N 63°33'32" W	80.30'
L58	N 79°08'55" W	61.08'
L59	S 78°28'55" W	180.24'
L60	S 78°28'55" W	259.12'
L61	N 28°35'58" W	50.86'
L62	N 21°11'28" W	102.14'
L63	N 13°09'08" W	305.25'
L64	N 01°46'33" E	120.68'
L65	N 12°42'46" E	136.10'
L66	N 28°35'58" W	120.84'
L67	N 51°22'37" E	179.16'
L68	N 19°28'36" E	131.81'
L69	N 19°28'36" E	62.83'
L70	N 08°38'04" E	162.59'
L71	N 23°20'31" E	149.07'
L72	N 37°00'00" E	214.44'
L73	N 33°45'35" E	60.24'
L74	N 41°13'55" E	94.04'
L75	S 35°52'07" W	95.00'
L76	S 51°08'00" W	50.00'
L77	S 51°08'00" W	89.89'
L78	N 02°20'43" W	38.66'
L79	N 49°27'15" W	115.67'

LINE TABLE		
LINE	BEARING	LENGTH
L180	N 51°05'35" W	33.55'
L181	N 41°48'33" E	41.56'
L182	N 89°44'11" W	62.85'
L183	N 48°11'27" W	53.14'
L184	S 00°04'53" E	50.25'
L185	N 00°04'53" E	31.67'
L186	N 12°03'54" E	58.66'
L187	N 26°02'49" E	59.66'
L188	N 07°01'33" E	59.66'
L189	N 04°19'02" E	62.13'
L190	N 01°54'34" E	57.96'
L191	N 00°15'18" E	66.09'
L192	S 63°08'12" E	51.14'
L193	S 50°01'02" E	80.00'
L194	S 73°48'28" E	47.06'
L195	S 73°48'28" E	46.63'
L196	N 00°04'53" E	30.25'
L197	S 77°18'48" E	72.25'
L198	N 42°49'25" W	47.71'
L199	N 03°00'36" E	67.18'
L200	N 27°18'59" E	71.95'
L201	N 13°52'23" E	51.23'
L202	N 01°53'53" E	58.80'
L203	N 02°11'06" E	62.27'
L204	N 11°33'37" E	61.30'
L205	N 21°28'20" E	61.30'
L206	N 31°42'44" E	61.30'
L207	N 38°24'42" E	75.33'
L208	S 51°05'35" E	65.57'
L209	S 03°33'16" W	57.54'
L210	N 03°33'16" E	42.89'
L211	S 01°56'04" E	49.45'
L212	S 36°02'10" W	48.45'
L213	S 06°13'05" E	83.08'
L214	S 35°04'12" W	63.07'
L215	S 11°14'50" E	44.58'
L216	S 09°05'01" E	95.00'
L217	N 00°04'53" E	50.00'
L218	S 09°50'07" E	75.00'
L219	S 09°51'42" W	57.48'
L220	S 86°32'4" W	90.00'
L221	N 13°42'58" W	15.60'
L222	N 41°32'51" W	56.03'
L223	N 56°31'56" W	71.30'
L224	N 64°20'03" W	68.34'
L225	N 89°50'07" W	50.03'
L226	S 78°50'25" W	34.65'
L227	S 20°58'42" E	37.42'



**FINAL SUBDIVISION STAFF ANALYSIS REPORT**  
*(As November 5, 2019)*

CASE NO.: 2019-1687-FP

SUBDIVISION NAME: Oaklawn Trace, Phase 1

DEVELOPER: J/Mac Development, LLC  
310 Howze Beach Road  
Slidell, LA 71461

ENGINEER/SURVEYOR: Kelly McHugh & Associates  
845 Galvez Street  
Mandeville, LA 70448

SECTION: 33  
TOWNSHIP: 8 SOUTH  
RANGE: 13 EAST

WARD: 7  
PARISH COUNCIL DISTRICT: 11

TYPE OF DEVELOPMENT:        ☐ URBAN (Residential lots less than 1 acre)  
                                     ☐ SUBURBAN (Residential lots between 1-5 acres)  
                                     ☐ RURAL (Residential Farm Tract lots 5 acres plus)  
                                     ☒ OTHER (Multi family, commercial or industrial)(PUD)

GENERAL LOCATION:    The property is located on the south side of US Highway 190, east of Transmitter Road, west of South Tranquility Road, Lacombe, Louisiana.

TOTAL ACRES IN DEVELOPMENT: 30.65

NUMBER OF LOTS: 65                      AVERAGE LOT SIZE: Varies

SEWER AND WATER SYSTEMS: Central

ZONING: PUD

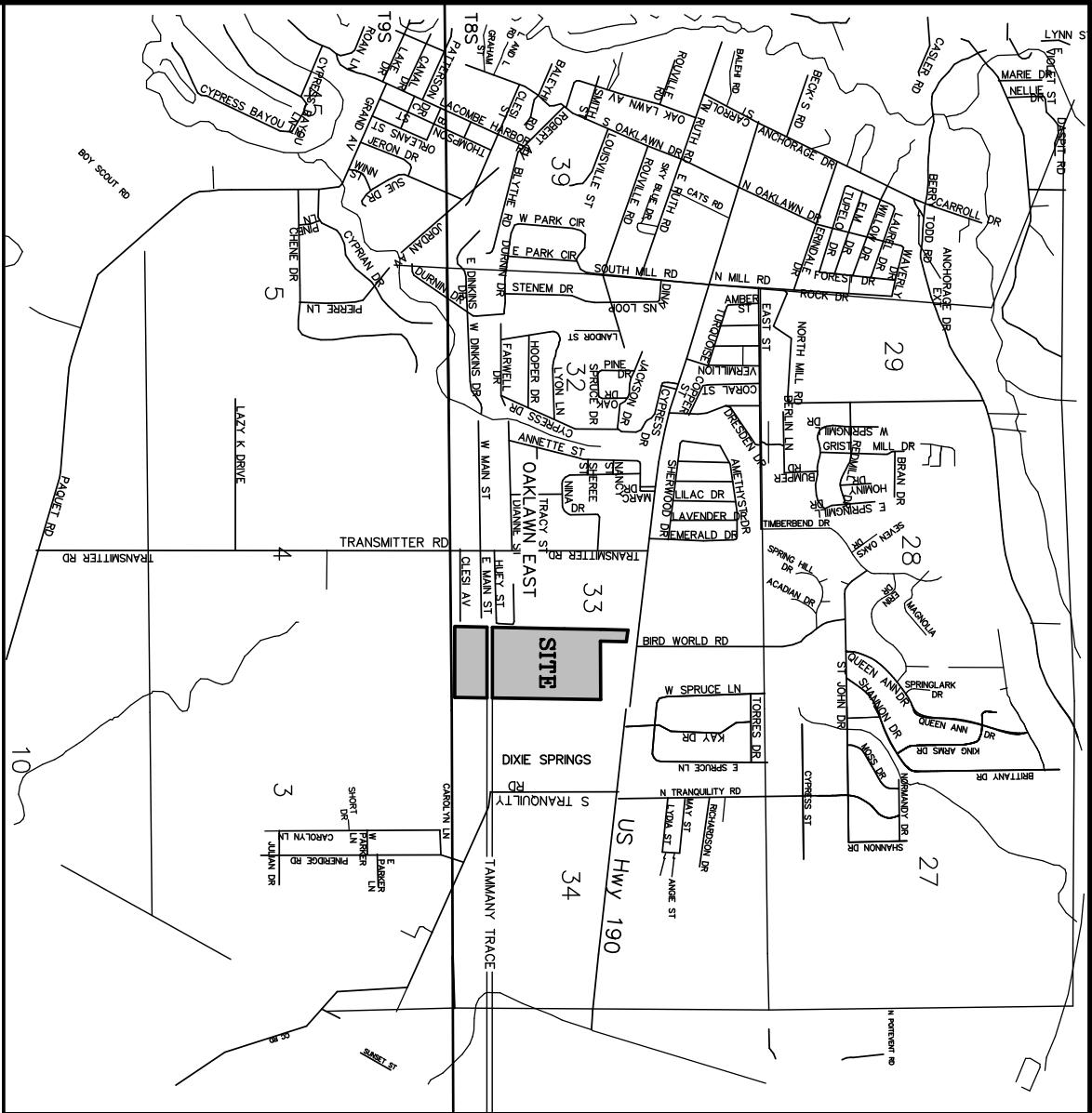
FLOOD ZONE DESIGNATION: "AE-EL 10"

**STAFF COMMENTARY:**

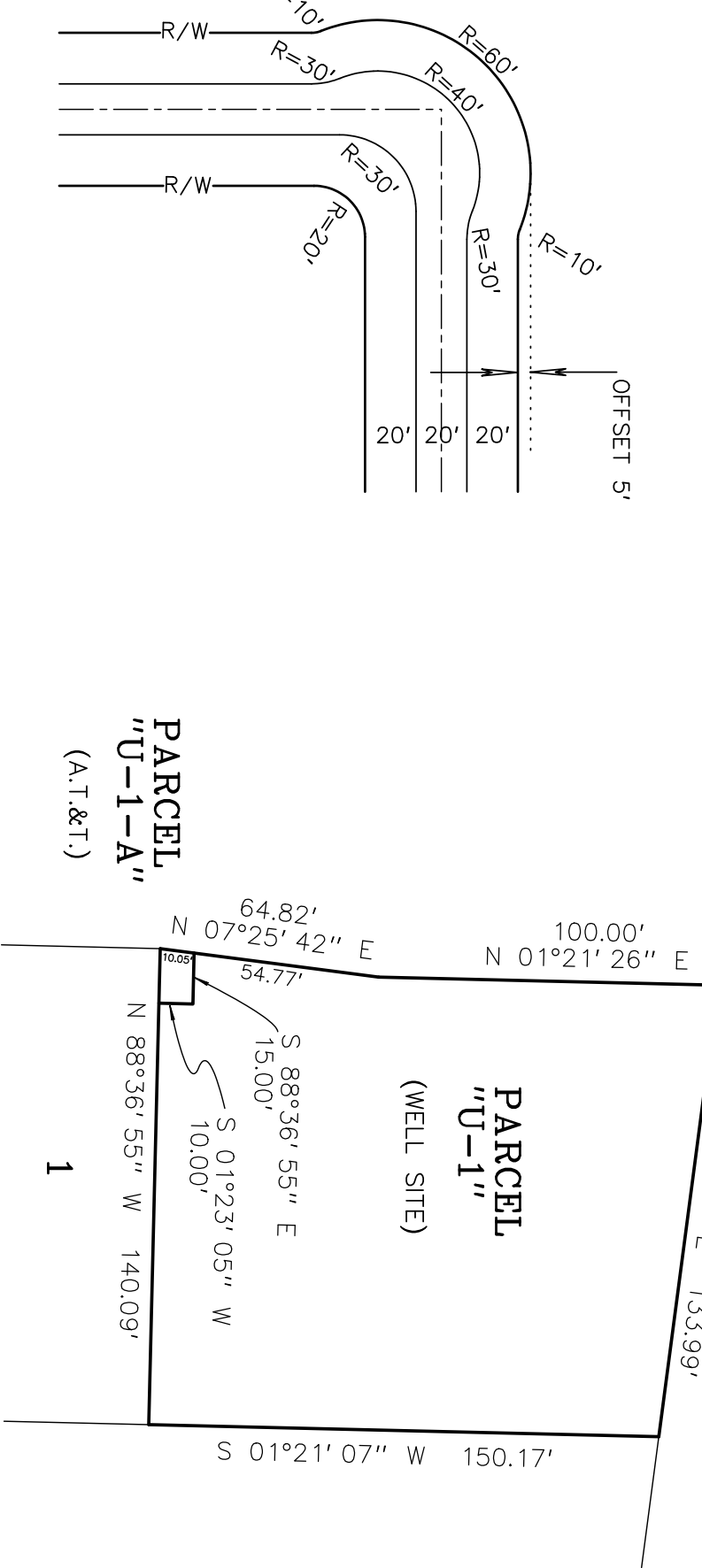
**Department of Planning and Development**

This project was submitted for Final Approval at the November 12, 2019 Planning Commission meeting; however, the developer has requested postponement to the December 10, 2019 Planning Commission meeting.





VICINITY MAP

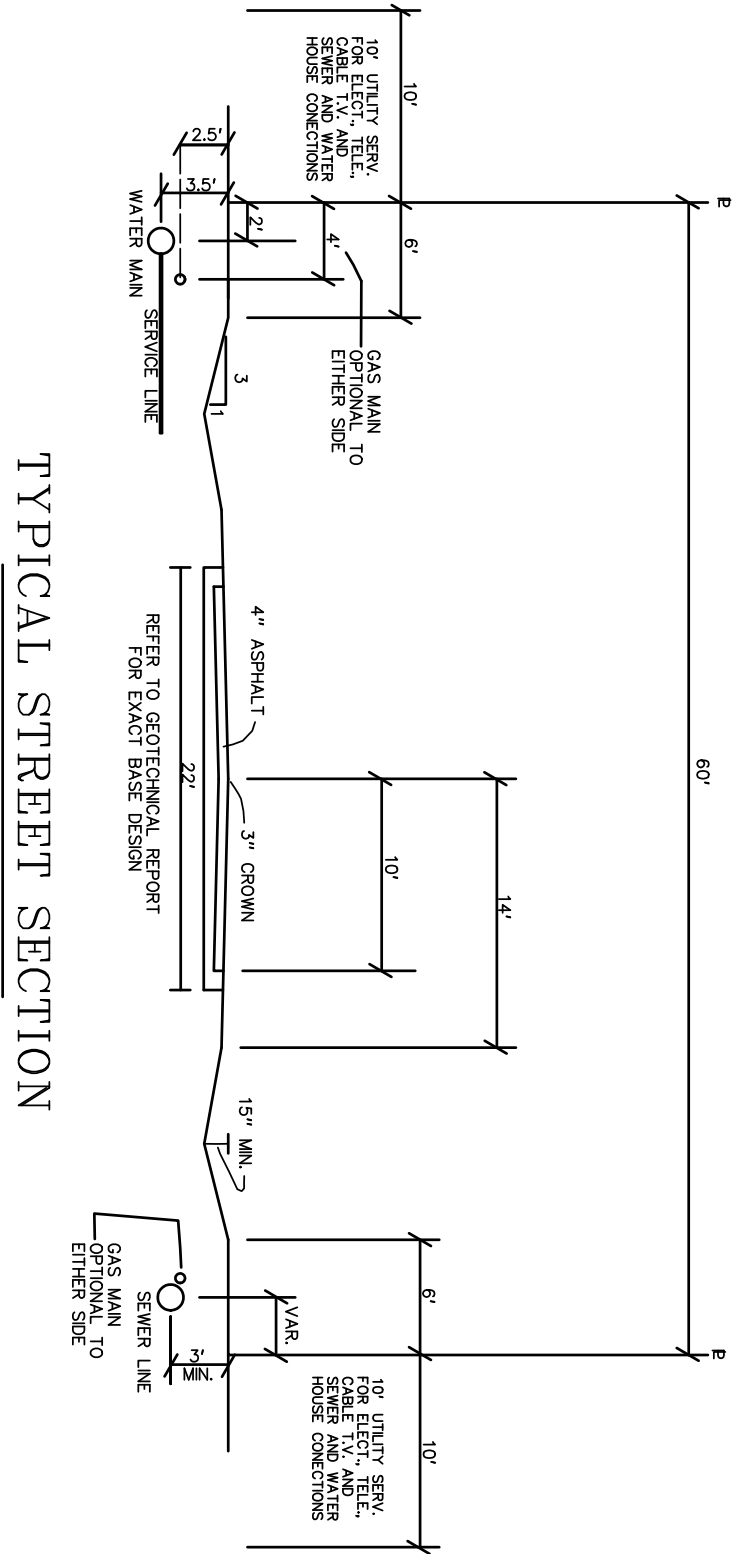


BROW DETAIL

SITE ENLARGEMENT

**LEGAL DESCRIPTION**  
A certain parcel of land situated in Section 33, Township 8 South, Range 13 East, St. Tammany Parish, Louisiana and more fully described as follows:  
Commence of the Section Corner common to Sections 3 & 4, Township 8 South, Range 13 East, and Sections 33 and 34, Township 8 South, Range 13 East, and measure North 00°52'42" West a distance of 1851.44 feet to the POINT OF BEGINNING.

North 88°36'55" East a distance of 150.00 feet to a point;  
Thence South 00°52'42" West a distance of 118.82 feet to a point;  
Thence North 89°07'18" West a distance of 60.00 feet to a point;  
Thence South 00°52'42" West a distance of 108.91 feet to a point;  
Thence North 80°19'52" East a distance of 367.58 feet to a point;  
Thence North 30°40'55" East a distance of 63.28 feet to a point;  
Thence North 30°40'55" East a distance of 27.31 feet to a point;  
Thence North 59°19'05" West a distance of 120.00 feet to a point;  
Thence South 30°40'55" West a distance of 280.00 feet to a point;  
Thence South 33°07'35" West a distance of 62.95 feet to a point;  
Thence North 42°53'12" West a distance of 29.57 feet to a point;  
Thence North 88°48'12" West a distance of 134.68 feet to a point;  
Thence North 01°11'49" East a distance of 490.16 feet to a point;  
Thence North 01°21'26" East a distance of 510.58 feet to a point;  
Thence North 01°21'06" East a distance of 483.66 feet to a point;  
Thence South 89°28'28" East a distance of 109.15 feet to a point;  
Thence South 00°52'42" West a distance of 860.77 feet to a point;  
to the POINT OF BEGINNING, and containing 1.33503954 square feet or 30.6483 acres(s) of land, more or less.

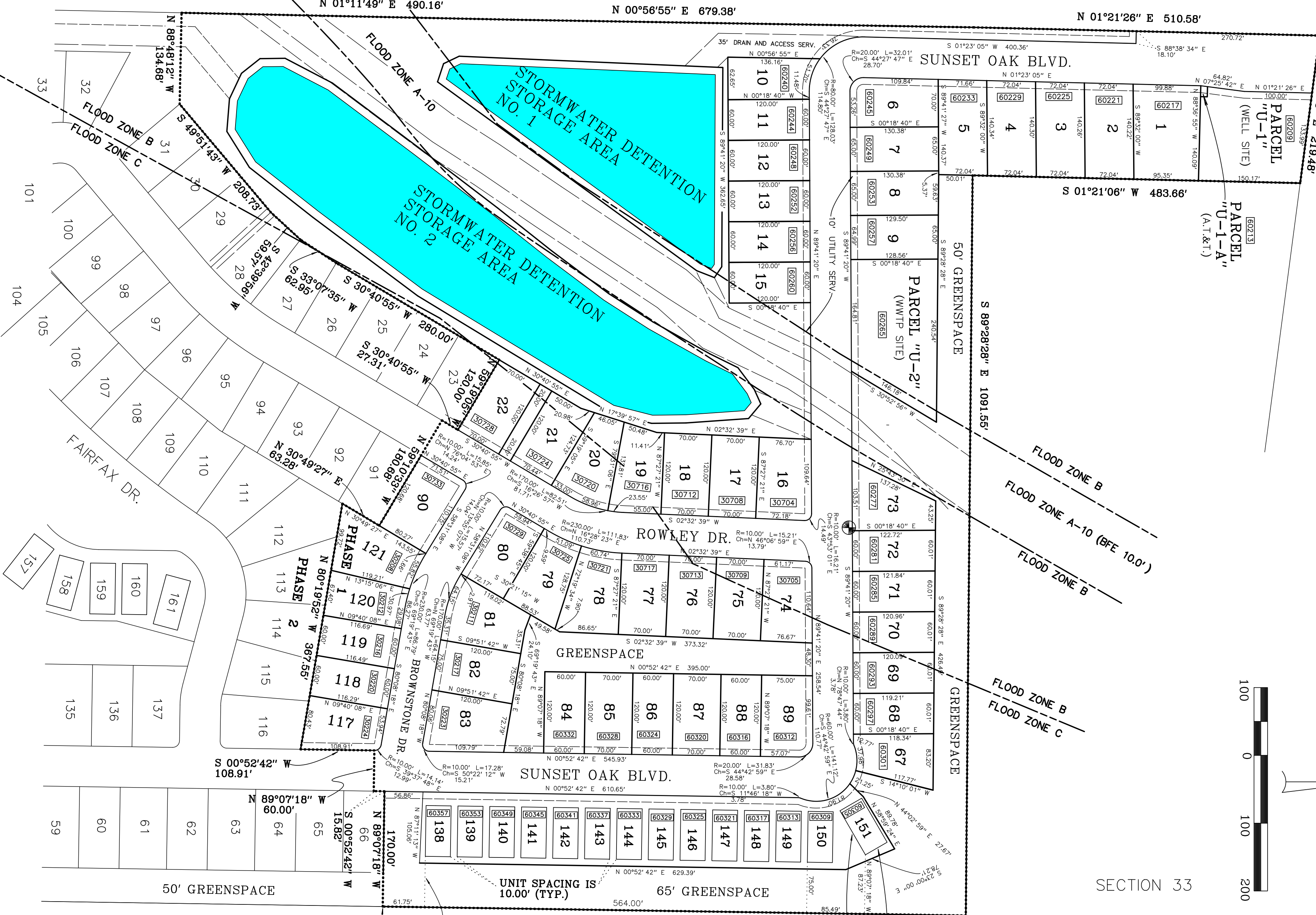
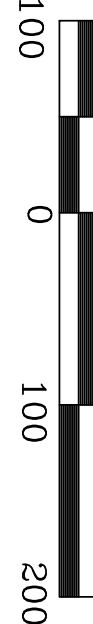


TYPICAL STREET SECTION

SCALE: 1"=10'

OAKLAWN TRACE  
SECTION 33, T-8-S, R-13-E,  
GREENSBURG LAND DISTRICT,  
ST. TAMMANY PARISH, LA.

U.S. HWY. 190



SECTION 33

SECTION 34

- NOTES:
1. ALL LOT CORNERS MARKED WITH 1/2" IRON RODS
  2. THERE IS A 10' WIDE UTILITY SERVICE ADJACENT TO AND OUTSIDE OF ALL STREET RIGHTS OF WAY.
  3. INDIVIDUAL HOME BUILDERS ARE RESPONSIBLE FOR GRADING THE LOT TO DRAIN IN ACCORDANCE WITH THE "AS BUILT" PAVING AND DRAINAGE PLAN.
  4. THIS PROPERTY IS LOCATED IN FLOOD ZONE A-10 (BFE: 10.0'). B, & C RE: FROM PANEL NO. 22505 0395 D, REV. 04-02-91
  5. BENCHMARK-TOP OF SEWER MANHOLE AT LOTS 72 & 73 ELEV. 10.69' RE: NSL NAD 88 (GEOID 12A)
  6. \*\*\*\* INDICATES MUNICIPAL ADDRESS

THIS POINT IS REPORTED TO BE  
N 00°52'42" E 1851.44' FROM  
THE SECTION CORNER COMMON TO  
SECTIONS 3 & 4, T-8-S, R-13-E,  
AND SECT. 33 & 34, T-8-S, R-13-E.

ENGINEERING  
REVIEW COPY

FINAL PLANS  
RECEIVED  
10/11/2019 - 8:00 A.M.  
DEVELOPMENT  
ENGINEERING

OAKLAWN TRACE, PHASE 1, SECTION 33, T-8-S, R-13-E, GREENSBURG LAND DISTRICT, ST. TAMMANY PARISH, LA.	
KELLY J. McHUGH & ASSOC., INC. CIVIL ENGINEERS & LAND SURVEYORS 845 GALVEZ ST. - MANDEVILLE, LA. 828-5511	
DATE	DATE
SCALE: 1" = 100'	DATE: 10-07-19
DRAWN: BRJ	JOB NO.: 04-082
CHECKED: KJM	DWG. NO.: 04-082-FH1

FOR:  
JMAC DEVELOPMENT LLC  
CORPORATION  
310 HOWZE BEACH RD.  
SLIDELL, LA 71461  
ADDRESS

TIM HENNING  
OFFICER

APPROVAL:  
CHAIRMAN PARISH PLANNING COMMISSION  
SECRETARY PARISH PLANNING COMMISSION  
DIRECTOR OF ST. TAMMANY PARISH ENGINEERING

DATE FILED FILE NO.

CLERK OF COURT

CYPRESS BAYOU TO BAYOU LACOMBE  
ULTIMATE SURFACE WATER DISPOSAL

AREA: 30.65 ac.

NO. OF LOTS: 65

LENGTH OF STREETS: 3450' +/-

SEWER SYSTEM: CENTRAL

WATER SYSTEM: CENTRAL

WATER SYSTEM: CENTRAL

WATER SYSTEM: CENTRAL

WATER SYSTEM: CENTRAL

WATER SYSTEM: CENTRAL

WATER SYSTEM: CENTRAL

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WATER SYSTEM: CENTRAL



**FINAL SUBDIVISION STAFF ANALYSIS REPORT**  
*(As November 5, 2019)*

CASE NO.: 2019-1688-FP

SUBDIVISION NAME: Wingfield

DEVELOPER: Bruno Brothers Real Estate  
70325 Highway 1077  
Covington, LA 70433

ENGINEER/SURVEYOR: Arrow Engineering & Consulting, Inc.  
P.O. Box 881  
Madisonville, LA 70447

SECTION: 33  
TOWNSHIP: 6 SOUTH  
RANGE: 10 EAST

WARD: 1  
PARISH COUNCIL DISTRICT: 3

TYPE OF DEVELOPMENT:                    ☐ URBAN (Residential lots less than 1 acre)  
   ☒ SUBURBAN (Residential lots between 1-5 acres)  
   ☐ RURAL (Residential Farm Tract lots 5 acres plus)  
   ☐ OTHER (Multi family, commercial or industrial)(PUD)

GENERAL LOCATION: The property is located on the north side of Joiner Wymer Road, west of LA Highway 1077, Covington, Louisiana.

TOTAL ACRES IN DEVELOPMENT: 163.45

NUMBER OF LOTS: 47                    AVERAGE LOT SIZE: 1.87 Acres

SEWER AND WATER SYSTEMS: Community

ZONING: A-1A

FLOOD ZONE DESIGNATION: "A"

**STAFF COMMENTARY:**

**Department of Planning and Development**

Periodic inspections have been made by this office during construction and the final inspection was made on October 24, 2019. The inspection disclosed that all of the asphalt roads are constructed, the road shoulders need to be reconstructed and the roadside ditches need final grading.

Postponement of this submittal is advised due to the following uncompleted items that existed at the time of the final inspection and review of the provided plans. These items will need to be completed before the

plats are signed:

**General Information:**

1. A signed and completed fill and grading statement needs to be submitted for this development.
2. Provide an as-built signage plan for this development.
3. A recreational facilities plan needs to be submitted and approved for this development. Once approved the required facilities need to be constructed before the Final Plats can be recorded.
4. Provide roadway base testing results.
5. Provide asphalt roadway testing results.
6. Provide utility trench bedding testing results.
7. Provide utility trench backfill testing results.
8. Shoulders along Crossvine Drive need to be regraded.
9. Ditches along Crossvine Drive need to be regraded.
10. Blue reflectors needs to be installed at all fire hydrants.
11. Fire hydrant near lot #45 needs to be straightened and raised to the proper grade.
12. Detention Pond #2 top of bank and slopes needs to be vegetated and a mature stand of grass established.
13. Establish and regrade roadside ditches and shoulders along Joiner-Wymer Road.
14. Top of pond needs to be regraded to provide the required flat maintenance area.
15. Pond #2's outfall pipe needs to be backfilled to provide required pipe cover.
16. Grade and vegetate the back slope for Pond #2.
17. Install erosion control measures where vegetation is not established to avoid further erosion.
18. Ditches along Silverthorn Street need to be regraded to provide positive flow.
19. The cross-culvert under Plumegrass Drive needs to be cleaned of silt.
20. The 30' drainage servitude between lots #9 and #10 needs to be regraded to provided positive flow.



**Final Plat:**

21. Provide information on the Final Plat stating who will be responsible to own and maintain the 60' driveway access to lot # 30.
22. The greenspace behind lot #30 does not have an access servitude in order for it to be maintained by the HOA, revise the plans to provide this greenspace with an access servitude for maintenance
23. Provide information on the Final Plat stating who will be responsible to own and maintain the 35' driveway access to lot # 37.
24. Provide verification and need for the ten (10) foot drainage servitude required in restrictive covenant #15.
25. Delineations and call-outs are unclear in relation to the buffer and servitudes along Bedico Creek. Revise this information to more clearly delineate this information.
26. Setbacks from the property line along Bedico Creek need to be more clearly labeled on the Final Plat. Revise.
27. Revise the dedication statement to state who will be responsible to own and maintain all street name and traffic control signage and posts.
28. The 50' buffer located along Bedico Creek is not owned by the HOA. Restrictive covenant #5 needs to be revised or a servitude needs to be established in favor of the HOA.
29. The developer needs to contact the 911 addressing office to have the addressing completed. Once the addressing is completed these addresses need to be added to the Final Plat.

**Paving & Drainage Plan:**

30. The inverts shown along Buttonbush Drive do not provide positive flow. The roadside ditch needs to be regraded or the As-Built need to be verify to ensure this ditch has positive flow.
31. The invert shown along Silverthorn Street do not provide positive flow. The roadside ditch needs to be regraded or the As-Built need to be verify to ensure this ditch has positive flow.
32. Provide pipe material, size and invert elevations on all drainage structures. (Typical)
33. The Bedico Creek cross-section needs to be revised to show the correct width, and the 50' foot "No Cut Buffers" from the mean top bank.
34. Revise the pond cross-sections to accurately reflect as-built widths, conditions and elevations.
35. Revise the As-Built Drainage plan to accurately reflect the pipe material and size call-outs for pipes A, B, and C.

36. Provide information regarding the “future widening” call-out shown of the Bedico Creek cross-section including, who is performing this work and when is it supposed to be widened.

**Water & Sewer Plan:**

37. Revise the Lift Station Schedule to reflect the As-Built elevations for t lift stations #1 and #2 as shown in the As-Built Sewer plan call-outs.
38. Provide clear water tests for the new water lines installed in association with Wingfield Subdivision.
39. Provide a letter of acceptance and responsibility for the perpetual maintenance and operation of the water and sewer systems from the utility provider.
40. Provide written verification from the utility provider that the existing water and sewer systems this development is connecting to have sufficient capacity.
41. Provide an As-Built plan for the sewer force main extension required from Wingfield Subdivision to Tuscany Subdivision. Include a cross-section or call-outs on this plan showing the as-built location and depth for the sewer force main within the Joiner-Wymer Road right-of-way.
42. Revise the sewer force main call-out to clearly identify the correct sewer line.
43. Revise conflicts with the fire hydrant call-outs and legend. (Typical)
44. Revise the As-Built plan to show the newly constructed water line along the south side of Joiner-Wymer Road.

**Water Line Extension Plan:**

45. Revise the “As-Built Water Line Extension Plan” sheet number to “C4”.
46. Update the Bunny Lane cross-section to show the As-Built location of the water line including the depth and location of the new water line within the Bunny Lane right-of-way.

**Informational Items:**

Should the Planning Commission approve the request for final approval, a Warranty Obligation will be required for the infrastructure in the amount of 8,736 linear feet x \$22.00 per linear foot = \$192,200.00 for a period of two (2) years.

Mandatory Developmental Fees are required as follows:

Road Impact Fee = \$1077.00 per lot x 47 lots = \$50,619.00

Drainage Impact Fee = \$1114 per lot x 47 lots = \$52,358.00

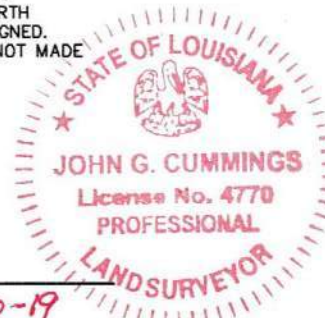


Fees are due before subdivision plats can be signed.

This subdivision **is** within the "Urban Growth Boundary Line".

Revised drawings will not be accepted for review or placement in the packet prior to the November 12, 2019 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.







**AMENDMENTS TO  
DEVELOPMENTAL  
AGREEMENTS**



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## ST. TAMMANY PARISH

PATRICIA P. BRISTER  
PARISH PRESIDENT

### ADMINISTRATIVE COMMENT

The developer has requested an amendment to the Developmental Agreement between St. Tammany Parish Government and Advance Mortgage Company to remove lots in Square 31 and Square 21 and add lots in Square 14 and Square 15 of South Abita Springs Subdivision a/k/a Tammany Hills Subdivision. The amendment would remove 42 lots and add 42 lots.

This amendment was submitted for approval at the November 12, 2019 Planning Commission meeting. However, as the lot numbers originally provided by the developer were incorrect, the proposal must be postponed to the December 10, 2019 Planning Commission in order to amend the draft agreement and re-advertise in accordance with LA R.S. 33:4780.30.