

AGENDA
ST. TAMMANY PARISH ZONING COMMISSION MEETING
6:00 P.M. – TUESDAY, DECEMBER 3, 2019
ST. TAMMANY PARISH ADMINISTRATIVE COMPLEX, COUNCIL CHAMBERS
KOOP DRIVE OFF OF HIGHWAY 59
MANDEVILLE, LOUISIANA

ROLL CALL

CALL TO ORDER

ANNOUNCEMENTS

- **Please silence all phones and electronic devices**
- **Appeals**
- **Speaker Cards**
- **Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal**
- **Please exit the building**

INVOCATION

PLEDGE OF ALLEGIANCE

APPROVAL OF THE NOVEMBER 13, 2019 MINUTES

POSTPONING OF CASES

PUBLIC HEARINGS

APPEARERS

ZONING CHANGE REQUEST CASES - APPLICATIONS FOR A PROPOSED CHANGE OF ZONING DISTRICT OR AMENDMENTS TO THE LAND USE ORDINANCE REQUIRING REVIEW & RECOMMENDATION OF APPROVAL BY THE ZONING COMMISSION BEFORE ACTION BY THE PARISH COUNCIL ARE AS FOLLOWS:

- 1. 2019-1660-ZC**
Existing Zoning: A-4A (Single-Family Residential District)
Proposed Zoning: A-4A (Single-Family Residential District) & MHO (Manufactured Housing Overlay)
Acres: .11 acres
Petitioner: Steven Eagle
Owner: Steven Eagle
Location: Parcel located on the east side of Hudson Street, north of Coast Boulevard, being Lots 6 and 7, Section A, Square 11, Central Park Subdivision, 56712 Hudson Street, Slidell, S23, T9S, R14E, Ward 8, District 12.
Council District: 12
- 2. 2019-1661-ZC**
Existing Zoning: CBF-1 (Community Based Facilities District)
Proposed Zoning: PF-1 (Public Facilities District)
Acres: 7.1 Acres
Petitioner: Holy Trinity Lutheran Church - Rob Olmstead
Owner: Holy Trinity Lutheran Church - Rob Olmstead
Location: Parcel located on the Southeast corner of LA Highway 21 and Marigold Drive, being 1 N Marigold Drive, Covington, S47, T7S, R11E, Ward 1, District 1.
Council District: 1
- 3. 2019-1668-ZC**
Existing Zoning: A-1 (Suburban District)
Proposed Zoning: A-2 (Suburban District)
Acres: 6.96 acres
Petitioner: Mattie Puls
Owner: Mattie Puls
Location: Parcel located on the north side of Joiner Wymer Road, west of LA Highway 1077, being 12325 Joiner Wymer Road, Covington S33, T6S, R10E, Ward 1, District 3.
Council District: 3

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4. **2019-1671-ZC**
Existing Zoning: A-1 (Suburban District)
Proposed Zoning: A-3 (Suburban District)
Acres: 2.364 acres
Petitioner: Thomas J. Smith
Owner: John Smith Family, L.L.C.
Location: Parcel located on the northeast side of LA Highway 1091, south of Cornibe Road, being 62532 LA Highway 1091, Pearl River, S24, T8S, R14E, Ward 8, District 9.

Council District: 9
5. **2019-1678-ZC**
Existing Zoning: A-1 (Suburban District), MHO (Manufactured Housing Overlay) & RO (Rural Overlay)
Proposed Zoning: A-2 (Suburban District), MHO (Manufactured Housing Overlay) & RO (Rural Overlay)
Acres: 4.918 acres
Petitioner: Jose & Maria Morales
Owner: Jose & Maria Morales
Location: Parcel located on the southeast corner of Lee Settlement Road and Bill Lee Road, Folsom, S6,T5S,R10E, Ward 2, District 3

Council District: 3
6. **2019-1690-ZC**
TEXT CHANGE Ordinance amending the St. Tammany Parish Unified Development Code Chapter 130 to amend Section 130-969 relative to permitted uses in HC-3 Highway Commercial District to add a new permitted use "Cemetery".
7. **2019-1691-ZC**
Existing Zoning: A-5 (Two Family Residential District)
Proposed Zoning: A-4A (Single-Family Residential District)
Acres: 58.910 acres
Petitioner: Jones Fussell, L.L.P. - Jeffrey Schoen
Owner: Martin Oramous
Location: Parcel located on the west side of Louisiana Highway 1090, north of Interstate Highway 10, east of Interstate Highway 59, Slidell, S31, T8S, R15E, Ward 8, District 9.

Council District: 9
8. **2019-1692-ZC**
Existing Zoning: A-5 (Two Family Residential District)
Proposed Zoning: PUD (Planned Unit Development Overlay)
Acres: 58.910 acres
Petitioner: Jones Fussell, L.L.P. - Jeffrey Schoen
Owner: Martin Oramous
Location: Parcel located on the west side of Louisiana Highway 1090, north of Interstate Highway 10, east of Interstate Highway 59, Slidell, S31, T8S, R15E, Ward 8, District 9.

Council District: 9
9. **2019-1693-ZC**
Existing Zoning: A-1 (Suburban District) & RO (Rural Overlay)
Proposed Zoning: MD-2 (Medical Clinic District) & RO (Rural Overlay)
Acres: 1.04 acres
Petitioner: Kristen O'Keefe
Owner: New Heights Therapy Center, Inc.
Location: Parcel located on the east side of Beason Road, north of LA Highway 40, being 82302 Holliday Road, Folsom, S7, T5S, R11E, Ward 2, District 3.

Council District: 3

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**PLAN REVIEW CASES - APPLICATIONS REQUIRING REVIEW AND APPROVAL OF SITE
PLANS ALONG A PLANNED DISTRICT BY THE ZONING COMMISSION ARE AS FOLLOWS:**

1. **CP02-08-076PR – USE: Ochsner Hospital Medical Office Building**
CORRIDOR: Highway 21
ZONING: MD-3 Medical Facility District
USE SIZE: 73,500 sq. ft.
PETITIONER: Duplantis Engineering Group – David Laizer
OWNER: Ochsner Clinic Foundation – John J. Herman
LOCATION: Parcel located at the southwest corner of LA Highway 21 and Ochsner Blvd;
 S47, T7S, R10E; Ward 1, District 1

OLD BUSINESS

NEW BUSINESS

ADJOURNMENT

**MINUTES OF THE
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KOOP DRIVE OFF OF HIGHWAY 59
MANDEVILLE, LOUISIANA**

ROLL CALL

Present: Seeger, Willie, Richard, Doherty, Bagert, Fitzmorris, Crawford, Drumm, Randolph,
Absent: Parker
Staff Present: Helen Lambert, Erin Cook, Leslie DeLatte, Emily Couvillion, and Jennifer Lange

CALL TO ORDER

ANNOUNCEMENTS

- . Please silence all phones and electronic devices
- . Appeals
- . Speaker Cards
- . **Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal**
- . Please exit the building

INVOCATION

The Invocation was presented by Randolph

PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was presented by Crawford

APPROVAL OF THE OCTOBER 9, 2019 MINUTES

Fitzmorris made a motion to approve, seconded by Randolph

YEA: Seeger, Willie, Richard, Doherty, Bagert, Fitzmorris, Crawford, Drumm and Randolph
NAY:
ABSENT: Parker

ZONING CHANGE REQUEST CASES

1. ZC-96-11-064

Major Amendment to the PUD Planned Unit Development Overlay

Acres: 23.77 acres

Petitioner: Jones Fussell, LLP - Jeffrey Schoen

Owner: Money Hill Plantation LLC

Location: Parcel located on the north side of Country Club Drive, west of Orchard Row, and parcel located on the southwestern corner of Country Club Drive and Money Hill Parkway, north of LA Highway 435, Abita Springs, S1& S12, T6S, R12E, Ward 6, District 6.

Council District: 6

Jeff Schoen representing owner of Money Hill, Ms. Dossett, came to the podium

Randolph made a motion to approve, seconded by Bagert

YEA: Seeger, Willie, Richard, Doherty, Bagert Fitzmorris, Crawford, Drumm and Randolph
NAY:
ABSENT: Parker

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2. 2019-1602-ZC

Existing Zoning: A-4 (Single-Family Residential District)

Proposed Zoning: A-4 (Single-Family Residential District) & MHO (Manufactured Housing Overlay)

Acres: .17 acres

Petitioner: Dewayne Barnes

Owner: Dewayne Barnes

Location: Parcel located on the west side of Carnation Street, east of Dahlia Street, north of Success Street, and south of Progress Street, Abita Springs, S36, T6S, R11E Ward 10, District 6.

Council District: 6

Dewayne Barnes came to the podium. Jeannette Taylor spoke in favor of this request.

Fitzmorris made a motion to approve, seconded by Bagert

YEA: Seeger, Willie, Richard, Doherty, Bagert, Fitzmorris, Crawford, Drumm and Randolph

NAY:

ABSENT: Parker

3. 2019-1621-ZC

Existing Zoning: A-1 (Suburban District)

Proposed Zoning: A-1 (Suburban District) & MHO (Manufactured Housing Overlay)

Acres: 2.397 acres

Petitioner: Michael & Yvette McMillin

Owner: Michael & Yvette McMillin

Location: Parcel located at the end of Jim Loyd Road, south of LA Highway 40, Folsom

 S16, T5S, R10E, Ward 2, District 3.

Council District: 3

Michael McMillin came to the podium.

Ed Wishham asked some questions of the commissioners

Willie made a motion to approve, seconded by Randolph

YEA: Seeger, Willie, Richard, Doherty, Bagert, Fitzmorris, Crawford, Drumm and Randolph

NAY:

ABSENT: Parker

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4. **2019-1622-ZC**

Existing Zoning: A-3 (Suburban District)

Proposed Zoning: A-3 (Suburban District) & MHO (Manufactured Housing Overlay)

Acres: .33 acres

Petitioner: Bobby & Kim Jameson

Owner: Bobby & Kim Jameson

Location: Parcel located on the south side of Short Street, east of Jefferson Street,
being 19504 Short Street, Covington, S42, T7S, R11E, Ward 3, District 2.

Council District: 2

Bobby and Kim Jameson came to the podium.

Marcia Miler spoke against this request.

Willie made a motion to approve, seconded by Randolph

YEA: Seeger, Willie, Richard, Doherty, Bagert, Fitzmorris, Crawford, Drumm and Randolph
NAY:
ABSENT: Parker

5. **2019-1637-ZC**

Existing Zoning: A-1 (Suburban District)

Proposed Zoning: A-3 (Suburban District)

Acres: .794 acres

Petitioner: Richard and Julie Elliott

Owner: Marvie Hicks Domino

Location: Parcel located on the west side of Bigner Road, south of LA Highway 22,
Mandeville, S54, T7S, R11E, Ward 4, District 4.

Council District: 4

Rick and Julie Elliott came to the podium. Vickie Smith spoke in favor of this request

Richard made a motion to approve, seconded by Bagert

YEA: Willie, Richard, Doherty, Bagert, Fitzmorris, Crawford, Drumm and Randolph
NAY: Seeger
ABSENT: Parker

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6. **2019-1645-ZC**

Existing Zoning: A-1 (Suburban District)

Proposed Zoning: A-5 (Two-Family Residential District)

Acres: 2.32 acres

Petitioner: Charlene Kohnke

Owner: Edward & Charlene Kohnke

Location: Parcel located on the south side of LA Highway 1078, south of Oak Ridge Drive, east of Robinson Road, being 12550, 12554, 12542, and 12546 Highway 1078, Folsom, S4, T6S, R10E, Ward 3, District 3.

Council District: 3

The Petitioners/Owners of this request did not attend the meeting.

Frank Richerand, Jean Anne Mayhall, Dean Basse and David Cooper spoke against this request

Willie made a motion to deny seconded by Bagert

YEA: Seeger, Willie, Richard, Doherty, Bagert, Fitzmorris, Crawford, Drumm and Randolph

NAY:

ABSENT: Parker

7. **2019-1646-ZC**

Existing Zoning: A-2 (Suburban District)

Proposed Zoning: A-3 (Suburban District)

Acres: 2.06 acres

Petitioner: Willard Lape, III

Owner: CGE Family LLC – Gregory Eckert

Location: Parcel located on the northeastern corner of Camellia Drive and Tulip Drive, being 127 Tulip Drive, Covington, S47, T7S, R11E, Ward 1, District 1.

Council District: 1

Trey Lape, representing Mr. Eckert, came to the podium

Bagert made a motion to approve, seconded by Fitzmorris.

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YEA: Doherty, Bagert and Fitzmorris,
NAY: Seeger, Willie, Richard, Crawford Drumm and Randolph
ABSENT: Parker

The motion to approve failed

8. 2019-1648-ZC

Existing Zoning: A-1 (Suburban District), RO (Rural Overlay) & MHO (Manufactured Housing Overlay)

Proposed Zoning: A-2 (Suburban District), RO (Rural Overlay) & MHO (Manufactured Housing Overlay)

Acres: 6.05 acres

Petitioner: Melton J. Baham

Owner: Melton J. Baham

Location: Parcel located on the east & west side of St. John Church Road, south of McCoy Road, Folsom, S8, T5S, R10E, Ward 2, District 3.

Council District: 3

Melton Baham came to the podium, Carolyn Pierre spoke in favor of this request.

Willie made a motion to approve, seconded by Seeger.

YEA: Seeger, Willie, Richard, Doherty, Bagert, Fitzmorris, Crawford, Drumm and Randolph
NAY:
ABSENT: Parker

9. 2019-1649-ZC

Existing Zoning: A-1 (Suburban District), RO (Rural Overlay) & MHO (Manufactured Housing Overlay)

Proposed Zoning: A-2 (Suburban District), RO (Rural Overlay) & MHO (Manufactured Housing Overlay)

Acres: 10.92 acres

Petitioner: Tiffany, David, Carolyn Pierre & Lee Pierre Jr.

Owner: Tiffany, David, Carolyn Pierre & Lee Pierre Jr.

Location: Parcel located on the east side of St. John Church Road, south of McCoy Road, being 11117 St. John Church Road, Folsom, S8, T5S, R10E, Ward 2, District 3.

Council District: 3

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Carolyn Pierre came to the podium.

Fitzmorris made a motion to approve, seconded by Willie

YEA: Seeger, Willie, Richard, Doherty, Bagert, Fitzmorris, Crawford, Drumm and Randolph

NAY:

ABSENT: Parker

10. **2019-1650-ZC**

Existing Zoning: A-2 (Suburban District)

Proposed Zoning A-2 (Suburban District) & MHO (Manufactured Housing Overlay)

Acres: .75 acres

Petitioner: Danny Collins

Owner: Danny Collins

Location: Parcel located on the west side of Tower Lane, north of N. Pontchartrain Drive, Lacombe , S23, T8S, R12E, Ward 7, District 7.

Council District: 7

Danny Collins came to the podium. Danielle Hopkins spoke in favor of this request

Paula Faciane spoke against this request

Randolph made a motion to approve, seconded by Willie

YEA: Willie, Richard, Doherty, Fitzmorris, Crawford and Randolph

NAY: Seeger, Bagert and Drumm

ABSENT: Parker

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11. 2019-1651-ZC

Existing Zoning: A-1 (Suburban District)

Proposed Zoning A-1 (Suburban District) & RO (Rural Overlay)

Acres: 8.0369 acres

Petitioner: Kimberle Trowbridge

Owner: Richard & Kimberle Trowbridge

Location: Parcel located on the south side of Joiner Wymer Road, west of LA Highway 1077, and north of Interstate I-12, being 12202 Joiner Wymer Road, Covington, S33, T6S, R10E, Ward 1, District 3.

Council District: 3

Katie Towbridge came to the podium

Willie made a motion to approve, seconded by Seeger

YEA: Seeger, Willie, Richard, Doherty, Bagert, Fitzmorris, Crawford, Drumm and Randolph

NAY:

ABSENT: Parker

12. 2019-1652-ZC

Existing Zoning: A-1 (Suburban District) & MHO (Manufactured Housing Overlay)

Proposed Zoning A-1A (Suburban District), A-2 (Suburban District) & MHO (Manufactured Housing Overlay)

Acres: 9.52 acres

Petitioner: Frances Baham Wood, Wanda Lea Baham Wilson, and

Jacqueline Debra Baham Willie

Owner: Frances Baham Wood, Wanda Lea Baham Wilson, and

Jacqueline Debra Baham Willie

Location: Parcel located on the south west corner of St Johns Church Road and Anthony Road, north of LA Highway 40, Folsom, S17, T5S, R10E, Ward 2, District 3.

Council District: 3

Frances Wood came to the podium

Lawrence Willie spoke in favor of this request

**MINUTES OF THE
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Keith Naccari and Joseph Marriot spoke against this request.

Willie made a motion to approve, seconded by Seeger

YEA: Seeger, Willie, Richard, Doherty, Bagert, Fitzmorris, Crawford, Drumm and Randolph

NAY:

ABSENT: Parker

13. 2019-1653-ZC

Existing Zoning: PF-1 (Public Facilities District)
Proposed Zoning A-1 (Suburban District) & RO (Rural Overlay)
Acres: 1.01 acres
Petitioner: JoAnn Thompson
Owner: JoAnn Thompson
Location: Parcel located on the north side of LA Highway 1078, east of J & B Road, Folsom, S2, T6S, R10E, Ward 3, District 3.
Council District: 3

JoAnn Thompson came to the podium

Willie made a motion to approve, seconded by Fitzmorris

YEA: Seeger, Willie, Richard, Doherty, Bagert, Fitzmorris, Crawford, Drumm and Randolph

NAY:

ABSENT: Parker

14. ZC-12-09-093

Major Amendment to the PUD Planned Unit Development Overlay

Acres: 15.87 acres
Petitioner: Jones Fussell, L.L.P. – Jeffery Schoen
Owner: CL45 LAS REO, LLC – Timothy P. Sheehan
Location: Parcel located on the north side of 10th Street, east of Ruby Street, S42, T7S, R11E, Ward 3, District 2.
Council District: 2

Jeff Schoen representing Title Group, LLC spoke at the podium

Barbara Cherry spoke in favor of this request

Bagert made a motion to approve, seconded by Seeger

YEA: Seeger, Willie, Richard, Doherty, Bagert, Fitzmorris, Crawford, Drumm and Randolph

NAY:

ABSENT: Parker

ZONING STAFF REPORT

Date: 11/25/2019
Case No.: 2019-1660-ZC
Posted: 11/19/2019

Meeting Date: December 3, 2019
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: Steven Eagle
OWNER: Steven Eagle
REQUESTED CHANGE: From A-4A Single-Family Residential District to A-4A Single Family Residential District and MHO Manufactured Housing Overlay
LOCATION: Parcel located on the east side of Hudson Street, north of Coast Boulevard, being Lots 6 and 7, Section A, Square 11, Central Park Subdivision, 56712 Hudson Street, Slidell, S23, T9S, R14E, Ward 8, District 12
SIZE: .11 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: Parish

Road Surface: 1 Lane Asphalt

Condition: Good

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Residential and Industrial	A-4A Single-Family Residential and I-1 Industrial
South	Residential	A-4A Single-Family Residential
East	Residential	A-4A Single-Family Residential and MHO Manufactured Housing Overlay
West	Residential	A-4A Single-Family Residential

EXISTING LAND USE:

Existing development: No

Multi occupancy development: No

COMPREHENSIVE PLAN:

Residential - Areas that provide for dwelling units. Such areas may vary in site design, structure design, and in the density of units per acre. Certain areas such as “village or town residential” may include mixed uses and would have the highest number of units per acre, while “Rural residential” would have the lowest number of units per acre, and may include agricultural or open space uses as well. In between these two types of residential areas would be varying levels of single-family detached dwellings, multi-family attached residential, and planned subdivisions for manufactured homes.

STAFF COMMENTS:

The petitioner is requesting to change the zoning classification from A-4A Single-Family Residential District to A-4A Single-Family Residential District and MHO Manufactured Housing Overlay. The site is located on the east side of Hudson Street, north of Coast Boulevard, being Lots 6 and 7, Section A, Square 11, Central Park Subdivision, otherwise known as 56712 Hudson Street, Slidell. The 2025 future land use plan designates the site to be developed with residential units that vary in site design and density, including manufactured homes.

Staff does not have any objection to the request considering that it adheres to the petitioned property’s future land use designation and conforms to the existing conditions in the surrounding neighborhood.

Case No.: 2019-1660-ZC

PETITIONER: Steven Eagle

OWNER: Steven Eagle

REQUESTED CHANGE: From A-4A Single-Family Residential District to A-4A Single Family Residential District and MHO Manufactured Housing Overlay

LOCATION: Parcel located on the east side of Hudson Street, north of Coast Boulevard, being Lots 6 and 7, Section A, Square 11, Central Park Subdivision, 56712 Hudson Street, Slidell, S23, T9S, R14E, Ward 8, District 12

SIZE: .11 acres



TOS - R14E 14

COMMERCIAL

23

I-1

FIEBELMAN

HUDSON

A-4A

MHO

MHO

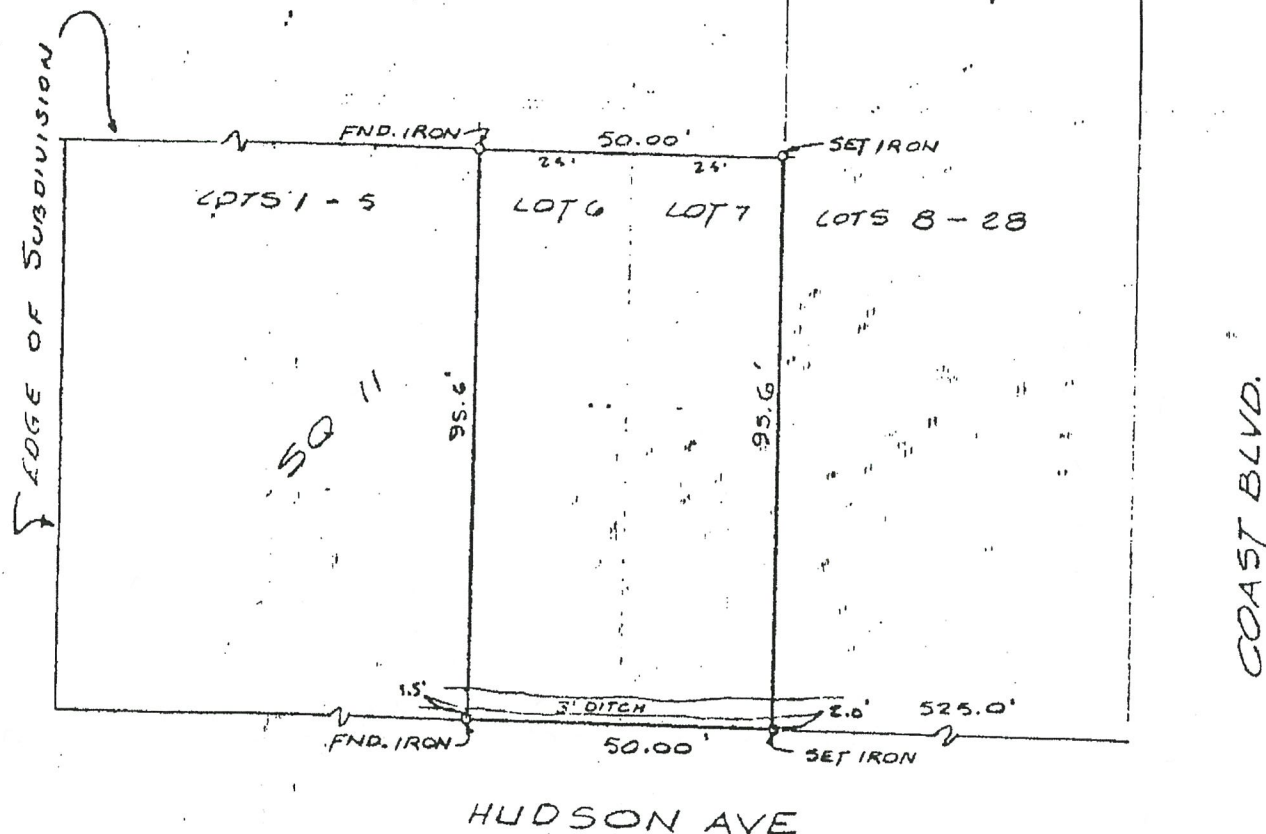
NC-2

COAST

BEHRMAN

CBF-1

HC-2



Scale: 1" = 30'

Survey Map

Lot 6 & 7 in CENTRAL PARK "SECTION A" SQ. 11

St. Tammany Parish, Louisiana

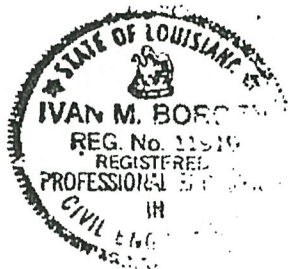
for

LINDA GEILING

Survey Number: 20,126
Date: FEB. 3, 1981
Revision:

This Survey is Certified
True and Correct by

Ivan M. Borgen
No. 686



DR'N. BY: MK. CHK'D BY: L.S.

2019-1660-ZC

ZONING STAFF REPORT

Date: 11/25/2019
Case No.: 2019-1661-ZC
Posted: 11/19/2019

Meeting Date: December 3, 2019
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: Holy Trinity Lutheran Church - Rob Olmstead
OWNER: Holy Trinity Lutheran Church - Rob Olmstead
REQUESTED CHANGE: From CBF-1 Community Based Facilities District to PF-1 Public Facilities District
LOCATION: Parcel located on the Southeast corner of LA Highway 21 and Marigold Drive, being 1 N Marigold Drive, Covington, S47, T7S, R11E, Ward 1, District 1
SIZE: 7.1 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: State

Road Surface: 2 Lane Asphalt

Condition: Good

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Commercial	HC-2 Highway Commercial
South	Residential	A-2 Suburban District
East	Commercial and Residential	HC-2 Highway Commercial
West	Undeveloped and Commercial	Covington City Limits and A-2 Suburban District

EXISTING LAND USE:

Existing development: Yes

Multi occupancy development: No

COMPREHENSIVE PLAN:

Institutional - Public uses such as churches, hospitals, health-related services, colleges and universities, police and fire stations, research institutes, schools, other community centers, and related uses.

Residential - Areas that provide for dwelling units. Such areas may vary in site design, structure design, and in the density of units per acre. Certain areas such as “village or town residential” may include mixed uses and would have the highest number of units per acre, while “Rural residential” would have the lowest number of units per acre, and may include agricultural or open space uses as well. In between these two types of residential areas would be varying levels of single-family detached dwellings, multi-family attached residential, and planned subdivisions for manufactured homes.

STAFF COMMENTS:

The petitioner is requesting to change the zoning classification from CBF-1 to PF-1 Public Facilities District. The site is located on the Southeast corner of LA Highway 21 and Marigold Drive, being 1 N Marigold Drive, Covington. The 2025 future land use plan designates the site to be developed with institutional and residential uses that vary in site design and density.

Staff does not have any objection to this request as the petitioned zoning change will allow the applicant to expand in the future.

Case No.: 2019-1661-ZC

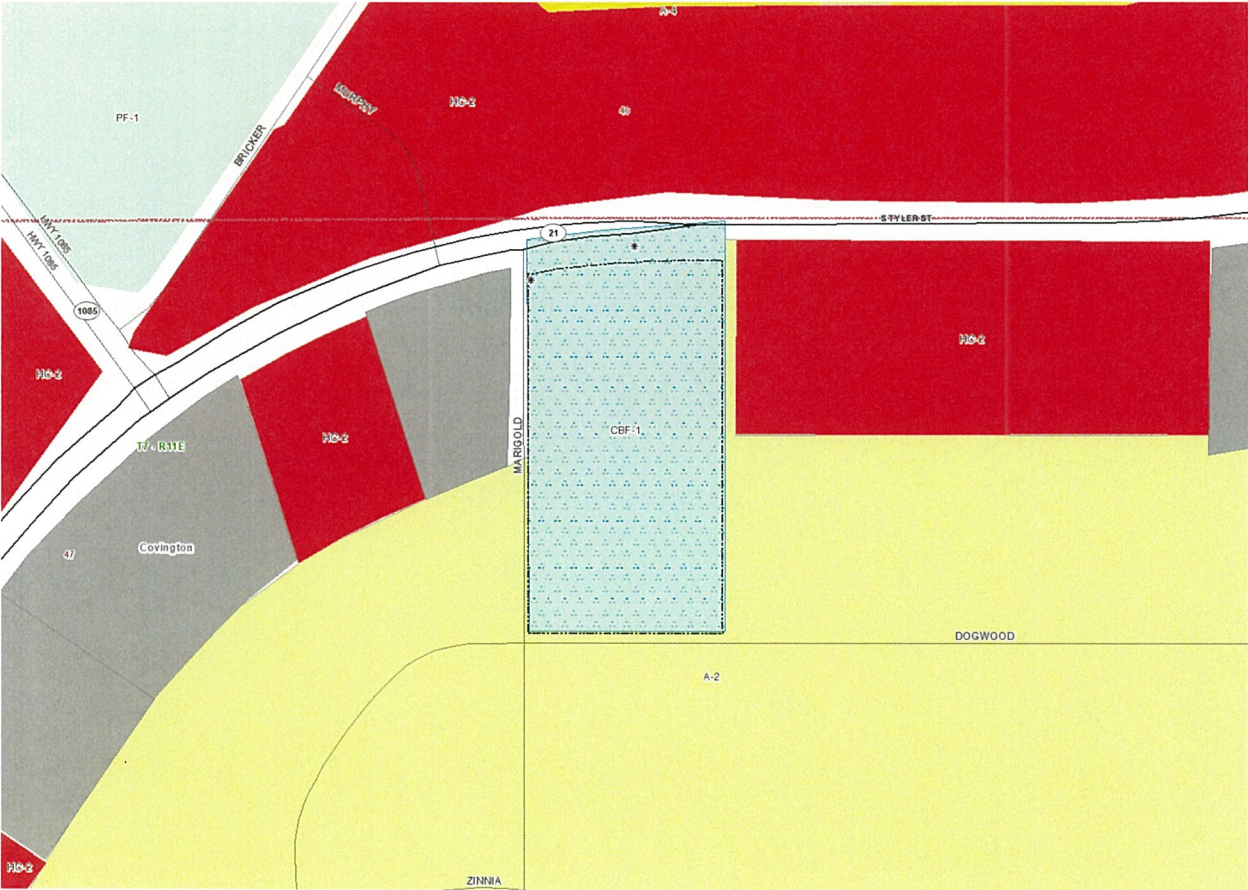
PETITIONER: Holy Trinity Lutheran Church - Rob Olmstead

OWNER: Holy Trinity Lutheran Church - Rob Olmstead

REQUESTED CHANGE: From CBF-1 Community Based Facilities District to PF-1 Public Facilities District

LOCATION: Parcel located on the Southeast corner of LA Highway 21 and Marigold Drive, being 1 N Marigold Drive, Covington, S47, T7S, R11E, Ward 1, District 1

SIZE: 7.1 acres





Reference:
1) A Survey Map by Robert Berlin, Dated 3-23-1964,
Job #J-64-768, for Holy Trinity Lutheran Church
2) A Deed of a Portion of Land taken by
the State of La., State Project No. H-001340/
059-01-0028, referenced to a Survey Plat by
Michael P. Mallett, Dated 7-25-2012 and
revised 3-1-2013
3) Recorded Plat of Flower Estates S/D

Bearings shown Refer to the Louisiana State Plane
Coordinate System (La. South 1702) and was
observed by GPS

Reference calls not shown

This property is located in Flood Zone C, per
Fema Map No. 225205 0210 C, Dated
10-17-1989

This Map is certified to Century Title, Inc.,
Holy Trinity Church & Southern District
Church Extension Fund, Inc.

LS Land Surveying, LLC
518 N. Columbia Street
Covington, LA 70433
(985) 892-6277 office (985) 898-0355 fax

MAP PREPARED FOR

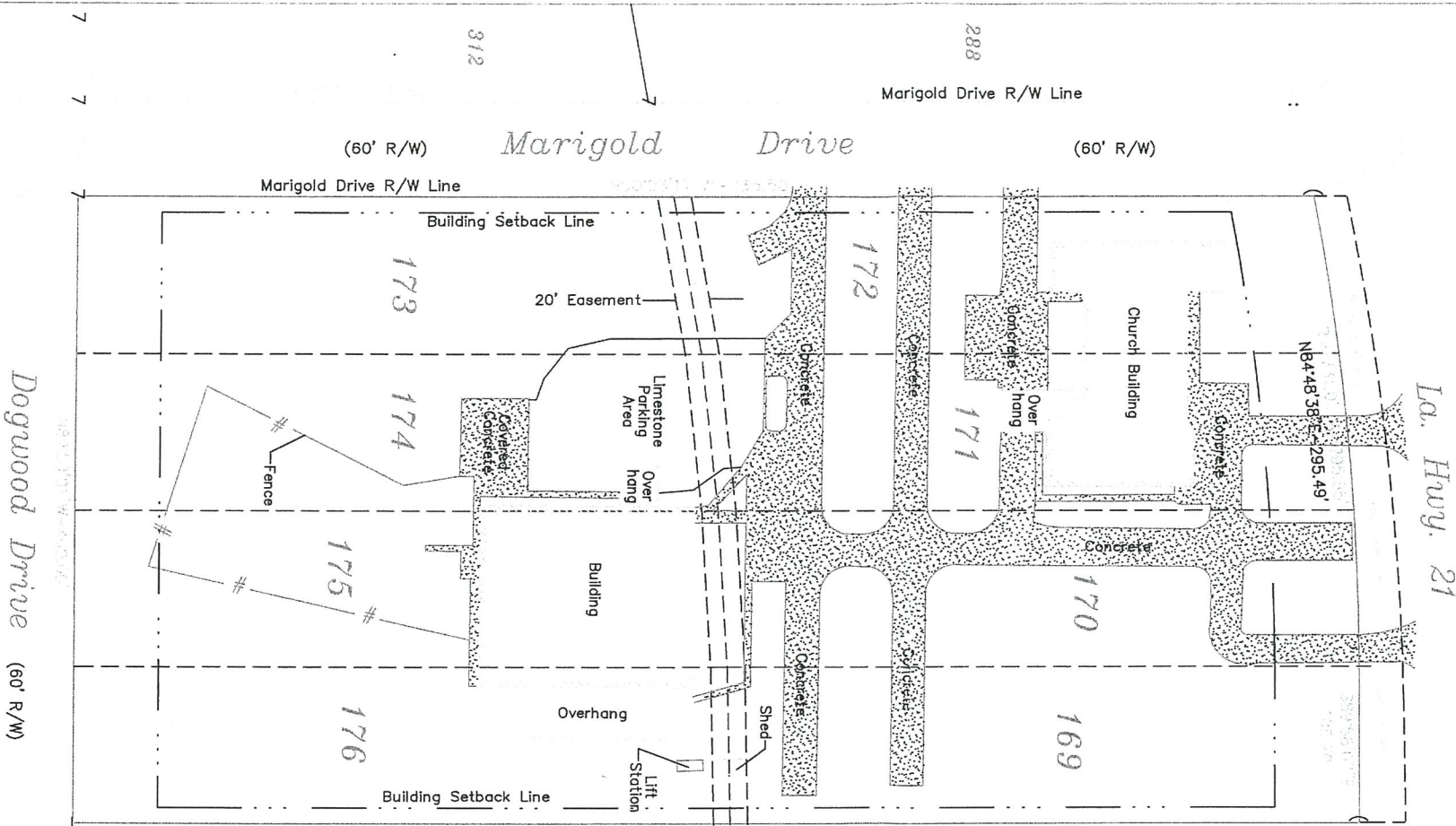
HOLY TRINITY CHURCH

SCALE: 1" = 80'
DATE: 1-6-2018
DRAWN BY: JWG

Lots 169, 170, 171, 172, 173, 174, 175 & 176,
Flower Estates, Section "A", St. Tammany Parish, La.

DRAWN NUMBER
18586

Terr3/HolyTrinityChurch



SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY
EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE
OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON
REQUEST, AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT
OR TITLE SEARCH. THE UNDERSIGNED HAS MADE NO ATTEMPT
TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS.

THIS MAP IS IN ACCORDANCE WITH THE STANDARD
DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY
STANDARDS OF A C SURVEY AND THE APPLICABLE STANDARDS
OF PRACTICE CITED IN LAC 46:LXI.

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE
ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED.

BRUCE M. BUTLER III
LA. PROFESSIONAL LAND SURVEYOR
LIC. NO. 4894

LEGEND:
7 = Fnd. 1/2" Iron Pipe
- = Fnd. 1/2" Iron Rod
: = Fnd. Iron R/W Marker Pin
(= Set 1/2" Iron Rod
, = Set X Cut In Conc.

ZONING STAFF REPORT

Date: 11/25/2019
Case No.: 2019-1668-ZC
Posted: 11/19/2019

Meeting Date: December 3, 2019
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: Mattie Puls
OWNER: Mattie Puls
REQUESTED CHANGE: From A-1 Suburban District to A-2 Suburban District
LOCATION: Parcel located on the north side of Joiner Wymer Road, west of LA Highway 1077, being 12325 Joiner Wymer Road, Covington S33, T6S, R10E, Ward 1, District 3
SIZE: 6.96 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATIO

Type: Parish

Road Surface: 2 Lane Asphalt

Condition: Fair

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Residential	A-1 Suburban District
South	Undeveloped	A-1 Suburban District and A-3 Suburban District
East	Undeveloped	A-1 Suburban District
West	Residential	A-1 Suburban District

EXISTING LAND USE:

Existing development: Yes

Multi occupancy development: No

COMPREHENSIVE PLAN:

Residential - Areas that provide for dwelling units. Such areas may vary in site design, structure design, and in the density of units per acre. Certain areas such as “village or town residential” may include mixed uses and would have the highest number of units per acre, while “Rural residential” would have the lowest number of units per acre, and may include agricultural or open space uses as well. In between these two types of residential areas would be varying levels of single-family detached dwellings, multi-family attached residential, and planned subdivisions for manufactured homes.

STAFF COMMENTS:

The petitioner is requesting to change the zoning designation from A-1 Suburban District to A-2 Suburban District. The site is located on the north side of Joiner Wymer Road, west of LA Highway 1077, being 12325 Joiner Wymer Road, Covington. The 2025 future land use plan designates the site to be developed with residential dwelling units that vary in site design and density.

Staff is not in favor of the request as the petitioned site is surrounded by properties that, for the most part, conform to the A-1 Suburban District zoning classification. The requested A-2 Suburban District designation would allow for a potential increase in the density of the area.

Case No.: 2019-1668-ZC

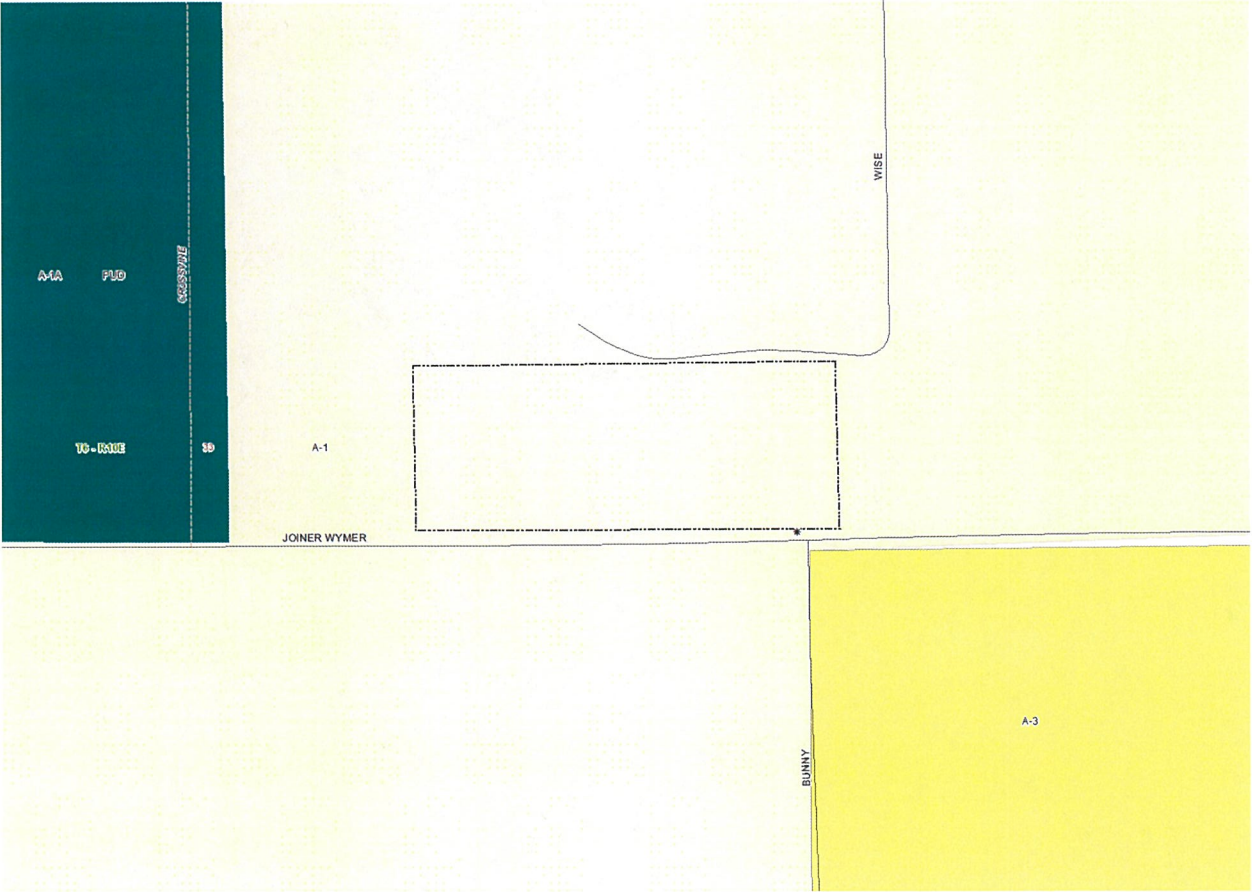
PETITIONER: Mattie Puls

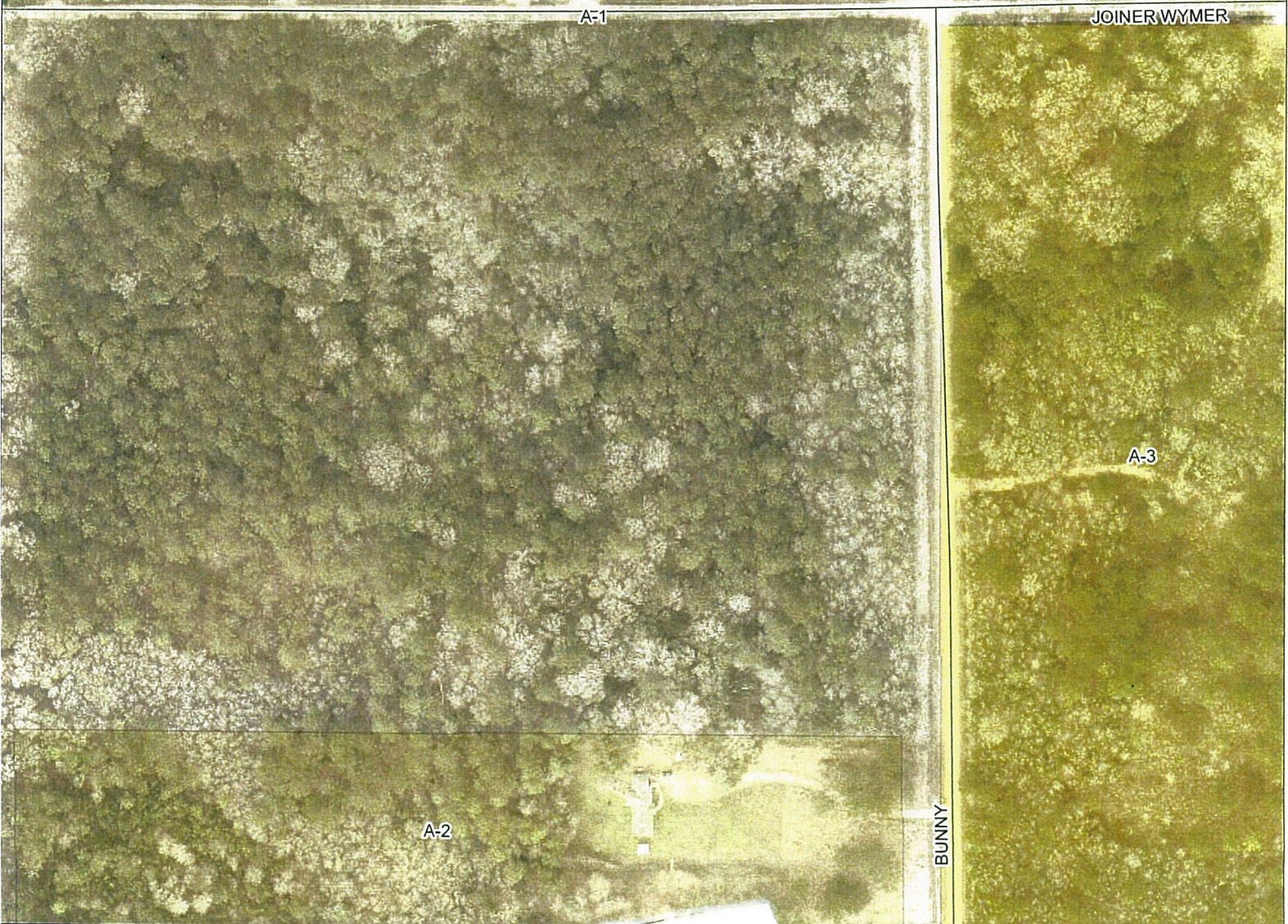
OWNER: Mattie Puls

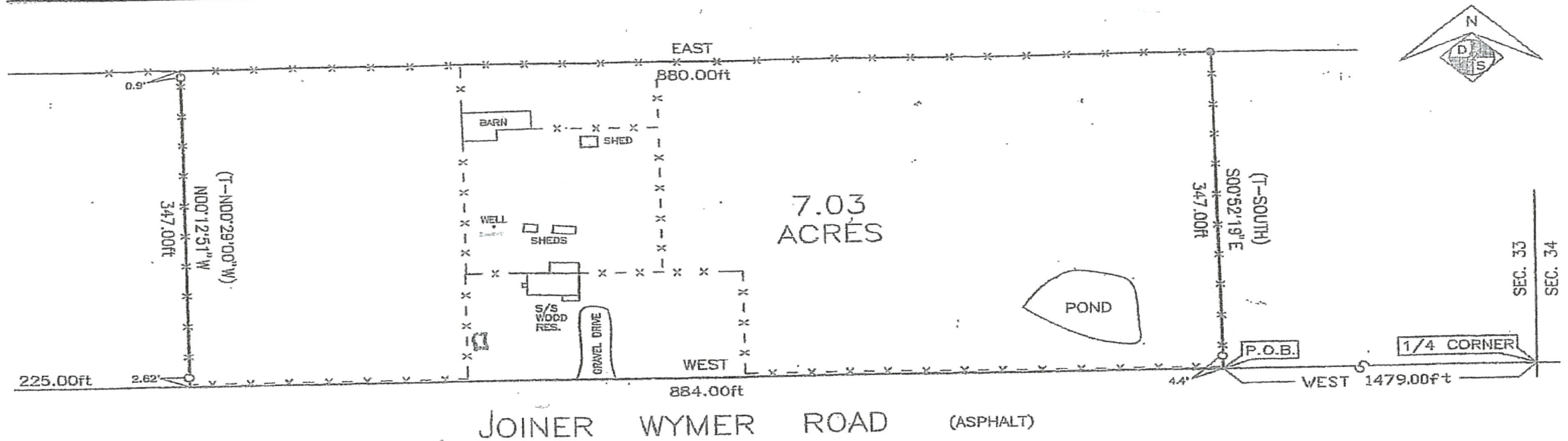
REQUESTED CHANGE: From A-1 Suburban District to A-2 Suburban District

LOCATION: Parcel located on the north side of Joiner Wymer Road, west of LA Highway 1077, being 12325 Joiner Wymer Road, Covington S33, T6S, R10E, Ward 1, District 3

SIZE: 6.96 acres







SURVEY OF THE PROPERTY OF MATTIE PULS

LEGEND

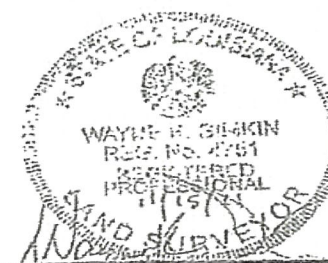
- 1" IRON PIPE FOUND
- 3/8" IRON ROD FOUND
- WOOD FENCE POST

BY EDDIE J. CHAMPAGNE FOR ALVIN P. LANDRY, DATED DEC. 5, 1969.
THE P. PULS OF 10.76 ACRES AS PER SURVEY BY EDDIE J. CHAMPAGNE,
AND SURVEY AND DESCRIPTION FILED IN THE OFFICIAL RECORDS OF THE
COURT OF COURT AND WAS USED AS THE BASIS OF (T) TITLE CALLS AND

NOTE 1) Said property is located in Flood Zone "C" per the Insurance Rate Map for St. Tammany Parish, Community Panel # 225205 0205C Map Revised, OCT. 17, 1989
Base Flood Elevation N/A

NOTE 2) The undersigned surveyor has not performed a title search or abstract. This survey was conducted using documents provided by the client or their agents. Servitudes shown are not necessarily exclusive. Servitudes of record will be added hereto upon request after a title opinion. Plat Revised

I certify this plat represents an actual ground survey in accordance with the applicable standards of practice as stipulated by the Louisiana State Board of Registration for Professional Engineers and Land Surveyors and bears a D survey classification.



WAYNE R. SIMKIN P.L.S. REG. # 4751

A SURVEY OF A PORTION OF GROUND SITUATED
SECTION 33, TOWNSHIP 6 SOUTH, RANGE 10 EAST
ST. TAMMANY PARISH, LOUISIANA.

D & S SURVEYORS, INC.			
PROFESSIONAL LAND SURVEYORS			
2401 N. HWY. 190, SUITE 203, COVINGTON, LOUISIANA 70421 OFFICE (985) 892-2847 ~ FAX (985) 892-2806			
JOB NO.	DRAWN WRS	DATE	SHEET NO.
11-83	CHECKED WRS	11/15/2011	1 OF 1
		SCALE 1"=100'	

ZONING STAFF REPORT

Date: 11/25/2019
Case No.: 2019-1671-ZC
Posted: 11/19/2019

Meeting Date: December 3, 2019
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: Thomas J. Smith
OWNER: John Smith Family, L.L.C.
REQUESTED CHANGE: From A-1 Suburban District to A-3 Suburban District
LOCATION: Parcel located on the northeast side of LA Highway 1091, south of Cornibe Road, being 62532 LA Highway 1091, Pearl River
SIZE: 2.364 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: State

Road Surface: 2 Lane Asphalt

Condition: Good

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Undeveloped	A-1 Suburban District
South	Residential	A-3 Suburban District
East	Undeveloped	A-1 Suburban District and PUD Planned Unit Development Overlay
West	Residential	MD-1 Medical Residential District

EXISTING LAND USE:

Existing development: Yes

Multi occupancy development: No

COMPREHENSIVE PLAN:

Residential - Areas that provide for dwelling units. Such areas may vary in site design, structure design, and in the density of units per acre. Certain areas such as “village or town residential” may include mixed uses and would have the highest number of units per acre, while “Rural residential” would have the lowest number of units per acre, and may include agricultural or open space uses as well. In between these two types of residential areas would be varying levels of single-family detached dwellings, multi-family attached residential, and planned subdivisions for manufactured homes.

STAFF COMMENTS:

The petitioner is requesting to change the zoning classification from A-1 Suburban District to A-3 Suburban District. The parcel is located on the northeast side of LA Highway 1091, south of Cornibe Road, being 62532 LA Highway 1091, Pearl River. The 2025 future land use plan designates the site to be developed with residential dwelling units that vary in site design and density.

Staff is not in favor of the request as the majority of the surrounding property north of Highway 1091 maintains the A-1 Suburban District designation. The petitioned A-2 Suburban District designation would potentially allow for a higher density and smaller lot sizes than what currently exists in the area.

Case No.: 2019-1671-ZC

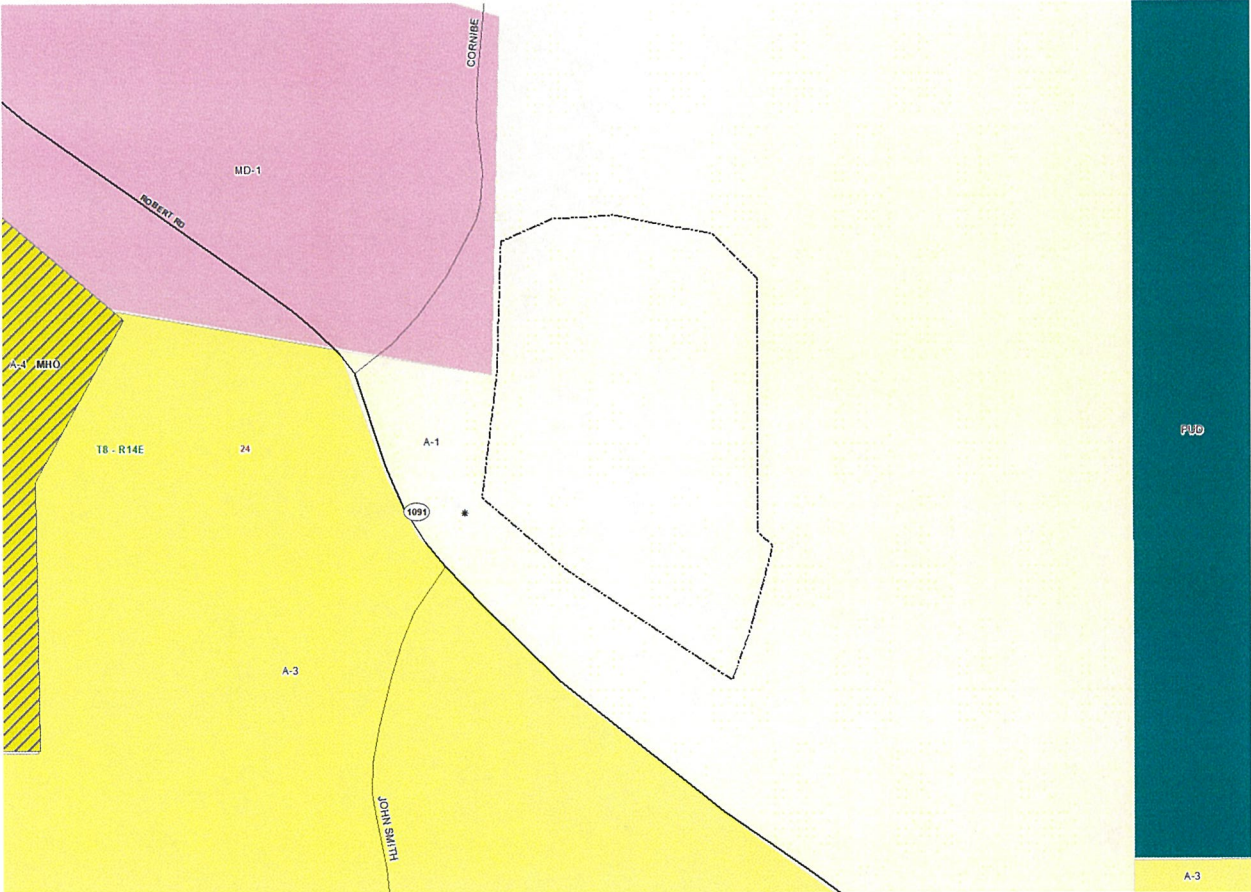
PETITIONER: Thomas J. Smith

OWNER: John Smith Family, L.L.C.

REQUESTED CHANGE: From A-1 Suburban District to A-3 Suburban District

LOCATION: Parcel located on the northeast side of LA Highway 1091, south of Cornibe Road, being 62532 LA Highway 1091, Pearl River

SIZE: 2.364 acres



CLEO

2019-1671-ZC

13

T8S - R14E

14

HENRY

A-4

BUCKLEY

MD-1

CORNIBE

ROBERT RD

A-4

A-1

24

PUD

BERKSHIRE

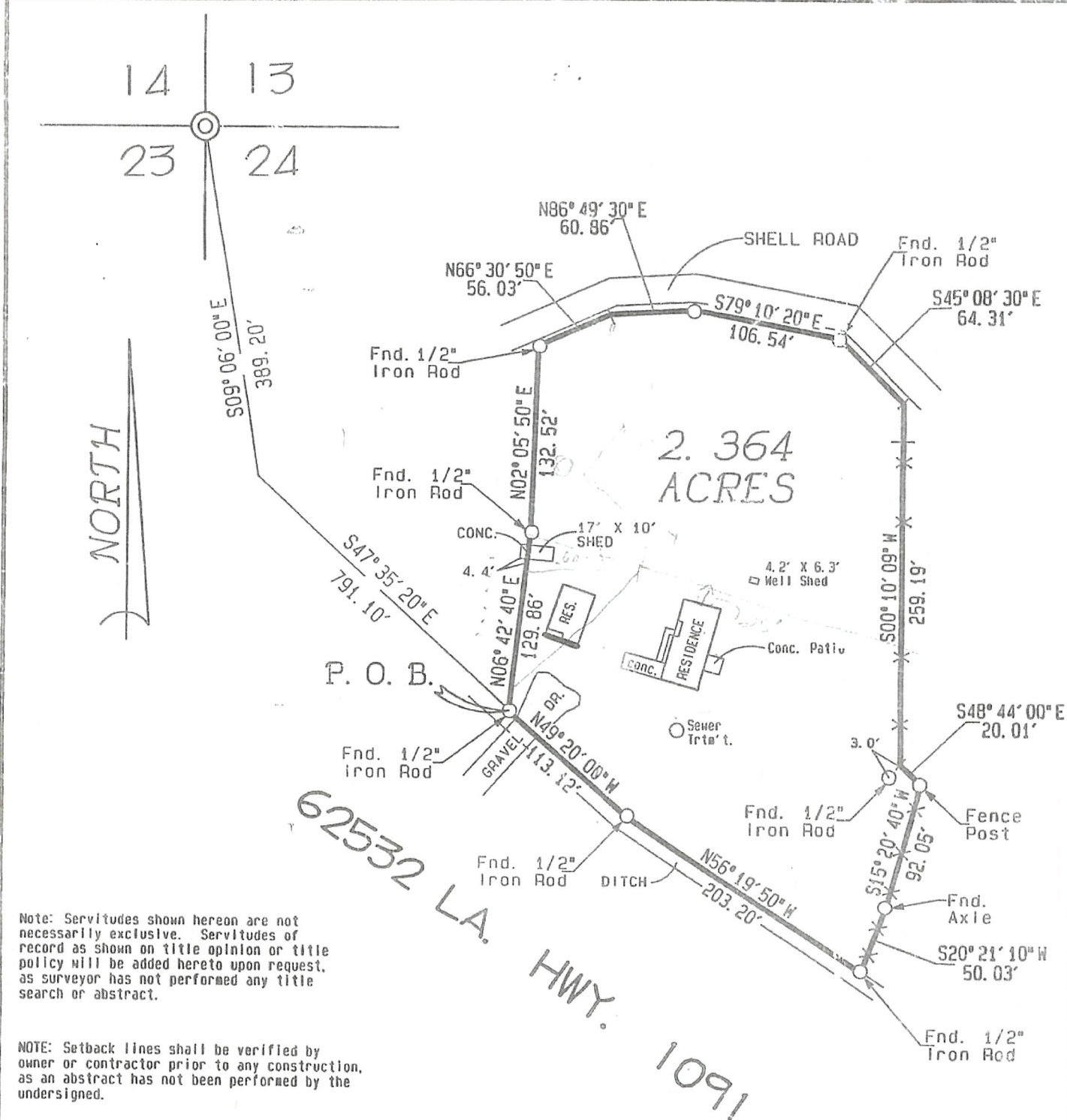
JOHN SMITH

A-3

BOYD

A-3

T-4



Note: Servitudes shown hereon are not necessarily exclusive. Servitudes of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.

NOTE: Setback lines shall be verified by owner or contractor prior to any construction, as an abstract has not been performed by the undersigned.

Note: This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described is located in Flood Zone(s) "C" with a Base Flood Elevation of N/A in accordance with Community Panel No. 225205 0410 C ; Revised: OCTOBER 17, 1989.

This is to certify that I have done an actual ground survey and found that no encroachments exist either way across any property lines except as shown.

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL; AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS "D" SURVEY.

SURVEY MAP OF
A 2.364 ACRE PARCEL OF LAND SITUATED IN
SECTION 24, T-8-S, R-14-E
in
St. Tammany Parish, Louisiana
for

JESSE SMITH

Survey No. 95088
Date: MARCH 3, 1995

Drawn by: RMK
Revised:

Scale: 1" = 30'

JOHN E. BONNEAU & ASSOCIATES, INC.
Professional Land Surveyors • Planners and Consultants
1011 N. CAUSEWAY BLVD. - SUITE 34 • MANDEVILLE, LA. 70471 (504) 626-0808
SLIDELL (504) 643-2508 • MANDEVILLE (504) 626-3546 • N. O. (504) 456-2042
FAX NO. (504) 626-0057

This Survey is Certified
True and Correct By
JOHN E. BONNEAU
REG. No. 4423
REGISTERED
PROFESSIONAL
Surveyor
John E. Bonneau
Professional Land Surveyor
Registration No. 4423

ZONING STAFF REPORT

Date: 11/25/2019
Case No.: 2019-1678-ZC
Posted: 11/19/2019

Meeting Date: December 3, 2019
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: Jose & Maria Morales
OWNER: Jose & Maria Morales
REQUESTED CHANGE: From A-1 Suburban District, MHO Manufactured Housing Overlay & RO Rural Overlay to A-2 Suburban District, MHO Manufactured Housing Overlay & RO Rural Overlay
LOCATION: Parcel located on the southeast corner of Lee Settlement Road and Bill Lee Road, Folsom, S6, T5S, R10E, Ward 2, District 3
SIZE: 4.918 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: Parish

Road Surface: 1 Lane Asphalt

Condition: Good

LAND USE CONSIDERATIONS
SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Residential	A-1 Suburban District, MHO Manufactured Housing Overlay & RO Rural Overlay
South	Residential	A-1 Suburban District, MHO Manufactured Housing Overlay & RO Rural Overlay
East	Undeveloped and Residential	A-1 Suburban District, MHO Manufactured Housing Overlay & RO Rural Overlay
West	Residential	A-1 Suburban District, A-2 Suburban District, MHO Manufactured Housing Overlay & RO Rural Overlay

EXISTING LAND USE:

Existing development: No

Multi occupancy development: No

COMPREHENSIVE PLAN:

Residential/ Agricultural - Agricultural and related or other active or passive uses that use or preserve the countryside, forests and other areas and rural residential uses – widely ranging in dwelling size or type, siting and organization; both of which are generally located some distance from more intense land uses. Permitted uses include single-family residential, and uses ancillary to either of these primary uses. Other uses require a change in zoning.

STAFF COMMENTS:

The petitioner is requesting to change the zoning from A-1 Suburban District, MHO Manufactured Housing Overlay and RO Rural Overlay to A-2 Suburban District, MHO Manufactured Housing Overlay, and RO Rural Overlay. The petitioned property is located on the southeast corner of Lee Settlement Road and Bill Lee Road, Folsom. The 2025 future land use plan designates the site to be developed with single-family residential uses that preserve the countryside.

Staff is not in favor of the request as the petitioned property is flanked by lots that, for the most part, conform to the existing A-1 Suburban District designation. The requested zoning classification would allow for a potential increase in density and smaller parcel configurations.

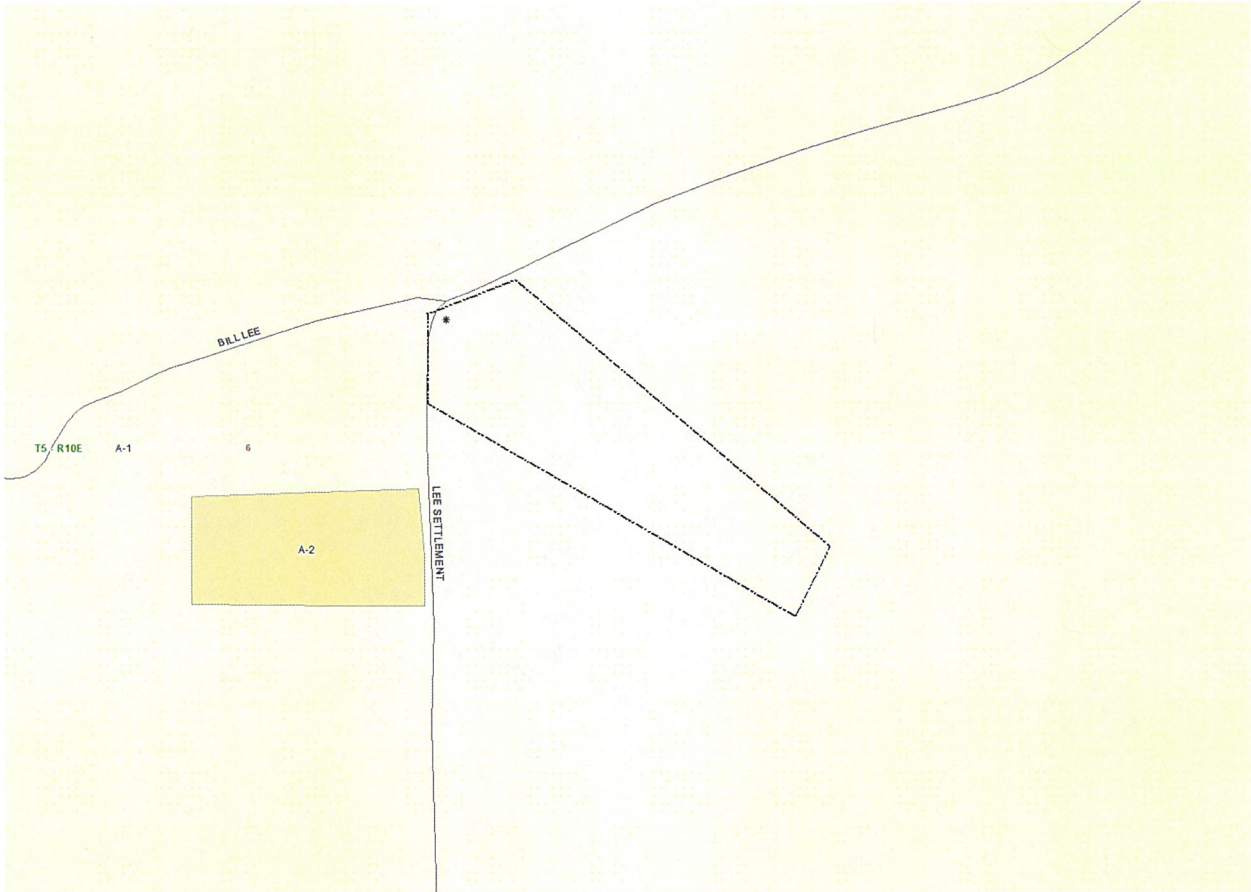
Case No.: 2019-1678-ZC
PETITIONER: Jose & Maria Morales

OWNER: Jose & Maria Morales

REQUESTED CHANGE: From A-1 Suburban District, MHO Manufactured Housing Overlay & RO Rural Overlay to A-2 Suburban District, MHO Manufactured Housing Overlay & RO Rural Overlay

LOCATION: Parcel located on the southeast corner of Lee Settlement Road and Bill Lee Road, Folsom, S6, T5S, R10E, Ward 2, District 3

SIZE: 4.918 acres



A-1

BILL LEE

LEE SETTLEMENT

T5S - R10E

A-2

6

WESLEY

2019-1678-ZC

PLAT PREPARED FOR:

Jose Morales

SCALE

1" = 100'

DATE:

5/23/2019

THIS PLAT REPRESENTS A PHYSICAL SURVEY MADE ON THE GROUND BY ME OR THOSE UNDER MY DIRECTION AND IS IN ACCORDANCE WITH THE APPLICABLE STANDARDS OF PRACTICE AND BEARS A CLASS C SURVEY.

PROFESSIONAL LAND SURVEYOR

A PARCEL OF LAND LOCATED IN SECTION 6, TOWNSHIP 5 SOUTH, RANGE 10 EAST, ST. TAMMANY PARISH, LOUISIANA.

JOHN G. CUMMINGS & ASSOCIATES

(985) 892-1549

PROFESSIONAL LAND SURVEYORS

503 N. JEFFERSON AVE.

COVINGTON, LA 70433

JOB NO.

19112

BILL LEE ROAD
(ASPHALT)

LEE SETTLEMENT ROAD
(ASPHALT)

CALLS ALONG PROPERTY LINE
LINE BEARING DISTANCE

L1	N30°17'34"E	12.98'	(RS=N30°29'11"E)
L2	N44°10'18"W	36.04'	(RS=N44°05'06"W)
L3	N79°04'19"W	39.79'	(RS=N79°07'05"W)
L4	S69°39'50"W	12.11'	(RS=S69°52'51"W)

REFERENCE SURVEYS:

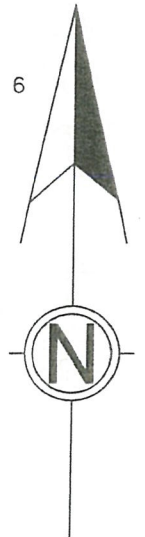
1. Survey for Mrs. Lula L. Manton & Mrs. Hazel L. Regan, et al by Gerald Fussell, Surveyor, dated April 14, 1984.

2. Survey for Carlos A. Montenegro & Kelle M. Montenegro by Jeron R. Fitzmorris, Surveyor, dated February 6, 2008.

THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND/OR RESTRICTIONS HAVE BEEN SHOWN HEREON. ANY SERVITUDES AND/OR RESTRICTIONS SHOWN ON THIS PLAT ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION AND/OR INFORMATION FURNISHED THE UNDERSIGNED. A TITLE OR PUBLIC RECORD SEARCH FOR SUCH INFORMATION WAS NOT MADE BY THE UNDERSIGNED IN COMPILING DATA FOR THIS SURVEY.

REFERENCE BEARING:
Along the South Line of Sec. 6 West
(per Reference Survey No. 1)

POB is reported to be West 1157.20'; N00°20'W 750.0'; N25°33'W 608.90' & S26°17'43"W 163.47' from the Section Corner common to Sections 5, 6, 7, & 8, T5S, R10E.



LEGEND

○ = 1" IRON PIPE FOUND
● = 3/4" IRON PIPE FOUND
⊗ = 5/8" IRON ROD FOUND
⊙ = 1/2" IRON ROD FOUND
RS = REFERENCE SURVEY NO. 2

NOTE:

This property is located in Flood Zone C, per F.E.M.A. Map No. 225205 0025 B, dated March 1, 1984.

4.918 ACRES

ST. TAMMANY PARISH COUNCIL

ORDINANCE

ORDINANCE CALENDAR NO. _____ ORDINANCE COUNCIL SERIES NO. _____

COUNCIL SPONSOR _____ PROVIDED BY: PLANNING & DEVELOPMENT

INTRODUCED BY: _____ SECONDED BY: _____

ON THE _____ DAY OF _____, 2019

ORDINANCE AMENDING THE ST. TAMMAY PARISH
UNIFIED DEVELOPMENT CODE, CHAPTER 130, TO
AMEND SECTION 130-969 RELATIVE TO PERMITTED
USES IN HC-3 HIGHWAY COMMERCIAL DISTRICT TO
ADD A NEW PERMITTED USE "CEMETERY".

Whereas, the Zoning Commission of the Parish of St. Tammany after hearing in accordance with law, 2019-1690-ZC, has recommended to the Council of the Parish of St. Tammany, Louisiana, that the text of Chapter 130 St. Tammany Parish Unified Development Code to amend Section 130-969 relative to permitted uses in HC-3 Highway Commercial District to add a new permitted use "Cemetery".; and

WHEREAS, the St. Tammany Parish Government considers the possibility that the amendment below may be advantageous to the economic development of St. Tammany Parish; and;

WHEREAS, the St. Tammany Parish Government considers that it is in the best interest of the business and citizens of St. Tammany Parish to add the use of cemetery to the HC-3 Highway Commercial District

THE PARISH OF ST. TAMMANY HEREBY ORDAINS, that it amends Chapter 130 St. Tammany Unified Development Code, as follow:

Amend Division 27 HC-3 Highway Commercial District **specifically Section 130.969 PERMITTED USES, add a new**
(14) Cemetery

REPEAL: All Ordinances or parts of Ordinances in conflict herewith are hereby repealed.

SEVERABILITY: If any provision of this Ordinance shall be held to be invalid, such invalidity shall not affect other provisions herein which can be given effect without the invalid provision and to this end the provisions of this Ordinance are hereby declared to be severable.

EFFECTIVE DATE: This Ordinance shall become effective fifteen (15) days after adoption.

MOVED FOR ADOPTION BY: _____, SECONDED BY: _____

WHEREUPON THIS ORDINANCE WAS SUBMITTED TO A VOTE AND RESULTED IN THE FOLLOWING:

YEAS:

NAYS:

ABSTAIN:

ABSENT:

THIS ORDINANCE WAS DECLARED DULY ADOPTED AT A REGULAR MEETING OF THE PARISH COUNCIL ON THE _____ DAY OF _____, 2019; AND BECOMES ORDINANCE COUNCIL SERIES NO. 19-_____.

MICHAEL LORINO JR., COUNCIL CHAIRMAN

ATTEST:

THERESA L. FORD, COUNCIL CLERK

PATRICIA P. BRISTER, PARISH PRESIDENT

Published Introduction: _____, 2019

Published Adoption: _____, 2019

Delivered to Parish President: _____, 2019 at

Returned to Council Clerk: _____, 2019 at

ZONING STAFF REPORT

Date: 11/25/2019
Case No.: 2019-1691-ZC
Posted: 11/19/2019

Meeting Date: December 3, 2019
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: Jones Fussell, L.L.P. - Jeffrey Schoen
OWNER: Martin Oramous
REQUESTED CHANGE: From A-5 Two Family Residential District to A-4A Single-Family Residential District
LOCATION: Parcel located on the west side of Louisiana Highway 1090, north of Interstate Highway 10, east of Interstate Highway 59, Slidell, S31, T8S, R15E, Ward 8, District 9
SIZE: 58.910 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: State **Road Surface:** 2 Lane Asphalt **Condition:** Good

LAND USE CONSIDERATIONS
SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Residential	A-5 Two-Family Residential District and MHO Manufactured Housing Overlay
South	Interstate 10 and Residential	A-4 Single-Family Residential District
East	Residential and Undeveloped	A-1 Suburban District
West	Undeveloped	A-5 Two-Family Residential District

EXISTING LAND USE:

Existing development: No **Multi occupancy development:** No

COMPREHENSIVE PLAN:

Conservation - Areas designated for uses of land, water, flora and fauna that appear naturally. Such uses may include such activities as extraction or production for commerce; human enjoyment, hunting, fishing, or other recreation within natural landscapes; or preservation of natural systems. The concept of “conservation” includes a private landowner’s understanding of responsibility to wisely manage that resource so that it remains in good condition for future generations (often simple referred to as “good stewardship”); this concept may also include the conservation of energy through efficient transportation options as well as through climate responsive building design, as well as the conservation of historic, scenic, or otherwise serviceable buildings and landscapes. Means to achieve conservation are myriad and include both private and public sector initiatives – such means will be considered in subsequent phases of the New Directions 2025 planning process.

Residential Infill – New residential uses developed on undeveloped tracts within existing residential districts that are compatible with, or improve upon, those existing uses. Such uses may be allowed a greater density of use, in exchange for public benefits that would be provided.

STAFF COMMENTS:

The petitioner is requesting to change the zoning from A-5 Two-Family Residential District to A-4A Single-Family Residential District. The petitioned property is located on the west side of Louisiana Highway 1090, north of Interstate Highway 10, east of Interstate Highway 59, Slidell. The 2025 future land use plan designates the site to be utilized for conservation including recreational uses and residential infill.

Staff has no objection to the request as it will decrease the site density from its current A-5 Two-Family Residential zoning designation to single-family residential zoning and adheres to the 2025 future land use designation.

Note that the zoning change is being requested to establish the underlying zoning of the property for a proposed residential PUD Planned Unit Development Overlay (2019-1692-ZC). Staff recommends postponement of this case until the requested information for the proposed PUD is provided.

Case No.: 2019-1691-ZC

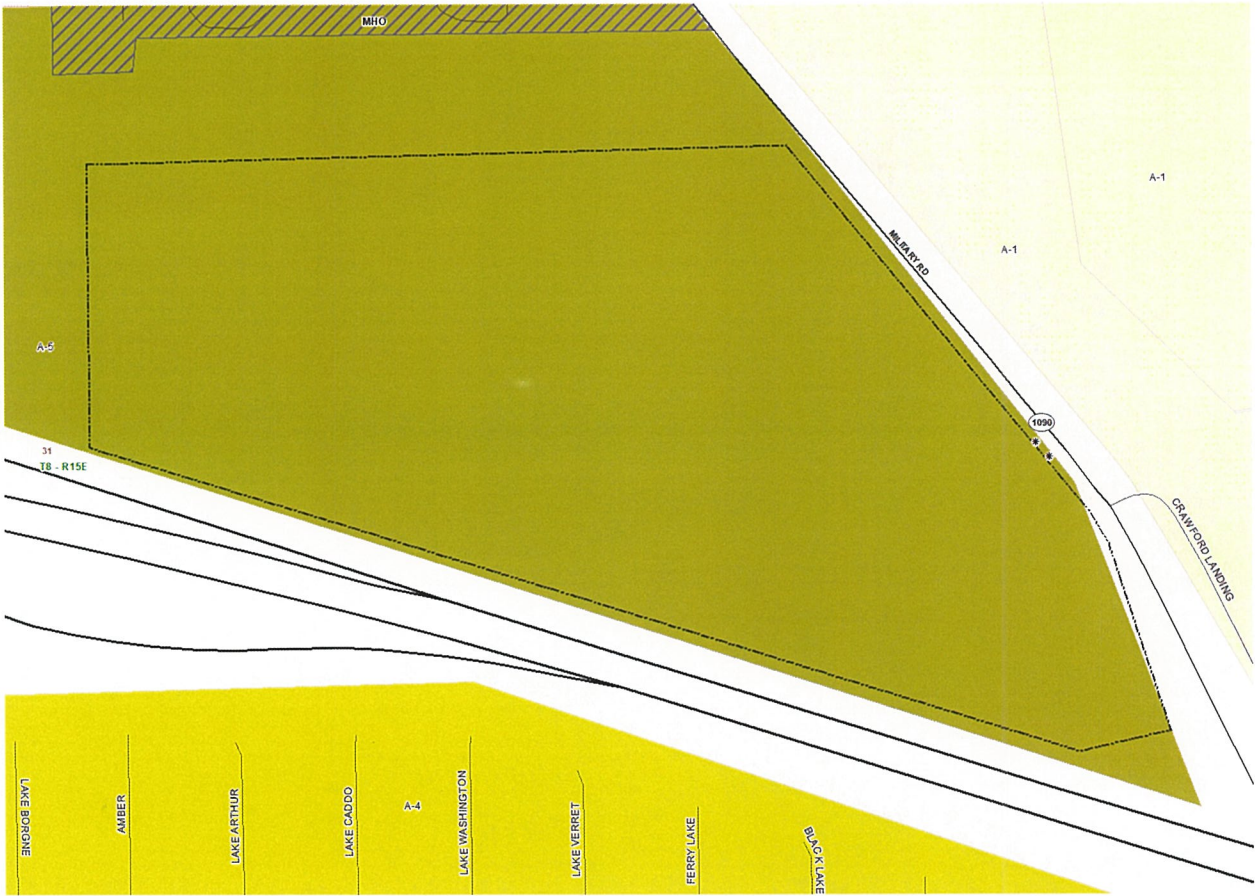
PETITIONER: Jones Fussell, L.L.P. - Jeffrey Schoen

OWNER: Martin Oramous

REQUESTED CHANGE: From A-5 Two Family Residential District to A-4A Single-Family Residential District

LOCATION: Parcel located on the west side of Louisiana Highway 1090, north of Interstate Highway 10, east of Interstate Highway 59, Slidell

SIZE: 58.910 acres





ZONING STAFF REPORT

Date: 11/25/2019
Case No.: 2019-1692-ZC
Posted: 11/19/2019

Meeting Date: December 3, 2019
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: Jones Fussell, L.L.P. - Jeffrey Schoen
OWNER: Martin Oramous
REQUESTED CHANGE: From A-5 Two-Family Residential to PUD Planned Unit Development Overlay
LOCATION: Parcel located on the west side of Louisiana Highway 1090, north of Interstate Highway 10, east of Interstate Highway 59, Slidell, S31, T8S, R15E, Ward 8, District 9
SIZE: 58.910 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: State

Road Surface: Two Lane Asphalt

Condition: Good

LAND USE CONSIDERATIONS
SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Residential	A-5 Two-Family Residential District and MHO Manufactured Housing Overlay
South	Interstate 10 and Residential	A-4 Single-Family Residential District
East	Residential and Undeveloped	A-1 Suburban District
West	Undeveloped	A-5 Two-Family Residential District

EXISTING LAND USE:

Existing development: No

Multi occupancy development: No

COMPREHENSIVE PLAN:

Conservation - Areas designated for uses of land, water, flora and fauna that appear naturally. Such uses may include such activities as extraction or production for commerce; human enjoyment, hunting, fishing, or other recreation within natural landscapes; or preservation of natural systems. The concept of “conservation” includes a private landowner’s understanding of responsibility to wisely manage that resource so that it remains in good condition for future generations (often simple referred to as “good stewardship”); this concept may also include the conservation of energy through efficient transportation options as well as through climate responsive building design, as well as the conservation of historic, scenic, or otherwise serviceable buildings and landscapes. Means to achieve conservation are myriad and include both private and public sector initiatives – such means will be considered in subsequent phases of the New Directions 2025 planning process.

Residential Infill – New residential uses developed on undeveloped tracts within existing residential districts that are compatible with, or improve upon, those existing uses. Such uses may be allowed a greater density of use, in exchange for public benefits that would be provided.

STAFF COMMENTS

The petitioner is requesting to change the zoning from A-5 Two-Family Residential District to PUD Planned Unit Development Overlay. The petitioned property is located on the west side of Louisiana Highway 1090, north of Interstate Highway 10, east of Interstate Highway 59, Slidell.

SUBDIVISION INFORMATION

The proposed subdivision will provide 226 lots with an average lot size of 50x100. Note that Lot 17 is currently shown as “reserved for an emergency ingress/egress”. If this is to remain, staff recommends that the lot designation be removed and the hatching be relocated to align with the current proposed Millie Drive.

ACCESS

The site is proposed to be accessed from Highway 1090. The applicant is currently providing the minimum required standards where only one entrance is provided, including one 14-foot-wide ingress travel lane on one side of a required median and a minimum of two ten-foot-wide egress travel lanes on the other side of the median.

DENSITY

As required under Section 6.0103 A.4.of the Planned Unit Development Overlay, the net density shall be provided, based upon the underlying zoning classification, utilizing the formula (Total Area x .75 = _____ x maximum net density = _____ lots (units)), or the number of lots/units may be established by a yield plan.

The gross density is based on the underlying zoning of A-4A Single Family Residential District, which would allow for a total of 265 units. The proposal is for 226 residential units, which meets the maximum net density allowable within the PUD development.

GENERAL INFORMATION

Required information	Staff Comments
Title of the project, name of the developer, legal description	Provided as Required
Existing Land Use within 500' of all boundaries on the plan	Provided as Required
Setbacks & Maximum height	Provided as Required. Provide maximum height.
Restrictive Covenants	Provided as Required
Water & Sewer facilities	Provide designated location on site or off-site utility company.
Wetland Delineations	Provided as Required
Flood Zone Demarcation Lines	Provided as Required
Ultimate Disposal of Surface Drainage	Provided as Required
Environmental Assessment Data Form	Provided as Required

GREENSPACE

A total of 15.19 acres of greenspace is proposed to be provided within the subdivision, including a pond, and passive and active greenspace areas.

Note that there is an existing 2 acre cemetery located within the proposed subdivision. While the current request does not include the cemetery within the proposed PUD Planned Unit Development Overlay, the proposed plat does provide access to the cemetery and allow it to exist within its current state.

The current subdivision plat dated 10/2/2019 shows a 10’ private drainage servitude in favor of the HOA around the perimeter of the proposed 6.46 acre pond. Residential ponds accepted into the Parish maintenance system require a minimum 15-foot access to the area around the pond with ten feet on a flat surface and not on a pond side slope. While not a requirement, Staff recommends that the access be provided exclusive of the proposed lots to ensure adequate access to the pond for future maintenance.

Amenities	Acreage	Type of Amenities
Passive	Provide the % of acreage that will be dedicated to each passive and active use.	Walking paths
Active	Provide the % of acreage that will be dedicated to each passive and active use.	Play equipment including half-court basketball and playground equipment

Comments:

- a. Show the location of all proposed amenities
- b. Provide the location of the walking path as well as all construction materials
- c. Show the number of parking spaces dedicated to each amenity including the construction materials

A complete Recreational Development Plan shall be submitted depicting the proposed amenities, a time schedule for development, and the entity whom shall be responsible for the liability and maintenance of the recreational amenities and greenspace areas.

COMPREHENSIVE PLAN ANALYSIS

The 2025 future land use plan designates the site to be utilized for conservation including recreational uses and residential infill. The proposed development meets the objective of the 2025 future land use plan.

The proposed subdivision plat adheres to a large portion of the general standards of the PUD designation, including the preservation of natural features, efficient and effective traffic circulation, and environmentally sensitive design.

Staff is requesting additional information needed for a thorough review and therefore recommends postponement of the case until the requested information is provided.

Case No.: 2019-1692-ZC

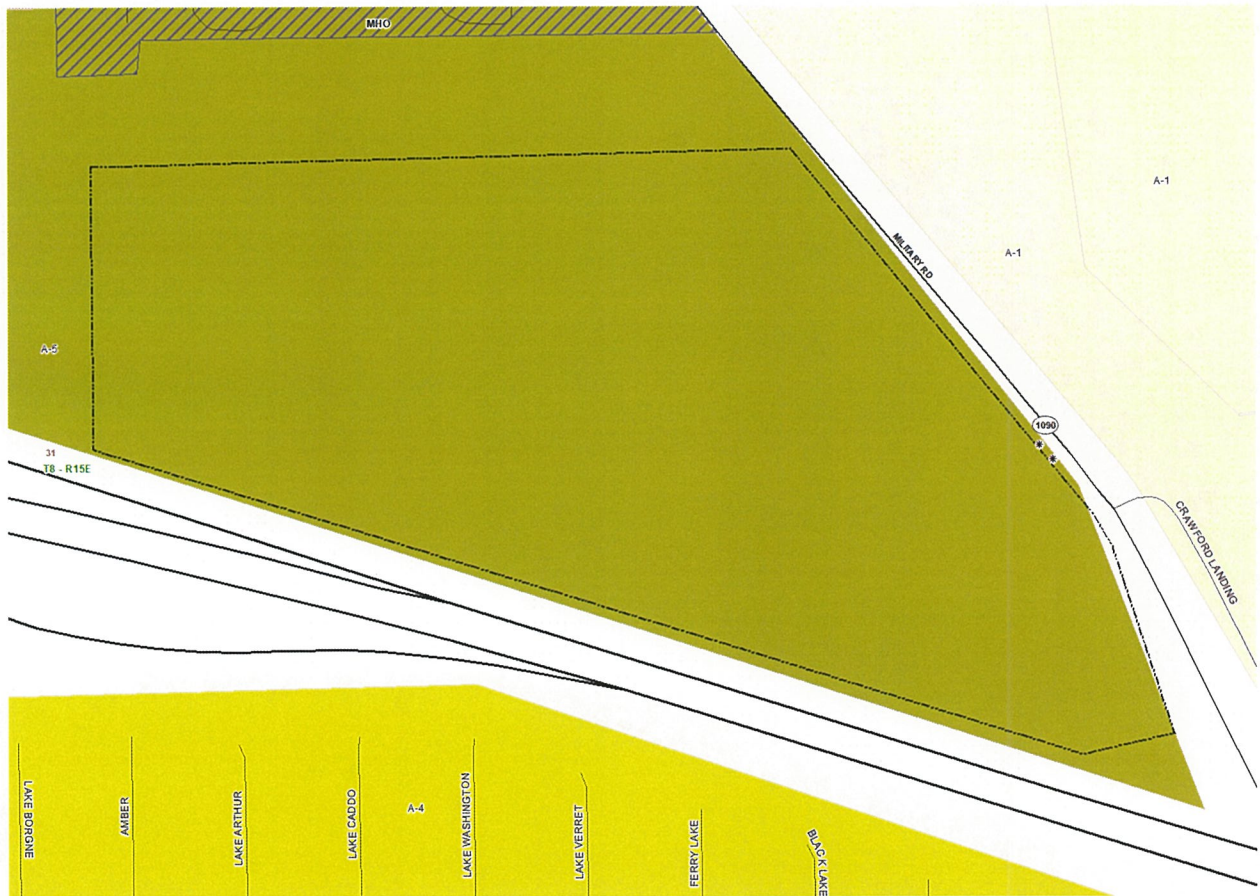
PETITIONER: Jones Fussell, L.L.P. - Jeffrey Schoen

OWNER: Martin Oramous

REQUESTED CHANGE: From A-5 Two Family Residential District to PUD Planned Unit Development Overlay

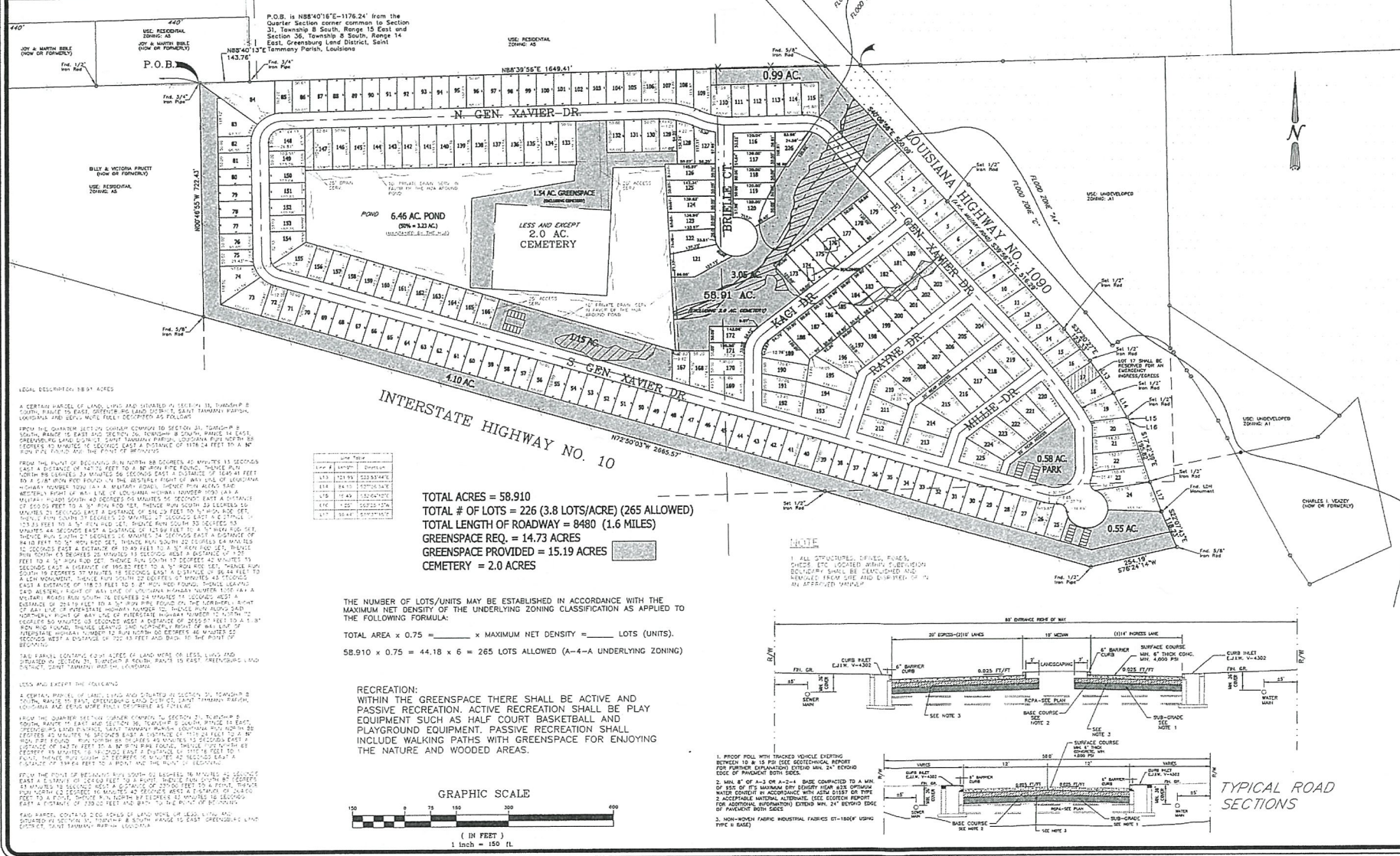
LOCATION: Parcel located on the west side of Louisiana Highway 1090, north of Interstate Highway 10, east of Interstate Highway 59, Slidell

SIZE: 58.910 acres





PUD PLAN FOR
MILITARY RIDGE
A PLANNED UNIT DEVELOPMENT
LOCATED IN SECTIONS 31, T-8-S, R-15-E,
ST. TAMMANY PARISH, LOUISIANA



- RESTRICTIVE COVENANTS**
1. EACH UNIT/SITE WILL NOT HAVE MORE THAN ONE DWELLING.
 2. FRONT BUILDING SETBACK WILL NOT BE LESS THAN 15' FROM EACH FRONT SITE LINE. THE REAR SETBACK SHALL NOT BE LESS THAN 10' FROM EACH REAR SITE LINE. THE SIDE SETBACK SHALL NOT BE LESS THAN 5' FROM EACH SIDE SITE.
 3. CONSTRUCTION OF ANY NATURE IS PROHIBITED IN DRAINAGE AND STREET EASEMENTS.
 4. NO NOXIOUS OR OFFENSIVE ACTION SHALL BE CARRIED UPON ANY UNIT, NOR SHALL ANYTHING BE DONE THEREON WHICH MAY OR MAY BECOME AN ANNOYANCE OR INJURY TO THE NEIGHBORHOOD, PARTICULARLY THE USE OF UNITS AS DUMPS OR JUNK CAR STORAGE.
 5. THE MINIMUM FINISH FLOOR ELEVATIONS REQUIRED SHALL BE 15.0' ABOVE MEAN SEA LEVEL.
 6. DRIVEWAY CULVERTS ARE NOT REQUIRED BECAUSE SUBDIVISION HAS SUBSURFACE DRAINAGE.
 7. MOBILE HOMES ARE NOT PERMITTED TO OCCUPY LOTS AS A RESIDENCE IN THIS SUBDIVISION.
 8. ACCESSORY BUILDINGS WITH A SIZE OF LESS THAN 5% OF THE AREA OF THE ON WHICH THE MAIN BUILDING IS SITUATED MAY BE LOCATED FIVE (5) FEET FROM THE NEAREST INTERIOR SIDE & REAR LOT LINES PROVIDED THE BUILDING LENGTH DOES NOT EXCEED THIRTY (30) FEET & THE BUILDING HEIGHT DOES NOT EXCEED 20 FEET.
 9. TELECOMMUNICATION CABINET IS PERMITTED TO BE LOCATED WITHIN THE GREENSPACE.
 10. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED BEFORE THE SEWERAGE AND WATER SYSTEMS ARE INSTALLED AND OPERABLE OR OTHERWISE CONNECTED TO A COMMUNITY (CENTRAL) SEWERAGE AND/OR WATER SYSTEM(S), ALL AS APPROVED BY THE ST. TAMMANY PARISH DEPARTMENT OF ENVIRONMENTAL SERVICES. PARISH, WHENEVER A SUBDIVISION IS SERVED BY A COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY), NO PRIVATE WATER SUPPLY MAY BE DRILLED OR OTHERWISE CONSTRUCTED ON ANY LOT FOR THE PURPOSE OF SUPPLYING PORTABLE WATER TO ANY BUILDING OR STRUCTURE, EXCEPT FOR THE PURPOSE OF IRRIGATION, AND IN NO EVENT SHALL THERE BE A PHYSICAL CONNECTION BETWEEN ANY SUCH SOURCE AND ANY ELEMENT OF THE COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY).
 11. DRIVEWAYS ON CORNER LOTS SHALL NOT BE LOCATED ANY NEARER THAN 60 FEET FROM CORNER OF SAID PROPERTY CLOSEST TO THE INTERSECTION AS MEASURED FROM THE CORNER OF THE PROPERTY WHERE THE SAID TWO STREET RIGHT OF WAY INTERSECT.
 12. THE DETENTION POND AND OUTLET STRUCTURE WILL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
 13. UNDERGROUND UTILITIES SHALL BE PROVIDED.
 14. MAXIMUM HEIGHT OF BUILDING SHALL BE 35'.
 15. ADDITIONAL COVENANTS RECORDED IN C.O.B. _____ FOLD _____ AND C.O.B. _____ FOLD _____

CERTIFICATION

THIS MAP IS CERTIFIED TO BE CORRECT AND IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THIS GROUND UNDER SUPERVISION OF THE UNDERSIGNED.

SEAN M. BURNES - LA P.L.S. No. 4785

THIS PLAN IS CERTIFIED TO CONFORM TO THE PROVISIONS OF THE STATE OF LOUISIANA LAW 95-355 AND LAWS AND ORDINANCES OF THE PARISH OF ST. TAMMANY WITH WAIVERS.

SEAN M. BURNES - LA P.L.S. No. 27642

DEDICATION

BE IT RESOLVED, BY THE UNDERSIGNED OWNER OF THE LAND AS SHOWN AND DESCRIBED HEREON, THAT HE DOES DECLARE THIS TO BE A TRUE AND ACCURATE MAP OF:

MILITARY RIDGE

THE STREET RIGHT-OF-WAY AS SHOWN IN THIS DEVELOPMENT IS HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER USES. EASEMENTS SHALL BE RESERVED FOR DRAINAGE AND UTILITIES AS INDICATED HEREON AND NO OBSTRUCTION OR IMPROVEMENTS SHALL BE ALLOWED THAT WOULD PREVENT THEM FROM BEING USED FOR THEIR INTENDED PURPOSES.

SEAN M. BURNES - LA P.L.S. No. 4785

FOR
LYNN LEVY LAND CO. LLC

APPROVAL

PARISH PLANNING COMMISSION CHAIRMAN _____ DIRECTOR OF PARISH ENGINEERING
PARISH PLANNING COMMISSION SECRETARY _____ CLERK OF COURT

DATE FILED _____ FILE NUMBER _____

58.910 ACRES (Residential Cemetery)	226	N/A
AREA	NO. OF LOTS	LOTH. OF STREETS
50'x100'	NO. OF ROW	PROPOSED =
AVG. LOT SIZE	STREET WIDTH	A=4+4+2+2
		ZONING
CONCRETE	CENTRAL	
ROAD SURFACING	SEWAGE SYSTEM	
	WATER SYSTEM	

FLOOD ZONE NOTE

1. HAVE CONSULTED THE FLOOD INSURANCE RATE MAPS AND FOUND THIS PROPERTY IS IN A SPECIAL FLOOD HAZARD AREA. FIRM: COMMUNITY MAP NO. 228203 (D440 D. DATED: 4/29/98) FLOOD ZONE: C & A-10. BASE FLOOD ELEVATION: N/A & 15'.

- NOTES**
1. ALL LOTS SUBJECT TO A 10' EASEMENT ADJACENT TO STREET RIGHT OF WAY.
 2. ULTIMATE DISPOSAL OF WATER IS WEST PEARL RIVER.
 3. (M) DENOTES MUNICIPAL NUMBER.
 4. BEICM#
 5. JURISDICTIONAL WETLANDS ARE LOCATED ON THIS PROPERTY.
 6. SEWER AND WATER PROVIDED AND MAINTAINED BY TAMMANY UTILITIES.

J.V. Burkes & Associates Inc.
SURVEYING ENGINEERING ENVIRONMENTAL

1000 Bienville Highway
Suite 200
Metairie, LA 70002
E-mail: jburkes@jvburkes.com
Phone: 504-885-4000 Fax: 504-885-4001

**PUD PLAN FOR
MILITARY RIDGE
SECTION 31, T-8-S, R-15-E
GREENSBURG LAND DISTRICT,
ST. TAMMANY PARISH, LOUISIANA**

LYNN LEVY LAND CO. LLC

SCALE: 1" = 150'

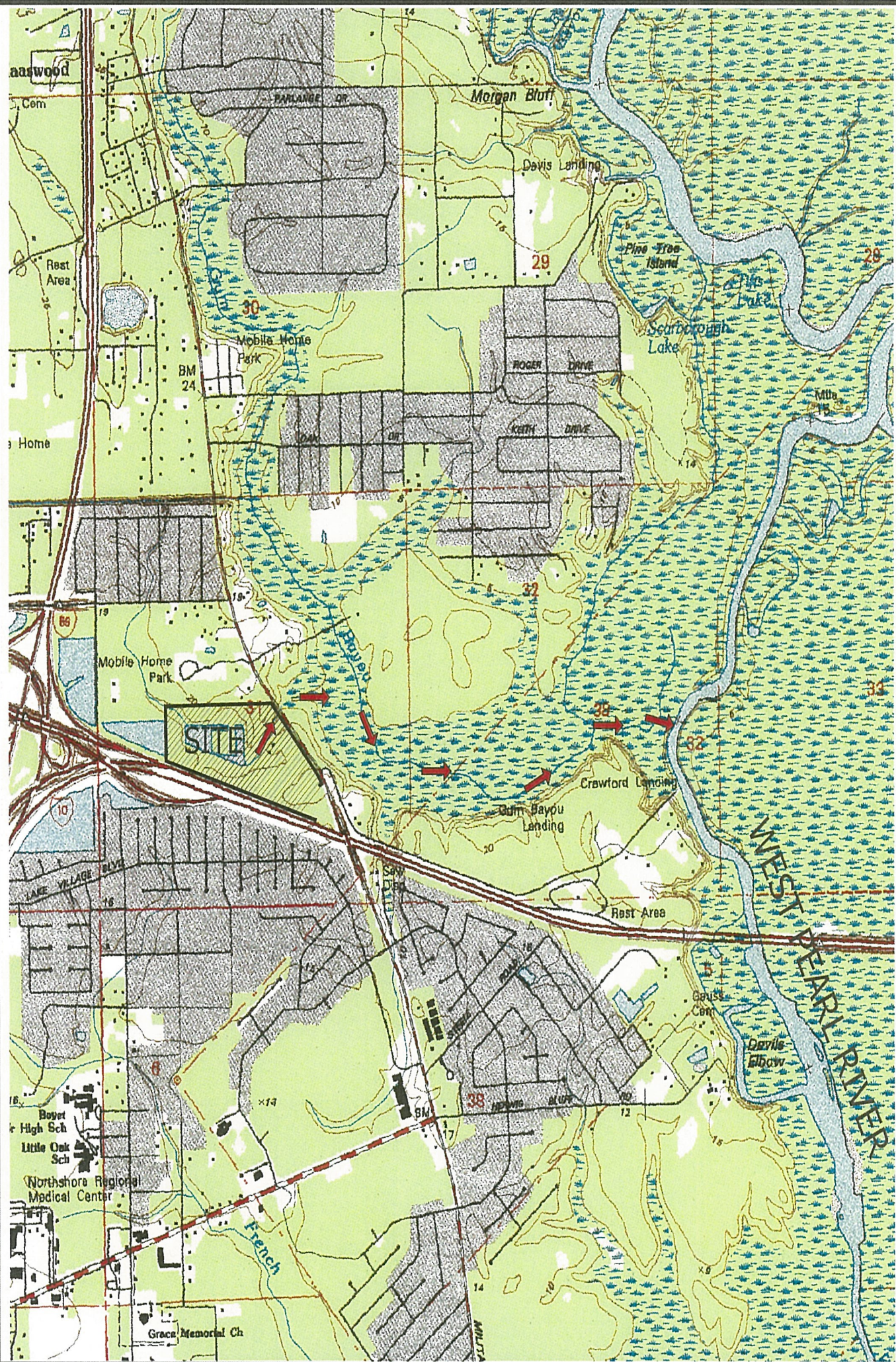
DATE: 10.02.2019

DRAWN BY: CHECKED BY:
RUK: SMB

DWG. NO.: 20190242

SHEET 1 OF 1

2019-1691-ZC and 2019-1692-ZC



DATE:

10/14/2019

SCALE:

NOT TO SCALE

J.V. Burkes & Associates, Inc.

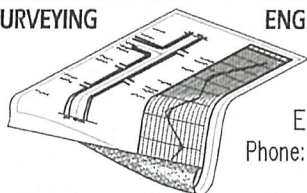
SURVEYING

ENGINEERING • ENVIRONMENTAL

1805 Shortcut Highway
Slidell, Louisiana 70458

E-mail: jvbassoc@jvburkes.com

Phone: 985-649-0075 Fax: 985-649-0154



**ULTIMATE SURFACE
WATER DISPOSAL MAP
FOR MILITARY RIDGE
SUBD. ST. TAMMANY
PARISH, LA**

2019-1691-ZC and 2019-1692-ZC

ENVIRONMENTAL ASSESSMENT DATA FORM

Applicant's Name: Lynn Levy Land Co. LLC

Developer's Address: P.O. Box 494 Greenwell Springs LA 70739
Street City State Zip Code

Developer's Phone No. 225-615-8055 same
(Business) (Cell)

Subdivision Name: Military Ridge

Number of Acres in Development: 58.910 Number of Lots/Parcels in Development: 226

Ultimate Disposal of Surface Drainage: West Pearl River

Water Surface Runoff Mitigation Proposed: Retention Pond, discharge through slough then offsite

(Please check the following boxes below, where applicable:)

- Type of Sewerage System Proposed: ☒ Community ☐ Individual
- Type of Water System Proposed: ☒ Community ☐ Individual
- Type of Streets and/or Roads Proposed: ☒ Concrete ☐ Asphalt ☐ Aggregate ☐ Other
- Land Formation: ☒ Flat ☐ Rolling Hills ☐ Marsh ☐ Swamp ☐ Inundated ☐ Titled Flow
- Existing Land Use: ☒ Undeveloped ☐ Residential ☐ Commercial ☐ Industrial ☐ Other
- Proposed Land Use: ☐ Undeveloped ☒ Residential ☐ Commercial ☐ Industrial ☐ Other
- Surrounding Land Use: ☒ Undeveloped ☐ Residential ☐ Commercial ☐ Industrial ☐ Other
- Does the subdivision conform to the major street plan? ☒ Yes ☐ No
- What will the noise level of the working development be? ☐ Very Noisy ☒ Average ☐ Very Little
- Will any hazardous materials have to be removed or brought on-site for the development? ☐ Yes ☒ No

If yes, what are the hazardous materials? None known, typical of utility and road construction.

- Does the subdivision front on any waterways? ☐ Yes ☒ No

If yes, what major streams or waterways? _____

2019-1691-ZC and 2019-1692-ZC

- Does the subdivision front on any major arterial streets? ☒ Yes ☐ No

If yes, which major arterial streets? Military Road (limited permitted access only)

- Will any smoke, dust or fumes be emitted as a result of operational construction? ☒ Yes ☐ No

If yes, please explain? minimal, typical of road construction and land clearing

- Is the subdivision subject to inundation? ☐ Frequently ☐ Infrequently ☒ None at all

- Will canals or waterways be constructed in conjunction with this subdivision? ☐ Yes ☒ No

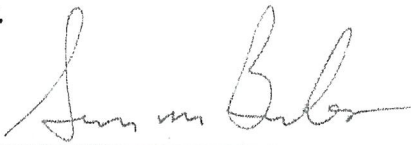
(Does the proposed subdivision development...)

- a.) have or had any landfill(s) located on the property? ☐ Yes ☒ No
- b.) disrupt, alter or destroy any historical or archeological sites or district? ☐ Yes ☒ No
- c.) have a substantial impact on natural, ecological recreation, or scenic resources? ☐ Yes ☒ No
- d.) displace a substantial number of people? ☐ Yes ☒ No
- e.) conform with the environmental plans and goals that have been adopted by the parish? ☒ Yes ☐ No
- f.) cause an unwarranted increase in traffic congestion within or near the subdivision? ☐ Yes ☒ No
- g.) have substantial esthetic or adverse visual impact within or near the subdivision? ☐ Yes ☒ No

h.) breach any Federal, State or Local standards relative to:

- air Quality ☐ Yes ☒ No
- noise ☐ Yes ☒ No
- water Quality ☐ Yes ☒ No
- contamination of any public or private water supply ☐ Yes ☒ No
- ground water levels ☐ Yes ☒ No
- flooding/inundation ☐ Yes ☒ No
- erosion ☐ Yes ☒ No
- sedimentation ☐ Yes ☒ No
- rare and/or endangered species of animal or plant habitat ☐ Yes ☒ No
- interfering with any movement of resident or migratory fish or wildlife species . ☐ Yes ☒ No
- inducing substantial concentration of population ☐ Yes ☒ No
- dredging and spoil placement ☐ Yes ☒ No

I hereby certify to the best of knowledge and ability, that this subdivision development will not adversely impact the surrounding environment, inclusive of all the information contained herein; and further, said information provided and answered above is accurate, true and correct.



ENGINEER/SURVEYOR/OR DEVELOPER
(SIGNATURE)

10/14/2019

DATE

ZONING STAFF REPORT

Date: 11/25/2019
Case No.: 2019-1693-ZC
Posted: 11/19/2019

Meeting Date: December 3, 2019
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: Kristen O'Keefe
OWNER: New Heights Therapy Center, Inc.
REQUESTED CHANGE: From A-1 Suburban District, MHO Manufactured Housing Overlay, and RO Rural Overlay to MD-2 Medical Clinic District, MHO Manufactured Housing, and RO Rural Overlay
LOCATION: Parcel located on the east side of Beason Road, north of LA Highway 40, being 82302 Holliday Road, Folsom, S7, T5S, R11E, Ward 2, District 3
SIZE: 1.04 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: Parish

Road Surface: 2 Lane Asphalt

Condition: Good

LAND USE CONSIDERATIONS
SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Undeveloped and Residential	A-1 Suburban Residential District, MHO Manufactured Housing Overlay, RO Rural Overlay
South	Residential	A-1 Suburban Residential District, MHO Manufactured Housing Overlay, RO Rural Overlay
East	Undeveloped and Residential	A-1 Suburban Residential District, MHO Manufactured Housing Overlay, RO Rural Overlay
West	Agricultural	A-1 Suburban Residential District, MHO Manufactured Housing Overlay, RO Rural Overlay

EXISTING LAND USE:

Existing development: Yes

Multi occupancy development: No

COMPREHENSIVE PLAN:

Residential/ Agricultural - Agricultural and related or other active or passive uses that use or preserve the countryside, forests and other areas and rural residential uses – widely ranging in dwelling size or type, siting and organization; both of which are generally located some distance from more intense land uses. Permitted uses include single-family residential, and uses ancillary to either of these primary uses. Other uses require a change in zoning.

STAFF COMMENTS:

The petitioner is requesting to change the zoning from A-1 Suburban District, MHO Manufactured Housing Overlay, and RO Rural Overlay to MD-2 Medical Clinic District, MHO Manufactured Housing, and RO Rural Overlay. The petitioned property is located on the east side of Beason Road, north of LA Highway 40, being 82302 Holiday Road, Folsom. The 2025 future land use plan designates this site to be developed with residential and agricultural uses which preserve the countryside.

Note that the reason for the request is to allow for a 1,800 sq. ft. physical therapy clinic.

Staff is not in favor of the request as the petitioned property is flanked by existing single-family residential zoning designations. The request for a MD-2 Medical Clinic District will allow for medical uses in a traditionally residential neighborhood.

Case No.: 2019-1693-ZC

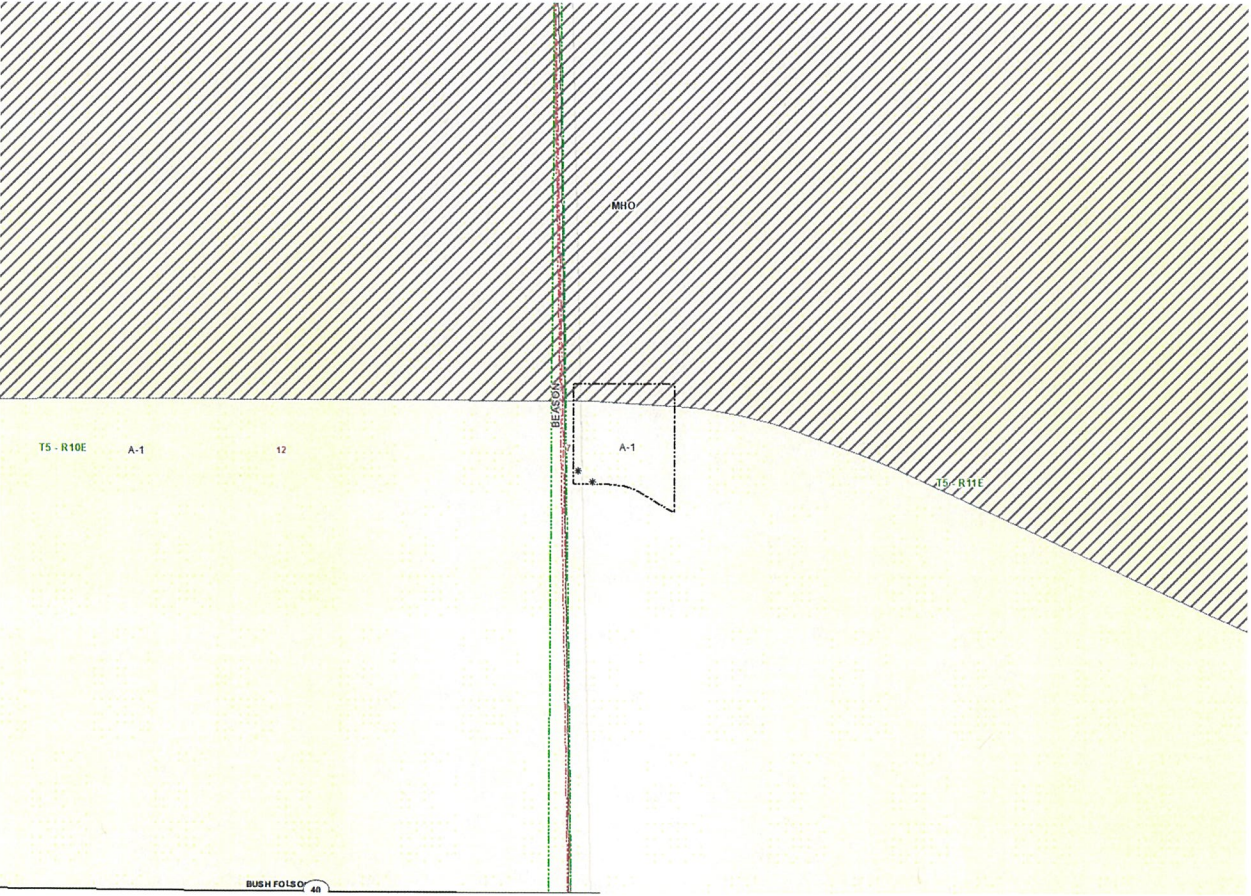
PETITIONER: Kristen O'Keefe

OWNER: New Heights Therapy Center, Inc.

REQUESTED CHANGE: From A-1 Suburban District, MHO Manufactured Housing Overlay, and RO Rural Overlay to MD-2 Medical Clinic District, MHO Manufactured Housing Overlay, and RO Rural Overlay

LOCATION: Parcel located on the east side of Beason Road, north of LA Highway 40, being 82302 Holiday Road, Folsom, S7, T5S, R11E, Ward 2, District 3

SIZE: 1.04 acres

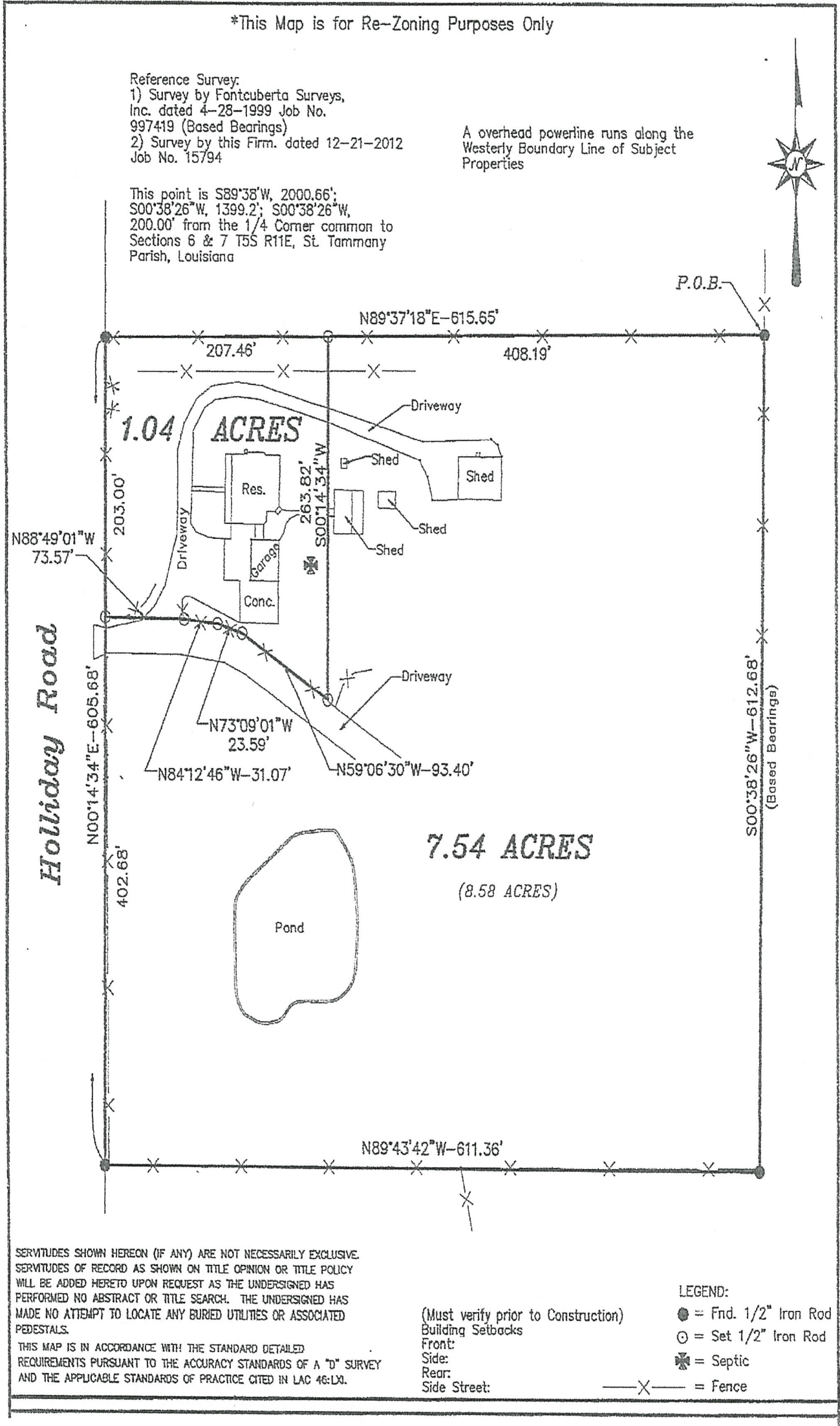


A-1

BEASON

A-1



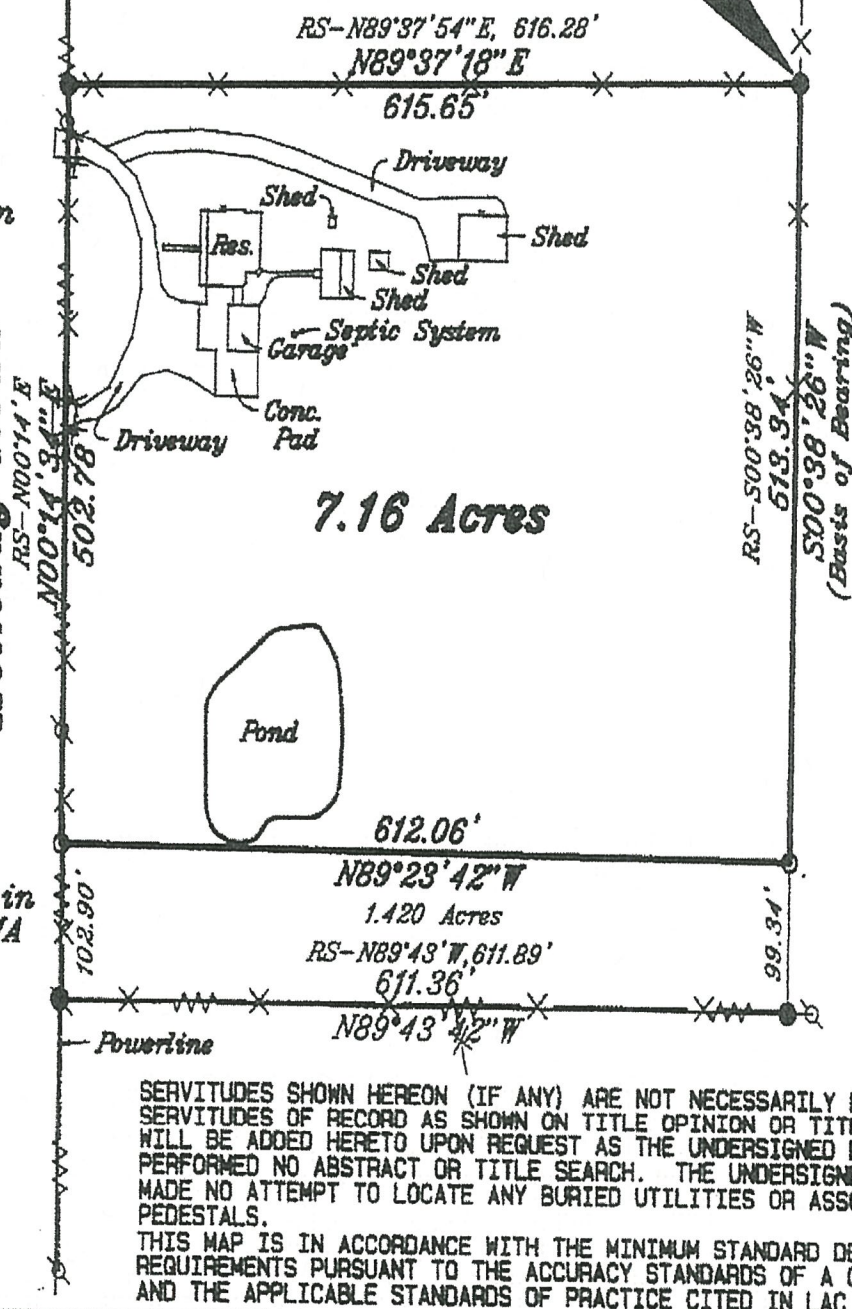


Reference Survey:
Survey prepared by
Fontcuberta Surveys,
Inc. dated April 28, 1999
Job No. 997419

Building setback lines
should be determined
by owner or contractor
prior to any construction

This point is S89°38'W, 2000.66';
S00°38'26"W, 1999.2'; S00°38'26"W,
200.00' from the 1/4 Corner common to
Sections 6 & 7 T5S R11E, St. Tammany
Parish, Louisiana

Holliday Road



This property is located in
Flood Zone C as per FEMA
FIRM Comm. Panel No.
225205 0025 B, map
dated 3-1-1984

Legend:

- 1/2" Rebar Found
- ✕ Fence
- ⊗ Powerpole
- 1/2" Rebar Set

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE.
SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY
WILL BE ADDED HERETO UPON REQUEST AS THE UNDERSIGNED HAS
PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS
MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED
PEDESTALS.

THIS MAP IS IN ACCORDANCE WITH THE MINIMUM STANDARD DETAILED
REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A C SURVEY
AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46: LXI.

MAP PREPARED FOR

Cloghroe Farms, LLC

SHOWN A SURVEY MADE OF PROPERTY LOCATED IN

Section 7 Township 5 South Range 11 East,
St. Tammany Parish, Louisiana

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED:
SIGNATURE AND STAMPED SEAL MUST BE IN RED OR THIS PLAT IS NOT A TRUE COPY

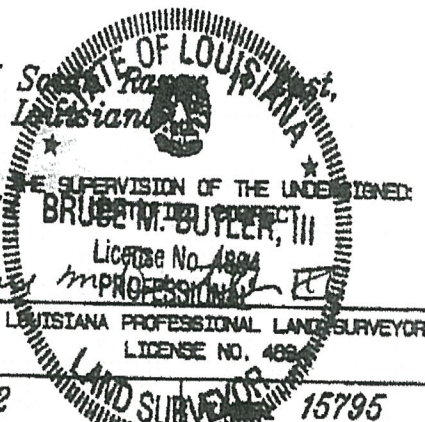
LAND SURVEYING LLC

518 N. Columbia Street, Covington, LA 70433
(985) 842-6271 office (985) 848-0355 fax

Revised: Jan. 14, 2013

SCALE: 1" = 150'

DATE: December 21, 2012



The site plan shows a proposed rehab clinic (hatched area) and an existing building (white area) connected by a walkway. The clinic has a central entrance and several rooms. The existing building has a large parking lot (blue area) and a smaller parking lot (white area). The site is bounded by a road on the left and a road on the right. A north arrow and scale bar are located in the top left corner.

Legend:

- EXISTING BUILDING
- PROPOSED REHAB CLINIC
- PARKING LOT
- WALKWAY
- LANDSCAPE DRIVE

Room Labels:

- RECEPTION
- WAITING AREA
- EXAM ROOMS
- PHYSICIAN'S OFFICE
- NURSE'S STATION
- PHARMACY
- LABORATORY
- RADIOLOGY
- STORAGE BUILDING

Scale: 1" = 20'

North Arrow: N

Issue Table:

ISSUE	DATE

Owner: NEW HEIGHTS FOLSOM
Tenant: OUTPATIENT REHAB THERAPY FOR STPH

Architect: fl+ WB architects
 1001 GREENWICH DRIVE, SUITE 111
 DUNWOODY, GA 30328
 404.455.1111

Professional Seal: I am a professional architect licensed in the state of Georgia since 1981.

PLAN REVIEW STAFF REPORT

Date: 11/25/2019

CASE NO.:CP02-08-076PR

Posted: 11/19/2019

PETITIONER:

OWNER:

PROPOSED USE:

PREVIOUS/CURRENT USE:

SQ. FT. OF USE:

GROSS AREA LOT SIZE:

ZONING CLASSIFICATION:

CORRIDOR:

LOCATION:

=

-

Duplantis Engineering Group – David Laizer

Ochsner Clinic Foundation – John J. Herman

Ochsner Hospital Medical Office Building

Undeveloped Land

73,500 sq. ft.

5.71 acres of a 26.94 acre parcel

MD-3 Medical Facility District

Highway 21 Corridor

Parcel located at the southwest corner of LA Highway 21 and Ochsner Blvd; S47, T7S, R10E; Ward 1, District 1

Determination: Approved, Amended, Postponed, Denied

SITE ASSESSMENT

ACCESS ROAD INFORMATION

Type: Parish and State Highway	Road Surface: 2 lane asphalt and 3 lane asphalt	Condition: Good
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LAND USE CONSIDERATIONS

Surrounding Land Use and Zoning:

Direction	Land Use	Zoning
North	Commercial	HC-2 Highway Commercial
South	I-12	N/A
East	Commercial and Undeveloped	RBCO Regional Business Center Overlay
West	Medical	MD-3 Medical Facility District

Existing development? No Multi occupancy development? No

STAFF COMMENTS:

The subject property is located at the southwest corner of Ochsner Blvd. and LA Highway 21. The property is comprised of 26.94 acres and is currently developed with the Ochsner Health Center. The applicant is requesting to construct a 73,500 sq. ft. hospital and medical office building along the eastern portion of the site which is comprised of 5.71 acres of undeveloped land.

STAFF RECOMMENDATIONS:

Staff recommends postponement of the case until the required information is provided. Should the Commission be in favor of the request, it should be subject to the required information listed below.

- Per Sec. 130-1815(1)(e), the street planting area abutting the Highway 21 Planned Corridor shall be a minimum of 25 feet in depth with an additional foot for every ten feet in depth greater than 150 feet. The petitioned property is 1,887 ft. deep and is therefore required a street planting area of 199 ft. along Highway 21. The applicant was granted a waiver to these regulations by the Zoning Commission on March 7, 2017 which permitted a 50 ft. buffer along Highway 21 and allowed the applicant to underbrush all vegetation and natural landscaping 6” in caliper or smaller within the required buffer. The applicant is currently requesting to maintain this required 50 ft. buffer. Staff is not opposed to the requested variance since the proposed buffer meets the PCO minimum buffer requirements.
- A revised landscaping plan shall be provided since the attached plan is not legible and staff will therefore need a revised and dimensioned landscape plan to ensure that the proposed tree credits and landscaping meet the appropriate standards.
- A condition of the previous aforementioned waiver granted along the Highway 21 corridor included the stipulation that “all hardwood trees be maintained within the existing greenspace area”. The applicant is currently requesting to waive this stipulation as the subject trees are within the buildable area of the site.
- Per Sec. 130-1977(b), the side and rear buffer planting areas shall be a minimum of 10 ft. The applicant is currently requesting a waiver to reduce the required southern buffer from 10 ft. to 0 ft. in order to construct a segmental retaining wall and guardrail to account for the elevation difference between the existing and proposed grades. Staff is opposed to the requested variance as the site could be redesigned to meet the buffer requirements.
- Per Sec. 130-1977(e), one Class A tree and one Class B tree shall be planted in the side and rear buffer planting areas per every 30 linear feet. The applicant is requesting a waiver to remove the existing 11 trees within the required southern buffer and plant the required 14 Class A trees and 14 Class B trees elsewhere on the site. Staff is opposed to the requested variance as the design of the site could accommodate the buffer and landscape requirements along the southern property line by adjusting the proposed development ten feet to the north. A complete reduction in the required buffer and landscaping requirements will increase visibility and impede on future development to the south.
- The petitioned property received a Scenic River Permit in 2018 to remove an earthbern berm along Flowers Bayou to ensure more visibility from Highway 21 to the Ochsner Health Center. Flowers Bayou waterway currently runs through the western portion of the petitioned site adjacent to the proposed parking lot. Staff recommends that the applicant provide a Scenic River Permit issued by the Louisiana Department of Wildlife and Fisheries, approving the newly proposed site work including verification of the required water way buffers of Flowers Bayou.
- Per Sec. 130-2164(a), every use having a gross floor area in excess of 7,500 sq. ft. of space and requiring delivery trucks shall have at least one permanently maintained off-street loading spaces for each 7,500 sq. ft. of gross floor area so located as not to hinder the free movement of pedestrians and vehicles over sidewalks, streets, and alleys. Staff recommends that the applicant revise the site plan to address any vehicular loading and unloading requirements within the current site plan review period.
- Per Sec. 130-2163, medical office buildings incur a parking ratio of 5 spaces per 1,000 sq. ft. of building. The proposed building is 73,500 sq. ft. and therefore is required 368 parking spaces. A minimum of 244 parking spaces is proposed to be provided and utilize a cross parking agreement with the adjacent Ochsner Health Center to satisfy the remaining 124 parking spaces. Staff recommends approval of this request as the Ochsner Health Center currently provides an excess of 234 parking spaces, which will be reduced to 110 after the construction of the subject building.
- The property owner shall be responsible for the maintenance and the replacement of the required plant materials.
- During constriction, planting or open ground areas surrounding preserved trees shall be wired off with a properly flagged, reinforced and rolled wire mesh.
- Adequate lighting shall be provided if off-street parking spaces are to be used at night. All exterior lighting shall be shaded or inwardly directed in such a manner so that no direct lighting or glare extends beyond the property line. Outdoor lighting shall meet the Unified Development Code, Division 4 Lighting Regulations.

NOTE TO PETITIONER

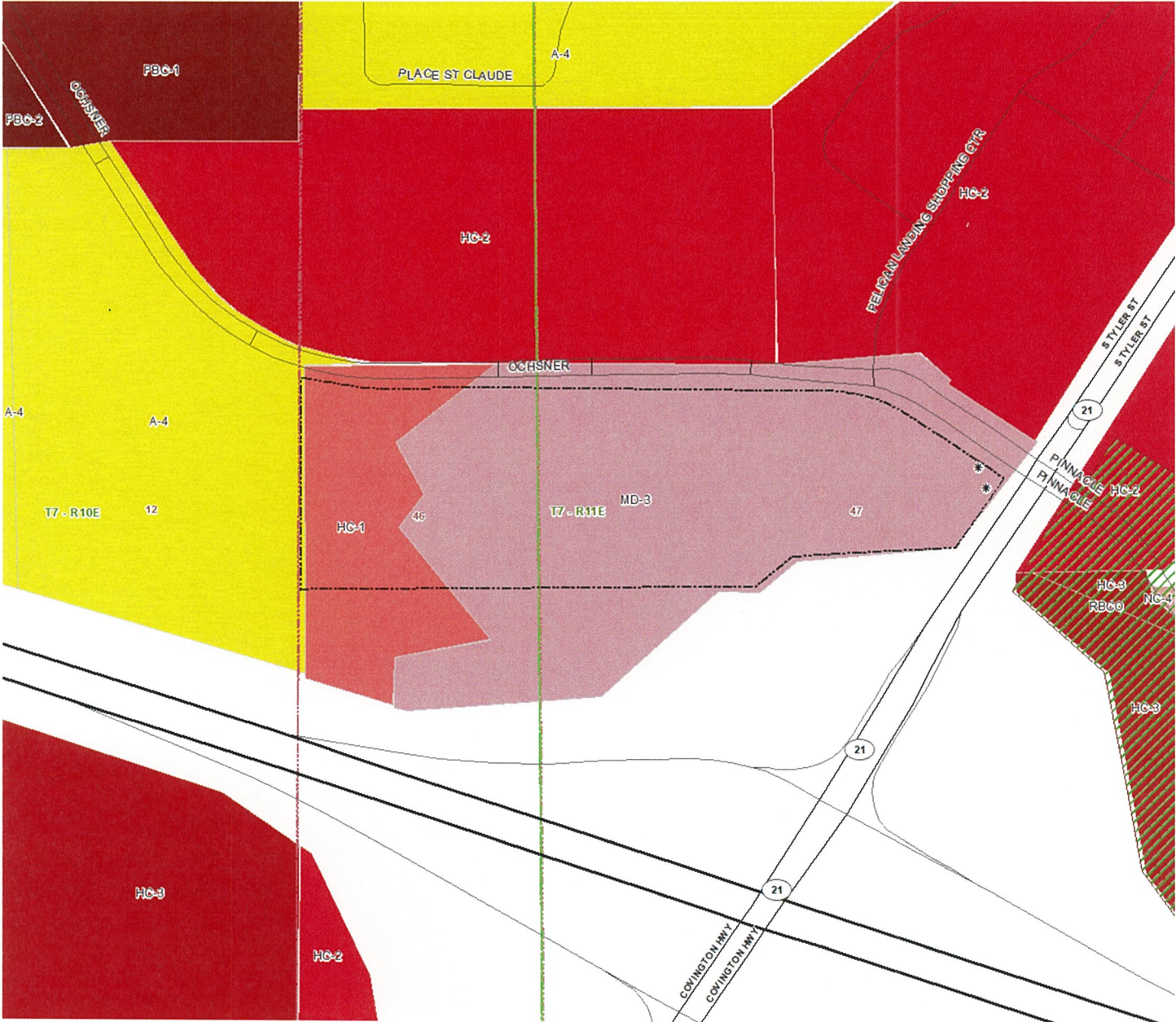
There is a 10 day appeals period following the Zoning Commission decision. If the request is approved, permits will not be issued until this 10 day period has elapsed. The petitioner shall have one year to obtain the appropriate building permits or occupy the site from the date of approval of the St. Tammany Parish Zoning Commission, unless otherwise stipulated by the St. Tammany Parish Zoning Commission.

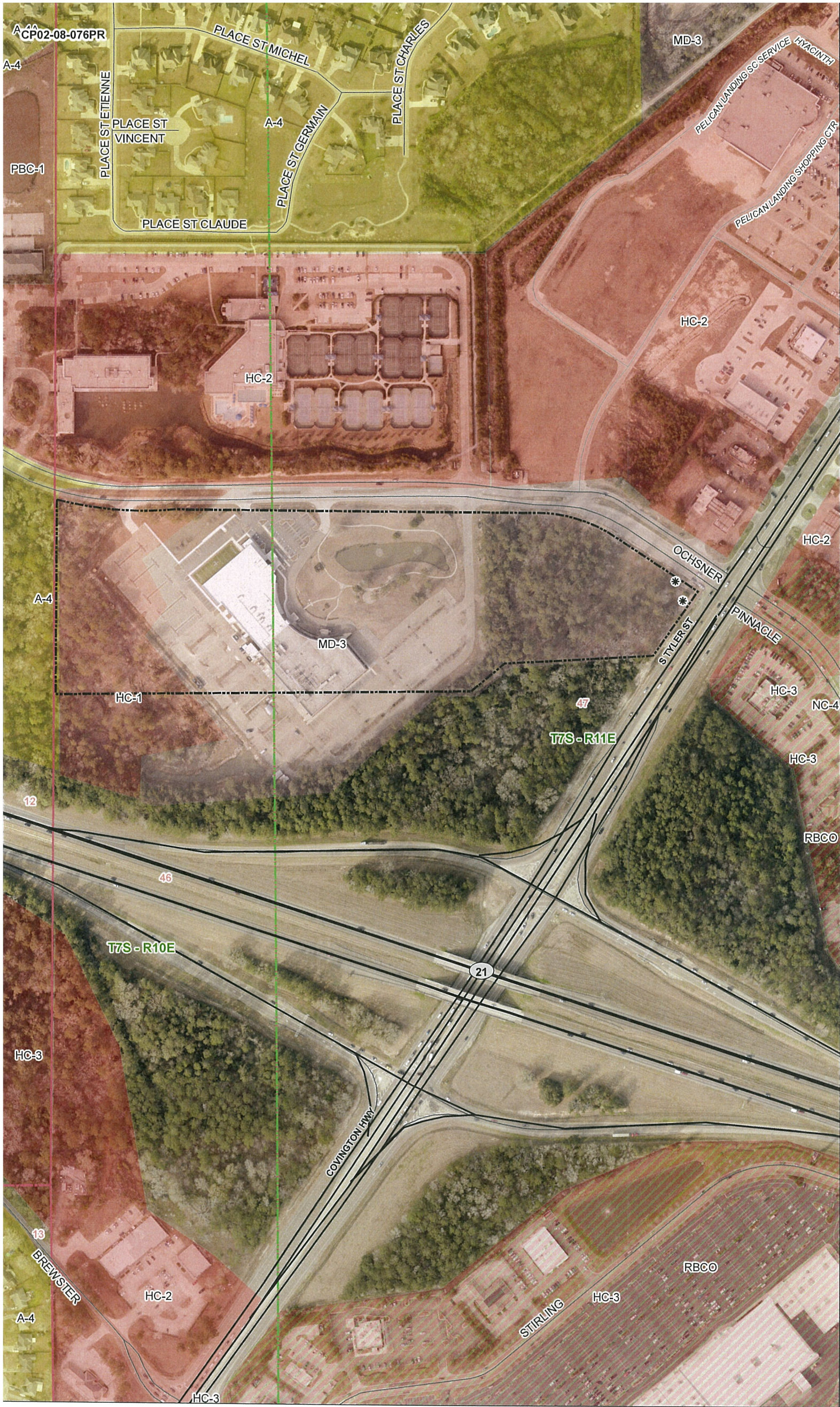
APPENDIX A
CASE NO.: CP02-08-076PR
LANDSCAPE CHART

Affected Area	Planned Corridor Requirements	Minimum Required Buffer Plantings	Petitioner Provided	Staff Recommends
Eastern Perimeter Planting 249 ft.	25 ft. in depth + 1 additional foot for every ten feet in depth over 150ft. 1 Class A/ Per 300 sq. ft. of Street Planting Area 1 Class B/ Per 200 sq. ft. of Street Planting Area	<u>199 ft. planting area</u> 165 Class A 247 Class B <u>Requested 50 ft. planting area</u> 41 Class A 62 Class B	50 ft. Planting Area 70 tree credits 25 shrubs	Staff requests a revised landscape plan which provides clear information showing existing and proposed trees and site dimensions
Ochsner Blvd. Northern Perimeter Planting 1954 ft.	30 ft. planting area 1 Class A/ 25 ft. 1 Class B/ 25 ft. 1 Shrub per 10 linear feet	30 ft. planting area 1 Class A/ 25 ft. 1 Class B/ 25 ft. 1 Shrub per 10 linear feet	30 ft. planting area 63 tree credits 70 shrubs	Staff requests a revised landscape plan which provides clear information showing existing and proposed trees and site dimensions
Western Perimeter Planting 837 ft. feet	10' planting area 1 Class A/ 30 ft. 1 Class B/ 30 ft.	No buffers required as the site is located on the same lot as the Ochsner Health Center	No buffers required as the site is located on the same lot as the Ochsner Health Center	Staff requests a copy of a Scenic River Permit that provides the required buffer from the existing Flowers Bayou Waterway
Southern Perimeter Planting 1872 feet	10' planting area 1 Class A/ 30 ft. 1 Class B/ 30 ft.	10' planting area 1 Class A/ 30 ft. 1 Class B/ 30 ft.	0 ft. planting area 0 trees	Staff recommends rearranging the site plan 10 ft. to the north to provide the required landscaping and buffering
Parking Planting 368 Spaces Required 244 Spaces Provided with a cross access dedication for the remaining 124 spaces	Every parking row shall terminate in a landscaped island of not less than nine feet and not less than the length of the parking space with a minimum of 1 class A tree. The parking area shall be screened from view when the parking area is oriented to the side and or the front of the structure Planting areas shall be a minimum of 10% of the paved parking area	29 landscaped islands each with a class A tree 70% sight obscuring screen of living material	1 landscaped island with a class A tree and one end of parking row abutting a required buffer 138 2 ft. Dwarf Burford Holly	As petitioner proposes

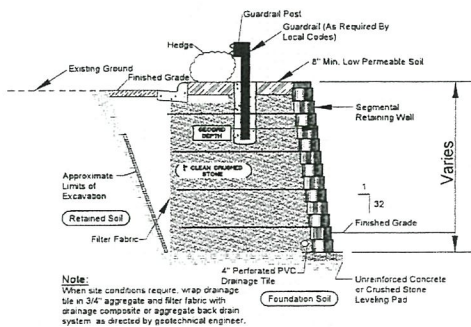
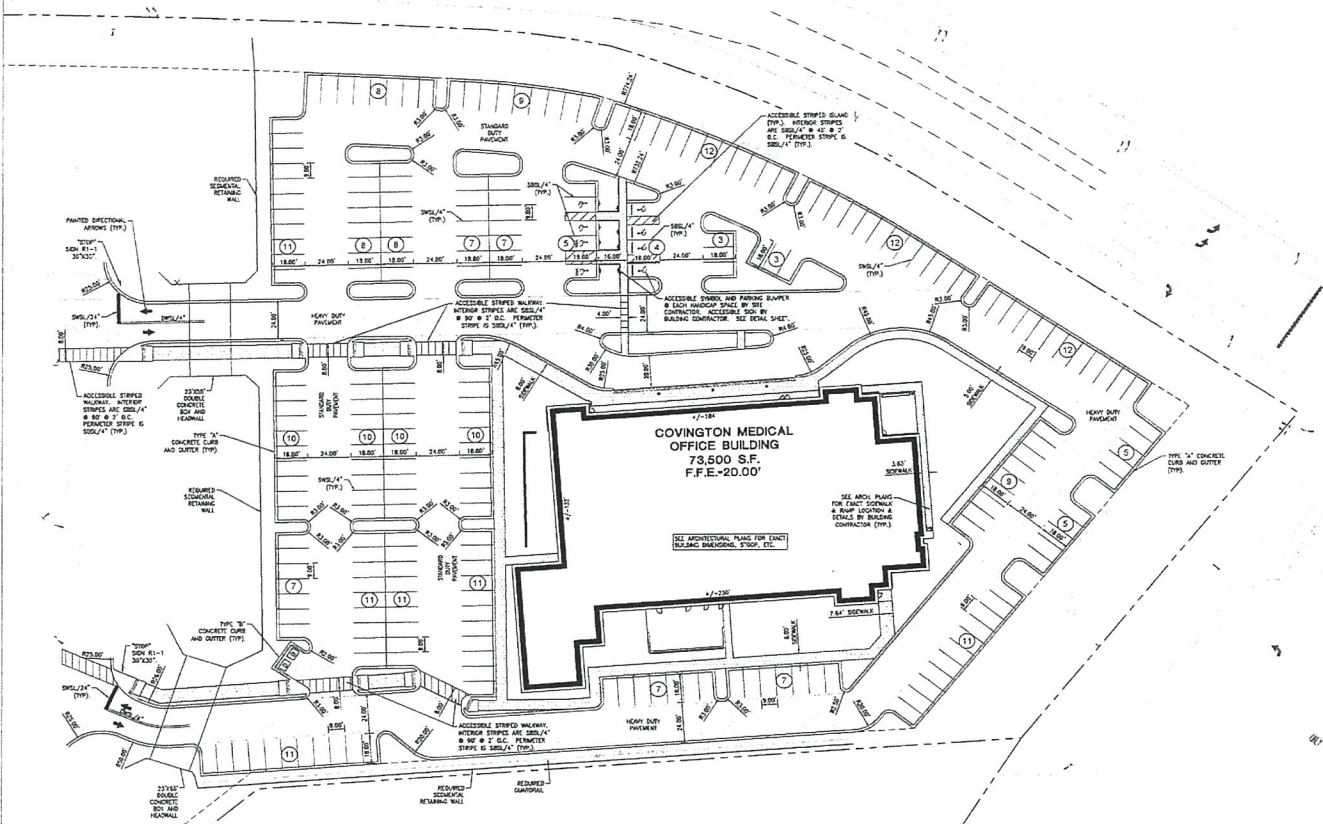
CASE NO.:
PETITIONER
OWNER
PROPOSED USE:
PREVIOUS/CURRENT USE:
SQ. FT. OF USE:
GROSS AREA LOT SIZE:
ZONING CLASSIFICATION:
CORRIDOR:
LOCATION:

CP02-08-076PR
Duplantis Engineering Group – David Laizer
Ochsner Clinic Foundation – John J. Herman
Ochsner Hospital Medical Office Building
Undeveloped Land
73,500 sq. ft.
5.71 acres of a 26.94 acre parcel
MD-3 Medical Facility District
Highway 21 Corridor
Parcel located at the southwest corner of LA Highway 21 and Ochsner Blvd; S47, T7S, R10E; Ward 1, District 1





CP-02-08-076



Note:
When site conditions require, wrap drainage tie in 3/4\"/>

Typical Reinforced Wall Section
Compac III Unit - 1\"/>

AREA ANALYSIS	
COVINGTON MEDICAL OFFICE SITE +/- 5.21 AC.	
COVINGTON MEDICAL OFFICE	
BUILDING	73,500 S.F.
PARKING REQUIRED*	388 SPACES
PARKING PROVIDED	244 SPACES
RATIO	3.32 / 1000 S.F.
<small>*PARKING REQUIREMENTS PER RTP UDC: MEDICAL OFFICE - 3 SPACES PER 1,000 S.F. OF BUILDING</small>	
EXISTING OCHSNER MEDICAL CENTER	
PARKING REQUIRED**	454 SPACES
EXISTING PARKING	688 SPACES
<small>**PARKING REQUIREMENTS FROM APPROVED COVINGTON CLINIC EXPANSION SHEET ALSO: 1ST FLOOR CLINIC - 38,300 S.F. @ 1 PARKING SPACE / 300 S.F. = 128 SPACES 1ST FLOOR ASC - 19,800 S.F. @ 1 PARKING SPACE / 400 S.F. = 50 SPACES 1ST FLOOR PT CHW - 22,800 S.F. @ 1 PARKING SPACE / 400 S.F. = 57 SPACES 2ND FLOOR EXISTING CLINIC - 43,000 S.F. @ 1 PARKING SPACE / 300 S.F. = 144 SPACES 2ND FLOOR NEW CLINIC - 23,500 S.F. @ 1 PARKING SPACE / 300 S.F. = 79 SPACES</small>	
OVERALL DEVELOPMENT	
PARKING REQUIRED	822 SPACES
PARKING PROVIDED	912 SPACES

LEGEND - NEW IMPROVEMENTS	
BUILDING	DIRECTIONAL ARROWS
CURB & GUTTER	ASH PUMP
PARKING SPACES	LIMITS OF CONSTRUCTION
HEAVY DUTY CONCRETE PAVEMENT	TRIPLE PROTECTION FENCE
HEAVY DUTY PAVEMENT	PROPERTY LINE
LIGHT DUTY PAVEMENT	
SEWERAGE PAVING	
RETENTION WALLS	

16564 E. Brewster Road,
Suite 101
Covington, LA 70433
Office: 985.249.6180
Fax: 985.249.6190
www.ddgpc.com

DATE: 11/4/19

SITE PLAN REVIEW	
NO	REVISION DATE
COVINGTON MEDICAL OFFICE BUILDING	
COVINGTON, LOUISIANA 70433	
19-548	JOB NO.
CIVIL SITE PLAN	
1"=30'	SCALE
DTS/DAL	DRAWN/CHECK
C-1	

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1100 PONDRAIS ST. STE 3550 NO LA 70163 504.524.4375

PERMIT LANDSCAPE NOTES:

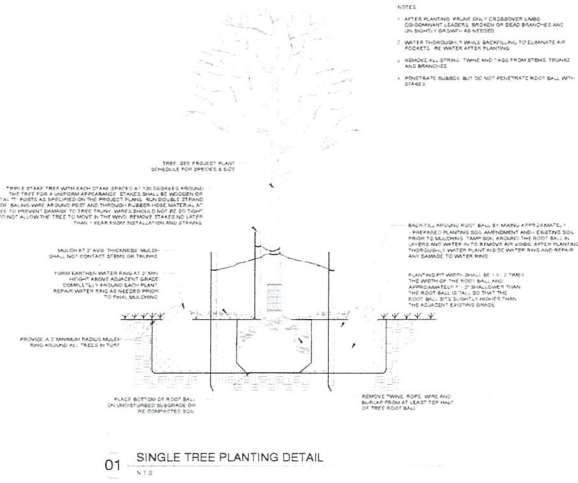
1. CLASS A TREES, AT THE TIME OF PLANTING, SHALL HAVE A MINIMUM CALIPER OF AT LEAST 2-1/2", AND A MINIMUM HEIGHT OF 10'-12'. AS PER THE NATIONAL NURSERY ASSOCIATION STANDARDS
2. CLASS B TREES, AT THE TIME OF PLANTING, SHALL HAVE A MINIMUM CALIPER OF AT LEAST 1-1/2", AND A MINIMUM HEIGHT OF 8'-10'. AS PER THE NATIONAL NURSERY ASSOCIATION STANDARDS
3. ALL SHRUBS, AT THE TIME OF PLANTING SHALL HAVE A MINIMUM HEIGHT OF 2'.
4. AT LEAST 60% OF THE AGGREGATE IN UMBER, OF ALL REQUIRED TREES AND SHRUBS SHALL BE A NATIVE SPECIES OF TREES AND SHRUBS AS IDENTIFIED IN SECTION 7.0113. NONE OF THE GROUND COVER NEED BE A NATIVE SPECIES.
5. THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL LANDSCAPE MATERIALS AND BARRIERS AS MAY BE REQUIRED BY THE PROVISIONS OF THE LANDSCAPE CODE.
- 5.1. PLANTING BEDS SHALL BE MULCHED TO PREVENT WEED GROWTH AND MAINTAIN SOIL MOISTURE
- 5.2. PLANT MATERIALS SHALL BE PRUNED AS REQUIRED TO MAINTAIN GOOD HEALTH AND CHARACTER
- 5.3. TURF AREAS SHALL BE MOWED AS NEEDED
- 5.4. ALL ROADWAYS, CURBS AND SIDEWALKS SHALL BE EDGED AS NEEDED IN ORDER TO PREVENT ENCROACHMENT FROM THE ADJACENT GRASS OR PLANTED AREAS.
- 5.5. THE OWNER OF THE PROPERTY SHALL BE RESPONSIBLE FOR THE PROVISIONS OF ADEQUATE WATER, FERTILIZER AND OTHER NUTRIENTS AS NECESSARY.
6. SUBJECT TO THE PROVISIONS OF SECTION 7.0105E ENTITLED, "REPLACEMENT OF PRESERVED TREES THAT DIE," TREES AND PLANTS THAT DIE MUST BE REPLACED WITHIN 6 MONTHS OF THE DEATH OF THE MATERIAL WITH NEW MATERIALS THAT MEET THE REQUIREMENTS OF SECTION 7.01. BARRIERS AND CURBS THAT ARE DAMAGED OR DESTROYED BEYOND REPAIR SHALL BE REPLACED WITHIN 6 MONTHS AFTER THE DAMAGE OR DESTRUCTION.

GENERAL PLANTING NOTES:

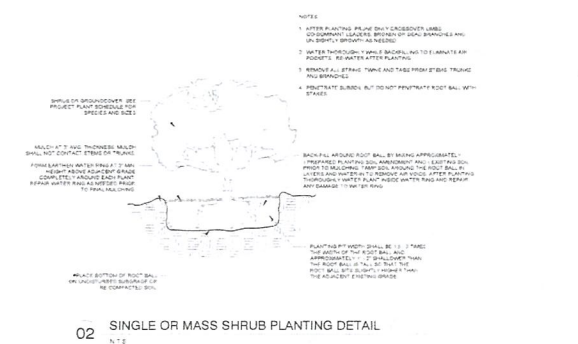
- 1) ALL PLANTING SHALL CONFORM WITH LOCAL CODES AND ORDINANCES.
- 2) QUANTITIES SHOWN IN THE PLANTING SCHEDULE ARE PROVIDED FOR CONVENIENCE ONLY. THE LANDSCAPE CONTRACTOR SHALL BEAR RESPONSIBILITY TO VERIFY AND INSTALL PLANT QUANTITIES AS DRAWN ON PLAN.
- 3) FINAL LOCATION OF ALL TREES AND PALMS SHALL BE PER PLAN & LANDSCAPE ARCHITECT SHALL BE NOTIFIED IF CONFLICTS PREVENT PLANTING IN SPECIFIED LOCATIONS.
- 4) THE LANDSCAPE CONTRACTOR SHALL LAYOUT ALL PLANT MATERIAL IN THE FIELD PER THE PLANTING PLANS AND NOTIFY THE LANDSCAPE ARCHITECT OF CONFLICTS.
- 5) LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT PROMPTLY SHOULD PLANT MATERIAL NOT BE AVAILABLE. LANDSCAPE CONTRACTOR SHALL PROPOSE SUBSTITUTION IN SIMILAR SIZE AND GROWTH HABITS AS PREVIOUSLY SPECIFIED PLANT MATERIAL.
- 6) SHRUB AND TREE PLANTING PITS SHALL CONFORM TO THE SHAPE OF THE ROOTBALL. THE PIT SHALL BE 2 TIMES AS WIDE AS THE ROOT BALL DIAMETER AND 90% AS DEEP AS THE ROOT BALL IS TALL. BACKFILL PLANT PIT WITH "PLANTING MIX" AS DESCRIBED. RUNNING WATER SHOULD BE USED TO THOROUGHLY BACKFILL THE PLANT. REMOVE AIR POCKETS AND WATER-IN NEWLY PLANTED MATERIALS. ENSURE A SOIL WATER-RING IS BUILT SURROUNDING TREE WITH NO LEAKS PER THE DETAILS ON THIS SHEET.
- 7) PLANTS SHALL BE SET IN THE CENTER OF THE PLANT PIT WITH THE MOST DESIRABLE SIDE OF THE TREE FACING THE PROMINENT VIEW. THE CROWN OF THE ROOTBALL SHALL BE SLIGHTLY HIGHER THAN THE SURROUNDING FINISH GRADE SO THAT AFTER SETTLING, IT WILL BE THE SAME ELEVATION AS THE FINISH GRADE. THERE SHOULD BE NO NEW SOIL PLACED ON TOP OF THE ROOT BALLS.
- 8) LANDSCAPE PLANT BEDS SHALL BE CONSTRUCTED WITH A PROMINENT V-TRENCH ON ALL SIDES TO INCLUDE ADJACENT TO SOD, WALKS, ROADS, BUILDINGS, ETC. THE V-TRENCH SHALL BE KEPT FREE AND CLEAR OF DEBRIS UNTIL MULCHING. LINES SHOULD BE PER PLAN WITH SMOOTH CURVES AND EXACT STRAIGHT SEGMENTS.

LANDSCAPE AND BUFFER MAINTENANCE:

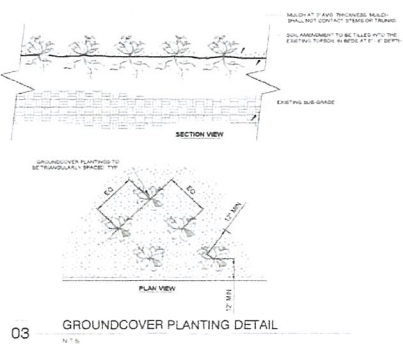
- 1) THE OWNER, TENANT OR THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING.
- 2) ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- 3) PLANT MATERIALS WHICH DIE SHALL BE REPLACED WITH SIMILAR HEALTHY PLANT MATERIALS.
- 4) LANDSCAPE AREAS WITHIN SIGHT TRIANGLES SHALL BE MAINTAINED IN AN APPROPRIATE MANNER TO INSURE THAT NO PLANT MATERIAL OBSTRUCTS CROSS-VISIBILITY ABOVE THREE (3) FEET OR BELOW SIX (6) FEET FROM THE STREET OR ACCESS WAY GRADE
- 5) ALL LANDSCAPING SHALL BE MAINTAINED IN A NEAT OR ORDERLY MANNER AT ALL TIMES; THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING.
- 6) LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS, AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THE LANDSCAPING
- 7) LANDSCAPE WILL BE HAND-WATERED DURING INSTALLATION AND THROUGH ESTABLISHMENT FOR A PERIOD OF (12) WEEKS AND/OR WATERED WITH AN AUTOMATIC, SUB-SURFACE IRRIGATION SYSTEM



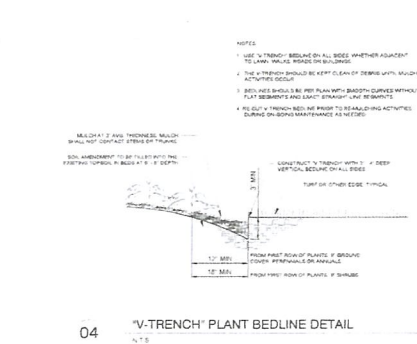
01 SINGLE TREE PLANTING DETAIL
N.T.S.



02 SINGLE OR MASS SHRUB PLANTING DETAIL
N.T.S.



03 GROUND COVER PLANTING DETAIL
N.T.S.



04 "V-TRENCH" PLANT BEDLINE DETAIL
N.T.S.



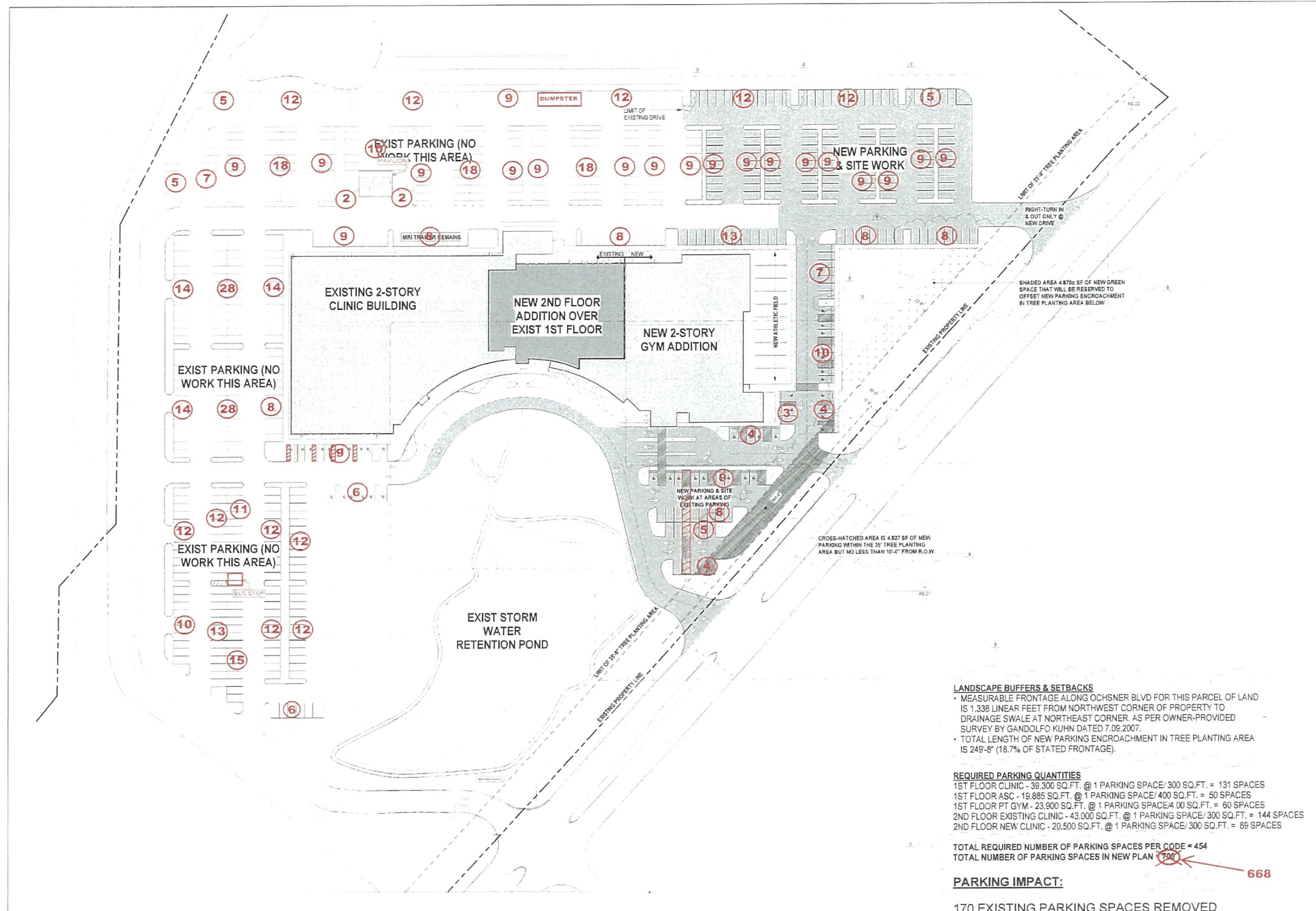
COVINGTON MEDICAL OFFICE BUILDING
COVINGTON, LA 70433
PERMIT LANDSCAPE PLAN

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REVISION	DATE	DESCRIPTION
1	11/04/2010	ISSUED FOR PERMIT
2	11/04/2010	ISSUED FOR PERMIT
3	11/04/2010	ISSUED FOR PERMIT
4	11/04/2010	ISSUED FOR PERMIT
5	11/04/2010	ISSUED FOR PERMIT
6	11/04/2010	ISSUED FOR PERMIT
7	11/04/2010	ISSUED FOR PERMIT
8	11/04/2010	ISSUED FOR PERMIT
9	11/04/2010	ISSUED FOR PERMIT
10	11/04/2010	ISSUED FOR PERMIT

PERMIT LANDSCAPE NOTES & DETAILS

LS-2
Sheet No. 01



OVERALL NEW ARCHITECTURAL SITE PLAN
1" = 40'-0"

CP02-08-076-PR

LANDSCAPE BUFFERS & SETBACKS

- MEASURABLE FRONTAGE ALONG OCHSNER BLVD FOR THIS PARCEL OF LAND IS 1,338 LINEAR FEET FROM NORTHWEST CORNER OF PROPERTY TO DRAINAGE SWALE AT NORTHEAST CORNER, AS PER OWNER-PROVIDED SURVEY BY GANDOLFO KUHN DATED 7.08.2007.
- TOTAL LENGTH OF NEW PARKING ENCROACHMENT IN TREE PLANTING AREA IS 249'-8" (18.7% OF STATED FRONTAGE).

REQUIRED PARKING QUANTITIES

- 1ST FLOOR CLINIC - 39,300 SQ.FT. @ 1 PARKING SPACE/300 SQ.FT. = 131 SPACES
- 1ST FLOOR ASC - 19,885 SQ.FT. @ 1 PARKING SPACE/400 SQ.FT. = 50 SPACES
- 1ST FLOOR PT GYM - 23,900 SQ.FT. @ 1 PARKING SPACE/400 SQ.FT. = 60 SPACES
- 2ND FLOOR EXISTING CLINIC - 43,000 SQ.FT. @ 1 PARKING SPACE/300 SQ.FT. = 144 SPACES
- 2ND FLOOR NEW CLINIC - 20,500 SQ.FT. @ 1 PARKING SPACE/300 SQ.FT. = 69 SPACES

TOTAL REQUIRED NUMBER OF PARKING SPACES PER CODE = 454
TOTAL NUMBER OF PARKING SPACES IN NEW PLAN = 668

PARKING IMPACT:

170 EXISTING PARKING SPACES REMOVED
192 NEW PARKING SPACES PROVIDED
22 NET GAIN

EXISTING PARKING, CURBS, AND DRIVE LOCATIONS AS SHOWN ON PLAN THAT ARE SCHEDULED TO REMAIN ARE SHOWN AS PER CERTIFIED SURVEY PROVIDED BY OWNER. REFER TO OTHER SHEETS FOR SURVEY AND CIVIL DESIGN INFO.

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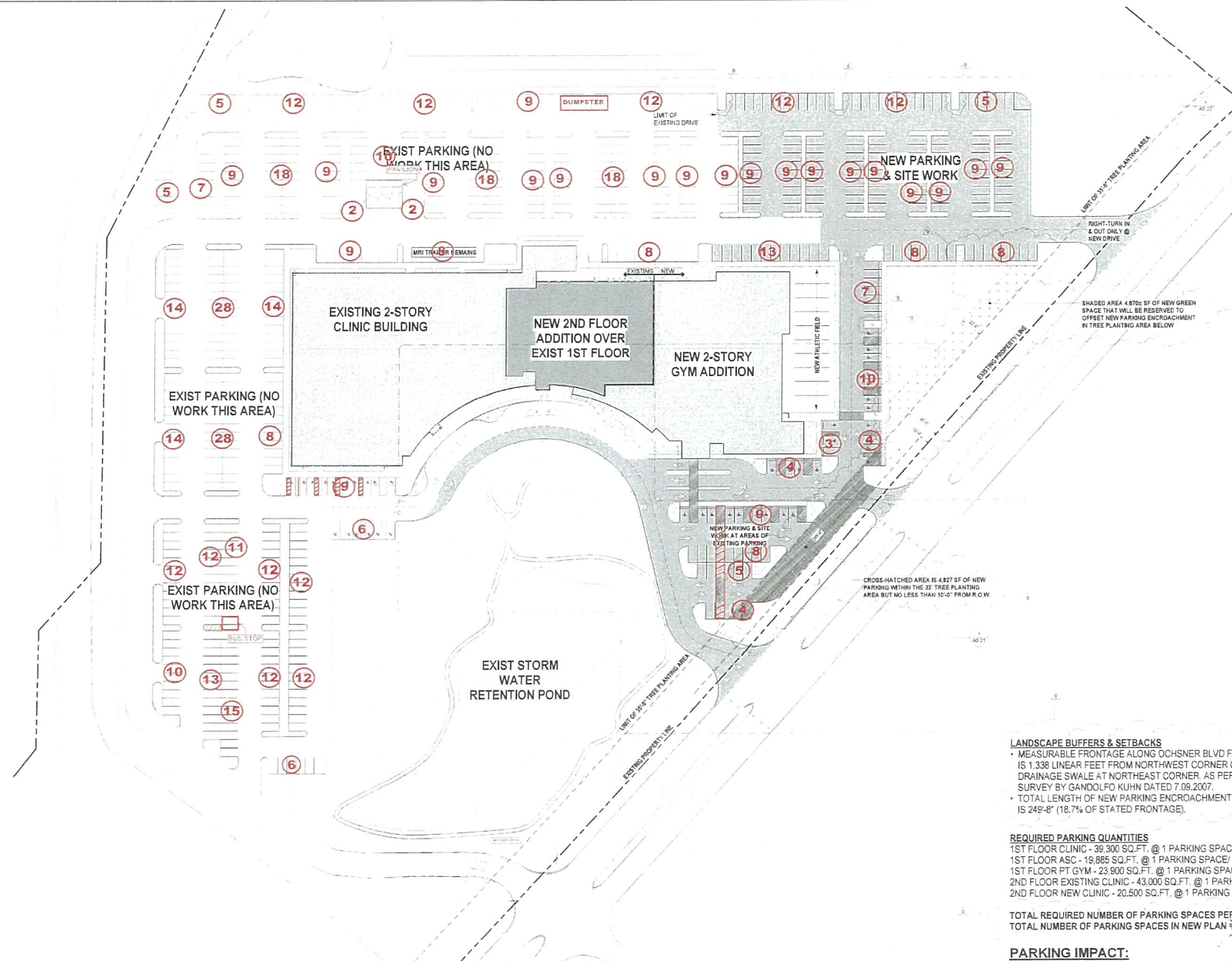
8	LANDSCAPE REVISIONS	7.22.16
7	REVISED OCHSNER BLVD	6.20.16
2	BID ADDENDUM #2	3.16.16
1	CONSTRUCTION REQUIREMENTS	5.24.15
NO.	REVISION	DATE
CONSTRUCTION CLINIC EXPANSION: NEUROSCIENCE & ORTHOPEDICS		
OCHSNER HEALTH CENTER: CONSTRUCTION 1800 SCHENKER BOULEVARD, COVINGTON, LOUISIANA 70423		
1401		JOB NO.

OVERALL NEW ARCHITECTURAL SITE PLAN	TITLE
1" = 40'-0"	SCALE
Author: C/Clark	DESIGN/CHK



A0.20

EXISTING PARKING EXHIBIT



EXISTING PARKING, CURBS, AND DRIVE LOCATIONS AS SHOWN ON PLAN THAT ARE SCHEDULED TO REMAIN ARE SHOWN AS PER CERTIFIED SURVEY PROVIDED BY OWNER. REFER TO OTHER SHEETS FOR SURVEY AND CIVIL DESIGN INFO.

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SPECIFICALLY IDENTIFIED HEREIN.

SCALE IS AS SHOWN HERE ON AGE VALUE ON THE ORIGINAL
DRAWING ONLY.

9	LANDSCAPE REVISIONS	7.22.16
7	REVISED OCHSNER BLVD	6.20.16
2	BID ADDENDUM #2	3.16.16
CONSTRUCTION DOCUMENTS		5.26.16
NO	REVISION	DATE

COVINGTON CLINIC EXPANSION -
NEUROSCIENCE & ORTHOPEDICS

DESIGNER HEALTH CENTER - COVINGTON
1000 DESIGNER BOULEVARD
COVINGTON, LOUISIANA 70432
1-800-47 JDR-NC

OVERALL NEW ARCHITECTURAL SITE PLAN	TITLE
-------------------------------------	-------

Author /Checker: DRAWN/CHK:



A0.20

EXISTING
PARKING EXHIBIT

1180 POWERS ST. SUITE 3500 NO. LA 70132 504 524 4375

LANDSCAPE BUFFERS & SETBACKS

- MEASURABLE FRONTAGE ALONG OCHSNER BLVD FOR THIS PARCEL OF LAND IS 1,338 LINEAL FEET FROM NORTHWEST CORNER OF PROPERTY TO DRAINAGE SWALE AT NORTHEAST CORNER. AS PER OWNER-PROVIDED SURVEY BY GANDOLFO KUHN DATED 7.09.2007.
- TOTAL LENGTH OF NEW PARKING ENCROACHMENT IN TREE PLANTING AREA IS 249'-8" (18.7% OF STATED FRONTAGE).

REQUIRED PARKING QUANTITIES

REQUIRED PARKING QUANTITIES
1ST FLOOR CLINIC - 39,300 SQ.FT. @ 1 PARKING SPACE/ 300 SQ.FT. = 131 SPACES
1ST FLOOR ASC - 19,885 SQ.FT. @ 1 PARKING SPACE/ 400 SQ.FT. = 50 SPACES
1ST FLOOR PT GYM - 23,900 SQ.FT. @ 1 PARKING SPACE/ 400 SQ.FT. = 60 SPACES
2ND FLOOR EXISTING CLINIC - 43,000 SQ.FT. @ 1 PARKING SPACE/ 300 SQ.FT. = 144 SPACES
2ND FLOOR NEW CLINIC - 20,500 SQ.FT. @ 1 PARKING SPACE/ 300 SQ.FT. = 69 SPACES

TOTAL REQUIRED NUMBER OF PARKING SPACES PER CODE = 454
TOTAL NUMBER OF PARKING SPACES IN NEW PLAN = 705

PARKING IMPACT:

170 EXISTING PARKING SPACES REMOVED
192 NEW PARKING SPACES PROVIDED
22 NET GAIN

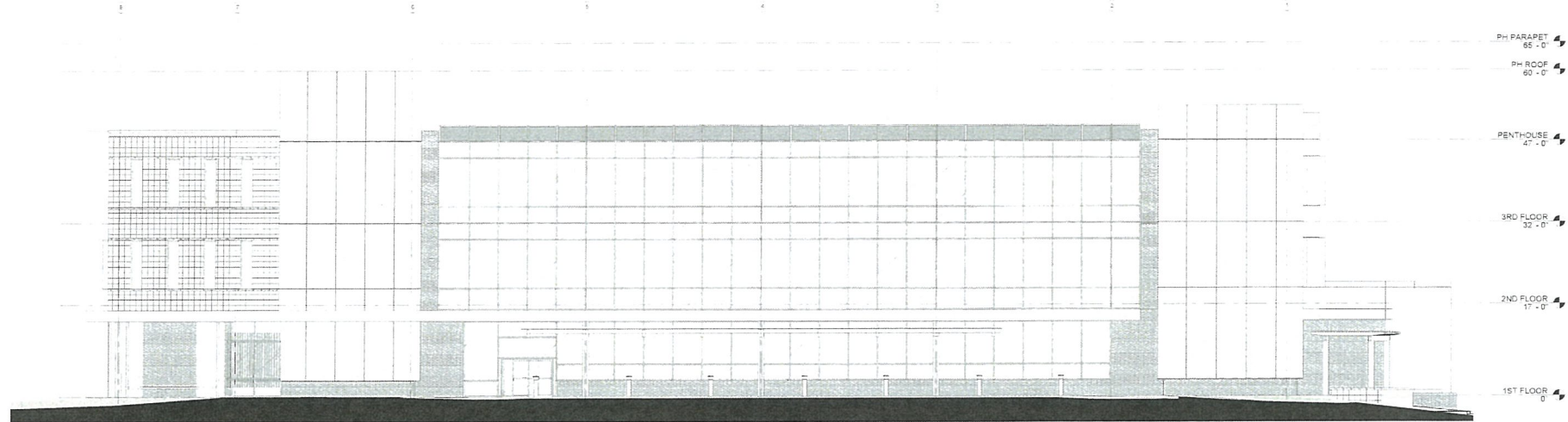
OVERALL NEW ARCHITECTURAL SITE PLAN
1" = 40'-0"

CP02-08-076-PR



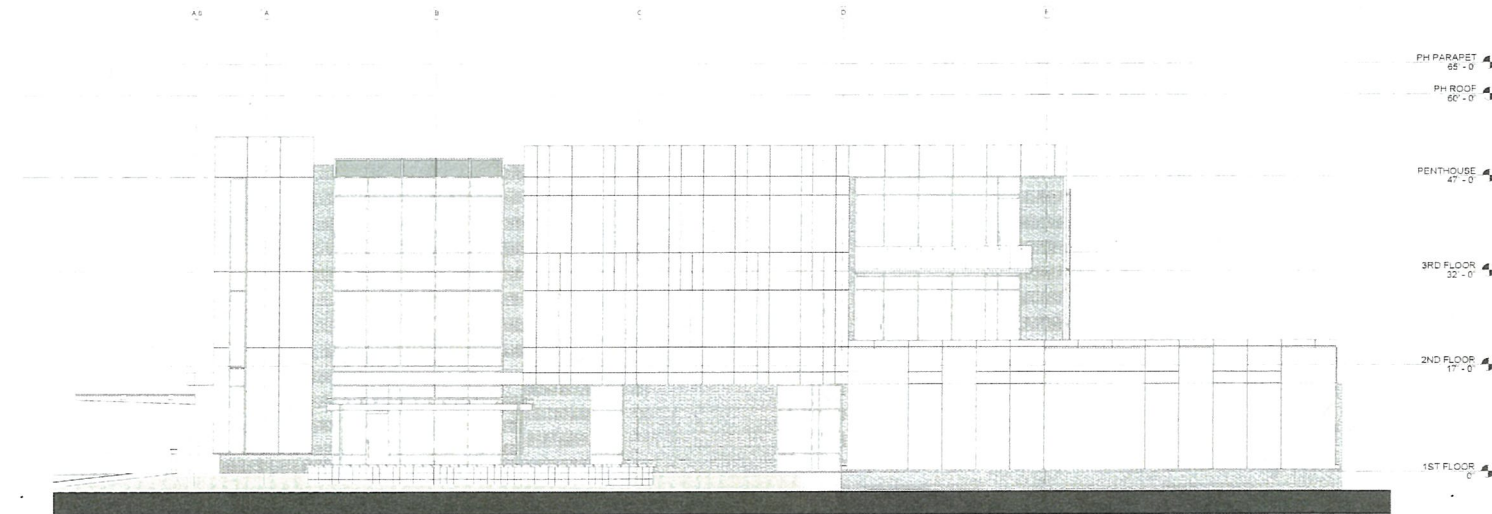
LEGEND

	VITAL PANEL
	BRICK
	STONE BLOCK
	VISION GLAZING - CURTAIN WALL
	SPANDREL GLAZING - CURTAIN WALL
	GLASS BALCONY



NORTH ELEVATION

1/8" = 1'-0"



WEST ELEVATION

1/8" = 1'-0"

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Scales as stated hereon are valid on the original drawings only.

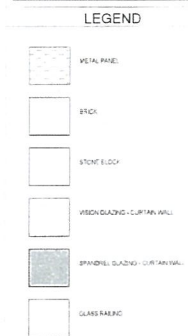
SITE PLAN REVIEW		11/04/19
NO.	REVISION	DATE
DOVINGTON M.O.E.		PROJECT
DOVINGTON, LOUISIANA 70433		
18040		JOB NO.
EXTENSION ELEVATIONS		TITLE
As indicated		SCALE
Author: JG/Checker		DRAWN/CHK



A4.0

RW ROZAS WARD
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1100 PONDOROUS ST. SUITE 3000 NO. LA. 70133 504.521.4275

CP02-08-076-PR



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SCALES AS STATED HEREON ARE VALID ON THE ORIGINAL.

SITE PLAN REVIEW		11/04/2018
NO.	REVISION	DATE
GOVINGTON M O B		PROJECT
GOVINGTON, LOUISIANA 70433		
19049		JOB NO.
EXTERIOR ELEVATIONS		TITLE
As indicated		SCALE
Author / Checker		DRAWING



A4.1

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CP02-08-076-PR

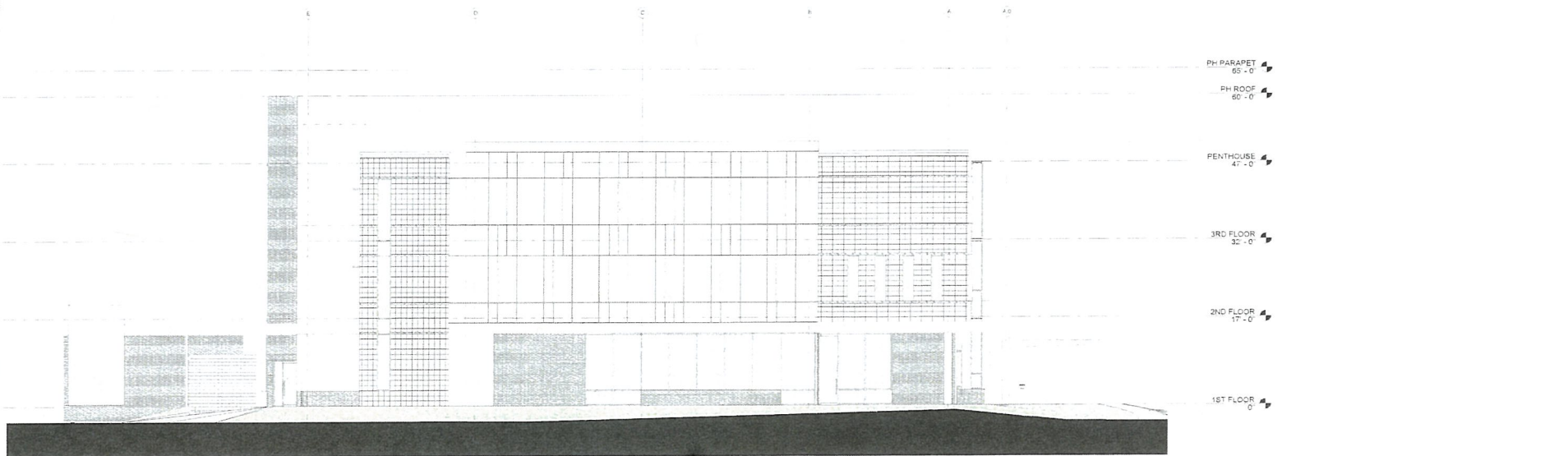


LEGEND

- METAL PANEL
- BRICK
- STONE BLOCK
- VISION GLAZING - CURTAIN WALL
- SPANDREL GLAZING - CURTAIN WALL
- GLASS RAILING



1 SOUTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"

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SITE PLAN REVIEW		11/04/19
NO.	REVISION	DATE
COVINGTON M.G.B.		PROJECT
COVINGTON, LOUISIANA 70433		
18049		JOB NO.
EXTENSION ELEVATIONS		TITLE
As indicated		SCALE
Author: K. Chetani		DRAWN: GHR

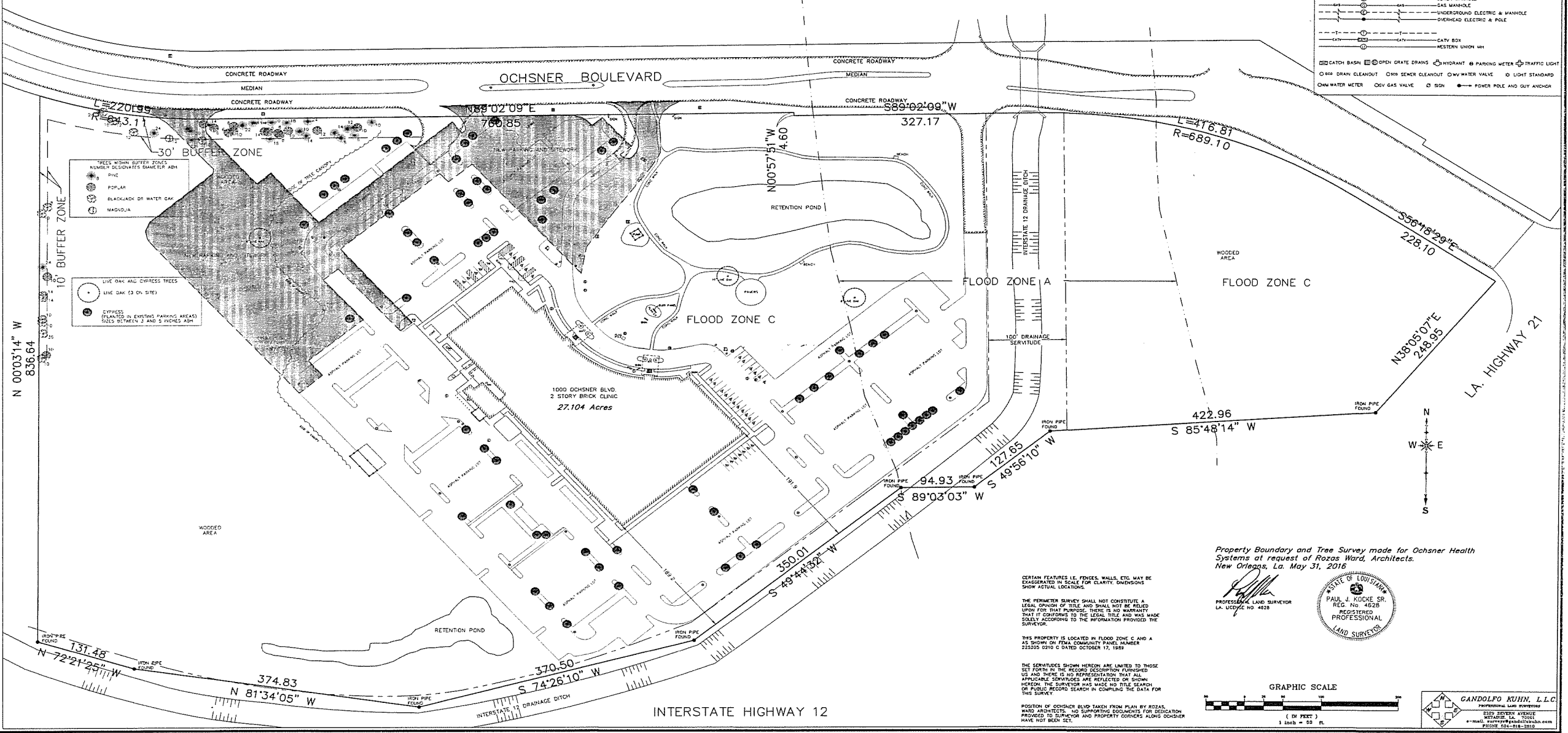


A4.1

RV ROZAS WARD
A PROFESSIONAL CORPORATION
1500 PONDVIEW BLVD. SUITE 3000 NEW ORLEANS, LA 70115
504.524.0000

CP02-08-076-PR

ST. TAMMANY PARISH, LA.
OCHSNER HEALTH CENTER-COVINGTON



2-DRAWINGS/ST TAMMANY/COVINGTON/ADP-NORTHSHORE TREE SURVEY/2016