

AGENDA
ST. TAMMANY PARISH PLANNING COMMISSION MEETING
6:00 PM - TUESDAY OCTOBER 13, 2020
ST. TAMMANY PARISH GOVERNMENT COMPLEX
PARISH COUNCIL CHAMBERS
21490 KOOP DRIVE, MANDEVILLE, LOUISIANA

NOTE: This meeting will be open to the public. Seating may be restricted due to COVID19 capacity guidelines. Attendees will be required to wear a face mask or covering and will be required to submit to a temperature check before entering the Parish Council Chambers.

A livestream will be available for viewing on regular broadcast channels (Charter Channel 710; U-verse Channel 99) or on the Parish website: www.stpgov.org. The livestream will begin at 6:00 PM on Tuesday, October 13, 2020.

Public comments regarding items on this agenda may be submitted during the meeting by calling in to an Audio Bridge Conference Call. Phone Number: 985-276-6398 (if busy, dial: 346-248-7799 or 669-900-6833) Meeting ID: 892 9315 5912# Participant ID: # Password: 51693894#. Please specify the case number you are calling in for.

ROLL CALL

PUBLIC ANNOUNCEMENTS

- Please silence all phones and electronic devices
- Appeals
- Speaker Cards
- Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal
- Please exit the building

INVOCATION AND PLEDGE OF ALLEGIANCE

APPROVAL OF THE SEPTEMBER 8, 2020 MEETING MINUTES

PUBLIC HEARINGS:

REQUEST FOR POSTPONEMENTS

ENTERING PARISH RIGHT-OF-WAY, SERVITUDES, EASEMENTS & TAMMANY TRACE

ENTERING PARISH RIGHT-OF-WAY, SERVITUDES, EASEMENTS & TAMMANY TRACE

Request to Enter the Parish Right-of-Way of Maple Avenue for the purpose of constructing a roadway and drainage improvements (Ozone Park Subdivision).

Debtor: McCalman, LLC - Mr. Sam Camp

Parish Council District Rep.: Hon. Rykert Toledano

General Location: The property is located south of Bodet Lane, east of US Highway 190, Covington, Louisiana. Ward 4, District 5

REVOCATION REVIEW**REV20-09-008**

The revocation of a portion of 10th Street, located on the south side of US Hwy 190 between Square 85 and Square 86 of the Lacombe Park Subdivision, Lacombe, Louisiana. Ward 7, District 7

Applicant: Donald Bordelon

Parish Council District Representative: Hon. James J. Davis

MINOR SUBDIVISION REVIEW**2020-2029-MSP**

A minor subdivision of 11.99 acres into Parcels A & B

Owner & Representative: Curtis J. & Viola V. Chatelain, Jr.

Surveyor: Land Surveying LLC

Parish Council District Representative: Hon. David R. Fitzgerald

General Location: The parcel is located on the west side of LA Highway 1081 and at the end of Landmark Lane, Covington, Louisiana. Ward 2, District 3

2020-2049-MSP

A minor subdivision of 1.872 acres & 3.818 acres into Parcels A, B, C & D

Owner & Representative: Delmont O. & Joan M. Dapremont, Jr.

Surveyor: J.V. Burkes & Associates, Inc.

Parish Council District Representative: Hon. Steve Stefancik

General Location: The parcels are located on the east side of Horace Page Road & Bayou Oak Road (future), Slidell, Louisiana. Ward 9, District 11

2020-2052-MSP

A minor subdivision of Lots A & B into Lots A-1 & B-1

Owner & Representative: Dawn Moran

Surveyor: John G. Cummings & Associates

Parish Council District Representative: Hon. Rykert O. Toledano, Jr.

General Location: The parcels are located on the west side of South Strain Road, north of Creek Bend Road, south of Strain Road, Mandeville, Louisiana. Ward 4, District 5

2020-2053-MSP

A minor subdivision of 12.98 acres being Parcel A & 5.99 acres into Parcels A-1, A-2 & A-3

Owner & Representative: Judith Hogan Cantwell, Britney Taylor, William Bruhl, Salvador Di Maggio

Surveyor: Land Surveying, LLC

Parish Council District Representative: Hon. Martha Cazaubon

General Location: The parcels are located on the east side of Jim Loyd Road and on the south side of LA Highway 40, Folsom, Louisiana. Ward 2, District 3

RESUBDIVISION REVIEW**2020-2039-MRP**

Resubdivision of Lot 280A into Lots 280 B & 281 B, Phase 1A-4, Terra Bella

Owner & Representative: Cyndy Lynne Parden

Surveyor: Randal W. Brown & Associates, Inc.

Parish Council District Representative: Hon. Marty Dean

General Location: The property is located on the west side of Poplar Grove Lane, north of Bay Tree Manor Drive, Covington, Louisiana. Ward 1, District 1

2020-2040-MRP

Resubdivision of Lots 2-B & 2-C into Lots 2-B1 & 2-C1, Phase 2, Deer Cross Park

Owner & Representative: Zeigler Enterprises, LLC - Sean Zeigler - Manager and Marigny - ByWater
Redevelopment Group, LLC - Joseph A. Jaeger, Jr.

Surveyor: John G. Cummings & Associates

Parish Council District Representative: Hon. Marty Dean

General Location: The property is located on the south side of LA Highway 1085, east of Deer Cross Drive, Covington, Louisiana. Ward 1, District 1

2020-2055-MRP

Resubdivision of Part of Lots 14, 15 & 16 into lots 14-A, 14-B & 15-A, 5 Acre Farms

Owner & Representative: Brian L. Perilloux, Carla V. Smith, Frances Marullo, Anthony J. Cyprus

Surveyor: Land Surveying, LLC

Parish Council District Representative: Hon. Rykert O. Toledano, Jr.

General Location: The property is located at the end of Ridgewood Drive and along the west side of Hidden Acres Road (future), Mandeville, Louisiana. Ward 4, District 5

2020-2059-MRP

Resubdivision of Parcel 12 and Lots 145A & 146A into Lots 145A-1 & 146A-1, Phase 1, Westwood Subdivision

Owner & Representative: Joseph G. & Lisa C. Ledet and Frank & Sue Soehnlein

Surveyor: Randal W. Brown & Associates, Inc.

Parish Council District Representative: Hon. Rykert O. Toledano, Jr.

General Location: The property is located on the west side of Westwood Drive, south of Judge Tanner Blvd, Mandeville, Louisiana. Ward 4, District 5

2020-2060-MRP

Resubdivision of lots 33-38 into Lots 33-A & 37-A, Phase 4B, Clipper Estates

Owner & Representative: George C. Molski

Surveyor: Lester Martin Jr. & Associates, LLC

Parish Council District Representative: Hon. Jake A. Airey

General Location: The property is located at the end of Vela Cove, Slidell, Louisiana. Ward 9, District 13

2020-2066-MRP

Resubdivision of lots 137A & 137B into lots 137A-1 & 137B-1, Phase 3A, Clipper Estates

Owner & Representative: Shane & Helen Moreau

Surveyor: J. V. Burkes & Associates, Inc.

Parish Council District Representative: Hon. Jake A. Airey

General Location: The property is located at the end of Cuttysark Cove, Slidell, Louisiana. Ward 9, District 13

PETITIONS/WAIVER REQUESTS**DORMANT SUBDIVISION REVIEW****TENTATIVE SUBDIVISION REVIEW**

PRELIMINARY SUBDIVISION REVIEW**2020-2010-PP**

Military Ridge, Phase 1

Developer/Owner: Lynn Levy Land Co., LLC

Engineer/Surveyor: J.V. Burkes & Associates, Inc.

Parish Council District Representative: Hon. Mike Smith

General Location: The property is located on the east & west sides of North Military Road/LA Highway 1090, north of Interstate-12, Slidell, Louisiana. Ward 8, District 9

FINAL SUBDIVISION REVIEW**2020-2017-FP**

Preston Vineyard

Developer/Owner: First Horizon, Inc.

Engineer/Surveyor: McLin Taylor, Inc.

Parish Council District Representative: Hon. Martha Cazaubon

General Location: The property is located south of LA Highway 190, west of LA Highway 1077, north of Interstate-12, Madisonville, Louisiana. Ward 1, District 3

2020-1977-FP

Dove Park Estates (**Resubmitted**)

Developer/Owner: Dove Park Estates, LLC

Engineer/Surveyor: Duplantis Design Group, PC

Parish Council District Representative: Hon. Rykert Toledano

General Location: The property is located on the north side of Dove Park Road, west of LA Highway 59, south of Interstate 12, Covington, Louisiana. Ward 4, District 5

AMENDMENTS TO CHAPTER 125 - SUBDIVISION REGULATIONS**AMENDMENT TO DEVELOPMENTAL AGREEMENT****OLD BUSINESS****Entering the Parish R.O.W. Resolution No. 19-105**

Request to Enter the Parish Right of Way for Ozone Street, Town of Mandeville Subdivision for the purpose of extending the street and installing drainage features.

Debtor: SMS Holdings, LLC

Parish Council District: Hon. Jimmie Davis

General Location: The property is located on the north side of Joans Street, east of Soult Street, Mandeville, Louisiana. Ward 4, District 7

Requesting a waiver for central water requirements and an extension to the approval period of one year

Entering the Parish R.O.W. Resolution No. 19-107

Request to Enter the Parish Right of Way for Rapatel Street, Town of Mandeville Subdivision for the purpose of extending the street and installing drainage features.

Debtor: SMS Holdings, LLC

Parish Council District: Hon. Jimmie Davis

General Location: The property is located at the end of Rapatel Street, south of Armand Street, east of Soult Street, Mandeville, Louisiana. Ward 4, District 7

Requesting a waiver for central water requirements - WITHDRAWN

Requesting an extension to the approval period of one year

NEW BUSINESS**ADJOURNMENT**

MINUTES
ST. TAMMANY PARISH PLANNING COMMISSION MEETING
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ROLL CALL

Present: Seeger, Ress, McInnis, Willie, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Absent: None

Staff Present: Liner, Tissue, Lambert, Reynolds, Riles, Cleland, Mayfield

PUBLIC ANNOUNCEMENTS

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- Speaker Cards
- Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal
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INVOCATION AND PLEDGE OF ALLEGIANCE

INVOCATION - Randolph presented the Invocation

PLEDGE OF ALLEGIANCE - Willie presented the Pledge of Allegiance

APPROVAL OF THE AUGUST 11, 2020 MEETING MINUTES

Randolph moved to approve, second by Crawford.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Nay: N/A

Abstain: N/A

PUBLIC HEARINGS:

REQUEST FOR POSTPONEMENTS**2020-2017-FP - POSTPONED**

Preston Vineyard

Developer/Owner: First Horizon, Inc.

Engineer/Surveyor: McLin Taylor, Inc.

Parish Council District Representative: Hon. Martha Cazaubon

General Location: The property is located south of LA Highway 190, west of LA Highway 1077, north of Interstate-12, Madisonville, Louisiana. Ward 1, District 3

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Paul Mayronne

Opposition: None

Fitzmorris moved to postpone for one month, second by Crawford.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Nay: N/A

Abstain: N/A

2020-2010-PP - POSTPONED

Military Ridge, Phase 1

Developer/Owner: Lynn Levy Land Co., LLC

Engineer/Surveyor: J.V. Burkes & Associates, Inc.

Parish Council District Representative: Hon. Mike Smith

General Location: The property is located on the east & west sides of North Military Road/LA Highway 1090, north of Interstate-12, Slidell, Louisiana. Ward 8, District 9

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Jeff Schoen

Opposition: None

Randolph moved to postpone for one month, second by Fitzmorris.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Nay: N/A

Abstain: N/A

ENTERING PARISH RIGHT-OF-WAY, SERVITUDES, EASEMENTS & TAMMANY TRACE**REVOCATION REVIEW****MINOR SUBDIVISION REVIEW****2020-1975-MSP - APPROVED**

A minor subdivision of 15.79 acres into lots 1, 2, 3, 4 & 5

Owner & Representative: Darling Design Homes, Inc. - Mr. Buddy Coate

Surveyor: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon. Marty Dean

General Location: The property is located on the west side of LA Highway 1077 and proposed Desaire Drive, south of Post Oak Drive, north of Galatas Road Madisonville, Ward 1, District 1

Postponed at the August 11, 2020 meeting

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Paul Mayronne

Opposition: None

Fitzmorris moved to approve with waivers, second by Barcelona.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Nay: N/A

Abstain: N/A

2020-1991-MSP - APPROVED

A minor subdivision of 15 acres being Parcel A1 into Lots A1A & A1B

Owner & Representative: Lloyd E. & Stacy Smith, Jr.

Surveyor: J.V. Burkes & Associates, Inc.

Parish Council District Representative: Hon. James. J. Davis

General Location: The parcel is located on the east side of Morning Star Drive and on the west side of Ordogne Ruppert Road, Lacombe. Ward 7, District 7

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: None

Opposition: None

Crawford moved to approve, second by Fitzmorris.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Nay: N/A

Abstain: N/A

2020-1996-MSP - APPROVED

A minor subdivision of Parcels E1 & E2 into Parcel E1A

Owner & Representative: Yakir Katz & Edith R. Ambrose

Surveyor: J.V. Burkes & Associates, Inc.

Parish Council District Representative: Hon. James. J. Davis

General Location: The parcel is located on the east side of N. Pontchartrain Drive, south of Sunshine Lake Drive, Lacombe. Ward 7, District 7

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Ms. Edith R. Ambrose

Opposition: None

Fitzmorris moved to approve, second by Randolph.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Nay: N/A

Abstain: N/A

2020-2022-MSP - APPROVED

A minor subdivision of 100.387 acres being Parcel 1 into Parcels 1-A & 1-B

Owner: Recreational District #1 of St. Tammany Parish

Representative: Jones Fussell, LLP - Paul J. Mayronne

Surveyor: Kelly J. McHugh & Associates, Inc.

Parish Council District Representative: Hon. James. J. Davis

General Location: The parcel is located on the west side of Patricia P. Brister Safe Haven Pkwy (Pelican Drive) and on the north side of US Highway 190, Mandeville, Ward 4, District 7

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Paul Mayronne

Opposition: None For: Ms. Mary Burckell

Randolph moved to approve, second by Fitzmorris.

Yea: Seeger, Ress, McInnis, Willie, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Nay: N/A

Abstain: Richard

2020-2026-MSP - APPROVED

A minor subdivision to create a 412.5 acres as Parcel A

Owner: Salmen Company. LLC - Steve M. Rapier, President

Representative: Jones Fussell, LLP - Paul J. Mayronne

Surveyor: J.V. Burkes & Associates, Inc.

Parish Council District Representative: Hon. Steve Stefancik

General Location: The parcel is located at the northwest intersection of Belair Blvd & Airport Road and on the east side of Journey Road, Slidell. Ward 9, District 11

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Paul Mayronne

Opposition: Jimmy Herod and George Haase

Drumm moved to deny. Motion did not receive a second.

Richard moved to approve with waivers, second by Fitzmorris.

Yea: Seeger, Ress, McInnis, Willie, Richard, , Fitzmorris, Barcelona, Crawford, Randolph

Nay: Doherty, Drumm

Abstain: N/A

RESUBDIVISION REVIEW

2020-2023-MRP - APPROVED

Resubdivision of Lots 14A & 16A (Map file #2902B) and Lots 15A & 17A (Map file #3507F) into Lots 14A-1, 16A-1 & 17A-1, Phase 4-B, Clipper Estates

Owner & Representative: Vela Developments, LLC - Peter R. Tufaro

Surveyor: J.V. Burkes & Associates, Inc.

Parish Council District Representative: Hon. Jake A. Airey

General Location: The property is located on the east side of Vela Cove, east of Cutter Cove, Slidell, Louisiana. Ward 9, District 13

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Peter R. Tufaro

Opposition: None

Seeger moved to approve, second by Fitzmorris.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Nay: N/A

Abstain: N/A

PETITIONS/WAIVER REQUESTS

DORMANT SUBDIVISION REVIEW

TENTATIVE SUBDIVISION REVIEW**PRELIMINARY SUBDIVISION REVIEW****2020-2011-PP - APPROVED**

Lakeshore Villages, Phase 6

Developer/Owner: D.R. Horton, Inc. - Gulf Coast

Engineer/Surveyor: Duplantis Design Group, PC

Parish Council District Representative: Hon. Jake Airey

General Location: The property is located north of Oak Harbor Blvd., west of LA Highway 433, east of Interstate-10, Slidell, Louisiana. Ward 9, District 13

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Jeff Schoen

Opposition: None

Mr. Schoen requested the waiver be amended to remove Lots #1289 and #1311.

Barcelona moved to approve with the amended waiver, second by Fitzmorris.

Yea: Seeger, Ressa, Willie, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Nay: McInnis

Abstain: N/A

2020-2012-PP - APPROVED

Lakeshore Villages, Phase 11

Developer/Owner: D.R. Horton, Inc. - Gulf Coast

Engineer/Surveyor: Duplantis Design Group, PC

Parish Council District Representative: Hon. Jake Airey

General Location: The property is located north of Oak Harbor Blvd., west of LA Highway 433, east of Interstate-10, Slidell, Louisiana. Ward 9, District 13

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Jeff Schoen

Opposition: None

Fitzmorris moved to approve, second by Randolph.

Yea: Seeger, Ressa, Willie, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Nay: McInnis

Abstain: N/A

2020-2014-PP - APPROVED

Bedico Creek, Parcel 10

Developer/Owner: Bedico Creek Preserve, LLC

Engineer: Kelly McHugh & Associates

Parish Council District Representative: Hon. Marty Dean

General Location: The property is located on the northwest side of LA Highway 1085, South of I-12, Madisonville, Louisiana. Ward 1, District 1

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Jeff Schoen

Opposition: Glenn Grosch, Shelby Simpson, Robert Economides, Glenn Maisie

Seeger moved to approve, second by Willie.

Yea: Seeger, Ress, Willie, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Nay: McInnis

Abstain: N/A

FINAL SUBDIVISION REVIEW

2020-1970-FP - APPROVED

River Club Estates, Phase 2-A

Developer/Owner: River Club Development, LLC

Engineer/Surveyor: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon. Marty Dean

General Location: The property is located south of River Chase Drive & Brewster Road, west of and adjoining the Tchefuncte River; Covington, Louisiana. Ward 1, District 1

Postponed at the August 11, 2020 meeting

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Paul Mayronne

Opposition: None

Randolph moved to approve, second by Fitzmorris.

Yea: Seeger, Ress, Willie, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Nay: McInnis

Abstain: N/A

2020-2013-FP - APPROVED

Lakeshore Villages, Phase 8A

Developer/Owner: D.R. Horton, Inc. - Gulf Coast

Engineer/Surveyor: Duplantis Design Group, PC

Parish Council District Representative: Hon. Jake Airey

General Location: The property is located north of Oak Harbor Blvd., west of LA Highway 433, east of Interstate-10, Slidell, Louisiana. Ward 9, District 13

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Jeff Schoen

Opposition: None

Fitzmorris moved to approve, second by Crawford.

Yea: Seeger, Ress, Willie, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Nay: McInnis

Abstain: N/A

AMENDMENTS TO CHAPTER 125 - SUBDIVISION REGULATIONS

AMENDMENT TO DEVELOPMENTAL AGREEMENT

OLD BUSINESS

ENTERING PARISH RIGHTS-OF-WAY, SERVITUDES, EASEMENTS - WITHDRAWN

Request to Enter Parish Right-of-Way of Lyons Street for the purpose of gaining access to property (Tammany Terrace Subdivision). Resolution No. 18-046

Debtor: Tammany Terrace, LLC - Mr. Craig Seals

Parish Council District Representative: Hon. David Fitzgerald

General Location: The property is located east of Lee Road/LA Highway 437, west of LA Highway 1081, north of Interstate-12, Covington, Louisiana. Ward 3, District 2

Requesting a waiver for the location of the water valve at the intersection of Kenny Lane and Eldora Avenue

2017-825-PP -APPROVED

Versailles Business Park, Phase 2

Developer/Owner: Dobbins Group

Engineer/Surveyor: Duplantis Design Group, PC

Parish Council District Representative: Hon. Rykert Toledano

General Location: The property is located south of Holiday Boulevard, west of LA Highway 190, north of Interstate-12, Covington Louisiana. Ward 3, District 5

Establish a Warranty Obligation

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Jason Reibert

Opposition: None

Fitzmorris moved to approve, second by Randolph.

Yea: Seeger, Ress, Willie, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Nay: McInnis

Abstain: N/A

NEW BUSINESS**ADJOURNMENT**

Mr. David Doherty
Chairman

**ENTERING THE PARISH
RIGHTS-OF-WAY,
SERVITUDES AND
EASEMENTS**

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ST. TAMMANY PARISH

MICHAEL B. COOPER
PARISH PRESIDENT

October 6, 2020

St. Tammany Parish Planning Commission
P.O. Box 628
Covington, LA 70434

Re: Enter the Parish R.O.W. - Maple Avenue - For the purpose of constructing a roadway and drainage improvements (Ozone Park Farms Subdivision)

Honorable Commissioners,

This office is in receipt of Mr. Eddie Powell, P.E.'s request to enter the Parish right-of-way for the purpose of constructing a roadway and drainage improvements for his client, Mr. Sam Camp.

This office has reviewed the request from Mr. Powell, P.E. and has no objection.

Sincerely,

A handwritten signature in blue ink that reads "Christopher Tissue".

Christopher Tissue, P.E.
Lead Development Engineer

*Attachments: Request to Enter the Parish Right-of-Way from Mr. Eddie Powell, P.E., Kyle Associates, LLC
DRAFT Enter the Parish R.O.W. Resolution dated October 6, 2020
Preliminary Road Plan "Maple Street Extension" dated October 9, 2019*

xc: Honorable Rykert Toledano
Mr. Ross Liner, AICP, PTP, CFM
Mr. Jay Watson, P.E.
Ms. Helen Lambert
Mr. Earl J. Magner
Mr. Theodore Reynolds, P.E.
Mr. Sam Camp, McCalman, LLC
Mr. Eddie Powell, P.E., Kyle Associates, LLC

From: Eddie Powell <epowell@kyleassociates.net>
Sent: Friday, August 28, 2020 8:01 AM
To: Christopher P. Tissue
Cc: Theodore C. Reynolds; Shelby R. Vorenkamp
Subject: Request to Enter the Parish ROW - Maple Avenue
Attachments: 19005.Maple Avenue Extension.Revised Layout (07.06.20).pdf

Chris,

Please accept this email as our official request for approval to enter the parish ROW for the purposes of constructing a new concrete road/subsurface drainage within the unopened existing ROW of Maple Avenue located between Bodet Lane and Pear Street in St. Tammany Parish, LA. Please find attached a schematic drawing of the proposed layout. Once approved by the Planning Commission, Kyle Associates will submit the full construction set for the road and drainage improvements.

Please advise at your earliest convenience on the meeting date that this request will be heard so we can make provisions to attend. If you have any questions or comments, do not hesitate to contact this office.

Thanks,
Eddie Powell

James E. Powell, Jr., P.E., P.L.S.
Vice President – Engineering Operations
Kyle Associates, LLC
638 Village Lane North
Mandeville, LA 70471
(985) 727-9377, ext 202
(225) 802-9845 (cell)

ST. TAMMANY PARISH PLANNING COMMISSION

RESOLUTION

RESOLUTION PLANNING COMMISSION SERIES NO. _____

TITLE: A RESOLUTION AUTHORIZING MCCALMAN, LLC TO ENTER PARISH RIGHT-OF-WAY.

SUB-TITLE: A RESOLUTION GRANTING PERMISSION TO MCCALMAN, LLC C/O MR. SAM CAMP; 139 BODET LANE, COVINGTON, LA 70433 TO ENTER PARISH RIGHT-OF-WAY, SPECIFICALLY THE UNOPENED PORTION OF MAPLE AVENUE (BETWEEN PEAR AND BODET LANE) OZONE PARK SUBDIVISION, FOR THE PURPOSE OF CONSTRUCTING A ROADWAY AND DRAINAGE IMPROVEMENTS. WARD 4, DISTRICT 5.

NOW, THEREFORE, BE IT RESOLVED, by the St. Tammany Parish Planning Commission that it hereby grants permission to the aforementioned petitioner to enter Parish right-of-way for the aforementioned purposes, subject to the following conditions:

1. That the improvements that will be undertaken will be at the sole expense of the petitioner.
2. That the petitioner agrees to accept full responsibility, financial and all other, for the damage and /or relocation of utilities currently located within Parish right-of-way.
3. That the petitioner shall submit plans prepared by a licensed engineer to the Department of Engineering for review and approval. The drainage and road design with soil borings must meet the ASPHALT road standards as established under the “Subdivision Regulatory Ordinance.” The Parish’s engineer may require additional off-site work to minimize the potential impact of the proposed construction with special emphasis regarding drainage. The plans must include sewerage and water systems, where applicable. Upon approval of plans and specifications by the Director of Engineering, the petitioner must notify the Department of Engineering prior to the commencement of any activity.
4. Any developer/applicant proposing to develop lots within a “dormant subdivision” or “subdivision of record” must submit for review and approval of the Parish Engineer a drainage plan that meets the detention requirements of St. Tammany Parish Code of Ordinances, Part II “Land Development Code,” Chapter 125 “Subdivision Regulations,”. Where applicable, such developer/applicant shall be entitled to claim a credit toward drainage impact fees due the Parish under the authority of the St. Tammany Parish Code of Ordinances, Chapter 2, Article XVII “Parish Fees,” Division 3 “Development,” Subdivision V “Mandatory Impact Fees” and, where applicable, shall be entitled to claim credit/reimbursement from any drainage impact fees that have been paid into the “Drainage Impact Fee Escrow Account” by the owner or owners of lots that are not owned by the developer/applicant but would be receiving the benefits of said storage requirements.
5. That should the petitioner commence work thereon, petitioner by such act acquiesces and acknowledges thereby that he will hold this Parish, its officials, agents, servants, and employees free and harmless from any liability or responsibility whatsoever in connection with the construction of the project. Petitioner will provide copy of Liability Insurance Policy, including the naming of the Parish as an insured party. The insurance will remain in effect until the Parish takes over the maintenance.

6. That nothing herein shall be construed as a revocation of the dedication of the aforementioned right of way.
7. That no maintenance nor financial nor material nor assistance shall be provided by the Parish for the project nor the maintenance thereof, except for the inspection of the plans and specifications by the Department of Engineering to insure the construction complies with Parish specifications.
8. That the petitioner post a Performance Obligation in the amount of \$13,720.00 (\$40.00 per linear foot x 343 linear feet) for a period of one (1) year. The roadway material is still being determined between the petitioner and their engineer.
9. That the petitioner agree to post a Warranty Obligation upon completion of the project in the amount of \$7,546.00 (\$22.00 per linear foot x 343 linear feet) for a period of two (2) years. The roadway material is still being determined between the petitioner and their engineer.
10. That the petitioner and any assignees submit a Hold Harmless Agreement in connection with the construction of the project and utilization of the access by (an) individual (s) until the time that the access is upgraded to Parish standards and accepted into the Parish's Selective Road Maintenance System.
11. That the petitioner and any assignees agrees to provide maintenance for this access at his/her own expense until such time as the Parish agrees to accept this portion of right of way into the Parish's Selective Road Maintenance System.
12. Petitioner acknowledges and accepts full responsibility for the installation and maintenance of drainage, specifically from the on-site mechanical sewerage treatment plants, on the public right of way he/she seeks permission to enter.
13. That the petitioner agrees to provide the Parish with the necessary drainage and utility servitude along the roadways being constructed.
14. That the petitioner shall submit a copy of the current owner's deed.
15. That the petitioner shall produce proof that the right of way is dedicated to the Parish.
16. That the petitioner shall produce from the U.S. Army Corps of Engineers either: a written statement that the road is not in a wetland area, within the meaning of Section 404 of the Federal "Clean Water Act" or a Section 404 Permit under the Federal "Clean Water Act" authorizing the opening of the portion of the right of way in question.
17. That the petitioner shall submit a site plan of Petitioner's property and the unopened right of way.
18. Permission is valid for the issuance of building permits according to current zoning only, issued to AS INDICATED ABOVE, WARD 4, DISTRICT 5.
19. That the petitioner submit as-built drawings certifying that road is constructed within the Parish right of way.

20. That the petitioner submit all documentation required within ONE (1) year from date of adoption, additionally petitioner has two (2) years to complete all work on this project, if not completed within two (2) years, approval of this work will be voided and petitioner will be required to reapply for permission.

THIS RESOLUTION HAVING BEEN SUBMITTED TO A VOTE, THE VOTE THEREON WAS AS FOLLOWS:

MOVED FOR ADOPTION BY _____, SECONDED BY _____; A VOTE THEREON RESULTED IN THE FOLLOWING:

YEA:

NAY:

ABSTAIN:

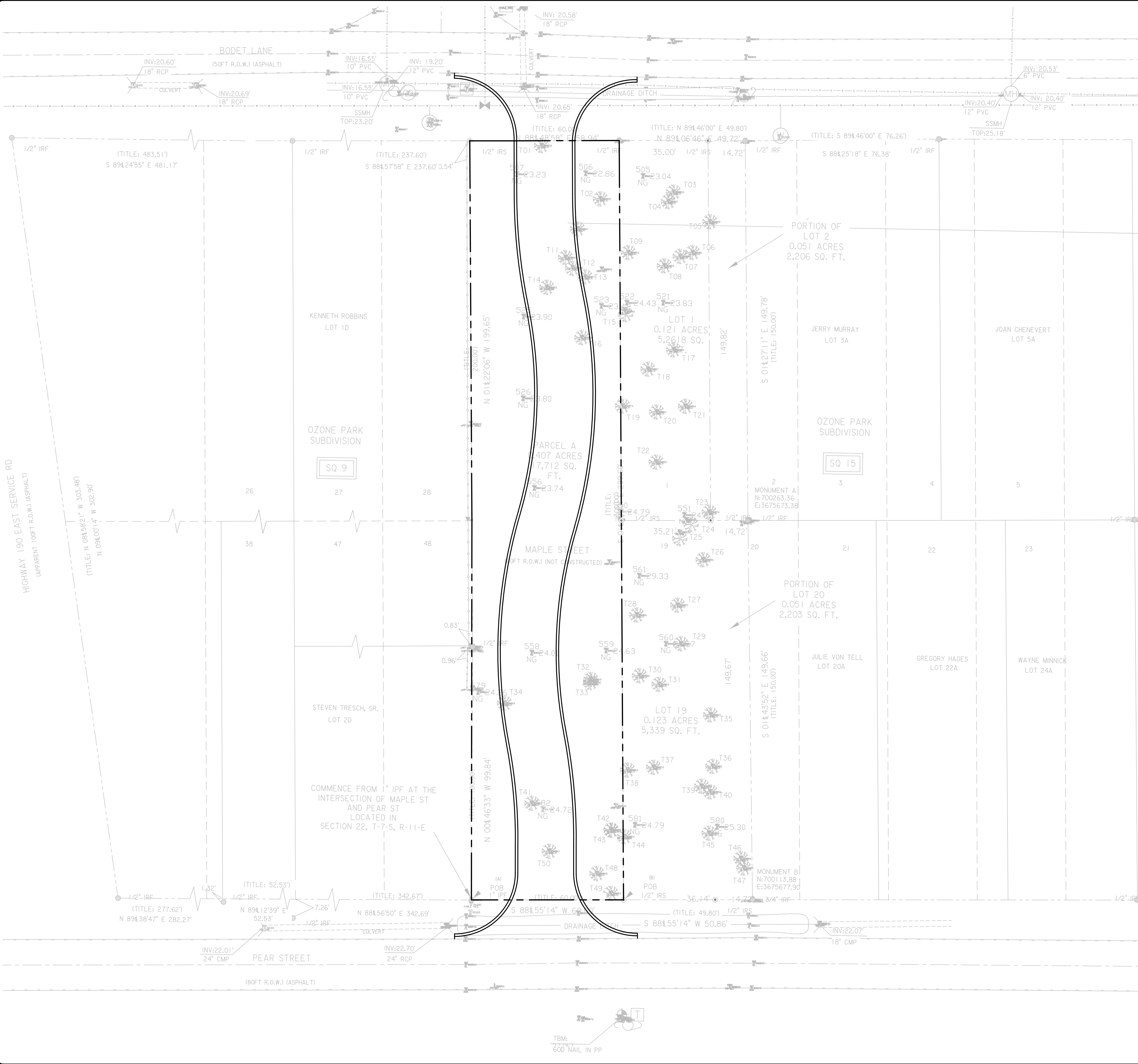
ABSENT:

AND THIS RESOLUTION WAS DECLARED DULY ADOPTED ON THE 13TH DAY OF OCTOBER, 2020, AT A REGULAR MEETING OF THE PLANNING COMMISSION, A QUORUM OF THE MEMBERS BEING PRESENT.

DAVID DOHERTY, JR., CHAIRMAN
ST. TAMMANY PARISH PLANNING COMMISSION

ATTEST:

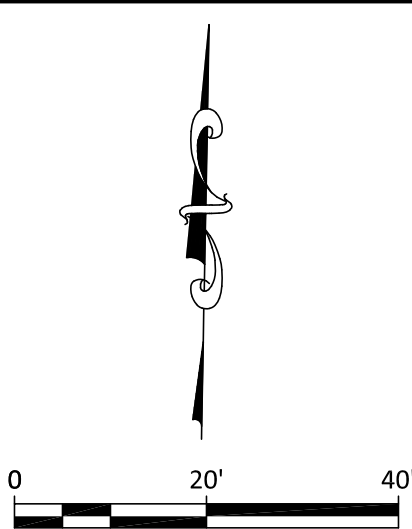
ROSS P. LINER, AICP, PTP, CFM, SECRETARY
ST. TAMMANY PARISH PLANNING COMMISSION



EXISTING TREE TABLE			
TREE	COMMON NAME	BOTANICAL NAME	DBH
1	WATER OAK	QUERCUS NIGRA	16"
2	WATER OAK	QUERCUS NIGRA	14"
3	WATER OAK	QUERCUS NIGRA	24"
4	PINE	PINUS PALUSTRIS	30"
5	PINE	PINUS PALUSTRIS	36"
6	WATER OAK	QUERCUS NIGRA	10"
7	WATER OAK	QUERCUS NIGRA	14"
8	WATER OAK	QUERCUS NIGRA	14"
9	SWEET GUM	LIQUIDAMBAR STYRACIFLUA	24"
10	PINE	PINUS PALUSTRIS	24"
11	PINE	PINUS PALUSTRIS	24"
12	PINE	PINUS PALUSTRIS	14"
13	SWEET GUM	LIQUIDAMBAR STYRACIFLUA	14"
14	MAGNOLIA	MAGNOLIA GENUS	10"
15	WATER OAK	QUERCUS NIGRA	16"
16	WATER OAK	QUERCUS NIGRA	14"
17	WATER OAK	QUERCUS NIGRA	24"
18	WATER OAK	QUERCUS NIGRA	14"
19	SWEET GUM	LIQUIDAMBAR STYRACIFLUA	14"
20	WATER OAK	QUERCUS NIGRA	16"
21	PINE	PINUS PALUSTRIS	30"
22	SWEET GUM	LIQUIDAMBAR STYRACIFLUA	24"
23	WATER OAK	QUERCUS NIGRA	14"
24	SWEET GUM	LIQUIDAMBAR STYRACIFLUA	14"
25	WATER OAK	QUERCUS NIGRA	16"
26	WATER OAK	QUERCUS NIGRA	16"
27	PINE	PINUS PALUSTRIS	20"
28	WATER OAK	QUERCUS NIGRA	12"
29	SWEET GUM	LIQUIDAMBAR STYRACIFLUA	14"
30	SWEET GUM	LIQUIDAMBAR STYRACIFLUA	16"
31	SWEET GUM	LIQUIDAMBAR STYRACIFLUA	10"
32	MAGNOLIA	MAGNOLIA GENUS	10"
33	MAGNOLIA	MAGNOLIA GENUS	10"
34	SWEET GUM	LIQUIDAMBAR STYRACIFLUA	12"
35	PINE	PINUS PALUSTRIS	20"
36	PINE	PINUS PALUSTRIS	24"
37	PINE	PINUS PALUSTRIS	16"
38	WATER OAK	QUERCUS NIGRA	16"
39	WATER OAK	QUERCUS NIGRA	16"
40	SWEET GUM	LIQUIDAMBAR STYRACIFLUA	20"
41	SWEET GUM	LIQUIDAMBAR STYRACIFLUA	12"
42	WATER OAK	QUERCUS NIGRA	16"
43	WATER OAK	QUERCUS NIGRA	16"
44	HICKORY	CARYA OVATA	16"
45	WATER OAK	QUERCUS NIGRA	12"
46	PINE	PINUS PALUSTRIS	20"
47	SWEET GUM	LIQUIDAMBAR STYRACIFLUA	10"
48	PINE	PINUS PALUSTRIS	20"
49	WATER OAK	QUERCUS NIGRA	12"
50	WATER OAK	QUERCUS NIGRA	12"

NOTES:

- ROADWAY SHALL BE EITHER CONCRETE WITH CONCRETE CURBS OR ASPHALT WITH CONCRETE CURB AND GUTTER.
- ROADWAY LENGTH IS 343 FEET.



Enter R.O.W. Project
PLANS
RECEIVED
10/07/2020
DEVELOPMENT
ENGINEERING
**ENGINEERING
REVIEW COPY**

CADD FILE NAME:
19005-PL-SETUP.dwg

DESIGNED BY:	JEP	DRAWN BY:	MMM	CHECKED BY:	JEP	JOB NO.	19005
SCALE: (22x34)	1" = 20'	SCALE: (11x17)	1" = 40'	DATE:	10/09/2019		

MAPLE STREET EXTENSION
COVINGTON, LOUISIANA

PRELIMINARY ROAD PLAN

NO.	DATE:	REVISIONS		APPD
		REVISED PER	STP COMMENTS	
1	10/07/20			JEP

PRELIMINARY
DOCUMENTS

THESE DOCUMENTS ARE NOT TO
BE USED FOR CONSTRUCTION,
BIDDING, RECORDATION,
CONVEYANCE, SALES, OR AS THE
BASIS FOR ISSUANCE OF A PERMIT.
THESE DOCUMENTS WERE
PREPARED UNDER THE DIRECT
SUPERVISION OF
JAMES E. POWELL, JR., P.E.
LA-31063



SHEET NO.

C1.0

REVOCATIONS

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REVOCATION STAFF ANALYSIS REPORT
(As of September 25, 2020)

CASE NO.: REV20-09-008

NAME OF STREET OR ROAD: Unopened portion of 10th Street, as delineated on the Lacombe Park Subdivision Plat (Map #183B)

NAME OF SUBDIVISION: Lacombe Park Subdivision

WARD: 7 PARISH COUNCIL DISTRICT: 7

PROPERTY LOCATION: The property is located on the south side of US Hwy 190 between Square 85 and Square 86 of the Lacombe Park Subdivision, Lacombe, Louisiana, Ward 7, District 7

SURROUNDING ZONING: HC-3 Highway Commercial

PETITIONER/REPRESENTATIVE: Donald A. Bordelon

STAFF COMMENTARY:

Department of Planning & Development Comments:

The applicant is proposing to revoke an unopened portion of 10th Street. Donald A. Bordelon desires to assimilate this property into an adjacent residential property, upon which he resides. One (1) property abuts the right-of-way proposed for revocation. The property owner has no objections to the proposed revocation.

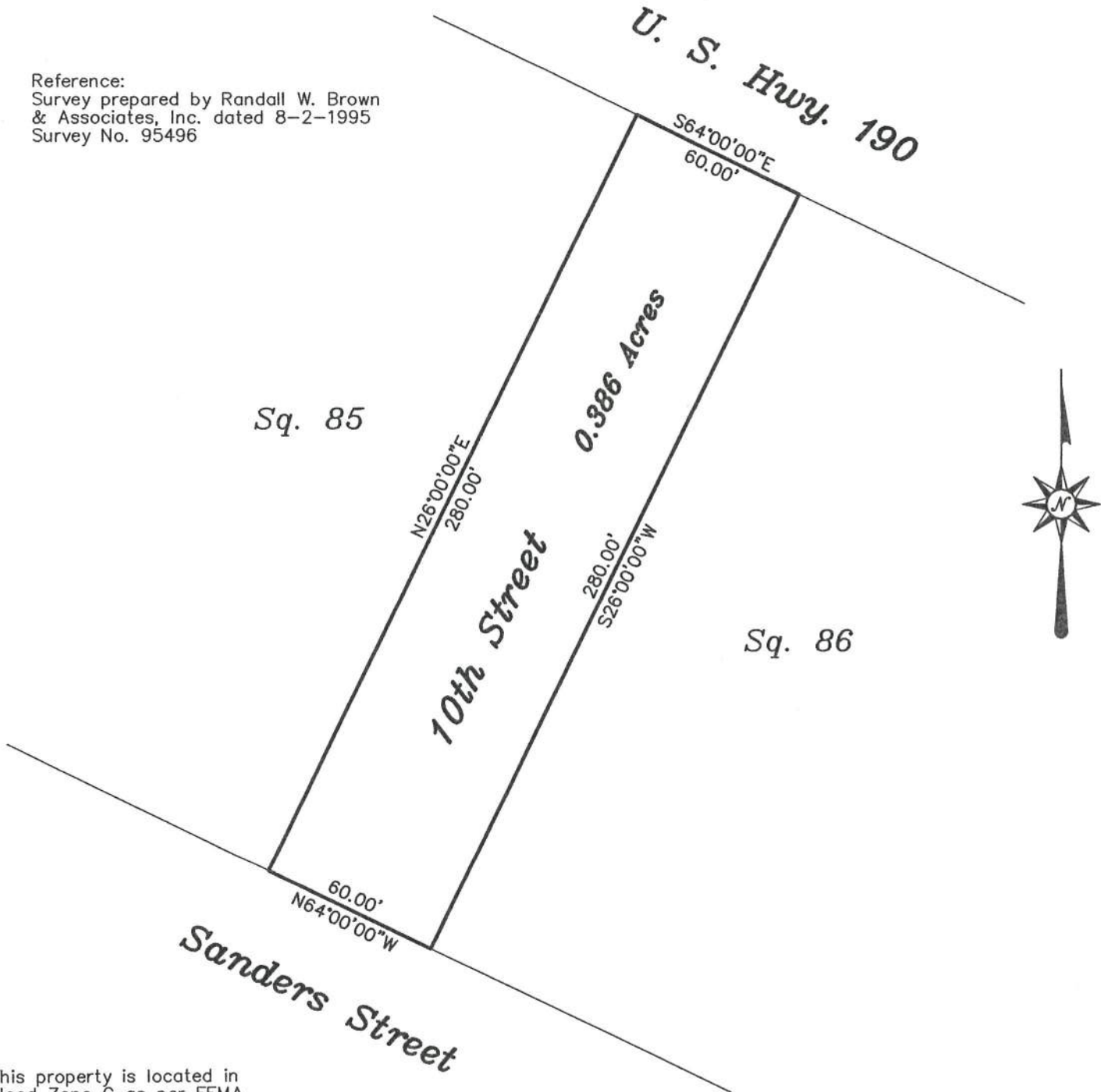
Recommendation:

The Staff has determined that the proposal is consistent relative to the Louisiana Revised Statutes governing the revocation of immovable property since the right-of-way does not appear to serve any public use or benefit, other than to the applicant. Therefore, the staff has no objections to the proposed revocation request subject to the applicant assimilating his portion of the right-of-way into his adjacent property through the Parish's resubdivision process and the survey being amended to reflect the following:

- Change all references to Sanders Street to reflect Sanders Street (not constructed)

Revocation of a Portion of 10th Street
Town of Lacombe, St. Tammany Parish,
Louisiana

Reference:
Survey prepared by Randall W. Brown
& Associates, Inc. dated 8-2-1995
Survey No. 95496



This property is located in
Flood Zone C as per FEMA
FIRM, Comm. Panel No.
225205 0390 C, map
dated 4-2-1991

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE.
SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY
WILL BE ADDED HERETO UPON REQUEST AS THE UNDERSIGNED HAS
PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS
MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED
PEDESTALS.

THIS MAP IS NOT IN ACCORDANCE WITH THE STANDARD DETAILED
REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A C SURVEY
AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46:LXI.

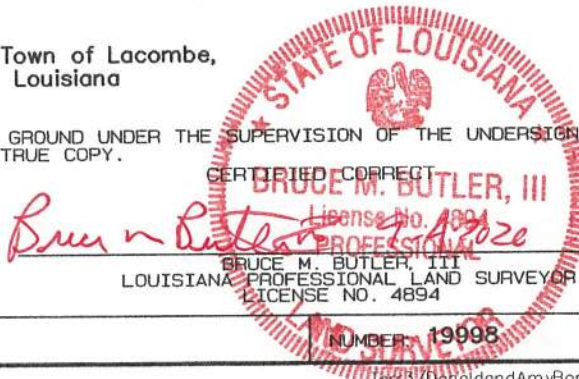
(Must verify prior to Construction)
Building Setbacks
Front:
Side:
Rear:
Side Street:

MAP PREPARED FOR **Donald and Amy Bordelon**

SHOWN A SKETCH MADE OF PROPERTY LOCATED IN **Part of 10th Street Town of Lacombe,
St. Tammany Parish, Louisiana**

THIS MAP IS NOT IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED:
SIGNATURE AND STAMPED SEAL MUST BE IN RED OR THIS PLAT IS NOT A TRUE COPY.

LAND SURVEYING LLC
518 N. Columbia Street, Covington, LA 70433
(985) 842-6277 office (985) 848-0355 fax
landsurveyingllc@gmail.com



SCALE: 1"=50'

DATE: 9-4-2020

NUMBER: 19998

For Donald and Amy Bordelon

MINOR SUBDIVISIONS

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A Minor Subdivision of an 11.99 Acre Parcel
of Land, into Parcels A & B, in Section 11,
T-6-S, R-11-E, St. Tammany Parish, La.

Reference: A Survey Map of Subject Property
by Jeron Fitzmorris, Dated 7-19-1993, #6167,
(Based Bearings)

Reference calls not shown

FINAL APPROVAL

CHAIRMAN OF PLANNING COMM.

DIR. DEPT. OF ENGINEERING

SECRETARY PLANNING COMM.

CLERK OF COURT

DATE

FILE NO.

(Parish Asphalt Ends)
Landmark Lane

N89°47'06"E-793.93'-Total

330.90'

463.03'

Parcel B
5.00 ACRES

Garage

Conc.

Conc.

30' Cleco R/W

Driveway

S70°11'10"E
87.75'

Driveway

S89°56'05"W-668.41'

Bldg.

30' Cleco R/W

Parcel A
6.99 ACRES

(Based Bearing)
N00°08'04"W-960.07'

S19°20'11"W-637.53'

The P.O.B. is reported to be N00°06'W-
1036.6' from the 1/4 Section Corner
common to Sections 11 & 14, T-6-S,
R-11-E, St. Tammany Parish, Louisiana

La. Hwy. 1081
(Stafford Road)

P.O.B.

200.48'
S89°53'29"W

Gravel Drive

LEGEND:

- = Fnd. 3/4" Iron Pipe
- = Fnd. 1/2" Iron Rod
- ▣ = Fnd. 3/8" Iron Rod
- = Set 1/2" Iron Rod
- X— = Fence

(Must verify prior to Construction)
Building Setbacks
Front:
Side:
Rear:
Side Street:

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE.
SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY
WILL BE ADDED HERETO UPON REQUEST AS THE UNDERSIGNED HAS
PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS
MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED
PEDESTALS.

THIS MAP IS IN ACCORDANCE WITH THE STANDARD DETAILED
REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A "D" SURVEY
AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 48:LXI.

MAP PREPARED FOR **VIOLA V. & CURTIS J. CHATELAIN**

SHOWN A SURVEY MADE OF PROPERTY LOCATED IN SECTION 11, T-6-S, R-11-E, ST. TAMMANY PARISH, LOUISIANA

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED:
SIGNATURE AND STAMPED SEAL MUST BE IN RED OR THIS PLAT IS NOT A TRUE COPY.

LAND SURVEYING LLC

518 N. Columbia Street, Covington, LA 70433
(985) 892-6277 office (985) 898-0355 fax
landsurveyingllc@gmail.com

CERTIFIED CORRECT

Bruce M. Butler, III

BRUCE M. BUTLER, III
LOUISIANA PROFESSIONAL LAND SURVEYOR
LICENSE NO. 4894

SCALE: 1" = 160'

DATE: 7-30-2020

NUMBER: 19951

MINOR SUBDIVISION STAFF ANALYSIS REPORT

(As of October 6, 2020)

Meeting Date: October 13, 2020

CASE NO.: 2020-2049-MSP

OWNER/DEVELOPER: Delmont O. & Joan M. Dapremont, Jr.

ENGINEER/SURVEYOR: Surveyor: J.V. Burkes & Associates, Inc.

SECTION: 42

TOWNSHIP: 9 South

RANGE: 13 East

WARD: 9

PARISH COUNCIL DISTRICT: 11

TYPE OF DEVELOPMENT: X SUBURBAN (Residential acreage between 1-5 acres)
 RURAL (Low density residential 5 acres or more)
 OTHER (PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: East side of Horace Page Road & Bayou Oak Road (future), Slidell, Louisiana.

SURROUNDING LAND USES: Undeveloped & Single family residential

TOTAL ACRES IN DEVELOPMENT: 5.19 acres

NUMBER OF LOTS/PARCELS: 4 lots; 1.872 acres & 3.818 acres into Parcels A, B, C & D

ZONING: A-2 Suburban Residential District

STAFF COMMENTARY:

Department of Development – Planning & Engineering

The applicant is requesting to create four (4) lots from a 1.872 acre parcel & 3.818 acre parcel. The minor subdivision request requires a public hearing due to:

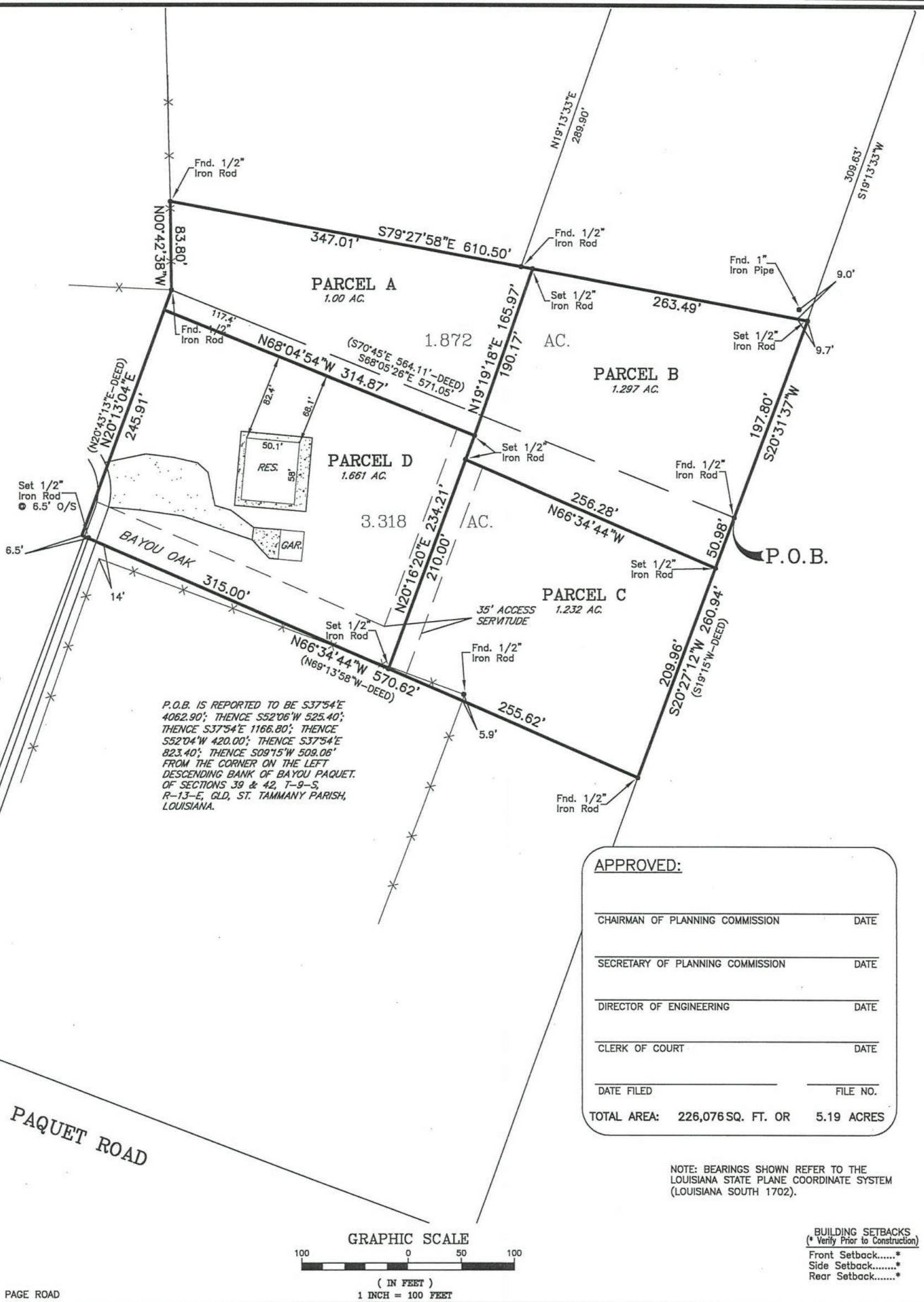
- Parcel A does not meet the minimum lot width of 150 feet along Landmark, requiring a waiver of the regulations by the Planning Commission.
- Parcels B & C do not have Parish Road Frontage and are proposed to be accessed via a private road.
- The proposed name of the access depicted on the survey plat, shall be granted approval by the Planning Commission. The proposed access name “Bayou Oak Road” has been submitted and approved by St. Tammany Parish Communication District.

The request shall be subject to the above & below comments:

1. Approval of the proposed private access road name: “Bayou Oak Road”
2. Provide amended survey showing “Road” after “Bayou Oak”.
3. As per St. Tammany Parish Communication District, the survey should show Bayou Paquet Road.
4. Remove the square footage of the access drive from the total acreage of each lot.
5. The proposed 35 foot access servitude/Bayou Oak Road shall be extended into Parcel B.
6. Provide a turn around at the end of Bayou Oak Road on Parcel B.
7. Adjust the size of each lot to meet the maximum allowable density requirement of 1 unit per acre under A-2 Suburban Zoning District.
8. Add arrows to identify the boundaries of the existing 2 parcels (1.872 acres & 3.318 acres).

9. Submit plans of proposed "Bayou Oak Road" to the Department of Engineering for review and approval.
10. Bayou Oak Road is subject to Section 125-189 - Minimum construction standards for a private drive (listed below), by the Planning Commission:
 - a. Perpetual servitude of access with a minimum width of 35 feet.
 - b. Driving surface of 20 feet in width with two-foot shoulders on each side of the drive and 5½ feet on each side of the shoulder devoted to ditching/drainage and or utilities.
 - c. Drive shall be constructed with suitable compacted subbase materials and overlaid with an aggregate material (i.e., shell, gravel, limestone, three-course treatment, asphalt, concrete, etc.) that is acceptable to the Department of Engineering.
 - d. Ditch or ditches shall be constructed on either one or both sides of a drive in accordance to standard practices adopted by the department of engineering in order to provide adequate drainage.
 - e. Plans for the construction of the private drive and drainage submitted to the Department of Engineering for review and approval prior to the initiation of work.
 - f. Final inspection of the work performed by the Department of Engineering, after the private drive has been constructed and drainage improvements made.
 - g. Once the private drive has been constructed and all drainage improvements completed and approved by the Department of Engineering, then, and only then can the minor subdivision be recorded for public record in the clerk of court's office and the lots sold or donated.

In order to approve the waivers a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 - Subdivision Regulations.



APPROVED:

CHAIRMAN OF PLANNING COMMISSION	DATE
SECRETARY OF PLANNING COMMISSION	DATE
DIRECTOR OF ENGINEERING	DATE
CLERK OF COURT	DATE
DATE FILED	FILE NO.
TOTAL AREA: 226,076 SQ. FT. OR	5.19 ACRES

NOTE: BEARINGS SHOWN REFER TO THE LOUISIANA STATE PLANE COORDINATE SYSTEM (LOUISIANA SOUTH 1702).

BUILDING SETBACKS
(* Verify Prior to Construction)
Front Setback.....*
Side Setback.....*
Rear Setback.....*

ADDRESS: 58058 HORACE PAGE ROAD

I CERTIFY THAT THIS PLAT DOES REPRESENT AN ACTUAL GROUND SURVEY AND THAT TO THE BEST OF MY KNOWLEDGE NO ENCROACHMENTS EXIST EITHER WAY ACROSS ANY OF THE PROPERTY LINES, EXCEPT AS SHOWN.

PROPERTY IS SURVEYED IN ACCORDANCE WITH THE LOUISIANA "STANDARDS OF PRACTICE FOR PROPERTY BOUNDARY SURVEYS" FOR A CLASS C SURVEY. BEARINGS ARE BASED ON RECORD BEARINGS UNLESS NOTED OTHERWISE.

ENCUMBRANCES SHOWN HEREON ARE NOT NECESSARILY EXCLUSIVE. ENCUMBRANCES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST, AS SURVEYOR HAS NOT PERFORMED ANY TITLE SEARCH OR ABSTRACT.

F.I.R.M. No. 225205415 C
F.I.R.M. Date 4/2/91
ZN: A10 B.F.E. 10'
* Verify prior to construction with Local Governing Body.

DRAWING NO.
20180475

DATE:
7/31/18

J.V. Burkes & Associates, Inc.

SURVEYING

ENGINEERING • ENVIRONMENTAL

1805 Shortcut Highway
Slidell, Louisiana 70458
E-mail: jvbassoc@jvburkes.com

Phone: 985-649-0075 Fax: 985-649-0154

DRAWN BY:
JDL

CHECKED BY:
RMK

SCALE:
1" = 100'

REVISED: 6/8/16 MINOR SUBDIVISION
6/15/2020 MINOR SUB. SET CORNERS & STAKING
9/3/20 ADD ROAD NAME PER PARISH

DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL OF SURVEYOR.

A MINOR SUBDIVISION MAP OF A
1.872 AC. & A 3.318 AC. PARCEL OF LAND
INTO PARCELS A, B, C & D
IN SECTION 42, T-9-S, R-13-E,
GREENSBURG LAND DISTRICT
ST. TAMMANY PARISH, LOUISIANA

CERTIFIED TO: CIVICSOURCE & DELMONT DAPREMONT

STATE OF LOUISIANA
SEAN M. BURKES
REGISTERED
LA REG. No. 4785

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MINOR SUBDIVISION STAFF ANALYSIS REPORT

(As of October 6, 2020)

Meeting Date: October 13, 2020

CASE NO.: 2020-2052-MSP

OWNER/DEVELOPER: Dawn Moran

ENGINEER/SURVEYOR: Surveyor: John G. Cummings & Associates

SECTION: 19 TOWNSHIP: 7 South RANGE: 12 East

WARD: 4 PARISH COUNCIL DISTRICT: 5

TYPE OF DEVELOPMENT: X SUBURBAN (Residential acreage between 1-5 acres)
 RURAL (Low density residential 5 acres or more)
 OTHER (PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: West side of South Strain Road, north of Creek Bend Road, south of Strain Road, Mandeville, Louisiana

SURROUNDING LAND USES: Undeveloped & Single family residential

TOTAL ACRES IN DEVELOPMENT: 2.852 acres

NUMBER OF LOTS/PARCELS: 2 parcels; Parcel A & Parcel B into Parcel A-1 1.578 acres & Parcel B-1 1.274 acres

ZONING: A-2 Suburban Residential District

STAFF COMMENTARY:

Department of Development – Planning & Engineering

The applicant is requesting to create two (2) lots from Parcels A & B. Note that proposed parcels A-1 & B-1 meets the maximum allowable density of 1 unit per acre and minimum lot width under the A-2 Suburban

The minor subdivision request requires a public hearing due to:

- Parcels A & B were part of minor subdivisions approved in June 2011 (MS11-05-021)

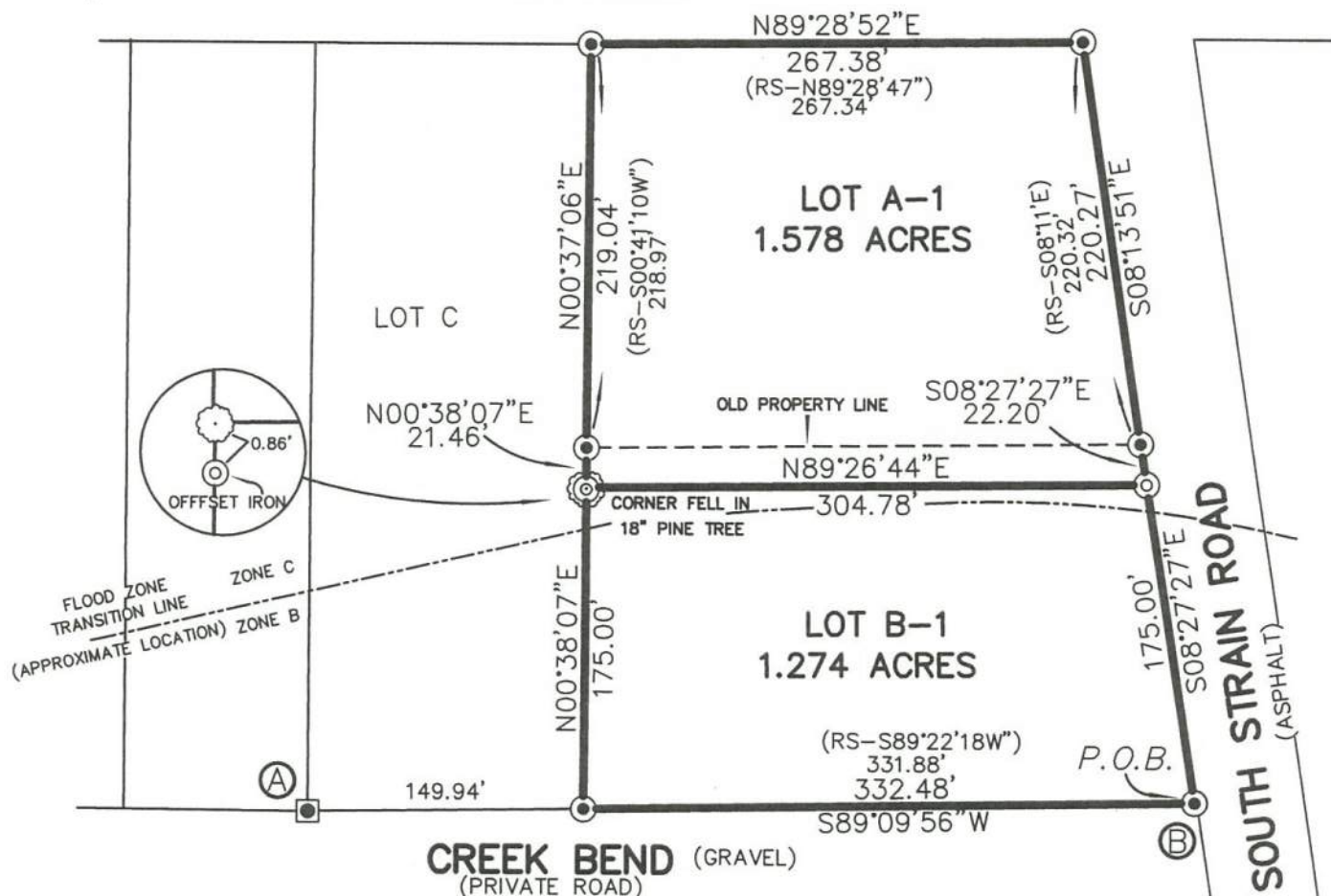
The request shall be subject to the below comments:

1. The plat must be amended to include a signature line for the Chairman of the Planning Commission.
2. Add the prior Minor Subdivision Case number to the survey: MS11-05-021



REFERENCE BEARING:
FROM IRON ROD A TO IRON PIPE B
N89°12'16"E
PER REFERENCE SURVEY 2.

STRAIN ROAD (ASPHALT)



P.O.B. IS LOCATED WEST 417.45',
N00°30'38"E 898.11' AND
S89°12'16"W 41.0' FROM THE SE CORNER
OF SECTION 19, T7S,R12E.

LEGEND

- = 1/2" IRON ROD FOUND
- = 1/2" IRON ROD SET
- = 1-1/2" IRON PIPE FOUND
- RS = REFERENCE SURVEY
- = 18" PINE TREE

NOTES:

1. THIS PROPERTY IS LOCATED IN FLOOD ZONE B & C,
PER F.E.M.A. MAP NO. 225205 0245 C.
DATED: OCTOBER 17, 1989.

2. BUILDINGS SETBACKS MUST BE VERIFIED BY THE
ST. TAMMANY PARISH PLANNING DEPARTMENT

THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND/OR
RESTRICTIONS HAVE BEEN SHOWN HEREON. ANY SERVITUDES AND/OR
RESTRICTIONS SHOWN ON THIS PLAT ARE LIMITED TO THOSE SET FORTH
IN THE DESCRIPTION AND/OR INFORMATION FURNISHED THE UNDERSIGNED.
A TITLE OR PUBLIC RECORD SEARCH FOR SUCH INFORMATION WAS NOT MADE
BY THE UNDERSIGNED IN COMPILING DATA FOR THIS SURVEY.

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

SECRETARY/PARISH PLANNING DEPARTMENT

CLERK OF COURT

DATE FILED

FILE NO.

REFERENCE SURVEYS:

1. SURVEY FOR JAMES DICKS BY KELLY J. MCHUGH, P.L.S.
KELLY J. MCHUGH & ASSOCIATES, INC.
JOB NO. 09-089-S2, DATE: 10/26/2010 REV.02/17/2011
2. SURVEY FOR MARK DISHON BY JOHN G. CUMMINGS, P.L.S.
JOB NO. 05194-B, DATED 02/26/2013

(985) 892-1549

John G. Cummings and Associates
PROFESSIONAL LAND SURVEYORS

FAX (985) 892-9250

503 N. JEFFERSON AVENUE

COVINGTON, LA 70433

PLAT PREPARED FOR: **MARK DISHON**

SHOWING A SURVEY OF: AMENDED MINOR SUBDIVISION OF LOTS A & B PER
MAP FILE NUMBER 4987A INTO LOTS A-1 AND B-1
LOCATED IN SECTION 19, TOWNSHIP 7 SOUTH,
RANGE 12 EAST, ST. TAMMANY PARISH, LOUISIANA

THIS PLAT REPRESENTS A PHYSICAL SURVEY MADE ON
THE GROUND BY ME, OR THOSE UNDER MY DIRECTION,
AND IS IN ACCORDANCE WITH THE APPLICABLE
STANDARDS OF PRACTICE AND BEARS A CLASS C
SURVEY.

PROFESSIONAL LAND SURVEYOR

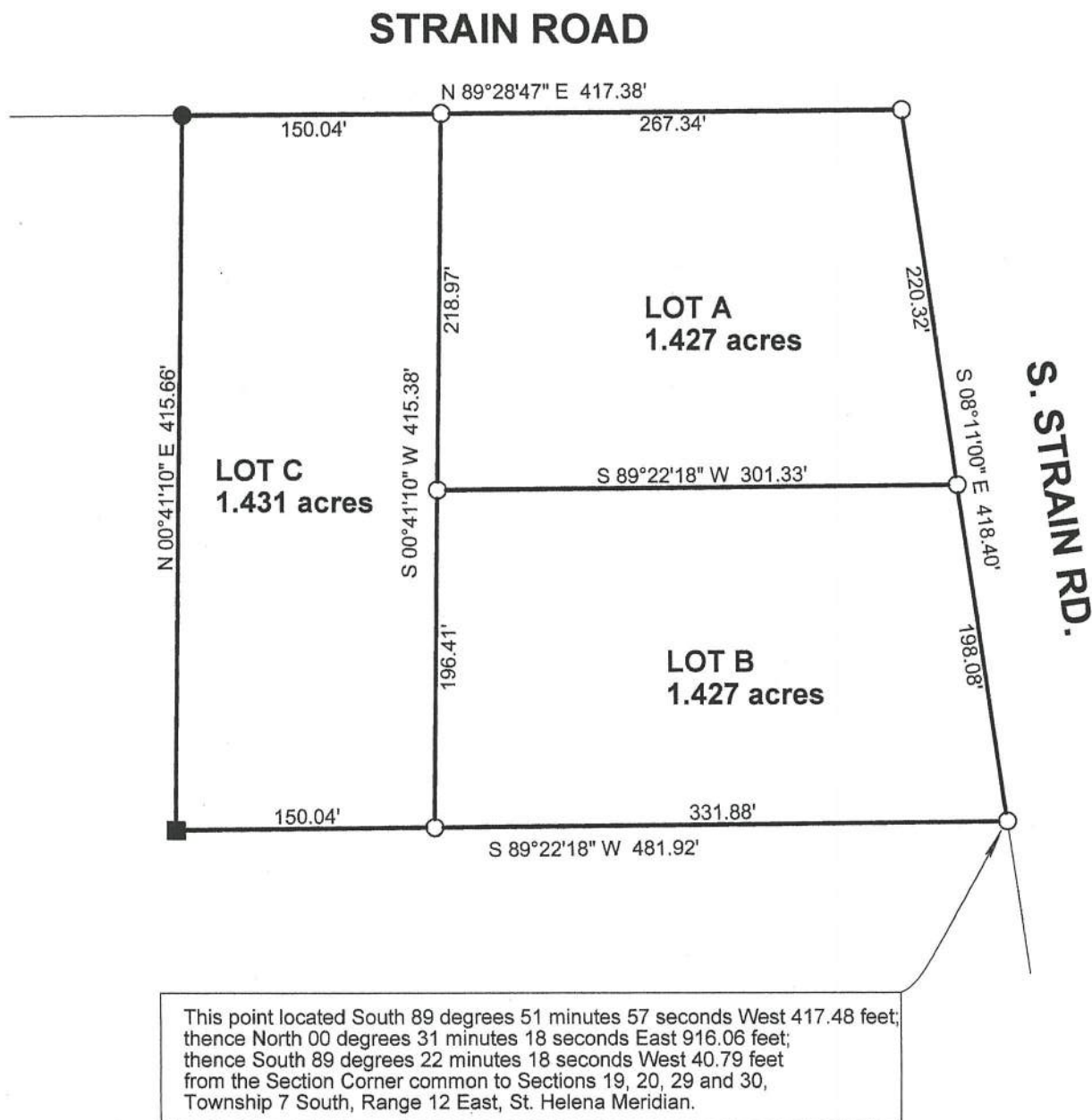
SCALE: 1"=100'

JOB NO. 05194C

DATE: 08/04/2020

REVISED:





NOTE:
NO ATTEMPT HAS BEEN MADE BY KELLY McHUGH & ASSOC., INC. TO
VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS,
RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL
ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN
THOSE FURNISHED BY THE CLIENT.

LEGEND

- = 1/2" IRON ROD FOUND
- = 1/2" IRON ROD SET
- = 1 1/2" IRON PIPE FOUND
- ▲ = ANGLE IRON FOUND

THIS PROPERTY IS LOCATED IN
FLOOD ZONES A, A1, B & C
F.I.R.M. PANEL NO. 225205 0245 C
REV. OCTOBER 17, 1989

NOTE: SERVITUDES SHOWN HEREON ARE NOT NECESSARILY
EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE
OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON
REQUEST, AS SURVEYOR HAS NOT PERFORMED ANY TITLE
SEARCH OR ABSTRACT.



Kelly J. McHugh, REG. NO. 4443

CERTIFIED CORRECT AND IN ACCORDANCE WITH A PHYSICAL
SURVEY MADE ON THE GROUND AND COMPLYING WITH THE
CURRENT APPLICABLE STANDARDS OF PRACTICE FOR A CLASS
"C" SURVEY. RED STAMP SIGNIFIES CORRECT PLAT.

APPROVAL:

Ron Kello
SECRETARY PLANNING COMMISSION

Angela C. Sterken
DIRECTOR OF THE DEPARTMENT
OF ENGINEERING

6-7-2011 4987 A
DATE FILED FILE NO.

Angela C. Sterken
CLERK OF COURT

- REFERENCES:
1. SURVEY BY JOSEPH PUGH, DATED MAY 4, 1941, NO. 681.
 2. SURVEY BY WILSON-POPE, INC., DATED NOVEMBER 6, 1997,
JOB NO. 5922. FILED: INST. NO. 1071563.
 3. SURVEY BY WILSON-POPE, INC., DATED FEBRUARY 14, 2001,
JOB NO. 8144A. FILED: INST. NO. 1234788.
 4. SURVEY BY JOHN G. CUMMINGS & ASSOC., DATED AUGUST
26, 2005, JOB NO. 05194.

NO SETBACKS OR SERVITUDES SHOWN

MINOR SUBDIVISION OF:

4.285 ACRES
SECTION 19, T-7-S, R-12-E
ST. TAMMANY PARISH, LA.

PREPARED FOR:

JAMES DICKS

KELLY J. McHUGH & ASSOC., INC.
CIVIL ENGINEERS & LAND SURVEYORS
845 GALVEZ ST., MANDEVILLE, LA. 626-5611

SCALE:	1" = 100'	DATE:	10-26-2010
DRAWN:	R.F.D.	JOB NO.:	09-089-S2
REVISED:	02-17-2011		

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MINOR SUBDIVISION STAFF ANALYSIS REPORT

(As of October 6, 2020)

Meeting Date: October 13, 2020

CASE NO.: 2020-2053-MSP

OWNER/DEVELOPER: Judith Hogan Cantwell, Britney Taylor, William Bruhl, Salvador Di Maggio

ENGINEER/SURVEYOR: Surveyor: Land Surveying LLC

SECTION: 16

TOWNSHIP: 5 South

RANGE: 10 East

WARD: 2

PARISH COUNCIL DISTRICT: 3

TYPE OF DEVELOPMENT: X SUBURBAN (Residential acreage between 1-5 acres)
 X RURAL (Low density residential 5 acres or more)
 OTHER (PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: East side of Jim Loyd Road and on the south side of LA Highway 40, Folsom, Louisiana

SURROUNDING LAND USES: Undeveloped & Single family residential

TOTAL ACRES IN DEVELOPMENT: 12.58 acres

NUMBER OF LOTS/PARCELS: 3 parcels; Parcel A-1, Parcel A-2 & Parcel A-3

ZONING: A-1 & A-2 Suburban Residential Districts

STAFF COMMENTARY:

Department of Development – Planning & Engineering

The applicant is requesting to create three (3) lots from 7.36 acres & 5.99 acres. The minor subdivision request requires a public hearing due to:

- Parcels A-1 does not meet the minimum required road frontage of 150 feet on Jim Loyd Road and on LA Highway 40, requiring a waiver from the Planning Commission.
- As per St. Tammany Parish Communication District, the 34.66 foot access to Parcel A-3 shall be named. The proposed name of the access shall be granted approval by the Planning Commission. As per St. Tammany Parish Communication District, the proposed name "COREY LANE" has been submitted and approved by St. Tammany Parish Communication District.

The request shall be subject to the below comments:

1. The plat must be amended to include a signature line for the Chairman of the Planning Commission.
2. Approval of the proposed private access road name: "COREY LANE".
3. Provide amended survey showing the name of the access lane.
4. Identify the boundaries of the existing 5.99 acre parcel with arrows.

In order to approve the waivers a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 - Subdivision Regulations.

FINAL APPROVAL

DIR. DEPT. OF ENGINEERING

SECRETARY PLANNING COMM.

CLERK OF COURT

DATE

FILE NO.

A Minor Subdivision of Parcel A & a 5.99 Acre Parcel of Land, into Parcels A-1, A-2 & A-3, in Section 16, T-5-S, R-10-E, St. Tammany Parish, Louisiana

Bearings refer to the Louisiana State Plane Coordinate System (1702 La. South) and was observed by GPS

The P.O.B. is reported to be West-1338.4'; North-438.2'; N00°05'E-454.5' from the Section Corner between Sections 15 & 16, T-5-S, R-10-E, St. Tammany Parish, Louisiana

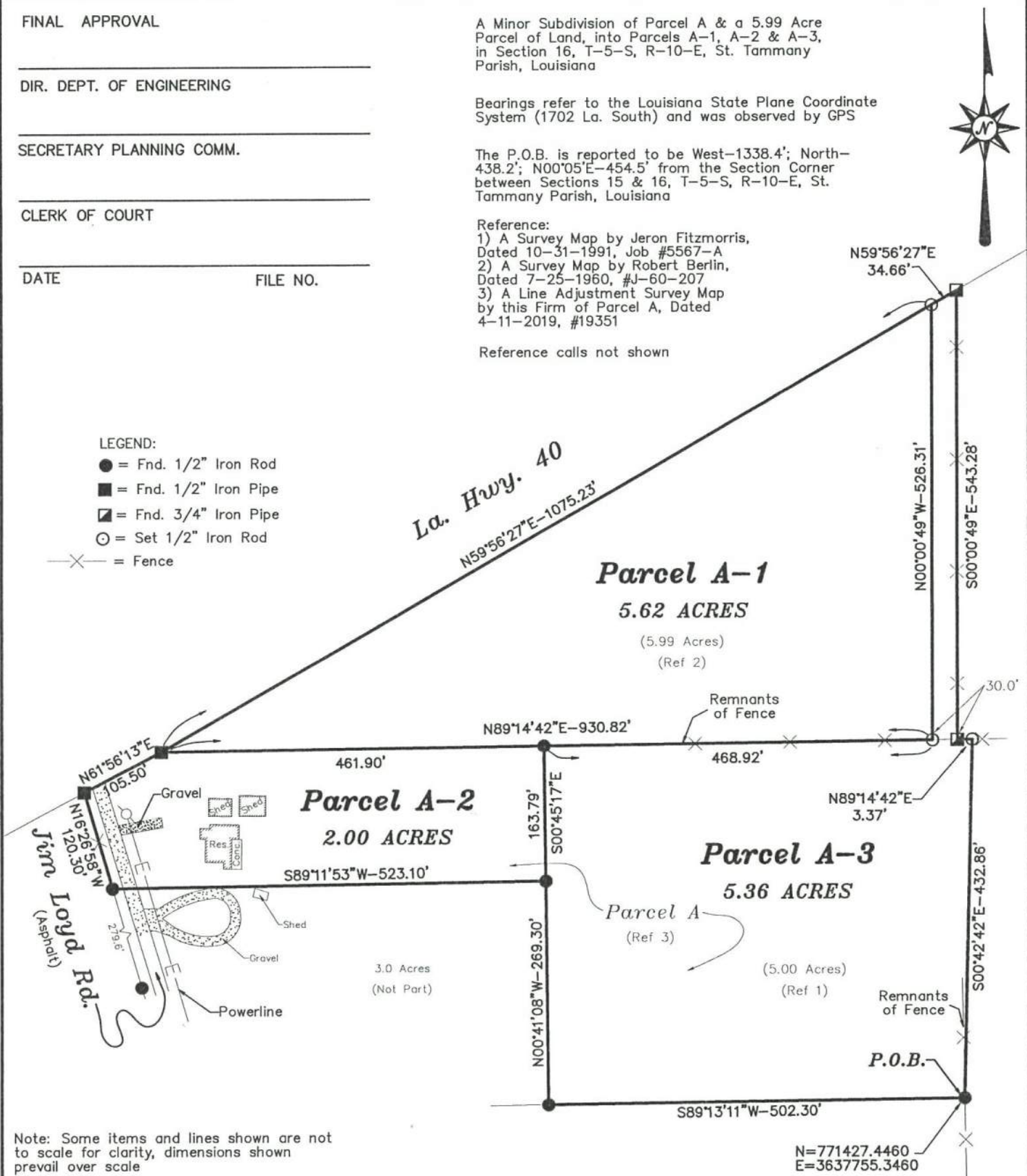
Reference:

- 1) A Survey Map by Jeron Fitzmorris, Dated 10-31-1991, Job #5567-A
- 2) A Survey Map by Robert Berlin, Dated 7-25-1960, #J-60-207
- 3) A Line Adjustment Survey Map by this Firm of Parcel A, Dated 4-11-2019, #19351

Reference calls not shown

LEGEND:

- = Fnd. 1/2" Iron Rod
- = Fnd. 1/2" Iron Pipe
- ▣ = Fnd. 3/4" Iron Pipe
- = Set 1/2" Iron Rod
- X— = Fence



Note: Some items and lines shown are not to scale for clarity, dimensions shown prevail over scale

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS.

THIS MAP IS IN ACCORDANCE WITH THE STANDARD DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A "D" SURVEY AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 48:LXI.

(Must verify prior to Construction)
Building Setbacks
Front:
Side:
Rear:
Side Street:

MAP PREPARED FOR

BRITTNI TAYLOR & WILLIAM BRUHL

SHOWN A SURVEY MADE OF PROPERTY LOCATED IN SECTION 16, T-5-S, R-10-E, ST. TAMMANY PARISH, LA.

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED. SIGNATURE AND STAMPED SEAL MUST BE IN RED OR THIS PLAT IS NOT A TRUE COPY.

LAND SURVEYING LLC

518 N. Columbia Street, Covington, LA 70433
(905) 892-6271 office (905) 898-0355 fax
landsurveyingllc@gmail.com

CERTIFIED CORRECT
PROFESSIONAL
5-27-2020

BRUCE M. BUTLER, III
LOUISIANA PROFESSIONAL LAND SURVEYOR
LICENSE NO. 4894

SCALE:

1" = 160'

DATE:

5-26-2020

NUMBER: 19853

RESUBDIVISION REVIEW

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RESUBDIVISION STAFF ANALYSIS REPORT

(As of October 6, 2020)

Meeting Date: October 13, 2020

CASE FILE NO: 2020-2039-MRP

NAME OF SUBDIVISION: Terra Bella, Phase 1A-4

LOTS BEING DIVIDED: Resubdivision of lot 280A into lots 280B & 281B

SECTION: 31 & 46

WARD: 1

TOWNSHIP: 6 & 7 South

PARISH COUNCIL DISTRICT: 1

RANGE: 11 East

PROPERTY LOCATION: The parcels are located on the west side of Poplar Grove Lane, north of Bay Tree Manor Drive, Covington, Louisiana.

ZONING: PUD Planned Unit Development Overlay

PROPERTY OWNER: Cyndy Lynne Parden

STAFF COMMENTARY:

The owner is requesting to resubdivide one (1) lot into two (2) buildable residential sites, as per the originally approved subdivision plat for Phase 1A-4.

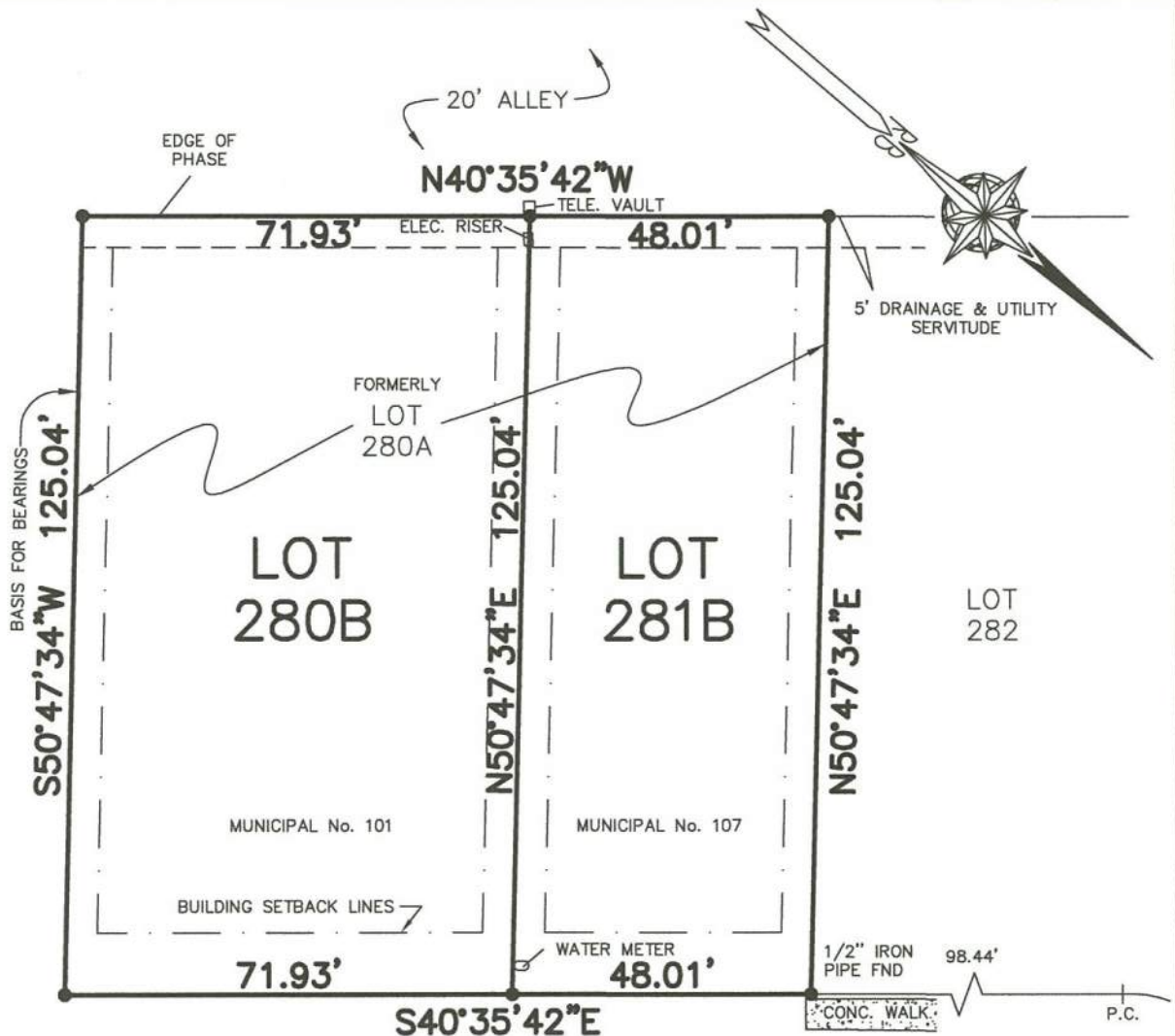
The reason for the public hearing requirement is that the proposal involves:

- The creation/adjustment of lots within a subdivision that requires approval of the Planning Commission.

The request shall be subject to the below comment:

1. The survey must be amended to show the signature line for the Chairman of the Planning Commission.
2. The lot numbers shall be changed to 280A-1 & 280A-2 to reflect the parent lot 280A.

BAY TREE MANOR DR.



POPLAR GROVE LN.

NOTE:

OWNER OR BUILDER RESPONSIBLE
FOR VERIFYING SETBACKS BEFORE
CONSTRUCTION BEGINS.

BLDG. SETBACKS PER PLAT

FRONT - 10' MANDATORY (BTL)

SIDE - 5' MINIMUM

REAR @ ALLEY (OPTION A) - 5' OR 15'

REAR @ ALLEY (OPTION B) - 20'

REAR @ ALLEY @ ALL OTHER STRUCTURES - 5' MANDATORY (BTL)

REFERENCE:

TERRA BELLA, Ph. 1A-4 plat

Map File No.: 5265

Date Filed: 5-28-2014

● DENOTES 1/2" IRON ROD FND
UNLESS OTHERWISE NOTED

Note: I have consulted the Federal Insurance Administration
Flood Hazard Boundary Maps and found the property
described IS NOT located in a special flood hazard area,
it is located in Flood Zone B.

FIRM Panel# 2252050210C Rev. 10-17-89

APPROVED:

SECRETARY PARISH PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

CLERK OF COURT

DATE FILED

FILE NO.

Resubdivision of

LOT 280A * TERRA BELLA * PHASE 1A-4
ST. TAMMANY PARISH, LOUISIANA
INTO
LOTS 280B & 281B

NO ATTEMPT HAS BEEN MADE BY RANDALL W. BROWN & ASSOC., INC. TO VERIFY TITLE,
ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS OF WAY, DEED RESTRICTIONS,
WETLANDS OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER
THAN THOSE FURNISHED BY THE CLIENT.

SURVEYED IN ACCORDANCE WITH THE LOUISIANA "APPLICABLE
STANDARDS FOR PROPERTY BOUNDARY SURVEYS"
FOR A CLASS C SURVEY.

RANDALL W. BROWN
REG. NO. 04586

Randall W. Brown
& Associates, Inc.

Professional Land Surveyors

228 W. Causeway Approach, Mandeville, LA 70448

(985) 624-5368 FAX (985) 624-5309

info@brownsurveys.com

Date: JUNE 3, 2020
Survey No. 20324
Project No. (CR5) B17632.TXT

Scale: 1" = 30' ±
Drawn By: RJB
Revised:

Randall W. Brown, P.L.S.
Professional Land Surveyor
LA Registration No. 04586

RESUBDIVISION STAFF ANALYSIS REPORT

(As of October 6, 2020)

Meeting Date: October 13, 2020

CASE FILE NO: 2020-2040-MRP

NAME OF SUBDIVISION: Deer Cross Park

LOTS BEING DIVIDED: Resubdivision of lots 2-B & 2-C into Lots 2-B1 & 2-C1, Phase 2,

SECTION: 4

WARD: 1

TOWNSHIP: 7 South

PARISH COUNCIL DISTRICT: 1

RANGE: 10 East

PROPERTY LOCATION: The parcels are located on the south side of LA Highway 1085, east of Deer Cross Drive, Covington, Louisiana.

ZONING: I-2 Industrial Zoning District

PROPERTY OWNER: Zeigler Enterprises, LLC - Sean Zeigler - Manager and Marigny - ByWater
Redevelopment Group, LLC - Joseph A. Jaeger, Jr.

STAFF COMMENTARY:

The owner is requesting to resubdivide two (2) lot into two (2) buildable sites. As shown on the attached survey, the objective of the resubdivision is to allow for the addition of 20 feet to Lot 2-C. Note that proposed lots 2-B1 & 2-C1 will meet the minimum lot size and the minimum lot width required under the I-2 Industrial Zoning District.

The reason for the public hearing requirement is that the proposal involves:

- The creation/adjustment of lots within a subdivision that requires approval of the Planning Commission.

The request shall be subject to the below comment:

1. The survey must be amended to show the signature line for the Chairman of the Planning Commission

NOTES:

1. This property is located in Flood Zone C, per F.E.M.A. Map No. 225205 0205 C, dated October 17, 1989.

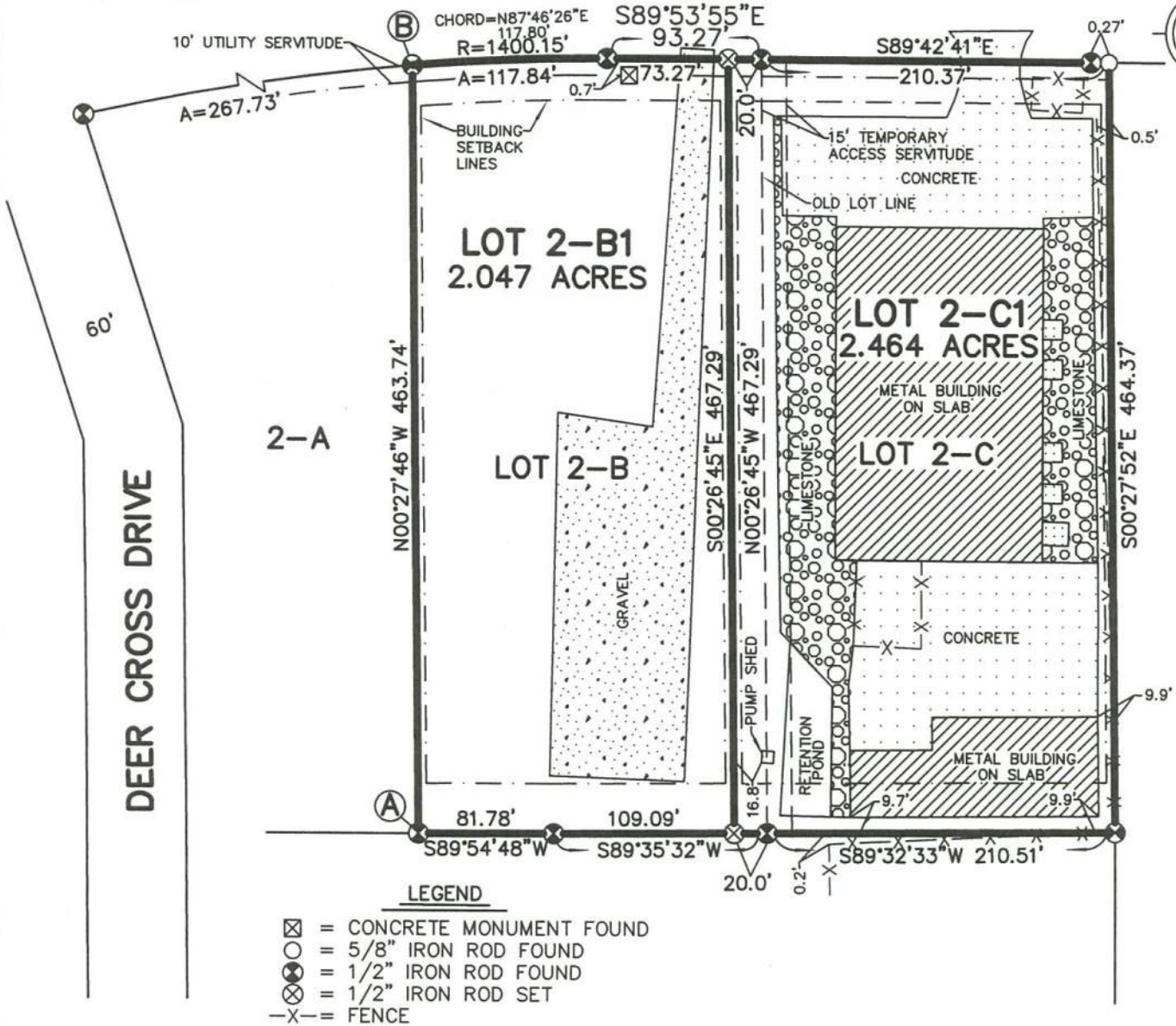
2. Building Setback Lines must be verified by St. Tammany Parish Planning Department.

REFERENCE BEARING:
Iron Rod A to Iron Rod B
N00°27'46"W
(per Reference Survey No. 1)

BUILDING SETBACK LINES

FRONT = 25'
SIDE = 5'
REAR = 30'

LOUISIANA HIGHWAY NO. 1085



REFERENCE SURVEYS:

1. Plat of Deer Cross Park, Phase 2 by Kelly McHugh, Surveyor, dated January 16, 1997, revised April 1, 1997, filed St. Tammany Parish Clerk of Court Map File No. 1530.
2. Survey for Deer Cross Park 2C, LLC by Thomas J. Fontcuberta, Surveyor, dated October 27, 2003.
3. Survey for Mingo Ventures by Thomas J. Fontcuberta, Surveyor, dated February 14, 2005.

THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND/OR RESTRICTIONS HAVE BEEN SHOWN HEREON. ANY SERVITUDES AND/OR RESTRICTIONS SHOWN ON THIS PLAT ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION AND/OR INFORMATION FURNISHED THE UNDERSIGNED. A TITLE OR PUBLIC RECORD SEARCH FOR SUCH INFORMATION WAS NOT MADE BY THE UNDERSIGNED IN COMPILING DATA FOR THIS SURVEY.

APPROVAL:

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

SECRETARY OF THE PARISH PLANNING DEPARTMENT

CLERK OF COURT

DATE FILED

FILE NO.

(985) 892-1549

John G. Cummings and Associates
PROFESSIONAL LAND SURVEYORS

FAX (985) 892-9250

503 N. JEFFERSON AVENUE

COVINGTON, LA 70433

PLAT PREPARED FOR: **Marigny-Bywater Redevelopment Group, LLC & Zeigler Enterprises, LLC**

SHOWING A SURVEY OF: A RESUBDIVISION OF LOTS 2-B & 2-C INTO LOTS 2-B1 & 2-C1, DEER CROSS PARK, PHASE 2, LOCATED IN SECTION 4, TOWNSHIP 7 SOUTH, RANGE 10 EAST, ST. TAMMANY PARISH, LOUISIANA.

THIS PLAT REPRESENTS A PHYSICAL SURVEY MADE ON THE GROUND BY ME, OR THOSE UNDER MY DIRECTION, AND IS IN ACCORDANCE WITH THE APPLICABLE STANDARDS OF PRACTICE AND BEARS A CLASS C SURVEY.

PROFESSIONAL LAND SURVEYOR



SCALE: 1" = 100'

JOB NO. 20138-A

DATE: 6/30/2020

REVISED: SHOWING ACCESS SERVITUDE 7/22/2020

RESUBDIVISION STAFF ANALYSIS REPORT

(As of October 6, 2020)

Meeting Date: October 13, 2020

CASE FILE NO: 2020-2055-MRP

NAME OF SUBDIVISION: 5 Acre Farms

LOTS BEING DIVIDED: Resubdivision of Lots 14, 15 & Part of 16 into lots 14-A, 14-B & 15-A,

SECTION: 36

WARD: 4

TOWNSHIP: 7 South

PARISH COUNCIL DISTRICT: 5

RANGE: 11 East

PROPERTY LOCATION: The parcels are located at the end of Ridgewood Drive and along the west side of Hidden Acres Road (future), Mandeville Louisiana.

ZONING: A-2 Suburban Zoning District

PROPERTY OWNER: Brian L. Perilloux, Carla V. Smith, Frances Marullo, Anthony J. Cyprus

STAFF COMMENTARY:

The owner is requesting to resubdivide three (3) lot into two (3) residential buildable sites.

The reason for the public hearing requirement is that the proposal involves:

- Lots 14-A, 14-B & 15-A do not meet the required minimum lot width under the A-2 Suburban Zoning District, requiring a waiver of the requirement from the Planning Commission.
- Parcels 14-A & 15-A are located within 5 Acre Farms Subdivision and are proposed to be accessed from a 30 foot right of way, requiring a waiver from the Planning Commission.
- As per St. Tammany Parish Communication District, the 30 foot private right of way to Parcels 14-B & 15-A shall be named. The proposed name of the access shall be granted approval by the Planning Commission. As per St. Tammany Parish Communication District, the proposed name "HIDDEN ACRES ROAD" has been submitted and approved by St. Tammany Parish Communication District.
- Hidden Acres Road is only 30 foot wide, requiring a waiver from the Planning Commission.

The request shall be subject to the below comment:

1. Approval of the proposed private access road name: "HIDDEN ACRES ROAD".
2. Provide revised survey showing turn around at the end of Hidden Acres Road.
3. Hidden Acres Road is subject to Section 125-189 - Minimum construction standards for a private drive (listed below), by the Planning Commission:
 - a. Perpetual servitude of access with a minimum width of 35 feet.
 - b. Driving surface of 20 feet in width with two-foot shoulders on each side of the drive and 5½ feet on each side of the shoulder devoted to ditching/drainage and or utilities.
 - c. Drive shall be constructed with suitable compacted subbase materials and overlaid with an aggregate material (i.e., shell, gravel, limestone, three-course treatment, asphalt, concrete, etc.) that is acceptable to the Department of Engineering.

- d. Ditch or ditches shall be constructed on either one or both sides of a drive in accordance to standard practices adopted by the department of engineering in order to provide adequate drainage.
- e. Plans for the construction of the private drive and drainage submitted to the Department of Engineering for review and approval prior to the initiation of work.
- f. Final inspection of the work performed by the Department of Engineering, after the private drive has been constructed and drainage improvements made.
- g. Once the private drive has been constructed and all drainage improvements completed and approved by the Department of Engineering, then, and only then can the minor subdivision be recorded for public record in the clerk of court's office and the lots sold or donated.

In order to approve the waivers a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 – Subdivision.



Reference:
1.) A Survey Map by Alfred Anderson, Dated
10-16-93, for Dawn and Anthony Cyprus Jr.
(Based Bearings)
2.) A Survey Map by C. R. Schultz, Dated
5-8-57, of Lots 14 through 20
3) A Survey Map by this Firm, Dated
6-6-2016, #17590

Reference calls not shown

The P.O.B. is reported to be N89°50'W-1308.3';
S00°51'47"W-119.56' from the Section Corner
common to Sections 30, 25, 36 & 31, T-7-S,
R-11-E, St. Tammany Parish, Louisiana

A Resubdivision of a Part of Lots 14, 15 & 16,
into Lots 14-A, 14-B & 15-A, Mandeville
5 Acre Farms S/D, in Section 36, T-7-S,
R-11-E, St. Tammany Parish, Louisiana

FINAL APPROVAL

CHAIRMAN OF PLANNING COMM.

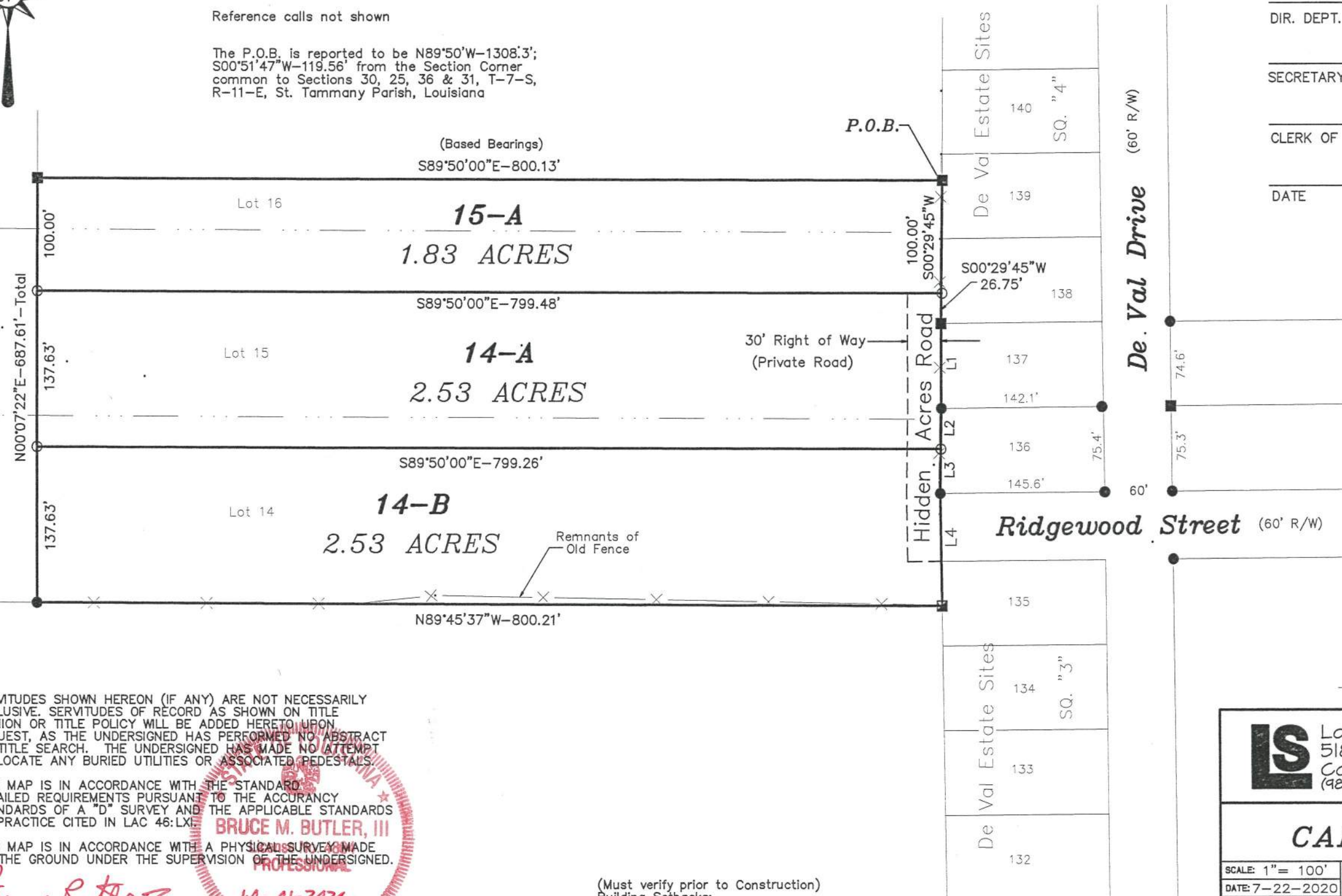
DIR. DEPT. OF ENGINEERING

SECRETARY PLANNING COMM.

CLERK OF COURT

DATE

FILE NO.



Line Table:

L1= S00°12'00"E-74.94'
L2= S00°51'48"W-35.95'
L3= S00°51'48"W-39.12'
L4= S00°42'58"E-99.55'

LEGEND:

● = Fnd. 1/2" Iron Rod
■ = Fnd. 1 1/4" Iron Pipe
■ = Fnd. 1/2" Iron Pipe
○ = Set 1/2" Iron Rod
—X— = Fence

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY
EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE
OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON
REQUEST, AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT
OR TITLE SEARCH. THE UNDERSIGNED HAS MADE NO ATTEMPT
TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS

THIS MAP IS IN ACCORDANCE WITH THE STANDARD
DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY
STANDARDS OF A "D" SURVEY AND THE APPLICABLE STANDARDS
OF PRACTICE CITED IN LAC 46:LXI

BRUCE M. BUTLER, III

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE
ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED.

Bruce M. Butler, III

BRUCE M. BUTLER III
LA. PROFESSIONAL LAND SURVEYOR
LIC. NO. 4894

(Must verify prior to Construction)
Building Setbacks:
Front:
Side:
Rear:
Side Street:

LS Land Surveying, LLC
518 N. Columbia Street
Covington, LA 70433
(985) 892-6277 office (985) 898-0355 fax

MAP PREPARED FOR

CARLA V. SMITH

SCALE: 1"= 100'

DATE: 7-22-2020

DRAWN BY JWG

SECTION 36, T-7-S, R-11-E,
ST. TAMMANY PARISH, LOUISIANA

Revised: 9-30-2020 (correct st. name)

DRAWN NUMBER

19931

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RESUBDIVISION STAFF ANALYSIS REPORT

(As of October 6, 2020)

Meeting Date: October 13, 2020

CASE FILE NO: 2020-2059-MRP

NAME OF SUBDIVISION: Westwood, Phase 1

LOTS BEING DIVIDED: Resubdivision of Parcel 12 and Lots 145A & 146A into Lots 145A-1 & 146A-1, Phase 1

SECTION: 27

WARD: 4

TOWNSHIP: 7 South

PARISH COUNCIL DISTRICT: 5

RANGE: 11 East

PROPERTY LOCATION: The parcels are located on the west side of Westwood Drive, south of Judge Tanner Blvd, Mandeville Louisiana.

ZONING: A-4 Single Family Residential Zoning District

PROPERTY OWNER: Joseph G. & Lisa C. Ledet and Frank & Sue Soehnlein

STAFF COMMENTARY:

The owner is requesting to resubdivide three (3) lot into two (2) residential sites. Note that the proposed lots 145A-1 & 146A-1 meet the minimum lot width and the maximum density requirement under the A-4 Single Family Residential Zoning District.

The reason for the public hearing requirement is that the proposal involves:

- The creation/adjustment of lots within a subdivision that requires approval of the Planning Commission.



NOTES:

1) OWNER OR BUILDER RESPONSIBLE FOR OBTAINING SETBACKS BEFORE CONSTRUCTION BEGINS.

2) ALL IMPROVEMENTS NOT SHOWN HEREON.

○ DENOTES 1/2" IRON PIPE SET UNLESS OTHERWISE NOTED

● DENOTES 1/2" IRON ROD FND UNLESS OTHERWISE NOTED

REFERENCE 1:

WESTWOOD ESTATES Subd. plat

Map File No.: 1092B

Date Filed: 10-19-1992

REFERENCE 2:

Survey By Kelly J. McHugh & Assoc., INC.

Job No.: 13-280-12

Dated: 1-23-2015

APPROVED:

CHAIRMAN PARISH PLANNING COMMISSION

SECRETARY PARISH PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

CLERK OF COURT

DATE FILED

FILE NO.

Note: I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described IS NOT located in a special flood hazard area, it is located in Flood Zone C.

FIRM Panel# 2252050240E Rev. 8-16-1995

Resubdivision of

PARCEL 12 SITUATED IN SEC. 27, T-7-S, R-11-E &
LOT 145A & LOT 146A, WESTWOOD SUBDIVISION, PHASE 1
ST. TAMMANY PARISH, LOUISIANA
INTO
LOT 145A-1 & LOT 146A-1

NO ATTEMPT HAS BEEN MADE BY RANDALL W. BROWN & ASSOC., INC. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT.

SURVEYED IN ACCORDANCE WITH THE LOUISIANA "APPLICABLE STANDARDS FOR PROPERTY BOUNDARY SURVEYS" FOR A CLASS C SURVEY.

RANDALL W. BROWN
REG. NO. 04586
REGISTERED
PROFESSIONAL
Surveyor
Randall W. Brown, P.L.S.
Professional Land Surveyor
LA Registration No. 04586

Randall W. Brown
& Associates, Inc.

Professional Land Surveyors

228 W. Causeway Approach, Mandeville, LA 70448

(985) 624-5368 FAX (985) 624-5309

info@brownsurveys.com

Date: AUGUST 6, 2020
Survey No. 20454
Project No. (CR5) B20454.TXT

Scale: 1" = 50' ±
Drawn By: J.E.D.
Revised:

RESUBDIVISION STAFF ANALYSIS REPORT

(As of October 6, 2020)

Meeting Date: October 13, 2020

CASE FILE NO: 2020-2060-MRP

NAME OF SUBDIVISION: Clipper Estates, Phase 4B

LOTS BEING DIVIDED: Resubdivision of lots 33-38 into Lots 33-A & 37-A,

SECTION: 33

WARD: 9

TOWNSHIP: 9 South

PARISH COUNCIL DISTRICT: 13

RANGE: 14 East

PROPERTY LOCATION: The parcels are located at the end of Vela Cove, Slidell, Louisiana.

ZONING: PUD Planned Unit Development Overlay

PROPERTY OWNER: George C. Molski

STAFF COMMENTARY:

The owner is requesting to resubdivide three (3) lot into two (2) residential sites. Note that proposed Lot 33-A conforms with the originally approved subdivision plat for Phase 4B.

The reason for the public hearing requirement is that the proposal involves:

- The creation/adjustment of lots within a subdivision that requires approval of the Planning Commission.

The request shall be subject to the below comment:

1. The plat must be amended to include a signature line for the Chairman of the Planning Commission.
2. The plat must be amended, removing "ADMINISTRATIVE" as follow "SURVEY SHOWING ~~ADMINISTRATIVE~~ RESUBDIVISION OF LOTS 33-38 INTO LOTS 33-A & 37-A".
3. Add Section, Township & Range to the survey.

SURVEYED IN ACCORDANCE WITH THE LOUISIANA STANDARDS OF PRACTICE FOR PROPERTY BOUNDARY SURVEYS FOR A CLASS C SURVEY.

THIS SURVEY HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH.

THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION FURNISHED ME AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

REFERENCE BEARING:
THIS SURVEY IS BASED ON THE SUBDIVISION PLAN LISTED FOR REFERENCE.

REFERENCE:
PLAN OF CLIPPER ESTATES SUBDIVISION BY FOSTER ENGINEERING INC., FILE#2399 IN ST. TAMMANY PARISH AND APPROVED JULY 11, 2002. SURVEY OF LOT 34, CLIPPER ESTATES BY JV BURKES & ASSOC., INC. DATED 10-03-06. SURVEY OF LOT 35, CLIPPER ESTATES BY JV BURKES & ASSOC., INC. DATED 6-17-05. SURVEY OF LOT 36, CLIPPER ESTATES BY JV BURKES & ASSOC., INC. DATED 4-27-04. SURVEY OF LOT 38, CLIPPER ESTATES BY JV BURKES & ASSOC., INC. DATED 6-30-04.

PER FIRM: UNINCORPORATED ST. TAMMANY PARISH, 225205, 0535 D, DATED APRIL 2, 1991, THIS PROPERTY IS IN ZONE A10, EL. 13 NGVD29. (PER SUBDIVISION PLAN)

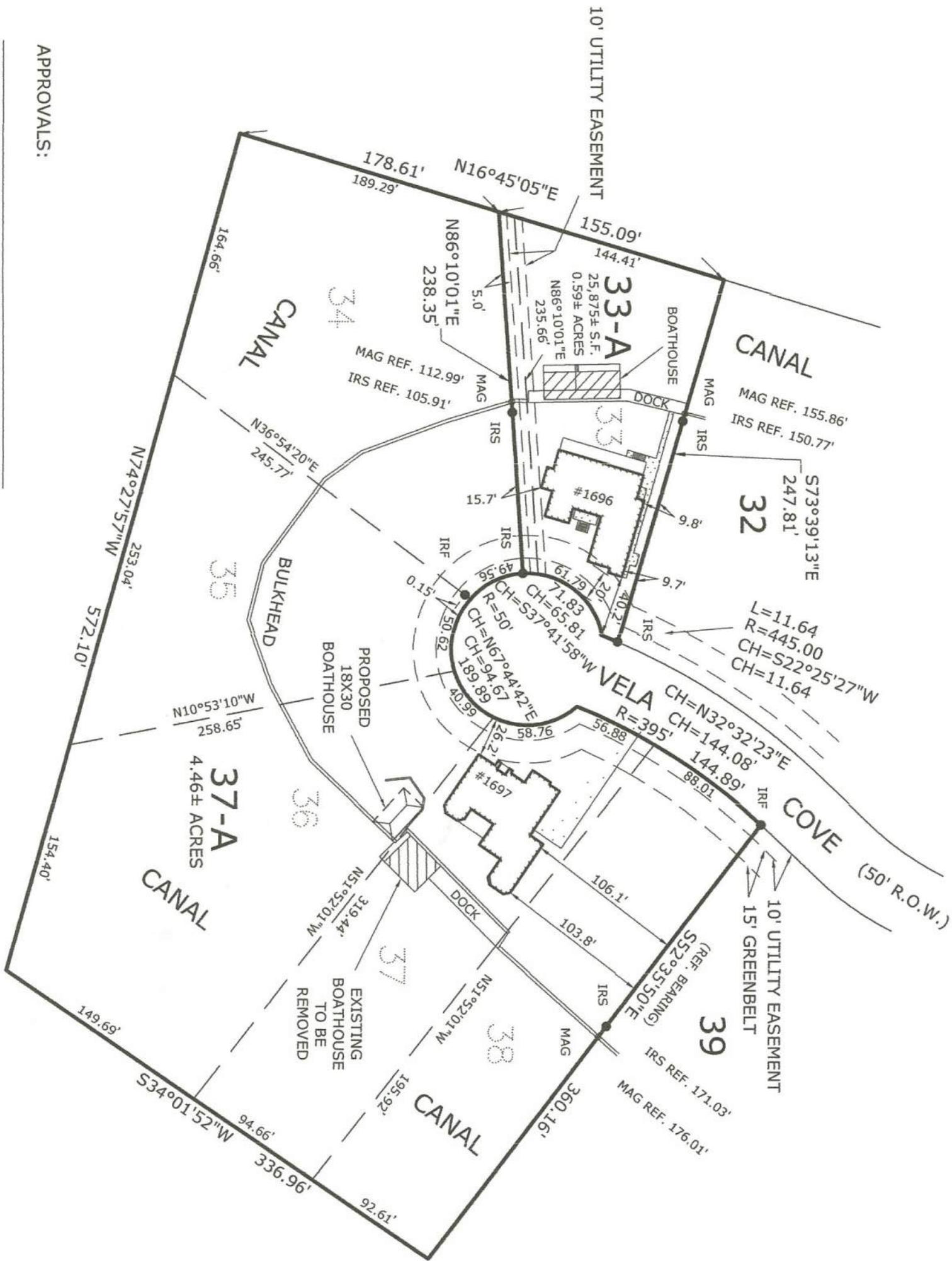


APPROVALS:

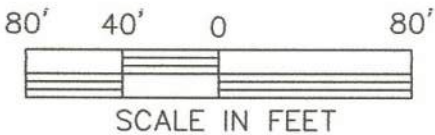
SECRETARY OF PLANNING COMMISSION

DIRECTOR OF DEPARTMENT OF ENGINEERING

CLERK OF COURT DATE FILE NUMBER



IRS = 1/2" ROD SET
IRF = 1/2" ROD FOUND
MAG = MAG NAIL SET



SURVEYOR'S CERTIFICATE
STATE OF LOUISIANA
PARISH OF ST. TAMMANY

I, LESTER H. MARTIN JR., PROFESSIONAL LAND SURVEYOR DOES HEREBY CERTIFY THAT I HAVE SURVEYED, COMPUTED AND PLOTTED THE PROPERTY SHOWN HEREON LOCATED IN CLIPPER ESTATES SUBDIVISION, PHASE 4B. SURVEYED AT THE REQUEST OF GEORGE C. MOLSKI & BRIAN SWEENEY.

WITNESS MY SIGNATURE ON THIS, THE 8th DAY OF AUGUST, 2020.

Lester H. Martin Jr. P.L.S. #4758



SURVEY SHOWING ADMINISTRATIVE RESUBDIVISION OF
LOTS 33-38 INTO
LOTS 33-A & 37-A
CLIPPER ESTATES SUBDIVISION
PHASE 4B
ST. TAMMANY PARISH,
LOUISIANA

DATE: 09-08-2020

REV:

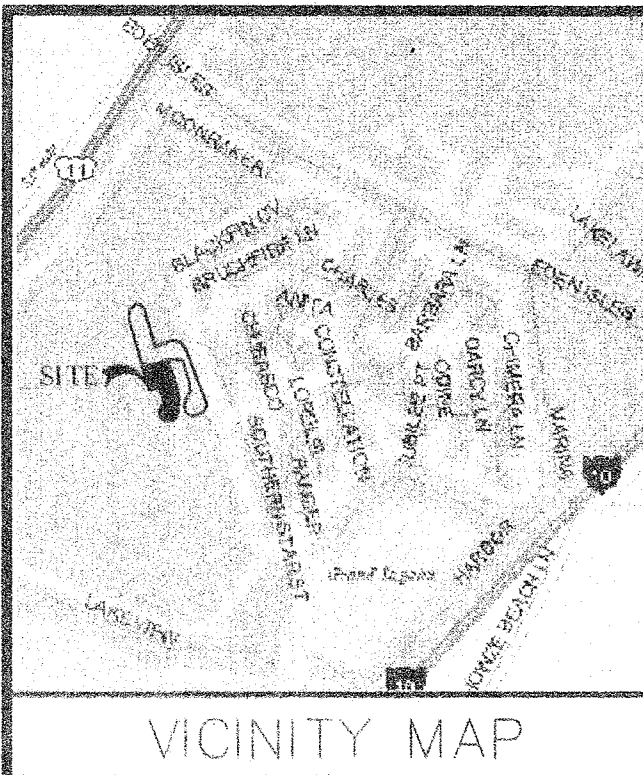
REV:

SCALE: 1"=80'

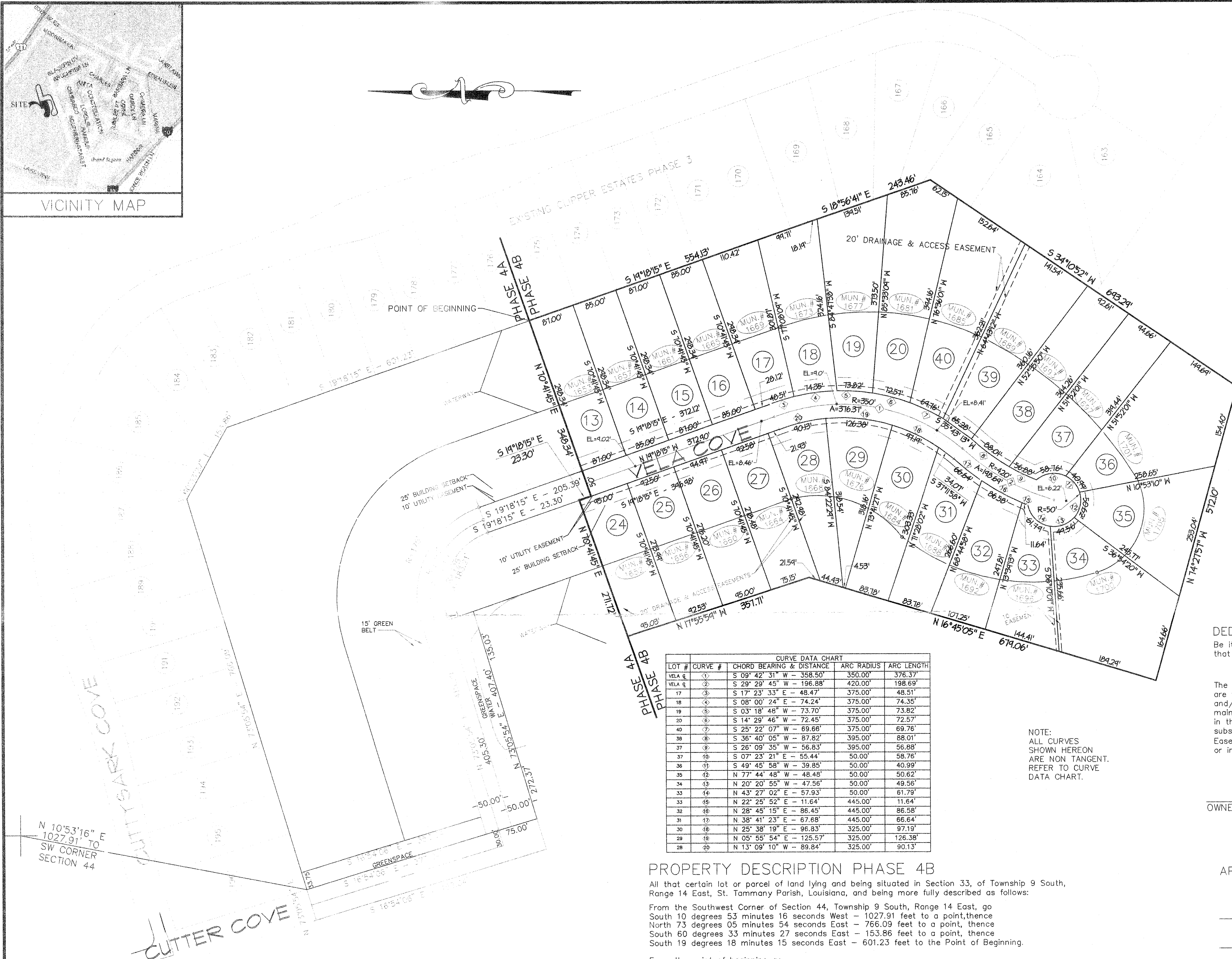
DWG. BY: LMJ

LESTER MARTIN JR.
& ASSOCIATES, L.L.C.

418 HICKORY DRIVE
Slidell, Louisiana 70458
Cell & Text: (985) 285-9099
Fax: 1 (208) 279-0935
E-mail: LMJSurveyor@gmail.com



VICINITY MAP



CURVE DATA CHART				
LOT #	CURVE #	CHORD BEARING & DISTANCE	ARC RADIUS	ARC LENGTH
1	1	S 09° 42' 31" W - 358.50'	350.00'	376.37'
2	2	S 29° 29' 45" W - 156.88'	420.00'	198.69'
3	3	S 17° 23' 33" E - 48.47'	375.00'	48.51'
4	4	S 08° 00' 24" E - 74.24'	375.00'	74.35'
5	5	S 03° 18' 48" W - 73.70'	375.00'	73.82'
6	6	S 14° 29' 46" W - 72.45'	375.00'	72.57'
7	7	S 25° 22' 07" W - 69.66'	375.00'	69.76'
8	8	S 36° 40' 05" W - 87.82'	395.00'	88.01'
9	9	S 26° 09' 35" W - 56.83'	395.00'	56.88'
10	10	S 07° 23' 21" E - 55.44'	50.00'	58.76'
11	11	S 49° 45' 58" W - 39.85'	50.00'	40.99'
12	12	N 77° 44' 48" W - 48.48'	50.00'	50.62'
13	13	N 20° 20' 55" W - 47.56'	50.00'	49.58'
14	14	N 43° 27' 02" E - 57.93'	50.00'	61.79'
15	15	N 22° 25' 52" E - 11.64'	445.00'	11.64'
16	16	N 28° 45' 15" E - 86.45'	445.00'	86.58'
17	17	N 38° 41' 23" E - 67.68'	445.00'	66.64'
18	18	N 25° 38' 19" E - 96.83'	325.00'	97.19'
19	19	N 05° 55' 54" E - 125.57'	325.00'	126.38'
20	20	N 13° 09' 10" W - 89.84'	325.00'	90.13'

NOTE:
ALL CURVES
SHOWN HEREON
ARE NON TANGENT.
REFER TO CURVE
DATA CHART.

PROPERTY DESCRIPTION PHASE 4B

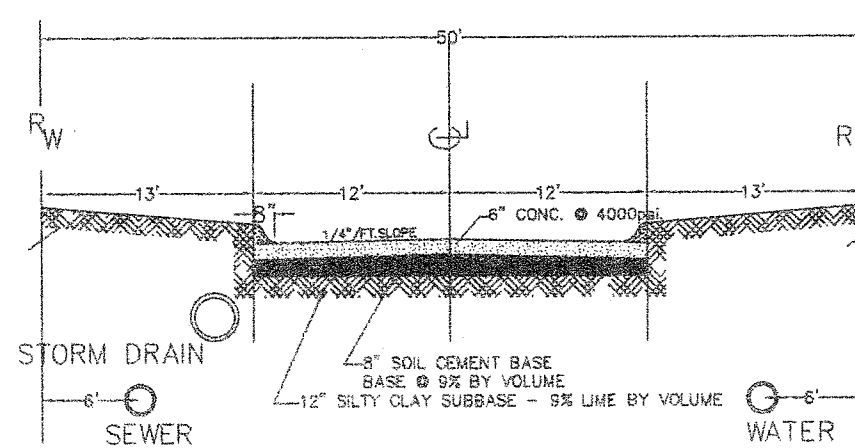
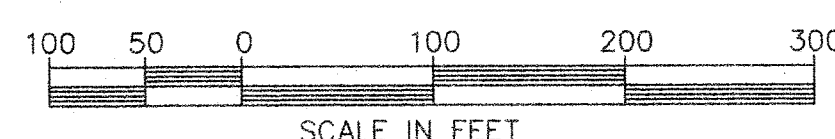
All that certain lot or parcel of land lying and being situated in Section 33, of Township 9 South, Range 14 East, St. Tammany Parish, Louisiana, and being more fully described as follows:

From the Southwest Corner of Section 44, Township 9 South, Range 14 East, go South 10 degrees 53 minutes 16 seconds West - 1027.91 feet to a point, thence North 73 degrees 05 minutes 54 seconds East - 766.09 feet to a point, thence South 60 degrees 33 minutes 27 seconds East - 153.86 feet to a point, thence South 19 degrees 18 minutes 15 seconds East - 601.23 feet to the Point of Beginning.

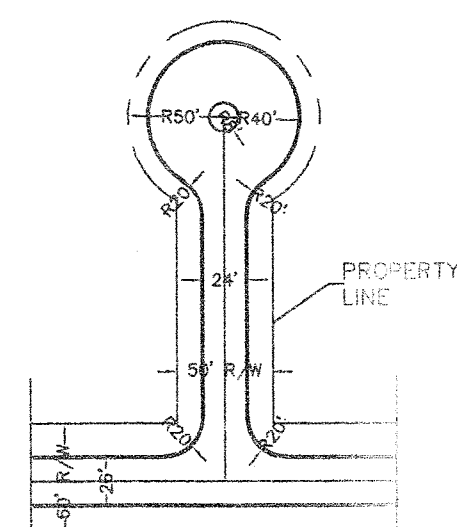
From the point of beginning go South 19 degrees 18 minutes 15 seconds East - 554.13 feet to a point, thence South 18 degrees 56 minutes 41 seconds East - 243.46 feet to a point, thence South 34 degrees 10 minutes 52 seconds West - 693.29 feet to a point, thence North 74 degrees 27 minutes 57 seconds West - 572.10 feet to a point, thence North 16 degrees 45 minutes 05 seconds East - 679.06 feet to a point, thence North 17 degrees 55 minutes 59 seconds West - 357.71 feet to a point, thence North 70 degrees 41 minutes 45 seconds East - 271.72 feet to a point, thence South 19 degrees 18 minutes 15 seconds East - 23.30 feet to a point, thence North 70 degrees 41 minutes 45 seconds East - 348.34 feet back to the Point of Beginning.

Said parcel containing 18.67 Acres of land, more or less.

FINAL SUBDIVISION PLAT CLIPPER ESTATES SUBDIVISION, PHASE 4-B SECTION 33, T9S, R14E ST. TAMMANY PARISH, LOUISIANA



TYPICAL 24' STREET CROSS SECTION CUL-DE-SAC & INTERSECTION DETAIL
NOT TO SCALE



NOT TO SCALE

RESTRICTIVE COVENANTS

- Each lot will not have more than one single family dwelling.
- No dwelling may be occupied before sewer and water systems are installed and approved by the St. Tammany Parish Department of Environmental Services.
- Front building setback will be 25' from property line. Front setback consists of the 15' greenbelt and the 10' utility easement. Side building setback will not be less than 5'77' from each side property line. The side yard may be 5' on one side and 7' on the other side, or 15' on corner lots for side yards facing the street. The rear yard building setback is 25' from the water's edge.
- Driveways on corner lots shall not be located closer than 60' from corner of said property closest to the intersection as measured from the corner of the property where the said two street rights-of-way intersect.
- Construction of any nature is prohibited in drainage or street easements.
- No noxious or offensive action shall be carried out upon any lot, nor shall anything be done thereon which may become an annoyance or nuisance to the neighborhood, particularly the use of lots as dumps or junk-car storage.
- The minimum finish floor elevation required shall be 13' above mean sea level.
- Driveway culverts are not required because subdivision drainage is subsurface.
- Mobile homes will not be permitted to occupy lots as a residence in this subdivision.
- No lot shall be further subdivided without prior approval of the Parish Planning Commission.
- Additional covenants recorded in C.O.B. _____ Folio _____, and C.O.B. _____, Folio _____.
- No Certificate of Occupancy shall be issued before the sewerage and water systems are installed and operable or otherwise connected to a community (central) sewerage and/or water system(s), all as approved by the St. Tammany Parish Department of Environmental Services. Whenever a subdivision is served by a community (central) water system (supply), no private water supply may be drilled or otherwise constructed on any lot for the purpose of supplying potable water to any building or structure, except for the purpose of irrigation, and in no event shall there be a physical connection between any such source and any element of the community (central) water system (supply).

The foregoing shall be a covenant running with each title and reference shall be made thereto in each title. This phase shall comply with the Declaration and Covenants filed under C.O.B. _____, Folio _____, recorded with the Saint Tammany Parish Clerk of Court.

CERTIFICATIONS:

This map is certified to be correct and in accordance with a property survey made on the ground, and under the supervision of the undersigned.

Seal of Surveyor
SEAN M. BURKES
LOUISIANA REGISTERED LAND SURVEYOR #4785

This plan is certified to conform to the provision of the State of Louisiana R.S. 5-33, B-5031, and the laws and ordinances of the Parish of St. Tammany with waivers.

Seal of Engineer
WILLIAM E. FOSTER, P.E.
LOUISIANA REGISTERED CIVIL ENGINEER #27582

DEDICATION:

Be it resolved, by the undersigned owners of the land as shown and described hereon, that they do declare this to be a true and accurate map of

CLIPPER ESTATES, PHASE 4B

The streets are not dedicated to the public, but are private streets. These private streets are to be maintained by Clipper Estates Subdivision Master Homeowners, Inc. or its successors and/or assigns. These streets cannot be accepted into the Parish of St. Tammany road maintenance system until they meet the required street and road specifications as set forth in the Louisiana Department of Transportation and Development Manual, as amended, or subsequent editions thereto. Easements shall be reserved for drainage and utilities as indicated hereon, and no obstruction or improvements shall be allowed that would prevent them being used for their intended purpose.

OWNER FOR: VELA DEVELOPMENTS, L.L.C. - PETER TUFARO, MANAGER DATE 7-11-02

APPROVALS

Emilio Lombard
CHAIRMAN, PARISH PLANNING COMMISSION
John Kelly
SECRETARY, PARISH PLANNING COMMISSION
Janet Shiloh
PARISH ENGINEER
DATE FILED 7-11-2002
CLERK OF COURT
19/68 ACRES
AREA
90' x 350'
AVG. LOT SIZE
25
NO. OF LOTS
1007.83 LF
LENGTH OF STREET
CONCRETE
ROAD SURFACING
24' & Cul-de-Sac
STREET WIDTH
P.U.D.
ZONING
CENTRAL
SEWAGE SYSTEM
CENTRAL
WATER SYSTEM

NOTES:

- THIS PROPERTY IS IN FLOOD ZONE A-10, BFE 13 / PANEL 225205 0535D, DATED 04/02/1991.
- THERE IS A 10' CLECO UTILITY SERVITUDE INSIDE AND ADJACENT TO EACH LOT.
- ULTIMATE DISPOSAL OF DRAINAGE IS LAKE PONCHARTRAIN.

FOSTER ENGINEERING, INC.

2004 FIRST STREET, SLIDELL, LA 70458

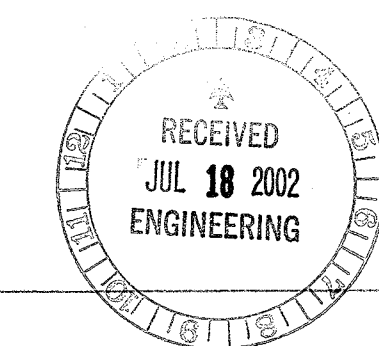
phone 985-649-6647 fax 985-649-6623

WEFoster@Prodigy.net

CLIPPER ESTATES, PHASE 4-B

VELA COVE

SLIDELL, LOUISIANA



RECORDED
PLAT

CLIENT

VELA DEVELOPMENTS, L.L.C.

DRWN BY

BSF

CHK'D BY

WEF

DATE

05/15/2002

SCALE

1" = 100'

C-1

FINAL SUBDIVISION

JOB NO.

20003-B

SHEET NO.

1 OF 1

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RESUBDIVISION STAFF ANALYSIS REPORT

(As of October 6, 2020)

Meeting Date: October 13, 2020

CASE FILE NO: 2020-2060-MRP

NAME OF SUBDIVISION: Clipper Estates, Phase 3A

LOTS BEING DIVIDED: Resubdivision of 137A & 137B into lots 137A-1 & 137B-1

SECTION: 33

WARD: 9

TOWNSHIP: 9 South

PARISH COUNCIL DISTRICT: 13

RANGE: 14 East

PROPERTY LOCATION: The parcels are located at the end of Cuttysack Cove, Slidell, Louisiana.

ZONING: PUD Planned Unit Development Overlay

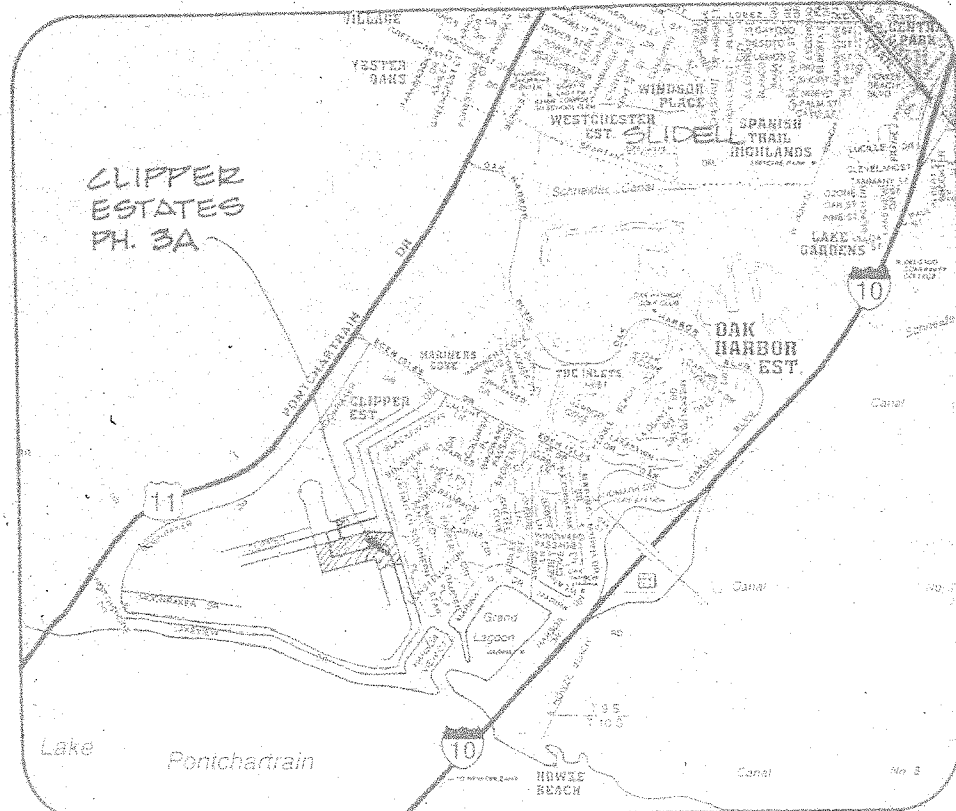
PROPERTY OWNER: Shane & Helen Moreau

STAFF COMMENTARY:

The owner is requesting to resubdivide three (3) lot into two (2) residential sites. Note that proposed lot 137A-1 will be similar is size with other lots within Phase 3A of Clipper Estates.

The reason for the public hearing requirement is that the proposal involves:

- The creation/adjustment of lots within a subdivision that requires approval of the Planning Commission.



PROPERTY DESCRIPTION

All that certain lot or parcel of land lying and being situated in Section 33, of Township 9 South, Range 14 East, St. Tammany Parish, Louisiana more fully described as follows:

From the Northwest Corner of Section 44, Township 9 South, Range 14 East go North 23 degrees 14 minutes 32 seconds East - 1465.44 feet; thence South 16 degrees 54 minutes 06 seconds East - 1564.08 feet to the POINT OF BEGINNING.

From the Point of Beginning go South 16 degrees 54 minutes 06 seconds East - 406.02 feet thence South 62 degrees 43 minutes 25 seconds West - 16.05 feet; thence South 19 degrees 18 minutes 15 seconds East - 183.84 feet; thence South 70 degrees 41 minutes 45 seconds West - 225.00 feet; thence South 73 degrees 24 minutes 27 seconds West - 60.07 feet; thence South 62 degrees 43 minutes 25 seconds West - 260.01 feet; thence North 19 degrees 18 minutes 15 seconds West - 71.76 feet; thence North 60 degrees 32 minutes 27 seconds West - 153.56 feet; thence South 73 degrees 05 minutes 54 seconds East - 826.09 feet; thence North 16 degrees 54 minutes 06 seconds West - 502.50 feet; thence North 73 degrees 05 minutes 54 seconds East - 257.50 feet; thence South 16 degrees 54 minutes 06 seconds East - 30.00 feet; thence North 73 degrees 05 minutes 54 seconds East - 830.00 feet; thence South 16 degrees 54 minutes 06 seconds East - 100.00 feet; thence North 73 degrees 05 minutes 54 seconds East - 446.11 feet back to Point of Beginning.

Said Parcel contains 19.8618 Acres.

- RESTRICTIVE COVENANTS**
- Each lot will not have more than one single family dwelling.
 - No dwelling may be occupied before sewer and water systems are installed and approved by the Environmental Services Commission.
 - Front building setback will be 25' from property line. Front setback consists of the 15' greenbelt and the 10' utility easement.
 - Side building will not be less than 5' from each side property line, the side yard may be 5' on one side and 7' on the other side or 15' on corner lots for side yards facing the street.
 - Driveways on corner lots shall not be located closer than 60' from corner of said property closest to the intersection as measured from the corner of the property where the said two street right-of-way intersect.
 - Construction of any nature is prohibited in parish drainage or street easements done thereon which may or may become an annoyance or nuisance to the neighborhood, particularly the use of lots as dumps or junk car storage.
 - The minimum finish floor elevations required shall be 12' above mean sea level.
 - Driveway culverts are not required because subdivision has subsurface drainage.
 - Mobile homes will not be permitted to occupy lots as a residence in this subdivision.
 - No lot shall be further subdivided without prior approval of the Parish Board of Health, Planning Commission and the Environmental Services Commission.
 - Additional covenants recorded in C.O.B. Folio and C.O.B. Folio.
 - No Certificate of Occupancy shall be issued before the sewerage and water systems are installed and operable or otherwise connected to a community (central) sewerage and/or water system(s), all as approved by the Environmental Services Commission of St. Tammany Parish. Whenever a subdivision is served by a community (central) water system (supply), no private water supply may be drilled or otherwise constructed on any lot for the purpose of supplying potable water to any building or structure, except for the purpose of irrigation, and in no event shall there be a physical connection between such source and any element of the community (central) water system (supply).

The foregoing shall be a covenant running with each lot and reference shall be made thereon in each title. This plat shall comply with the declaration and covenants filed under C.O.B. Folio and C.O.B. Folio.

CERTIFICATION:

This map is certified to be correct and true and made on this ground under supervision of the undersigned.

J.V. Burkes
LA REGISTERED LAND SURVEYOR # 6997

J.V. Burkes
LA REGISTERED CIVIL ENGINEER # 6997

This plan is certified to conform to the provision of the R.S. 5 - 33 B - 5051 and laws and ordinances of the Parish of St. Tammany with waters.

J.V. Burkes
LA REGISTERED CIVIL ENGINEER # 6997

DEDICATION:

Be it resolved, by the undersigned owner of the land as shown and described herein, that he does declare this to be a true and accurate map of:

CLIPPER ESTATES PHASE 3A

The streets are not dedicated to the public, but are private streets. These private streets are to be maintained by Clipper Estates Subdivision Master Homeowners, Inc. or its successors and/or assigns. These streets cannot be opened into the Parish of St. Tammany road maintenance system until they meet the required street and road specifications as set forth in the Louisiana Department of Transportation and Development Manual as amended or subsequent editions thereto.

Easements shall be reserved for drainage and utilities as indicated herein and no obstruction or improvements shall be allowed that would prevent them being used for their intended purpose.

OWNER: *MA* DATE: _____

FOR: CLIPPER DEVELOPMENT, LLC

PARTNER: *MA*

APPROVAL: *Emile J. Fournier* PARISH PLANNING COMMISSION

Shirley N. Shier PARISH PLANNING COMMISSION

5-27-98 DATE: _____

Shirley N. Shier CLERK OF COURT

16-29 FILE NO.

19.8618 Acres	31	2045.55 L.F.
AREA	NO. OF LOTS	LOTH. OF STREET
100' X 220'	CENTRAL	P.U.D.
AVG. LOT SIZE	SEWAGE SYSTEM	ZONING
CONCRETE	P.L.S.	CENTRAL
ROAD SURFACING	STREET LIGHTS	WATER SYSTEM

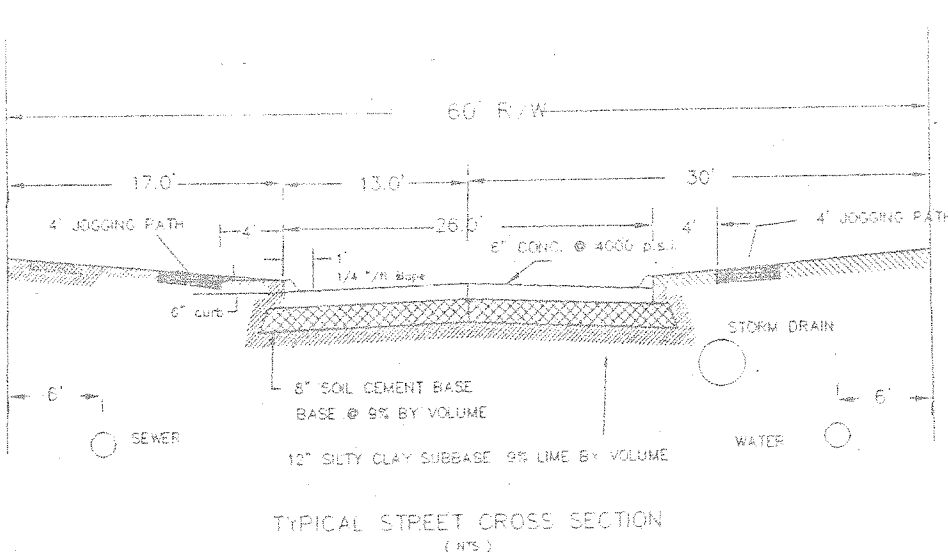
RECORDED PLAT

J.V. BURKES & ASSOC., INC.
2990 E. GAUSE (504) 649-0075 SLIDELL, LA. 70459

SCALE: 1" = 100'	COGO: CLIPP	DRAWN BY: JVB
DATE: 3-11-98		MAPFILE: CLIPP3A

CLIPPER ESTATES PHASE 3-A
SEC 33-T9S - R14E

FOR: CLIPPER DEVELOPMENT, L.L.C.	DWG. NO.: 980604
----------------------------------	------------------



COGO: SURVEY\CLIPPER\CLIPP3.CRD
MAPFILE: \MAPCAD\CLIPPER\CLIPP3.DWG

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PRELIMINARY SUBDIVISION REVIEW

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Planning Commission approval shall be subject to the following items being addressed:

General Comments:

1. Provide a recreational development plan. Include a time schedule for the development and the entity whom shall be responsible for the liability and maintenance of the recreational amenities.
2. All infrastructure shall be either public or private. Revise the plat's dedication language and restrictive covenants as needed.
3. Detention area and outfall required for Phase 1 must be included within the boundaries of this phase.
4. The revised T.I.A. provided with this submittal on 9/23/2020 is currently under review.
5. Provide a current completed and executed "Fill & Grading Statement" for this development.
6. Construction drawings need to be stamped by a LA licensed Civil Engineer (Typical)
7. A complete plan set needs to be provided with all the revised plan sheets including all water and sewer plans. The sheet index and sheet numbers need to be revised throughout all plan sheets. (Typical)

Preliminary Plat:

8. Minimum lot size allowable for this development is 50' x 120' per the approved PUD. Revise Lots #177, 178, 196, 205 & 218 accordingly.
9. Revise the lot municipal addresses on the Preliminary Plat for Lots #168 - #172 to be in accordance with the addresses issued by 911 Addressing.

Paving & Drainage Plan:

10. Provide civil design plans for the proposed left and right turn lanes along Hwy 1090 (Military Road).
11. Provide sizing verification that the existing drainage culverts under Hwy 1090 (Military Road) are adequately sized to handle the proposed drainage flow.
12. Relabel Lot #181 to Lot #181U in accordance with the revised Preliminary Plat. (Typical all sheets)
13. Revise arrows to point to servitude lines instead of lot line(s), and increase the width to 20' for the subsurface drainage infrastructure located on Lot #168. Update and revise all applicable plan sheets.

14. Provide a dedicated drainage and access servitude for the excavation area and natural drainage way located within Parcel G-2. Update and revise all applicable plan sheets accordingly.
15. Provide a grading plan showing all fill and cut areas within all phases that includes existing and proposed elevations.
16. Show the 15' servitude for access and maintenance along the rear property line on cross-section B-B.

Water & Sewer Plan:

17. Provide a water and sewer letter of capacity for this phase of Military Ridge from Tammany Utilities.
18. Provide written plan approval from Tammany utilities for this phase of Military Ridge.
19. Relocate the water line from Lot #182 to run along the utility lot #181U.
20. Provide revised water and sewer plans in accordance with the revisions previously discussed with Tammany Utilities.

Drainage Impact Study:

21. The Drainage Impact Study has been reviewed by this office, and has outstanding comments to be addressed. The remaining comments were sent to the Engineer of Record to be addressed on 10/5/2020.

Informational Items:

The developer is responsible for contacting the USPS Regional Growth Management Coordinator to verify the appropriate mail delivery location for this development.

A Letter of No Objection regarding the water and sewer improvements needs to be issued on behalf of The Department of Environmental Services for this phase of Military Ridge.

Louisiana Department of Health (LDH) Approval for this phase of Military Ridge is required.

No funded **Maintenance Obligation** for the subdivision connection is required since this subdivision is connecting to a state maintained highway.

However, a Maintenance Obligation in the amount of 1,620 linear feet at \$5.00 per linear foot of water line and 1,620 linear feet at \$5.00 per linear foot of sewer line = **\$16,200.00** is required for the construction of the water and sewer lines within the Crawford Landing Road right-of-way to ensure the repair of any damage to the Parish roads from construction activity in connection with the installation of the water and sewer lines.

Mandatory Developmental fees will be required at Final Submittal in accordance with St. Tammany Code of Ordinances, Part II “Land Development Code,” Chapter 125 “Subdivision Regulations,” since no public hearing was held prior to January 1, 2005.

Revised drawings will not be accepted for review or placement in the packet prior to the September 8, 2020 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.

PRELIMINARY PLAT FOR
MILITARY RIDGE, PHASE 1
A PLANNED UNIT DEVELOPMENT
LOCATED IN SECTION 31, T-8-S, R-15-E,
ST. TAMMANY PARISH, LOUISIANA

PRELIMINARY PLANS
RECEIVED
09/23/2020 - 10:00 A.M.
DEVELOPMENT
ENGINEERING

ENGINEERING
REVIEW COPY

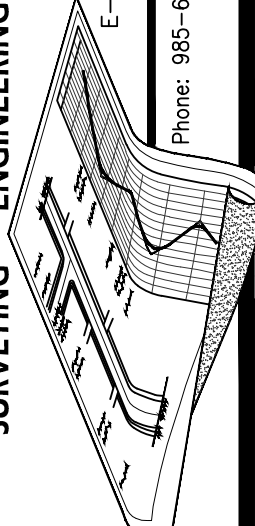
RESTRICTIVE COVENANTS

1. EACH UNIT/SITE WILL NOT HAVE MORE THAN ONE DWELLING.
2. FRONT BUILDING SETBACK WILL NOT BE LESS THAN 15' FROM EACH FRONT LOT LINE. THE REAR SETBACK SHALL NOT BE LESS THAN 10' FROM EACH REAR LOT LINE. EXCEPT LOTS 25-76 SHALL BE 30'. 173'-21" 196'-25" & 218'-15" FROM EACH REAR LOT LINE OR AS SHOWN. THE SIDE STREET SETBACK SHALL BE 10'. THE SIDE SETBACK SHALL NOT BE LESS THAN 5' FROM EACH SIDE LOT LINE.
3. CONSTRUCTION OF ANY NATURE IS PROHIBITED IN DRAINAGE EASEMENTS AND STREET RIGHT-OF-WAYS.
4. NO NOXIOUS OR OFFENSIVE ACTION SHALL BE CARRIED UPON ANY UNIT, NOR SHALL ANYTHING BE DONE THEREON WHICH MAY OR MAY BECOME AN ANNOYANCE OR NUISANCE TO THE NEIGHBORHOOD, PARTICULARLY THE USE OF UNITS AS DUMPS OR JUNK CAR STORAGE.
5. THE MINIMUM FINISH FLOOR ELEVATIONS REQUIRED SHALL BE 13.0' ABOVE MEAN SEA LEVEL. MAXIMUM BUILDING HEIGHT TO BE 35'.
6. DRIVEWAY CULVERTS ARE NOT REQUIRED BECAUSE SUBDIVISION HAS SUBSURFACE DRAINAGE.
7. MOBILE HOMES ARE NOT PERMITTED TO OCCUPY LOTS AS A RESIDENCE IN THIS SUBDIVISION.
8. ACCESSORY BUILDINGS WITH A SIZE OF LESS THAN 5% OF THE AREA OF THE LOT ON WHICH THE MAIN BUILDING IS SITUATED MAY BE LOCATED FIVE (5) FEET FROM THE NEAREST INTERIOR SIDE & REAR LOT LINES PROVIDED THE BUILDING LENGTH DOES NOT EXCEED THIRTY (30) FEET & THE BUILDING HEIGHT DOES NOT EXCEED 20 FEET.
9. TELECOMMUNICATION CABINET IS PERMITTED TO BE LOCATED WITHIN THE GREENSPACE. A 40 FOOT WIDE STRIP IN THE GREENSPACE ADJACENT TO THE SUBDIVISION ENTRANCE SHALL BE BEAUTIFIED TO INCLUDE CLEARING, GRADING, POWER, WATER, LANDSCAPING AND SIGNAGE FOR THE SUBDIVISION.
10. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED BEFORE THE SEWERAGE AND WATER SYSTEMS ARE INSTALLED AND OPERABLE OR OTHERWISE CONNECTED TO A COMMUNITY (CENTRAL) SEWERAGE AND/OR WATER SYSTEM(S), ALL AS APPROVED BY THE ST. TAMMANY PARISH DEPARTMENT OF ENVIRONMENTAL SERVICES. PARISH. WHENEVER A SUBDIVISION IS SERVED BY A COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY), NO PRIVATE WATER SUPPLY MAY BE DRILLED OR OTHERWISE CONSTRUCTED ON ANY LOT FOR THE PURPOSE OF SUPPLYING POTABLE WATER TO ANY BUILDING OR STRUCTURE, EXCEPT FOR THE PURPOSE OF IRRIGATION, AND IN NO EVENT SHALL THERE BE A PHYSICAL CONNECTION BETWEEN ANY SUCH SOURCE AND ANY ELEMENT OF THE COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY).
11. DRIVEWAYS ON CORNER LOTS SHALL NOT BE LOCATED ANY NEARER THAN 40 FEET FROM CORNER OF SAID PROPERTY CLOSEST TO THE INTERSECTION AS MEASURED FROM THE CORNER OF THE PROPERTY WHERE THE SAID TWO STREET RIGHT OF WAY INTERSECT.
12. THE H.O.A. SHALL MAINTAIN GREENSPACES AND ALL DRAINAGE INCLUDING POND CUL-DE-SACS. IF THE PUBLIC ROAD RIGHT OF WAY SHALL ONLY MAINTAIN ROAD RIGHT OF WAY INCLUDING DRAINAGE WITHIN THE ROAD RIGHT OF WAY. UTILITY SERVICES SHALL BE FOR THE RESPECTIVE UTILITY COMPANIES.
13. UNDERGROUND UTILITIES SHALL BE PROVIDED.
14. MAXIMUM HEIGHT OF BUILDING SHALL BE 35'.
15. NO LOT SHALL BE FURTHER SUBDIVIDED UNLESS OTHERWISE APPROVED BY ST. TAMMANY PARISH PLANNING COMMISSION AND THE DEPARTMENT OF ENVIRONMENTAL SERVICES.
16. ADDITIONAL COVENANTS RECORDED IN C.O.B. _____, FOLIO _____ AND C.O.B. _____.

*ADDITIONAL RESTRICTIVE COVENANTS MAY BE IMPOSED ON THE ABOVE PARCELS BY SEPARATE WRITTEN AND RECORDED INSTRUMENT.

J.V. Burkes & Associates, Inc.
SURVEYING ENGINEERING • ENVIRONMENTAL

1805 Shortcut Highway
Sibley, Louisiana 70458
E-mail: jvbases@jvburkes.com
Phone: 985-649-0075 Fax: 985-649-0154



CERTIFICATION
THIS MAP IS CERTIFIED TO BE CORRECT AND IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THIS GROUND UNDER SUPERVISION OF THE UNDERSIGNED.

SEAN M. BURKES - LA P.L.S. No. 4785

THIS PLAN IS CERTIFIED TO CONFORM TO THE PROVISIONS OF THE STATE OF LOUISIANA LA RS:33:5051 AND LAWS AND ORDINANCES OF THE PARISH OF ST. TAMMANY WITH WAIVERS.

SEAN M. BURKES - LA P.E. No. 27642

DEDICATION
BE IT RESOLVED, BY THE UNDERSIGNED OWNER OF THE LAND AS SHOWN AND DESCRIBED HEREON, THAT HE DOES DECLARE THIS TO BE A TRUE AND ACCURATE MAP OF:

MILITARY RIDGE

THE STREET RIGHT-OF-WAY INCLUDING STREETS, TRAFFIC SIGNAGE AND POSTS AS SHOWN IN THIS DEVELOPMENT IS HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER USES. EASEMENTS SHALL BE RESERVED FOR DRAINAGE AND UTILITIES AS INDICATED HEREON AND NO OBSTRUCTION OR IMPROVEMENTS SHALL BE ALLOWED THAT WOULD PREVENT THEM FROM BEING USED FOR THEIR INTENDED PURPOSES.

JONATHAN STARRS-MEMBER/MANAGER		DATE
FOR LYNN LEVY LAND CO. LLC		
APPROVAL		
PARISH PLANNING COMMISSION CHAIRMAN	DIRECTOR OF PARISH ENGINEERING	
PARISH PLANNING COMMISSION SECRETARY	CLERK OF COURT	
DATE FILED	FILE NUMBER	

19.477 ACRES	84	±3,160 LF
AREA	NO. OF LOTS	LGTH. OF STREETS
50'x120'	1	A-4-A/PUD
MIN. LOT SIZE	NO. OF PHASES	A-1/PUD
		ZONING
CONCRETE	50' ROW	
ROAD SURFACING	STREET WIDTH	
10	CENTRAL	(TAMMANY UTILITIES)
NO. OF BLOCKS	SEWAGE SYSTEM	CENTRAL (TAMMANY UTILITIES)
		WATER SYSTEM

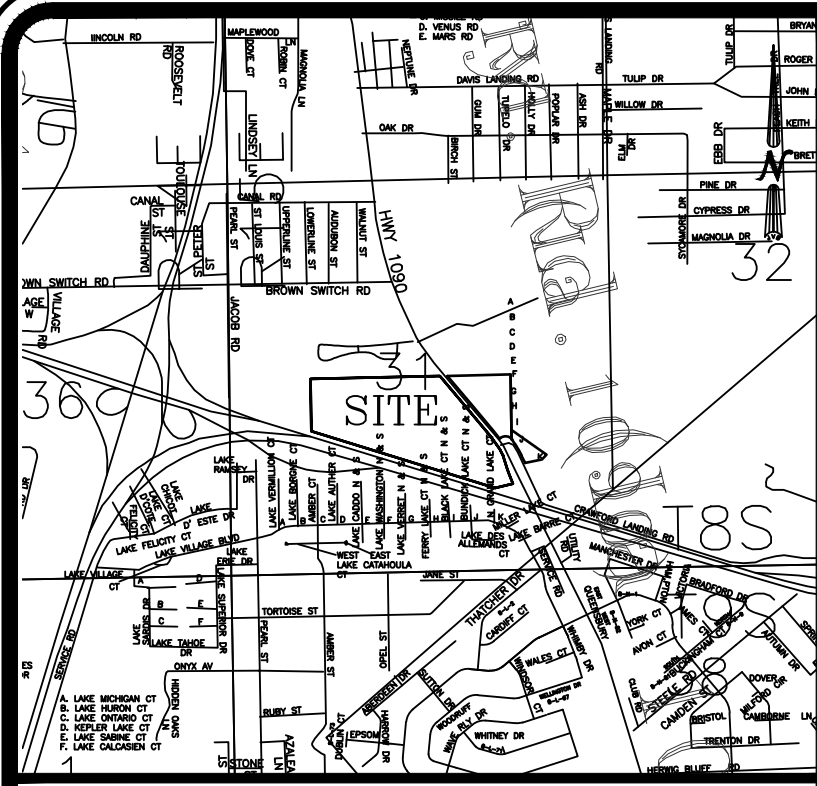
FLOOD ZONE NOTE

I HAVE CONSULTED THE FLOOD INSURANCE RATE MAPS AND FOUND THIS PROPERTY IS IN A SPECIAL FLOOD HAZARD AREA. F.I.R.M. COMMUNITY MAP NO. 225205 0440 D; DATED: 4/21/99 FLOOD ZONE: C & A4; BASE FLOOD ELEVATION: 11A & 12'.

NOTES:

1. ALL LOTS SUBJECT TO A 10' EASEMENT ADJACENT TO STREET RIGHT OF WAY.
2. ULTIMATE DISPOSAL OF WATER IS WEST PEARL RIVER.
3. [Symbol] DENOTES MUNICIPAL NUMBER.
4. BENCHMARK: MAG NAIL; ELEV. =14.97'; DATUM: NAVD88
5. [Symbol] JURISDICTIONAL WETLANDS ARE LOCATED ON THIS PROPERTY.
6. SEWER AND WATER PROVIDED AND MAINTAINED BY TAMMANY UTILITIES LOCATED OFFSITE.

SCALE: 1" = 150'
DATE: 08.14.2020
DRAWN BY: RMY
CHECKED BY: SMB
DWG. NO. 20190242
SHEET 2 OF 14



VICINITY MAP
NOT TO SCALE

P.O.B. is N88°40'16"E-1176.24' from the Quarter Section corner common to Section 31, Township 8 South, Range 15 East and Section 36, Township 8 South, Range 14 East, Greensburg Land District, Saint Tammany Parish, Louisiana

USE, RESIDENTIAL ZONING: A5

USE, RESIDENTIAL ZONING: A5

NOTE:
1. DEVELOPER TO ERECT AND MAINTAIN 6' WOODEN FENCE ALONG AND/OR INSIDE ENTIRE WESTERN BOUNDARY OF SUBDIVISION, SAID FENCE TO BE 6' FENCE TO EXTEND TO THE NW CORNER.
2. ALL GREENSPACE AND OPEN AREAS SHALL BE MAINTAINED BY THE H.O.A.
3. IF NECESSARY, DRAINAGE ENTERING THE SUBDIVISION AT THE NW CORNER WILL BE SUB-SURFACE, BUT ONLY TO THE EXTENT NECESSARY TO ALLOW 6' FENCE TO EXTEND TO THE NW CORNER.

JOY & MARTIN BIBLE (NOW OR FORMERLY)

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FINAL SUBDIVISION REVIEW

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FINAL SUBDIVISION STAFF ANALYSIS REPORT
(As of October 6, 2020)

CASE NO.: 2020-2017-FP

SUBDIVISION NAME: Preston Vineyard

DEVELOPER: First Horizon, Inc.
7660 Pecue Lane; Suite 100
Baton Rouge, LA 70809

ENGINEER/SURVEYOR: McLin Taylor, Inc.
P.O. Box 1266
Livingston, LA 70754

SECTION: 29
TOWNSHIP: 6 SOUTH
RANGE: 10 EAST

WARD: 1
PARISH COUNCIL DISTRICT: 3

TYPE OF DEVELOPMENT: ☐ URBAN (Residential lots less than 1 acre)
 ☐ SUBURBAN (Residential lots between 1-5 acres)
 ☐ RURAL (Residential Farm Tract lots 5 acres plus)
 ☒ OTHER (Multi family, commercial or industrial) (PUD)

GENERAL LOCATION: The property is located south of LA Highway 190, west of LA Highway 1077, north of Interstate-12, Madisonville, Louisiana.

TOTAL ACRES IN DEVELOPMENT: 82.759

NUMBER OF LOTS: 165 AVERAGE LOT SIZE: 60' x 120'

SEWER AND WATER SYSTEMS: Central

ZONING: A-3 with a PUD overlay

FLOOD ZONE DESIGNATION: "A"

STAFF COMMENTARY:

This project was postponed for one month at the September 8, 2020 Planning Commission meeting.

Department of Planning and Development

Periodic inspections have been made by this office during construction and the final confirmation inspection was made on October 2, 2020. The inspection disclosed that all of the asphalt roads and roadside shoulders are constructed, and the roadside ditches are functioning.

The following uncompleted items existed at the time of the final inspection and will be completed before the plats are signed:

General Comments:

1. Clean all streets throughout the development.
2. Bring all roadside shoulders to grade and vegetate.
3. Remove debris and trash from the road right-of-way.
4. Remove all debris and siltation from the ponds within this development. (Typical Comment)
5. Regrade Pond 1A to eliminate the standing water so the dry detention pond functions as designed.
6. Install the required Stop Sign leaving the recreation facilities as shown on the As-Built Signage Plan.

Drainage & Paving Plans:

7. Update the As-Built Paving & Drainage Plan to reflect the newly constructed pavement associated with the recreation facilities.
8. Provide certification from the engineer that the detention ponds for this development have been constructed in accordance with the approved drainage study and required detention volume.

Water & Sewer Plans:

9. Some of the installed gravity sewer mains do not have the recommended 0.40% slopes. Provide verification that the lines that do not meet the recommended slopes have the required 2ft/s clearing velocity.
10. Provide a water and sewer Letter of Capacity for this development from Tammany Utilities.
11. Provide Clear Water Tests for the new water lines installed in association with the development.
12. Provide a letter of acceptance and responsibility for the perpetual maintenance and operation of the water and sewer systems from Tammany Utilities.

Informational Items:

The developer is responsible for contacting the USPS Regional Growth Management Coordinator to verify the appropriate mail delivery location for this development.

Should the Planning Commission approve the request for Final Approval, a Warranty Obligation will be required for the infrastructure in the amount of 6,200 linear feet x \$22.00 per linear foot = \$136,400.00 for a period of five (5) years. The five (5) year warranty period is required for this development since a

proof roll was not performed in accordance with St. Tammany Parish Ordinances.

Mandatory Developmental Fees are required as follows:

Road Impact Fee = \$1077.00 per lot x 165 lots = \$177,705.00

Drainage Impact Fee = \$1114.00 per lot x 165 lots = \$183,810.00

Fees are due before subdivision plats can be signed.

This subdivision **is** within the Urban Growth Boundary Line.

Revised drawings will not be accepted for review or placement in the packet prior to the September 8, 2020 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.

1

General Comments:

1. Clean all streets throughout the development.
2. Remove all construction debris from the road right-of-way.
3. Add fill where needed behind the roadside curbing.
4. Grade pond banks to make uniform bank elevation where necessary, particularly the northern most pond.
5. Remove rip-rap that is obstructing the flow of pond outfalls. (Typical Comment)
6. Dry ponds throughout this development are holding water and need to be regraded to eliminate standing water.
7. Pond banks showed signs of erosion in numerous locations. The banks need to be restored to eliminate the erosion issues and vegetated.
8. The drainage swale between the eastern most pond on Lot #6 and the 8" cross drain pipe is holding water and needs to be regraded to provide positive drainage.
9. Remove debris and trash from all detention ponds, especially the eastern most pond on Lot #6. (Typical Comment)
10. Remove the subsurface drainage between Dove Park Road and the newly constructed sidewalk. This subsurface was not approved, was installed incorrectly, does not have the required pipe coverage, and the installed catch basins are not functioning as most of them are higher than Dove Park Road.
11. The roadside ditches along Dove Park Road have silted in due to site erosion. The ditches need to be cleaned out and the disturbed area needs to be vegetated to eliminate further erosion.
12. The detention pond north of Dove Park Road, east of Emerald Dove Drive has silted in and needs to be excavated, stabilized and vegetated.
13. The plastic pipe on the northwest side of Emerald Dove Drive connecting to the detention pond needs erosion control measures installed on the upstream and downstream sides of the pipe.
14. The pond located northwest of Emerald Dove Drive has significant siltation on the east end of this pond that needs to be removed, stabilized and vegetated.
15. Area damaged by construction traffic between the east and west side of this development need to be restored and corrected.
16. Permanent grass needs to be established on all disturbed areas adjacent to drainage features and wetland areas.

17. The parking spaces located in front of the playground area need to be revised to meet minimum UDC requirements.
18. Clean product spill on the newly constructed sidewalk.
19. Update the provided test results to show the lot location where the tests were taken.
20. Provide utility trench bedding test results.
21. Provide utility trench backfill test results.
22. Asphalt is showing signs of raveling in the cul-de-sac at the end of Emerald Dove Drive.

Final Plat:

23. Update the Final Plat to show municipal lot addresses on all lots.
24. The building footprint for Lot #84 is in conflict with the 20' Drainage & Utility Servitude. Revise the Final Plat to eliminate this conflict.
25. Label the "hatched" drainage features on the Final Plat.
26. Provide individual parcel labels for the greenspace areas within this development.
27. Revise the bearing call-out S51° 11'53" in the legal description to state S51° 11'53"E.
28. Update the Final Plat to show Lot #85 as an Industrial Lot.
29. Update the dedication statement to state the following "Easements and Rights-of-Ways shall be reserved for drainage, utilities and access as indicated hereon..."
30. Identify each individual pond on the Final Plat. (Pond-1, Pond-2, etc.)
31. Update the dedication statement to include who is responsible to own and maintain the Greenspace, Detention Ponds, and Signage in the subdivision.
32. The Land Surveyor of Record for this development needs to sign, seal and date the Final Plat.

Drainage & Paving Plans:

33. Provide drainage directional arrows on the As-Built Drainage Plan for each individual parcel within this development. (Typical Comment)
34. Label the recreational area on all civil plan sheets. (Typical Comment)

35. Provide an As-Built cross-section from the front of Lot #85 to the northern edge of pavement for Dove Park Road to verify that the constructed sidewalk does not impede the drainage in this area.
36. Label the newly constructed sidewalk on the As-Built Paving & Drainage Plan.
37. Provide typical cross-sections for each detention pond showing elevations, dimensions, NWSE, and access servitude around the pond bank.
38. Update the As-Built Paving & Drainage Plan to show the outfall structure for the pond directly north of Lot #19.
39. Update the As-Built Paving & Drainage Plan to show the outfall structure for the eastern most “private pond” on Lot #6.
40. Update the civil plans to call-out the Tammany Trace. (Typical Comment)
41. Update the civil plans to call-out Lot #6. (Typical Comment)
42. Clarify if the grayed elevations are the As-Built, Proposed, or Pre-Development elevations.
43. Provide a cross-section through the western property line and the rear of the western lots, showing As-Built dimension, elevations, property lines, fence and landscape buffer.
44. Update the As-Built plan to show the required rip-rap at the pipe inlets and outlets. (Typical Comment)
45. Update the As-Built Paving & Drainage Plan to clarify which drainage structure the invert elevations correspond to for the Drop Inlet in front of the recreational area.
46. Update the As-Built Paving & Drainage Plan to provide invert elevations of drainage structure #137.
47. As-Built elevations for the subsurface pipes near lots #1-3 are showing negative flow. Verify this information is accurate or revise accordingly.
48. Provide as-built elevations for the ditch along the western property line, including the top of bank and center of ditch to show conformance to the approved plans.
49. Provide top of casting elevations for the drainage infrastructure along Emerald Dove Drive.
50. Provide certification from the engineer that the detention ponds for this development have been constructed in accordance with the approved drainage study and required detention volume.

Signage Plan:

51. Provide an As-Built Signage Plan for this development.

Informational Items:

The developer is responsible for contacting the USPS Regional Growth Management Coordinator to verify the appropriate mail delivery location for this development.

Should the Planning Commission approve the request for Final Approval, a Warranty Obligation will be required for the infrastructure in the amount of 3,028 linear feet x \$22.00 per linear foot = \$66,616.00 for a period of two (2) years.

Mandatory Developmental Fees are required as follows:

Road Impact Fee = \$1,077.00 per lot x 84 lots = \$90,468.00

Drainage Impact Fee = \$1,114.00 per lot x 84 lots = \$93,576.00

The Impact Fees associated with the industrial lot (Lot #85) will be assessed when a commercial building permit is filed for this lot.

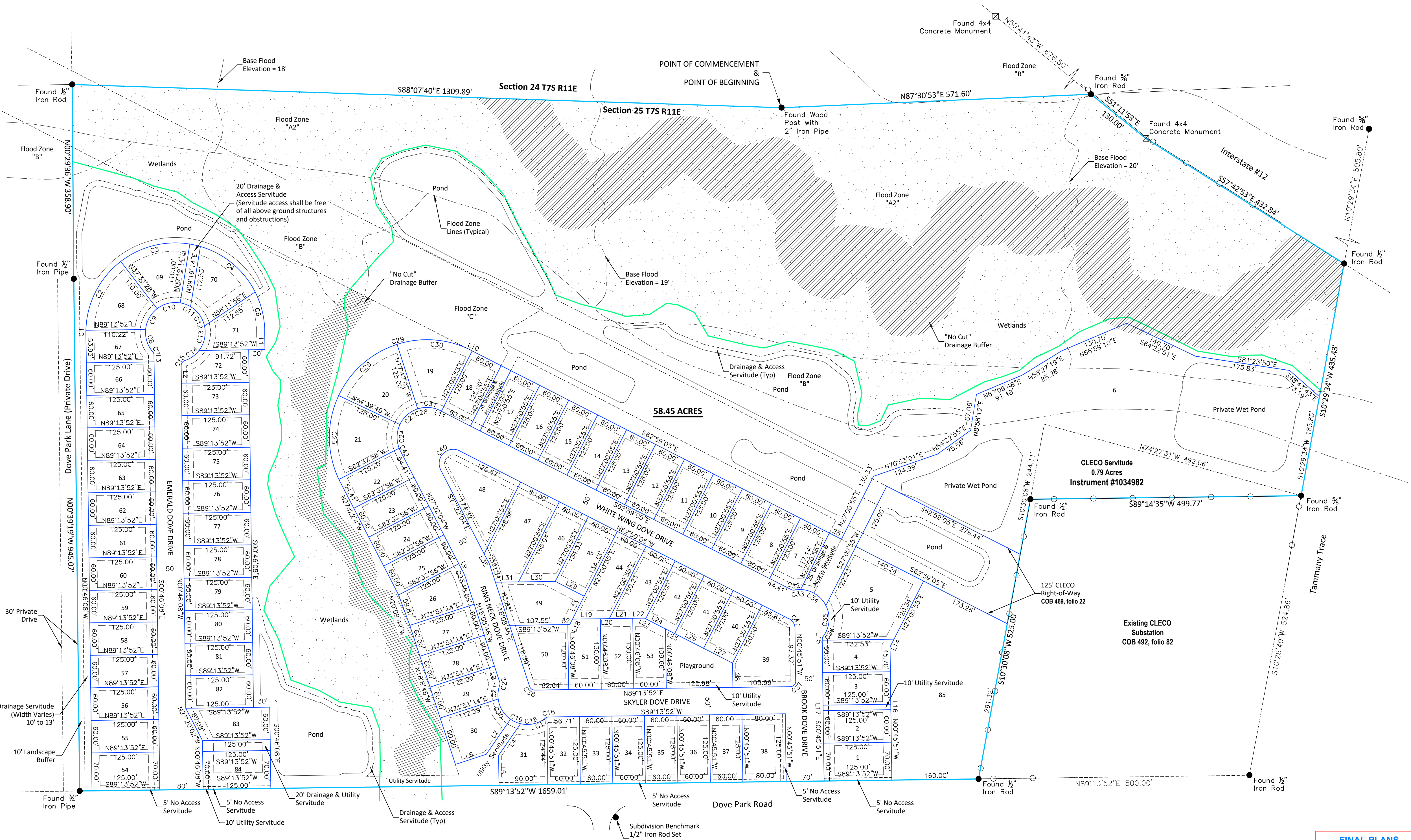
Fees are due before subdivision plats can be signed.

This subdivision is within the Urban Growth Boundary Line.

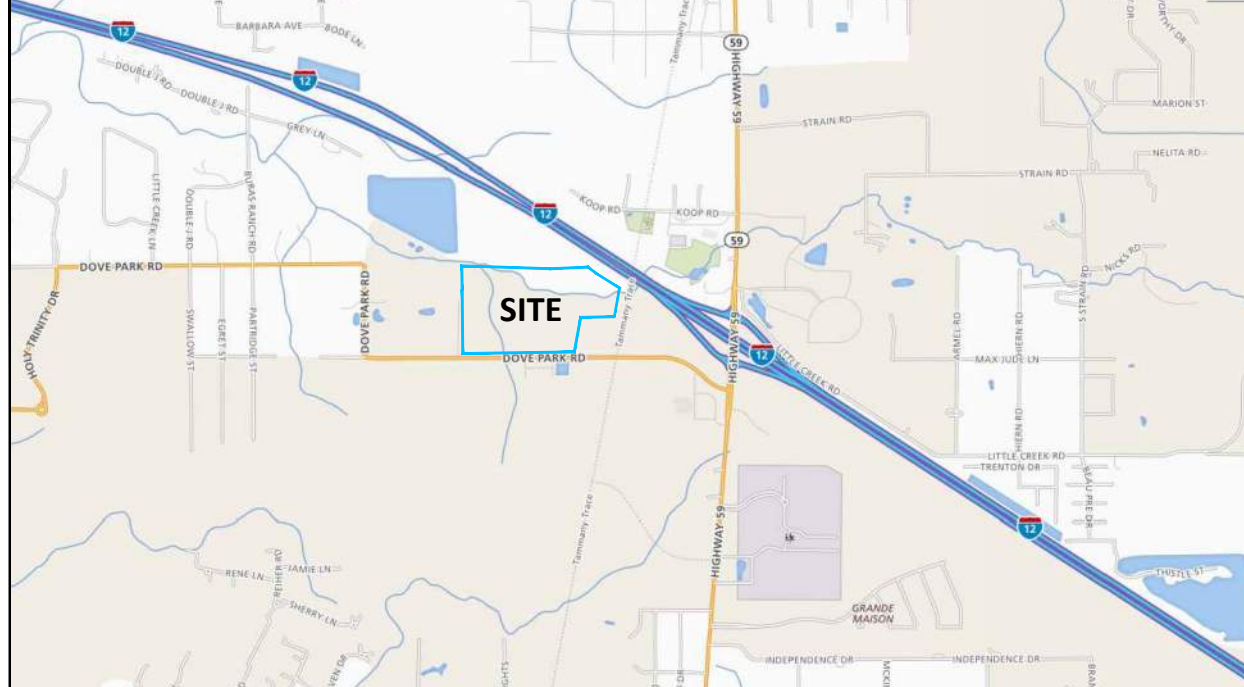
Revised drawings will not be accepted for review or placement in the packet prior to the September 8, 2020 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.

Dove Park Estates

A Planned Unit Development



VICINITY MAP SCALE: 1" = n/a



BASIS OF BEARINGS

Bearings shown hereon are based on GPS observations per the Louisiana State Plane Coordinate System, La South Zone - NAD 83(2011) Epoch 2010.00 Geoid 2018 as acquired from LSU's C4G real time network. Distances shown hereon are measured from monument to monument and are grid distances.

SURVEYOR'S NOTES

- The location of existing utilities are shown in an approximate way only, they were not excavated to be accurately located. Call Louisiana One Call @ 811 before digging.
- The property is located within flood zone "A2", "B" & "C" with a Base of 18', 19' & 20' according to the Federal Emergency Management agency (FEMA) flood insurance rate map (firm) Community Panel No. 225205 0245 C dated October 17, 1989.
- Setback lines shall be verified by owner or contractor prior to any construction, as an abstract has not been performed by the undersigned.
- This survey was done on the ground under my direct supervision and control and found no encroachments on the subject property unless otherwise shown.
- Positional accuracy of found monuments are within dimensional tolerances in accordance with the minimum standards of a class C survey unless otherwise noted.
- References were made to the following surveys: survey by Land Engineering Services, dated September 21, 1967 with job number 67-2008, survey recorded at Map File #2322, survey by John E. Borneau & Associates, Inc. dated April 15, 2003 with job number 2003 186, survey by Randall W. Brown & Associates, Inc. dated October 29, 1996 with job number 961113 and survey by Kelly McHugh & Associates, Inc. dated April 9, 1999 with job number 98-410.
- Wetlands shown hereon were provided by HYDRIC and are shown as reference material only. The undersigned does not hold any responsibility to the accuracy of the wetlands as they are shown in relation to the boundary.

APPROVALS:

CHAIRMAN - PARISH PLANNING COMMISSION
SECRETARY - PARISH PLANNING COMMISSION
DIRECTOR OF DEPARTMENT OF ENGINEERING
DATE FILED FILE No.
CLERK OF COURT
DEDICATION - DEVELOPER:
DOVE PARK ESTATES, LLC
22161 MARSHALL ROAD
MANDEVILLE, LA 70471

ALL STREET RIGHTS-OF-WAY AS SHOWN HEREON ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER USE. EASEMENTS SHALL BE RESERVED FOR DRAINAGE & UTILITIES AS INDICATED HEREON AND NO OBSTRUCTION OR IMPROVEMENTS SHALL BE ALLOWED THAT WOULD PREVENT THEM FROM BEING USED FOR THEIR INTENDED PURPOSE. THE DEVELOPER OR HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PONDS, DRAINAGE EASEMENTS, SIGNAGE AND SIGN POSTS.

FINAL PLAT

PERFORMED BY:



PO Box 504
Madisonville, Louisiana 70447
985.400.9750
bmccain@southerngeomatics.com

PROJECT INFORMATION

Dove Park Estates
St. Tammany Parish, Louisiana

SECTION	TOWNSHIP	RANGE	LAND DISTRICT
25	7 South	11 East	Southeastern

SURVEY INFORMATION

Date of Field Survey August 4, 2017
Parish Comments April 25, 2018
Added Ponds February 02, 2020

PROJECT NUMBER	PARTY CHIEF	DRAWN BY	CALCS BY	APPROVED
17-081	JBM	JBM	JBM	AJK

SURVEYOR'S CERTIFICATION

To: Dove Park Estates, LLC.

I certify that this plat represents an actual ground survey made by me or under my direction, and it does conform to the requirements for the minimum standards for property boundary surveys as found in Louisiana Administrative Code Title 46: LXI, Chapter 25 for a Class C survey.

PRELIMINARY DOCUMENT FOR REVIEW ONLY
This document is not to be used for construction, bidding, recordation, conveyance, sales, or as the basis for the issuance of a permit.

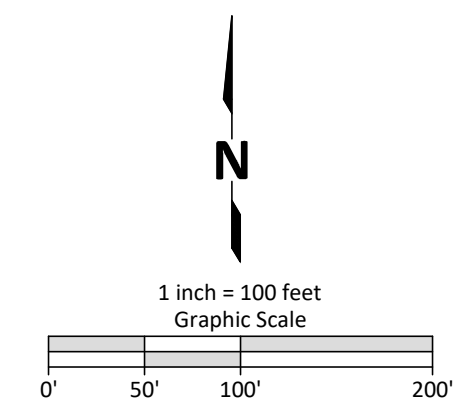
Alfred J. Kesler Professional Land Surveyor #5051 Date

LEGEND OF SYMBOLS AND ABBREVIATIONS

- Found 1/2" Iron Rod
- Found 4x4 Concrete Monument
- o-o- Chainlink Fence
- Servitude As Shown
- Setbacks

FINAL PLANS
RECEIVED
09/11/2020 - 10:00 A.M.
DEVELOPMENT
ENGINEERING

ENGINEERING
REVIEW COPY



METES & BOUNDS

All those certain lots or parcels of land situated in the Parish of St. Tammany, State of Louisiana, and being more particularly described as follows:

THAT CERTAIN PORTION OF GROUND, situated in the State of Louisiana, Parish of St. Tammany, being located in Section 25, Township 7 South, Range 11 East, and is described as follows:

Commencing at the 1/4" Corner for Section 24 and Section 25, Township 7 South, Range 11 East, being a found wood post and said point being the point of beginning. From the point of beginning run along the section line common to Section 24 and Section 25, Township 7 South, Range 11 East N87°30'53"E a distance of 571.60 feet to a found 3/8" iron rod being on the westerly right-of-way of Interstate 12; thence leaving said section line and proceed along said westerly right-of-way line S51°11'53" a distance of 130.00 feet to a found 4x4 concrete monument; thence proceed S57°42'53"E a distance of 432.84 feet to a set 1/2" iron rod being on the westerly right-of-way of Tammany Trace; thence leaving said westerly right-of-way of Interstate 12 and run along said westerly right-of-way of Tammany Trace S10°29'34"W a distance of 435.43 feet to a found 3/8" iron rod; thence leaving said westerly right-of-way and proceed S89°14'35"W a distance of 499.77 feet to a found 1/2" iron rod; thence proceed S10°30'08"W a distance of 525.00 feet to a set 1/2" iron rod being on the northerly right-of-way of Dove Park Road; thence run along said northerly right-of-way S89°13'52"W a distance of 1659.01 feet to a found 1/2" iron pipe being on the easterly right-of-way of Dove Park Lane (private drive); thence leaving said northerly right-of-way of Dove Park Road and run along said easterly right-of-way line Dove Park Lane (private drive) N00°59'19"W a distance of 945.07 feet to a found 1/2" iron pipe; thence leaving said easterly right-of-way and proceed N00°29'36"W a distance of 358.90 feet to a found 1/2" iron rod being on the aforementioned section line common to Section 24 and Section 25, Township 7 South, Range 11 East; thence proceed along said section line S88°07'40"E a distance of 1309.89 feet to the point of beginning.

Said Parcel of ground contains 58.45 Acres more or less.

GENERAL NOTES

LOT SIZES

- 8 LOTS SMALLER THAN 0.172 AC (DIM. VARY)
 - LOTS 7, 29, 40-42, 53, 67, 72
- 47 LOTS 0.172 AC (60'X125')
 - LOTS 2-3, 8-18, 22-25, 27-28, 32-37, 55-66, 73-82
- 7 LOTS BETWEEN 0.172 AC & 0.200 AC (DIM. VARY)
 - LOTS 4, 43, 45, 51, 52, 71, 83
- 4 LOTS 0.200 AC (70'X125')
 - LOTS 1, 38, 54, 84
- 13 LOTS BETWEEN 0.200 AC & 0.300 AC (DIM. VARY)
 - LOTS 19-21, 26, 30-31, 44, 46, 49-50 68-70
- 6 LOTS GREATER THAN 0.300 AC LOTS 5-6, 39, 47-48 & 85

SETBACKS

FRONT	20'
REAR	15'
SIDE	5'
CORNER	10'
REMAINING LOTS	5'
MAXIMUM HEIGHT	35'

DENSITY FORMULA

TOTAL AREA X 0.75 X MAXIMUM NET DENSITY = 85 LOTS

SUBDIVISION PHASES & GENERAL INFORMATION

LOTS: 1-85	
PROVIDED GREEN SPACE	± 32.34 ACRES - 55%
DEDICATED RIGHT-OF-WAY	± 3.89 ACRES - 7%
LOT ACREAGE	± 20.81 ACRES - 36%
INDUSTRIAL	± 1.41 ACRES - 2%
TOTAL ACREAGE:	± 58.45 ACRES - 100%

PASSIVE AMENITIES

- UNDISTURBED HABITAT (WETLANDS & LITTLE CREEK)
- STORM WATER MANAGEMENT AREAS
- CONNECTION TO EXISTING OFFSITE BIKE TRAIL

ACTIVE AMENITIES

PLAYGROUND	
TOTAL AREA	58.45 ACRES
NUMBER OF LOTS	85
STREET RIGHT OF WAY	50 FOOT & 80 FOOT(ENTRANCE BLVDS)
AVERAGE LOT SIZE	VARIES
WATER SYSTEM	TAMMANY UTILITIES
SEWER SYSTEM	TAMMANY UTILITIES
ULTIMATE SURFACE WATER DISPOSAL	LAKE PONTCHARTRAIN
ROAD SURFACE	ASPHALT
ZONING	PLANNED UNIT DEVELOPMENT
STREET LENGTH	± 3,028 LN FT
TREES	

Two (2) Class "A" trees, not less than eight (8') feet in height, shall be planted in the backyard of each lot which abuts the Dove Park road right of way. Each of the aforementioned trees will need to be planted prior to a certificate of occupancy being granted by the Parish of St. Tammany for the home to be constructed on each of the lots. Dove Park Estates, LLC hereby guarantees the planting of each tree required pursuant hereto.

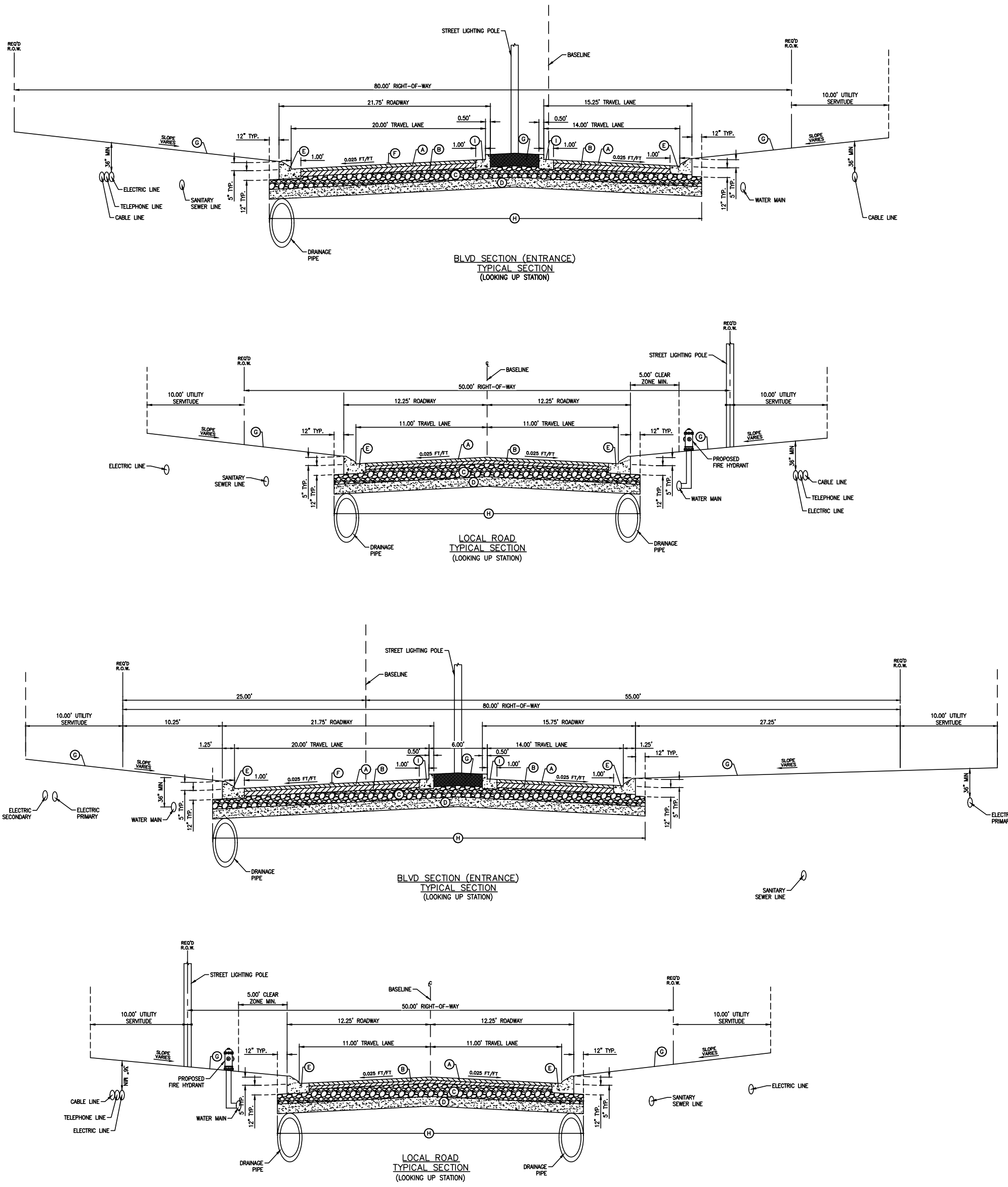
APPROVALS

CHAIRMAN - PARISH PLANNING COMMISSION	
SECRETARY - PARISH PLANNING COMMISSION	
DIRECTOR OF DEPARTMENT OF ENGINEERING	
DATE FILED	FILE No.
CLERK OF COURT	
DEDICATION - DEVELOPER: DOVE PARK ESTATES, LLC 22161 MARSHALL ROAD MANDEVILLE, LA 70471	

ALL STREET RIGHTS-OF-WAY AS SHOWN HEREON ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER USE. EASEMENTS SHALL BE RESERVED FOR DRAINAGE & UTILITIES AS INDICATED HEREON AND NO OBSTRUCTION OR IMPROVEMENTS SHALL BE ALLOWED THAT WOULD PREVENT THEM FROM BEING USED FOR THEIR INTENDED PURPOSE.

Dove Park Estates

A Planned Unit Development

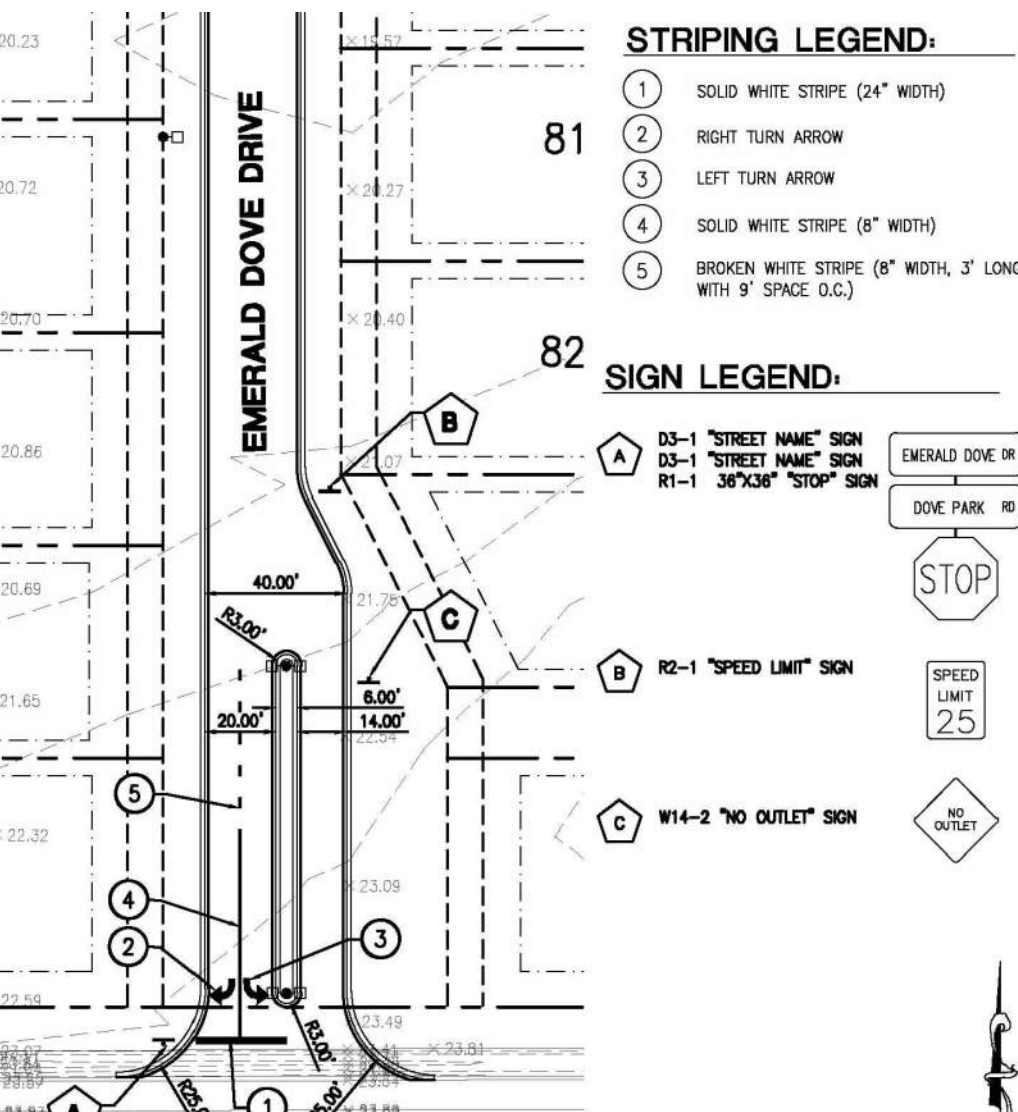
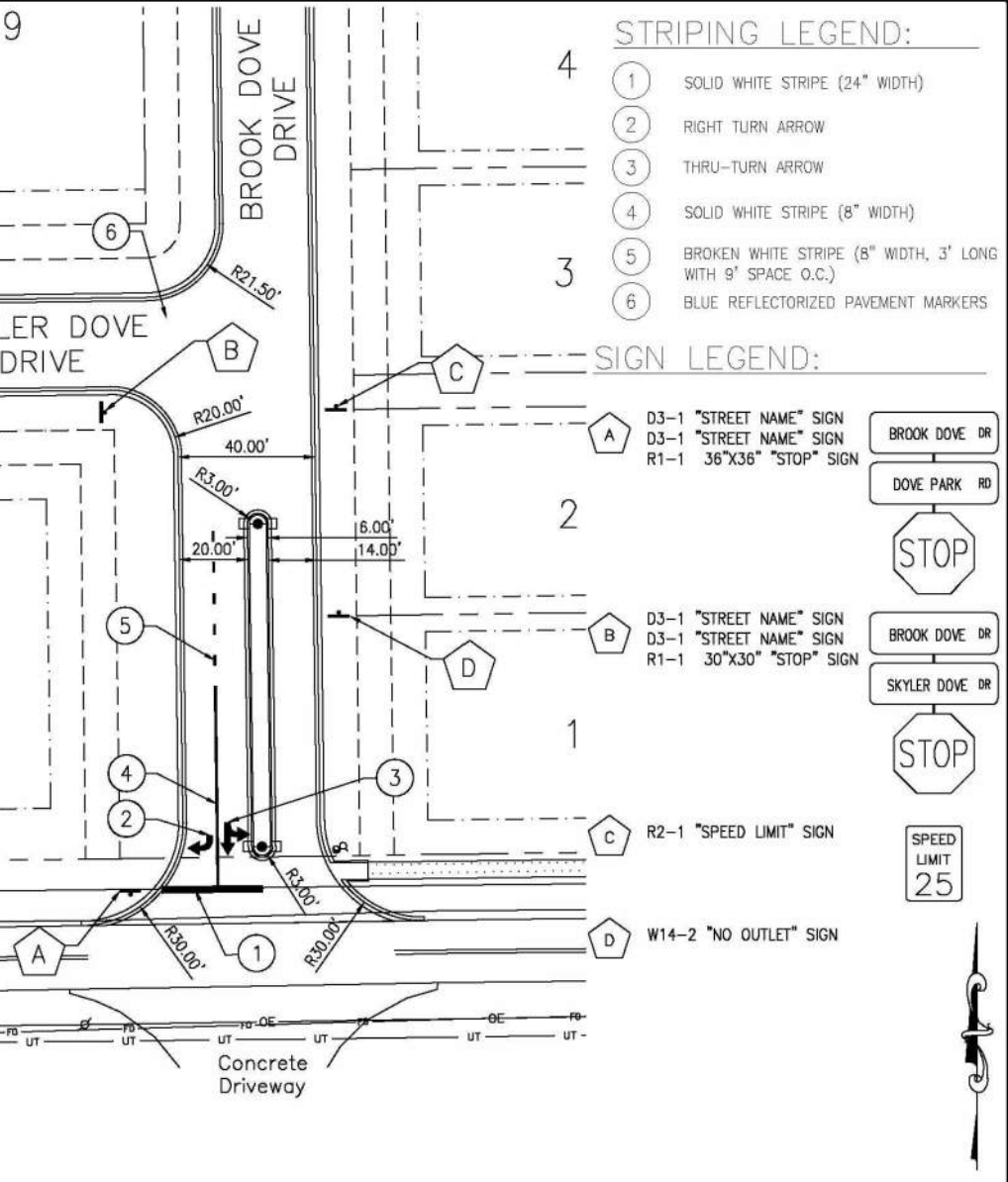


CURVE TABLE

NUMBER	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	CH = S00°17'04"W	R = 165.00'	AL = 6.07'	CL = 6.07'
C2	CH = S26°53'25"W	R = 165.00'	AL = 147.17'	CL = 142.34'
C3	CH = S75°52'53"W	R = 165.00'	AL = 135.00'	CL = 131.27'
C4	CH = N50°16'42"W	R = 165.00'	AL = 135.00'	CL = 131.27'
C5	CH = N30°19'12"W	R = 165.00'	AL = 20.05'	CL = 20.04'
C6	CH = N13°48'15"W	R = 165.00'	AL = 75.08'	CL = 74.43'
C7	CH = N20°37'35"W	R = 10.00'	AL = 6.93'	CL = 6.79'
C8	CH = S17°27'36"E	R = 55.00'	AL = 44.20'	CL = 43.02'
C9	CH = S29°00'11"W	R = 55.00'	AL = 45.00'	CL = 43.76'
C10	CH = S75°52'53"W	R = 55.00'	AL = 45.00'	CL = 43.76'
C11	CH = N57°14'25"W	R = 55.00'	AL = 45.00'	CL = 43.76'
C12	CH = N23°08'21"W	R = 55.00'	AL = 20.47'	CL = 20.35'
C13	CH = N12°25'28"E	R = 55.00'	AL = 47.81'	CL = 46.32'
C14	CH = N54°19'07"E	R = 55.00'	AL = 32.62'	CL = 32.15'
C15	CH = S35°16'16"W	R = 10.00'	AL = 12.58'	CL = 11.77'
C16	CH = S79°37'44"W	R = 10.00'	AL = 3.35'	CL = 3.34'
C17	CH = S69°47'43"W	R = 10.00'	AL = 3.22'	CL = 3.21'
C18	CH = N77°17'25"E	R = 54.00'	AL = 48.49'	CL = 46.88'
C19	CH = S66°06'50"E	R = 54.00'	AL = 20.49'	CL = 20.37'
C20	CH = S31°22'17"E	R = 54.00'	AL = 45.00'	CL = 43.71'
C21	CH = S06°00'42"W	R = 54.00'	AL = 25.47'	CL = 25.23'
C22	CH = N00°41'15"E	R = 10.00'	AL = 6.57'	CL = 6.46'
C23	CH = N22°45'25"W	R = 125.00'	AL = 20.12'	CL = 20.10'
C24	CH = S01°53'55"W	R = 55.00'	AL = 43.90'	CL = 43.76'
C25	CH = S00°07'37"E	R = 180.00'	AL = 159.99'	CL = 154.78'
C26	CH = S48°46'32"W	R = 180.00'	AL = 147.27'	CL = 143.20'
C27	CH = S48°46'32"W	R = 55.00'	AL = 45.00'	CL = 43.76'
C28	CH = S77°27'10"W	R = 55.00'	AL = 10.06'	CL = 10.04'
C29	CH = S73°48'26"W	R = 180.00'	AL = 10.01'	CL = 10.00'
C30	CH = N83°47'33"W	R = 180.00'	AL = 130.74'	CL = 127.88'
C31	CH = N80°08'50"W	R = 55.00'	AL = 12.68'	CL = 11.84'
C32	CH = S81°38'59"E	R = 10.00'	AL = 6.52'	CL = 6.40'
C33	CH = S85°37'02"W	R = 54.00'	AL = 11.18'	CL = 11.16'
C34	CH = N57°41'29"W	R = 54.00'	AL = 57.98'	CL = 55.24'
C35	CH = N04°49'02"E	R = 54.00'	AL = 59.84'	CL = 56.83'
C36	CH = S17°54'03"W	R = 10.00'	AL = 6.52'	CL = 6.40'
C37	CH = N44°14'01"E	R = 10.00'	AL = 15.71'	CL = 14.14'
C38	CH = S54°27'27"E	R = 10.00'	AL = 12.68'	CL = 11.84'
C39	CH = N22°45'25"W	R = 75.00'	AL = 12.07'	CL = 12.06'
C40	CH = S44°49'25"W	R = 26.00'	AL = 65.52'	CL = 49.51'
C41	CH = N31°52'28"W	R = 20.00'	AL = 21.72'	CL = 20.67'
C42	CH = N24°27'17"W	R = 55.00'	AL = 5.59'	CL = 5.59'

LINE TABLE

NUMBER	DIRECTION	DISTANCE
L1	S00°46'08"E	33.93'
L2	N00°46'08"W	32.09'
L3	S00°46'08"E	12.40'
L4	N34°45'20"E	71.11'
L5	N00°45'51"W	55.34'
L6	N71°51'14"E	59.85'
L7	N34°45'20"E	78.67'
L8	N18°08'46"W	30.87'
L9	N27°22'04"W	13.15'
L10	S62°59'05"E	12.11'
L11	S62°59'05"E	10.00'
L12	N62°59'05"W	12.11'
L13	S62°59'05"E	10.00'
L14	N27°00'55"E	16.17'
L15	S00°45'51"E	1.07'
L16	S00°45'51"E	10.00'
L17	S00°45'51"E	10.00'
L18	N27°00'55"E	11.30'
L19	N89°13'52"E	51.26'
L20	N89°13'52"E	16.56'
L21	N89°13'52"E	43.44'
L22	N89°13'52"E	21.40'
L23	S62°59'05"E	2.63'
L24	S62°59'05"E	40.99'
L25	S62°59'05"E	19.01'
L26	S62°59'05"E	60.00'
L27	S62°59'05"E	60.00'
L28	S00°46'08"E	44.87'
L29	N62°59'05"W	60.00'
L30	S89°13'52"W	67.82'
L31	S89°13'52"W	42.57'
L32	S89°13'52"W	3.47'
L33	N27°00'55"E	47.51'
L34	S18°08'46"E	28.46'
L35	S27°22'04"E	15.93'



FINAL PLAT

PERFORMED BY:



PO Box 504
Madisonville, Louisiana 70447
985.400.9750
bmccain@southerngeomatics.com

PROJECT INFORMATION

SECTION	TOWNSHIP	RANGE	LAND DISTRICT
25	7 South	11 East	Southeastern

SURVEY INFORMATION

Date of Field Survey	August 4, 2017
Parish Comments	April 25, 2018
Added Ponds	February 02, 2020

PROJECT NUMBER	PARTY CHIEF	DRAWN BY	CALCS BY	APPROVED
17-081	JBM	JBM	JBM	AJK

SURVEYOR'S CERTIFICATION

To: Dove Park Estates, L.L.C.

I certify that this plat represents an actual ground survey made by me or under my direction, and it does conform to the requirements for the minimum standards for property boundary surveys as found in Louisiana Administrative Code Title 46: LXI, Chapter 25 for a Class C survey.

PRELIMINARY DOCUMENT FOR REVIEW ONLY
This document is not to be used for construction, bidding, recordation, conveyance, sales, or as the basis for the issuance of a permit.

Alfred J. Kesler
Professional Land Surveyor #5051

Date

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OLD BUSINESS

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ST. TAMMANY PARISH

MICHAEL B. COOPER
PARISH PRESIDENT

October 6, 2020

St. Tammany Parish Planning Commission
P.O. Box 628
Covington, LA 70434

OLD BUSINESS
October 13, 2020 Agenda

Re: Enter Parish R.O.W. Resolution No. 19-105
Specifically an Unopened Portion of "Ozone Street" - Town of Mandeville Subdivision

Honorable Commissioners,

The petitioner's engineer, Mr. Eddie Powell, P.E., has requested a waiver to St. Tammany Parish Government Code of Ordinances, Chapter 35 "Roads and Bridges", Article I. - In General, Section 35-27 - "Procedures and standards for granting permission to enter parish right-of-way for gaining access to property", Subsection "C" which states "any application for the opening and/or extension of any unopened parish right-of-way located within the boundaries of unincorporated St. Tammany Parish shall include provisions for the concurrent installation of central water and community sewerage to the property being accessed provided said property is located within 1,000 feet (of existing central water and community sewerage lines measured along the parish right-of-way" for the above captioned project.

See attached email dated September 16, 2020 from Mr. Powell, P.E. This request is specific to the requirement to extend the water line approximately 600 feet. The requirement to extend the sewer line is not applicable as it is not within 1,000 feet of existing community sewer.

Sincerely,

A handwritten signature in blue ink that reads "Christopher Tissue".

Christopher Tissue, P.E.
Lead Development Engineer

*Attachments: St. Tammany Parish Planning Commission Resolution No. 19-105
Email dated September 29, 2020 from Mr. Eddie Powell, P.E., Kyle Associates, LLC*

xc: Honorable Michael Cooper
Honorable Jimmie Davis
Mr. Ross Liner, AICP, PTP, CFM
Mr. Jay Watson, P.E.
Ms. Helen Lambert
Ms. Leslie Long
Mr. Earl Magner
Mr. Theodore Reynolds, P.E.
Ms. Jan Pavur
Mr. Sean Killeen, SMS Holdings
Mr. Eddie Powell, P.E., P.L.S., Kyle Associates, LLC

ST. TAMMANY PARISH PLANNING COMMISSION

RESOLUTION

RESOLUTION PLANNING COMMISSION SERIES NO. 19-105

TITLE: A RESOLUTION AUTHORIZING SMS HOLDINGS, C/O MR. SEAN KILLEEN, TO ENTER PARISH RIGHT-OF-WAY.

SUB-TITLE: A RESOLUTION GRANTING PERMISSION TO SMS HOLDINGS, C/O MR. SEAN KILLEEN, LLC 3701 TCHOUPITOULAS STREET, UNIT A, NEW ORLEANS, LA 70115 OR ASSIGNEES TO ENTER PARISH RIGHT-OF-WAY, SPECIFICALLY THE UNOPENED PORTION OF OZONE STREET, NORTH OF JOANS STREET, TOWN OF MANDEVILLE (UNINCORPORATED) SUBDIVISION, FOR THE PURPOSE OF GAINING ACCESS TO PROPERTY. WARD 4, DISTRICT 7.

NOW, THEREFORE, BE IT RESOLVED, by the St. Tammany Parish Planning Commission that it hereby grants permission to the aforementioned petitioner to enter Parish right-of-way for the aforementioned purposes, subject to the following conditions:

1. That the improvements that will be undertaken will be at the sole expense of the petitioner.
2. That the petitioner agrees to accept full responsibility, financial and all other, for the damage and /or relocation of utilities currently located within Parish right-of-way.
3. That the petitioner shall submit plans prepared by a licensed engineer to the Department of Engineering for review and approval. The drainage and road design with soil borings must meet the asphalt road standards as established under the "Subdivision Regulatory Ordinance." The Parish's engineer may require additional off-site work to minimize the potential impact of the proposed construction with special emphasis regarding drainage. The plans must include sewerage and water systems, where applicable. Upon approval of plans and specifications by the Director of Engineering, the petitioner must notify the Department of Engineering prior to the commencement of any activity.
4. Any developer/applicant proposing to develop lots within a "dormant subdivision" or "subdivision of record" must submit for review and approval of the Parish Engineer a drainage plan that meets the detention requirements of St. Tammany Parish Code of Ordinances, Part II "Land Development Code," Chapter 125 "Subdivision Regulations,". Where applicable, such developer/applicant shall be entitled to claim a credit toward drainage impact fees due the Parish under the authority of the St. Tammany Parish Code of Ordinances, Chapter 2, Article XVII "Parish Fees," Division 3 "Development," Subdivision V "Mandatory Impact Fees" and, where applicable, shall be entitled to claim credit/reimbursement from any drainage impact fees that have been paid into the "Drainage Impact Fee Escrow Account" by the owner or owners of lots that are not owned by the developer/applicant but would be receiving the benefits of said storage requirements.
5. That should the petitioner commence work thereon, petitioner by such act acquiesces and acknowledges thereby that he will hold this Parish, its officials, agents, servants, and employees free and harmless from any liability or responsibility whatsoever in connection with the construction of the project. Petitioner will provide copy of Liability Insurance Policy, including the naming of the Parish as an insured party. The insurance will remain in effect until the Parish takes over the maintenance.

6. That nothing herein shall be construed as a revocation of the dedication of the aforementioned right of way.
7. That no maintenance nor financial nor material nor assistance shall be provided by the Parish for the project nor the maintenance thereof, except for the inspection of the plans and specifications by the Department of Engineering to insure the construction complies with Parish specifications.
8. That the petitioner post a Performance Obligation in the amount of \$14,100 for a period of one (1) year.
9. That the petitioner agree to post a Warranty Obligation upon completion of the project in the amount of \$7,800 for a period of two (2) years.
10. That the petitioner and any assignees submit a Hold Harmless Agreement in connection with the construction of the project and utilization of the access by (an) individual (s) until the time that the access is upgraded to Parish standards and accepted into the Parish's Selective Road Maintenance System.
11. That the petitioner and any assignees agrees to provide maintenance for this access at his/her own expense until such time as the Parish agrees to accept this portion of right of way into the Parish's Selective Road Maintenance System.
12. Petitioner acknowledges and accepts full responsibility for the installation and maintenance of drainage, specifically from the on-site mechanical sewerage treatment plants, on the public right of way he/she seeks permission to enter.
13. That the petitioner agrees to provide the Parish with the necessary drainage and utility servitude along the roadways being constructed.
14. That the petitioner shall submit a copy of the current owner's deed.
15. That the petitioner shall produce proof that the right of way is dedicated to the Parish.
16. That the petitioner shall produce from the U.S. Army Corps of Engineers either: a written statement that the road is not in a wetland area, within the meaning of Section 404 of the Federal "Clean Water Act" or a Section 404 Permit under the Federal "Clean Water Act" authorizing the opening of the portion of the right of way in question.
17. That the petitioner shall submit a site plan of Petitioner's property and the unopened right of way.
18. Permission is valid for the issuance of building permits according to current zoning only, issued to AS INDICATED ABOVE, WARD 4 DISTRICT 7.
19. That the petitioner submit as-built drawings certifying that road is constructed within the Parish right of way.
20. The resubdivision of Lot #27 - Lot #34, Square 322-A and Lot #8 - Lot #10, Square 322B needs to be recorded before a Work Order is issued for construction of infrastructure.

21. That the petitioner submit all documentation required within ONE (1) year from date of adoption, additionally petitioner has two (2) years to complete all work on this project, if not completed within two (2) years, approval of this work will be voided and petitioner will be required to reapply for permission.

THIS RESOLUTION HAVING BEEN SUBMITTED TO A VOTE, THE VOTE THEREON WAS AS FOLLOWS:

MOVED FOR ADOPTION BY MR. PATRICK FITZMORRIS, SECONDED BY MR. KIRK DRUMM, ; A VOTE THEREON RESULTED IN THE FOLLOWING:

YEA: MR. THOMAS SEEGER, MR. TODD RICHARD, MR. RAY BERNIE WILLIE, MR. MR. DAVID DOHERTY, JR., BARRY BAGERT, MR. PATRICK FITZMORRIS, MR. WELDON CRAWFORD, MR. KIRK DRUMM, MR. RONALD RANDOLPH

NAY: N/A

ABSTAIN: N/A

ABSENT: MRS. CAROLYN PARKER

AND THIS RESOLUTION WAS DECLARED DULY ADOPTED AT THE SPECIAL RESCHEDULED MEETING ON THE 12TH DAY OF NOVEMBER, 2019 FOR THE 8TH DAY OF OCTOBER, 2019 PLANNING COMMISSION AGENDA, A QUORUM OF THE MEMBERS BEING PRESENT.



DAVID DOHERTY JR., CHAIRMAN
ST. TAMMANY PARISH PLANNING COMMISSION

ATTEST:



SIDNEY FONTENOT, SECRETARY
ST. TAMMANY PARISH PLANNING COMMISSION

638 Village Lane North
Mandeville, LA 70471
(985) 727-9377, ext 202
(225) 802-9845 (cell)

From: Eddie Powell
Sent: Wednesday, September 16, 2020 3:47 PM
To: Tim Brown <tbrown@stpgov.org>
Cc: Andrew M. Hontiveros <amhontiveros@stpgov.org>; Theodore C. Reynolds <tcreynolds@stpgov.org>; Christopher P. Tissue <cptissue@stpgov.org>; Sean Killeen <skilleen@killeengroup.com>; Mike Demoran (mikedemoran@gmail.com) <mikedemoran@gmail.com>
Subject: FW: Enter the Parish ROW - Ozone and Rapatel

Tim,

On behalf of the developer, we would like to request a waiver from the Department of Environmental Services for the requirement to install central water and sewer for the proposed development on Rapatel and Ozone. See attached for original comments from DES & Development as well as some additional responses/comments from my office.

As mentioned on the attached comment responses, three (3) of the five (5) lots on Rapatel owned by the developer of this project already have frontage and have received building permits that includes the use of water wells and septic systems. This would leave only two (2) lots of Rapatel that would technically be required to tie into a central water and sewer system. In addition, there are only five (5) lots in total owned by the developer of this project on Ozone and this area only has a 42.64' right-of-way. This small right-of-way will not allow for the installation of the water or sewer infrastructure within the right-of-way given the required roadway width and roadside ditches. It is also not feasible to allocate utility servitudes for this infrastructure as the developer does not own all of the property that would get these lines all the way to Joans Street. Based on earlier conversations with your office, the appropriate sewer tie-in point is over 2000 ft away from this area which does not seem reasonable, and is not economical, given the small number of lots within this development. While the water tie-in is closer, it also does not seem reasonable, and certainly not economical, for the extension of a water line to service just seven (7) new lots.

We hope you will support our request for the waiver of the requirement for the development to tie into central water and sewer systems. If you are in agreement, please provide a letter approving our waiver request as soon as possible so that we can be considered as part of Old Business for the October Planning Commission meeting. The Planning Commission will also need to approve our waiver. I spoke to Theodore Reynolds today and he thought if we could get your approval this week then they could place us on the agenda under Old Business.

If you have any questions, comments or require any additional information, do not hesitate to contact me.

Thanks,
Eddie

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ST. TAMMANY PARISH

MICHAEL B. COOPER
PARISH PRESIDENT

October 6, 2020

St. Tammany Parish Planning Commission
P.O. Box 628
Covington, LA 70434

OLD BUSINESS
October 13, 2020 Agenda

Re: Enter Parish R.O.W. Resolution No. 19-105
Specifically an Unopened Portion of "Ozone Street" - Town of Mandeville Subdivision

Honorable Commissioners,

The above referenced resolution was adopted at the Special Rescheduled October 8, 2019 Planning Commission meeting held on November 12, 2019. The resolution states "That the petitioner submit all documentation required within ONE (1) year from date of adoption, additionally petitioner has two (2) years to complete all work on this project, if not completed within two (2) years, approval of this work will be voided and petitioner will be required to reapply for permission."

The petitioner, Mr. Sean Killeen, has requested an extension of time to submit the required documentation (see attached email dated October 6, 2020).

ACTION REQUIRED: Extend the date to submit the required documentation by one (1) year to November 12, 2021.

The Department of Development - Engineering has no objection to the extension.

Sincerely,

A handwritten signature in blue ink that reads "Christopher Tissue".

Christopher Tissue, P.E.
Lead Development Engineer

*Attachments: St. Tammany Parish Planning Commission Resolution No. 19-105
Email dated October 6, 2020 from Mr. Sean Killeen, SMS Holdings*

xc: Honorable Michael Cooper
Honorable Jimmie Davis
Mr. Ross Liner, AICP, PTP, CFM
Mr. Jay Watson, P.E.
Ms. Helen Lambert
Ms. Leslie Long
Mr. Earl Magner
Mr. Theodore Reynolds, P.E.
Ms. Jan Pavur
Mr. Sean Killeen, SMS Holdings
Mr. Eddie Powell, P.E., P.L.S., Kyle Associates, LLC

ST. TAMMANY PARISH PLANNING COMMISSION

RESOLUTION

RESOLUTION PLANNING COMMISSION SERIES NO. 19-105

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2. That the petitioner agrees to accept full responsibility, financial and all other, for the damage and /or relocation of utilities currently located within Parish right-of-way.
3. That the petitioner shall submit plans prepared by a licensed engineer to the Department of Engineering for review and approval. The drainage and road design with soil borings must meet the asphalt road standards as established under the "Subdivision Regulatory Ordinance." The Parish's engineer may require additional off-site work to minimize the potential impact of the proposed construction with special emphasis regarding drainage. The plans must include sewerage and water systems, where applicable. Upon approval of plans and specifications by the Director of Engineering, the petitioner must notify the Department of Engineering prior to the commencement of any activity.
4. Any developer/applicant proposing to develop lots within a "dormant subdivision" or "subdivision of record" must submit for review and approval of the Parish Engineer a drainage plan that meets the detention requirements of St. Tammany Parish Code of Ordinances, Part II "Land Development Code," Chapter 125 "Subdivision Regulations,". Where applicable, such developer/applicant shall be entitled to claim a credit toward drainage impact fees due the Parish under the authority of the St. Tammany Parish Code of Ordinances, Chapter 2, Article XVII "Parish Fees," Division 3 "Development," Subdivision V "Mandatory Impact Fees" and, where applicable, shall be entitled to claim credit/reimbursement from any drainage impact fees that have been paid into the "Drainage Impact Fee Escrow Account" by the owner or owners of lots that are not owned by the developer/applicant but would be receiving the benefits of said storage requirements.
5. That should the petitioner commence work thereon, petitioner by such act acquiesces and acknowledges thereby that he will hold this Parish, its officials, agents, servants, and employees free and harmless from any liability or responsibility whatsoever in connection with the construction of the project. Petitioner will provide copy of Liability Insurance Policy, including the naming of the Parish as an insured party. The insurance will remain in effect until the Parish takes over the maintenance.

6. That nothing herein shall be construed as a revocation of the dedication of the aforementioned right of way.
7. That no maintenance nor financial nor material nor assistance shall be provided by the Parish for the project nor the maintenance thereof, except for the inspection of the plans and specifications by the Department of Engineering to insure the construction complies with Parish specifications.
8. That the petitioner post a Performance Obligation in the amount of \$14,100 for a period of one (1) year.
9. That the petitioner agree to post a Warranty Obligation upon completion of the project in the amount of \$7,800 for a period of two (2) years.
10. That the petitioner and any assignees submit a Hold Harmless Agreement in connection with the construction of the project and utilization of the access by (an) individual (s) until the time that the access is upgraded to Parish standards and accepted into the Parish's Selective Road Maintenance System.
11. That the petitioner and any assignees agrees to provide maintenance for this access at his/her own expense until such time as the Parish agrees to accept this portion of right of way into the Parish's Selective Road Maintenance System.
12. Petitioner acknowledges and accepts full responsibility for the installation and maintenance of drainage, specifically from the on-site mechanical sewerage treatment plants, on the public right of way he/she seeks permission to enter.
13. That the petitioner agrees to provide the Parish with the necessary drainage and utility servitude along the roadways being constructed.
14. That the petitioner shall submit a copy of the current owner's deed.
15. That the petitioner shall produce proof that the right of way is dedicated to the Parish.
16. That the petitioner shall produce from the U.S. Army Corps of Engineers either: a written statement that the road is not in a wetland area, within the meaning of Section 404 of the Federal "Clean Water Act" or a Section 404 Permit under the Federal "Clean Water Act" authorizing the opening of the portion of the right of way in question.
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21. That the petitioner submit all documentation required within ONE (1) year from date of adoption, additionally petitioner has two (2) years to complete all work on this project, if not completed within two (2) years, approval of this work will be voided and petitioner will be required to reapply for permission.

THIS RESOLUTION HAVING BEEN SUBMITTED TO A VOTE, THE VOTE THEREON WAS AS FOLLOWS:

MOVED FOR ADOPTION BY MR. PATRICK FITZMORRIS, SECONDED BY MR. KIRK DRUMM, ; A VOTE THEREON RESULTED IN THE FOLLOWING:

YEA: MR. THOMAS SEEGER, MR. TODD RICHARD, MR. RAY BERNIE WILLIE, MR. MR. DAVID DOHERTY, JR., BARRY BAGERT, MR. PATRICK FITZMORRIS, MR. WELDON CRAWFORD, MR. KIRK DRUMM, MR. RONALD RANDOLPH

NAY: N/A

ABSTAIN: N/A

ABSENT: MRS. CAROLYN PARKER

AND THIS RESOLUTION WAS DECLARED DULY ADOPTED AT THE SPECIAL RESCHEDULED MEETING ON THE 12TH DAY OF NOVEMBER, 2019 FOR THE 8TH DAY OF OCTOBER, 2019 PLANNING COMMISSION AGENDA, A QUORUM OF THE MEMBERS BEING PRESENT.



DAVID DOHERTY JR., CHAIRMAN
ST. TAMMANY PARISH PLANNING COMMISSION

ATTEST:



SIDNEY FONTENOT, SECRETARY
ST. TAMMANY PARISH PLANNING COMMISSION

From: Shelby R. Vorenkamp
Sent: Tuesday, October 6, 2020 8:53 AM
To: 'Sean Killeen'
Cc: Christopher P. Tissue; Theodore Reynolds ; Eddie Powell
Subject: RE: Enter the Parish Right of Way Resolution No. 19-107 - Rapatel Street

Mr. Killeen,

When we received the waiver request from Mr. Powell, I went ahead and added an extension of time to the agenda for Ozone and Rapatel.

Please have a representative present at 6:00 PM on Tuesday, October 13, 2020 in Council Chambers, should the Commission have any questions or concerns regarding the Warranty Obligation.

Should you have any questions, please advise.

Thank you,



Shelby R. Vorenkamp

Support Services 2
Department of Development
St. Tammany Parish Government
21454 Koop Drive, Mandeville, LA 70471
p: 985-809-7448 e: svorenkampdev@stpgov.org
www.stpgov.org

Any e-mail may be construed as a public document, and may be subject to a public records request. The contents of this e-mail reflect the opinion of the writer, and are not necessarily the opinion or policy of St. Tammany Parish Government.

From: Sean Killeen <skilleen@killeengroup.com>
Sent: Tuesday, October 6, 2020 8:40 AM
To: Shelby R. Vorenkamp <svorenkampdev@stpgov.org>
Subject: Re: Enter the Parish Right of Way Resolution No. 19-107 - Rapatel Street

Shelby,

Can I get an extension until February of 2021 for this due to COVID? We are working on the project currently and will have everything ready by the end of the year.

Thanks,

Sean Killeen
Demoran Custom Homes
504-810-5346
3701 Tchoupitoulas Unit A 70115
Demorancustomhomes.com
Thecastinecottages.com

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ST. TAMMANY PARISH

MICHAEL B. COOPER
PARISH PRESIDENT

October 6, 2020

St. Tammany Parish Planning Commission
P.O. Box 628
Covington, LA 70434

OLD BUSINESS
October 13, 2020 Agenda

Re: Enter Parish R.O.W. Resolution No. 19-107
Specifically an Unopened Portion of "Rapatel Street" - Town of Mandeville Subdivision

Honorable Commissioners,

The above referenced resolution was adopted at the Special Rescheduled October 8, 2019 Planning Commission meeting held on November 12, 2019. The resolution states "That the petitioner submit all documentation required within ONE (1) year from date of adoption, additionally petitioner has two (2) years to complete all work on this project, if not completed within two (2) years, approval of this work will be voided and petitioner will be required to reapply for permission."

The petitioner, Mr. Sean Killeen, has requested an extension of time to submit the required documentation (see attached email dated October 6, 2020).

ACTION REQUIRED: Extend the date to submit the required documentation by one (1) year to November 12, 2021.

The Department of Development - Engineering has no objection to the extension.

Sincerely,

A handwritten signature in blue ink that reads "Christopher Tissue".

Christopher Tissue, P.E.
Lead Development Engineer

*Attachments: St. Tammany Parish Planning Commission Resolution No. 19-107
Email dated October 6, 2020 from Mr. Sean Killeen, SMS Holdings*

xc: Honorable Michael Cooper
Honorable Jimmie Davis
Mr. Ross Liner, AICP, PTP, CFM
Mr. Jay Watson, P.E.
Ms. Helen Lambert
Ms. Leslie Long
Mr. Earl Magner
Mr. Theodore Reynolds, P.E.
Ms. Jan Pavur
Mr. Sean Killeen, SMS Holdings
Mr. Eddie Powell, P.E., P.L.S., Kyle Associates, LLC

ST. TAMMANY PARISH PLANNING COMMISSION

RESOLUTION

RESOLUTION PLANNING COMMISSION SERIES NO. 19-107

TITLE: A RESOLUTION AUTHORIZING SMS HOLDINGS, C/O MR. SEAN KILLEEN, TO ENTER PARISH RIGHT-OF-WAY.

SUB-TITLE: A RESOLUTION GRANTING PERMISSION TO SMS HOLDINGS, C/O MR. SEAN KILLEEN, 3701 TCHOUPITOU LAS STREET, UNIT A, NEW ORLEANS, LA 70115 OR ASSIGNEES TO ENTER PARISH RIGHT-OF-WAY, SPECIFICALLY THE UNOPENED PORTION OF RAPATEL STREET, NORTH OF JOANS STREET, TOWN OF MANDEVILLE (UNINCORPORATED) SUBDIVISION, FOR THE PURPOSE OF GAINING ACCESS TO PROPERTY. WARD 4, DISTRICT 7.

NOW, THEREFORE, BE IT RESOLVED, by the St. Tammany Parish Planning Commission that it hereby grants permission to the aforementioned petitioner to enter Parish right-of-way for the aforementioned purposes, subject to the following conditions:

1. That the improvements that will be undertaken will be at the sole expense of the petitioner.
2. That the petitioner agrees to accept full responsibility, financial and all other, for the damage and /or relocation of utilities currently located within Parish right-of-way.
3. That the petitioner shall submit plans prepared by a licensed engineer to the Department of Engineering for review and approval. The drainage and road design with soil borings must meet the gravel road standards as established under the "Subdivision Regulatory Ordinance." The Parish's engineer may require additional off-site work to minimize the potential impact of the proposed construction with special emphasis regarding drainage. The plans must include sewerage and water systems, where applicable. Upon approval of plans and specifications by the Director of Engineering, the petitioner must notify the Department of Engineering prior to the commencement of any activity.
4. Any developer/applicant proposing to develop lots within a "dormant subdivision" or "subdivision of record" must submit for review and approval of the Parish Engineer a drainage plan that meets the detention requirements of St. Tammany Parish Code of Ordinances, Part II "Land Development Code," Chapter 125 "Subdivision Regulations,". Where applicable, such developer/applicant shall be entitled to claim a credit toward drainage impact fees due the Parish under the authority of the St. Tammany Parish Code of Ordinances, Chapter 2, Article XVII "Parish Fees," Division 3 "Development," Subdivision V "Mandatory Impact Fees" and, where applicable, shall be entitled to claim credit/reimbursement from any drainage impact fees that have been paid into the "Drainage Impact Fee Escrow Account" by the owner or owners of lots that are not owned by the developer/applicant but would be receiving the benefits of said storage requirements.
5. That should the petitioner commence work thereon, petitioner by such act acquiesces and acknowledges thereby that he will hold this Parish, its officials, agents, servants, and employees free and harmless from any liability or responsibility whatsoever in connection with the construction of the project. Petitioner will provide copy of Liability Insurance Policy, including the naming of the Parish as an insured party. The insurance will remain in effect until the Parish takes over the maintenance.

6. That nothing herein shall be construed as a revocation of the dedication of the aforementioned right of way.
7. That no maintenance nor financial nor material nor assistance shall be provided by the Parish for the project nor the maintenance thereof, except for the inspection of the plans and specifications by the Department of Engineering to insure the construction complies with Parish specifications.
8. That the petitioner post a Performance Obligation in the amount of \$1,000 for a period of one (1) year.
9. That the petitioner agree to post a Warranty Obligation upon completion of the project in the amount of \$1,000 for a period of two (2) years.
10. That the petitioner and any assignees submit a Hold Harmless Agreement in connection with the construction of the project and utilization of the access by (an) individual (s) until the time that the access is upgraded to Parish standards and accepted into the Parish's Selective Road Maintenance System.
11. That the petitioner and any assignees agrees to provide maintenance for this access at his/her own expense until such time as the Parish agrees to accept this portion of right of way into the Parish's Selective Road Maintenance System.
12. Petitioner acknowledges and accepts full responsibility for the installation and maintenance of drainage, specifically from the on-site mechanical sewerage treatment plants, on the public right of way he/she seeks permission to enter.
13. That the petitioner agrees to provide the Parish with the necessary drainage and utility servitude along the roadways being constructed.
14. That the petitioner shall submit a copy of the current owner's deed.
15. That the petitioner shall produce proof that the right of way is dedicated to the Parish.
16. That the petitioner shall produce from the U.S. Army Corps of Engineers either: a written statement that the road is not in a wetland area, within the meaning of Section 404 of the Federal "Clean Water Act" or a Section 404 Permit under the Federal "Clean Water Act" authorizing the opening of the portion of the right of way in question.
17. That the petitioner shall submit a site plan of Petitioner's property and the unopened right of way.
18. Permission is valid for the issuance of building permits according to current zoning only, issued to AS INDICATED ABOVE, WARD 4 DISTRICT 7.
19. That the petitioner must agree to participate in a front foot assessment in upgrading the road to a hard surface standard meeting Parish requirements, in the future.
20. That the petitioner submit as-built drawings certifying that road is constructed within the Parish right of way.
21. The resubdivision of Lot #35 and Lot #36, Square 322-B needs to be recorded before a Work Order is issued for construction of infrastructure.

22. That the petitioner submit all documentation required within ONE (1) year from date of adoption, additionally petitioner has two (2) years to complete all work on this project, if not completed within two (2) years, approval of this work will be voided and petitioner will be required to reapply for permission.

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ATTEST:



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Revised 10/29/2019

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Department of Development
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p: 985-809-7448 e: svorenkampdev@stpgov.org
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