

AGENDA
ST. TAMMANY PARISH PLANNING COMMISSION MEETING
6:00 PM - TUESDAY NOVEMBER 10, 2020
ST. TAMMANY PARISH GOVERNMENT COMPLEX
PARISH COUNCIL CHAMBERS
21490 KOOP DRIVE, MANDEVILLE, LOUISIANA

NOTE: This meeting will be open to the public. Seating may be restricted due to COVID19 capacity guidelines. Attendees will be required to wear a face mask or covering and will be required to submit to a temperature check before entering the Parish Council Chambers.

A livestream will be available for viewing on regular broadcast channels (Charter Channel 710; U-verse Channel 99) or on the Parish website: www.stpgov.org. The livestream will begin at 6:00 PM on Tuesday, November 10, 2020.

Public comments regarding items on this agenda may be submitted during the meeting by calling in to an Audio Bridge Conference Call. Phone Number: 985-276-6398 (if busy, dial: 346-248-7799 or 669-900-6833) Meeting ID: 851 5421 3037# Participant ID: # Password: 55252046#. Please specify the case number you are calling in for.

ROLL CALL

PUBLIC ANNOUNCEMENTS

- Please silence all phones and electronic devices
- Appeals
- Speaker Cards
- Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal
- Please exit the building

INVOCATION AND PLEDGE OF ALLEGIANCE

APPROVAL OF THE OCTOBER 13, 2020 MEETING MINUTES

PUBLIC HEARINGS:

REQUEST FOR POSTPONEMENTS

ENTERING PARISH RIGHT-OF-WAY, SERVITUDES, EASEMENTS & TAMMANY TRACE

Request to Enter the Parish Right of Way for Ozone Street for the purpose of extending the street and installing drainage features (Town of Mandeville Subdivision).

Debtor: SMS Holdings, LLC

Parish Council District: Hon. Jimmie Davis

General Location: The property is located on the south side of Armand Street, north of the Nelson Street right-of-way, east of Soult Street, Mandeville, Louisiana. Ward 4, District 7

Request to Enter the Parish Right of Way for Rapatel Street for the purpose of extending the street and installing drainage features (Town of Mandeville Subdivision).

Debtor: SMS Holdings, LLC

Parish Council District: Hon. Jimmie Davis

General Location: The property is located on the south side of Armand Street, north of the Nelson Street right-of-way, east of Soult Street, Mandeville, Louisiana. Ward 4, District 7

REVOCATION REVIEW

REV20-10-009

The revocation of a portion of future access Right of Way, located on the west side of Autumn Creek Dr. between Lot 89 and Lot 90 in Phase 2 of the Autumn Creek Subdivision, Madisonville, Louisiana, Ward 1, District 4

Applicant: Steven Hebert

Parish Council District Representative: Hon. Michael Lorino, Jr.

MINOR SUBDIVISION REVIEW

2020-2092-MSP

A minor subdivision of 14.11 acres into Parcels A, B & C

Owner & Representative: The Vincent D. Brouillette Trust- Vincent Brouillette and Belinda Besnard

Surveyor: Land Surveying, LLC

Parish Council District Representative: Hon. David R. Fitzgerald

General Location: The parcel is located on the east side of LA Highway 21 (Military Road), north of Nolan Lane, Covington, Louisiana, Ward 3, District 2

2020-2105-MSP

A minor subdivision of Lot B & Parcels 3-A & 4-A into Lot B-1 & Parcel 3-A-1

Owner & Representative: Riverland Property Management – Brian Necaie – Manager and Sam J. Collett III

Surveyor: John E. Bonneau & Associates Inc.

Parish Council District Representative: Hon. David R. Fitzgerald

General Location: The parcel is located on the south side of Johnsen Road, east of Dogwood Lane, Covington, Louisiana, Ward 3, District 2

2020-2106-MSP

A minor subdivision of 2 acres into Parcels A & B

Owner & Representative: Laurie A. Metevier & Vickylee Marie Clelland

Surveyor: John G. Cummings & Associates

Parish Council District Representative: Hon. David R. Fitzgerald

General Location: The parcel is located on the southwest corner of Jarrell Road & LA Highway 1129, Covington, Louisiana, Ward 2, District 2

2020-2107-MSP

A minor subdivision of Parcel A-1 & A-2-B into Parcel A-1-A

Owner & Representative: Place 1077, LLC - Tim Richardson

Surveyor: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon. Martha Cazaubon

General Location: The parcel is located on northwest corner of LA Highway 1085 & LA Highway 1077, Covington, Louisiana, Ward 1, District 3

2020-2108-MSP

A minor subdivision of Parcels B-1 & B-2 into Parcels B-1A & B-2A

Owner & Representative: Marion Reiling & Ann Cerniglia

Surveyor: John G. Cummings & Associates

Parish Council District Representative: Hon David R. Fitzgerald

General Location: The parcel is located on the east side of LA Highway 1081, Covington, Louisiana, Ward 2, District 2

2020-2110-MSP

A minor subdivision of Parcel B-3 into Parcels B-3A, B-3B, B-3C, B-3D & B-3E

Owner & Representative: Star Acquisitions, LLC - Vincent P. Centanni

Surveyor: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon Cheryl Tanner

General Location: The parcel is located on the north side of Prats Road, east of LA Highway 59, Abita Springs, Louisiana, Ward 10, District 6

2020-2112-MSP

A minor subdivision of Parcels A, B, C & 1.61 acres into Parcels A, B, C & D

Owners & Representatives: Patricia Venturella, Joyce M. Castleman & Holly D. Morales

Surveyor: John E. Bonneau & Associates, Inc.

Parish Council District Representative: Hon. James J. Davis

General Location: The parcels are located at the end of Loretta Drive, south of LA Highway 1088 & Interstate 12, Mandeville, Louisiana, Ward 4, District 7

2020-2113-MSP

A minor subdivision of 15.17 acres into Parcels A & B

Owner & Representative: Gary M. & Kimberly P. Greene

Surveyor: Land Surveying, LLC

Parish Council District Representative: Hon. Cheryl Tanner

General Location: The parcel is located on the east side of LA Highway 40, south of Kenzie Road, Covington, Louisiana, Ward 2, District 6

2020-2114-MSP

A minor subdivision of Parcels A, B, C, BV-2 & Lot 44-A1 into Parcel ACG-1

Owner & Representative: JFS Business Park, LLC, Industrial Drive, LLC & Southeast Investments, LLC - Christopher R. Jean

Surveyor: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon. Thomas J. Smith

General Location: The parcels are located on the west side of US Highway 11, on the south side of Fricke Road and on the south side of J.F. Smith Avenue, Slidell, Louisiana, Ward 8 & 9, District 14

2020-2117-MSP

A minor subdivision of 9.9 acres into Parcels A & B

Owner & Representative: Allison Zinskie

Surveyor: Land Surveying, LLC

Parish Council District Representative: Hon. James J. Davis

General Location: The parcel is located on the north side of N. Dixie Ranch Road, east of LA Highway 434, Lacombe, Louisiana, Ward 7, District 7

2020-2118-MSP

A minor subdivision of 1.712 acres & 0.455 acres into Parcels A & B

Owner & Representative: Succession of Kent M. Chatellier - Jennifer Chatellier

Surveyor: John G. Cummings & Associates

Parish Council District Representative: Hon. Rykert Toledano Jr.

General Location: The parcel is located on the south side of Harry Lemons Road, east of LA Highway 59, Mandeville, Louisiana, Ward 4, District 5

2020-2120-MSP

A minor subdivision of Parcel A into Parcels A-1 & A-2

Owner & Representative: Vergne Properties, Inc. - Dianne Swadling

Surveyor: Land Surveying, LLC

Parish Council District Representative: Hon. Rykert Toledano Jr.

General Location: The parcel is located on the east & west sides of Riverside Drive, Covington, Louisiana, Ward 3, District 5

2020-2124-MSP

A minor subdivision of 5.1 acres & 5.35 acres into Parcel A

Owner & Representative: Paul J. & Rose L. Goodwine

Surveyor: Land Surveying, LLC

Parish Council District Representative: Hon. Rykert Toledano Jr.

General Location: The parcel is located at the southwest corner of Dove Park Road, Covington, Louisiana, Ward 4, District 5

RESUBDIVISION REVIEW

2020-2077-MRP

Resubdivision of the Recreation Area into Lots R1 & R2, Unit 3, Whisperwood Estate

Owner & Representative: Darlene D. Brown

Surveyor: J.V. Burkes & Associates, Inc.

Parish Council District Representative: Hon.: Chris Canulette

General Location: The property is located on the east side of Whisperwood Blvd and on the west side of Timbers Drive, Slidell, Louisiana. Ward 8, District 8

2020-2104-MRP

Resubdivision of Parcel 7A1-B1 into Parcels 7A1-B1A & 7A1-B1B, The Plantation

Owner & Representative: Shallow Creek Enterprises, LLC

Surveyor: John E. Bonneau & Associates, Inc.

Parish Council District Representative: Hon.: Cheryl Tanner

General Location: The property is located at the end of Shiloh lane, south of Shenandoah Lane, Covington, Louisiana. Ward 5, District 6

2020-2109-MRP

Resubdivision of Square 175 into lots 1-14, Square 175, Town of Mandeville

Owner & Representative: Black Oak Holdings, LLC - Matthew Bowers

Surveyor: John E. Bonneau & Associates, Inc.

Parish Council District Representative: Hon.: James J. Davis

General Location: The property is located on the east side of Soult Street, on the south side of McNamara Street, on the west side of Molitor Street and on the north side of Caroline Street (not constructed), Mandeville, Louisiana. Ward 4, District 7

2020-2115-MRP

Resubdivision of Lot 52 Phase 4A & lot 80 Phase 1, into lot 80-A, Phase 1, River Club
Owner & Representative: David & Lori Collier
Surveyor: Land Surveying, LLC
Parish Council District Representative: Hon.: Marty Dean
General Location: The property is located on the northeast corner of Ox Bow Lane & Ox Bow Court, Covington, Louisiana. Ward 1, District 1

2020-2121-MRP

Resubdivision of Parcels 4A2 & 4A3 into Parcels 4A4, 4A5 & 4A6, The Plantation
Owner & Representative: Robert J. Jr. & Jennifer Rathe
Surveyor: John E. Bonneau & Associates, Inc.
Parish Council District Representative: Hon.: Cheryl Tanner
General Location: The property is located at the end of Shenandoah Lane, east of Shiloh Lane, Covington, Louisiana. Ward 5, District 6

2020-2123-MRP

Resubdivision of Lot 376 and a Portion of Reserved Area, Square 25, Tchefuncta Club Estates
Owner & Representative: Tchefuncta Club Estates, Inc. - Francis Ward Cashion, President and Clyde Smalley,
IV & Stacey Smalley
Surveyor: Land Surveying, LLC
Parish Council District Representative: Hon.: Marty Dean
General Location: The property is located on the north side of Riverdale Drive, east of Sunny Hollow Road, Covington, Louisiana, Ward 1, District 1

PETITIONS/WAIVER REQUESTS

DORMANT SUBDIVISION REVIEW

TENTATIVE SUBDIVISION REVIEW

2020-2099-TP

Lakeshore Villages, Phase 12
Developer/Owner: D.R. Horton, Inc. - Gulf Coast
Engineer/Surveyor: Duplantis Design Group, PC
Parish Council District Representative: Hon. Jake Airey
General Location: The property is located north of Oak Harbor Blvd., west of LA Highway 433, east of Interstate-10, Slidell, Louisiana. Ward 9, District 13

2020-2100-TP

Lakeshore Villages, Phase 13
Developer/Owner: D.R. Horton, Inc. - Gulf Coast
Engineer/Surveyor: Duplantis Design Group, PC
Parish Council District Representative: Hon. Jake Airey
General Location: The property is located north of Oak Harbor Blvd., west of LA Highway 433, east of Interstate-10, Slidell, Louisiana. Ward 9, District 13

PRELIMINARY SUBDIVISION REVIEW

2020-2010-PP

Military Ridge, Phase 1

Developer/Owner: Lynn Levy Land Co., LLC

Engineer/Surveyor: J.V. Burkes & Associates, Inc.

Parish Council District Representative: Hon. Mike Smith

General Location: The property is located on the east & west sides of North Military Road/LA Highway 1090, north of Interstate-12, Slidell, Louisiana. Ward 8, District 9

Postponed at the October 13, 2020 meeting

2020-2102-PP

Dove Park Ridge

Developer/Owner: Dove Park Ridge, LLC

Engineer/Surveyor: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon. Rykert Toledano

General Location: The property is located on the south side of Dove Park Road, west of LA Highway 59, south of Interstate 12, Covington, Louisiana. Ward 4, District 5

2020-2103-PP

The Refuge (formerly Creekstone)

Developer/Owner: Yar Construction Co.

Engineer/Surveyor: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon. Richard Tanner

General Location: The property is located on the east of LA Highway 1129 (Lee Rd.), north of Shortcut Road, across from Highland Crest Drive, Covington, Louisiana. Ward 2, District 6

FINAL SUBDIVISION REVIEW

2020-1977-FP

Dove Park Estates (**Resubmitted**)

Developer/Owner: Dove Park Estates, LLC

Engineer/Surveyor: Duplantis Design Group, PC

Parish Council District Representative: Hon. Rykert Toledano

General Location: The property is located on the north side of Dove Park Road, west of LA Highway 59, south of Interstate 12, Covington, Louisiana. Ward 4, District 5

Postponed at the October 13, 2020 meeting

2020-2101-FP

Lakeshore Villages, Phase 8-B

Developer/Owner: D.R. Horton, Inc. - Gulf Coast

Engineer/Surveyor: Duplantis Design Group, PC

Parish Council District Representative: Hon. Jake Airey

General Location: The property is located north of Oak Harbor Blvd., west of LA Highway 433, east of Interstate-10, Slidell, Louisiana. Ward 9, District 13

2020-2122-FP

Hunter's Haven, Phase 1

Developer/Owner: Favret Investments, LLC

Engineer/Surveyor: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon. Michael Lorino

General Location: The property is located on the west side of Penn's Chapel Road, south of LA Highway 22, Mandeville, Louisiana. Ward 4, District 4

AMENDMENTS TO CHAPTER 125 - SUBDIVISION REGULATIONS

AMENDMENT TO DEVELOPMENTAL AGREEMENT

OLD BUSINESS

SD10-08-005F

Colonial Pinnacle Nord du Lac

Developer/Owner: Cypress Equities

Engineer/Surveyor: Duplantis Design Group, PC

Parish Council District Representative: Hon. Marty Dean

General Location: The property is located east of LA Highway 21, north of U.S. Interstate 12, Covington, Louisiana. Ward 1, District 1

Change in ownership

2020-2055-MRP

Resubdivision of Part of Lots 14, 15 & 16 into lots 14-A, 14-B & 15-A, 5 Acre Farms

Owner & Representative: Brian L. Perilloux, Carla V. Smith, Frances Marullo, Anthony J. Cyprus

Surveyor: Land Surveying, LLC

Parish Council District Representative: Hon. Rykert O. Toledano, Jr.

General Location: The property is located at the end of Ridgewood Drive and along the west side of Hidden Acres Road (future), Mandeville, Louisiana. Ward 4, District 5

Waiver Request to record the approved Resubdivision for public record in the St. Tammany Clerk of Court's Office prior to construction of the private drive (Section 125-189 (d)).

ENTERING PARISH RIGHT-OF-WAY, SERVITUDES, EASEMENTS & TAMMANY TRACE

Enter the Parish R.O.W. - 5th Street between Adams and Jefferson Avenue; Tammany Hills

Request: Entering the Parish R.O.W. for the purpose of installing water, sewer and roadway improvements.

Debtor: Advance Mortgage Company, LLC

Parish Council District Representative: Hon. David R. Fitzgerald

General Location: The property is located on 5th Street between Adams and Jefferson Avenue, Covington, Louisiana.

Ward 3, District 2

Amend the amount for the Warranty Obligation

NEW BUSINESS

ADJOURNMENT

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MINUTES
ST. TAMMANY PARISH PLANNING COMMISSION MEETING
6:00 PM - TUESDAY OCTOBER 13, 2020
ST. TAMMANY PARISH GOVERNMENT COMPLEX
PARISH COUNCIL CHAMBERS
21490 KOOP DRIVE, MANDEVILLE, LOUISIANA

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ROLL CALL

Present: Seeger, Ress, McInnis, Willie, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Absent: None

Staff Present: Liner, Tissue, Lambert, Reynolds, Couvillon, Riles, Joyner, Cleland, Mayfield

PUBLIC ANNOUNCEMENTS

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- Appeals
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- Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal
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INVOCATION AND PLEDGE OF ALLEGIANCE

INVOCATION - Randolph presented the Invocation

PLEDGE OF ALLEGIANCE - Crawford presented the Pledge of Allegiance

APPROVAL OF THE SEPTEMBER 8, 2020 MEETING MINUTES

Fitzmorris moved to approve, second by Drumm.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Nay: N/A

Abstain: N/A

PUBLIC HEARINGS:

REQUEST FOR POSTPONEMENTS**2020-1977-FP - POSTPONED**

Dove Park Estates (**Resubmitted**)

Developer/Owner: Dove Park Estates, LLC

Engineer/Surveyor: Duplantis Design Group, PC

Parish Council District Representative: Hon. Rykert Toledano

General Location: The property is located on the north side of Dove Park Road, west of LA Highway 59, south of Interstate 12, Covington, Louisiana. Ward 4, District 5

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Paul Mayronne

Opposition: None

Randolph moved to postpone for one month, second by Fitzmorris.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Nay: N/A

Abstain: N/A

2020-2010-PP - POSTPONED

Military Ridge, Phase 1

Developer/Owner: Lynn Levy Land Co., LLC

Engineer/Surveyor: J.V. Burkes & Associates, Inc.

Parish Council District Representative: Hon. Mike Smith

General Location: The property is located on the east & west sides of North Military Road/LA Highway 1090, north of Interstate-12, Slidell, Louisiana. Ward 8, District 9

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Jeff Schoen

Opposition: None

Fitzmorris moved to postpone for one month, second by Randolph.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Nay: N/A

Abstain: N/A

ENTERING PARISH RIGHT-OF-WAY, SERVITUDES, EASEMENTS & TAMMANY TRACE**ENTERING PARISH RIGHT-OF-WAY, SERVITUDES, EASEMENTS & TAMMANY TRACE - APPROVED**

Request to Enter the Parish Right-of-Way of Maple Avenue for the purpose of constructing a roadway and drainage improvements (Ozone Park Subdivision).

Debtor: McCalman, LLC - Mr. Sam Camp

Parish Council District Rep.: Hon. Rykert Toledano

General Location: The property is located south of Bodet Lane, east of US Highway 190, Covington, Louisiana. Ward 4, District 5

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Jeff Schoen

Opposition: None

Seeger moved to approve, second by Fitzmorris.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Nay: N/A

Abstain: N/A

REVOCATION REVIEW

REV20-09-008 - APPROVED

The revocation of a portion of 10th Street, located on the south side of US Hwy 190 between Square 85 and Square 86 of the Lacombe Park Subdivision, Lacombe, Louisiana. Ward 7, District 7

Applicant: Donald Bordelon

Parish Council District Representative: Hon. James J. Davis

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: None

Opposition: None

Crawford moved to approve, second by Randolph.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Nay: N/A

Abstain: N/A

MINOR SUBDIVISION REVIEW

2020-2029-MSP - APPROVED WITH A WAIVER

A minor subdivision of 11.99 acres into Parcels A & B

Owner & Representative: Curtis J. & Viola V. Chatelain, Jr.

Surveyor: Land Surveying LLC

Parish Council District Representative: Hon. David R. Fitzgerald

General Location: The parcel is located on the west side of LA Highway 1081 and at the end of Landmark Lane, Covington, Louisiana. Ward 2, District 3

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Curtis Chatelain

Opposition: None

Willie moved to approve with a waiver, second by Fitzmorris.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Nay: N/A

Abstain: N/A

2020-2049-MSP - APPROVED WITH A WAIVER

A minor subdivision of 1.872 acres & 3.818 acres into Parcels A, B, C & D

Owner & Representative: Delmont O. & Joan M. Dapremont, Jr.

Surveyor: J.V. Burkes & Associates, Inc.

Parish Council District Representative: Hon. Steve Stefancik

General Location: The parcels are located on the east side of Horace Page Road & Bayou Oak Road (future), Slidell, Louisiana. Ward 9, District 11

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Delmont Dapremont

Opposition: None

Fitzmorris moved to approve with a waiver, second by Willie.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Nay: N/A

Abstain: N/A

2020-2052-MSP - APPROVED

A minor subdivision of Lots A & B into Lots A-1 & B-1

Owner & Representative: Dawn Moran

Surveyor: John G. Cummings & Associates

Parish Council District Representative: Hon. Rykert O. Toledano, Jr.

General Location: The parcels are located on the west side of South Strain Road, north of Creek Bend Road, south of Strain Road, Mandeville, Louisiana. Ward 4, District 5

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: None

Opposition: None

Questions: Mr. Mark Dishon

Fitzmorris moved to approve, second by Randolph.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Nay: N/A

Abstain: N/A

2020-2053-MSP - APPROVED WITH A WAIVER

A minor subdivision of 12.98 acres being Parcel A & 5.99 acres into Parcels A-1, A-2 & A-3

Owner & Representative: Judith Hogan Cantwell, Britney Taylor, William Bruhl, Salvador Di Maggio

Surveyor: Land Surveying, LLC

Parish Council District Representative: Hon. Martha Cazaubon

General Location: The parcels are located on the east side of Jim Loyd Road and on the south side of LA Highway 40, Folsom, Louisiana. Ward 2, District 3

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Ms. Britney Taylor

Opposition: None

Willie moved to approve with a waiver, second by Fitzmorris.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Nay: N/A

Abstain: N/A

RESUBDIVISION REVIEW**2020-2039-MRP- APPROVED**

Resubdivision of Lot 280A into Lots 280 B & 281 B, Phase 1A-4, Terra Bella

Owner & Representative: Cyndy Lynne Parden

Surveyor: Randal W. Brown & Associates, Inc.

Parish Council District Representative: Hon. Marty Dean

General Location: The property is located on the west side of Poplar Grove Lane, north of Bay Tree Manor Drive, Covington, Louisiana. Ward 1, District 1

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: None

Opposition: None

Fitzmorris moved to approve, second by Willie.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Nay: N/A

Abstain: N/A

2020-2040-MRP - APPROVED

Resubdivision of Lots 2-B & 2-C into Lots 2-B1 & 2-C1, Phase 2, Deer Cross Park

Owner & Representative: Zeigler Enterprises, LLC - Sean Zeigler - Manager and Marigny - ByWater Redevelopment Group, LLC - Joseph A. Jaeger, Jr.

Surveyor: John G. Cummings & Associates

Parish Council District Representative: Hon. Marty Dean

General Location: The property is located on the south side of LA Highway 1085, east of Deer Cross Drive, Covington, Louisiana. Ward 1, District 1

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Jeff Schoen

Opposition: None

Fitzmorris moved to approve, second by Seeger.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Nay: N/A

Abstain: N/A

2020-2055-MRP- APPROVED WITH WAIVERS

Resubdivision of Part of Lots 14, 15 & 16 into lots 14-A, 14-B & 15-A, 5 Acre Farms

Owner & Representative: Brian L. Perilloux, Carla V. Smith, Frances Marullo, Anthony J. Cyprus

Surveyor: Land Surveying, LLC

Parish Council District Representative: Hon. Rykert O. Toledano, Jr.

General Location: The property is located at the end of Ridgewood Drive and along the west side of Hidden Acres Road (future), Mandeville, Louisiana. Ward 4, District 5

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Brian L. Perilloux, Ms. Carla V. Smith & Mr. Anthony J. Cyprus
Opposition: None

Willie moved to approve with waivers, second by Fitzmorris.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Nay: N/A

Abstain: N/A

2020-2059-MRP

Resubdivision of Parcel 12 and Lots 145A & 146A into Lots 145A-1 & 146A-1, Phase 1, Westwood Subdivision

Owner & Representative: Joseph G. & Lisa C. Ledet and Frank & Sue Soehnlein

Surveyor: Randal W. Brown & Associates, Inc.

Parish Council District Representative: Hon. Rykert O. Toledano, Jr.

General Location: The property is located on the west side of Westwood Drive, south of Judge Tanner Blvd, Mandeville, Louisiana. Ward 4, District 5

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Joseph G. Ledet

Opposition: None

Fitzmorris moved to approve, second by Seeger.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Nay: N/A

Abstain: N/A

2020-2060-MRP - APPROVED

Resubdivision of lots 33-38 into Lots 33-A & 37-A, Phase 4B, Clipper Estates

Owner & Representative: George C. Molski

Surveyor: Lester Martin Jr. & Associates, LLC

Parish Council District Representative: Hon. Jake A. Airey

General Location: The property is located at the end of Vela Cove, Slidell, Louisiana. Ward 9, District 13

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. George C. Molski & Mr. Brian Sweeney

Opposition: None

Seeger moved to approve, second by Fitzmorris.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Nay: N/A

Abstain: N/A

2020-2066-MRP - APPROVED

Resubdivision of lots 137A & 137B into lots 137A-1 & 137B-1, Phase 3A, Clipper Estates

Owner & Representative: Shane & Helen Moreau

Surveyor: J. V. Burkes & Associates, Inc.

Parish Council District Representative: Hon. Jake A. Airey

General Location: The property is located at the end of Cuttysark Cove, Slidell, Louisiana. Ward 9, District 13

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Shane Moreau

Opposition: None

Randolph moved to approve, second by Fitzmorris.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Nay: N/A

Abstain: N/A

PETITIONS/WAIVER REQUESTS

DORMANT SUBDIVISION REVIEW

TENTATIVE SUBDIVISION REVIEW

PRELIMINARY SUBDIVISION REVIEW

FINAL SUBDIVISION REVIEW

2020-2017-FP - APPROVED

Preston Vineyard

Developer/Owner: First Horizon, Inc.

Engineer/Surveyor: McLin Taylor, Inc.

Parish Council District Representative: Hon. Martha Cazaubon

General Location: The property is located south of LA Highway 190, west of LA Highway 1077, north of Interstate-12, Madisonville, Louisiana. Ward 1, District 3

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Paul Mayronne

Opposition: None

Willie moved to approve, second by Crawford.

Yea: Seeger, Ress, Willie, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Nay: McInnis

Abstain: N/A

AMENDMENTS TO CHAPTER 125 - SUBDIVISION REGULATIONS

AMENDMENT TO DEVELOPMENTAL AGREEMENT

OLD BUSINESS

Entering the Parish R.O.W. Resolution No. 19-105 -APPROVED

Request to Enter the Parish Right of Way for Ozone Street, Town of Mandeville Subdivision for the purpose of extending the street and installing drainage features.

Debtor: SMS Holdings, LLC

Parish Council District: Hon. Jimmie Davis

General Location: The property is located on the north side of Joans Street, east of Soult Street, Mandeville, Louisiana. Ward 4, District 7

Requesting a waiver for central water requirements and an extension to the approval period of one year

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Eddie Powell

Opposition: None

Fitzmorris moved to approve, second by Crawford.

Yea: Seeger, Ress, McInnis, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Nay: Willie

Abstain: N/A

Entering the Parish R.O.W. Resolution No. 19-107 -APPROVED

Request to Enter the Parish Right of Way for Rapatel Street, Town of Mandeville Subdivision for the purpose of extending the street and installing drainage features.

Debtor: SMS Holdings, LLC

Parish Council District: Hon. Jimmie Davis

General Location: The property is located at the end of Rapatel Street, south of Armand Street, east of Soult Street, Mandeville, Louisiana. Ward 4, District 7

Requesting a waiver for central water requirements - WITHDRAWN

Requesting an extension to the approval period of one year

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Eddie Powell

Opposition: None

Crawford moved to approve, second by Fitzmorris.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Nay:

Abstain: N/A

NEW BUSINESS

ADJOURNMENT

**ENTERING THE PARISH
RIGHTS-OF-WAY,
SERVITUDES AND
EASEMENTS**

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ST. TAMMANY PARISH

MICHAEL B. COOPER
PARISH PRESIDENT

November 4, 2020

St. Tammany Parish Planning Commission
P.O. Box 628
Covington, LA 70434

Re: Enter the Parish R.O.W. - Ozone Street - For the purpose of extending the street and installing drainage features (Town of Mandeville (Unincorporated))

Honorable Commissioners,

This office is in receipt of Mr. Sean Killeen's request to enter the Parish right-of-way for the purpose of extending the street and installing drainage features.

This office has reviewed the request from Mr. Killeen and has no objection.

Sincerely,

A handwritten signature in blue ink that reads "Christopher Tissue".

Christopher Tissue, P.E.
Lead Development Engineer

*Attachments: DRAFT Enter the Parish R.O.W. Resolution dated November 2, 2020
Request to Enter the Parish Right-of-Way from Mr. Killeen dated October 6, 2020
Resubdivision Map of Lots 11-30, Square 346B, Town of Mandeville into Lots 11A, 13A, 15A, 17A, 19A, 21A, 23A, 25A, 27A, & 29A, Square 322A dated February 5, 2020*

xc: Honorable Michael Cooper
Honorable Jimmie Davis
Mr. Ross Liner, AICP, PTP, CFM
Mr. Jay Watson, P.E.
Ms. Helen Lambert
Mr. Earl J. Magner
Mr. Theodore Reynolds, P.E.
Mr. Sean Killeen, SMS Holdings, LLC
Mr. Eddie Powell, P.E., P.L.S., Kyle Associates, LLC

ST. TAMMANY PARISH PLANNING COMMISSION

RESOLUTION

RESOLUTION PLANNING COMMISSION SERIES NO. _____

TITLE: A RESOLUTION AUTHORIZING SMS HOLDINGS, C/O MR. SEAN KILLEEN, TO ENTER PARISH RIGHT-OF-WAY.

SUB-TITLE: A RESOLUTION GRANTING PERMISSION TO SMS HOLDINGS, C/O MR. SEAN KILLEEN, LLC 3701 TCHOUPITOULAS STREET, UNIT A, NEW ORLEANS, LA 70115 OR ASSIGNEES TO ENTER PARISH RIGHT-OF-WAY, SPECIFICALLY THE UNOPENED PORTION OF OZONE STREET, ON THE SOUTH SIDE OF ARMAND STREET AND NORTH OF THE NELSON STREET RIGHT-OF- WAY, EAST OF SOULT STREET; TOWN OF MANDEVILLE (UNINCORPORATED) SUBDIVISION, FOR THE PURPOSE OF EXTENDING THE STREET AND INSTALLING DRAINAGE FEATURES. WARD 4, DISTRICT 7.

NOW, THEREFORE, BE IT RESOLVED, by the St. Tammany Parish Planning Commission that it hereby grants permission to the aforementioned petitioner to enter Parish right-of-way for the aforementioned purposes, subject to the following conditions:

1. That the improvements that will be undertaken will be at the sole expense of the petitioner.
2. That the petitioner agrees to accept full responsibility, financial and all other, for the damage and /or relocation of utilities currently located within Parish right-of-way.
3. That the petitioner shall submit plans prepared by a licensed engineer to the Department of Engineering for review and approval. The drainage and road design with soil borings must meet the CONCRETE road standards as established under the "Subdivision Regulatory Ordinance." The Parish's engineer may require additional off-site work to minimize the potential impact of the proposed construction with special emphasis regarding drainage. The plans must include sewerage and water systems, where applicable. Upon approval of plans and specifications by the Director of Engineering, the petitioner must notify the Department of Engineering prior to the commencement of any activity.
4. Any developer/applicant proposing to develop lots within a "dormant subdivision" or "subdivision of record" must submit for review and approval of the Parish Engineer a drainage plan that meets the detention requirements of St. Tammany Parish Code of Ordinances, Part II "Land Development Code," Chapter 125 "Subdivision Regulations,". Where applicable, such developer/applicant shall be entitled to claim a credit toward drainage impact fees due the Parish under the authority of the St. Tammany Parish Code of Ordinances, Chapter 2, Article XVII "Parish Fees," Division 3 "Development," Subdivision V "Mandatory Impact Fees" and, where applicable, shall be entitled to claim credit/reimbursement from any drainage impact fees that have been paid into the "Drainage Impact Fee Escrow Account" by the owner or owners of lots that are not owned by the developer/applicant but would be receiving the benefits of said storage requirements.
5. That should the petitioner commence work thereon, petitioner by such act acquiesces and acknowledges thereby that he will hold this Parish, its officials, agents, servants, and employees free and harmless from any liability or responsibility whatsoever in connection with the construction of the project. Petitioner will provide copy of Liability Insurance Policy, including the naming of the Parish as an insured party. The insurance will remain in effect until the Parish takes over the maintenance.

6. That nothing herein shall be construed as a revocation of the dedication of the aforementioned right of way.
7. That no maintenance nor financial nor material nor assistance shall be provided by the Parish for the project nor the maintenance thereof, except for the inspection of the plans and specifications by the Department of Engineering to insure the construction complies with Parish specifications.
8. That the petitioner shall post a Performance Obligation prior to a work order being issued for the calculated amount based on the linear footage of proposed roadway using the formula “\$60.00 per linear foot x ____ linear feet = calculated amount” for concrete roadways. The linear footage of construction shall be taken from the approved Preliminary plan(s). The Performance Obligation shall be established for a period of one (1) year.
9. That the petitioner shall post a Warranty Obligation upon completion of the project for the calculated amount based on the linear footage of constructed roadway using the formula “\$25.00 per linear foot x ____ linear feet” for concrete roadways. The linear footage of construction shall be taken from the approved As-Built plan(s). The Warranty Obligation shall be established for a period of two (2) years.
10. That the petitioner and any assignees submit a Hold Harmless Agreement in connection with the construction of the project and utilization of the access by (an) individual (s) until the time that the access is upgraded to Parish standards and accepted into the Parish’s Selective Road Maintenance System.
11. That the petitioner and any assignees agrees to provide maintenance for this access at his/her own expense until such time as the Parish agrees to accept this portion of right of way into the Parish’s Selective Road Maintenance System.
12. Petitioner acknowledges and accepts full responsibility for the installation and maintenance of drainage, specifically from the on-site mechanical sewerage treatment plants, on the public right of way he/she seeks permission to enter.
13. That the petitioner agrees to provide the Parish with the necessary drainage and utility servitude along the roadways being constructed.
14. That the petitioner shall submit a copy of the current owner’s deed.
15. That the petitioner shall produce proof that the right of way is dedicated to the Parish.
16. That the petitioner shall produce from the U.S. Army Corps of Engineers either: a written statement that the road is not in a wetland area, within the meaning of Section 404 of the Federal “Clean Water Act” or a Section 404 Permit under the Federal “Clean Water Act” authorizing the opening of the portion of the right of way in question.
17. That the petitioner shall submit a site plan of Petitioner’s property and the unopened right of way.
18. Permission is valid for the issuance of building permits according to current zoning only, issued to AS INDICATED ABOVE, WARD 4 DISTRICT 7.
19. That the petitioner submit as-built drawings certifying that road is constructed within the Parish right of way.

DRAFT DATE NOVEMBER 2, 2020

RESOLUTION P.C. NO.

PAGE NO. 3 OF 3

21. That the petitioner submit all documentation required within ONE (1) year from date of adoption, additionally petitioner has two (2) years to complete all work on this project, if not completed within two (2) years, approval of this work will be voided and petitioner will be required to reapply for permission.

THIS RESOLUTION HAVING BEEN SUBMITTED TO A VOTE, THE VOTE THEREON WAS AS FOLLOWS:

MOVED FOR ADOPTION BY _____, SECONDED BY _____ ;
A VOTE THEREON RESULTED IN THE FOLLOWING:

YEA:

NAY:

ABSTAIN:

ABSENT:

AND THIS RESOLUTION WAS DECLARED DULY ADOPTED ON THE 10TH DAY OF NOVEMBER , 2020, AT A REGULAR MEETING OF THE PLANNING COMMISSION, A QUORUM OF THE MEMBERS BEING PRESENT.

DAVID DOHERTY JR., CHAIRMAN
ST. TAMMANY PARISH PLANNING COMMISSION

ATTEST:

ROSS LINER, AICP, PTP, CFM, SECRETARY
ST. TAMMANY PARISH PLANNING COMMISSION

From: Christopher P. Tissue
Sent: Thursday, October 22, 2020 8:03 AM
To: Theodore C. Reynolds; Shelby R. Vorenkamp
Subject: FW: Enter the Right away
Attachments: 20200602_081326 (1).pdf; Executed Act of Sale.pdf

FYI.



Chris Tissue, P.E.

Lead Development Engineer
Department of Planning & Development
St. Tammany Parish Government
21454 Koop Drive, Suite 1B
Mandeville, LA 70471
p: 985-809-7448 e: cptissue@stpgov.org
www.stpgov.org

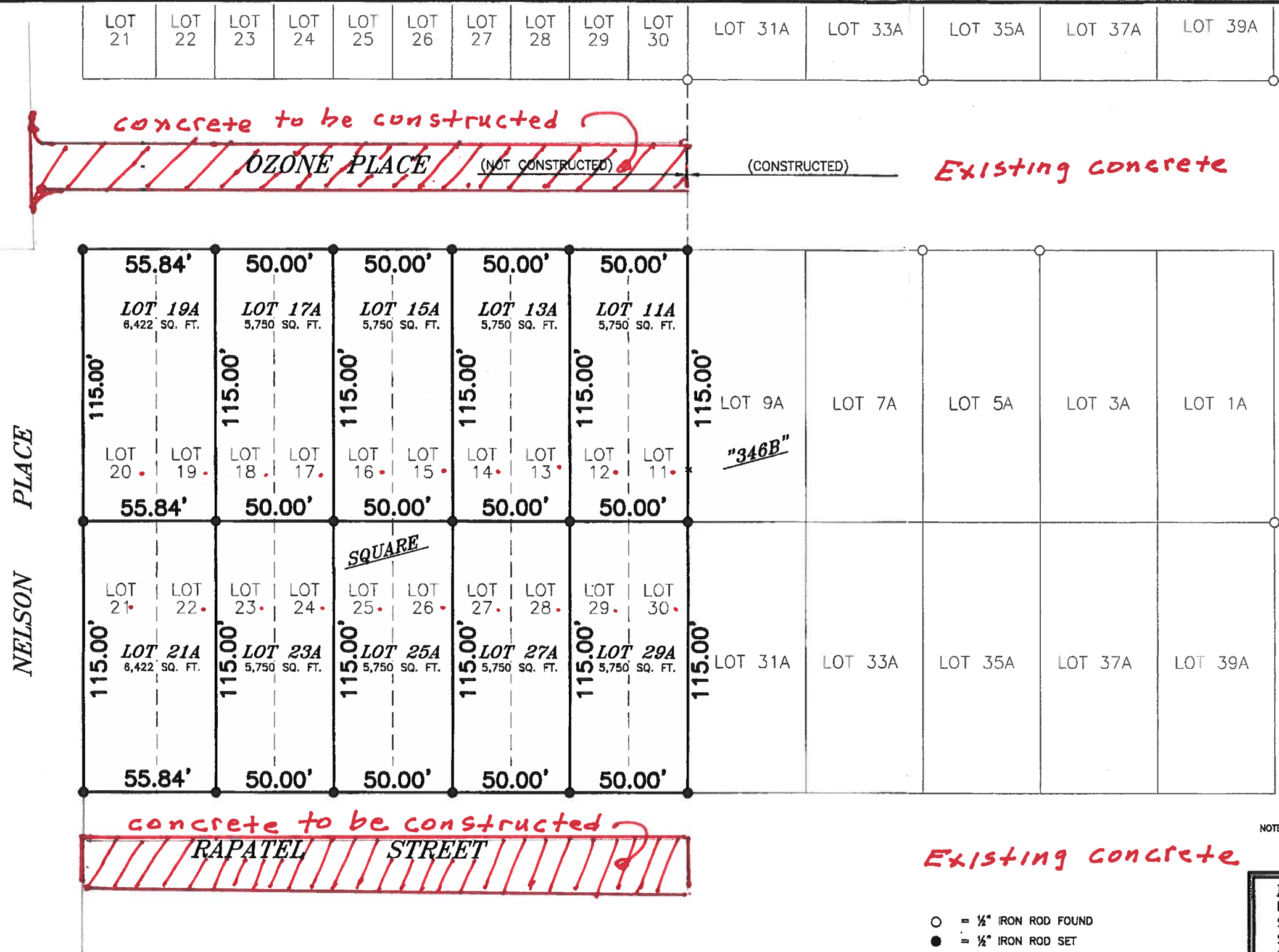
Any e-mail may be construed as a public document, and may be subject to a public records request. The contents of this e-mail reflect the opinion of the writer, and are not necessarily the opinion or policy of St. Tammany Parish Government.

From: Sean Killeen <skilleen@killeengroup.com>
Sent: Tuesday, October 06, 2020 10:16 AM
To: Theodore C. Reynolds <tcreynolds@stpgov.org>; Christopher P. Tissue <cptissue@stpgov.org>;
svorenkampdev@stpg.org
Subject: Enter the Right away

I would like to request to enter the right away on the streets of Rapatel and Ozone. They are noted in the attached survey. Please let me know if you need anything else.

Thanks,

Sean Killeen
Demoran Custom Homes
504-810-5346
3701 Tchoupitoulas Unit A 70115
Demorancustomhomes.com
Thecastinecottages.com



APPROVALS:

CHAIRMAN - ST. TAMMANY PLANNING COMMISSION

SECRETARY - ST. TAMMANY PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

CLERK OF COURT

DATE FILED MAP FILE NO.

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JOHN E. BONNEAU & ASSOCIATES, INC.

REFERENCE SURVEY:
A survey by Land Surveying Inc. dated 7-14-82 with number 2715.

BASIS FOR BEARINGS/ANGLES:
The Reference Survey.
NOTE: This is to certify that I have done an actual ground survey and found that no encroachments exist either way across any property lines except as shown.

BUILDING SETBACKS
FRONT: N/A
SIDE: N/A
SIDE STREET: N/A
REAR: N/A

A RESUBDIVISION MAP OF
LOTS 11-30, SQ. 346B, TOWN OF MANDEVILLE
into
LOTS 11A, 13A, 15A, 17A, 19A, 21A, 23A, 25A, 27A & 29A, SQ. 322A
situated in
Section 44, T-8-S, R-12-E
St. Tammany Parish, Louisiana
for
SMS HOLDINGS COMPANY, LLC, SEAN DELANCY, SEAN KILLEEN
AND MICHAEL DEMORAN

FLOODZONE NOTE: This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described is located in Flood Zone(s) "C" with a Base Flood Elevation of N/A in accordance with Community Panel No. 225205 0360 C; Revised: APRIL 2, 1991

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL; AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS D SURVEY.

Survey No. 2019 441 A Drawn by: SPH Scale: 1" = 50'
Date: FEBRUARY 05, 2020 Revised:

JOHN E. BONNEAU & ASSOCIATES, INC.
Professional Land Surveyors • Planners and Consultants
1011 NORTH CAUSEWAY BLVD., SUITE 34 • MANDEVILLE, LA 70471
(985)845-1012 • (985)845-1013 • FAX NO. (985)845-1778
www.JEBCOLandSurveying.com • e-mail: info@jebcosurvey.com

NOTE: Setback lines shall be verified by owner and/or contractor prior to any construction, as an abstract has not been performed by the undersigned.

NOTE: Servitudes shown hereon are not necessarily exclusive. Servitudes of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.

This Survey is Certified
True and Correct By

John E. Bonneau
Professional Land Surveyor
Registration No. 4423



ST. TAMMANY PARISH

MICHAEL B. COOPER
PARISH PRESIDENT

November 4, 2020

St. Tammany Parish Planning Commission
P.O. Box 628
Covington, LA 70434

Re: Enter the Parish R.O.W. - Rapatel Street - For the purpose of extending the street and installing drainage features (Town of Mandeville (Unincorporated))

Honorable Commissioners,

This office is in receipt of Mr. Sean Killeen's request to enter the Parish right-of-way for the purpose of extending the street and installing drainage features.

This office has reviewed the request from Mr. Killeen and has no objection.

Sincerely,

A handwritten signature in blue ink that reads "Christopher Tissue".

Christopher Tissue, P.E.
Lead Development Engineer

*Attachments: DRAFT Enter the Parish R.O.W. Resolution dated November 2, 2020
Request to Enter the Parish Right-of-Way from Mr. Killeen dated October 6, 2020
Resubdivision Map of Lots 11-30, Square 346B, Town of Mandeville into Lots 11A, 13A, 15A, 17A, 19A, 21A, 23A, 25A, 27A, & 29A, Square 322A dated February 5, 2020*

xc: Honorable Michael Cooper
Honorable Jimmie Davis
Mr. Ross Liner, AICP, PTP, CFM
Mr. Jay Watson, P.E.
Ms. Helen Lambert
Mr. Earl J. Magner
Mr. Theodore Reynolds, P.E.
Mr. Sean Killeen, SMS Holdings, LLC
Mr. Eddie Powell, P.E., P.L.S., Kyle Associates, LLC

ST. TAMMANY PARISH PLANNING COMMISSION

RESOLUTION

RESOLUTION PLANNING COMMISSION SERIES NO. _____

TITLE: A RESOLUTION AUTHORIZING SMS HOLDINGS, C/O MR. SEAN KILLEEN, TO ENTER PARISH RIGHT-OF-WAY.

**SUB-TITLE: A RESOLUTION GRANTING PERMISSION TO SMS HOLDINGS, C/O MR. SEAN KILLEEN, 3701 TCHOUPITOULAS STREET, UNIT A, NEW ORLEANS, LA 70115 OR ASSIGNEES TO ENTER PARISH RIGHT-OF-WAY, SPECIFICALLY THE UNOPENED PORTION OF RAPATEL STREET, ON THE SOUTH SIDE OF ARMAND STREET AND NORTH OF THE NELSON STREET RIGHT-OF- WAY, EAST OF SOULT STREET; TOWN OF MANDEVILLE (UNINCORPORATED) SUBDIVISION, FOR THE PURPOSE OF EXTENDING THE STREET AND INSTALLING DRAINAGE FEATURES.
WARD 4, DISTRICT 7.**

NOW, THEREFORE, BE IT RESOLVED, by the St. Tammany Parish Planning Commission that it hereby grants permission to the aforementioned petitioner to enter Parish right-of-way for the aforementioned purposes, subject to the following conditions:

1. That the improvements that will be undertaken will be at the sole expense of the petitioner.
2. That the petitioner agrees to accept full responsibility, financial and all other, for the damage and /or relocation of utilities currently located within Parish right-of-way.
3. That the petitioner shall submit plans prepared by a licensed engineer to the Department of Engineering for review and approval. The drainage and road design with soil borings must meet the gravel road standards as established under the “Subdivision Regulatory Ordinance.” The Parish’s engineer may require additional off-site work to minimize the potential impact of the proposed construction with special emphasis regarding drainage. The plans must include sewerage and water systems, where applicable. Upon approval of plans and specifications by the Director of Engineering, the petitioner must notify the Department of Engineering prior to the commencement of any activity.
4. Any developer/applicant proposing to develop lots within a “dormant subdivision” or “subdivision of record” must submit for review and approval of the Parish Engineer a drainage plan that meets the detention requirements of St. Tammany Parish Code of Ordinances, Part II “Land Development Code,” Chapter 125 “Subdivision Regulations,”. Where applicable, such developer/applicant shall be entitled to claim a credit toward drainage impact fees due the Parish under the authority of the St. Tammany Parish Code of Ordinances, Chapter 2, Article XVII “Parish Fees,” Division 3 “Development,” Subdivision V “Mandatory Impact Fees” and, where applicable, shall be entitled to claim credit/reimbursement from any drainage impact fees that have been paid into the “Drainage Impact Fee Escrow Account” by the owner or owners of lots that are not owned by the developer/applicant but would be receiving the benefits of said storage requirements.
5. That should the petitioner commence work thereon, petitioner by such act acquiesces and acknowledges thereby that he will hold this Parish, its officials, agents, servants, and employees free and harmless from any liability or responsibility whatsoever in connection with the construction of the project. Petitioner will provide copy of Liability Insurance Policy, including the naming of the Parish as an insured party. The insurance will remain in effect until the Parish takes over the maintenance.

6. That nothing herein shall be construed as a revocation of the dedication of the aforementioned right of way.
7. That no maintenance nor financial nor material nor assistance shall be provided by the Parish for the project nor the maintenance thereof, except for the inspection of the plans and specifications by the Department of Engineering to insure the construction complies with Parish specifications.
8. That the petitioner shall post a Performance Obligation prior to a work order being issued for the calculated amount based on the linear footage of proposed roadway using the formula “\$60.00 per linear foot x ____ linear feet = calculated amount” for concrete roadways. The linear footage of construction shall be taken from the approved Preliminary plan(s). The Performance Obligation shall be established for a period of one (1) year.
9. That the petitioner shall post a Warranty Obligation upon completion of the project for the calculated amount based on the linear footage of constructed roadway using the formula “\$25.00 per linear foot x ____ linear feet” for concrete roadways. The linear footage of construction shall be taken from the approved As-Built plan(s). The Warranty Obligation shall be established for a period of two (2) years.
10. That the petitioner and any assignees submit a Hold Harmless Agreement in connection with the construction of the project and utilization of the access by (an) individual (s) until the time that the access is upgraded to Parish standards and accepted into the Parish’s Selective Road Maintenance System.
11. That the petitioner and any assignees agrees to provide maintenance for this access at his/her own expense until such time as the Parish agrees to accept this portion of right of way into the Parish’s Selective Road Maintenance System.
12. Petitioner acknowledges and accepts full responsibility for the installation and maintenance of drainage, specifically from the on-site mechanical sewerage treatment plants, on the public right of way he/she seeks permission to enter.
13. That the petitioner agrees to provide the Parish with the necessary drainage and utility servitude along the roadways being constructed.
14. That the petitioner shall submit a copy of the current owner’s deed.
15. That the petitioner shall produce proof that the right of way is dedicated to the Parish.
16. That the petitioner shall produce from the U.S. Army Corps of Engineers either: a written statement that the road is not in a wetland area, within the meaning of Section 404 of the Federal “Clean Water Act” or a Section 404 Permit under the Federal “Clean Water Act” authorizing the opening of the portion of the right of way in question.
17. That the petitioner shall submit a site plan of Petitioner’s property and the unopened right of way.
18. Permission is valid for the issuance of building permits according to current zoning only, issued to AS INDICATED ABOVE, WARD 4 DISTRICT 7.
19. That the petitioner must agree to participate in a front foot assessment in upgrading the road to a hard surface standard meeting Parish requirements, in the future.

20. That the petitioner submit as-built drawings certifying that road is constructed within the Parish right of way.
22. That the petitioner submit all documentation required within ONE (1) year from date of adoption, additionally petitioner has two (2) years to complete all work on this project, if not completed within two (2) years, approval of this work will be voided and petitioner will be required to reapply for permission.

THIS RESOLUTION HAVING BEEN SUBMITTED TO A VOTE, THE VOTE THEREON WAS AS FOLLOWS:

MOVED FOR ADOPTION BY _____, SECONDED BY _____ ;
A VOTE THEREON RESULTED IN THE FOLLOWING:

YEA:

NAY:

ABSTAIN:

ABSENT:

AND THIS RESOLUTION WAS DECLARED DULY ADOPTED ON THE 10TH DAY OF NOVEMBER , 2020, AT A REGULAR MEETING OF THE PLANNING COMMISSION, A QUORUM OF THE MEMBERS BEING PRESENT.

DAVID DOHERTY JR., CHAIRMAN
ST. TAMMANY PARISH PLANNING COMMISSION

ATTEST:

ROSS LINER, AICP, PTP, CFM, SECRETARY
ST. TAMMANY PARISH PLANNING COMMISSION

From: Christopher P. Tissue
Sent: Thursday, October 22, 2020 8:03 AM
To: Theodore C. Reynolds; Shelby R. Vorenkamp
Subject: FW: Enter the Right away
Attachments: 20200602_081326 (1).pdf; Executed Act of Sale.pdf

FYI.



Chris Tissue, P.E.

Lead Development Engineer
Department of Planning & Development
St. Tammany Parish Government
21454 Koop Drive, Suite 1B
Mandeville, LA 70471
p: 985-809-7448 e: cptissue@stpgov.org
www.stpgov.org

Any e-mail may be construed as a public document, and may be subject to a public records request. The contents of this e-mail reflect the opinion of the writer, and are not necessarily the opinion or policy of St. Tammany Parish Government.

From: Sean Killeen <skilleen@killeengroup.com>
Sent: Tuesday, October 06, 2020 10:16 AM
To: Theodore C. Reynolds <tcreynolds@stpgov.org>; Christopher P. Tissue <cptissue@stpgov.org>;
svorenkampdev@stpg.org
Subject: Enter the Right away

I would like to request to enter the right away on the streets of Rapatel and Ozone. They are noted in the attached survey. Please let me know if you need anything else.

Thanks,

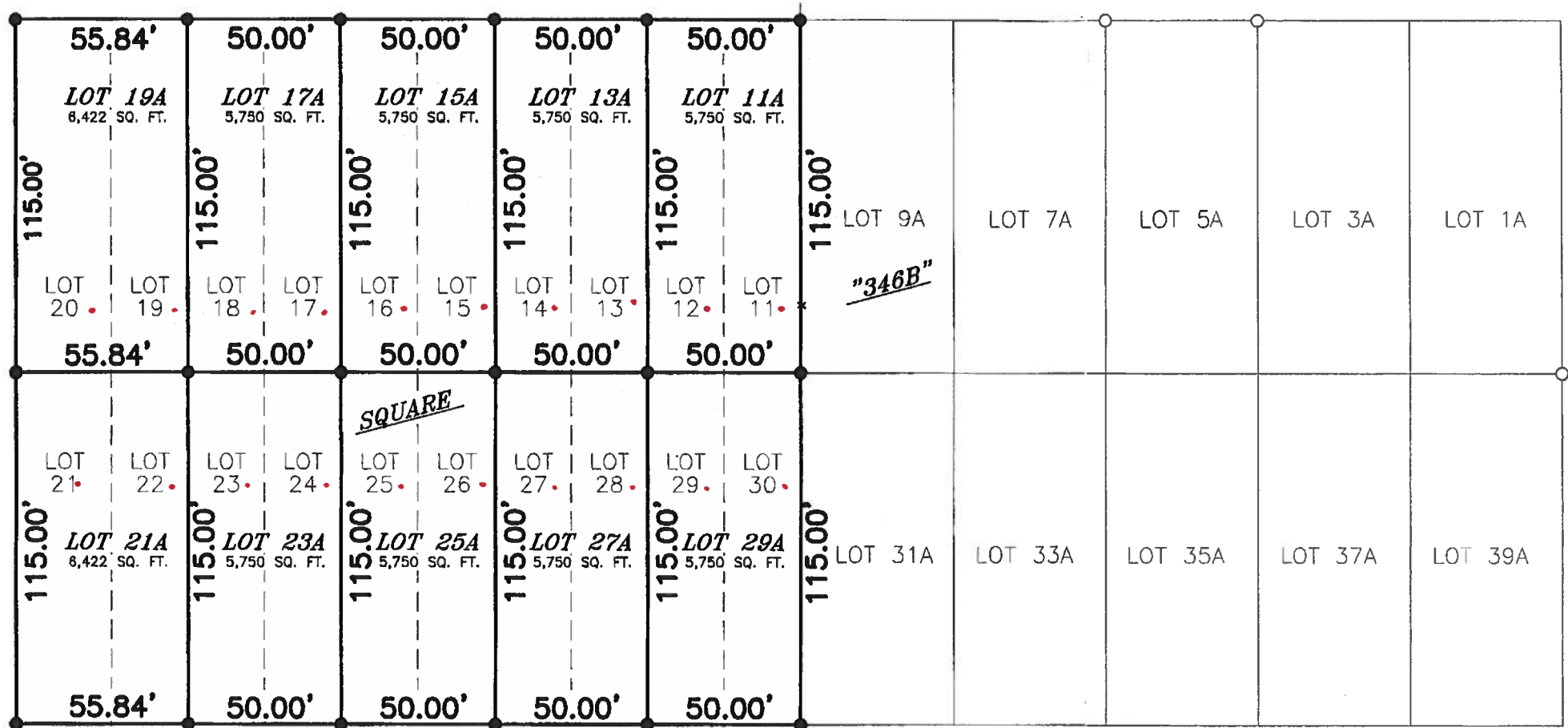
Sean Killeen
Demoran Custom Homes
504-810-5346
3701 Tchoupitoulas Unit A 70115
Demorancustomhomes.com
Thecastinecottages.com



NELSON PLACE

ARMAND STREET

LOT 21	LOT 22	LOT 23	LOT 24	LOT 25	LOT 26	LOT 27	LOT 28	LOT 29	LOT 30	LOT 31A	LOT 33A	LOT 35A	LOT 37A	LOT 39A
--------	--------	--------	--------	--------	--------	--------	--------	--------	--------	---------	---------	---------	---------	---------



Existing concrete

- = 1/2" IRON ROD FOUND
- = 1/2" IRON ROD SET

NOTE: INTERIOR LOT ANGLES = 90°.

BUILDING SETBACKS	
FRONT:	N/A
SIDE:	N/A
SIDE STREET:	N/A
REAR:	N/A

APPROVALS:

CHAIRMAN - ST. TAMMANY PLANNING COMMISSION

SECRETARY - ST. TAMMANY PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

CLERK OF COURT

DATE FILED MAP FILE NO.

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JOHN E. BONNEAU & ASSOCIATES, INC.

REFERENCE SURVEY:
A survey by Land Surveying Inc. dated 7-14-82 with number 2715.

BASIS FOR BEARINGS/ANGLES:
The Reference Survey.

NOTE: This is to certify that I have done an actual ground survey and found that no encroachments exist either way across any property lines except as shown.

A RESUBDIVISION MAP OF
LOTS 11-30, SQ. 346B, TOWN OF MANDEVILLE
into
LOTS 11A, 13A, 15A, 17A, 19A, 21A, 23A, 25A, 27A & 29A, SQ. 322A
situated in
Section 44, T-8-S, R-12-E
St. Tammany Parish, Louisiana
for
**SMS HOLDINGS COMPANY, LLC, SEAN DELANCY, SEAN KILLEEN
AND MICHAEL DEMORAN**

FLOODZONE NOTE: This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described is located in Flood Zone(s) "C" with a Base Flood Elevation of N/A in accordance with Community Panel No. 225205 0360 C; Revised: APRIL 2, 1991

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL; AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS D SURVEY.

Survey No. 2019 441 A Drawn by: SPH Scale: 1" = 50'
Date: FEBRUARY 05, 2020 Revised:

JOHN E. BONNEAU & ASSOCIATES, INC.
Professional Land Surveyors • Planners and Consultants
1011 NORTH CAUSEWAY BLVD., SUITE 34 • MANDEVILLE, LA 70471
(985)845-1012 • (985)845-1013 • FAX NO. (985)845-1778
www.JEBCOLandSurveying.com • e-mail: info@jebcosurvey.com

NOTE: Setback lines shall be verified by owner and/or contractor prior to any construction, as an abstract has not been performed by the undersigned.

NOTE: Servitudes shown hereon are not necessarily exclusive. Servitudes of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.

This Survey is Certified
True and Correct By

John E. Bonneau
Professional Land Surveyor
Registration No. 4423

REVOCATIONS

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REVOCATION STAFF ANALYSIS REPORT

(As of November 4, 2020)

Meeting Date: November 10, 2020

CASE NO.: REV20-10-009

NAME OF STREET OR ROAD: Unopened portion of future access Right of Way, located on the west side of Autumn Creek Dr. between Lot 89 and Lot 90 in Phase 2 of the Autumn Creek Subdivision

NAME OF SUBDIVISION: Autumn Creek Subdivision

WARD: 1 PARISH COUNCIL DISTRICT: 4

PROPERTY LOCATION: The property is located on the west side of Autumn Creek Dr. between Lot 89 and Lot 90 in Phase 2 of the Autumn Creek Subdivision, Madisonville, Louisiana, Ward 1, District 4

SURROUNDING ZONING: PUD Planned Unit Development

PETITIONER/REPRESENTATIVE: Steven Hebert

STAFF COMMENTARY:

Department of Planning & Development Comments:

The applicant is proposing to revoke an unopened portion of future access Right of Way in Phase 2 of the Autumn Creek Subdivision. The applicant, Steven Hebert desires to assimilate this property into his existing residential property, upon which he resides.

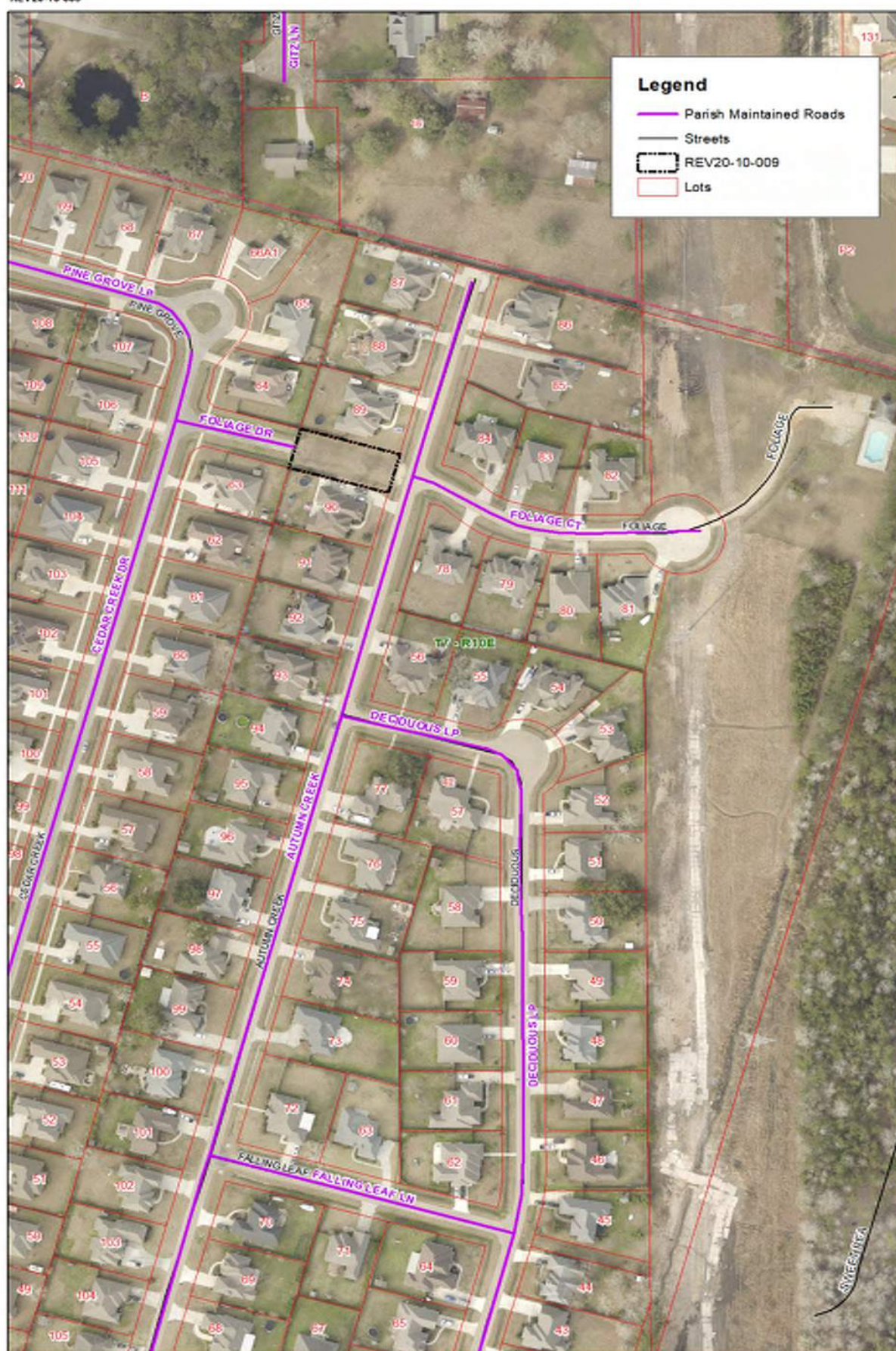
Recommendation:

The Staff has determined that the proposal is not consistent relative to the Louisiana Revised Statutes governing the revocation of immovable property, since the right-of-way does serve a public benefit.

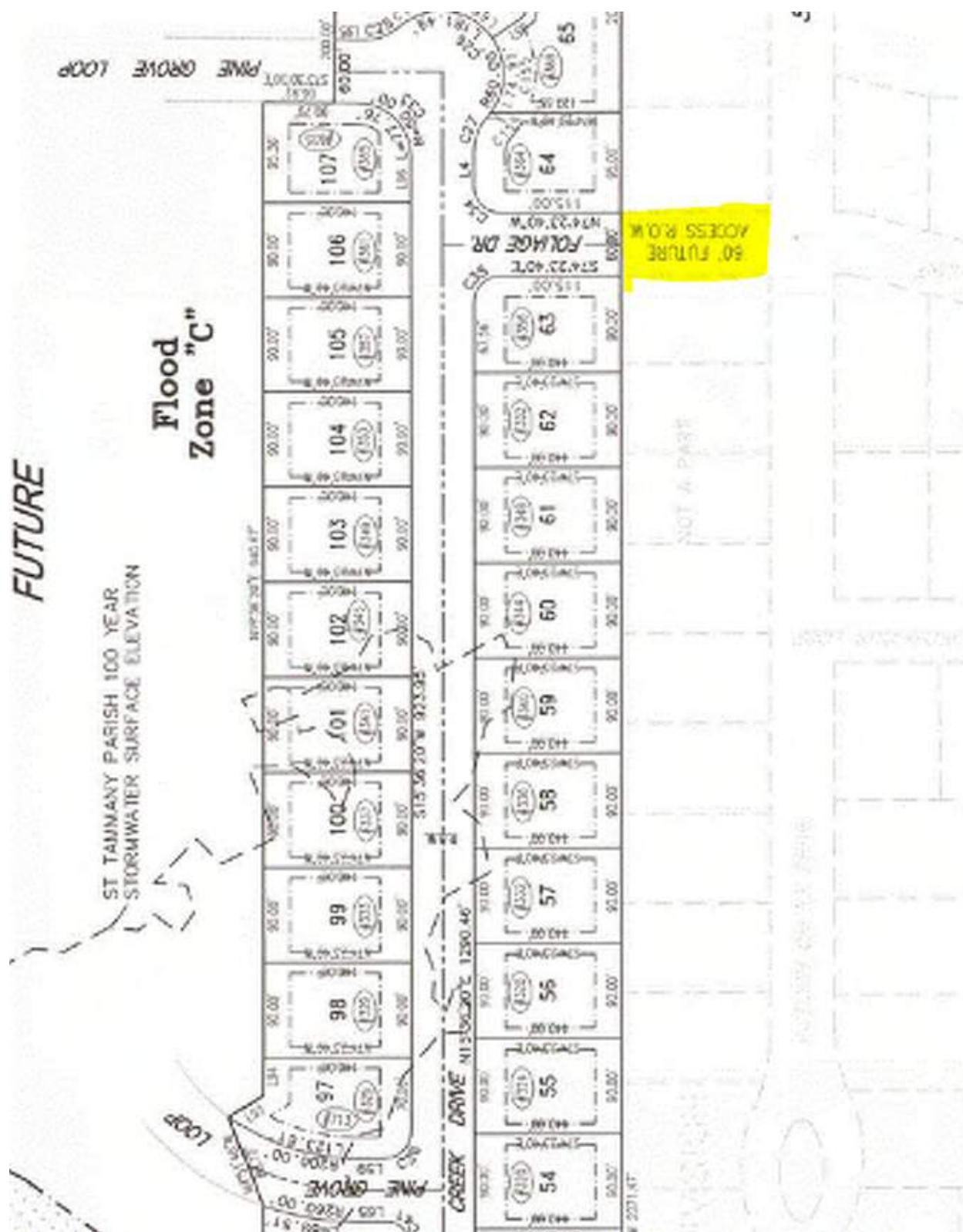
The portion of Foliage Dr. that abuts the proposed revocation, on the west side is an existing Parish Maintained Road (R01I050). The adjacent subdivision plat shows a street connection to the Autumn Creek Subdivision.

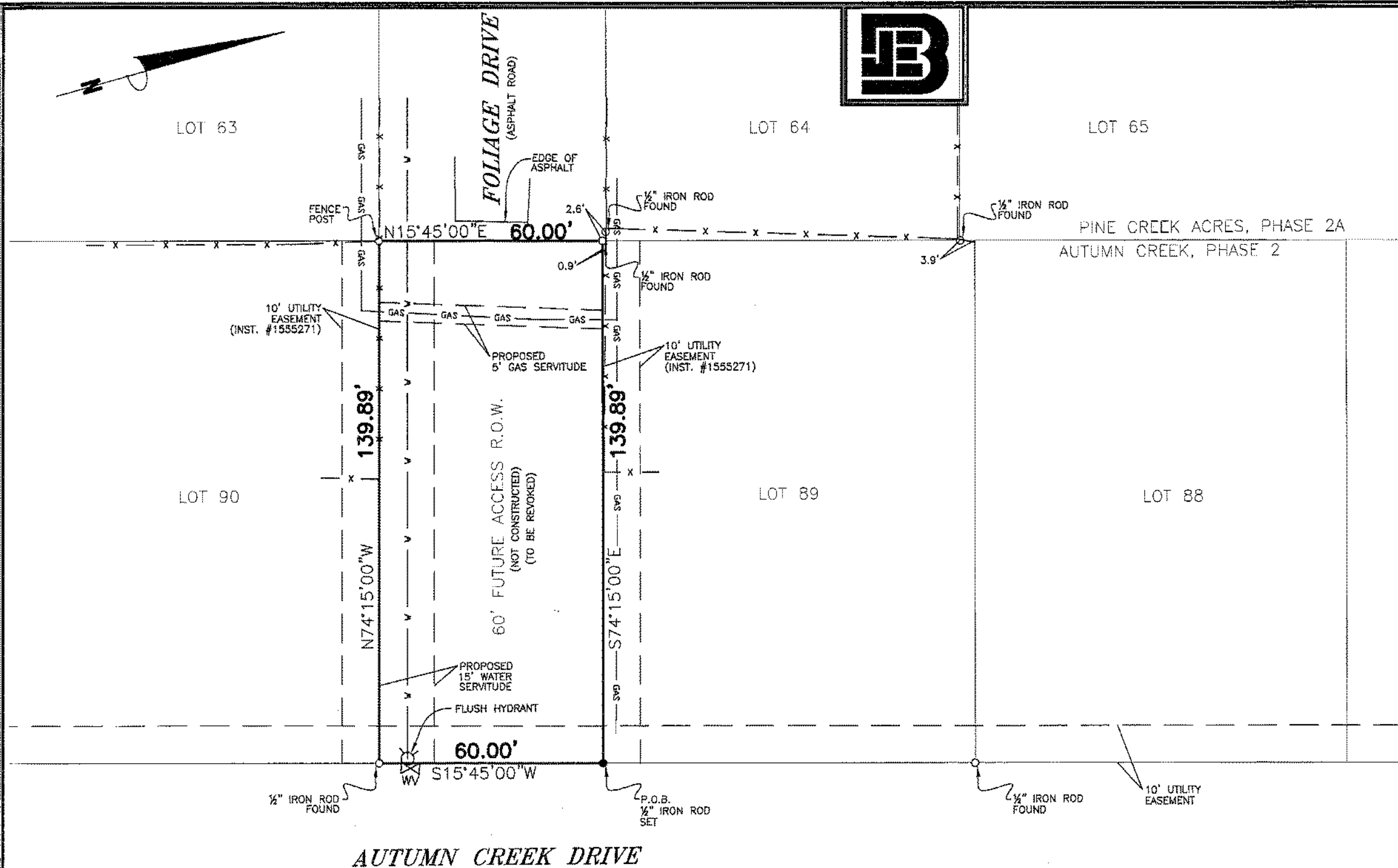
It is our Department's opinion that street connectivity between local subdivisions is essential for the sustainability of the overall street network. Better local street connectivity provides more choices which leads to enhanced safety and quicker response time by emergency vehicles.

Therefore, the staff recommends that the current revocation request be denied.



FUTURE





A CERTAIN PIECE OR PORTION OF LAND SITUATED IN AUTUMN CREEK SUBDIVISION, PHASE 2, SECTION 42, T-7-S, R-10-E, ST. TAMMANY PARISH, LOUISIANA AND IS MORE FULLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF LOT 89, AUTUMN CREEK SUBDIVISION, PHASE 2 WITH SAID POINT BEING ON THE WESTERLY RIGHT-OF-WAY OF AUTUMN CREEK DRIVE, RUN ALONG SAID WESTERLY RIGHT-OF-WAY SOUTH 15 DEGREES 45 MINUTES 00 SECONDS WEST FOR A DISTANCE OF 60.00 FEET TO A POINT; THENCE LEAVING SAID WESTERLY RIGHT-OF-WAY, RUN NORTH 74 DEGREES 15 MINUTES 00 SECONDS WEST FOR A DISTANCE OF 139.89 FEET TO A POINT; THENCE RUN NORTH 15 DEGREES 45 MINUTES EAST FOR A DISTANCE OF 60.00 FEET TO A POINT; THENCE RUN SOUTH 74 DEGREES 15 MINUTES 00 SECONDS EAST FOR A DISTANCE OF 139.89 FEET BACK TO THE POINT OF BEGINNING.

SAID PARCEL OF LAND CONTAINS 0.19 ACRES MORE OR LESS.

ST. TAMMANY PARISH COUNCIL CHAIRMAN
CHAIRMAN, ST. TAMMANY PARISH PLANNING COMMISSION
SECRETARY, ST. TAMMANY PARISH PLANNING COMMISSION
ST. TAMMANY PARISH DEPARTMENT OF ENGINEERING
DATE FILED MAP FILE No.
ST. TAMMANY PARISH CLERK OF COURT
(OWNER)

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JOHN E. BONNEAU & ASSOCIATES, INC.

A REVOCATION PLAT OF
A 60' FUTURE ACCESS R.O.W.

situated in
AUTUMN CREEK SUBDIVISION, PHASE 2
SECTION 42, T-7-S, R-10-E
St. Tammany Parish, Louisiana
for
STEVEN AND NEALIE HEBERT

REFERENCE SURVEY:
The Recorded Subdivision Map.
BASIS FOR BEARINGS:
The Reference Survey.

NOTE: This is to certify that I have done an actual ground survey and found that no encroachments exist either way across any property lines except as shown.

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL; AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS C SURVEY.

Survey No. 2018 248 A
Date: MAY 03, 2018

Drawn by: SPH
Revised: 09/15/20(REVOCATION)

Scale: 1" = 30'

NOTE: Setback lines shall be verified by owner and/or contractor prior to any construction, as an abstract has not been performed by the undersigned.

This Survey is Certified
True and Correct By

JOHN E. BONNEAU & ASSOCIATES, INC.
Professional Land Surveyors • Planners and Consultants

1011 NORTH CAUSEWAY BLVD., SUITE 34 • MANDEVILLE, LA 70471
(985)845-1012 • (985)845-1013 • FAX NO. (985)845-1778
www.JEBCOLandSurveying.com • e-mail: info@jebcosurvey.com

NOTE: Servitudes shown hereon are not necessarily exclusive. Servitudes of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.

John E. Bonneau
Professional Land Surveyor
Registration No. 4423

MINOR SUBDIVISIONS

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MINOR SUBDIVISION STAFF ANALYSIS REPORT

(As of November 4, 2020)

Meeting Date: November 10, 2020

CASE NO.: 2020-2092-MSP

OWNER/DEVELOPER: The Vincent D. Brouillette Trust- Vincent Brouillette and Belinda Besnard

ENGINEER/SURVEYOR: Land Surveying LLC

SECTION: 24 & 43

TOWNSHIP: 6 South

RANGE: 11 East

WARD: 3

PARISH COUNCIL DISTRICT: 2

TYPE OF DEVELOPMENT: X SUBURBAN (Residential acreage between 1-5 acres)
 X RURAL (Low density residential 5 acres or more)
 _____ OTHER (PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: East side of LA Highway 21 (Military Road), north of Nolan Lane, Covington, Louisiana

SURROUNDING LAND USES: Undeveloped & Single family residential

TOTAL ACRES IN DEVELOPMENT: 14.11 acres

NUMBER OF LOTS/PARCELS: 3 parcels; 14.11 acres into Parcels A, B & C

ZONING: A-1A Suburban Residential Districts

STAFF COMMENTARY:

Department of Development – Planning & Engineering

The applicant is requesting to create three (3) parcels from 14.11 acres. The minor subdivision request requires a public hearing due to:

- Parcel B does not meet the minimum required road frontage of 200 feet under A-1A Suburban Zoning District, requiring a waiver from the Planning Commission.

In order to approve the waivers a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 - Subdivision Regulations.



La. Hwy. 21
(Military Road)

A Minor Subdivision of an 14.11 Acre Parcel of Land, into Parcels A, B & C, in Sections 24 & 43, T-6-S, R-11-E, St. Tammany Parish, La.

Reference:
1) A Map by Jeron Fitzmorris, Dated 4-12-1984, #3458, for Vincent Brouillette, (Based Bearing)
2) A Survey by Herbert Sanders of 4.11 Acres, for Charles Gremillion
3) A Deed in Inst. #1997833, Clerk of Courts Office

Reference calls not shown

FINAL APPROVAL

CHAIRMAN OF PLANN. COMM.

DIR. DEPT. OF ENGINEERING

SECRETARY PLANNING COMM.

CLERK OF COURT

DATE

FILE NO.

Parcel A
4.32
ACRES

Parcel B
6.54
ACRES

Parcel C
3.25
ACRES

The P.O.B. is reported to be N31°30'E-2094.3' from the SE Corner of Section 43, T-6-S, R-11-E, St. Tammany Parish, Louisiana

There is an overhead powerline that runs along the Northwestern Boundary Line of Subject Properties (La. Hwy. 21)

LEGEND:

- ✕ = Fnd. 3" Iron Pipe
- = Fnd. 1/2" Iron Pipe
- = Fnd. 1" Iron Pipe
- = Fnd. 1/2" Iron Rod
- = Set 1/2" Iron Rod
- X— = Fence

(Must verify prior to Construction)
Building Setbacks:
Front: **
Side: **
Rear: **
Side Street: **

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST, AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS.

THIS MAP IS IN ACCORDANCE WITH THE STANDARD DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A "D" SURVEY AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 48:XX.

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED.

Bruce M. Butler III
License No. 4894
PR 9-22-2020
BRUCE M. BUTLER III
LA. PROFESSIONAL LAND SURVEYOR
LIC. NO. 4894

LS Land Surveying, LLC
518 N. Columbia Street
Covington, LA 70433
(985) 842-6277 office (985) 848-0355 fax

MAP PREPARED FOR

ESTATE OF VINCENT BROUILLETTE SR.

SCALE: 1" = 120'

DATE: 9-14-2020

DRAWN BY JWG

Sections 24 & 43, T-6-S, R-11-E, St. Tammany Parish, La.

DRAWN NUMBER

20012

MINOR SUBDIVISION STAFF ANALYSIS REPORT

(As of November 4, 2020)

Meeting Date: November 10, 2020

CASE NO.: 2020-2105-MSP

OWNER/DEVELOPER: Riverland Property Management – Brian Necaise – Manager and Sam J. Collett III

ENGINEER/SURVEYOR: John E. Bonneau & Associates, Inc.

SECTION: 26

TOWNSHIP: 6 South

RANGE: 11 East

WARD: 3

PARISH COUNCIL DISTRICT: 2

TYPE OF DEVELOPMENT:

☐ SUBURBAN (Residential acreage between 1-5 acres)

☒ RURAL (Low density residential 5 acres or more)

☐ OTHER (PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: South side of Johnsen Road, east of Dogwood Lane, Covington, Louisiana,

SURROUNDING LAND USES: Undeveloped & Single family residential

TOTAL ACRES IN DEVELOPMENT: 38.4 acres

NUMBER OF LOTS/PARCELS: 3 parcels/lots into 2 parcels/lots; Lot B & Parcels 3-A & 4-A into Lot B-1 & Parcel 3-A-1

ZONING: A-1 Suburban Residential District

STAFF COMMENTARY:

Department of Development – Planning & Engineering

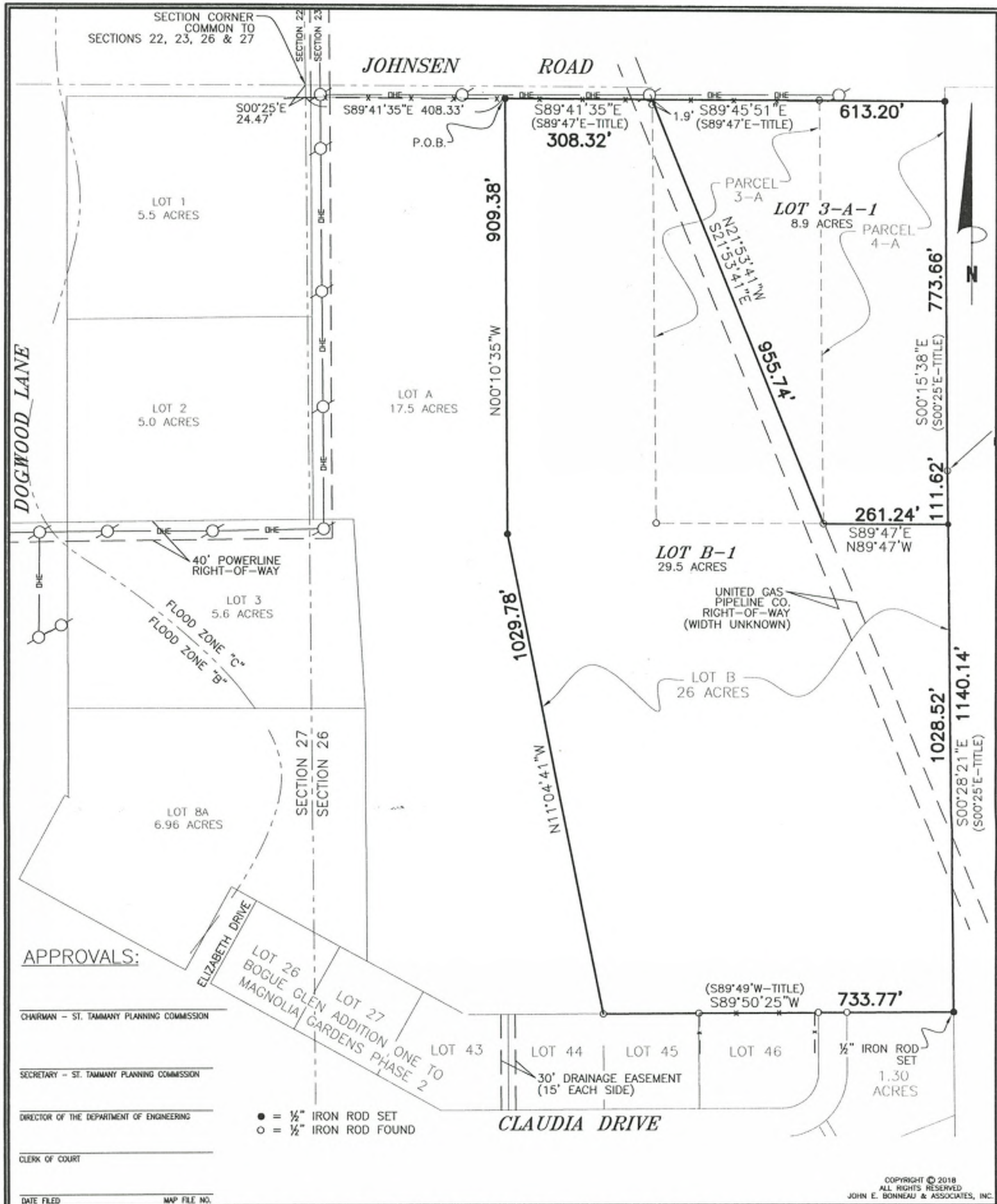
The applicant is requesting to create two (2) parcels/lots from 38.4 acres and/or three (3) parcels/lots (Lot B & Parcels 3-A & 4-A). The minor subdivision request requires a public hearing due to:

- Parcel B was a part of minor subdivision approved in March 2019 (2019-1404-MSA).
- Rear of lot 3-A-1 is less than 300 feet in width, required under the A-1 Suburban Zoning District, requiring a waiver from the Planning Commission.

The request shall be subject to the below comments:

- Add to the previous minor subdivision reference number to the survey: 2019-1404-MSA

In order to approve the waivers a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 - Subdivision Regulations.



APPROVALS:

CHAIRMAN - ST. TAMMANY PLANNING COMMISSION

SECRETARY - ST. TAMMANY PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

CLERK OF COURT

DATE FILED MAP FILE NO.

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL; AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS "D" SURVEY.

NOTE: The P.O.B. is reported to be S00°19'E - 25' from the Section Corner common to Sections 22, 23, 26 & 27, T-6-S, R-11-E, St. Tammany Parish, Louisiana

REFERENCE SURVEYS:

1. A survey by Land Surveying, Inc. dated December 04, 1981 with number 2538.
2. The recorded subdivision map of Bogue Glen, Addition one to Magnolia Gardens, Phase two.

BASIS FOR BEARINGS: The Reference Survey 1.

FLOODZONE NOTE: This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described is located in Flood Zone(s) "C" & "B" with a Base Flood Elevation of N/A in accordance with Community Panel No. 225205 0230 & 0150 C ; Revised: OCTOBER 17, 1989"

A RESUBDIVISION MAP OF LOT B, PARCEL 3-A AND PARCEL 4-A

into

LOT B-1 AND PARCEL 3-A-1

situated in
SECTION 26, T-6-S, R-11-E
St. Tammany Parish, Louisiana
for

SAM J. COLLETT, III & RIVERLAND PROPERTY MANAGEMENT, LLC

Survey No. 2020 1466

Drawn by: SPH

Scale: 1" = 200'

Date: SEPTEMBER 25, 2020

Revised 09/30/20(OFFICE)

JOHN E. BONNEAU & ASSOCIATES, INC.
Professional Land Surveyors • Planners and Consultants

1011 NORTH CAUSEWAY BLVD., SUITE 34 • MANDEVILLE, LA 70471
(985)845-1012 • (985)845-1013 • FAX NO. (985)845-1778
www.JEBCOLandSurveying.com • e-mail: info@jebcosurvey.com

NOTE: This is to certify that I have done an actual ground survey and found that no encroachments exist either way across any property lines except as shown.

NOTE: Setback lines shall be verified by owner and/or contractor prior to any construction, as an abstract has not been performed by the undersigned.

Servitudes shown hereon are not necessarily exclusive. Servitudes of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.

This Survey is Certified True and Correct By

JOHN E. BONNEAU
LICENSE NO. 2533
Professional Land Surveyor
Registration No. 4423

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JOHN E. BONNEAU & ASSOCIATES, INC.

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MINOR SUBDIVISION STAFF ANALYSIS REPORT

(As of November 4, 2020)

Meeting Date: November 10, 2020

CASE NO.: 2020-2106-MSP

OWNER/DEVELOPER: Laurie A. Metevier & Vickylee Marie Clelland

ENGINEER/SURVEYOR: John G. Cummings & Associates

SECTION: 27

TOWNSHIP: 5 South

RANGE: 11 East

WARD: 2

PARISH COUNCIL DISTRICT: 2

TYPE OF DEVELOPMENT: X SUBURBAN (Residential acreage between 1-5 acres)
 RURAL (Low density residential 5 acres or more)
 OTHER (PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: Southwest corner of Jarrell Road & LA Highway 1129, Covington, Louisiana.

SURROUNDING LAND USES: Undeveloped & Single family residential

TOTAL ACRES IN DEVELOPMENT: 2 acres

NUMBER OF LOTS/PARCELS: 2 parcels: 2 acres into Parcels A & B

ZONING: A-2 Suburban Residential District

STAFF COMMENTARY:

Department of Development – Planning & Engineering

The applicant is requesting to create two (2) parcels from 2 acres into Parcels A & B. The minor subdivision request requires a public hearing due to:

- Parcel A does not meet the minimum lot width of 200 feet required under the A-2 Suburban Zoning District and requiring a waiver from the Planning Commission.

The request shall be subject to the below comments:

- Add the signature line for the Chairman of the Planning Commission.

In order to approve the waivers a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 - Subdivision Regulations.

JARRELL ROAD (ASPHALT)

N88°54'05"E 475.01'

POB

REFERENCE BEARING:
Iron Rod A to Iron Rod B
S88°55'07"W
(per Reference Survey No. 2)

POB is reported to be N89°51'06"E
1350.44' & N88°55'07"E 1312.61' from
the 1/4 Corner common to Sections
22 & 27, T5S, R11E.



PARCEL B
1.000 ACRE

PARCEL A
1.000 ACRE

LOUISIANA HIGHWAY NO. 1129
(LEE ROAD)

LEGEND
⊗ = 1/2" IRON ROD FOUND
⊗ = 1/2" IRON ROD SET
-X- = FENCE

NOTE:

This property is located in Flood Zone C,
per F.E.M.A. Map No. 225205 0150 C,
dated October 17, 1989.

APPROVAL:

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

SECRETARY OF THE PARISH PLANNING COMMISSION

CLERK OF COURT

DATE FILED

FILE NO.

PLAT PREPARED FOR:

Laurie Ann Metevier & Vicky Lee M. Clelland

SCALE

1" = 60'

DATE:

7/26/2019

THIS PLAT REPRESENTS A PHYSICAL
SURVEY MADE ON THE GROUND BY
ME OR THOSE UNDER MY DIRECTION
AND IS IN ACCORDANCE WITH THE
APPLICABLE STANDARDS OF PRACTICE
AND BEARS A CLASS C SURVEY.

PROFESSIONAL LAND SURVEYOR

A MINOR SUBDIVISION OF 2.000 ACRES INTO PARCELS A & B,
LOCATED IN SECTION 27, TOWNSHIP 5 SOUTH, RANGE 11 EAST,
ST. TAMMANY PARISH, LOUISIANA.

JOHN G. CUMMINGS & ASSOCIATES

PROFESSIONAL LAND SURVEYORS

(985) 892-1549

503 N. JEFFERSON AVE.

COVINGTON, LA 70433

JOB NO.

19153

REFERENCE SURVEYS:

1. Survey for Vicky Lee M. Clelland & Laurie Anne Metevier
by James H. Couturie, Surveyor, dated February 20, 1997.

2. Survey for Freddie & Terry Dash by John G. Cummings,
Surveyor, dated February 26, 2004, Job No. 04033.

THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND/OR
RESTRICTIONS HAVE BEEN SHOWN HEREON. ANY SERVITUDES AND/OR
RESTRICTIONS SHOWN ON THIS PLAT ARE LIMITED TO THOSE SET FORTH
IN THE DESCRIPTION AND/OR INFORMATION FURNISHED THE UNDERSIGNED.
A TITLE OR PUBLIC RECORD SEARCH FOR SUCH INFORMATION WAS NOT MADE
BY THE UNDERSIGNED IN COMPILING DATA FOR THIS SURVEY.



MINOR SUBDIVISION STAFF ANALYSIS REPORT

(As of November 4, 2020)

Meeting Date: November 10, 2020

CASE NO.: 2020-2107-MSP

OWNER/DEVELOPER: Place 1077, LLC –Tim Richardson

ENGINEER/SURVEYOR: Kelly McHugh & Associates, Inc.

SECTION: 3

TOWNSHIP: 7 South

RANGE: 10 East

WARD: 1

PARISH COUNCIL DISTRICT: 3

TYPE OF DEVELOPMENT: _____ SUBURBAN (Residential acreage between 1-5 acres)
_____ RURAL (Low density residential 5 acres or more)
 X OTHER (PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: Northwest corner of LA Highway 1085 & LA Highway 1077, Covington, Louisiana

SURROUNDING LAND USES: Undeveloped & Commercial

TOTAL ACRES IN DEVELOPMENT: 6.63 acres

NUMBER OF LOTS/PARCELS: 2 parcels into 1 parcel: Parcels A-1 & A-2-B into Parcel A-1-A

ZONING: HC-2 Highway Commercial Zoning District

STAFF COMMENTARY:

Department of Development – Planning & Engineering

The applicant is requesting to create one (1) parcel from Parcels A-1 & A-2-B. The minor subdivision request requires a public hearing due to:

- Parcel A-2-B was part of a minor subdivision approved in June 2011 (MS11-05-022).

The request shall be subject to the below comments:

- Add the signature line for the Chairman of the Planning Commission.

--- LEGEND ---

- = 1/2" IRON ROD FOUND
- = 1/2" IRON ROD SET
- ▲ = D.O.T.D. "T" POST FOUND
- = 1" IRON PIPE FOUND

THIS PROPERTY IS LOCATED IN
FLOOD ZONES A & C
BASE FLOOD ELEV. UNDETERMINED
F.I.R.M. PANEL NO. 225205 010 C
REV. OCTOBER 17, 1989

THIS POINT IS REPORTED TO BE
THE CORNER OF SECTION 3, T-7-S, R-10-E
FROM THE QUARTER SECTION CORNER COMMON
TO SECTIONS 3, T-7-S, R-10-E
S 23°59'51" E 595.40'
S 06°14'40" E 72.69'
S 29°13'27" W 114.39'
S 70°24'37" W 53.84'
N 00°31'03" E 147.71'
N 89°28'57" W 205.17'
S 89°28'57" E 193.17'
N 00°31'03" E 37.00'
S 89°27'42" E 389.87'
N 89°27'42" W 127.42'
N 00°13'00" W 550.47'
N 64°41'21" E 425.18'

LA. HWY. 1077

PARCEL "B"

EXISTING TOWER

N 64°41'21" E 425.18'

PARCEL A-1

PARCEL A-1-A

6.63 acres
(288645.99 sq.ft.)

PARCEL A-2-B

S 89°28'57" E 193.17'

N 00°31'03" E 37.00'

N 89°28'57" W 205.17'

PARCEL A-2-A
(NOT A PART)

N 00°31'03" E 187.67'

S 89°27'42" E 389.87'

N 00°13'00" W 550.47'

OVERHEAD ELECTRIC

125' GLECO SERVITUDE

APPROXIMATE
LOCATION

FLOOD ZONE "A"
FLOOD ZONE "C"
EXISTING ROW

20.18'

LA. HWY. 1085

APPROVAL:

SECRETARY PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT
OF ENGINEERING

DATE FILED FILE NO.

CLERK OF COURT

NO BUILDING SETBACKS ARE SHOWN

NOTE:
OWNER OR CONTRACTOR IS RESPONSIBLE
FOR OBTAINING BUILDING SETBACKS
BEFORE CONSTRUCTION BEGINS.

REFERENCES:
1. PLAT OF A D.O.T.D. RIGHT OF WAY MAP
FOR PROJECT NO. H.009341, SHEET 102,
FROM WHICH PROPERTY DIMENSIONS WERE TAKEN.

2. PLAT OF A RESUBDIVISION BY THIS FIRM
FILED FOR RECORD 06-20-2011, MAP FILE
NO. 49908, FROM WHICH BASIS OF BEARINGS
WAS TAKEN.

NOTE: SERVITUDES SHOWN HEREON ARE NOT NECESSARILY
EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE
OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON
REQUEST, AS SURVEYOR HAS NOT PERFORMED ANY TITLE
SEARCH OR ABSTRACT.



[Signature] 10/1/2020
Kelly J. McHugh, REG. NO. 4443

CERTIFIED CORRECT AND IN ACCORDANCE WITH A PHYSICAL
SURVEY MADE ON THE GROUND AND COMPLYING WITH THE
CURRENT APPLICABLE STANDARDS OF PRACTICE FOR A CLASS
"B" SURVEY. RED STAMP SIGNIFIES CORRECT PLAT.

A MINOR SUBDIVISION OF
PARCELS A-1 AND A-2-B
INTO PARCEL A-1-A
SECTION 3, T-7-S, R-10-E, G.L.D.
ST. TAMMANY PARISH, LA.

PREPARED FOR:

PLACE 1077 LLC

KELLY J. McHUGH & ASSOC., INC.
CIVIL ENGINEERS & LAND SURVEYORS
845 GALVEZ ST., MANDEVILLE, LA. 626-5611

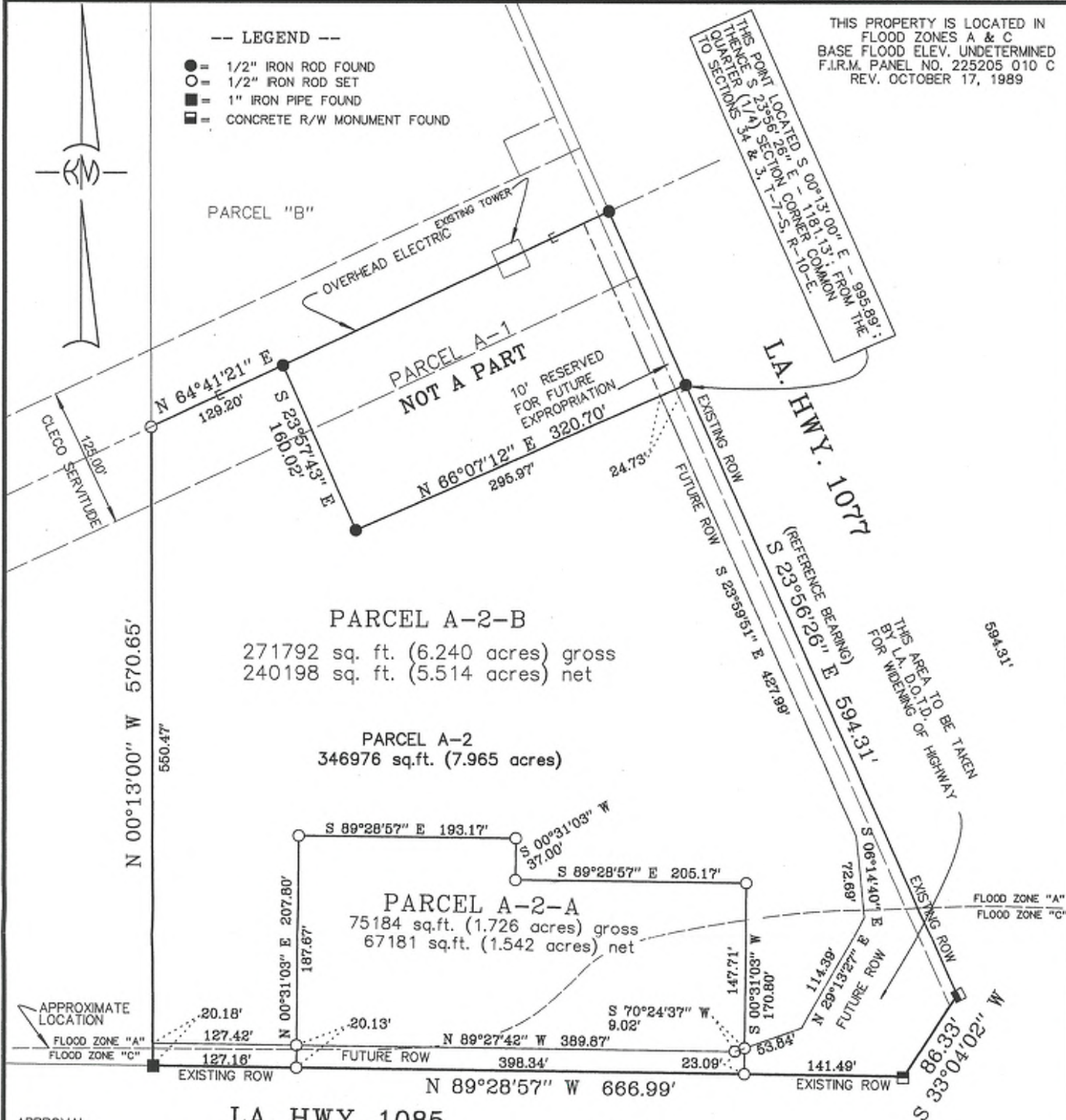
SCALE: 1" = 100' DATE: 10-01-20
DRAWN: DRJ JOB NO.: 08-125-RESUB3
REVISED:

lots2008/A08-125-RESUB3.acj

-- LEGEND --

- = 1/2" IRON ROD FOUND
- = 1/2" IRON ROD SET
- = 1" IRON PIPE FOUND
- = CONCRETE R/W MONUMENT FOUND

THIS PROPERTY IS LOCATED IN
FLOOD ZONES A & C
BASE FLOOD ELEV. UNDETERMINED
F.I.R.M. PANEL NO. 225205 010 C
REV. OCTOBER 17, 1989



APPROVAL:

LA. HWY. 1085

Emile Lombard
CHAIRMAN PARISH PLANNING COMMISSION

Ron Keller
SECRETARY PARISH PLANNING COMMISSION

John Am
DIRECTOR OF THE DEPARTMENT OF ENGINEERING

6-20-2011 4990B
DATE FILED FILE NO.

Jane C. Murphy
CLERK OF COURT

REFERENCE:
PLAT OF A RESUBDIVISION BY THIS FIRM
FILED FOR RECORD 2-23-2009, MAP NO. 4776C

NOTE: SERVITUDES SHOWN HEREON ARE NOT NECESSARILY
EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE
OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON
REQUEST, AS SURVEYOR HAS NOT PERFORMED ANY TITLE
SEARCH OR ABSTRACT.



Kelly J. McHugh
Kelly J. McHugh, REG. NO. 4443
CERTIFIED CORRECT AND IN ACCORDANCE WITH A PHYSICAL
SURVEY MADE ON THE GROUND AND COMPLYING WITH THE
CURRENT APPLICABLE STANDARDS OF PRACTICE FOR A CLASS
"B" SURVEY. RED STAMP SIGNIFIES CORRECT PLAT.

NOTE:
NO ATTEMPT HAS BEEN MADE BY KELLY McHUGH & ASSOC., INC. TO
VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS,
RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL
ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN
THOSE FURNISHED BY THE CLIENT.

NOTE:
SETBACK LINES SHALL BE VERIFIED BY OWNER
OR CONTRACTOR PRIOR TO ANY CONSTRUCTION
AS AN ABSTRACT HAS NOT BEEN PERFORMED BY
THE UNDERSIGNED.

NO SETBACKS ARE SHOWN

NOTE:
PARCEL A-2 REPRESENTS A PREVIOUSLY APPROVED PORTION OF
ST. TAMMANY PARISH MINOR SUBDIVISION (MS09-02-006),
RECORDED UNDER MAP FILE NO. 4776C, FILED FOR RECORD
ON FEBRUARY 23, 2009. FURTHERMORE, THE PARISH OF
ST. TAMMANY REQUEST THAT THE CLERK OF COURT MAKE
MENTION OF SAME WITHIN THE MARGIN OF THE ORIGINAL
RECORDED FILING, TO SERVE AS OCCASION MAY REQUIRE.

MINOR SUBDIVISION PLAT OF:

PARCEL A-2 BEING 7.965 ACRES
INTO PARCELS A-2-A AND A-2-B
SECTION 3, T-7-S, R-10-E
ST. TAMMANY PARISH, LA.

PREPARED FOR:

PLACE 1077 LLC

KELLY J. McHUGH & ASSOC., INC.
CIVIL ENGINEERS & LAND SURVEYORS
845 GALVEZ ST., MANDEVILLE, LA. 626-5611

SCALE: 1" = 100' DATE: 05-22-2011
DRAWN: DRJ JOB NO.: 08-125-RESUB2
REVISED:

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(As of November 4, 2020)
Meeting Date: November 10, 2020

In order to approve the waivers a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 - Subdivision Regulations.

REFERENCE BEARING:
Concrete Corner A to Iron Rod B
N86°00'E
(per Reference Survey)

CONCRETE
CORNER

(LOT NO. 1)

N03°20'48"W 58.0'

N89°47'50"E 643.21'

FLOOD ZONE
TRANSITION LINE

PARCEL B-1A
11.250 ACRES

(LOT NO. 2)

(10.0 ACRES)

POB
1/4 SECTION
CORNER

SECTION 36, T5S, R11E
SECTION 1, T6S, R11E

PARCEL A
5.000 ACRES
(NOT A PART)

NORTH
108.14'

SOUTH
50.59'
NORTH

APPROXIMATE CENTERLINE OF
GULF SOUTH RIGHT OF WAY

PARCEL B-2A
12.467 ACRES

APPROXIMATE CENTERLINE OF
SOUTHERN NATURAL GAS RIGHT OF WAY

(LOT NO. 3)

(LOT NO. 4)

LA HIGHWAY NO. 1081
(STAFFORD ROAD)

N01°02'28"W 37.72'

N01°02'28"W 206.52'

S08°46'13"W 39.91'

N79°40'51"W 140.90'

N79°17'16"W 79.79'

N01°03'54"W 167.24'

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LEGEND

- ⊗ = LHC MONUMENT FOUND
- ⊙ = FENCE CORNER POST FOUND
- ⊕ = 3/4" IRON PIPE FOUND
- ⊗ = 1/2" IRON PIPE FOUND
- ⊙ = 1/2" IRON ROD FOUND
- ⊕ = 1/2" IRON ROD SET

APPROVAL:

CHAIRMAN PARISH PLANNING DEPARTMENT

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

SECRETARY OF THE PARISH PLANNING DEPARTMENT

CLERK OF COURT

DATE FILED

FILE NO.

503 N. JEFFERSON AVENUE
COVINGTON, LA 70433

JOHN G. CUMMINGS & ASSOCIATES

PROFESSIONAL LAND SURVEYORS

PHONE (985) 892-1549

FAX (985) 892-9250

PLAT PREPARED FOR: ANN CERNIGLIA

SHOWING A SURVEY OF: AN AMENDED MINOR SUBDIVISION OF 23.717 ACRES BEING
PARCELS B-1 & B-2 (MAP FILE NO. 5851B) INTO PARCELS B-1A & B-2A,
LOCATED IN SECTION 36, TOWNSHIP 5 SOUTH, RANGE 11 EAST & SECTION
1, TOWNSHIP 6 SOUTH, RANGE 11 EAST, ST. TAMMANY PARISH, LOUISIANA.

THIS PLAT REPRESENTS A PHYSICAL SURVEY MADE ON
THE GROUND BY ME, OR THOSE UNDER MY DIRECTION,
AND CONFORMS TO THE MINIMUM STANDARD FOR
PROPERTY BOUNDARY SURVEYS FOR THE STATE
OF LOUISIANA, AND BEARS A CLASS C SURVEY.

PROFESSIONAL LAND SURVEYOR



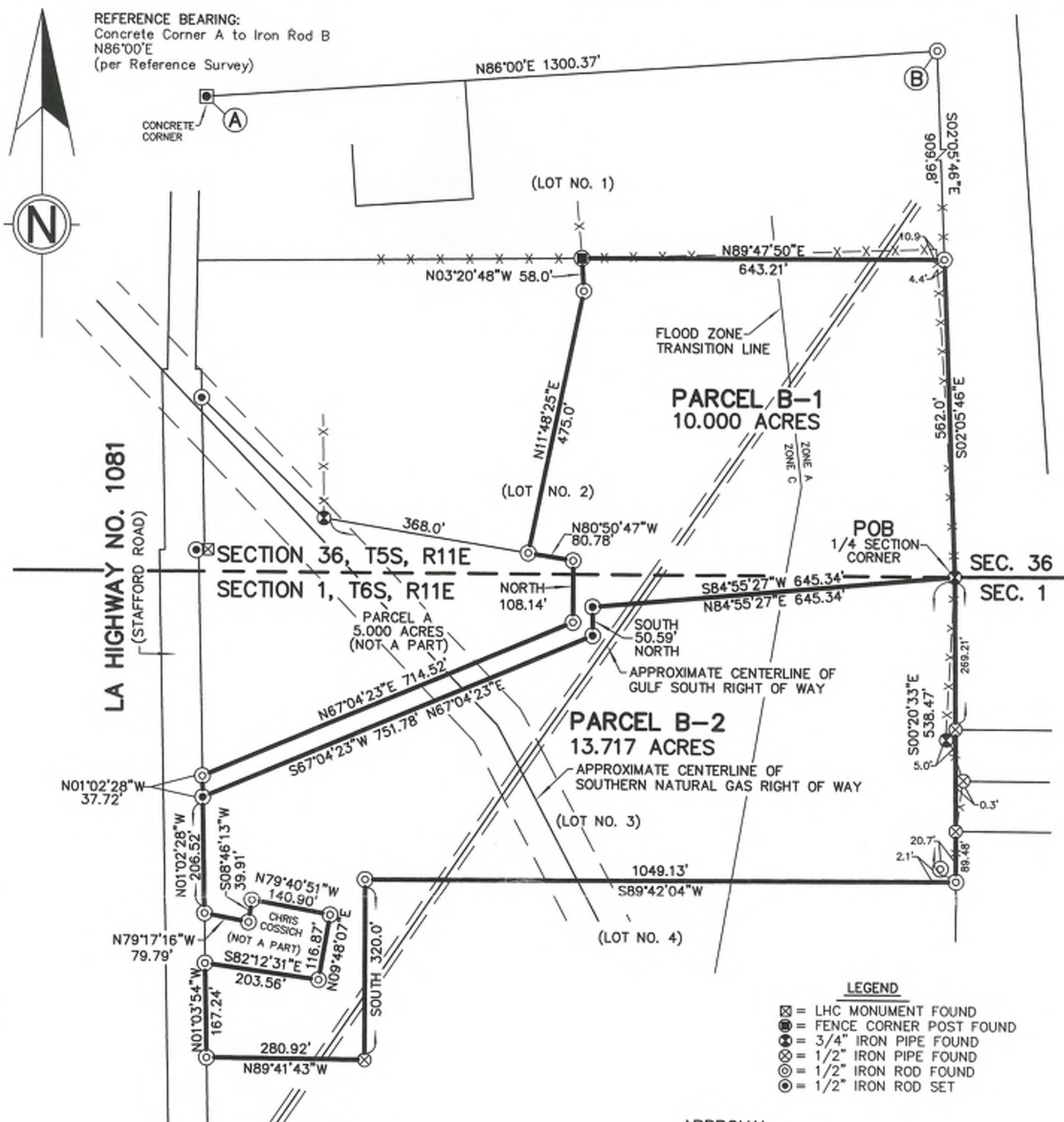
SCALE: 1" = 200'

JOB NO. 11039-C

DATE: 09/30/2020

REVISED:

REFERENCE BEARING:
Concrete Corner A to Iron Rod B
N86°00'E
(per Reference Survey)



NOTE:

This property is located in Flood Zones A & C, per F.E.M.A. Map No. 225205 0150 C, dated October 17, 1989.

REFERENCE SURVEY:

Survey for Marion Reiling by John G. Cummings, Surveyor, dated March 7, 2011, filed St. Tammany Parish Clerk of Court Map File No. 49730.

THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND/OR RESTRICTIONS HAVE BEEN SHOWN HEREON. ANY SERVITUDES AND/OR RESTRICTIONS SHOWN ON THIS PLAT ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION AND/OR INFORMATION FURNISHED THE UNDERSIGNED. A TITLE OR PUBLIC RECORD SEARCH FOR SUCH INFORMATION WAS NOT MADE BY THE UNDERSIGNED IN COMPILING DATA FOR THIS SURVEY.

APPROVAL:

[Signature]
CHAIRMAN PARISH PLANNING DEPARTMENT

[Signature]
DIRECTOR OF THE DEPARTMENT OF ENGINEERING

[Signature]
SECRETARY OF THE PARISH PLANNING DEPARTMENT

[Signature]
CLERK OF COURTS
Shana Tranchant, Deputy Clerk

06-10-2019
DATE FILED

5851B
FILE NO.

503 N. JEFFERSON AVENUE
COVINGTON, LA 70433

JOHN G. CUMMINGS & ASSOCIATES
PROFESSIONAL LAND SURVEYORS

PHONE (985) 892-1549
FAX (985) 892-9250

PLAT PREPARED FOR: **Marion Reiling**

SHOWING A SURVEY OF: AN AMENDED MINOR SUBDIVISION OF 23.717 ACRES BEING PARCEL B INTO PARCELS B-1 & B-2, LOCATED IN SECTION 36, TOWNSHIP 5 SOUTH, RANGE 11 EAST & SECTION 1, TOWNSHIP 6 SOUTH, RANGE 11 EAST, ST. TAMMANY PARISH, LOUISIANA.

THIS PLAT REPRESENTS A PHYSICAL SURVEY MADE ON THE GROUND BY ME, OR THOSE UNDER MY DIRECTION, AND CONFORMS TO THE MINIMUM STANDARD FOR PROPERTY BOUNDARY SURVEYS FOR THE STATE OF LOUISIANA, AND BEARS A CLASS C SURVEY.

[Signature]
PROFESSIONAL LAND SURVEYOR



SCALE: 1" = 200'

JOB NO. 11039-B

DATE: 1/15/2019

REVISED:

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MINOR SUBDIVISION STAFF ANALYSIS REPORT

(As of November 10, 2020)

Meeting Date: November 10, 2020

CASE NO.: 2020-2110-MSP

OWNER/DEVELOPER: Star Acquisitions, LLC - Vincent P. Centanni

ENGINEER/SURVEYOR: Kelly McHugh & Associates, Inc.

SECTION: 30

TOWNSHIP: 6 South

RANGE: 12 East

WARD: 10

PARISH COUNCIL DISTRICT: 6

TYPE OF DEVELOPMENT: X SUBURBAN (Residential acreage between 1-5 acres)
 RURAL (Low density residential 5 acres or more)
 OTHER (PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: North side of Prats Road, east of LA Highway 59, Abita Springs, Louisiana

SURROUNDING LAND USES: Undeveloped & Residential

TOTAL ACRES IN DEVELOPMENT: 7.35 acres

NUMBER OF LOTS/PARCELS: 1 parcel into 5 parcels: Parcel B-3 into Parcels B-3A, B-3B, B-3C, B-3D & B-3E

ZONING: A-2 Suburban Zoning District

STAFF COMMENTARY:

Department of Development – Planning & Engineering

The applicant is requesting to create five (5) parcels from Parcel B-3. The minor subdivision request requires a public hearing due to:

- Parcel B-3 was part of a minor subdivision approved in August 2018 (2018-1170-MSA).
- Parcels B-3B, B-3C, B-3D & B-3E do not have Parish Road Frontage and are proposed to be accessed via a private road.
- The proposed name of the access shall be depicted on the survey plat, and shall be granted approval by the Planning Commission. The proposed access name “Franco Road” has been submitted and approved by St. Tammany Parish Communication District.
- Requesting a waiver to construct the 35’ access servitude and the required drainage prior to building permit being issued instead of prior to plats being recorded.

The request shall be subject to the below comments:

1. Confirm that the calculation for the area of parcels B-3A, B-3B & B-3C are exclusive of the proposed private drive.
2. Survey is amended to include a reference to previously approved minor subdivision: 2018-1170-MSA.
3. Amend survey as follow “~~Resubdivision~~ Minor Subdivision of Parcel B-3...”.
4. Approval of the proposed private access road name: “Franco Road”.
5. The proposed name of the access “Franco Road” shall be depicted on the survey plat.

6. Remove the note "25' Building setback".
7. Add arrows to show original boundaries of Lot B-3.
8. Submit plans of proposed "Franco Road" to the Department of Engineering for review and approval.
9. Franco Road is subject to Section 125-189 - Minimum construction standards for a private drive (listed below), by the Planning Commission:
 - a. Perpetual servitude of access with a minimum width of 35 feet.
 - b. Driving surface of 20 feet in width with two-foot shoulders on each side of the drive and 5½ feet on each side of the shoulder devoted to ditching/drainage and or utilities.
 - c. Drive shall be constructed with suitable compacted subbase materials and overlaid with an aggregate material (i.e., shell, gravel, limestone, three-course treatment, asphalt, concrete, etc.) that is acceptable to the Department of Engineering.
 - d. Ditch or ditches shall be constructed on either one or both sides of a drive in accordance to standard practices adopted by the department of engineering in order to provide adequate drainage.
 - e. Plans for the construction of the private drive and drainage submitted to the Department of Engineering for review and approval prior to the initiation of work.
 - f. Final inspection of the work performed by the Department of Engineering, after the private drive has been constructed and drainage improvements made.
 - g. Once the private drive has been constructed and all drainage improvements completed and approved by the Department of Engineering, then, and only then can the minor subdivision be recorded for public record in the clerk of court's office and the lots sold or donated.
- 10.

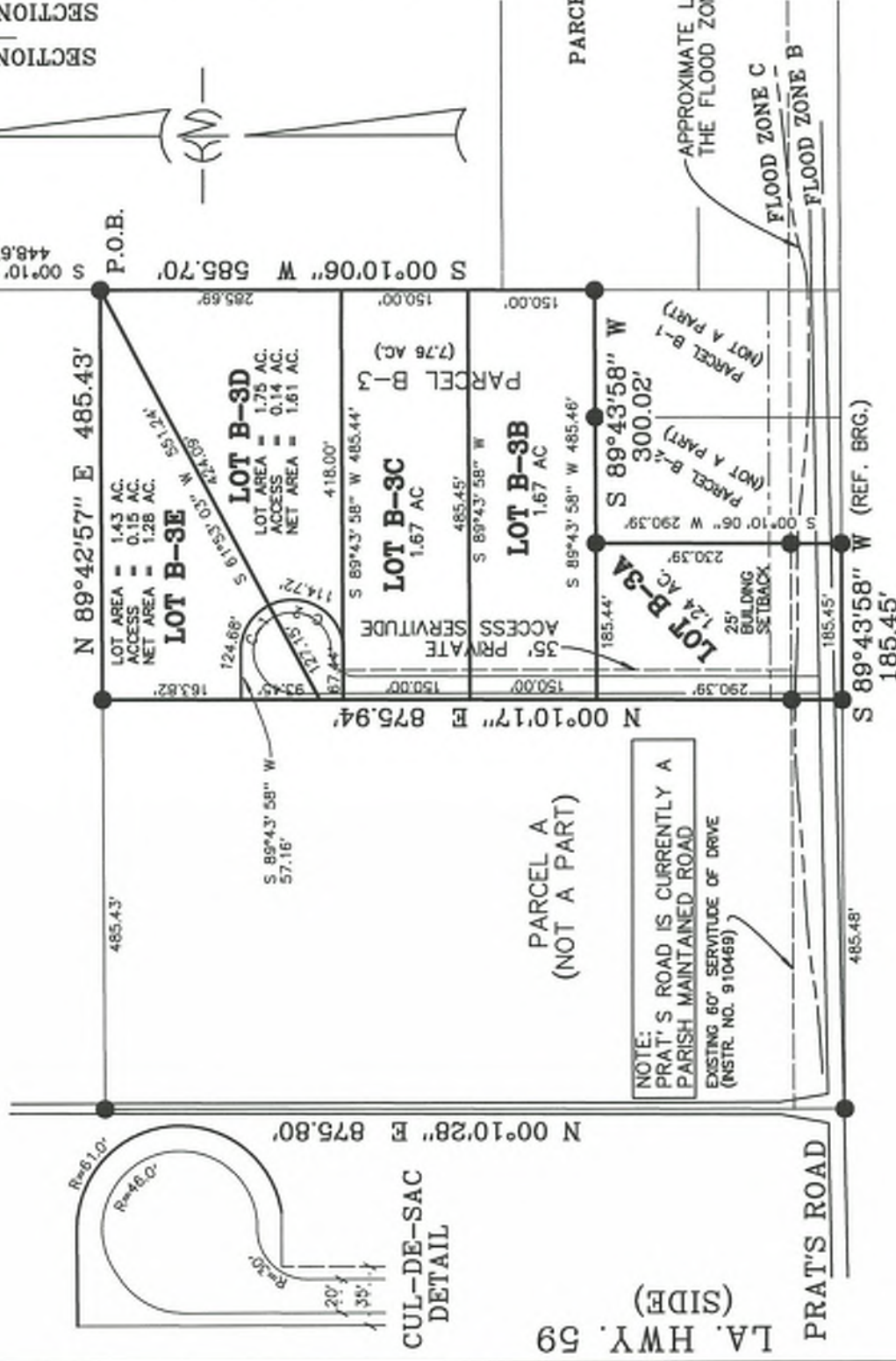
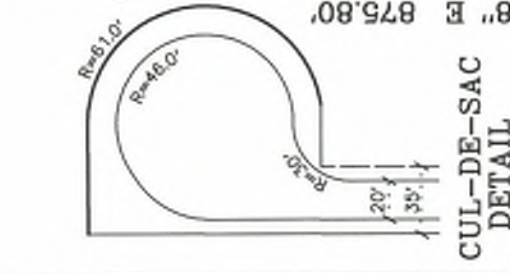
In order to approve the waivers a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 - Subdivision Regulations.

LEGEND:

- = 1/2" IRON ROD FOUND
- = 1/2" IRON ROD SET

CURVE DATA CHART

C-1 - R=61.00' L=67.52' Ch=N 58°33'18" W 64.13'
C-2 - R=61.00' L=114.72' Ch=N 27°02'07" E 98.55'



L.A. HWY. 59 (SIDE)

- NOTES:
- ALL NEW LOT CORNERS MARKED WITH 1/2" IRON RODS.
 - THIS PROPERTY IS LOCATED IN FLOOD ZONES B & C, RE: FIRM PANEL NO. 225205 0235 C LAST REVISED 10-17-89

1/4 CORNER COMMON TO SECTIONS 29 & 30, T-6-S, R-12-E, G.L.D., ST. TAMMANY PARISH, LA.

APPROVAL:

CHAIRMAN PARISH PLANNING COMMISSION

SECRETARY PARISH PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

DATE FILED FILE NO.

CLERK OF COURT

PARCEL B-3

REFERENCE: PLAT OF A RESUBDIVISION BY JOHN E. BONNEAU & ASSOCIATES, INC. FILED 09-08-2008 AS MAP NO. 47190.

NOTE: NO ATTORNEY HAS BEEN MADE BY KELLY J. McHUGH & ASSOC., INC. TO VERIFY TITLE, ACTUAL, LEGAL, EASEMENTS, RIGHTS OF WAY, EED, RESTRICTIONS, ETC., AND/OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT.



CERTIFIED TO BE IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND AND COMPLYING WITH THE CURRENT APPLICABLE STANDARDS OF PRACTICE FOR A CLASS "C" SURVEY. RED STAMP SIGNIFIES CERTIFIED PLAT.

A RESUBDIVISION OF PARCEL B-3 INTO PARCELS B-3A, B-3B, B-3C, B-3D & B-3E ALL IN SECTION 30, T-6-S, R-12-E, G.L.D., ST. TAMMANY PARISH, LA.

SCALE: 1" = 200' DATE: 10-14-20 JOB NO.: 18-230-B3 RESUB DRAWN: DRJ REVISED:

KELLY J. McHUGH & ASSOC., INC. CIVIL ENGINEERS & LAND SURVEYORS 845 GALVEZ ST., MANDEVILLE, LA. 70481-5611

VINCENT CENTANNI PREPARED FOR:

MINOR SUBDIVISION STAFF ANALYSIS REPORT

(As of November 4, 2020)

Meeting Date: November 10, 2020

CASE NO.: 2020-2112-MSP

OWNER/DEVELOPER: Patricia Venturella, Joyce M. Castleman & Holly D. Morales

ENGINEER/SURVEYOR: John E. Bonneau & Associates, Inc.

SECTION: 33

TOWNSHIP: 7 South

RANGE: 12 East

WARD: 4

PARISH COUNCIL DISTRICT: 7

TYPE OF DEVELOPMENT: X SUBURBAN (Residential acreage between 1-5 acres)
 RURAL (Low density residential 5 acres or more)
 OTHER (PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: End of Loretta Drive, south of LA Highway 1088 & Interstate 12, Mandeville, Louisiana

SURROUNDING LAND USES: Undeveloped & Residential

TOTAL ACRES IN DEVELOPMENT: 5.69 acres

NUMBER OF LOTS/PARCELS: 4 parcels: Parcels A, B, C & 1.61 acres into Parcels A, B, C & D

ZONING: A-2 Suburban Zoning District

STAFF COMMENTARY:

Department of Development – Planning & Engineering

The applicant is requesting to create four (4) parcels from Parcels A, B, C & 1.61 acres into Parcels A, B, C & D. The minor subdivision request requires a public hearing due to:

- Parcels A, B, C & D do not have Parish Road Frontage and are proposed to be accessed via a private road.
- Request by applicants/property owners to waive the Minimum Construction standards for a provided drive, required per Section 125-189 (see attached request), requiring a waiver from the Planning Commission.
- Parcel D does not meet the minimum lot width of 150 feet required under the A-2 Suburban Zoning District, requiring a waiver from the Planning Commission.

The request shall be subject to the below comments:

1. Provide signature line for the Chairman of the Planning Commission.
2. Confirm, as shown on the plat that the existing 30 foot drainage and utility servitude shown is requested to be revoked and provide reason. If requested to be revoked, remove from survey.
3. Provided signed maintenance agreement from all existing and future property owners.
4. Submit plans for “Loretta Drive 60’ Private Drive” to the Department of Engineering for review and approval.
5. “Loretta Drive - 60’ Private Drive” is subject to Section 125-189 - Minimum construction standards for a private drive (listed below), by the Planning Commission:
 - a. Perpetual servitude of access with a minimum width of 35 feet.

- b. Driving surface of 20 feet in width with two-foot shoulders on each side of the drive and 5½ feet on each side of the shoulder devoted to ditching/drainage and or utilities.
- c. Drive shall be constructed with suitable compacted subbase materials and overlaid with an aggregate material (i.e., shell, gravel, limestone, three-course treatment, asphalt, concrete, etc.) that is acceptable to the Department of Engineering.
- d. Ditch or ditches shall be constructed on either one or both sides of a drive in accordance to standard practices adopted by the department of engineering in order to provide adequate drainage.
- e. Plans for the construction of the private drive and drainage submitted to the Department of Engineering for review and approval prior to the initiation of work.
- f. Final inspection of the work performed by the Department of Engineering, after the private drive has been constructed and drainage improvements made.
- g. Once the private drive has been constructed and all drainage improvements completed and approved by the Department of Engineering, then, and only then can the minor subdivision be recorded for public record in the clerk of court's office and the lots sold or donated.

In order to approve the waivers a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 - Subdivision Regulations.



30.225 ACRES

APPROVALS:

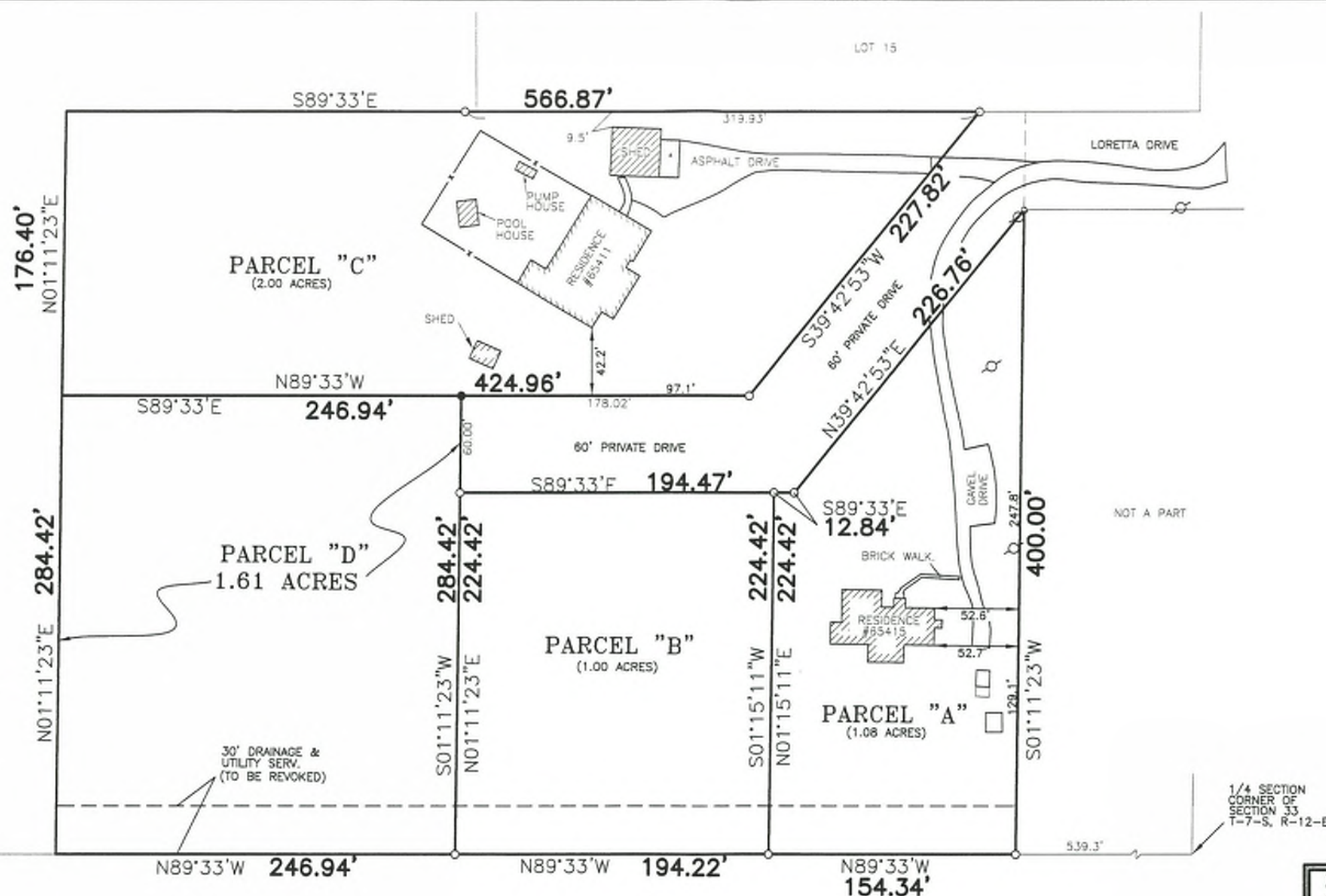
SECRETARY - ST. TAMMANY PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

CLERK OF COURT

DATE FILED

MAP FILE NO.



○ = 1/2" IRON PIPE FOUND
● = 1/2" IRON ROD SET

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ALL RIGHTS RESERVED
JOHN E. BONNEAU & ASSOCIATES, INC.

REFERENCE SURVEY:
A Survey Map by this firm having Survey No. 96265, dated April 4, 1996.

BASIS FOR BEARINGS/ANGLES:
The Reference Survey.

NOTE: This is to certify that I have done an actual ground survey and found that no encroachments exist either way across any property lines except as shown.

BUILDING SETBACKS

FRONT: N/A
SIDE: N/A
SIDE STREET: N/A
REAR: N/A

Survey No. 2020 1499A Drawn by: JWS Scale: 1" = 80'
Date: OCTOBER 14, 2020 Revised:

FLOODZONE NOTE: This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described is located in Flood Zone(s) "C" with a Base Flood Elevation of N/A in accordance with Community Panel No. 225205 0245 C; Revised: OCTOBER 17, 1989

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL; AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS "C" SURVEY.

JOHN E. BONNEAU & ASSOCIATES, INC.

JEBCO
A LOWE COMPANY
Professional Land Surveyors
Planners and Consultants

1011 NORTH CAUSEWAY BLVD., SUITE 34
MANDEVILLE, LA 70471
OFFICE NO. (985)845-1012
FAX NO. (985)845-1778
www.JEBCOLandSurveying.com
e-mail: info@jebcosurvey.com

NOTE: Setback lines shall be verified by owner and/or contractor prior to any construction, as an abstract has not been performed by the undersigned.

NOTE: Servitudes shown hereon are not necessarily exclusive. Servitudes of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.

This Survey is Certified
True and Correct By

JOHN E. BONNEAU
LICENSE NO. 2423
PROFESSIONAL

John E. Bonneau
Professional Land Surveyor
Registration No. 4423

A MINOR RESUBDIVISION MAP OF
PARCELS "A", "B", "C", & A 1.61 ACRE PARCEL,
into
PARCELS "A", "B", "C", "D"
situated in
Section 33, Township 7 South, Range 12 East,
St. Tammany Parish, Louisiana
for
PATRICIA VENTURELLA

October 12, 2020

Patricia Venturella
1220 Fairfield Dr.
Mandeville, La 70448
Phone: 985-626-5004

► **St. Tammany Parish**
Planning & Zoning Commission
21454 Koop Dr. Bldg. B Ste 1B
Mandeville, La 70471

Attn: Chairperson

Dear Sir/Madame:

Pursuant to Section 125-224 Waiver of Regulations of Subdivision Regulations Chapter 125 I am submitting this request for a waiver to the subdivision regulations.

This is an un-named subdivision at the end of Loretta Dr, past V&L Acres Estates, (near Hwy. 1088). In 1996 I created 3 parcels "A, B & C", each approximately 1 acre in size, and a private drive with a 60' wide servitude of access to access these, at the end of Loretta Dr.. In 1996 my daughter obtained Parcel "A" and built a single-family home constructed a gravel driveway to connect to Loretta Dr., in accordance with the regulations in place at the time. Parcel C was later sold to Mr. & Mrs. Castleman and they built a single-family home and also connected their driveway to Loretta through the servitude and driveway, also in accordance with the regulations at that time. Some time later the Castlemans acquired additional property from me and added it to their Parcel "C". In 2002 I sold the bordering 30.225 Acres, leaving a remaining 1.6 ac parcel between Parcels "B" & "C", which is legally connected, but detached to a larger portion of remaining property.

Now, Mrs. Castleman's son would like to purchase the 1.6 ac property to build a single-family home. He will also use the existing private drive to connect to his lot, The new subdivision regulations passed require a much larger 20' roadway than what the 2 parcels already have which would be prohibitively expensive considering the length of the driveway required (over 400 feet), and would also require me to upgrade the portion of the driveway which was constructed 24 years ago. Widening of the existing portion of the driveway will also require removing several large established trees (one is a live oak tree). This existing servitude of access will only be for these 4 properties.

In addition, the buyer, Mr. Castleman, will construct his own driveway, but does not want to do it until he has purchased the property, which requires the resubdivision first.

Therefore, we respectfully request a waiver to all of the Subdivision Regulations Chapter 125, Private Drive Construction Requirements, Sec. 125-189 Minimum Construction Standards for a private Drive, including:

- 20' driving surface with 2 ft. shoulders on each side
- The ditches on both sides of the driveway
- Submittal of plans for the private drive and drainage
- Requirement that the private drive be constructed and approved prior to the approval of the resubdivision plan

In For purposes of communication, you may contact my daughter Holly Morales, 985-264-4406,
holly@moralesmusic.com.

Sincerely,



Patricia Venturella, Owner

October 12, 2020

Patricia Venturella

1220 Fairfield Dr.
Mandeville, La 70448
Phone: 985-626-5004

▶ **St. Tammany Parish**
Dept of Planning & Development

21454 Koop Dr. Bldg. B Ste 1B
Mandeville, La 70471

Attn: Mr. Ross Liner, Director

Dear Mr. Liner,:

I own the property, known as a parcel of ground in Section 33, T-7-S, R-12-E, St. Tammany Parish, located off of the end of Loretta Dr. The parcel is identified as Parcel "D" on the new resubdivision survey by John Bonneau, and contains approximately 1.6 acres, and abuts existing parcels "C" and "B". This property is part of a larger parcel which I own. I wish to sell only this portion, therefore I am asking for a resubdivision so a lot of record can be created to be sold. Access to this parcel will be through an existing 60' private servitude which serves existing Parcels "A", "B", and "C".

For purposes of communication, you may contact my daughter Holly Morales, 985-264-4406,
holly@moralesmusic.com.

Sincerely,


Patricia Venturella

FINAL APPROVAL

DIR. DEPT. OF ENGINEERING

SECRETARY PLANNING COMM.

CLERK OF COURT

DATE

FILE NO.

A Minor Subdivision of an 15.17 Acre Parcel of Land, into Parcels A & B, situated in Sections 22 & 27, T-5-S, R-11-E, St. Tammany Parish, La.

Reference: A survey map of subject property by Jeron Fitzmorris, Dated 4-21-1989, #5006

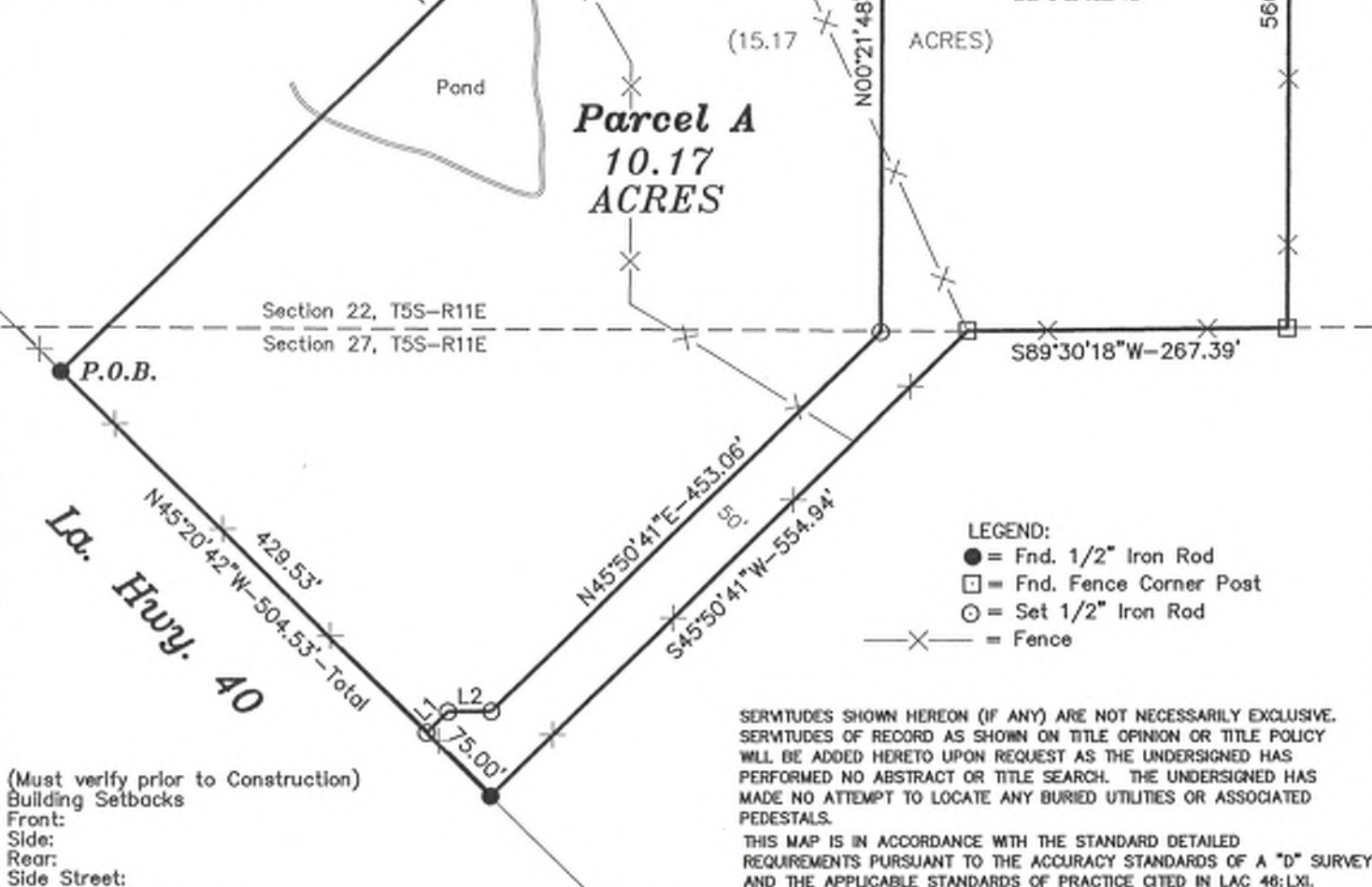
Reference calls not shown

Bearings refer to the Louisiana State Plane Coordinate System (1702 La. South) and was observed by GPS

The P.O.B. is reported to be N89°42'E-220.3'; S43°31'E-33.66' from the Section Corner common to Sections 21, 22, 27 & 28, T-5-S, R-11-E, St. Tammany Parish, La.

Line Table:

L1=N45°50'41"E-25.00'
L2=N89°39'18"E-36.09'



(Must verify prior to Construction)

Building Setbacks

Front:

Side:

Rear:

Side Street:

MAP PREPARED FOR **MATTHEW & KELSEY GREENE**

SHOWN A SURVEY MADE OF PROPERTY LOCATED IN SECTIONS 22 & 27, T-5-S, R-11-E, ST. TAMMANY PARISH, LA.

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED: SIGNATURE AND STAMPED SEAL MUST BE IN RED OR THIS PLAT IS NOT A TRUE COPY. CERTIFIED CORRECT

LAND SURVEYING LLC

518 N. Columbia Street, Covington, LA 70433
(985) 842-6277 office (985) 848-0355 fax
landsurveyingllc@gmail.com

Bruce M. Butler, III
BRUCE M. BUTLER, III
LOUISIANA PROFESSIONAL LAND SURVEYOR
LICENSE NO. 4694

SCALE:

1" = 150'

DATE:

10-15-2020

NUMBER

20064

Terr./MatthewGreene

MINOR SUBDIVISION STAFF ANALYSIS REPORT

(As of November 4, 2020)

Meeting Date: November 10, 2020

CASE NO.: 2020-2114-MSP

OWNER/DEVELOPER: JFS Business Park, LLC, Industrial Drive, LLC & Southeast Investments, LLC - Christopher R. Jean

ENGINEER/SURVEYOR: Kelly McHugh & Associates, Inc.

SECTION: 27

TOWNSHIP: 8 South

RANGE: 14 East

WARD: 8 & 9

PARISH COUNCIL DISTRICT: 14

TYPE OF DEVELOPMENT: _____ SUBURBAN (Residential acreage between 1-5 acres)
_____ RURAL (Low density residential 5 acres or more)
 X OTHER (PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: west side of US Highway 11, on the south side of Fricke Road and on the south side of J.F. Smith Avenue, Slidell.

SURROUNDING LAND USES: Undeveloped

TOTAL ACRES IN DEVELOPMENT: 19.41 acres

NUMBER OF LOTS/PARCELS: 1 parcel: Parcels A, B, C, BV-2 & Lot 44-A1 into Parcel ACG-1

ZONING: I-1 & I-2 Industrial & HC-3 Highway Commercial Zoning Districts

STAFF COMMENTARY:

Department of Development – Planning & Engineering

The applicant is requesting to create one (1) parcel from Parcels A, B, C, BV-2 & Lot 44-A1 into Parcel ACG-1. The minor subdivision request requires a public hearing due to:

- Parcels A, B & C and BV-2 were part of a minor subdivisions approved in March 2020 & in August 2011 (2020-1778-MSA & MS07-08-065).

The request shall be subject to the above and below comments:

In order to approve the waivers a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 - Subdivision Regulations.

THIS PROPERTY IS LOCATED IN FLOOD ZONES A1 & C; BASE FLOOD ELEV. 18.0' M.S.L.; F.I.R.M. PANEL NO. 225205 0410 D; REV. 04-21-99.

JOHNNY F. SMITH BLVD.

APPROVAL:

CHAIRMAN PARISH PLANNING COMMISSION

SECRETARY PARISH PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

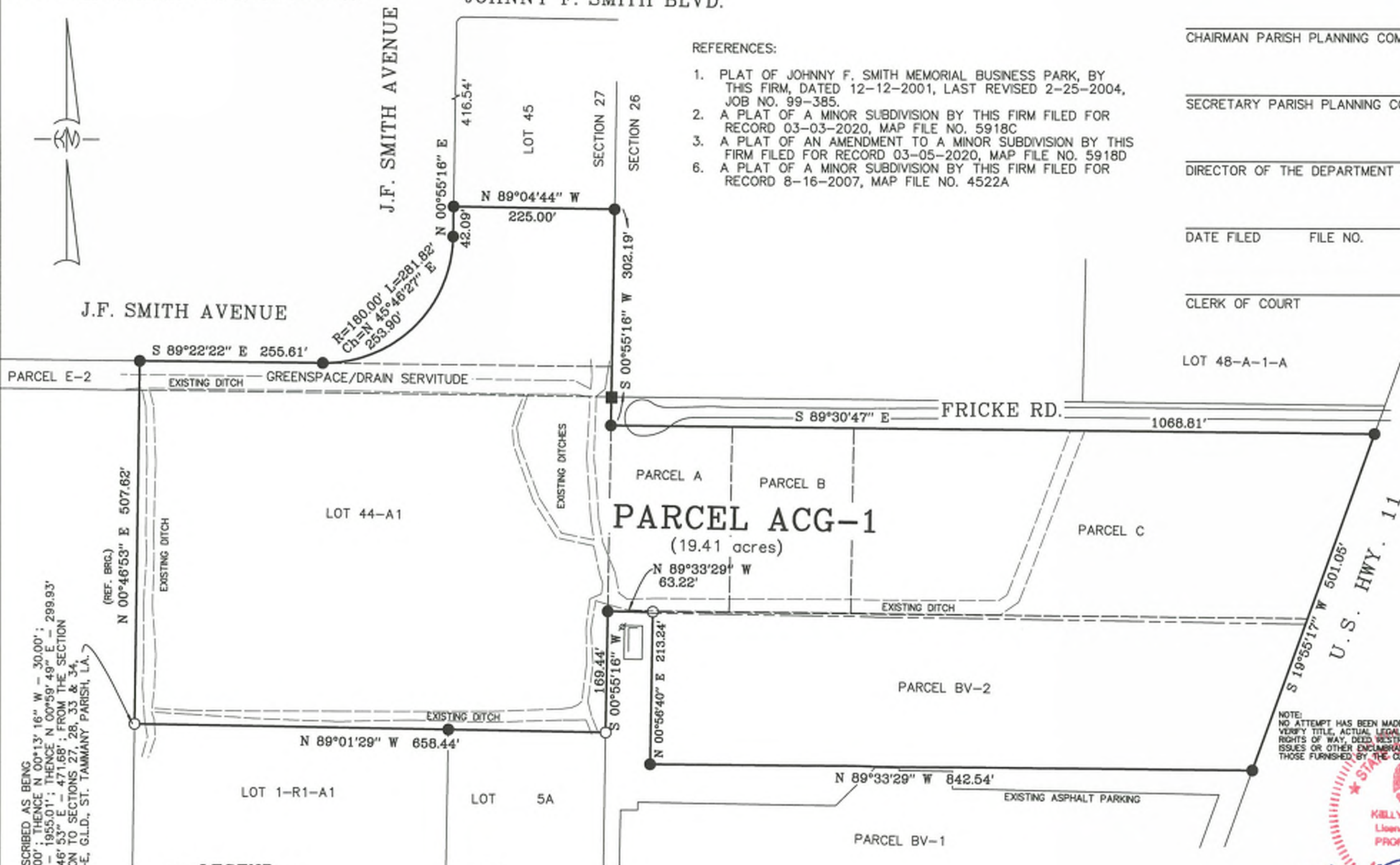
DATE FILED FILE NO.

CLERK OF COURT

LOT 48-A-1-A

REFERENCES:

1. PLAT OF JOHNNY F. SMITH MEMORIAL BUSINESS PARK, BY THIS FIRM, DATED 12-12-2001, LAST REVISED 2-25-2004, JOB NO. 99-385.
2. A PLAT OF A MINOR SUBDIVISION BY THIS FIRM FILED FOR RECORD 03-03-2020, MAP FILE NO. 5918C
3. A PLAT OF AN AMENDMENT TO A MINOR SUBDIVISION BY THIS FIRM FILED FOR RECORD 03-05-2020, MAP FILE NO. 5918D
6. A PLAT OF A MINOR SUBDIVISION BY THIS FIRM FILED FOR RECORD 8-16-2007, MAP FILE NO. 4522A



MINOR SUBDIVISION

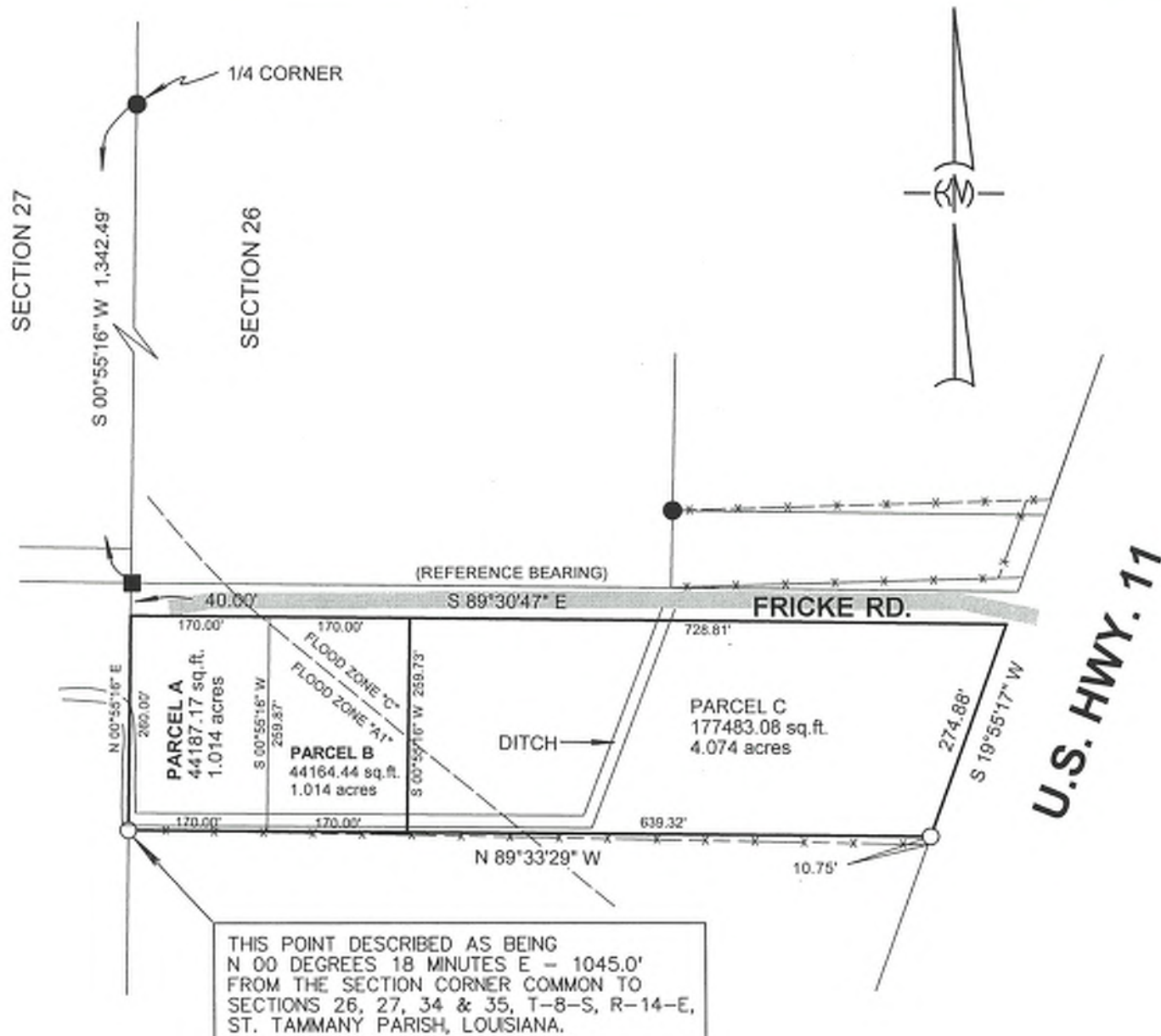
PARCELS A, B, & C OF AN EXISTING MINOR SUBD., PARCEL BV-2 OF AN EXISTING MINOR SUBD. AND LOT 44-A1 OF JOHNNY F. SMITH MEMORIAL BUSINESS PARK INTO PARCEL ACG-1, IN SECTION 27, T-8-S, R-14-E, GREENSBURG LAND DISTRICT, ST. TAMMANY PARISH, LA.

PREPARED FOR:

JFS BUSINESS PARK, LLC, AND INDUSTRIAL PARK, LLC,

KELLY J. McHUGH & ASSOC., INC.
CIVIL ENGINEERS & LAND SURVEYORS
845 GALVEZ ST., MANDEVILLE, LA. 70401-5611

SCALE: 1" = 150'
DATE: 10-01-20
DRAWN: DRJ
JOB NO.: 19-455
REVISED:



APPROVALS

Ron Kelle

SECRETARY PLANNING COMMISSION

PARISH ENGINEER

8-16-2007 4522 A

DATE FILED FILE NO.

CLERK OF COURT

-- LEGEND --

- = 1" IRON PIPE FOUND
- = 1/2" IRON ROD FOUND
- = 1/2" IRON ROD SET

THIS PROPERTY IS LOCATED IN FLOOD ZONES A1 & C; BASE FLOOD ELEV. 18.0' M.S.L.; F.I.R.M. PANEL NO. 225205 0410 D; REV. 04-21-99.

NOTE: SERVITUDES SHOWN HEREON ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST, AS SURVEYOR HAS NOT PERFORMED ANY TITLE SEARCH OR ABSTRACT.



KELLY J. McHUGH REG. NO. 4443

CERTIFIED CORRECT AND IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND AND COMPLYING WITH THE CURRENT APPLICABLE STANDARDS OF PRACTICE FOR A CLASS "B" SURVEY. RED STAMP SIGNIFIES CORRECT PLAT.

REFERENCES:

1. SURVEY BY LAMAR P. HARRISON, DATED 5-29-1963.
2. SURVEY BY D & S SURVEYORS, INC., DATED 4-11-2001, JOB NO. 01-50.
3. PLAT OF JOHNNY F. SMITH MEMORIAL BUSINESS PARK, BY THIS FIRM, DATED 12-12-2001, LAST REVISED 2-25-2004, JOB NO. 99-385.
4. SURVEY BY THIS FIRM DATED 5-26-04, JOB NO. 04-163.
5. SURVEY BY JOHN H. SOLIBERGER, DATED 4-28-1959, SURVEY NO. 2247.

MINOR SUBDIVISION OF:

6.103 ACRES
SECTION 26, T-8-S, R-14-E,
ST. TAMMANY PARISH, LA.

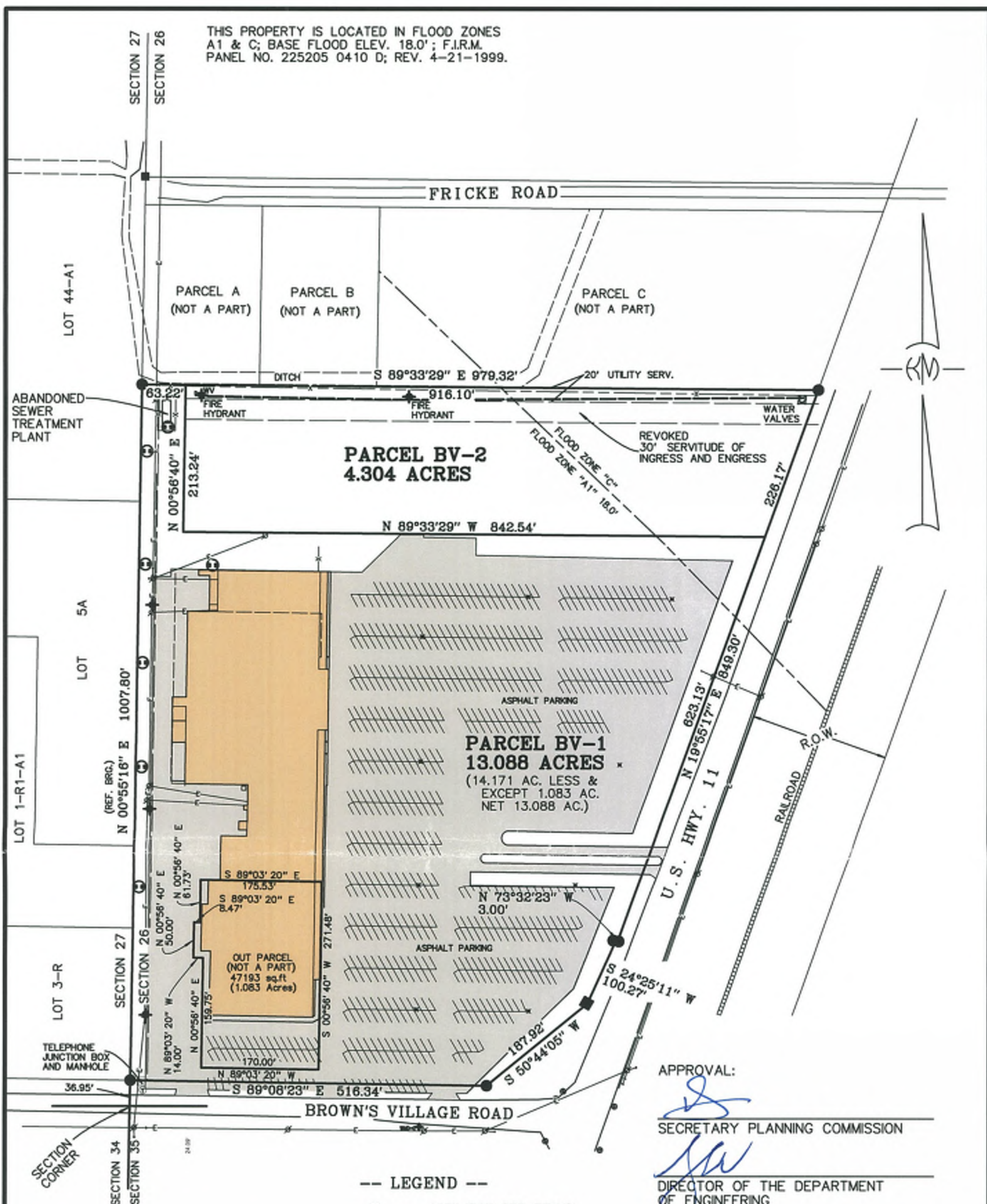
PREPARED FOR:

CRHGZH, L.L.C.

KELLY J. McHUGH & ASSOC., INC.
CIVIL ENGINEERS & LAND SURVEYORS
845 GALVEZ ST., MANDEVILLE, LA. 626-5611

SCALE: 1" = 200'	DATE: 05-31-2007
DRAWN: R.F.D.	JOB NO.: 04-229-S
REVISED:	lots2004/A04-229-SUBD.scj

THIS PROPERTY IS LOCATED IN FLOOD ZONES
A1 & C; BASE FLOOD ELEV. 18.0'; F.I.R.M.
PANEL NO. 225205 0410 D; REV. 4-21-1999.



NOTE:
THE OUT PARCEL HAS LEGAL AND PHYSICAL
ACCESS VIA GRANT OF SERVITUDE DATED
AUGUST 22, 1980 AND RECORDED AS COB 983, FOLIO 821

NOTE:
NO ATTEMPT HAS BEEN MADE BY KELLY McHUGH & ASSOC., INC. TO
VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS,
RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL
ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN
THOSE FURNISHED BY THE CLIENT.



[Signature]
Kelly J. McHugh, REG. NO. 4443

CERTIFIED TO BE IN ACCORDANCE WITH A PHYSICAL
SURVEY MADE ON THE GROUND AND COMPLYING WITH THE
CURRENT APPLICABLE STANDARDS OF PRACTICE FOR A CLASS
"C" SURVEY. RED STAMP SIGNIFIES CERTIFIED PLAT.

MINOR SUBDIVISION

A 17.329 ACRES PORTION OF
BROWNS VILLAGE PLAZA INTO
PARCELS BV-1 & BV-2, ALL IN
SECTION 26, T-8-S, R-14-E, G.L.D.,
ST. TAMMANY PARISH, LOUISIANA

PREPARED FOR:

BROWN'S VILLAGE PLAZA LLC,

KELLY J. McHUGH & ASSOC., INC.

CIVIL ENGINEERS & LAND SURVEYORS
845 GALVEZ ST., MANDEVILLE, LA. 626-5611

SCALE: 1" = 150' DATE: 01-09-20
DRAWN: DRJ JOB NO.: 04-229-07-294
REVISED: 02-10-20

APPROVAL:

[Signature]
SECRETARY PLANNING COMMISSION

[Signature]
DIRECTOR OF THE DEPARTMENT
OF ENGINEERING

03-03-2020 5918C
DATE FILED FILE NO.

[Signature]
CLERK OF COURT
Pamela M. Tripp, Deputy Clerk

REFERENCE:

1. A SURVEY OF BROWNS VILLAGE SQUARE, BY WILTON J. DUFRENE DATED 8-22-1980, REVISED 3-18-86. FROM WHICH SERVITUDES WERE TAKEN. NO SETBACKS SHOWN.
2. A MINOR SUBDIVISION OF 6.103 ACRES, BY THIS FIRM, DATED 5-31-2007, JOB NO. 04-229-S. NO SERVITUDE OR SETBACKS SHOWN.
3. DEED FILED IN THE ST. TAMMANY PARISH, CLERK OF COURT, COB 320, FOLIO 393; SEE REVOCATION OF THE 30' R/W IN ORDINANCE NO. 460 RECORDED AS COB 508, FOLIO 313.
4. SURVEY BY JOHN E. BONNEAU & ASSOC., INC., DATED 09-09-1996, SURVEY NO. 96963.
5. PLAT OF JOHNNY F. SMITH MEMORIAL PARK, BY THIS FIRM, FILED 06-13-2006, MAP FILE NO. 4230.

MINOR SUBDIVISION STAFF ANALYSIS REPORT

(As of November 4, 2020)

Meeting Date: November 10, 2020

CASE NO.: 2020-2117-MSP

OWNER/DEVELOPER: Allison Zinskie

ENGINEER/SURVEYOR: Land Surveying, LLC

SECTION: 16

TOWNSHIP: 8 South

RANGE: 13 East

WARD: 7

PARISH COUNCIL DISTRICT: 7

TYPE OF DEVELOPMENT: X SUBURBAN (Residential acreage between 1-5 acres)
 X RURAL (Low density residential 5 acres or more)
 _____ OTHER (PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: North side of N. Dixie Ranch Road, east of LA Highway 434, Lacombe, Louisiana.

SURROUNDING LAND USES: Undeveloped & Residential

TOTAL ACRES IN DEVELOPMENT: 9.9 acres

NUMBER OF LOTS/PARCELS: 2 parcels: 9.9 acres into Parcels A & B

ZONING: A-3 Suburban Zoning District

STAFF COMMENTARY:

Department of Development – Planning & Engineering

The applicant is requesting to create two (2) parcels from 9.9 acres. The minor subdivision request requires a public hearing due to:

- Parcel B is proposed to be accessed from a private 30-foot access servitude.

FINAL APPROVAL

CHAIRMAN OF PLANNING COMMISSION

DIR. DEPT. OF ENGINEERING

SECRETARY PLANNING COMM.

CLERK OF COURT

DATE

FILE NO.

A Minor Subdivision of a 9.90 Acre Parcel of Land, into Parcels A & B, situated in Section 16, T-8-S, R-13-E, St. Tammany Parish, La.

Reference: A Survey Map of Subject Property by Wilson-Pope, PLS, Dated 8-1-1988, for Albert Sommers

Reference calls not shown

Bearings were derived by Magnetic Compass

The P.O.B. is described as being N01°56'W-1383.0'; S89°00'W-340.4' from the 1/4 Corner Common to Sections 16 & 21, T-8-S, R-13-E, St. Tammany Parish, Louisiana (as per Angles shown on Reference)

LEGEND:

- = Fnd. 1/2" Iron Rod
- = Fnd. 1/2" Iron Pipe
- = Set 1/2" Iron Rod
- X— = Fence

(Must verify prior to Construction)
Building Setbacks
Front:
Side:
Rear:
Side Street:

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS.

THIS MAP IS IN ACCORDANCE WITH THE STANDARD DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A "D" SURVEY AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 48:IXI.

S89°37'06"E-330.20'

Parcel A
8.90 ACRES

Parcel B
1.00
ACRE

Approx.
Location

Res.

Bldg.

30' Access
Servitude

P.O.B.

S89°00'00"W-329.89'

N. Dixie Ranch Rd.

MAP PREPARED FOR **ALLISON ZINSKIE**

SHOWN A SURVEY MADE OF PROPERTY LOCATED IN SECTION 16, T-8-S, R-13-E, ST. TAMMANY PARISH, LOUISIANA

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED. SIGNATURE AND STAMPED SEAL MUST BE IN RED OR THIS PLAT IS NOT A TRUE COPY.

LAND SURVEYING LLC

518 N. Columbia Street, Covington, LA 70433
(985) 892-6277 office (985) 898-0355 fax
landsurveyingllc@gmail.com

STATE OF LOUISIANA
BRUCE M. BUTLER, III
CERTIFIED CORRECT NO. 4894
PROFESSIONAL
10-01-2020
BRUCE M. BUTLER, III
LOUISIANA PROFESSIONAL LAND SURVEYOR
LICENSE NO. 4894

SCALE:

1" = 50'

DATE:

9-8-2020

NUMBER:

20043

MINOR SUBDIVISION STAFF ANALYSIS REPORT

(As of November 4, 2020)

Meeting Date: November 10, 2020

CASE NO.: 2020-2118-MSP

OWNER/DEVELOPER: Succession of Kent M. Chatellier - Jennifer Chatellier

ENGINEER/SURVEYOR: John G. Cummings & Associates

SECTION: 1

TOWNSHIP: 8 South

RANGE: 11 East

WARD: 4

PARISH COUNCIL DISTRICT: 5

TYPE OF DEVELOPMENT: X SUBURBAN (Residential acreage between 1-5 acres)
 RURAL (Low density residential 5 acres or more)
 OTHER (PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: South side of Harry Lemons Road, east of LA Highway 59, Mandeville, Louisiana

SURROUNDING LAND USES: Undeveloped & Residential

TOTAL ACRES IN DEVELOPMENT: 2.167 acres

NUMBER OF LOTS/PARCELS: 2 parcels: 1.712 acres & 0.455 acres into Parcels A & B

ZONING: A-3 Suburban Zoning District

STAFF COMMENTARY:

Department of Development – Planning & Engineering

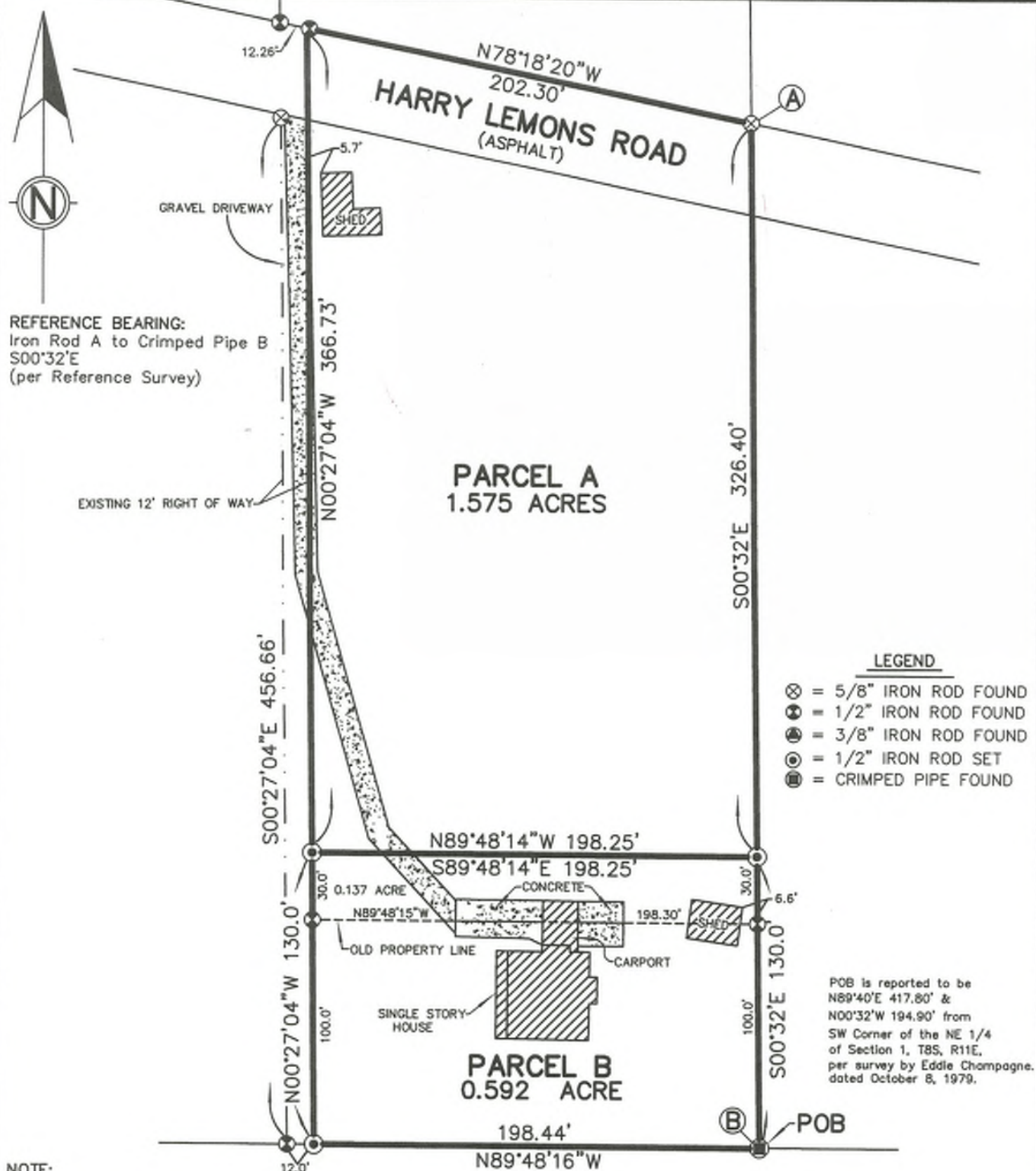
The applicant is requesting to create two (2) parcels from 1.712 acres & 0.455 acres. The objective of the request is to move the property line between Parcels A & B to allow for the existing residence to meet the setback and minimum allowable density under the A-3 Zoning District. The minor subdivision request requires a public hearing due to:

- Parcel B is proposed to be accessed via an existing 12 foot right of way.

The request shall be subject to the above and below comments:

1. Add the signature line for the Chairman of the Planning Commission.
2. Confirm that the existing 12 foot right of way is recorded and is to provide access to the residence located at 1860 Harry Lemons Road, since it is shown as being on an adjacent parcel of land or move the access completely onto Parcel A.

In order to approve the waivers a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 - Subdivision Regulations.



NOTE:

This property is located in Flood Zone C, per F.E.M.A. Map No. 225205 0245 C, dated October 17, 1989.

REFERENCE SURVEY:

Survey for Kent Chatellier, et al by John G. Cummings, Surveyor, dated September 13, 2013, Job No. 13189.

THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND/OR RESTRICTIONS HAVE BEEN SHOWN HEREON. ANY SERVITUDES AND/OR RESTRICTIONS SHOWN ON THIS PLAT ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION AND/OR INFORMATION FURNISHED THE UNDERSIGNED. A TITLE OR PUBLIC RECORD SEARCH FOR SUCH INFORMATION WAS NOT MADE BY THE UNDERSIGNED IN COMPILING DATA FOR THIS SURVEY.

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

SECRETARY OF THE PARISH PLANNING COMMISSION

CLERK OF COURT

DATE FILED

FILE NO.

(985) 892-1549

John G. Cummings and Associates
PROFESSIONAL LAND SURVEYORS

FAX (985) 892-9250

503 N. JEFFERSON AVENUE

COVINGTON, LA 70433

PLAT PREPARED FOR: **Kent Chatellier**

SHOWING A SURVEY OF: A MINOR SUBDIVISION OF 1.712 ACRES & 0.455 ACRE INTO PARCELS A & B, LOCATED IN SECTION 1, TOWNSHIP 8 SOUTH, RANGE 11 EAST, ST. TAMMANY PARISH, LOUISIANA.

THIS PLAT REPRESENTS A PHYSICAL SURVEY MADE ON THE GROUND BY ME, OR THOSE UNDER MY DIRECTION, AND IS IN ACCORDANCE WITH THE APPLICABLE STANDARDS OF PRACTICE AND BEARS A CLASS C SURVEY.

PROFESSIONAL LAND SURVEYOR



John G. Cummings

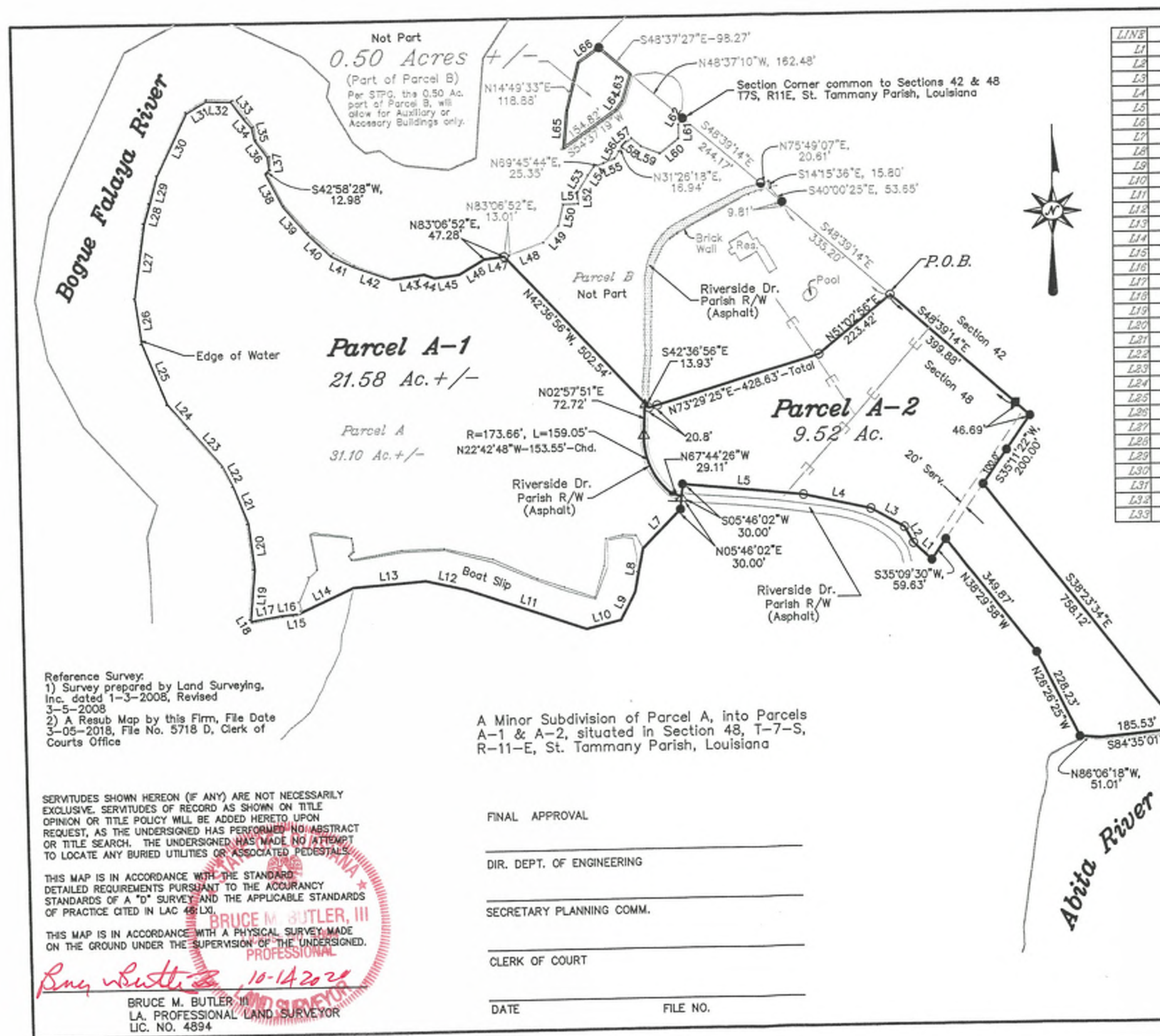
SCALE: 1" = 60'

JOB NO. 13189-D

DATE: 08/19/2020

REVISED:

- TYPE OF DEVELOPMENT: _____ SUBURBAN (Residential acreage between 1-5 acres)
 X RURAL (Low density residential 5 acres or more)
 _____ OTHER (PUD, Multi-family, commercial or industrial)



LINE	BEARING	DISTANCE
L1	N47°27'46"W	60.55'
L2	N29°21'47"W	44.11'
L3	N80°41'15"W	92.81'
L4	N77°26'30"W	166.11'
L5	N84°13'58"W	294.21'
L6	S05°46'02"W	60.00'
L7	S44°22'20"W	129.81'
L8	S11°11'47"W	105.92'
L9	S28°01'00"W	75.00'
L10	S76°27'00"W	86.00'
L11	N70°57'00"W	305.35'
L12	N77°05'00"W	97.89'
L13	S85°53'00"W	175.93'
L14	S85°42'43"W	149.98'
L15	N82°57'55"E	10.27'
L16	S85°19'21"W	24.74'
L17	S80°07'37"W	74.38'
L18	S29°14'32"E	5.80'
L19	N05°47'18"E	121.18'
L20	N06°46'38"W	110.43'
L21	N21°40'40"W	96.49'
L22	N26°33'64"W	53.65'
L23	N40°47'38"W	122.94'
L24	N40°42'17"W	75.81'
L25	N21°20'22"E	157.56'
L26	N07°58'40"W	110.43'
L27	N08°23'53"E	183.11'
L28	N17°05'03"E	49.52'
L29	N15°26'11"E	69.47'
L30	N26°10'10"E	167.36'
L31	N59°54'23"E	66.70'
L32	S88°00'18"E	60.88'
L33	N36°23'17"W	51.33'

LINE	BEARING	DISTANCE
L34	S41°04'21"E	27.91'
L35	N12°21'43"W	31.66'
L36	S35°16'22"E	50.31'
L37	N06°30'24"W	31.64'
L38	S28°34'17"E	87.33'
L39	S39°44'06"E	87.06'
L40	S45°41'31"E	79.26'
L41	S64°26'28"E	59.25'
L42	S70°14'07"E	98.75'
L43	N82°52'21"E	76.38'
L44	S70°13'31"E	26.21'
L45	N82°46'50"E	58.99'
L46	N80°10'16"E	71.76'
L47	N83°06'52"E	60.29'
L48	N69°47'04"E	87.33'
L49	N42°43'47"E	53.74'
L50	N13°36'29"E	63.16'
L51	S89°12'26"W	37.04'
L52	N01°44'52"W	30.01'
L53	S32°21'28"W	46.29'
L54	N35°50'48"E	23.64'
L55	N68°30'06"E	29.43'
L56	S30°11'36"W	20.04'
L57	S52°44'59"W	26.38'
L58	S48°03'09"E	28.71'
L59	S67°17'54"E	48.65'
L60	N51°38'12"E	58.92'
L61	N00°15'08"E	33.14'
L62	S30°40'41"W	18.41'
L63	S17°41'03"W	67.59'
L64	S35°57'02"W	24.42'
L65	S05°18'53"W	89.79'
L66	S54°41'54"W	59.58'

Building setback lines should be determined by owner or contractor prior to any construction

Note:
Meander lines along Bogue Falaya River and Abita River not monumented.

Curve shown is not Tangent

Legend
○ 1/2" Rebar Set
● 1/2" Rebar Found
■ 5/8" Rebar Found
△ Mag Nail Set



Land Surveying, LLC
518 N. Columbia Street
Covington, LA 70433
(985) 842-6271 office (985) 848-0355 fax

MAP PREPARED FOR

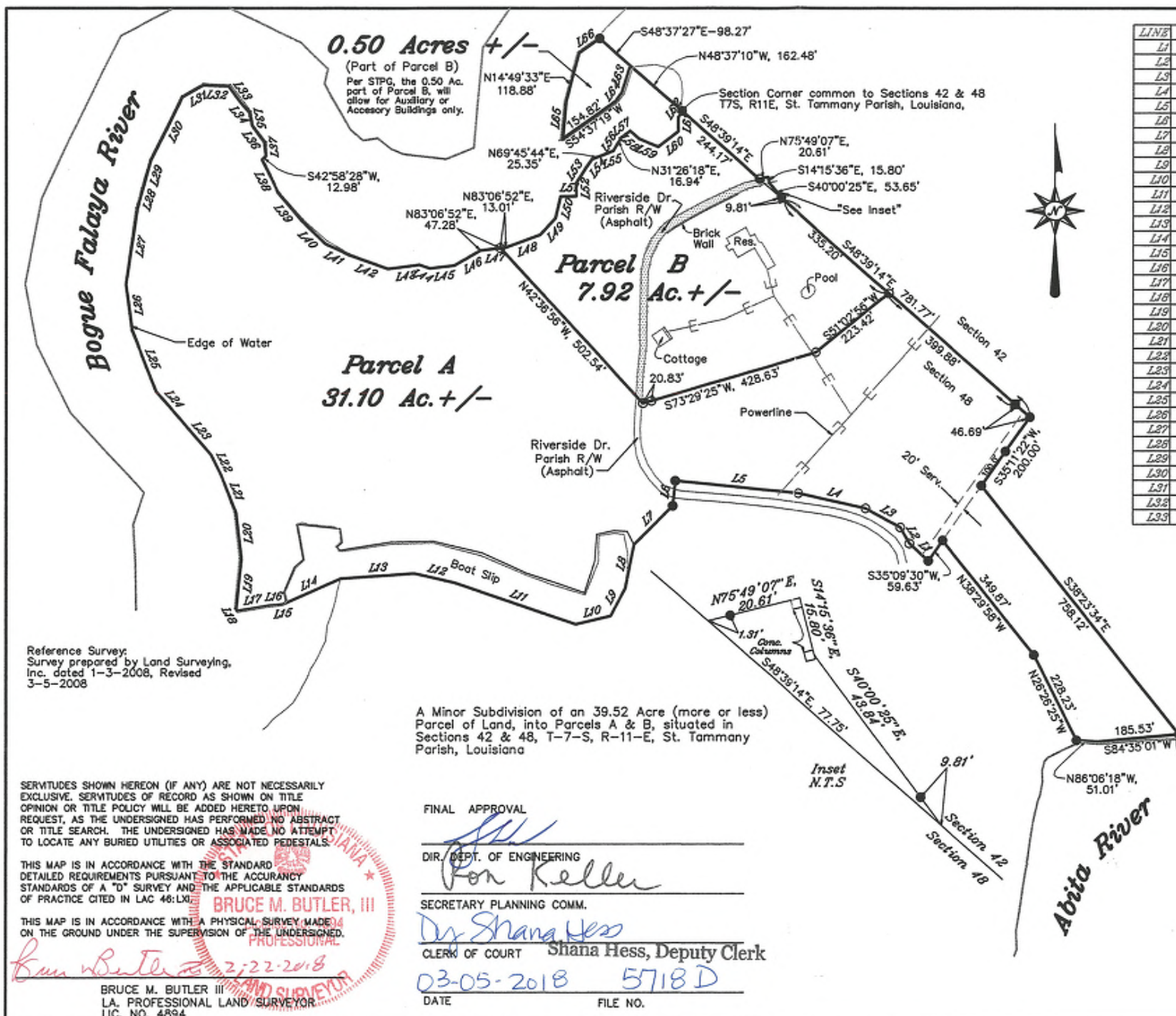
Anna Swadling

SCALE: 1" = 250'
DATE: 10-12-2020

DRAWN BY: BMB

Located in Section 48 Township 7 South,
Range 11 East, St. Tammany Parish, Louisiana

DRAWN NUMBER
20061



LINE	BEARING	DISTANCE
L1	N47°27'46"W	60.56'
L2	N29°21'47"W	44.11'
L3	N80°41'15"W	92.81'
L4	N77°26'30"W	166.11'
L5	N84°13'58"W	294.21'
L6	S05°46'02"W	60.00'
L7	S44°22'20"W	129.81'
L8	S11°11'47"W	105.92'
L9	S28°01'00"W	75.00'
L10	S76°27'00"W	86.00'
L11	N70°57'00"W	305.35'
L12	N77°05'00"W	97.89'
L13	S85°53'00"W	175.33'
L14	S65°42'43"W	149.38'
L15	N82°57'55"E	10.27'
L16	S85°19'21"W	24.74'
L17	S80°07'37"W	74.38'
L18	S29°14'32"E	5.80'
L19	N05°47'18"E	121.18'
L20	N06°46'38"W	110.43'
L21	N21°40'40"W	96.49'
L22	N26°33'54"W	53.65'
L23	N40°47'38"W	122.94'
L24	N40°42'17"W	75.81'
L25	N21°20'22"W	157.56'
L26	N07°58'40"W	110.43'
L27	N08°23'53"E	183.11'
L28	N17°05'03"E	49.52'
L29	N15°26'11"E	69.47'
L30	N26°10'10"E	167.36'
L31	N59°54'23"E	56.70'
L32	S88°00'18"E	60.88'
L33	N36°23'17"W	51.33'

LINE	BEARING	DISTANCE
L34	S41°04'21"E	27.91'
L35	N12°21'43"E	31.66'
L36	S35°16'22"E	50.31'
L37	N06°30'24"W	31.64'
L38	S26°34'17"E	87.33'
L39	S39°44'08"E	87.06'
L40	S45°41'31"E	79.26'
L41	S64°26'28"E	59.25'
L42	S70°14'07"E	98.75'
L43	N82°52'21"E	76.38'
L44	S70°13'31"E	26.21'
L45	N82°46'50"E	58.99'
L46	N60°10'16"E	71.76'
L47	N83°06'52"E	60.29'
L48	N69°47'04"E	87.33'
L49	N42°43'47"E	53.74'
L50	N13°36'29"E	53.16'
L51	S89°12'26"W	37.04'
L52	N01°44'52"W	30.01'
L53	S32°21'28"W	46.29'
L54	N35°50'48"E	23.64'
L55	N68°30'06"E	29.43'
L56	S30°11'36"W	20.04'
L57	S52°44'59"W	26.38'
L58	S48°03'09"E	28.71'
L59	S67°17'54"E	48.65'
L60	N51°38'12"E	58.92'
L61	N00°15'08"E	33.14'
L62	S30°40'41"W	18.41'
L63	S17°41'03"W	67.59'
L64	S35°57'02"W	24.42'
L65	S05°18'53"W	89.79'
L66	S54°41'54"W	59.58'

Building setback lines should be determined by owner or contractor prior to any construction.

Note:
Meander lines along Bogue Falaya River and Abita River not monumented.

There is 0.35 Ac. in Riverside Dr. (Parish R/W) in the 7.92 Ac. Tract.

Per STPG, the 0.50 Ac. part of Parcel B, will allow for Auxiliary or Accessory Buildings only.

Reference Survey:
Survey prepared by Land Surveying, Inc. dated 1-3-2008, Revised 3-5-2008

A Minor Subdivision of an 39.52 Acre (more or less) Parcel of Land, into Parcels A & B, situated in Sections 42 & 48, T-7-S, R-11-E, St. Tammany Parish, Louisiana

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST, AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS.

THIS MAP IS IN ACCORDANCE WITH THE STANDARD DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A "D" SURVEY AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 48:1X1.

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED.

BRUCE M. BUTLER, III
PROFESSIONAL LAND SURVEYOR
2-22-2018

BRUCE M. BUTLER III
LA. PROFESSIONAL LAND SURVEYOR
LIC. NO. 4894

FINAL APPROVAL
DIR. DEPT. OF ENGINEERING
SECRETARY PLANNING COMM.
CLERK OF COURT
DATE
FILE NO.

Don Keller
Shana Hess
Shana Hess, Deputy Clerk
03-05-2018 5718 D

LS Land Surveying, LLC
518 N. Columbia Street
Covington, LA 70433
(855) 892-6271 Office (855) 898-0355 Fax

MAP PREPARED FOR
Anna Swadling

SCALE: 1" = 250'
DATE: 02-06-2018
DRAWN BY
DRAWN NUMBER
18584

Located in Sections 42 & 48 Township 7 South, Range 11 East, St. Tammany Parish, Louisiana
Revised: 2-8-2018(Acage), 2-20-2018(Note)

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MINOR SUBDIVISION OF 5.1 ACRE &
5.35 ACRE PARCELS OF LAND INTO
PARCEL A LOCATED IN SECTION 26
TOWNSHIP 7 SOUTH RANGE 11 EAST,
ST. TAMMANY PARISH, LOUISIANA

CHAIRMAN, PLANNING COMMISSION

DIRECTOR, DEPT. OF ENGINEERING

SECRETARY, PLANNING COMMISSION

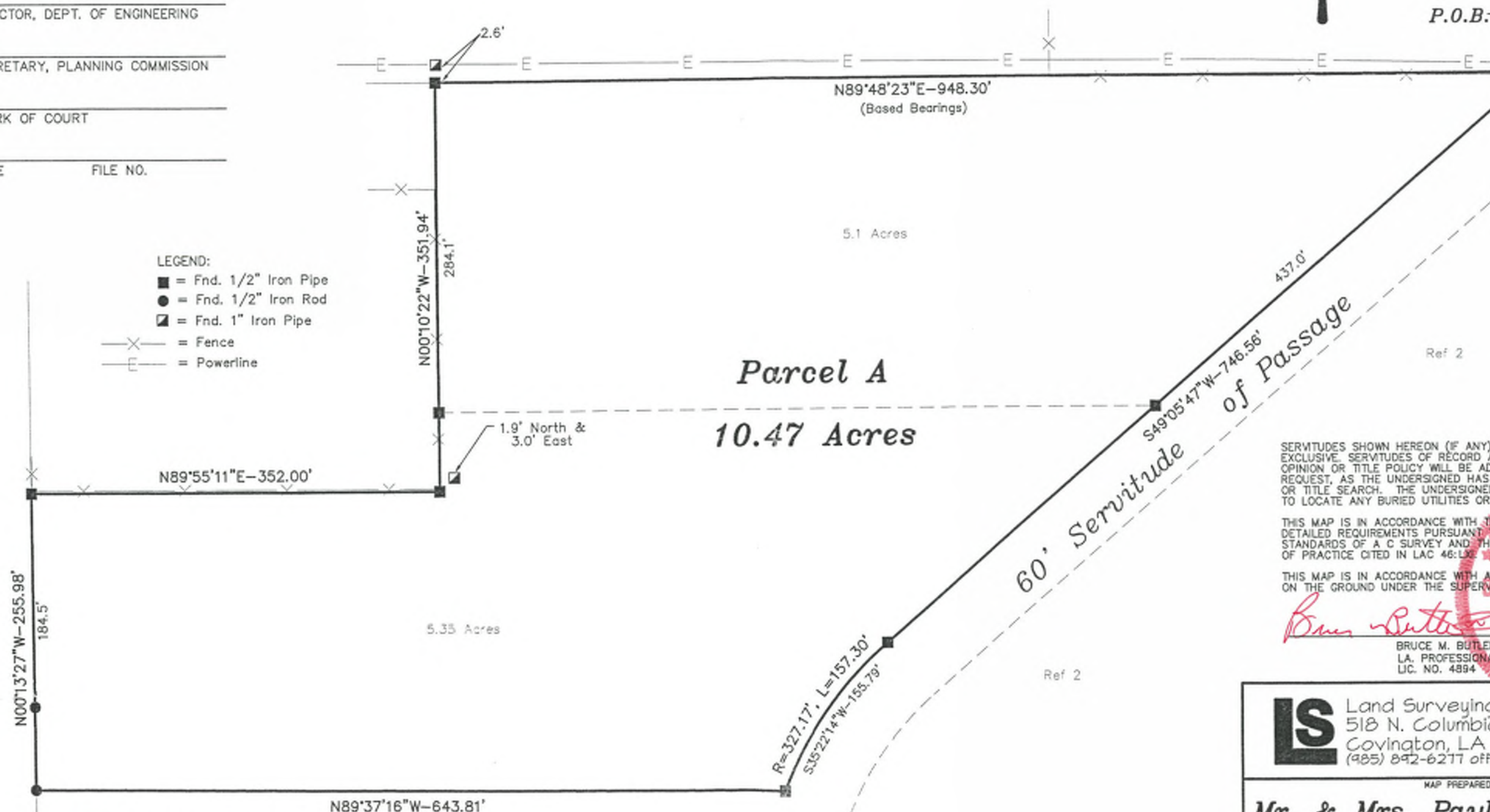
CLERK OF COURT

DATE FILE NO.

LEGEND:

- = Fnd. 1/2" Iron Pipe
- = Fnd. 1/2" Iron Rod
- ▣ = Fnd. 1" Iron Pipe

- X— = Fence
- E— = Powerline



The P.O.B. is reported to be N00°25'12\"W-1334.37';
S89°18'51\"W-47.16' from the 1/4 Corner common
to Sections 25 & 26, T-7-S, R-11-E, St. Tammany
Parish, Louisiana (as per Ref 2)

This property is located in Flood Zone C, per
Fema Map No. 225205 0245 C, Dated
10-17-1989

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY
EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE
OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON
REQUEST, AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT
OR TITLE SEARCH. THE UNDERSIGNED HAS MADE NO ATTEMPT
TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS.

THIS MAP IS IN ACCORDANCE WITH THE STANDARD
DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY
STANDARDS OF A C SURVEY AND THE APPLICABLE STANDARDS
OF PRACTICE CITED IN LAC 46:102.

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE
ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED.

Bruce M. Butler III License No. 3894
PROFESSIONAL LAND SURVEYOR

BRUCE M. BUTLER III
LA. PROFESSIONAL LAND SURVEYOR
LIC. NO. 4894

LS Land Surveying, LLC
518 N. Columbia Street
Covington, LA 70433
(985) 892-6277 office (985) 898-0355 fax

MAP PREPARED FOR

Mr. & Mrs. Paul J. Goodwine

SCALE: 1" = 100'

DATE: 10-19-2020

DRAWN BY: JWG

Section 26, T-7-S, R-11-E, St. Tammany Parish, La.

DRAWN NUMBER

19388a

- Reference:
- 1) Survey Map of 5.35 Acres by Thomas Fontcuberta
dated 4-02-1992 Job #922945, (Based Bearings)
 - 2) Survey Map of 39.859 Acres by Kelly McHugh
dated 8-25-1999, #99-228
 - 3) Survey Map of 5.1 Acres by Thomas Fontcuberta
dated 5-27-1991 Job #912603

Reference calls not shown

RESUBDIVISION REVIEW

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RESUBDIVISION STAFF ANALYSIS REPORT

(As of November 4, 2020)

Meeting Date: November 10, 2020

CASE FILE NO: 2020-2077-MRP

NAME OF SUBDIVISION: Whisperwood Estate

LOTS BEING DIVIDED: Resubdivision of the Recreation Area into Lots R1 & R2, Unit 3

SECTION: 26

WARD: 8

TOWNSHIP: 8 South

PARISH COUNCIL DISTRICT: 8

RANGE: 14 East

PROPERTY LOCATION: The parcels are located on the east side of Whisperwood Blvd and on the west side of Timbers Drive, Slidell, Louisiana.

ZONING: A-4 Single Family Residential District

PROPERTY OWNER: Darlene D. Brown

STAFF COMMENTARY:

The owner is requesting to resubdivide one (1) parcel into two (2) sites.

The reason for the public hearing requirement is that the proposal involves:

- The creation/adjustment of lots within a subdivision that requires approval of the Planning Commission.

The request shall be subject to the above and below comments:

- Add signature line for the Chairman of the Planning Commission
- Provide distance between the new property line: between proposed Lot R1 & R2 and eastern edge of the 15-foot utility easement.
- Provide information regarding proposed lot R1 as if it will remain as recreation area or if it will become a buildable residential lot.
- As per 911 addressing, the name of the street should be amended to read as follow: 'WHISPERWOOD BLVD' instead of WHISPER-WOOD BLVD'.

RESUBDIVISION STAFF ANALYSIS REPORT

(As of November 4, 2020)

Meeting Date: November 10, 2020

CASE FILE NO: 2020-2104-MRP

NAME OF SUBDIVISION: The Plantation

LOTS BEING DIVIDED: Resubdivision of Parcel 7A1-B1 into Parcels 7A1-B1A, 7A1-B1B & HOA-1

SECTION: 31 & 32

WARD: 5

TOWNSHIP: 5 South

PARISH COUNCIL DISTRICT: 6

RANGE: 12 East

PROPERTY LOCATION: The parcels are located along Shiloh Lane and driveway servitude through Parcel HOA-1, Louisiana.

ZONING: A-1 Suburban District.

PROPERTY OWNER: Shallow Creek Enterprises, LLC

STAFF COMMENTARY:

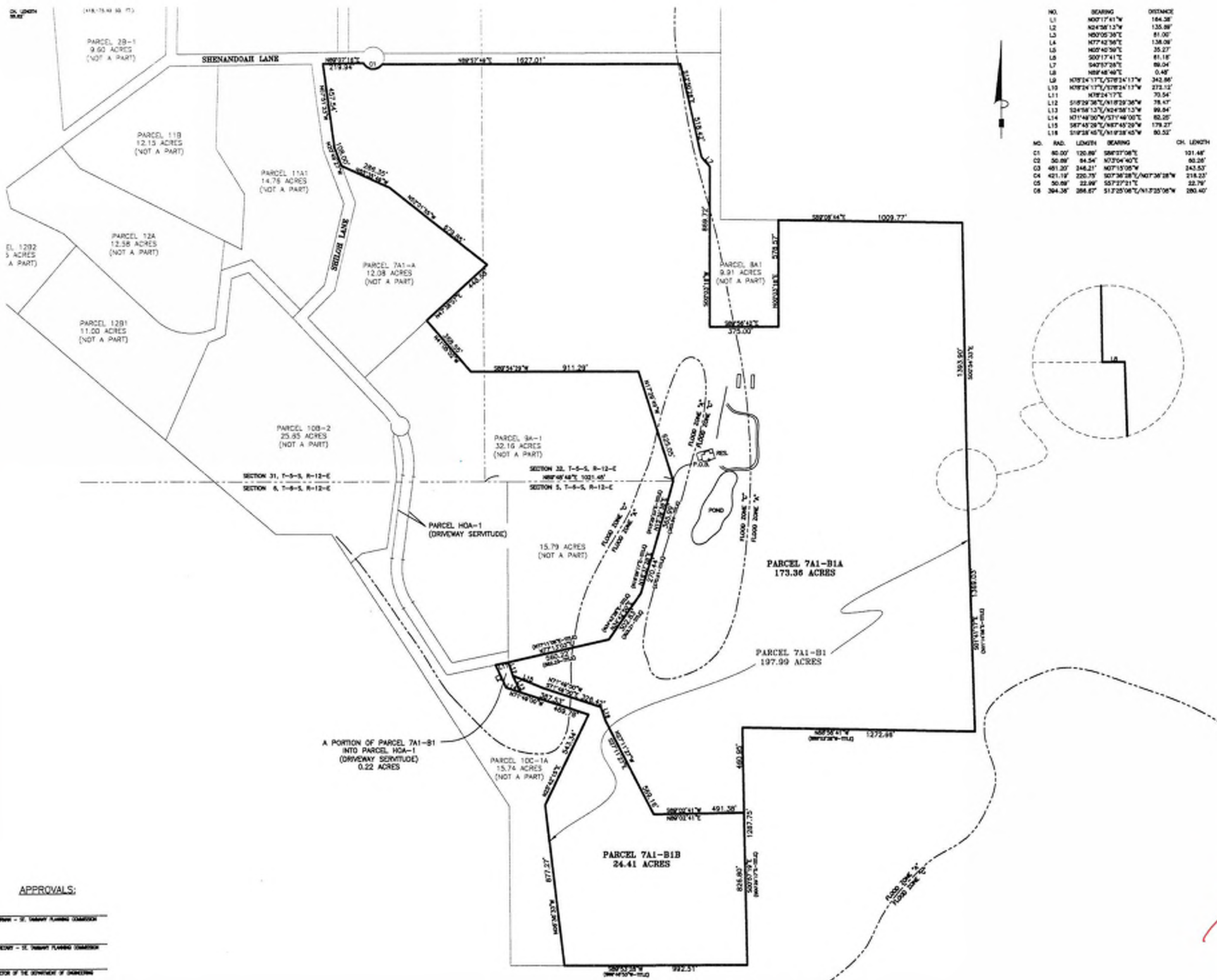
The owner is requesting to resubdivide one (1) parcel into two (2) residential sites & one (1) driveway access. The proposed lot 7A1-B1B does not have frontage along a public or private road, as required under the subdivision ordinance. The request does not meet the minimum requirements for lots within a Major Subdivision. Note that the existing layout does not prohibit development of the existing parcel 7A1-B1.

The reason for the public hearing requirement is that the proposal involves:

1. The creation/adjustment of lots within a subdivision that requires approval of the Planning Commission.
2. Parcel 7A1-B1B does not have Parish road frontage and is requested to be accessed from a private drive through Parcel HOA-1, requiring a waiver from the Planning Commission.
3. Parcel 7A1-B1B does not meet the minimum road frontage of 300 feet. Waiver from the Planning Commission would be required, if waiver no. 1 is granted.

The request shall be subject to the above and below comments:

- The addition to the access servitude HOA-1 shall be identified in bold/dark line and renamed since it is requested be extended.
- Show details in a “blow up” for the addition to the driveway servitude.



NO.	BEARING	DISTANCE
L1	N00°17'41"W	164.38'
L2	N04°38'12"W	135.89'
L3	N00°05'30"E	81.00'
L4	N07°42'30"E	138.08'
L5	N00°40'30"E	35.27'
L6	S00°17'41"E	81.18'
L7	S40°57'30"E	98.04'
L8	N08°48'40"E	0.40'
L9	N08°24'17"/S78°34'17"W	342.86'
L10	N08°24'17"/S78°34'17"W	272.12'
L11	N08°24'17"E	70.54'
L12	S18°29'36"/N18°29'36"W	78.47'
L13	S24°58'13"/N24°58'13"W	99.54'
L14	N01°48'30"/S71°48'30"E	82.25'
L15	S07°45'28"/N07°45'28"W	179.27'
L16	S18°28'45"/N18°28'45"W	80.52'

NO.	RAD.	LENGTH	BEARING	CH. LENGTH
C1	80.00'	120.89'	S08°27'08"E	151.48'
C2	50.88'	84.54'	N03°04'40"E	90.26'
C3	481.20'	346.21'	N07°15'05"W	343.53'
C4	421.19'	220.75'	S07°36'28"/N07°36'28"W	218.23'
C5	50.88'	22.89'	S57°27'21"E	22.79'
C6	364.38'	288.87'	S17°25'08"/N17°25'08"W	280.40'



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DRAWN BY	SPH/WJS
DATE	07/28/20
REVISION	DATE
CHECKED	JEB
SCALE	1" = 250'
SURVEY #	2020 1292

GENERAL NOTES

1. THE LOCATION OF EXISTING UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY. THEY WERE NOT EXCAVATED TO BE ACCURATELY LOCATED. CALL LOUISIANA CALL "DITCH" BEFORE DIGGING. (1-800-875-3000)
2. THE PROPERTY IS LOCATED WITHIN FLOOD ZONE "A" & "X" ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 880000. GLEAS C WITH A REVISION DATE OF OCTOBER 18, 1998 WITH BASE FLOOD ELEVATION NOT DETERMINED AND NO BASE FLOOD ELEVATION INDICATED.
3. SURVEYED SHOWN HEREON ARE NOT NECESSARILY EXCLUSIVE. SURVEYOR'S OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE HONORED UPON REQUEST. NO SURVEYOR HAS NOT PERFORMED ANY TITLE SEARCH OR ABSTRACT.
4. THIS SURVEY WAS DONE ON THE GROUND UNDER THE DIRECT SUPERVISION AND CONTROL AND FOUND NO ENCROACHMENTS ON THE SUBJECT PROPERTY UNLESS OTHERWISE NOTED ON SURVEY.
5. SETBACK LINES SHALL BE ADVISED BY OWNER OR CONTRACTOR PRIOR TO ANY CONSTRUCTION AS AN ABSTRACT HAS NOT BEEN PERFORMED BY THE UNDERGROUND.
6. THIS SURVEY MEETS OR EXCEEDS A CLASS "M" SURVEY AND IS IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR PROPERTY SURVEYING SURVEYS AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.
7. REFERENCE SURVEYS:
A. SURVEY BY TED WISE WITH SURVEY NO. 86130000 DATED NOVEMBER 21, 2017, LAST REVISED APRIL 23, 2018.
8. A RECONSTRUCTION PLAN OF THE PLANTATION, PARCELS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11 & 12 AND PARCELS 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.
9. PARCEL 10A-1 IS OCCUPYING A DRIVEWAY ACCESS SERVICE IN FRONT OF THE HOMEOWNERS ASSOCIATION AND IS NOT A SALEABLE PARCEL.
10. FLOOD ZONE 1A AND FLOOD ZONE 1B ARE NOT SHOWN.

SURVEYOR'S CERTIFICATION

I, the undersigned, being a duly qualified and licensed land surveyor, do hereby certify that, as of the date of this survey, I or others under my direct supervision have made a careful survey of the premises hereon shown and the same are true and correct to the best of our knowledge and belief.

JOHN E. BONNEAU
 LICENSE NO. 4423
 PROFESSIONAL
 10/05/2020
 DATE
 SURVEYOR

SURVEYOR'S INFORMATION

JOHN E. BONNEAU & ASSOCIATES, INC.
JEB & ASSOCIATES
 A LOWE COMPANY
 Professional Land Surveyors - Planners - Consultants
 1041 NORTH CADDISSON BLVD., SUITE 34, HANCOCK, LA 70401
 (504) 845-1013 • (504) 845-1013 • FAX (504) 845-1013
 www.jebco.com • e-mail: info@jebco.com

APPROVALS:

 CHAIRMAN - ST. TAMMANY PLANNING COMMISSION

 SECRETARY - ST. TAMMANY PLANNING COMMISSION

 DIRECTOR OF THE DEPARTMENT OF TRANSPORTATION

 TOWN OF COAST

 DATE FILED _____ MAP FILE NO. _____

Survey for: **ROBERT RATHE, JR.**

Property: **A RESUBDIVISION MAP OF PARCEL 7A1-B1 THE PLANTATION INTO PARCELS 7A1-B1A, 7A1-B1B & HOA-1, THE PLANTATION SITUATED IN SECTIONS 31 & 32 TOWNSHIP 5 SOUTH, RANGE 12 EAST, ST. TAMMANY PARISH, LOUISIANA.**

SHEET NUMBER

RESUBDIVISION MAP



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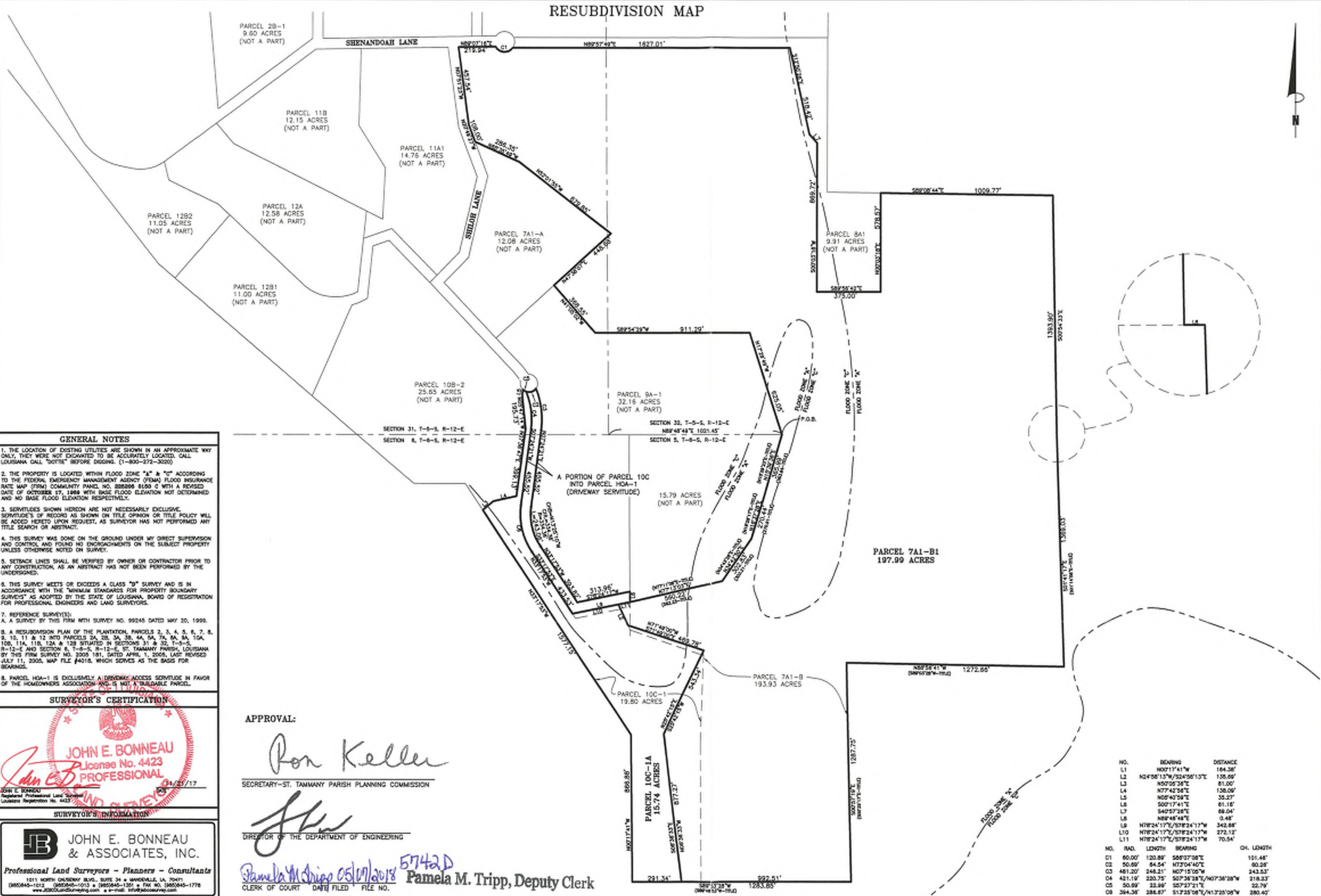
DRAWN BY: SPH
DATE: 11/21/17

REVISION: DATE
OFFICE: 04/23/18
CHECKED: JCB
SCALE: 1" = 300'
SURVEY #: 2013600E

Survey for: ROBERT RATHE, Jr.
Property: A RESUBDIVISION MAP OF PARCELS 7A1-B AND 10C-1 IN THE PLANTATION INTO PARCELS 7A1-B1 AND 10C-1A, THE PLANTATION SITUATED IN SECTIONS 5 & 6, T-5-S, R-12-E AND SECTIONS 31 & 32, T-5-S, R-12-E, ST. TAMMANY PARISH, LOUISIANA.

SHEET NUMBER

1



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RESUBDIVISION STAFF ANALYSIS REPORT

(As of November 4, 2020)

Meeting Date: November 10, 2020

CASE FILE NO: 2020-2109-MRP

NAME OF SUBDIVISION: Town of Mandeville

LOTS BEING DIVIDED: Resubdivision Square 175 into lots 1-14

SECTION: 45 & 46

WARD: 4

TOWNSHIP: 8 South

PARISH COUNCIL DISTRICT: 7

RANGE: 12 East

PROPERTY LOCATION: The parcels are located on the east side of Soult Street, on the south side of McNamarra Street, on the west side of Molitor Street and on the north side of Caroline Street (not constructed), Mandeville, Louisiana

ZONING: A-4 Single Family Residential District

PROPERTY OWNER: Black Oak Holdings, LLC - Matthew Bowers

STAFF COMMENTARY:

The owner is requesting to subdivide Square 175 into fourteen (14) residential sites.

The reason for the public hearing requirement is that the proposal involves:

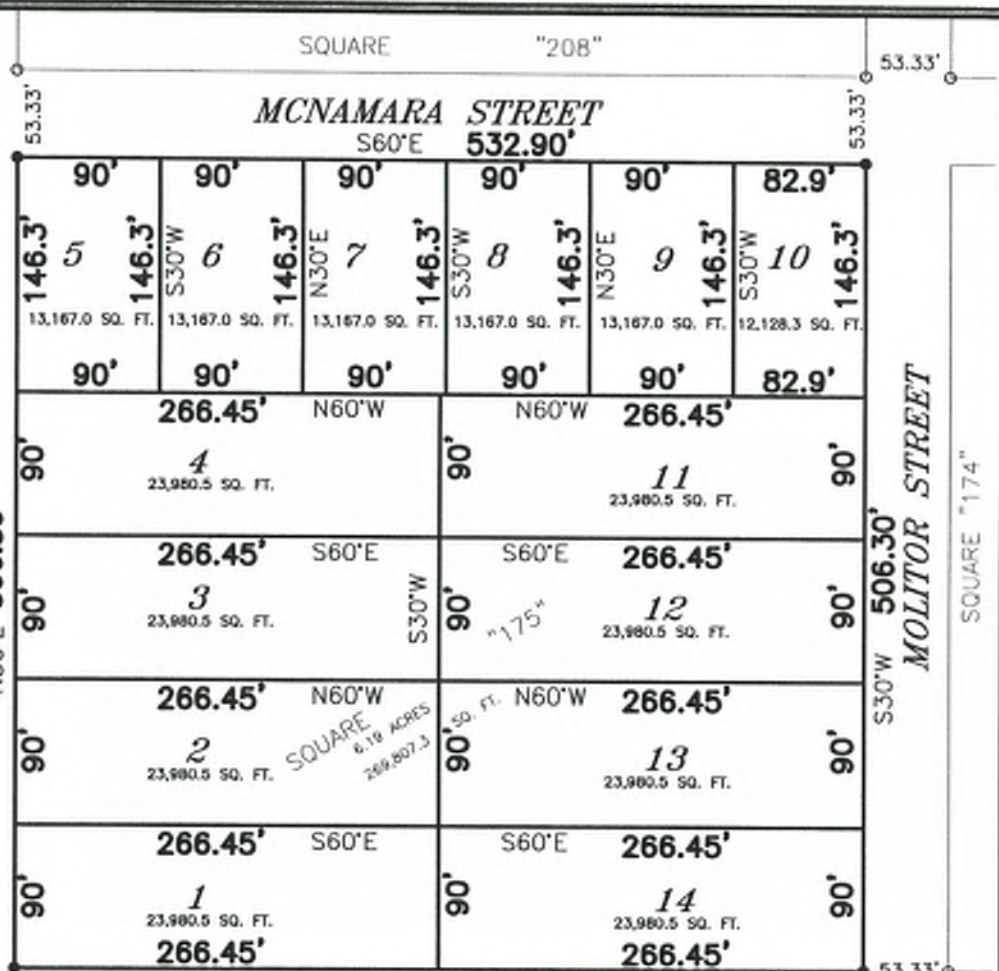
- The proposal involves the creation of more than five (5) lots.

Note that the lots shall be connected to central water and sewer.



SOULT STREET

N30°E 506.30'



APPROVALS:

CHAIRMAN - ST. TAMMANY PLANNING COMMISSION

SECRETARY - ST. TAMMANY PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

CLERK OF COURT

DATE FILED

MAP FILE NO.

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JOHN E. BONNEAU & ASSOCIATES, INC.

BUILDING SETBACKS:

FRONT: N/A
SIDE: N/A
SIDE STREET: N/A
REAR: N/A

REFERENCE SURVEY:

A survey map by Krebs, Losalle, Lemieux

Consultants, Inc. dated 07-25-2008.

BASIS FOR ANGLES:

The Reference Survey.

FLOODZONE NOTE: This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described is located in Flood Zone(s) "C" with a Base Flood Elevation of N/A in accordance with Community Panel No. 225205 0380 C; Revised: APRIL 02, 1991

NOTE: Setback lines shall be verified by owner or contractor prior to any construction, as an abstract has not been performed by the undersigned.

NOTE: Servitudes shown hereon are not necessarily exclusive. Servitudes of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.

NOTE: This is to certify that I have done an actual ground survey and found that no encroachments exist either way across any property lines except as shown.

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL; AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE FOR BOUNDARY BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS D SURVEY.

A RESUBDIVISION MAP OF
SQUARE 175, TOWN OF MANDEVILLE (NOT IN CORPORATE LIMITS)
into
LOTS 1-14, SQUARE 175, TOWN OF MANDEVILLE (NOT IN CORPORATE LIMITS)
situated in SECTIONS 45 & 46, T-8-S, R-12-E
St. Tammany Parish, Louisiana
for
BLACK OAK HOLDINGS, L.L.C.

Survey No. 2020 1336 C

Drawn by: SPH

Scale: 1" = 120'

Date: AUGUST 13, 2020

Revised: 10/12/20(OFFICE)

This Survey is Certified
True and Correct, by

JOHN E. BONNEAU & ASSOCIATES, INC.

JEBCO

A LOWE COMPANY
Professional Land Surveyors
Planners and Consultants

1011 NORTH CAUSEWAY BLVD., SUITE 34
MANDEVILLE, LA 70471
OFFICE NO. (985)845-1012
FAX NO. (985)845-1778
www.JEBCOLandSurveying.com
e-mail: info@jebcosurvey.com

JOHN E. BONNEAU
LICENSE NO. 4423
PROFESSIONAL
Surveyor
John E. Bonneau
Professional Land Surveyor
Registration No. 4423

RESUBDIVISION STAFF ANALYSIS REPORT

(As of November 4, 2020)

Meeting Date: November 10, 2020

CASE FILE NO: 2020-2115-MRP

NAME OF SUBDIVISION: River Club

LOTS BEING DIVIDED: Resubdivision of Lot 52 Phase 4A & lot 80 Phase 1, into lot 80-A, Phase 1

SECTION: 49

WARD: 1

TOWNSHIP: 7 South

PARISH COUNCIL DISTRICT: 1

RANGE: 11 East

PROPERTY LOCATION: The parcels are located on the northeast corner of Ox Bow Lane & Ox Bow Court, Covington, Louisiana.

ZONING: PUD Planned Unit Development District

PROPERTY OWNER: David & Lori Collier

STAFF COMMENTARY:

The owner is requesting to resubdivide Lot 52 Phase 4A & lot 80 Phase 1 into one (1) residential site.

The reason for the public hearing requirement is that the proposal involves:

- The creation/adjustment of lots within a subdivision that requires approval of the Planning Commission.



A Resubdivision of Lot 80 Phase 1 & Lot 52
Phase 4A, into Lot 80-A, Phase 1, River Club,
Section 49, T-7-S, R-11-E, St. Tammany
Parish, Louisiana

Reference: Recorded Plat of River Club, Phase 1 &
Phase 4A, Clerk of Courts Office, (Based Bearing)

Plat calls not shown

FINAL APPROVAL

CHAIRMAN OF PLANNING COMMISSION

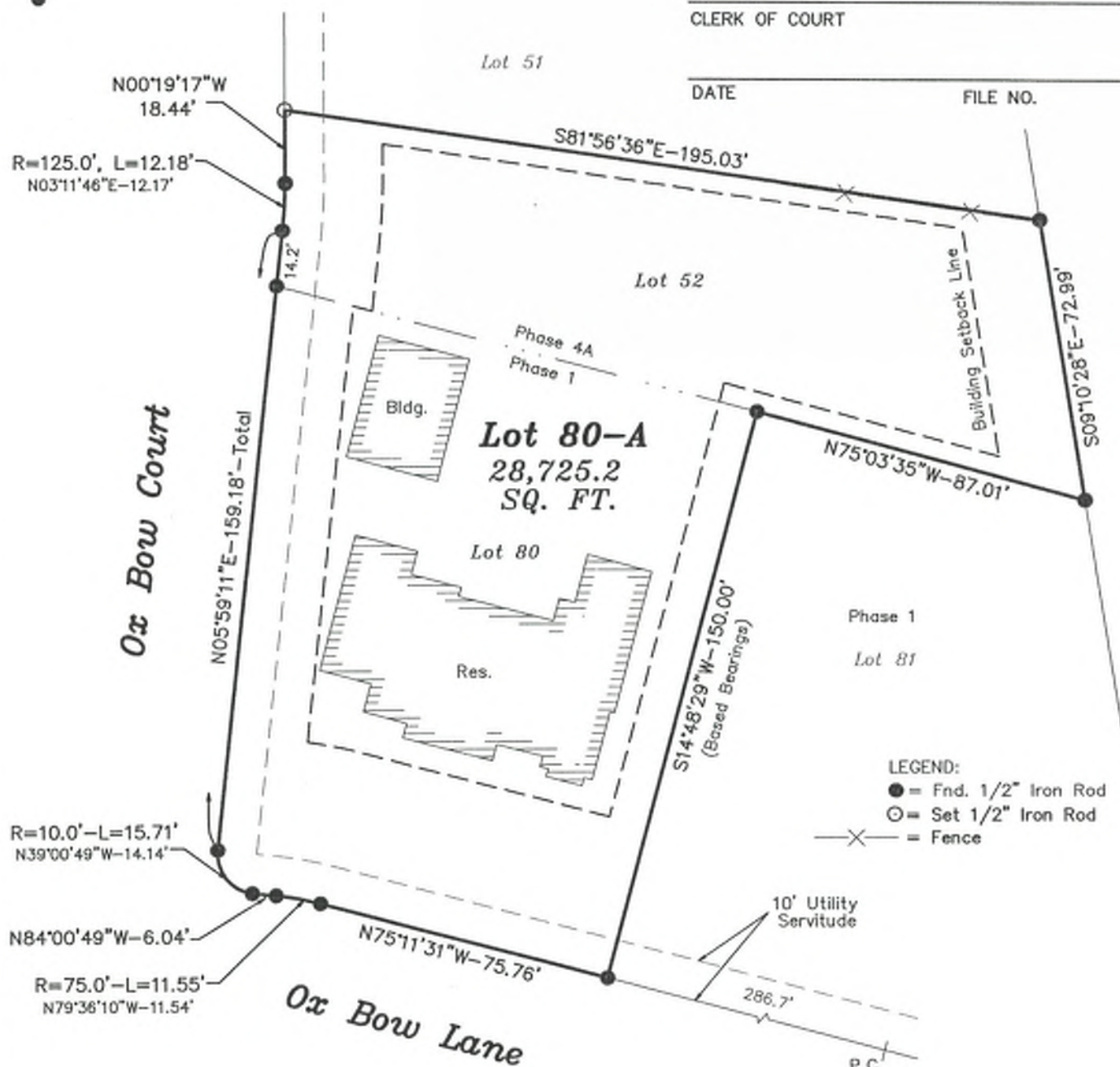
DIR. DEPT. OF ENGINEERING

SECRETARY PLANNING COMM.

CLERK OF COURT

DATE

FILE NO.



LEGEND:

● = Fnd. 1/2" Iron Rod

○ = Set 1/2" Iron Rod

—X— = Fence

10' Utility
Servitude

P.C.

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE.
SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY
WILL BE ADDED HERETO UPON REQUEST AS THE UNDERSIGNED HAS
PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS
MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED
PEDESTALS.

THIS MAP IS IN ACCORDANCE WITH THE STANDARD DETAILED
REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A C SURVEY
AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46:LX1.

(Must verify prior to Construction)
Building Setbacks Phase 4A:

Front: 25'
Side: 5'
Rear: 20'
Side Street: 15'

(Must verify prior to Construction)
Building Setbacks Phase 1:

Front: 40'
Side: 10'
Rear: 30'
Side Street: 20'

MAP PREPARED FOR **DAVID B. COLLIER JR. & LORI BETH COLLIER**

SHOWN A SURVEY MADE OF PROPERTY LOCATED IN Lot 80, River Club, Phase 1 & Lot 52, River Club, Phase 4A,
St. Tammany Parish, Louisiana

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED.
SIGNATURE AND STAMPED SEAL MUST BE IN RED OR THIS PLAT IS NOT A TRUE COPY. CERTIFIED CORRECTIONAL

LAND SURVEYING LLC

518 N. Columbia Street, Covington, LA 70433
(905) 842-6277 office (905) 848-0355 fax
landsurveyingllc@gmail.com

Bruce M. Butler, III 10-12-2020
BRUCE M. BUTLER, III
LOUISIANA PROFESSIONAL LAND SURVEYOR
LICENSE NO. 4894

SCALE: 1" = 40'

DATE: 10-7-2020

NUMBER: 20056

RESUBDIVISION STAFF ANALYSIS REPORT

(As of November 4, 2020)

Meeting Date: November 10, 2020

CASE FILE NO: 2020-2121-MRP

NAME OF SUBDIVISION: The Plantation

LOTS BEING DIVIDED: Resubdivision of Parcels 4A2 & 4A3 into Parcels 4A4, 4A5 & 4A6

SECTION: 31

WARD: 5

TOWNSHIP: 5 South

PARISH COUNCIL DISTRICT: 6

RANGE: 12 East

PROPERTY LOCATION: The parcels are located at the end of Shenandoah Lane, east of Shiloh Lane, Covington, Louisiana.

ZONING: A-1 Suburban District

PROPERTY OWNER: Robert J. Jr. & Jennifer Rathe

STAFF COMMENTARY:

The owner is requesting to resubdivide Parcels 4A2 & 4A3 into three (3) residential sites. The proposed lot 4A5 does not have frontage along a public or private road, as required under the subdivision ordinance. The request does not meet the minimum requirements for lots within a Major Subdivision Note that the existing layout does not prohibit development of the existing parcels 4A2 & 4A3.

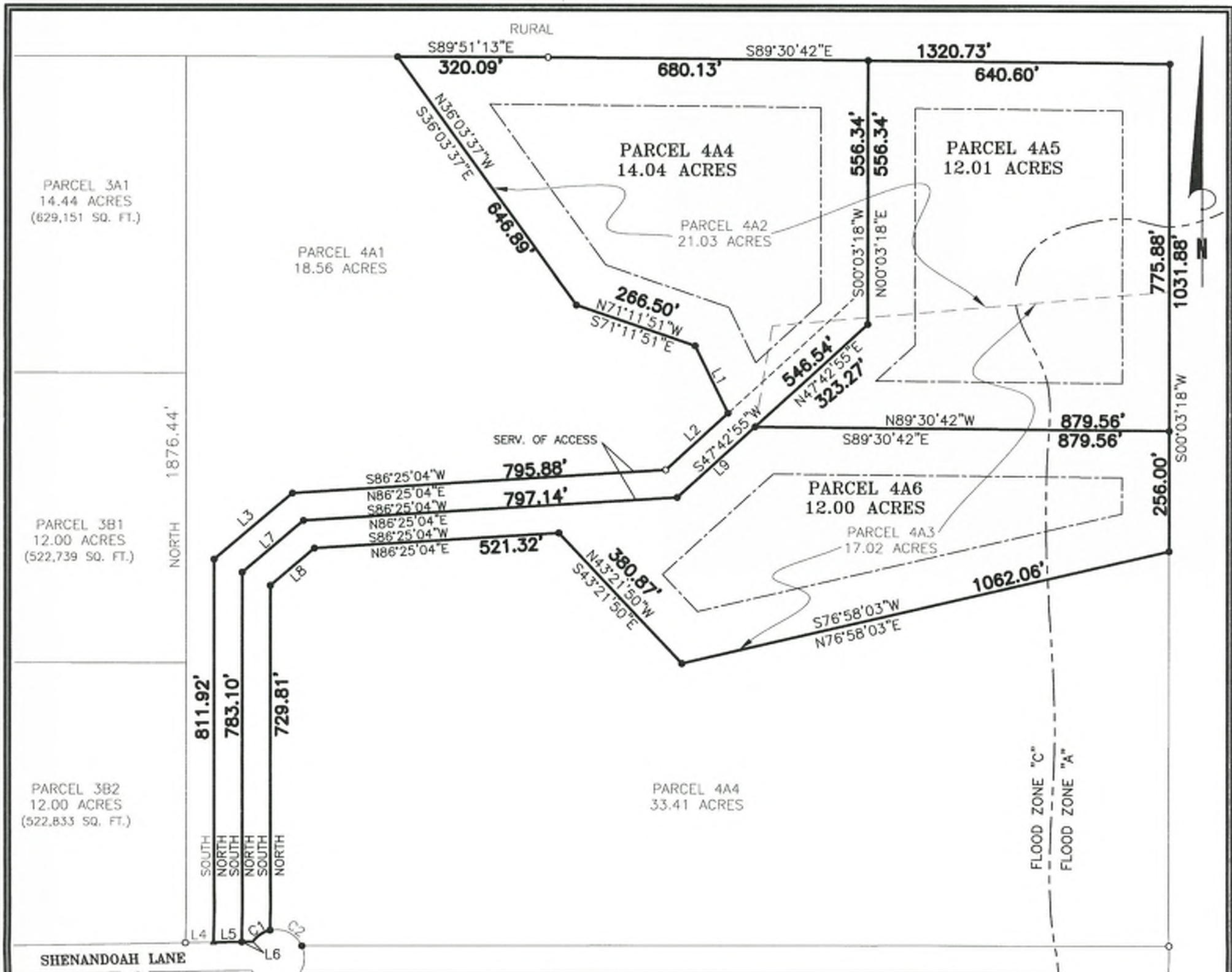
The reason for the public hearing requirement is that the proposal involves:

- Parcels 4A4, 4A5 & 4A6 do not meet the minimum required lot width under the A-1 Suburban District, requiring a waiver of from the Planning Commission.
- Proposed parcel 4A5 does not have public road frontage and is proposed to be accessed through Parcel 4A4, requiring a waiver from the Planning Commission.

The request shall be subject to the below comment:

- Revise title block to reference "The Plantation" Subdivision.

In order to approve the waivers a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 - Subdivision Regulations.



△ = P.K. NAIL FOUND
 ○ = 1/2" IRON ROD FOUND
 ● = 1/2" IRON ROD SET UPON RECORDATION AND APPROVAL BY ST. TAMMANY PLANNING COMMISSION
 NOTE: PONDS AND DRIVES ARE NOT SHOWN.

APPROVALS:

CHAIRMAN - ST. TAMMANY PLANNING COMMISSION

SECRETARY - ST. TAMMANY PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

CLERK OF COURT

DATE FILED _____ MAP FILE NO. _____

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 ALL RIGHTS RESERVED
 JOHN E. BONNEAU & ASSOCIATES, INC.

CURVE TABLE

	RADIUS	LENGTH	BEARING	CHORD
C1	60.00'	45.50'	S55°41'06"W	44.42'
C2	60.00'	82.08'	N63°24'05"W	75.83'

LINE TABLE

L1	S26°04'48"E/N26°04'48"W	159.02'
L2	S47°42'55"W/N47°42'55"E	179.01'
L3	S49°52'30"W/N49°52'30"E	218.18'
L4	S89°07'16"W	60.00'
L5	S89°07'16"W	60.01'
L6	S89°07'16"W	23.32'
L7	S49°52'30"W/N49°52'30"E	170.48'
L8	S49°52'30"W/N49°52'30"E	122.77'
L9	N47°42'55"E/S47°42'55"W	223.27'

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL; AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS "D" SURVEY.

BUILDING SETBACK LINES
 FRONT 100'
 SIDE 100'
 REAR 100'
 ALONG ROADS 50'

REFERENCE SURVEY: A Re-Subdivision Map by this firm dated August 24, 2017, having survey number 2013 600C.

BASIS FOR BEARINGS: The Reference Survey.

FLOODZONE NOTE: This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described is located in Flood Zone(s) "C" & "A" with a Base Flood Elevation of N/A in accordance with Community Panel No. 225205 0150 C; Revised: OCTOBER 17, 1989

Survey No. 2020 1296 Drawn by: SPH/JWS Scale: 1" = 250'

Date: SEPTEMBER 08, 2020 Revised: 10/05/20

A RESUBDIVISION MAP OF
PARCELS 4A2 & 4A3
 into
PARCELS 4A4, 4A5, & 4A6
 Section 31, T-5-S, R-12-E
 St. Tammany Parish, Louisiana
 for
ROBERT RATHE

JOHN E. BONNEAU & ASSOCIATES, INC.

JEBCO
 A LOWE COMPANY
 Professional Land Surveyors
 Planners and Consultants

1011 NORTH CAUSEWAY BLVD., SUITE 34
 MANDEVILLE, LA 70471
 OFFICE NO. (985)845-1012
 FAX NO. (985)845-1778
 www.JEBCOLandSurveying.com
 e-mail: info@jebcosurvey.com

NOTE: This is to certify that I have done an actual ground survey and found that no encroachments exist either way across any property lines except as shown.

NOTE: Setback lines shall be verified by owner and/or contractor prior to any construction, as an abstract has not been performed by the undersigned.

Servitudes shown hereon are not necessarily exclusive. Servitudes of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.

STATE OF LOUISIANA

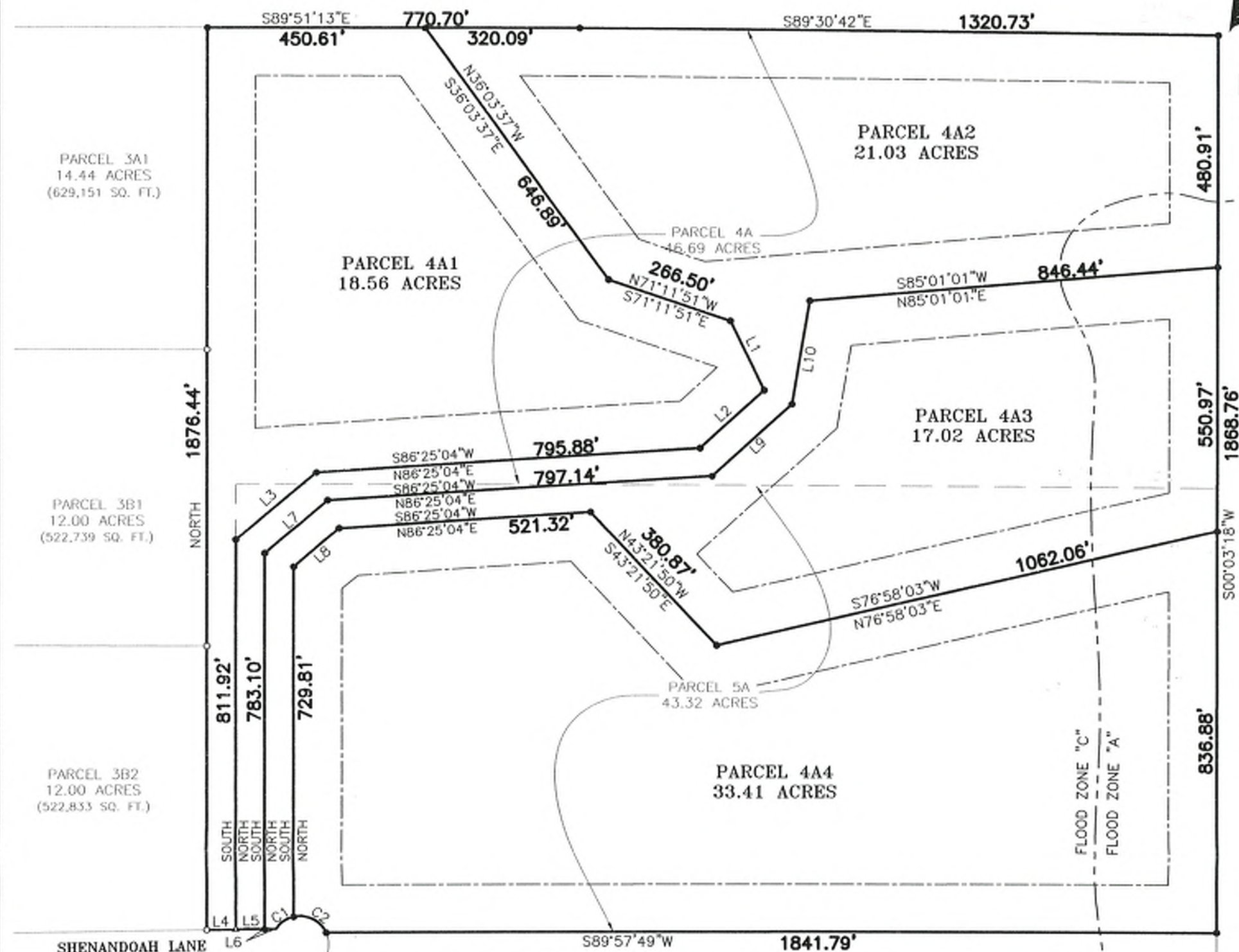
This Survey is Certified True and Correct By

JOHN E. BONNEAU
 LICENSE No. 4423
 PROFESSIONAL LAND SURVEYOR

John E. Bonneau
 Professional Land Surveyor
 Registration No. 4423



RURAL



- △ = P.K. NAIL FOUND
○ = 1/2" IRON ROD FOUND
● = 1/2" IRON ROD SET UPON RECORDATION AND APPROVAL BY ST. TAMMANY PLANNING COMMISSION

NOTE: PONDS AND DRIVES ARE NOT SHOWN.

LINE TABLE		
LINE	BEARING	LENGTH
L1	S26°04'48"E/N26°04'48"W	159.02'
L2	S47°42'55"W/N47°42'55"E	179.01'
L3	S49°52'30"W/N49°52'30"E	218.18'
L4	S89°07'16"W	60.00'
L5	S89°07'16"W	60.01'
L6	S89°07'16"W	23.32'
L7	S49°52'30"W/N49°52'30"E	170.48'
L8	S49°52'30"W/N49°52'30"E	122.77'
L9	N47°42'55"E/S47°42'55"W	223.27'
L10	N09°42'00"E/S09°42'00"W	217.05'

CURVE TABLE			
CURVE	RADIUS	LENGTH	CHORD
C1	60.00'	45.50'	55°41'06"W 44.42'
C2	60.00'	82.08'	N63°24'05"W 75.83'

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL; AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS "D" SURVEY.

BUILDING SETBACK LINES

FRONT	100'
SIDE	100'
REAR	100'
ALONG ROADS	50'

REFERENCE SURVEY: The Recorded Subdivision Map.

BASIS FOR BEARINGS: The Reference Survey.

FLOODZONE NOTE: This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described is located in Flood Zone(s) "C" & "A" with a Base Flood Elevation of N/A in accordance with Community Panel No. 225205 0150 C; Revised: OCTOBER 17, 1989

A RESUBDIVISION MAP OF
PARCEL 4A & 5A, THE PLANTATION
into
PARCELS 4A1, 4A2, 4A3 & 4A4
Section 31, T-5-S, R-12-E
St. Tammany Parish, Louisiana
for
ROBERT RATHE

APPROVALS:

[Signature]
CHAIRMAN - ST. TAMMANY PLANNING COMMISSION

[Signature]
SECRETARY - ST. TAMMANY PLANNING COMMISSION

[Signature]
DIRECTOR OF THE DEPARTMENT OF ENGINEERING

[Signature]
CLERK OF COURT **Shana Hess, Deputy Clerk**

02-12-2018 57104
DATE FILED MAP FILE NO.

Survey No. 2013 600 C Drawn by: SPH Scale: 1" = 200'
Date: AUGUST 24, 2017 Revised:

JOHN E. BONNEAU & ASSOCIATES, INC.
Professional Land Surveyors • Planners and Consultants

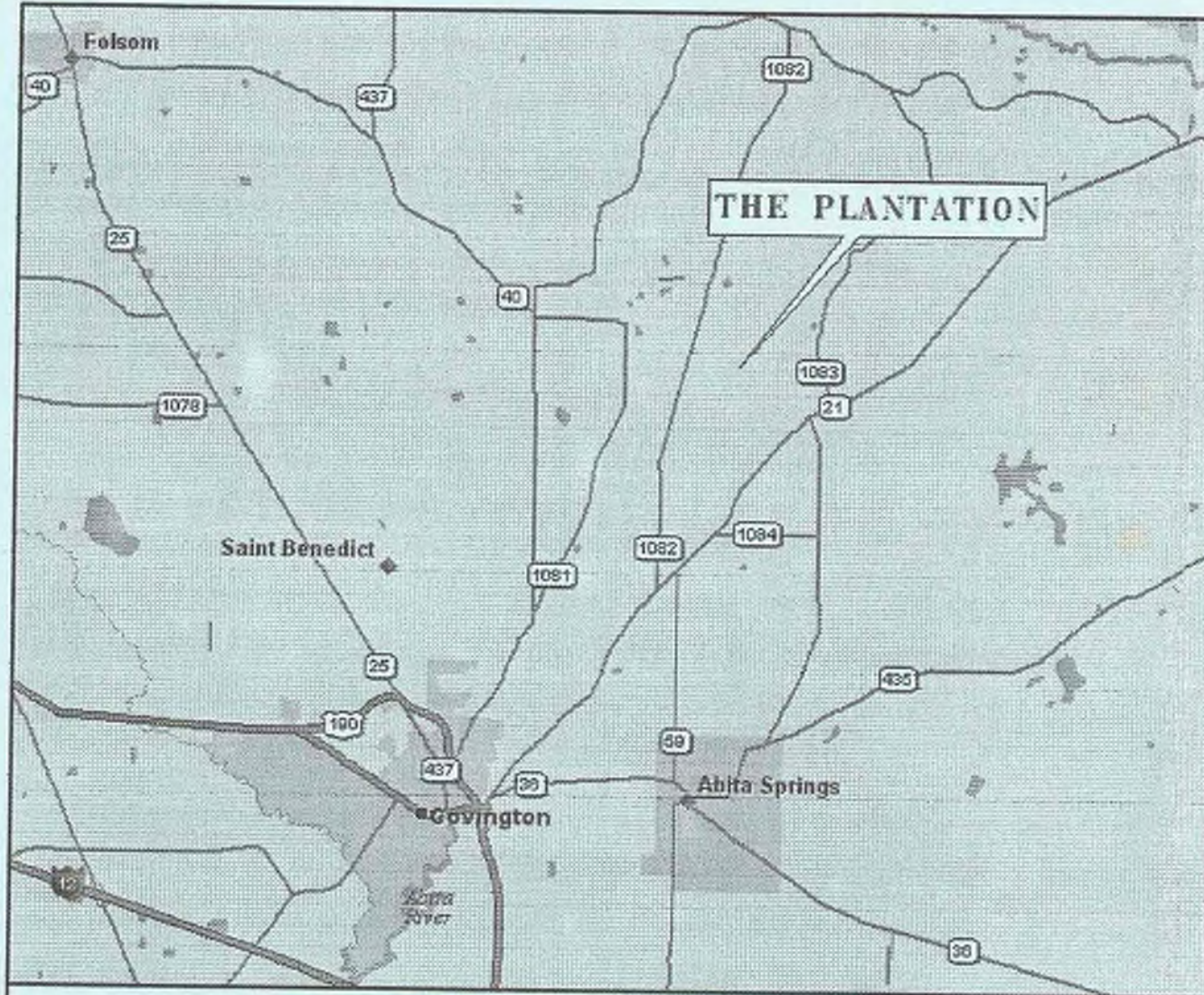
1011 NORTH CAUSEWAY BLVD., SUITE 34 • MANDEVILLE, LA 70471
(985)845-1012 • (985)845-1013 • FAX NO. (985)845-1778
www.JEBCOLandSurveying.com • e-mail: info@jebcosurvey.com

NOTE: This is to certify that I have done an actual ground survey and found that no encroachments exist either way across any property lines except as shown.

NOTE: Setback lines shall be verified by owner and/or contractor prior to any construction, as an abstract has not been performed by the undersigned.

Servitudes shown hereon are not necessarily exclusive. Servitudes of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.

This Survey is Certified True and Correct By
JOHN E. BONNEAU
License No. 4423
PROFESSIONAL
[Signature]
John E. Bonneau
Professional Land Surveyor
Registration No. 4423



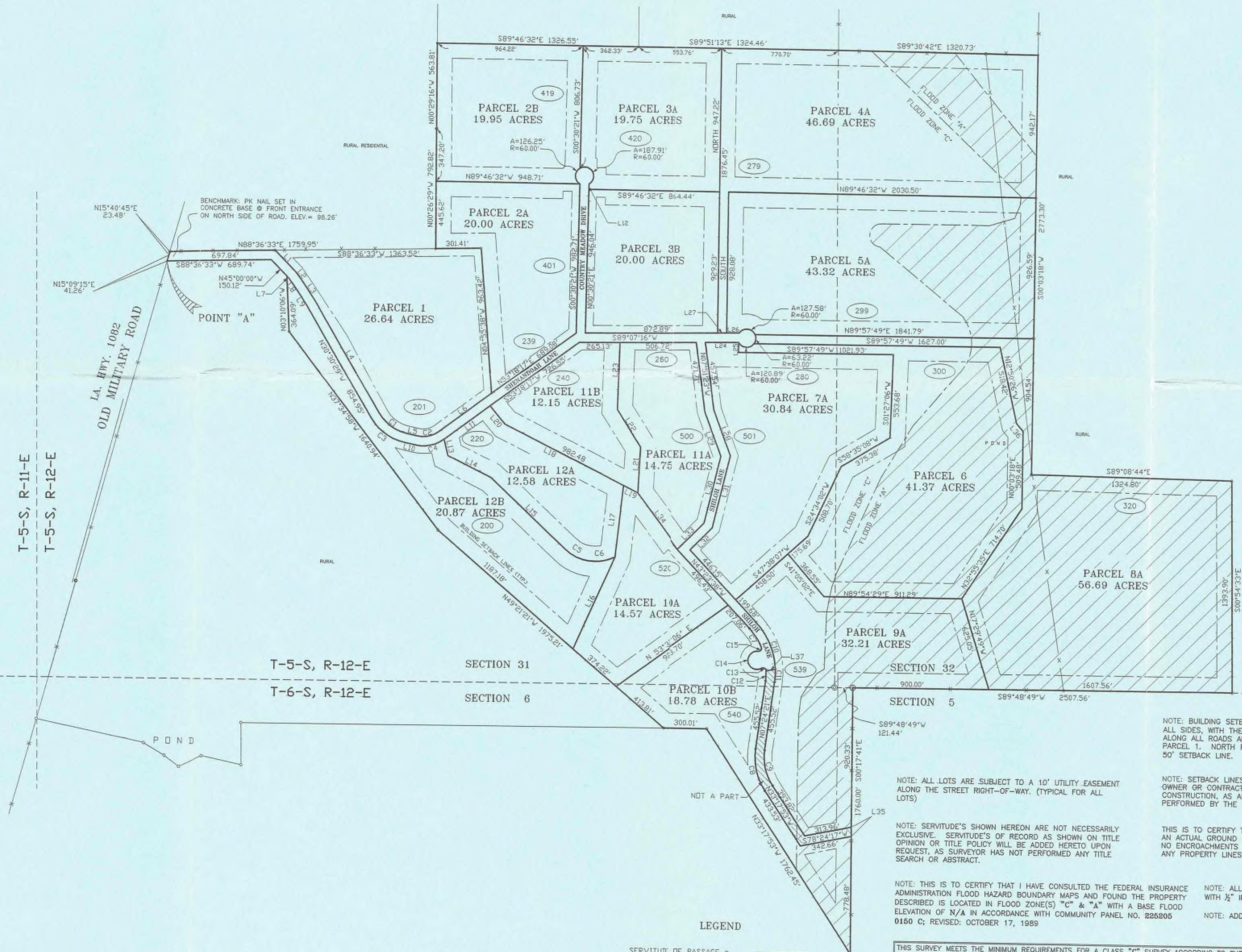
VICINITY MAP
NOT TO SCALE

NORTH

A RESUBDIVISION PLAN OF
THE PLANTATION
PARCELS 2, 3, 4, 5, 7, 8, 9, 10, 11 & 12
into
PARCELS 2A, 2B, 3A, 3B, 4A, 5A, 7A, 8A, 9A,
10A, 10B, 11A, 11B, 12A & 12B
in
SECTIONS 31 & 32, T-5-S, R-12-E,
& SECTION 6, T-6-S, R-12-E,
ST. TAMMANY PARISH, LOUISIANA
for
ROBERT RATHE JR. & DONALD E. PATE

LINE	BEARING	LENGTH	CURVE	RADIUS	ARC LENGTH
L1	N 45°00'00" W	197.05'	C1	RADIUS = 280.00'	A=230.00'
L2	N 35°51'40" W	81.18'	C2	RADIUS = 168.00'	A=143.92'
L3	N 34°21'35" W	151.12'	C3	RADIUS = 342.00'	A=280.93'
L4	N 30°30'29" W	856.99'	C4	RADIUS = 230.00'	A=197.03'
L5	S 77°36'42" E	74.88'	C5	RADIUS = 269.99'	A=133.64'
L6	N 53°18'17" E	433.97'	C6	RADIUS = 301.14'	A=217.72'
L7	N 45°00'00" W	16.35'	C7	RADIUS = 421.20'	A=147.19'
L8	N 35°51'40" W	74.59'	C8	RADIUS = 394.36'	A=286.68'
L9	N 34°21'35" W	148.23'	C9	RADIUS = 334.36'	A=243.06'
L10	N 77°36'42" W	74.88'	C10	RADIUS = 481.20'	A=342.36'
L11	S 53°18'17" E	376.47'	C11	RADIUS = 481.20'	A=342.36'
L12	N 00°30'21" E	35.52'	C12	RADIUS = 421.20'	A=66.32'
L13	N 13°47'54" W	111.63'	C13	RADIUS = 421.20'	A=41.79'
L14	N 63°54'29" W	320.23'	C14	RADIUS = 20.00'	A=227.93'
L15	N 46°50'22" W	677.44'	C15	RADIUS = 20.00'	A=41.79'
L16	S 23°39'12" W	664.82'			
L17	S 06°01'53" W	475.68'			
L18	N 63°16'53" W	876.14'			
L19	N 63°16'53" W	106.34'			
L20	S 39°58'07" E	155.62'			
L21	N 02°51'31" E	300.26'			
L22	N 32°08'28" W	252.53'			
L23	N 01°21'58" E	451.77'			
L24	N 89°07'16" E	219.94'			
L25	SOUTH	66.93'			
L26	S 89°07'16" W	83.32'			
L27	N 89°07'16" E	60.00'			
L28	S 20°49'27" E	322.43'			
L29	S 20°49'27" E	310.84'			
L30	S 13°17'30" W	454.06'			
L31	S 13°17'30" W	489.14'			
L32	S 44°20'09" W	205.82'			
L33	S 44°20'09" W	246.83'			
L34	N 36°39'44" W	460.33'			
L35	S 00°17'41" E	61.19'			
L36	N 40°57'26" W	69.04'			
L37	N 80°16'58" E	60.53'			

PARCEL 1	= 1,160,402 SQ. FT. (26.64 AC.)
PARCEL 2A	= 71,200 SQ. FT. (20.00 AC.)
PARCEL 2B	= 158,960 SQ. FT. (36.19 AC.)
PARCEL 3A	= 660,322 SQ. FT. (19.75 AC.)
PARCEL 3B	= 671,200 SQ. FT. (20.00 AC.)
PARCEL 4A	= 2,034,029 SQ. FT. (46.69 AC.)
PARCEL 5A	= 1,886,935 SQ. FT. (43.32 AC.)
PARCEL 6	= 1,802,272 SQ. FT. (41.37 AC.)
PARCEL 7A	= 1,343,605 SQ. FT. (30.84 AC.)
PARCEL 8A	= 6,469,415 SQ. FT. (148.69 AC.)
PARCEL 9A	= 1,402,960 SQ. FT. (32.21 AC.)
PARCEL 10A	= 534,863 SQ. FT. (12.34 AC.)
PARCEL 10B	= 818,009 SQ. FT. (18.78 AC.)
PARCEL 11A	= 642,591 SQ. FT. (14.75 AC.)
PARCEL 11B	= 529,054 SQ. FT. (12.15 AC.)
PARCEL 12A	= 547,826 SQ. FT. (12.58 AC.)
PARCEL 12B	= 508,991 SQ. FT. (11.68 AC.)
MAIN ROAD	= 528,928 SQ. FT. (12.14 AC.)
ACCESS ROAD	= 52,264 SQ. FT. (1.20 AC.)



RECORDED
PLAT

CERTIFICATION
THIS MAP IS CERTIFIED TO BE CORRECT AND IN ACCORDANCE WITH A
PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION
OF THE UNDERSIGNED AND IS CERTIFIED TO CONFORM TO THE
PROVISIONS OF THE STATE OF LOUISIANA, RS. 11-301 AND LAWS
AND ORDINANCES OF THE PARISH OF ST. TAMMANY.

JOHN E. BONNEAU
La. Reg. Land Surveyor
Reg. No. 4423

CHAIRMAN-ST. TAMMANY PARISH
PLANNING COMMISSION

SECRETARY-ST. TAMMANY PARISH
PLANNING COMMISSION

ST. TAMMANY PARISH ENGINEER

CLERK OF COURT

JOHN E. BONNEAU
REG. NO. 4423
REGISTERED
PROFESSIONAL
LAND SURVEYOR

Donal E. Pate
OWNER
Robert Rathe Jr.
OWNER

The Plantation
RESUB

NOTE: BUILDING SETBACK LINES ARE 100' ON ALL SIDES, WITH THE EXCEPTION OF BEING 50' ALONG ALL ROADS AND WITH THE EXCEPTION OF PARCEL 1, NORTH PROPERTY LINE HAVING A 50' SETBACK LINE.

NOTE: ALL LOTS ARE SUBJECT TO A 10' UTILITY EASEMENT ALONG THE STREET RIGHT-OF-WAY. (TYPICAL FOR ALL LOTS)

NOTE: SERVITUDE'S SHOWN HEREON ARE NOT NECESSARILY EXCLUSIVE. SERVITUDE'S OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST, AS SURVEYOR HAS NOT PERFORMED ANY TITLE SEARCH OR ABSTRACT.

NOTE: THIS IS TO CERTIFY THAT I HAVE DONE AN ACTUAL GROUND SURVEY AND FOUND THAT NO ENCROACHMENTS EXIST EITHER WAY ACROSS ANY PROPERTY LINES EXCEPT AS SHOWN.

NOTE: ALL LOT CORNERS WILL BE SET WITH 1/2" IRON RODS.

NOTE: ADDRESS (TYP) (22222)

NOTE: THIS IS TO CERTIFY THAT I HAVE CONSULTED THE FEDERAL INSURANCE ADMINISTRATION FLOOD HAZARD BOUNDARY MAPS AND FOUND THE PROPERTY DESCRIBED IS LOCATED IN FLOOD ZONE(S) "C" & "A" WITH A BASE FLOOD ELEVATION OF N/A IN ACCORDANCE WITH COMMUNITY PANEL NO. 226805 0160 C; REVISED: OCTOBER 17, 1989

LEGEND
SERVITUDE OF PASSAGE =
BUILDING SETBACK =
OLD LOT LINE =

THIS SURVEY MEETS THE MINIMUM REQUIREMENTS FOR A CLASS "C" SURVEY ACCORDING TO THE STANDARDS FOR LAND SURVEYORS IN LOUISIANA AS ADOPTED BY THE LOUISIANA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

Survey No. 2005 181
Date: APRIL 1, 2005
Revised: 07-11-05 (PARISH COMMENTS)
Scale: 1" = 400'
Drawn by: L.F.R.

JOHN E. BONNEAU & ASSOCIATES, INC.
Professional Land Surveyors & Planners and Consultants
1011 N. CAUSEWAY BLVD., SUITE 34 MANDEVILLE, LA. 70471 (504) 626-0808
SLIDELL (504) 643-2508 • MANDEVILLE (504) 626-3546 • N.D. (504) 456-2042
HAMMOND (504) 345-7641 • FAX: (504) 626-0057

SHEET NO.
1 of 1

RESUBDIVISION STAFF ANALYSIS REPORT

(As of November 4, 2020)

Meeting Date: November 10, 2020

CASE FILE NO: 2020-2123-MRP

NAME OF SUBDIVISION: Tchefuncta Club Estates

LOTS BEING DIVIDED: Resubdivision of Lot 376 and a Portion of Reserved Area into Lot 376-A, Square 25

SECTION: 50

WARD: 1

TOWNSHIP: 7 South

PARISH COUNCIL DISTRICT: 1

RANGE: 11 East

PROPERTY LOCATION: The parcel and reserved area are located on the north side of Riverdale Drive, east of Sunny Hollow Road, Covington, Louisiana

ZONING: A-2 Suburban District

PROPERTY OWNER: Tchefuncta Club Estates, Inc. - Francis Ward Cashion, President and Clyde Smalley, IV & Stacey Smalley

STAFF COMMENTARY:

The owner is requesting to resubdivide Lot 376 and a Portion of Reserved Area into one (1) residential site.

The reason for the public hearing requirement is that the proposal involves:

- The creation/adjustment of lots within a subdivision that requires approval of the Planning Commission.
- The creation/adjustment of the lot involves the addition of a portion of reserved area. The recorded subdivision plat indicates the following: Reserved areas to be reserved to Tchefuncta Club Estates, INC. use and are to be maintained by Tchefuncta Club Estates, INC.

The request shall be subject to the below comment:

- Provide the signature for the Chairman of Planning Commission.

FINAL APPROVAL

DIR. DEPT. OF ENGINEERING

SECRETARY PLANNING COMM.

CLERK OF COURT

DATE

FILE NO.

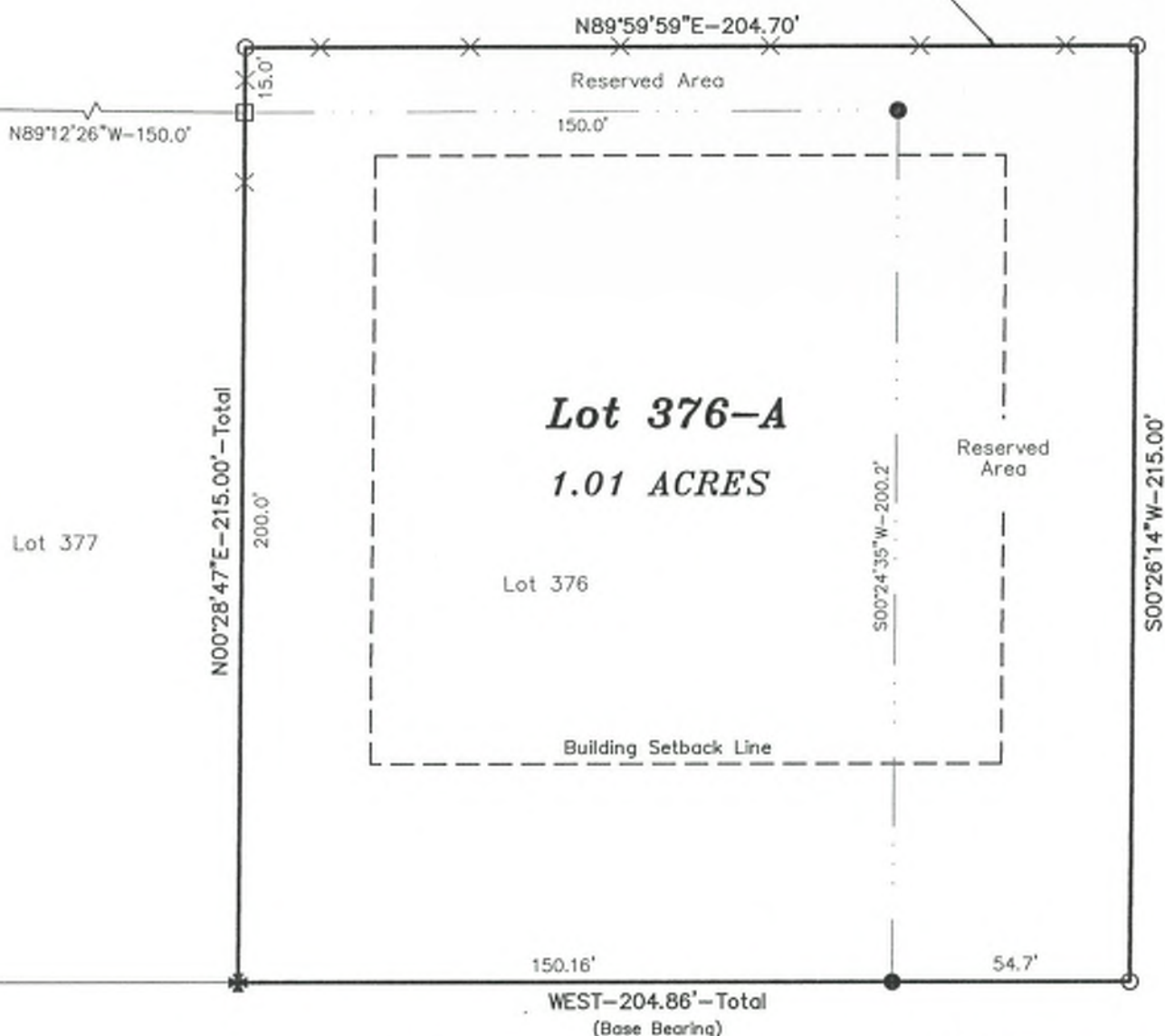
A Resubdivision of Lot 376, Square 25 and a Portion of Reserved Area, into Lot 376-A, Square 25, Tchefuncta Club Estates, in Section 50, T-7-S, R-11-E, St. Tammany Parish, Louisiana

Reference:

- 1) A Survey Map of Lot 376 by Randall Brown, Dated 7-15-2019, #19371, (Based Bearing)
- 2) Recorded Plat of Tchefuncta Club Estates, Clerk of Courts Office

Reference calls not shown

Improvements not shown

Remnants of
Old Fence

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS.

THIS MAP IS IN ACCORDANCE WITH THE STANDARD DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A C SURVEY AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46:XX.

LEGEND:

- ✱ = Fnd. Conc. Mon.
- = Fnd. 1/2" Iron Pipe
- = Set 1" Iron Pipe
- = Set 1/2" Iron Rod

(Must verify prior to Construction)
Building Setbacks
Front: 50'
Side: 30'
Rear: 25'
Side Street: 20'

MAP PREPARED FOR **TCHEFUNCTA CLUB ESTATES, INC.**

SHOWN A SURVEY MADE OF PROPERTY LOCATED IN LOT 376 AND A PORTION OF RESERVED AREA, SQUARE 25, TCHEFUNCTA CLUB ESTATES, ST. TAMMANY PARISH, LOUISIANA

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED. SIGNATURE AND STAMPED SEAL MUST BE IN RED OR THIS PLAT IS NOT A TRUE COPY.

LAND SURVEYING LLC

518 N. Columbia Street, Covington, LA 70433
(985) 892-6277 office (985) 898-0355 fax
landsurveyingllc@gmail.com

CERTIFIED CORRECT

License No. 4884

PROFESSIONAL

BRUCE M. BUTLER, III
LOUISIANA PROFESSIONAL LAND SURVEYOR
LICENSE NO. 4884

SCALE:

1" = 40'

DATE:

10-01-2020

NUMBER: 20062

TENTATIVE SUBDIVISION REVIEW

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TENTATIVE SUBDIVISION STAFF ANALYSIS REPORT
(As of November 2, 2020)

CASE NO.: 2020-2099-TP

PROPOSED SUBDIVISION NAME: Lakeshore Villages, Phase 12

DEVELOPER: D.R. Horton, Inc. Gulf Coast
7696 Vincent Road
Denham Springs, LA 70726

ENGINEER/SURVEYOR: Duplantis Design Group, LLC
16564 East Brewster Road
Covington, LA 70433

SECTION: 25 & 26
TOWNSHIP: 9 South
RANGE: 14 East

WARD: 9
PARISH COUNCIL DISTRICT: 13

TYPE OF DEVELOPMENT: ☐ URBAN (Residential lots less than 1 acre)
 ☐ SUBURBAN (Residential lots between 1-5 acres)
 ☐ RURAL (Residential Farm Tract lots 5 acres plus)
 ☒ OTHER (Multi family, commercial or industrial) **(PUD)**

GENERAL LOCATION: The property is located north of Oak Harbor Blvd., west of LA Highway 433,
east of Interstate-10, Slidell, Louisiana.

SURROUNDING LAND USES: North - Single Family Residential
 South - Single Family Residential
 East - Single Family Residential
 West - Single Family Residential

TOTAL ACRES IN DEVELOPMENT: 67.65 Acres

NUMBER OF LOTS: 311 TYPICAL LOT SIZE: 6,449.46 Square Feet

SEWER AND WATER SYSTEMS: Central

PROPOSED ZONING: PUD

FLOOD ZONE DESIGNATION: "AH - EL -3.0"

STAFF COMMENTARY:

Department of Planning and Development

General Comments:

1. A waiver of the minimum driveway requirement is being requested for Lot #2426. In order to approve this waiver request a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 – Subdivision Regulations.

Informational Items

The developer needs to contact the 911 Addressing office regarding this phase of Lakeshore Villages to get lot addresses issued and approved.

The Traffic Impact Analysis for the Lakeshore Villages Development needs to be updated to include Phase 12 and be approved by STP and LADOTD.

The geotechnical report for this phase of Lakeshore Villages proposing a 3” asphalt section has been reviewed and approved.

Parish code requires that a land clearing permit be applied for and obtained through the Department of Planning prior to the developer receiving a work order in conjunction with the preliminary subdivision review process.

Revised drawings will not be accepted for review or placement in the packet prior to the November 10, 2020 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.



October 28, 2020

St. Tammany Parish
Department of Development Attn: Theodore Reynolds
21454 Koop Drive
Mandeville, LA 70471

RE: Lakeshore Villages Phase 9
Slidell, LA
DDG Job #20-398

Theodore,

The developer would like to request a waiver pertaining to Lakeshore Villages, Phase 12.

I have enclosed exhibits and further details pertaining to waiver requests.

Sincerely,
Duplantis Design Group, P.C.

A handwritten signature in black ink that reads "Seth Ward". The signature is fluid and cursive, with the first name "Seth" and last name "Ward" clearly distinguishable.

Seth Ward, EI

Enclosures:

Driveway Waiver Description and Justification
Driveway Waiver Exhibit

DUPLANTIS DESIGN GROUP, PC

8352 Bluebonnet Boulevard, Baton Rouge, LA 70810
(O) 225.751.4490 (F) 225.751.4495

THIBODAUX
NEW ORLEANS

BATON ROUGE
LAFAYETTE

COVINGTON
HOUSTON

Driveway Waiver Description and Justification

The Subdivision Regulations Chapter 125 Section 214 states, "Driveways on corner lots shall not be located any closer than sixty (60') feet from a corner of the said property closest to the intersection as measured from the property lines on the corner of the property where the said two street rights-of-way intersect." The developer is requesting a waiver to reduce the distance between the right-of-way intersection and driveway to 39' for Lot 2426. If any of the remaining corner lots do not meet the 60' clearance from the adjacent intersecting rights-of-way to the driveway, then those lots will be side-loaded.

In the following enclosure, you will see the lot layout of the intersection where Lot 2426 is located. The closest the driveway shall be located in relation to the adjacent intersecting right-of-way is 39'. With the driveway being restricted to 39' from the intersecting rights-of-way, the distance between the driveway and the back of the curb exceed 50'. The goal of the developer is to construct the driveways as far from the intersection possible and to exceed the waiver request if possible.



REVISION	BY

8352 Bluebonnet Blvd.
Baton Rouge, La 70810
Office: 225-751-4490
Fax: 225-751-4495
www.ddgpc.com

DDG
DUPLANTIS DESIGN GROUP

DATE: _____

BY: _____

STAMP

LAKESHORE VILLAGES, PH12
SLIDELL, LA
D.R. HORTON, INC-GULF COAST

DATE: 01/12/2020

ISSUED DATE: 01-28-2020

PREPARED FOR: REVIEW

PROJECT NO: 20-015

FILE: Driveyway Waiver Request Exhibit

EX-1

Tentative S/D PLANS
RECEIVED
10/28/2020 - 11:01 A.M.
DEVELOPMENT
ENGINEERING

ENGINEERING
REVIEW COPY

NOTES:
MEASURED BEARINGS ARE BASED ON GRID NORTH, LOUISIANA
STATE PLANE SOUTH ZONE (1702) NAD 83 AS DERIVED FROM
THE LSU CAG RTK NETWORK (2020.7).
P.O.B. (POINT OF BEGINNING)
P.O.C. (POINT OF COMMENCEMENT)

PROPOSED
PHASE 13

GENERAL INFORMATION

CENTRAL SEWER SYSTEM	311 NUMBER OF LOTS
LAKE PONTCHARTRAIN ULTIMATE SURFACE WATER DISPOSAL	PUD PRESENT ZONING
6,449.46± S.F. AVERAGE LOT SIZE	ASPHALT ROAD SURFACE
CENTRAL WATER SYSTEM	50 FEET (LOCAL) RIGHT OF WAY WIDTHS
870'± MAX BLOCK LENGTH	11,632'± STREET LENGTH
67.65± ACRES TOTAL AREA OF DEVELOPMENT	46.04 ACRES TOTAL AREA OF LOTS
OFF-SITE LOCATION OF WATER & SEWER FACILITIES	45 FEET MAX BUILDING HEIGHT
BUILDING SETBACKS	
FRONT: 20' REAR: 15' (VARIES ALONG CANAL/LAKE) SIDE: 4' (10' ALONG RIGHT OF WAYS)	

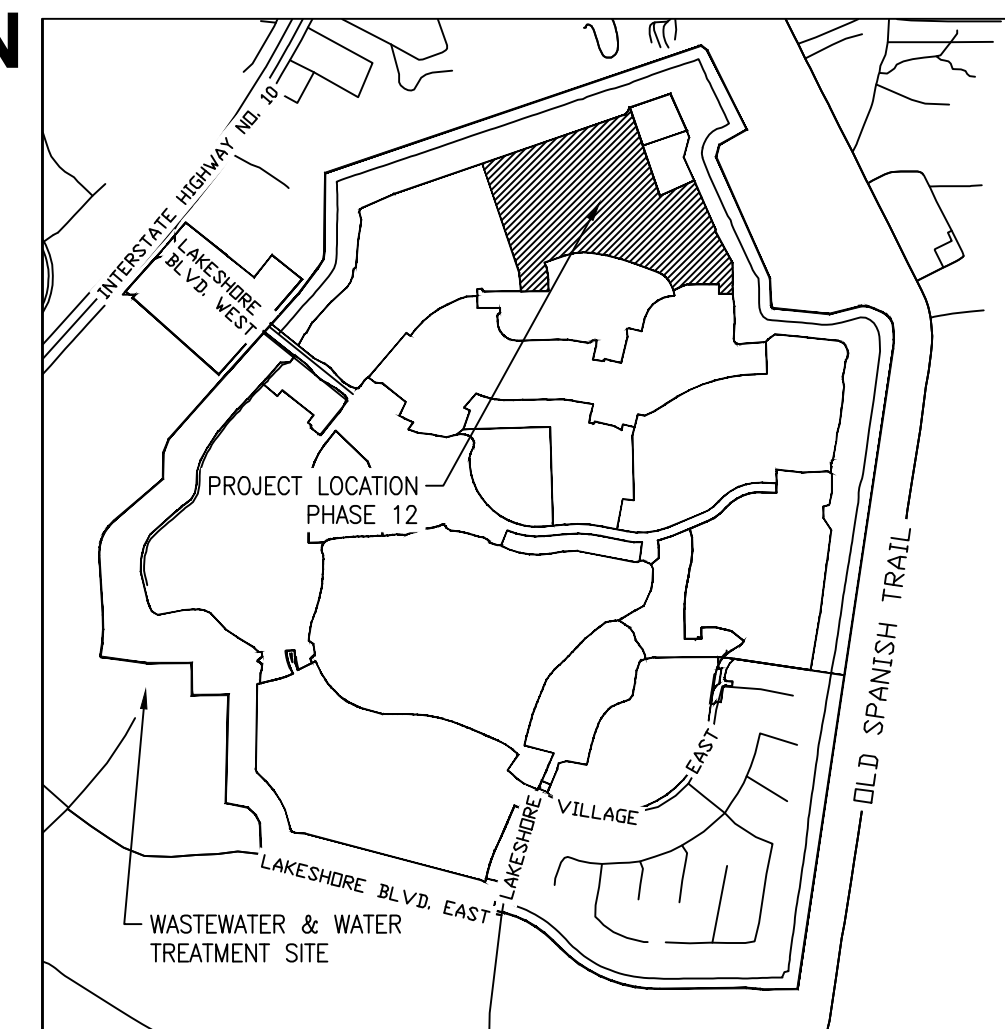


PLAT SHOWING TENTATIVE SUBDIVISION

OF

LAKESHORE VILLAGES (PHASE 12)

LOCATED IN SECTIONS 25 & 26
TOWNSHIP 9 SOUTH - RANGE 14 EAST
GREENSBURG LAND DISTRICT
ST. TAMMANY PARISH, LOUISIANA



VICINITY MAP

OPEN GREEN SPACE CALCULATIONS (PHASE 12)

OPEN/GREEN SPACE REQUIRED

67.65 ACRES

X 0.25 S.F. OPEN/GREEN SPACE

16.912 ACRES REQUIRED

(=736,686± S.F.)

OPEN/GREEN SPACE REQUIRED

3.062 ACRES (PHASE 3A)

2.606 ACRES (PHASE 3B)

36.493 ACRES (PHASE 4A)

1.779 ACRES (PHASE 4B)

3.863 ACRES (PHASE 5)

22.246 ACRES (PHASE 6)

5.851 ACRES (PHASE 7)

16.449 ACRES (PHASE 8)

20.285 ACRES (PHASE 9)

8.681 ACRES (PHASE 10)

6.650 ACRES (PHASE 11)

16.912 ACRES (PHASE 12)

144.677 ACRES TOTAL OPEN/GREEN SPACE REQUIRED

OPEN/GREEN SPACE PROVIDED

3.318 ACRES (PHASE 3A)

0.770 ACRES (PHASE 3B)

439.779 ACRES (PHASE 4A)

1.289 ACRES (PHASE 4B)

0.657 ACRES (PHASE 5)

4.109 ACRES (PHASE 6)

5.777 ACRES (PHASE 7)

2.226 ACRES (PHASE 8)

6.040 ACRES (PHASE 9)

0.000 ACRES (PHASE 10)

5.335 ACRES (PHASE 11)

5.715 ACRES (PHASE 12)

475.015 ACRES TOTAL PROVIDED

DEDICATION:
ALL STREET RIGHTS-OF-WAY SHOWN HEREON ARE NOT DEDICATED TO THE PARISH OF ST. TAMMANY BUT ARE DEDICATED TO THE PERPETUAL USE OF THE COMMUNITY DEVELOPMENT DISTRICT AND IS TO BE OWNED AND MAINTAINED BY THE COMMUNITY DEVELOPMENT DISTRICT. EASEMENTS SHALL BE RESERVED FOR DRAINAGE AND UTILITIES AS INDICATED HEREON AND NO OBSTRUCTIONS OR IMPROVEMENTS SHALL BE ALLOWED THAT WOULD PREVENT THEM FROM BEING USED FOR INTENDED USE. THE DEVELOPER OR HOMEOWNERS ASSOCIATION IS RESPONSIBLE FOR MAINTENANCE OF ALL GREEN SPACES, DRAINAGE SERVITUDES, STREET SIGNS, AND TRAFFIC CONTROL SIGNS.

APPROVALS:

CHAIRMAN - PARISH PLANNING COMMISSION

SECRETARY - PARISH PLANNING COMMISSION

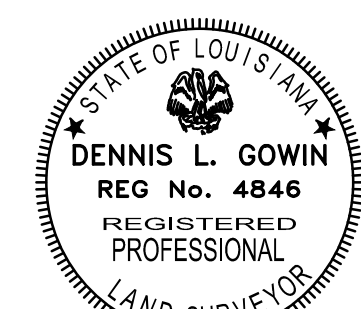
DIRECTOR OF DEPARTMENT OF ENGINEERING

CLERK OF COURT

DATE FILED

FILE NO.

(OWNER/OWNER REPRESENTATIVE)
DR HORTON, INC. - GULF COAST
7695 VINCENT ROAD
DENHAM SPRINGS, LA 70726



I CERTIFY THAT THIS TENTATIVE PLAT REPRESENTS AN ACTUAL GROUND SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND IS NOT IN FULL COMPLIANCE WITH LA RS: 33:5051 AND THE REQUIREMENTS OF THE CURRENT LOUISIANA STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A CLASS "C" SURVEY, SINCE ALL CORNERS ARE NOT SET.

DATE OF PLAT: 10/28/2020

DENNIS L. GOWIN, P.L.S.: LA REG. NO. 4846
REGISTERED PROFESSIONAL LAND SURVEYOR

SCALE IN FEET

100' 50' 0 100' 200' 300'

REVISION	BY
PER COMMENTS	
1	10/26/2020 BPV

DUPLANTIS DESIGN GROUP, PC

SURVEY

16564 Brewster Road, Suite 101
Covington, LA 70433
Phone: 985.249.6180 \ FAX: 985.249.6190

1308 Camelia Blvd, Suite 200
Lafayette, LA 70508

WWW.ddgpc.com



SUBDIVISION OF LAKESHORE VILLAGES (PHASE 12)
SLIDELL, LOUISIANA
ST. TAMMANY PARISH

FOR:
DR HORTON, INC. - GULF COAST

DRAWN BPV
CHECKED DLG
PROJECT NO. 20-398
FILE 20-398 PHASE 12 TENTATIVE REV1
SHEET
1-2

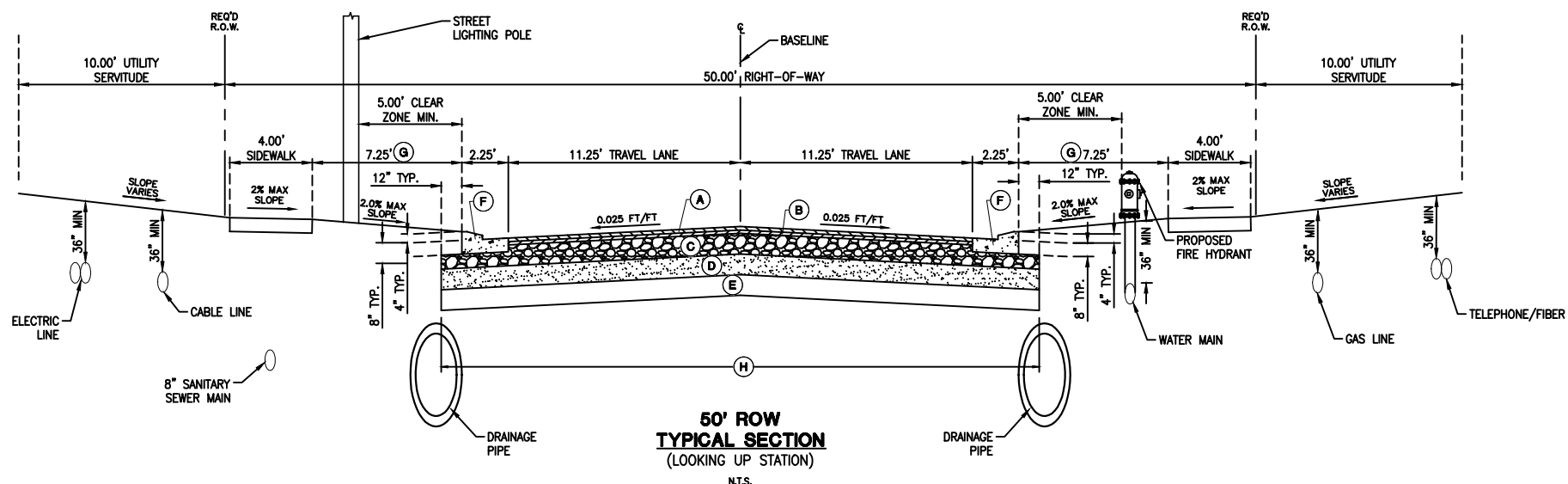
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PLAT SHOWING TENTATIVE SUBDIVISION

OF

LAKESHORE VILLAGES (PHASE 12)

LOCATED IN SECTIONS 25 & 26
TOWNSHIP 9 SOUTH - RANGE 14 EAST
GREENSBURG LAND DISTRICT
ST. TAMMANY PARISH, LOUISIANA

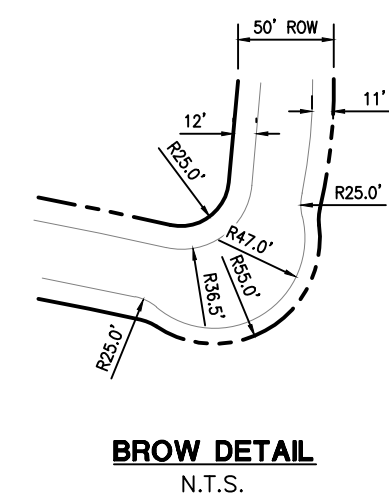


LEGEND:

- (A) 1-1/2" LEVEL 1 (PG-22M, 0.5' NOMINAL MIX) ASPHALTIC CONCRETE WEARING COURSE
- (B) 1-1/2" LEVEL 1 (PG-22M, 0.5' NOMINAL MIX) ASPHALTIC CONCRETE BINDER COURSE
- (C) 12" CEMENT STABILIZED BASE (10% BY VOLUME) 95% COMPACTION PER ASTM D-698 (REF. NOTE 2)
- (D) 12" COMPACTED STRUCTURAL FILL SUBBASE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. SUBBASE IS TO BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY NEAR THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D-698. (REF. NOTE 3)
- (E) PROOF ROLLED AND STABLE SUBGRADE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- (F) 4" HIGH MOUNTABLE CONCRETE CURB AND GUTTER WITH 12" GUTTER AND 15" MOUNTABLE CURB
- (G) HYDROSEED WITH STRAW OR SOO DISTURBED AREAS (WITHIN LIMITS OF CONSTRUCTION)
- (H) GENERAL EXCAVATION

NOTES:

- ALL PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH LADOT STANDARD SPECIFICATIONS 2016 EDITION AND/OR ST. TAMMANY PARISH SUBDIVISION REGULATION CHAPTER 125 SPECIFICATIONS; THE MORE STRINGENT STANDARD SHALL BE USED.
- CONTRACTOR MAY UTILIZE AN ALTERNATIVE CLASS II BASE COURSE IN LIEU OF SOIL CEMENT IN AREAS WHERE SOIL CEMENT CANNOT MEET PROJECT SPECIFICATIONS. A-H SUB-BASE SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, ST. TAMMANY PARISH CODE OF ORDINANCES, AND SUB-SECTION 1003 OF THE LSSRS. THE BASE SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY NEAR THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D-698.
- BASED ON THE PAVEMENT SECTION DESIGN RECOMMENDATION LETTERS PREPARED BY PREMIER GEOTECH AND TESTING, THE BASE AND SUBGRADE SHALL CONSIST OF LEAN CLAYS AND SANDY LEAN CLAYS (CL) OR CLAYEY SANDS (SC) HAVING THE FOLLOWING RECOMMENDED MATERIAL PROPERTIES AND PLOTS ABOVE THE "A-LINE" ON THE PLASTICITY CHART:
 - LIQUID LIMIT: 40 MAXIMUM
 - PLASTICITY INDEX: 20 MAXIMUM
 - INERT MATERIAL (NON-EXPANSIVE)
 - FREE OF ORGANICS
 - MAXIMUM PARTICLE SIZE: 2-INCHES
- EACH LIFT SHALL BE PLACED IN MAXIMUM LIFTS OF 8" OF LOOSE MATERIAL AND COMPACTED TO 95% STANDARD PROCTOR PER ASTM D-698.
- THIS MATERIAL MUST BE CERTIFIED AND APPROVED BY THE OWNER'S INDEPENDENT TESTING LABORATORY AND/OR THE GEOTECHNICAL ENGINEER OF RECORD PRIOR TO ITS USE.
- CONTRACTOR TO ENSURE ALL STREET LIGHT POLES AND FIRE HYDRANTS ARE LOCATED 5' MINIMUM BEHIND BACK OF CURB FOR LOCAL ROADS.



DESCRIPTION PHASE 12:

THAT CERTAIN PIECE OR PARCEL OF LAND DESIGNATED AS LAKESHORE VILLAGES, PHASE 12, A SUBDIVISION OF A PORTION OF LOT A-1-A, LOCATED IN SECTIONS 25 & 26, TOWNSHIP 9 SOUTH, RANGE 14 EAST, GREENSBURG LAND DISTRICT, PARISH OF ST. TAMMANY, STATE OF LOUISIANA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A 1" ANGLE IRON FOUND AT THE CORNER COMMON TO SECTIONS 23, 24, 25 AND 26, SAID TOWNSHIP 9 SOUTH, RANGE 14 EAST; THENCE S00°29'38"E A DISTANCE OF 2780.43 FEET FOR A POINT OF BEGINNING; THENCE S24°45'24"E A DISTANCE OF 557.68 FEET TO A POINT; THENCE S26°53'02"E A DISTANCE OF 81.53 FEET TO A POINT; THENCE S22°44'10"E A DISTANCE OF 149.02 FEET TO A POINT; THENCE S27°58'43"E A DISTANCE OF 201.84 FEET TO A POINT; THENCE S05°58'40"W A DISTANCE OF 134.30 FEET TO A POINT; THENCE S00°00'00"E A DISTANCE OF 135.00 FEET TO A POINT; THENCE N00°00'00"W A DISTANCE OF 150.00 FEET TO A POINT; THENCE N00°00'00"W A DISTANCE OF 84.52 FEET TO A POINT; THENCE S90°00'00"W A DISTANCE OF 321.91 FEET TO A POINT; THENCE S73°25'12"W A DISTANCE OF 50.40 FEET TO A POINT; THENCE S66°10'15"W A DISTANCE OF 115.30 FEET TO A POINT; THENCE N23°33'22"W A DISTANCE OF 62.21 FEET TO A POINT; THENCE ALONG A CURVE TO THE LEFT AN ARC DISTANCE OF 195.52 FEET, SAID CURVE HAVING A RADIUS OF 245.00 FEET, AND A CHORD WITH A BEARING OF N44°12'27"W AND A LENGTH OF 190.37 FEET TO A POINT; THENCE N69°33'09"W A DISTANCE OF 265.58 FEET TO A POINT; THENCE ALONG A CURVE TO THE LEFT AN ARC DISTANCE OF 456.84 FEET, SAID CURVE HAVING A RADIUS OF 1940.00 FEET, AND A CHORD WITH A BEARING OF N76°17'55"W AND A LENGTH OF 455.78 FEET TO A POINT; THENCE ALONG A CURVE TO THE LEFT AN ARC DISTANCE OF 273.32 FEET, SAID CURVE HAVING A RADIUS OF 610.00 FEET, AND A CHORD WITH A BEARING OF S84°07'09"W AND A LENGTH OF 271.04 FEET TO A POINT; THENCE S71°17'00"W A DISTANCE OF 112.00 FEET TO A POINT; THENCE ALONG A CURVE TO THE RIGHT AN ARC DISTANCE OF 128.03 FEET, SAID CURVE HAVING A RADIUS OF 395.00 FEET, AND A CHORD WITH A BEARING OF S09°21'30"E AND A LENGTH OF 128.46 FEET TO A POINT; THENCE S00°00'00"E A DISTANCE OF 121.57 FEET TO A POINT; THENCE N80°00'00"W A DISTANCE OF 65.17 FEET TO A POINT; THENCE S00°00'00"E A DISTANCE OF 215.00 FEET TO A POINT; THENCE N80°00'00"W A DISTANCE OF 414.83 FEET TO A POINT; THENCE ALONG A CURVE TO THE LEFT AN ARC DISTANCE OF 23.90 FEET, SAID CURVE HAVING A RADIUS OF 50.00 FEET, AND A CHORD WITH A BEARING OF S76°18'23"W AND A LENGTH OF 23.67 FEET TO A POINT; THENCE N00°00'00"E A DISTANCE OF 45.60 FEET TO A POINT; THENCE N90°00'00"W A DISTANCE OF 187.00 FEET TO A POINT; THENCE N00°00'00"E A DISTANCE OF 112.00 FEET TO A POINT; THENCE ALONG A CURVE TO THE RIGHT AN ARC DISTANCE OF 20.42 FEET, SAID CURVE HAVING A RADIUS OF 13.00 FEET, AND A CHORD WITH A BEARING OF N45°00'00"E AND A LENGTH OF 18.38 FEET TO A POINT; THENCE S89°44'34"W A DISTANCE OF 63.00 FEET TO A POINT; THENCE N00°00'00"E A DISTANCE OF 63.28 FEET TO A POINT; THENCE N90°00'00"E A DISTANCE OF 50.00 FEET TO A POINT; THENCE ALONG A CURVE TO THE LEFT AN ARC DISTANCE OF 20.42 FEET, SAID CURVE HAVING A RADIUS OF 13.00 FEET, AND A CHORD WITH A BEARING OF S44°58'59"E AND A LENGTH OF 18.38 FEET TO A POINT; THENCE N80°00'00"W A DISTANCE OF 389.53 FEET TO A POINT; THENCE N00°36'00"W A DISTANCE OF 151.68 FEET TO A POINT; THENCE N18°43'00"W A DISTANCE OF 1055.82 FEET TO A POINT; THENCE S71°17'00"W A DISTANCE OF 10.10 FEET TO A POINT; THENCE N18°43'00"W A DISTANCE OF 162.00 FEET TO A POINT; THENCE N11°17'00"E A DISTANCE OF 419.00 FEET TO A POINT; THENCE N66°27'44"E A DISTANCE OF 156.55 FEET TO A POINT; THENCE N71°17'00"E A DISTANCE OF 41.90 FEET TO A POINT; THENCE N71°37'41"E A DISTANCE OF 322.01 FEET TO A POINT; THENCE N71°17'00"E A DISTANCE OF 336.00 FEET TO A POINT; THENCE N68°47'15"E A DISTANCE OF 180.17 FEET TO A POINT; THENCE N50°15'09"E A DISTANCE OF 48.21 FEET TO A POINT; THENCE N30°49'51"E A DISTANCE OF 59.14 FEET TO A POINT; THENCE N32°56'20"E A DISTANCE OF 20.09 FEET TO A POINT; THENCE S18°43'00"E A DISTANCE OF 972.00 FEET TO A POINT; THENCE N66°10'15"E A DISTANCE OF 389.91 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 67.649 ACRES AND IS SUBJECT TO ANY SERVITUDES OR RESTRICTIONS OR RECORD.

RESTRICTIVE COVENANTS:

- NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED BEFORE THE SEWERAGE AND WATER SYSTEMS ARE INSTALLED AND OPERABLE OR OTHERWISE CONNECTED TO A COMMUNITY (CENTRAL) SEWERAGE AND/OR WATER SYSTEMS, ALL AS APPROVED BY THE DEPARTMENT OF ENVIRONMENTAL SERVICES OF THE PARISH. WHENEVER A SUBDIVISION IS SERVED BY A COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY), NO PRIVATE WATER SUPPLY MAY BE DRILLED OR OTHERWISE CONSTRUCTED ON ANY LOT FOR THE PURPOSE OF SUPPLYING POTABLE WATER TO ANY BUILDING OR STRUCTURE, EXCEPT FOR THE PURPOSE OF IRRIGATION, AND IN NO EVENT SHALL THERE BE A PHYSICAL CONNECTION BETWEEN ANY SUCH SOURCE AND ANY ELEMENT OF THE COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY).
- CONSTRUCTION OF ANY NATURE IS PROHIBITED IN DRAINAGE OR STREET EASEMENTS.
- LOTS MAY NOT BE USED FOR THE STORAGE OF TRASH OR JUNK VEHICLES.
- THE MINIMUM FINISHED FLOOR ELEVATION FOR ALL RESIDENTIAL HOMES SHALL MEET THE LATEST ADOPTED F.I.R.M. MAP OR 1 FOOT ABOVE THE CENTERLINE OF THE ROAD, WHICHEVER IS GREATER.
- NO LOT WILL BE FURTHER SUBDIVIDED WITHOUT APPROVAL OF THE PLANNING COMMISSION AND THE DEPARTMENT OF ENVIRONMENTAL SERVICES OF THE PARISH.
- DRIVEWAYS ON CORNER LOTS SHALL NOT BE LOCATED ANY CLOSER THAN 60 FEET FROM A CORNER OF SAID PROPERTY CLOSEST TO THE INTERSECTION AS MEASURED FROM THE PROPERTY LINES ON THE CORNER OF THE PROPERTY WHERE THE SAID TWO STREET RIGHTS-OF-WAY INTERSECT. IF THERE ARE LOTS THAT DO NOT COMPLY WITH THIS AS FRONT-LOADED LOTS, THEY ARE TO BE SIDE LOADED. LOT 2428 IS TO BE FRONT LOADED WITH A MINIMUM DISTANCE OF 39 FEET BETWEEN THE EDGE OF DRIVEWAY AND PROPERTY CORNER WHERE THE TWO STREET RIGHTS-OF-WAY INTERSECT.
- IT SHALL BE PROHIBITED FOR ANY LOT WITHIN AN APPROVED SUBDIVISION TO HAVE REAR ACCESS VIA A DRIVEWAY TO OR FROM ANY STREET OR ROAD THAT IS NOT DEDICATED WITHIN THE BOUNDARIES OF THE APPROVED SUBDIVISION PLAT.
- THE HOME BUILDER IS RESPONSIBLE FOR THE CONSTRUCTION OF THE SIDEWALK ALONG THE LOTS.
- THE RESIDENTS WITHIN PHASE 12 WILL HAVE THE RIGHT TO UTILIZE THE EXISTING CENTRAL LAKE LOCATED WITHIN THE LAKESHORE VILLAGES DEVELOPMENT FOR RECREATIONAL PURPOSE.
- THE EXISTING STORMWATER DETENTION SYSTEM, INCLUDING THE CANALS, LAKES, AND PUMP STATION, ARE TO BE OWNED AND MAINTAINED BY THE COMMUNITY DEVELOPMENT DISTRICT.
- THE AFOREMENTIONED RESTRICTIONS SHALL BE RECITED IN EACH TITLE OR DEED IN ADDITION TO THE REQUIRED LISTING ON THE FINAL SUBDIVISION PLAT.

NOTES:

- ZONING:
THE SUBJECT PROPERTY IS PART OF LAKESHORE VILLAGE PUD "Y" (PLANNED UNIT DEVELOPMENT), USE AREA LV-3 (SINGLE AND MULTI-FAMILY RESIDENTIAL).
- PLATTED BUILDING SETBACKS:
FRONT: 20'
REAR: 15' (VARIES ALONG CANAL/LAKE)
SIDE: 4' (10' ALONG STREET RIGHTS OF WAY)
- REFERENCES:
A) PLAT SHOWING PRELIMINARY SUBDIVISION OF LAKESHORE VILLAGES (PHASE 9) LOCATED IN SECTIONS 25, 26, & 35, TOWNSHIP 9 SOUTH-RANGE 14 EAST GREENSBURG LAND DISTRICT ST. TAMMANY PARISH, LOUISIANA.
B) PLAT SHOWING PRELIMINARY SUBDIVISION OF LAKESHORE VILLAGES (PHASE 11) LOCATED IN SECTIONS 28, TOWNSHIP 9 SOUTH-RANGE 14 EAST GREENSBURG LAND DISTRICT ST. TAMMANY PARISH, LOUISIANA.
C) FLOOD ZONE NOTE:
SURVEYOR HAS CONSULTED THE FEMA FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR THIS LOCATION AND FOUND THAT THE SUBJECT PROPERTY IS IN A SPECIAL FLOOD HAZARD AREA: FLOOD ZONE: AH & "X" (SHADED)
BASE FLOOD ELEVATION: -3'
COMMUNITY PANEL NO. 225205 0535 D
MAP REVISED: APRIL 16, 2020
NOTES:
MAP REVISION IS FROM LETTER OF MAP REVISION, CASE NO. 19-06-185P, EFFECTIVE DATE APRIL 16, 2020.
CONTACT ST. TAMMANY PARISH FOR ANY ADDITIONAL ELEVATION REQUIREMENTS.
- WETLANDS:
WETLANDS HAVE BEEN PERMITTED BY PERMIT NO. MWN 2002-1717, DATED MAY 7, 2004, MODIFIED JUNE 27, 2005 AND FEBRUARY 3, 2011.
- LANDFILL:
SURVEYOR HAS NO KNOWLEDGE OF OR HAS OBSERVED ANY LANDFILLS ON THE SUBJECT PROPERTY.
- GREENSPACES:
GREEN SPACES SHOWN ARE TO BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- UTILITY LOCATIONS:
UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE UTILITY FEATURES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES, EXCEPT FOR ABOVE GROUND VISIBLE UTILITY FEATURES. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES.
- TITLE:
THE SERVITUDES AND RESTRICTIONS SHOWN HEREON ARE LIMITED TO THOSE SET FORTH IN THE INFORMATION PROVIDED TO US. THERE IS NO REPRESENTATION MADE BY THIS SURVEYOR THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN. TITLE WAS NOT RESEARCHED IN PREPARATION OF THIS SURVEY.

DEDICATION:

ALL STREET RIGHTS-OF-WAY SHOWN HEREON ARE NOT DEDICATED TO THE PARISH OF ST. TAMMANY BUT ARE DEDICATED TO THE PERPETUAL USE OF THE COMMUNITY DEVELOPMENT DISTRICT AND IS TO BE OWNED AND MAINTAINED BY THE COMMUNITY DEVELOPMENT DISTRICT. EASEMENTS SHALL BE RESERVED FOR DRAINAGE AND UTILITIES AS INDICATED HEREON AND NO OBSTRUCTIONS OR IMPROVEMENTS SHALL BE ALLOWED THAT WOULD PREVENT THEM FROM BEING USED FOR INTENDED USE. THE DEVELOPER OR HOMEOWNERS ASSOCIATION IS RESPONSIBLE FOR MAINTENANCE OF ALL GREEN SPACES, DRAINAGE SERVITUDES, STREET SIGNS, AND TRAFFIC CONTROL SIGNS.

APPROVALS:

CLERK OF COURT

DATE FILED

FILE NO.

(OWNER/OWNER REPRESENTATIVE)
DR HORTON, INC. - GULF COAST
7696 VINCENT ROAD
DENHAM SPRINGS, LA 70726

I CERTIFY THAT THIS TENTATIVE PLAT REPRESENTS AN ACTUAL GROUND SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND IS NOT IN FULL COMPLIANCE WITH LA RS. 33:5051 AND THE REQUIREMENTS OF THE CURRENT LOUISIANA STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A CLASS "C" SURVEY, SINCE ALL CORNERS ARE NOT SET.

DATE OF PLAT: 10/28/2020

DENNIS L. GOWIN, P.L.S.: LA REG. NO. 4846
REGISTERED PROFESSIONAL LAND SURVEYOR



REVISION	BY
PER COMMENTS	
1	10/26/2020 BPV

DUPLANTIS DESIGN GROUP, PC
SURVEY
15564 Brewster Road, Suite 101
Covington, LA 70433
Phone: 985.243.6180 \ FAX: 985.249.6190
1308 Camella Blvd, Suite 200
Lafayette, LA 70508
WWW.ddgpc.com



SUBDIVISION OF LAKESHORE VILLAGES (PHASE 12)
SLIDELL, LOUISIANA
ST. TAMMANY PARISH

FOR:
DR HORTON, INC. - GULF COAST

DRAWN BPV
CHECKED DLG
PROJECT NO. 20-398
FILE 20-398 PHASE 12 TENTATIVE REV1
SHEET
2-2

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TENTATIVE SUBDIVISION STAFF ANALYSIS REPORT
(As of November 2, 2020)

CASE NO.: 2020-2100-TP

PROPOSED SUBDIVISION NAME: Lakeshore Villages, Phase 13

DEVELOPER: D.R. Horton, Inc. Gulf Coast
7696 Vincent Road
Denham Springs, LA 70726

ENGINEER/SURVEYOR: Duplantis Design Group, LLC
16564 East Brewster Road
Covington, LA 70433

SECTION: 26
TOWNSHIP: 9 South
RANGE: 14 East

WARD: 9
PARISH COUNCIL DISTRICT: 13

TYPE OF DEVELOPMENT: ☐ URBAN (Residential lots less than 1 acre)
 ☐ SUBURBAN (Residential lots between 1-5 acres)
 ☐ RURAL (Residential Farm Tract lots 5 acres plus)
 ☒ OTHER (Multi family, commercial or industrial) **(PUD)**

GENERAL LOCATION: The property is located north of Oak Harbor Blvd., west of LA Highway 433,
east of Interstate-10, Slidell, Louisiana.

SURROUNDING LAND USES: North - Single Family Residential
 South - Single Family Residential
 East - Single Family Residential
 West - Single Family Residential

TOTAL ACRES IN DEVELOPMENT: 60.43 Acres

NUMBER OF LOTS: 244 TYPICAL LOT SIZE: 7,912.08 Square Feet

SEWER AND WATER SYSTEMS: Central

PROPOSED ZONING: PUD

FLOOD ZONE DESIGNATION: "AH - EL -3.0"

STAFF COMMENTARY:

Department of Planning and Development

Informational Items

The developer needs to contact the 911 Addressing office regarding this phase of Lakeshore Villages to get lot addresses issued and approved.

The Traffic Impact Analysis for the Lakeshore Villages Development needs to be updated to include Phase 13 and be approved by STP and LADOTD.

The geotechnical report for this phase of Lakeshore Villages proposing a 3" asphalt section has been reviewed and approved.

Parish code requires that a land clearing permit be applied for and obtained through the Department of Planning prior to the developer receiving a work order in conjunction with the preliminary subdivision review process.

Revised drawings will not be accepted for review or placement in the packet prior to the November 10, 2020 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.

Tentative S/D PLANS
RECEIVED
10/28/2020 - 10:27 A.M.
DEVELOPMENT
ENGINEERING

ENGINEERING
REVIEW COPY

NOTES:
MEASURED BEARINGS ARE BASED ON GRID NORTH, LOUISIANA
STATE PLANE SOUTH ZONE (1702) NAD 83 AS DERIVED FROM
THE LSU C46 RTK NETWORK (2020.7).

PARCEL CURVE DATA				
CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING & DISTANCE
C1	090°00'02"	13.00'	20.42'	N44°59'59"W - 18.38'
C2	019°37'00"	625.00'	213.98'	N76°00'20"E - 212.94'
C3	027°19'41"	935.00'	445.96'	N52°32'00"E - 441.75'
C6	036°56'21"	176.35'	113.70'	N10°20'27"E - 111.74'
C8	021°08'37"	162.39'	59.93'	N2°40'53"E - 59.59'
C10	051°44'48"	36.94'	33.36'	N15°53'57"E - 32.24'
C11	056°38'23"	44.56'	44.05'	S75°49'17"W - 42.28'
C12	041°54'50"	43.19'	31.60'	N56°37'53"W - 30.90'
C13	078°56'30"	52.65'	72.53'	S86°59'11"W - 66.93'
C17	077°47'47"	50.37'	68.39'	S20°35'16"W - 63.25'
C195	092°37'20"	25.00'	40.41'	S04°49'20"E - 36.16'
C196	083°42'05"	25.00'	36.52'	N87°00'57"E - 33.36'
C197	096°17'55"	13.00'	21.85'	N02°59'03"W - 19.37'
C198	087°22'40"	13.00'	19.83'	S85°10'40"W - 17.96'
C199	092°37'20"	13.00'	21.02'	S04°49'20"E - 18.80'
C200	087°22'40"	13.00'	19.83'	S85°10'40"W - 17.96'
C201	092°37'20"	13.00'	21.02'	N04°49'20"W - 18.80'
C202	087°22'40"	13.00'	19.83'	N85°10'40"E - 17.96'
C216	090°00'09"	13.00'	20.42'	N06°07'55"W - 18.39'
C217	087°22'40"	13.00'	19.83'	S85°10'40"W - 17.96'
C218	028°57'18"	25.00'	12.63'	S30°41'16"W - 12.50'
C223	041°24'35"	25.00'	18.07'	N30°25'43"W - 17.68'
C224	041°24'35"	25.00'	18.07'	N71°50'17"W - 17.68'
C229	020°21'51"	25.00'	8.89'	N51°40'16"E - 8.84'
C234	028°57'18"	25.00'	12.63'	N02°29'09"E - 12.50'
C239	028°57'18"	25.00'	12.63'	S36°39'21"E - 12.50'
C240	080°40'08"	13.00'	18.30'	N88°31'56"E - 16.83'
C246	084°54'50"	13.00'	19.27'	N32°44'25"E - 17.55'
C247	090°00'00"	13.00'	20.42'	N63°43'00"W - 18.38'
C251	144°19'12"	75.00'	188.91'	N00°52'36"W - 142.79'
C254	005°38'55"	1170.00'	115.35'	N41°39'37"E - 115.30'
C256	095°37'05"	13.00'	21.70'	N03°19'28"W - 19.26'
C263	111°54'12"	25.00'	48.83'	S72°54'54"W - 41.43'
C268	092°37'20"	13.00'	21.02'	S04°49'20"E - 18.80'
C273	090°01'51"	13.00'	20.43'	N83°51'05"E - 18.39'
C277	090°00'00"	13.00'	20.42'	N26°17'00"E - 18.38'
C278	090°00'00"	13.00'	20.42'	N63°43'00"W - 18.38'
C279	090°00'00"	13.00'	20.42'	N26°17'00"E - 18.38'
C455	090°00'00"	13.00'	20.42'	N63°43'00"W - 18.38'
C458	090°00'00"	13.00'	20.42'	S26°17'00"W - 18.38'
C475	090°00'00"	13.00'	20.42'	S63°43'00"E - 18.38'
C478	087°21'03"	13.00'	19.82'	S43°40'32"W - 17.95'
C498	089°59'51"	13.00'	20.42'	S83°52'05"W - 18.38'
C500	089°58'09"	13.00'	20.41'	N06°08'55"W - 18.38'
C521	090°00'00"	13.00'	20.42'	S63°43'00"E - 18.38'
C523	016°41'53"	300.00'	87.43'	S10°22'03"E - 87.12'
C524	002°01'07"	300.00'	10.57'	S01°00'33"E - 10.57'
C526	144°19'12"	36.25'	91.31'	S00°52'36"E - 69.01'
C528	090°00'00"	13.00'	20.42'	N45°00'00"W - 18.38'
C534	090°00'00"	13.00'	20.42'	N26°17'00"E - 18.38'
C538	090°00'00"	13.00'	20.42'	N26°17'00"E - 18.38'
C539	090°00'00"	13.00'	20.42'	S63°43'00"E - 18.38'
C544	090°00'00"	13.00'	20.42'	S45°00'00"W - 18.38'
C546	018°43'00"	505.00'	164.97'	S09°21'30"E - 164.23'
C547	018°43'00"	555.00'	181.30'	N09°21'30"W - 180.50'
C548	018°43'00"	505.00'	164.97'	S09°21'30"E - 164.23'
C549	018°43'00"	555.00'	181.30'	N09°21'30"W - 180.50'
C551	018°43'00"	350.00'	114.33'	N09°21'30"W - 113.83'
C555	035°40'48"	125.00'	77.84'	N89°07'24"E - 76.59'
C561	035°40'48"	175.00'	108.98'	S89°07'24"W - 107.23'

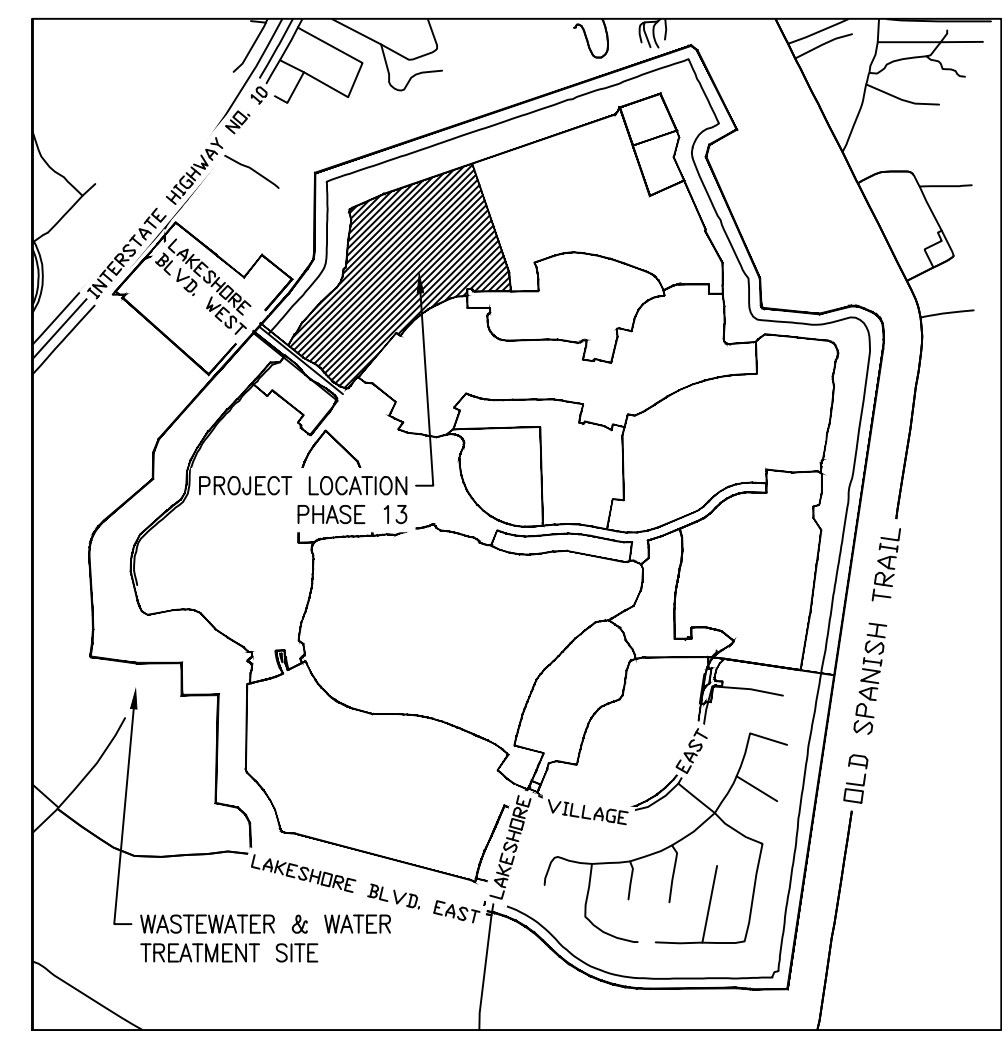
PARCEL CURVE DATA				
CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING & DISTANCE
C562	051°04'27"	50.68'	45.18'	S47°02'58"E - 43.70'
C565	017°59'58"	1170.00'	367.56'	N57°11'51"E - 366.05'
C567	169°48'48"	55.00'	163.01'	N72°54'54"E - 109.57'
C568	024°31'33"	325.00'	139.12'	N29°13'34"E - 138.06'
C569	154°23'46"	55.00'	148.21'	N15°20'42"W - 107.27'
C570	154°03'58"	55.00'	147.89'	N86°45'24"W - 107.19'
C572	024°31'33"	375.00'	160.52'	S29°13'34"W - 159.30'
C574	027°19'41"	985.00'	469.81'	S52°32'00"W - 465.37'
C576	021°09'13"	675.00'	249.21'	S76°46'27"W - 247.80'
C578	005°05'10"	810.00'	71.90'	N68°44'25"E - 71.88'
C580	020°40'52"	1120.00'	404.27'	N55°51'24"E - 402.07'

LINE TABLE		
LINE	BEARING	LENGTH
L1	N71°17'00"E	10.10'
L2	N90°00'00"W	50.00'
L3	S00°00'00"E	63.28'
L4	N51°08'09"W	50.00'
L5	N51°05'35"W	20.71'
L10	N66°13'19"E	89.05'
L15	S12°02'53"W	41.50'
L16	N39°33'39"E	42.37'
L17	S58°30'19"W	13.50'
L18	N39°55'20"E	49.39'
L19	S16°21'28"E	45.32'
L20	S09°17'11"E	38.08'
L21	S00°32'35"E	16.13'
L22	S00°00'00"E	52.62'
L23	N00°00'00"E	45.80'
L24	S00°00'00"E	45.80'
L25	N00°00'00"E	33.44'
L26	S40°24'53"E	21.16'
L27	S74°55'20"E	36.42'
L28	N86°51'58"E	51.91'
L30	S83°35'48"E	14.30'
L31	N16°57'48"E	34.00'
L32	N68°34'34"W	47.43'
L33	N08°40'40"W	29.55'
L35	N34°27'10"E	50.36'
L92	N16°57'48"E	22.93'
L104	S41°29'20"W	19.04'
L105	S16°57'48"W	17.26'
L106	S00°00'00"E	34.17'
L107	S18°43'00"E	11.41'
L108	N66°11'50"E	65.34'

GENERAL INFORMATION	
CENTRAL SEWER SYSTEM	244 NUMBER OF LOTS
LAKE PONTCHARTRAIN ULTIMATE SURFACE WATER DISPOSAL	PUD PRESENT ZONING
7912.08± S.F. AVERAGE LOT SIZE	ASPHALT ROAD SURFACE
CENTRAL WATER SYSTEM	50 FEET (LOCAL) RIGHT OF WAY WIDTHS
1,159'± MAX BLOCK LENGTH	10,131'± STREET LENGTH
60.43± ACRES TOTAL AREA OF DEVELOPMENT	44.32 ACRES TOTAL AREA OF LOTS
OFF-SITE LOCATION OF WATER & SEWER FACILITIES	45 FEET MAX BUILDING HEIGHT
FRONT: 20' REAR: 15' (VARIES ALONG CANAL/LAKE) SIDE: 4' (10' ALONG RIGHT OF WAYS)	
BUILDING SETBACKS	

PLAT SHOWING TENTATIVE SUBDIVISION OF LAKESHORE VILLAGES (PHASE 13) LOCATED IN SECTION 26 TOWNSHIP 9 SOUTH - RANGE 14 EAST GREENSBURG LAND DISTRICT ST. TAMMANY PARISH, LOUISIANA

- RESTRICTIVE COVENANTS:
- NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED BEFORE THE SEWERAGE AND WATER SYSTEMS ARE INSTALLED AND OPERABLE OR OTHERWISE CONNECTED TO A COMMUNITY (CENTRAL) SEWERAGE AND/OR WATER SYSTEMS, ALL AS APPROVED BY THE DEPARTMENT OF ENVIRONMENTAL SERVICES OF THE PARISH. WHENEVER A SUBDIVISION IS SERVED BY A COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY), NO PRIVATE WATER SUPPLY MAY BE DRILLED OR OTHERWISE CONSTRUCTED ON ANY LOT FOR THE PURPOSE OF SUPPLYING POTABLE WATER TO ANY BUILDING OR STRUCTURE, EXCEPT FOR THE PURPOSE OF IRRIGATION, AND IN NO EVENT SHALL THERE BE A PHYSICAL CONNECTION BETWEEN ANY SUCH SOURCE AND ANY ELEMENT OF THE COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY).
 - CONSTRUCTION OF ANY NATURE IS PROHIBITED IN DRAINAGE OR STREET EASEMENTS.
 - LOTS MAY NOT BE USED FOR THE STORAGE OF TRASH OR JUNK VEHICLES.
 - THE MINIMUM FINISHED FLOOR ELEVATION FOR ALL RESIDENTIAL HOMES SHALL MEET THE LATEST ADOPTED F.L.R.M. MAP OR 1 FOOT ABOVE THE CENTERLINE OF THE ROAD, WHICHEVER IS GREATER.
 - NO LOT WILL BE FURTHER SUBDIVIDED WITHOUT APPROVAL OF THE PLANNING COMMISSION AND THE DEPARTMENT OF ENVIRONMENTAL SERVICES OF THE PARISH.
 - DRIVEWAYS ON CORNER LOTS SHALL NOT BE LOCATED ANY CLOSER THAN 60 FEET FROM A CORNER OF SAID PROPERTY CLOSEST TO THE INTERSECTION AS MEASURED FROM THE PROPERTY LINES ON THE CORNER OF THE PROPERTY WHERE THE SAID TWO STREET RIGHTS-OF-WAY INTERSECT. IF THERE ARE LOTS THAT DO NOT COMPLY WITH THIS AS FRONT-LOADED LOTS, THEY ARE TO BE SIDE-LOADED.
 - IT SHALL BE PROHIBITED FOR ANY LOT WITHIN AN APPROVED SUBDIVISION TO HAVE REAR ACCESS VIA A DRIVEWAY TO OR FROM ANY STREET OR ROAD THAT IS NOT DEDICATED WITHIN THE BOUNDARIES OF THE APPROVED SUBDIVISION PLAT.
 - THE HOME BUILDER IS RESPONSIBLE FOR THE CONSTRUCTION OF THE SIDEWALK ALONG THE LOTS.
 - THE RESIDENTS WITHIN PHASE 13 WILL HAVE THE RIGHT TO UTILIZE THE EXISTING CENTRAL LAKE LOCATED WITHIN THE LAKESHORE VILLAGES DEVELOPMENT FOR RECREATIONAL PURPOSE.
 - THE EXISTING STORMWATER DETENTION SYSTEM, INCLUDING THE CANALS, LAKES, AND PUMP STATION, ARE TO BE OWNED AND MAINTAINED BY THE COMMUNITY DEVELOPMENT DISTRICT.
 - THE FOREMENTIONED RESTRICTIONS SHALL BE REITED IN EACH TITLE OR DEED IN ADDITION TO THE REQUIRED LISTING ON THE FINAL SUBDIVISION PLAT.



VICINITY MAP

OPEN GREEN SPACE CALCULATIONS (PHASE 13)	
OPEN/GREEN SPACE REQUIRED X 0.25 S.F. OPEN/GREEN SPACE	
15,096 ACRES REQUIRED (=657,593± S.F.)	60.385 ACRES X 0.25 S.F. OPEN/GREEN SPACE
OPEN/GREEN SPACE REQUIRED 3.062 ACRES (PHASE 3A) 2.808 ACRES (PHASE 3B) 36.493 ACRES (PHASE 4A) 1.779 ACRES (PHASE 4B) 3.863 ACRES (PHASE 5) 22.246 ACRES (PHASE 6) 5.651 ACRES (PHASE 7) 16.449 ACRES (PHASE 8) 20.285 ACRES (PHASE 9) 8.681 ACRES (PHASE 10) 6.850 ACRES (PHASE 11) 16.912 ACRES (PHASE 12) 15.096 ACRES (PHASE 13)	OPEN/GREEN SPACE PROVIDED 3.318 ACRES (PHASE 3A) 0.770 ACRES (PHASE 3B) 439.779 ACRES (PHASE 4A) 1.289 ACRES (PHASE 4B) 0.657 ACRES (PHASE 5) 4.109 ACRES (PHASE 6) 5.777 ACRES (PHASE 7) 2.228 ACRES (PHASE 8) 6.040 ACRES (PHASE 9) 0.000 ACRES (PHASE 10) 5.335 ACRES (PHASE 11) 5.715 ACRES (PHASE 12) 2.674 ACRES (PHASE 13)
159.674 ACRES TOTAL OPEN/GREEN SPACE REQUIRED	477.689 ACRES TOTAL PROVIDED

DEDICATION:
ALL STREET RIGHTS-OF-WAY SHOWN HEREON ARE NOT DEDICATED TO THE PARISH OF ST. TAMMANY BUT ARE DEDICATED TO THE PERPETUAL USE OF THE COMMUNITY DEVELOPMENT DISTRICT AND IS TO BE OWNED AND MAINTAINED BY THE COMMUNITY DEVELOPMENT DISTRICT. EASEMENTS SHALL BE RESERVED FOR DRAINAGE AND UTILITIES AS INDICATED HEREON AND NO OBSTRUCTIONS OR IMPROVEMENTS SHALL BE ALLOWED THAT WOULD PREVENT THEM FROM BEING USED FOR INTENDED USE. THE DEVELOPER OR HOMEOWNERS ASSOCIATION IS RESPONSIBLE FOR MAINTENANCE OF ALL GREEN SPACES, DRAINAGE SERVITUDES, STREET SIGNS, AND TRAFFIC CONTROL SIGNS.

APPROVALS:

CHAIRMAN - PARISH PLANNING COMMISSION

SECRETARY - PARISH PLANNING COMMISSION

DIRECTOR OF DEPARTMENT OF ENGINEERING

CLERK OF COURT

DATE FILED: _____ FILE NO. _____

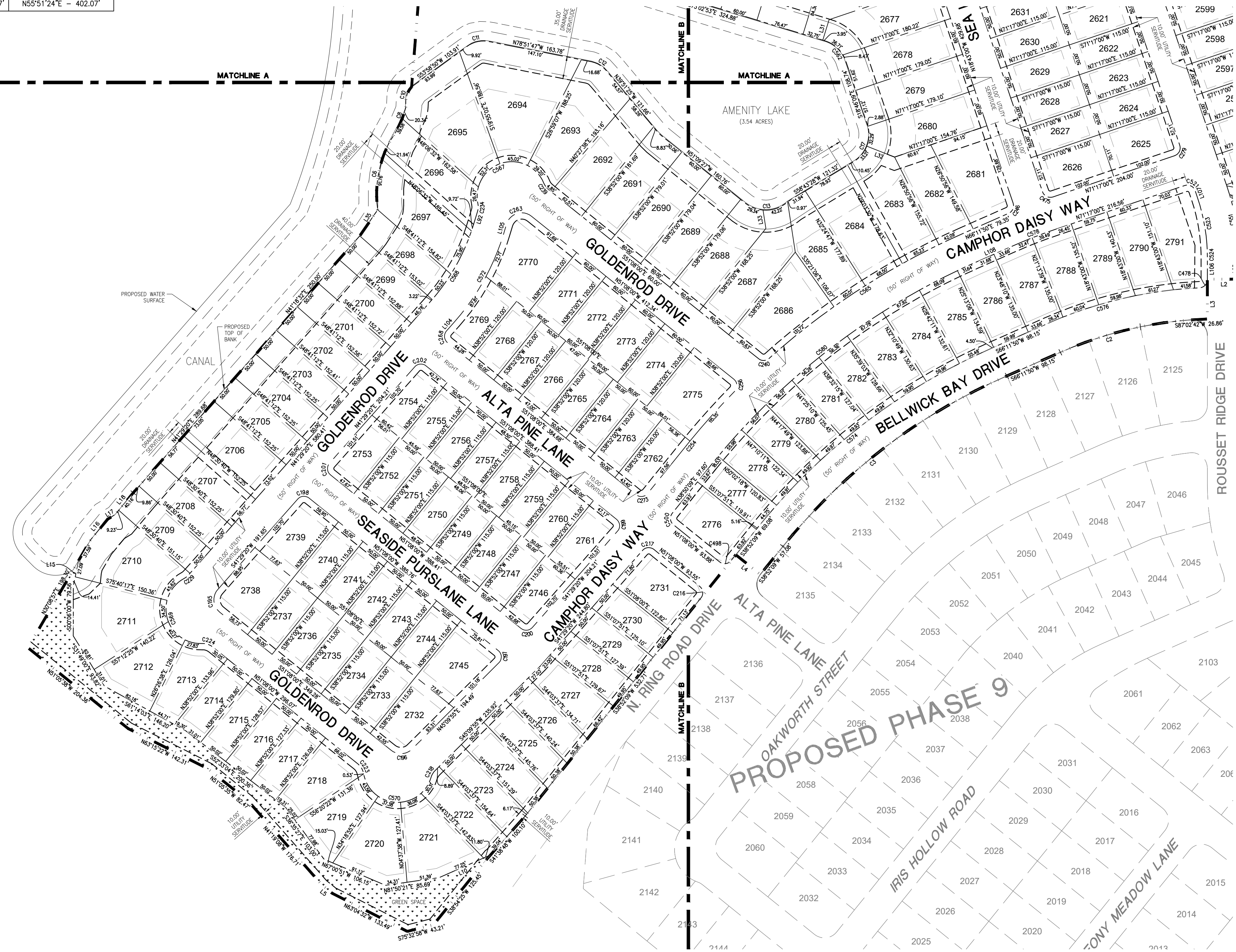
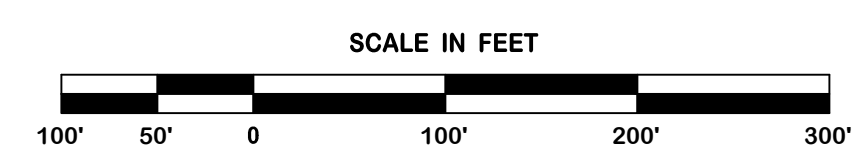
(OWNER/OWNER REPRESENTATIVE)
DR HORTON, INC. - GULF COAST
7695 VINCENT ROAD
DENHAM SPRINGS, LA 70726

DENNIS L. GOWIN
REG No. 4846
REGISTERED PROFESSIONAL
LAND SURVEYOR

I CERTIFY THAT THIS TENTATIVE PLAT REPRESENTS AN ACTUAL GROUND SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND IS NOT IN FULL COMPLIANCE WITH LA RS: 33:5051 AND THE REQUIREMENTS OF THE CURRENT LOUISIANA STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A CLASS "C" SURVEY, SINCE ALL CORNERS ARE NOT SET.

DATE OF PLAT: 10/28/2020

DENNIS L. GOWIN, P.L.S.: LA REG. NO. 4846
REGISTERED PROFESSIONAL LAND SURVEYOR



REVISION	BY
PER COMMENTS	
1	10/26/2020 BPV

DUPLANTIS DESIGN GROUP, PC
SURVEY
15564 Brewster Road, Suite 101
Covington, LA 70433
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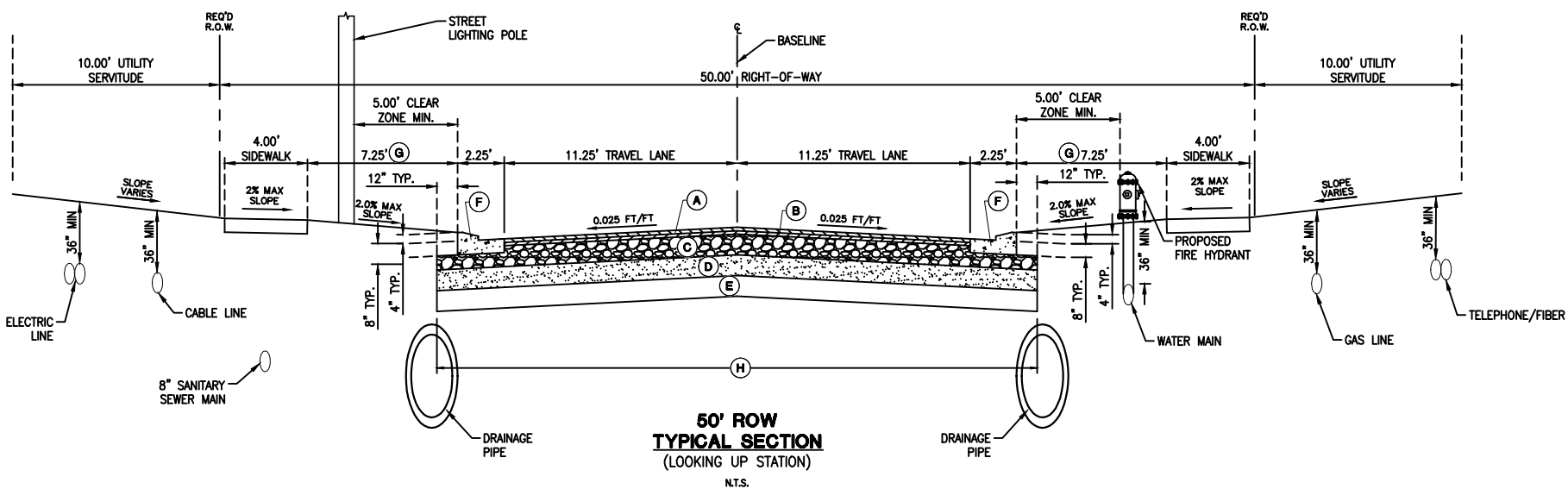
SUBDIVISION OF LAKESHORE VILLAGES (PHASE 13)
SLIDELL, LOUISIANA
ST. TAMMANY PARISH
FOR:
DR HORTON, INC. - GULF COAST

DRAWN BPV
CHECKED DLG
PROJECT NO. 20-399
FILE 20-399 PHASE 13 TENTATIVE REV1
SHEET 1-2

PLAT SHOWING TENTATIVE SUBDIVISION

OF
LAKESHORE VILLAGES (PHASE 13)

LOCATED IN SECTION 26
TOWNSHIP 9 SOUTH - RANGE 14 EAST
GREENSBURG LAND DISTRICT
ST. TAMMANY PARISH, LOUISIANA

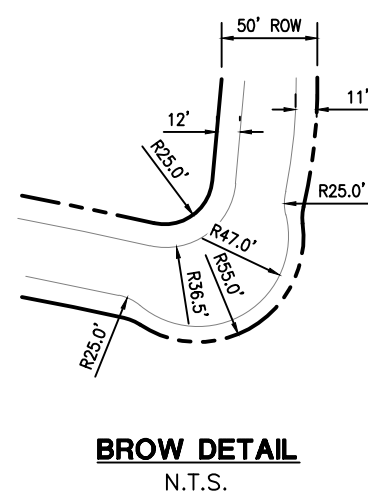


NOTES:

1. ALL PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH LADOTD STANDARD SPECIFICATIONS 2016 EDITION AND/OR ST. TAMMANY PARISH SUBDIVISION REGULATION CHAPTER 125 SPECIFICATIONS; THE MORE STRINGENT STANDARD SHALL BE USED.
2. CONTRACTOR MAY UTILIZE AN ALTERNATIVE CLASS II BASE COURSE IN LIEU OF SOIL CEMENT IN AREAS WHERE SOIL CEMENT CANNOT MEET PROJECT SPECIFICATIONS. A-4 SUB-BASE SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, ST. TAMMANY PARISH CODE OF ORDINANCES, AND SUB-SECTION 1003 OF THE LSSRB. THE BASE SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY NEAR THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D-698.
3. BASED ON THE PAVEMENT SECTION DESIGN RECOMMENDATION LETTERS PREPARED BY PREMIER GEOTECH AND TESTING, THE BASE AND SUBGRADE SHALL CONSIST OF LEAN CLAYS AND SANDY LEAN CLAYS (CL) OR CLAYEY SANDS (SC) HAVING THE FOLLOWING RECOMMENDED MATERIAL PROPERTIES AND PLOTS ABOVE THE "A-LINE" ON THE PLASTICITY CHART:
 - LIQUID LIMIT: 40 MAXIMUM
 - PLASTICITY INDEX: 20 MAXIMUM
 - INERT MATERIAL (NON-EXPANSIVE)
 - FREE OF ORGANICS
 - MAXIMUM PARTICLE SIZE: 2-INCHES
4. EACH LIFT SHALL BE PLACED IN MAXIMUM LIFTS OF 8" OF LOOSE MATERIAL AND COMPACTED TO 95% STANDARD PROCTOR PER ASTM D-698.
5. THIS MATERIAL MUST BE CERTIFIED AND APPROVED BY THE OWNER'S INDEPENDENT TESTING LABORATORY AND/OR THE GEOTECHNICAL ENGINEER OF RECORD PRIOR TO ITS USE.
6. CONTRACTOR TO ENSURE ALL STREET LIGHT POLES AND FIRE HYDRANTS ARE LOCATED 5' MINIMUM BEHIND BACK OF CURB FOR LOCAL ROADS.

LEGEND:

- (A) 1-1/2" LEVEL I (PG-22M, 0.5" NOMINAL MIX) ASPHALTIC CONCRETE WEARING COURSE
- (B) 1-1/2" LEVEL I (PG-22M, 0.5" NOMINAL MIX) ASPHALTIC CONCRETE BINDER COURSE
- (C) 12" CEMENT STABILIZED BASE (10% BY VOLUME) 95% COMPACTION PER ASTM D-698 (REF. NOTE 2)
- (D) 12" COMPACTED STRUCTURAL FILL SUBBASE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. SUBBASE IS TO BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY NEAR THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D-698. (REF. NOTE 3)
- (E) PROOF ROLLED AND STABLE SUBGRADE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- (F) 4" HIGH MOUNTABLE CONCRETE CURB AND GUTTER WITH 12" GUTTER AND 15" MOUNTABLE CURB
- (G) HYDROSEED WITH STRAW OR SOD DISTURBED AREAS (WITHIN LIMITS OF CONSTRUCTION)
- (H) GENERAL EXCAVATION



NOTES:

- 1) ZONING:
THE SUBJECT PROPERTY IS PART OF LAKESHORE VILLAGE PUD "Y" (PLANNED UNIT DEVELOPMENT), USE AREA LV-3 (SINGLE AND MULTI-FAMILY RESIDENTIAL).
- 2) PLATTED BUILDING SETBACKS:
FRONT: 20'
REAR: 15' (VARIES ALONG CANAL/LAKE)
SIDE: 4' (10' ALONG STREET RIGHTS OF WAY)
- 3) REFERENCES:
A) PLAT SHOWING PRELIMINARY SUBDIVISION OF LAKESHORE VILLAGES (PHASE 9) LOCATED IN SECTIONS 25, 26, & 35, TOWNSHIP 9 SOUTH-RANGE 14 EAST GREENSBURG LAND DISTRICT ST. TAMMANY PARISH, LOUISIANA.
B) PLAT SHOWING TENTATIVE SUBDIVISION OF LAKESHORE VILLAGES (PHASE 12) LOCATED IN SECTIONS 25 & 26, TOWNSHIP 9 SOUTH-RANGE 14 EAST GREENSBURG LAND DISTRICT ST. TAMMANY PARISH, LOUISIANA.
4) FLOOD ZONE NOTE:
SURVEYOR HAS CONSULTED THE FEMA FLOOD INSURANCE RATE MAP (F.I.R.M) FOR THIS LOCATION AND FOUND THAT THE SUBJECT PROPERTY IS IN A SPECIAL FLOOD HAZARD AREA:
FLOOD ZONE: AH & "X" (SHADED)
BASE FLOOD ELEVATION: -3'
COMMUNITY PANEL NO. 225205 0535 D
MAP REVISED: APRIL 16, 2020
NOTES:
MAP REVISION IS FROM LETTER OF MAP REVISION, CASE NO. 19-06-185P, EFFECTIVE DATE APRIL 16, 2020.
CONTACT ST. TAMMANY PARISH FOR ANY ADDITIONAL ELEVATION REQUIREMENTS.
- 5) WETLANDS:
WETLANDS HAVE BEEN PERMITTED BY PERMIT NO. MWN 2002-1717, DATED MAY 7, 2004, MODIFIED JUNE 27, 2005 AND FEBRUARY 3, 2011.
- 6) LANDFILL:
SURVEYOR HAS NO KNOWLEDGE OF OR HAS OBSERVED ANY LANDFILLS ON THE SUBJECT PROPERTY.
- 7) GREENSPACES:
GREEN SPACES SHOWN ARE TO BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- 8) UTILITY LOCATIONS:
UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE UTILITY FEATURES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES, EXCEPT FOR ABOVE GROUND VISIBLE UTILITY FEATURES, NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES.
- 9) TITLE:
THE SERVITUDES AND RESTRICTIONS SHOWN HEREON ARE LIMITED TO THOSE SET FORTH IN THE INFORMATION PROVIDED TO US. THERE IS NO REPRESENTATION MADE BY THIS SURVEYOR THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN. TITLE WAS NOT RESEARCHED IN PREPARATION OF THIS SURVEY.

DESCRIPTION PHASE 13:

THAT CERTAIN PIECE OR PARCEL OF LAND DESIGNATED AS LAKESHORE VILLAGES, PHASE 13, A SUBDIVISION OF A PORTION OF LOT A-1-A, LOCATED IN SECTION 25 & 26, TOWNSHIP 9 SOUTH, RANGE 14 EAST, GREENSBURG LAND DISTRICT, PARISH OF ST. TAMMANY, STATE OF LOUISIANA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A 1" ANGLE IRON FOUND AT THE CORNER COMMON TO SECTIONS 23, 24, 25 AND 26, SAID TOWNSHIP 9 SOUTH, RANGE 14 EAST; THENCE S39°41'31"E A DISTANCE OF 3418.54 FEET FOR A POINT OF BEGINNING; THENCE S18°43'00"E A DISTANCE OF 162.00 FEET TO A POINT; THENCE N71°17'00"E A DISTANCE OF 10.10 FEET TO A POINT; THENCE S18°43'00"E A DISTANCE OF 1055.82 FEET TO A POINT; THENCE S00°36'00"E A DISTANCE OF 151.68 FEET TO A POINT; THENCE N80°00'00"W A DISTANCE OF 389.53 FEET TO A POINT; THENCE ALONG A CURVE TO THE RIGHT AN ARC DISTANCE OF 30.42 FEET, SAID CURVE HAVING A RADIUS OF 13.00 FEET, AND A CHORD WITH A BEARING OF N44°59'59"W AND A LENGTH OF 18.38 FEET TO A POINT; THENCE N80°00'00"W A DISTANCE OF 50.00 FEET TO A POINT; THENCE S00°00'00"E A DISTANCE OF 63.28 FEET TO A POINT; THENCE S87°02'42"W A DISTANCE OF 26.86 FEET TO A POINT; THENCE ALONG A CURVE TO THE LEFT AN ARC DISTANCE OF 213.98 FEET, SAID CURVE HAVING A RADIUS OF 625.00 FEET, AND A CHORD WITH A BEARING OF S78°00'20"W AND A LENGTH OF 212.94 FEET TO A POINT; THENCE S66°11'50"W A DISTANCE OF 98.15 FEET TO A POINT; THENCE ALONG A CURVE TO THE LEFT AN ARC DISTANCE OF 445.96 FEET, SAID CURVE HAVING A RADIUS OF 935.00 FEET, AND A CHORD WITH A BEARING OF S52°32'00"W AND A LENGTH OF 441.75 FEET TO A POINT; THENCE S38°52'09"W A DISTANCE OF 57.08 FEET TO A POINT; THENCE N51°08'09"W A DISTANCE OF 50.00 FEET TO A POINT; THENCE S38°52'09"W A DISTANCE OF 532.71 FEET TO A POINT; THENCE S41°38'48"W A DISTANCE OF 100.10 FEET TO A POINT; THENCE S38°54'25"W A DISTANCE OF 125.45 FEET TO A POINT; THENCE S75°32'58"W A DISTANCE OF 43.21 FEET TO A POINT; THENCE N63°04'32"W A DISTANCE OF 133.49 FEET TO A POINT; THENCE N51°05'35"W A DISTANCE OF 20.71 FEET TO A POINT; THENCE N41°19'08"W A DISTANCE OF 176.71 FEET TO A POINT; THENCE N51°05'35"W A DISTANCE OF 82.47 FEET TO A POINT; THENCE N63°15'22"W A DISTANCE OF 142.31 FEET TO A POINT; THENCE N51°05'35"W A DISTANCE OF 204.36 FEET TO A POINT; THENCE N30°08'57"E A DISTANCE OF 196.30 FEET TO A POINT; THENCE N39°13'39"E A DISTANCE OF 42.37 FEET TO A POINT; THENCE N58°30'19"E A DISTANCE OF 13.50 FEET TO A POINT; THENCE N39°55'20"E A DISTANCE OF 49.39 FEET TO A POINT; THENCE N41°29'20"E A DISTANCE OF 289.68 FEET TO A POINT; THENCE N41°18'32"E A DISTANCE OF 250.00 FEET TO A POINT; THENCE N34°27'10"E A DISTANCE OF 50.36 FEET TO A POINT; THENCE ALONG A CURVE TO THE RIGHT AN ARC DISTANCE OF 113.70 FEET, SAID CURVE HAVING A RADIUS OF 176.35 FEET, AND A CHORD WITH A BEARING OF N10°20'27"E AND A LENGTH OF 111.74 FEET TO A POINT; THENCE ALONG A CURVE TO THE LEFT AN ARC DISTANCE OF 59.93 FEET, SAID CURVE HAVING A RADIUS OF 162.39 FEET, AND A CHORD WITH A BEARING OF N24°40'53"E AND A LENGTH OF 59.59 FEET TO A POINT; THENCE ALONG A CURVE TO THE RIGHT AN ARC DISTANCE OF 33.36 FEET, SAID CURVE HAVING A RADIUS OF 36.94 FEET, AND A CHORD WITH A BEARING OF N15°53'57"E AND A LENGTH OF 32.24 FEET TO A POINT; THENCE N04°34'19"E A DISTANCE OF 408.65 FEET TO A POINT; THENCE N08°56'17"E A DISTANCE OF 125.69 FEET TO A POINT; THENCE N55°11'24"E A DISTANCE OF 76.92 FEET TO A POINT; THENCE N66°55'47"E A DISTANCE OF 309.77 FEET TO A POINT; THENCE N73°56'36"E A DISTANCE OF 112.94 FEET TO A POINT; THENCE N71°40'39"E A DISTANCE OF 168.53 FEET TO A POINT; THENCE N72°53'07"E A DISTANCE OF 150.63 FEET TO A POINT; THENCE N71°23'56"E A DISTANCE OF 138.71 FEET TO A POINT; THENCE N73°13'10"E A DISTANCE OF 117.48 FEET TO A POINT; THENCE N72°42'25"E A DISTANCE OF 269.28 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 60.385 ACRES AND IS SUBJECT TO ANY SERVITUDES OR RESTRICTIONS OF RECORD.

APPROVALS:

CLERK OF COURT

DATE FILED

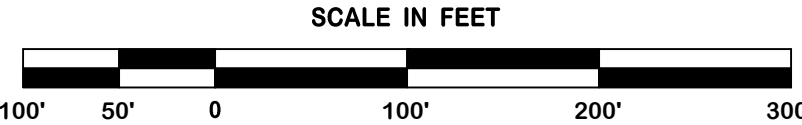
FILE NO.

(OWNER/OWNER REPRESENTATIVE)
DR. HORTON, INC. - GULF COAST
7896 VINCENT ROAD
DENHAM SPRINGS, LA 70726

I CERTIFY THAT THIS TENTATIVE PLAT REPRESENTS AN ACTUAL GROUND SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND IS NOT IN FULL COMPLIANCE WITH LA RS. 33:5051 AND THE REQUIREMENTS OF THE CURRENT LOUISIANA STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A CLASS "C" SURVEY, SINCE ALL CORNERS ARE NOT SET.

DATE OF PLAT: 10/28/2020

DENNIS L. GOWIN, P.L.S.: LA REG. NO. 4846
REGISTERED PROFESSIONAL LAND SURVEYOR



REVISION	BY
PER COMMENTS	
1	10/26/2020 BPV

DUPLANTIS DESIGN GROUP, PC
SURVEY
16564 Brewster Road, Suite 101
Covington, LA 70433
Phone: 985.243.6180 \ FAX: 985.249.6190
1308 Camellia Blvd, Suite 200
Lafayette, LA 70508
WWW.ddgpc.com



SUBDIVISION OF LAKESHORE VILLAGES (PHASE 13)

SLIDELL, LOUISIANA
ST. TAMMANY PARISH

FOR:
DR. HORTON, INC. - GULF COAST

DRAWN
BPV
CHECKED
DLG
PROJECT NO.
20-399
FILE
20-399 PHASE 13 TENTATIVE
REV1
SHEET
2-2

PRELIMINARY SUBDIVISION REVIEW

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Planning Commission approval shall be subject to the following items being addressed:

General Comments:

1. Provide a recreational development plan including a time schedule for the development and the entity whom shall be responsible for the liability and maintenance of the recreational amenities.
2. All infrastructure shall be either public or private. Revise the plat's dedication language and restrictive covenants as needed.
3. A revised T.I.A. for this development needs to be submitted to STP for review and approval in accordance with the required revisions discussed between STP staff and the Engineer of Record at the meeting held on 10/21/2020.
4. Provide a current completed and executed "Fill & Grading Statement" for this development.
5. Construction drawings need to be stamped by a LA licensed Civil Engineer (Typical)
6. A waiver of the minimum driveway requirement is needed for this Phase of Military Ridge. In order to approve this waiver request a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125-Subdivision Regulations.

Preliminary Plat:

7. Revise the Preliminary Plat to state "General Xavier Loop".
8. All infrastructure shall be either public or private. Revise the plat's dedication language and restrictive covenants as needed.

Paving & Drainage Plan:

9. Revise Sections C-C & D-D to clearly delineate existing ground, proposed ground, show limits of fill beyond lot lines, and delineate mitigated fill.
10. Revise Sections A-A & B-B to show the property lines and the 15' drainage servitudes with 10' on flat ground and 5' on the pond slope.
11. Revise outfall pipe call-out to state "3" instead of "2".
12. Clarify or remove "Fill to 12'" note, as the lots this note applies to appear to fill to 16'.

Water & Sewer Plan:

13. Provide a water and sewer letter of capacity for this phase of Military Ridge from Tammany Utilities.
14. Provide written plan approval from Tammany utilities for this phase of Military Ridge.
15. Provide a cross section through Lot 181U that shows water line(s), drain line(s), sewer line(s), and associated structures between property lines with horizontal dimensions showing spacing.

Informational Items:

The developer is responsible for contacting the USPS Regional Growth Management Coordinator to verify the appropriate mail delivery location for this development.

A Letter of No Objection regarding the water and sewer improvements needs to be issued on behalf of The Department of Environmental Services for this phase of Military Ridge.

Louisiana Department of Health (LDH) Approval for this phase of Military Ridge is required.

No funded **Maintenance Obligation** for the subdivision connection is required since this subdivision is connecting to a state maintained highway.

However, a Maintenance Obligation in the amount of 1,620 linear feet at \$5.00 per linear foot of water line and 1,620 linear feet at \$5.00 per linear foot of sewer line = **\$16,200.00** is required for the construction of the water and sewer lines within the Crawford Landing Road right-of-way to ensure the repair of any damage to the Parish roads from construction activity in connection with the installation of the water and sewer lines.

Mandatory Developmental fees will be required at Final Submittal in accordance with St. Tammany Code of Ordinances, Part II "Land Development Code," Chapter 125 "Subdivision Regulations," since no public hearing was held prior to January 1, 2005.

Revised drawings will not be accepted for review or placement in the packet prior to the November 10, 2020 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.

Department of Planning and Development

The Preliminary plans and hydrologic study have been reviewed by this office and an inspection was made of the site on October 30, 2020.

Planning Commission approval shall be subject to the following items being addressed:

General Comments:

1. In cases where a subdivision is to be developed in phases, the green space area shall be dedicated and included within the first phase. Revise Note #4 on the Preliminary Plat accordingly.
2. Provide a recreational plan showing all paving, drainage, landscaping and other required improvements associated with the proposed recreation area.

Preliminary Plat:

3. A typical cul-de-sac shall be provided at the end of Linger Court and Little Branch Lane. Revise the Preliminary Plat and associated plans accordingly.
4. Show wetland demarcation on the Preliminary Plat for all wetlands associated with this development.
5. Revise restrictive covenant #5 on the Preliminary Plat to state the property's Flood Zone.
6. Update restrictive covenant #13 to include that the H.O.A. shall be responsible to maintain the Garden Home areas and greenspaces.
7. Provide a call-out for the drainage servitude shown around the detention pond.
8. The drainage servitude between Lots #61 & #62 is required to be 20', revise Preliminary Plat and associated plans accordingly.

Paving & Drainage Plan:

9. Provide profile drawings showing all centerline street grades and ditch bottom grades.
10. Provide elevations at all property corners.
11. Revise the proposed roadside ditch elevations on both sides of Markle Lane to provide positive flow.
12. Show existing and proposed elevations for cross-section C-C.
13. Show drainage arrows for Lot #48 and the Active Recreational Area.

Drainage Area Map:

14. Revise culvert flow calculations to account for sub-catchment #22 draining through conduit #18.

Water & Sewer Plan:

15. Provide written plan approval from Tammany Utilities and Utilities Inc. of Louisiana for the proposed water and sewer plans including the proposed SFM extension plan.
16. Update cross-section A-A to show the required sewer manhole within the proposed 10' utility servitude.
17. Provide documentation showing the 20' utility servitude for the proposed SFM is established.

Signage Plan:

18. Update the signage plan and signage legend to include the required "All-Way" plaques where applicable.

Informational Items:

The developer is responsible for contacting the USPS Regional Growth Management Coordinator to verify the appropriate mail delivery location for this development.

Enter the Trace Right-of-Way approval will be required to allow the proposed access connection from Dove Park Ridge.

A meeting will need to be held with all applicable parties regarding the location and installation method of the required SFM extension through existing platted right-of-ways.

A Letter of No Objection regarding the water and sewer improvements needs to be issued on behalf of The Department of Environmental Services for this development.

Louisiana Department of Health (LDH) Approval for this development is required.

A funded **Maintenance Obligation** in the amount of **\$10,000.00** is required in accordance with St. Tammany Code of Ordinances, Part II "Land Development Code," Chapter 125 "Subdivision Regulations," funded letters of credit for existing Parish roads to ensure the repair of any damage to the Parish roads resulting from construction in connection with the subdivision.

Mandatory Developmental fees will be required at Final Submittal in accordance with St. Tammany Code of Ordinances, Part II "Land Development Code," Chapter 125 "Subdivision Regulations," since no public hearing was held prior to January 1, 2005.

Revised drawings will not be accepted for review or placement in the packet prior to the November 10, 2020 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.

Planning Commission approval shall be subject to the following items being addressed:

General Comments:

1. A waiver of the required central water and community sewer systems is being requested for this development. This waiver will need to be granted by the Planning Commission and the Director of Environmental Services before individual water and sewer can be utilized. In order to approve this waiver request a 2/3rds majority vote of the full membership of the omission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125-Subdivision Regulations.
2. Approval for crossing the gas line right-of-way with the proposed subdivision entrance is required for this development.
3. Provide who the Access Servitudes running from Hwy 1129 to Lot #42 are in favor of, and verify the width and location of these servitudes.
4. Provide the required ultimate surface water disposal map shown on a quadrangle map.

Preliminary Plat:

5. Change note #4 on the Preliminary Plat to a Restrictive Covenant and revise to state, "In accordance with the approved drainage plan and hydrological analysis, each lot development shall be limited to only ½ acre of "impervious" surface. The remainder of each lot may be cleared or underbrushed, fenced and landscaped but shall remain undeveloped and pervious. Not withstanding the foregoing, any other areas may be developed, provided all requirements of the current form or hereafter amended in the future St. Tammany Parish Ordinances including those specific to drainage and fill material shall be satisfied. The exact location of the area to be developed shall be determined by the owner of each lot and submitted to St. Tammany Parish prior to commencing work or applying for necessary permits," or similar verbiage to be approved by St. Tammany Parish.
6. Update the Preliminary Plat to show the required drainage and access servitude around the Retention Pond as shown on cross-section A-A.
7. Label all existing waterways and provide the required drainage servitudes associated with these waterways

Paving & Drainage Plan:

8. Add Note #1 on the Paving & Drainage plan regarding the required wetland migration to the Preliminary Plat note section.
9. Provide profile drawings showing all centerline street grades and ditch bottom grades.
10. Update the culvert schedule to show the required driveway culvert materials.

Informational Items:

The developer is responsible for contacting the USPS Regional Growth Management Coordinator to verify the appropriate mail delivery location for this development.

A waiver of the building code Section 105-450 requiring the FFE of residential structures be 1.0' above the crown of the adjacent street will need to be granted by the governing board before the Final Plats can be signed and recorded.

A Letter of No Objection regarding the water and sewer improvements needs to be issued on behalf of The Department of Environmental Services for this phase of Military Ridge.

Louisiana Department of Health (LDH) Approval for this phase of Military Ridge is required.

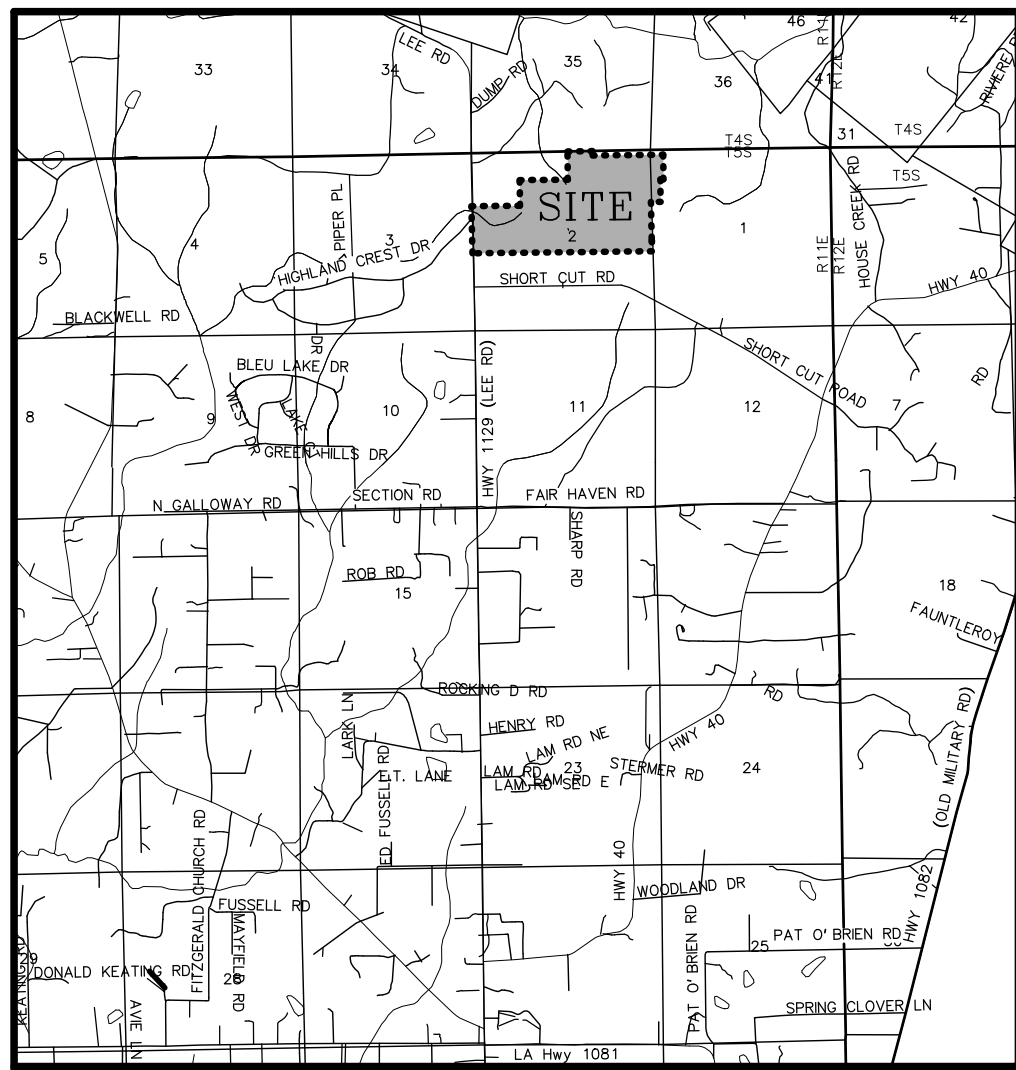
An LADOTD driveway permit will be required for the connection to LA Hwy 1129.

No funded **Maintenance Obligation** for the subdivision connection is required since this subdivision is connecting to a state maintained highway.

However, a **Performance Obligation** in the amount of \$10,000.00 will be required to ensure the construction of the required permanent cul-de-sac at the end of Arcata Drive in the event the roadway is not extended with the future phases.

Mandatory Developmental fees will be required at Final Submittal in accordance with St. Tammany Code of Ordinances, Part II "Land Development Code," Chapter 125 "Subdivision Regulations," since no public hearing was held prior to January 1, 2005.

Revised drawings will not be accepted for review or placement in the packet prior to the November 10, 2020 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.



VICINITY MAP

Legal Description
The Refuge (Formerly Creekstone)
A certain parcel of land located in Sections 1 & 2, Township 5 South, Range 11 East, Greensburg Land District, St. Tammany Parish, Louisiana and more fully described as follows:
Commence at the Section corner common to Sections 1, 2, 11 & 12, Township 5 South, Range 11 East, and measure North 00°44'28" West a distance of 2294.93 feet to the POINT OF BEGINNING
From the POINT OF BEGINNING measure
South 89°21'08" West a distance of 5,338.70 feet to a point;
Thence North 01°16'17" West a distance of 1,402.99 feet to a point;
Thence North 89°24'54" East a distance of 1,444.09 feet to a point;
Thence North 00°36'55" West a distance of 760.78 feet to a point;
Thence North 89°24'26" East a distance of 1,430.85 feet to a point;
Thence North 00°38'17" West a distance of 837.04 feet to a point;
Thence North 88°51'45" East a distance of 741.37 feet to a point;
Thence North 88°51'45" East a distance of 1,719.12 feet to a point;
Thence North 89°45'54" East a distance of 587.65 feet to a point;
Thence South 13°50'35" West a distance of 488.38 feet to a point of curve;
Thence along a curve to the left having a radius of 330.00 feet, a delta of 14°43'03", an arc length of 84.77 feet, and a chord which bears South 06°29'04" West having a chord distance of 202.93 feet to a point of tangency;
Thence South 00°52'28" East a distance of 202.93 feet to a point of curve;
Thence along a curve to the right having a radius of 10.00 feet, a delta of 90°00'00", an arc length of 15.71 feet, and a chord which bears South 44°07'32" West having a chord distance of 14.14 feet to a point of tangency;
Thence South 89°07'32" West a distance of 151.16 feet to a point;
Thence South 00°36'21" East a distance of 777.14 feet to a point;
Thence South 89°23'33" West a distance of 287.86 feet to a point;
Thence South 00°43'18" East a distance of 328.40 feet to the POINT OF BEGINNING, and containing 13,143.41986 square feet or 301.73 acre(s) of land, more or less.

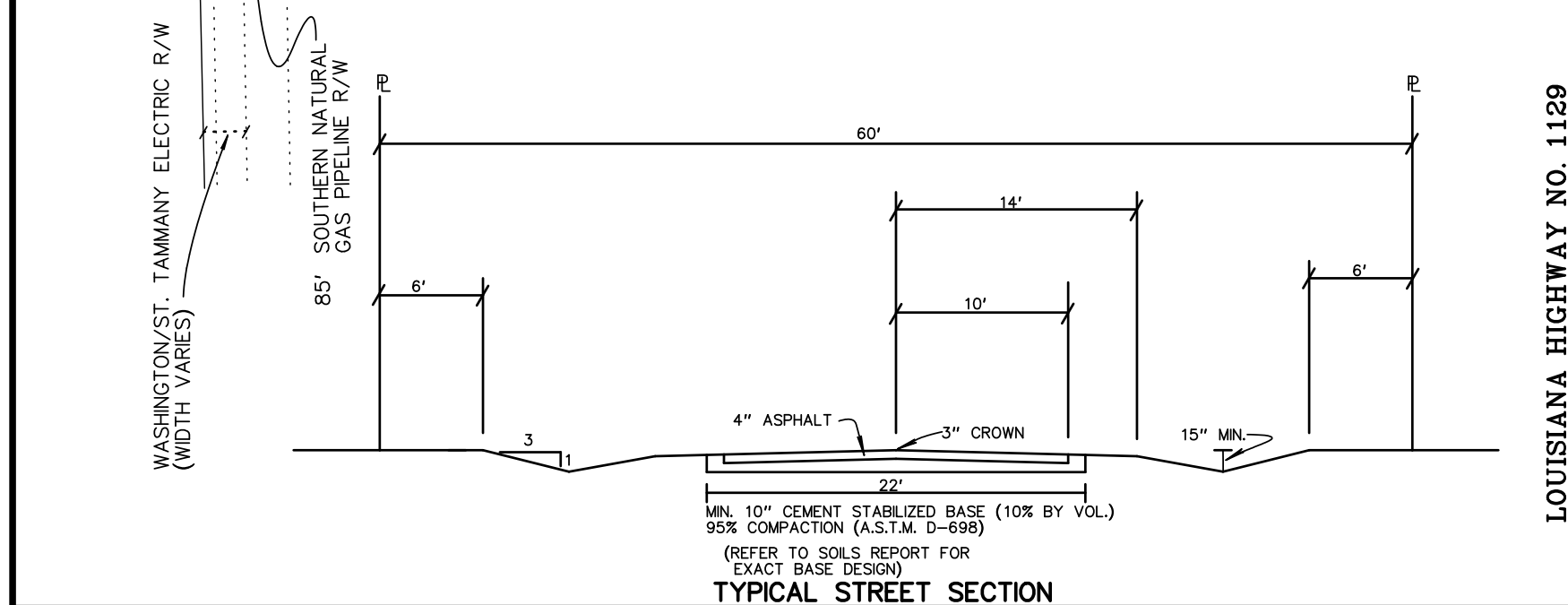
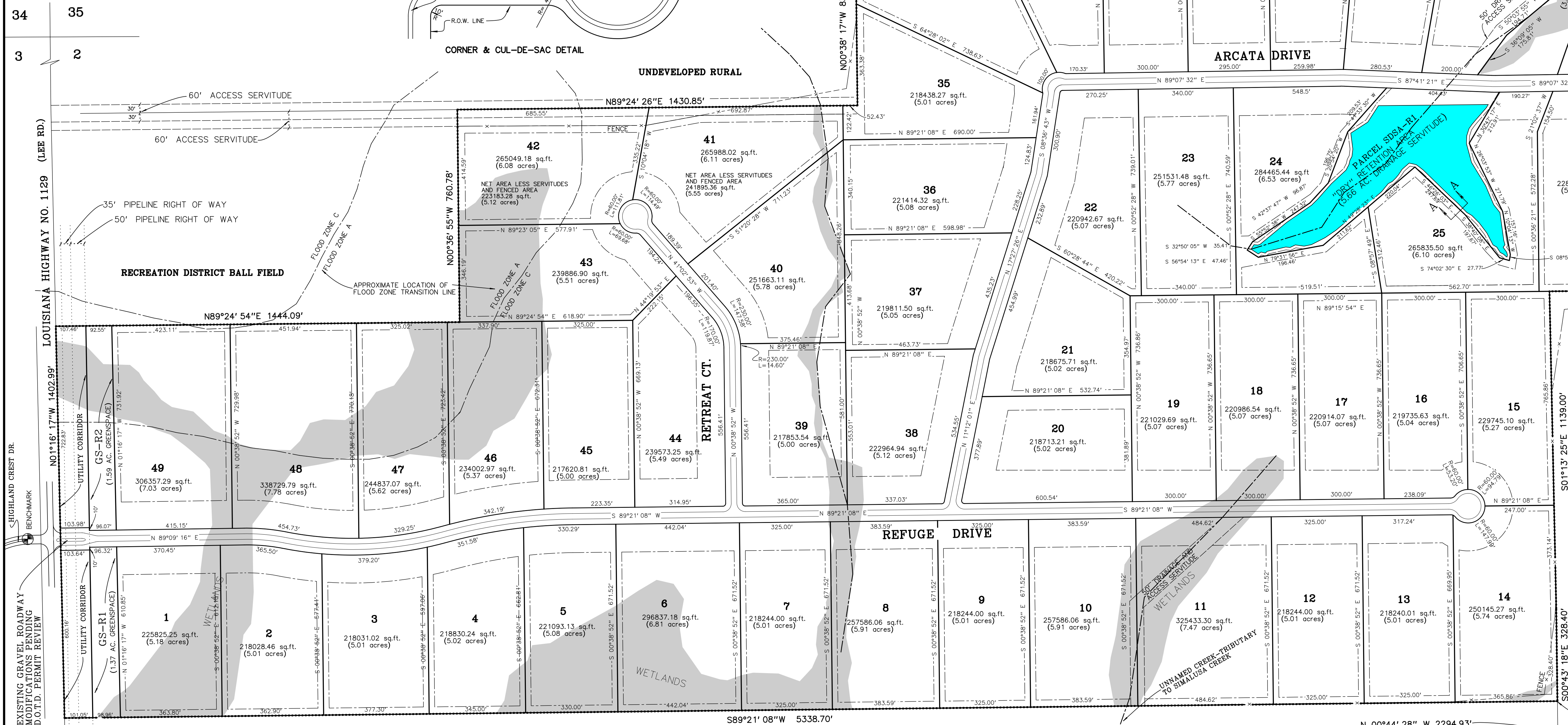
THE REFUGE (FORMERLY CREEKSTONE) SECTIONS 1 & 2, T-5-S, R-11-E, G.L.D., ST. TAMMANY PARISH, LA.

PRELIMINARY PLANS
RECEIVED
10/30/2020 - 10:00 A.M.
DEVELOPMENT
ENGINEERING

ENGINEERING
REVIEW COPY

NOTES:

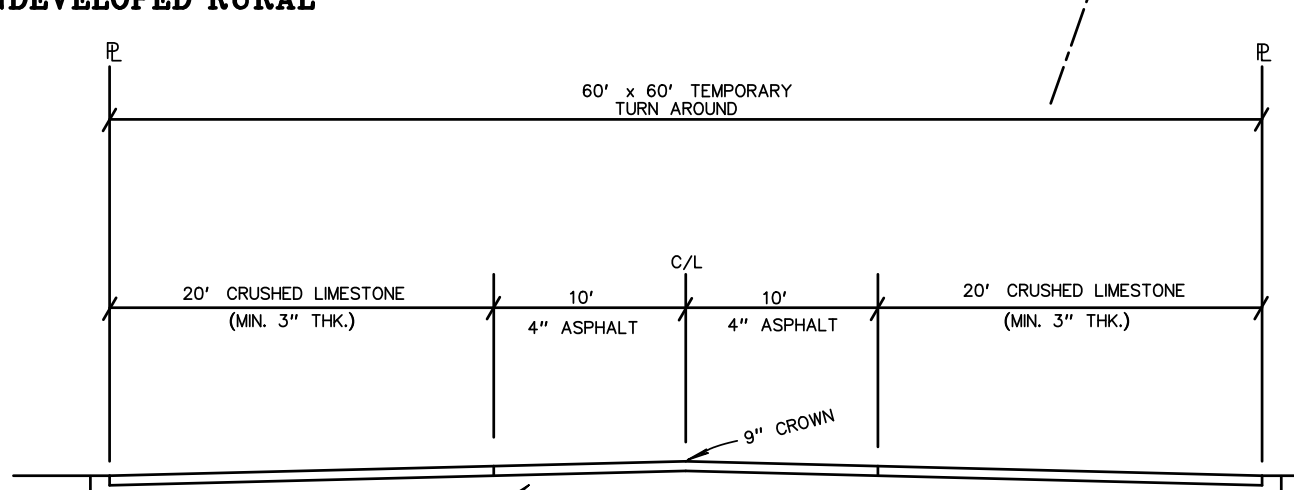
- ALL LOT CORNERS MARKED WITH 1/2" IRON RODS
- MAXIMUM HEIGHT FOR ALL STRUCTURES SHALL BE 35' AS MEASURED FROM EXISTING GROUND ADJACENT TO THE STRUCTURE.
- REQUIRED GREENSPACE (580 sq. ft./LOT) = 28420 sq. ft. (0.65 ac.) GREENSPACE PROVIDED = 2880.1645 sq. ft. (6.61 acres)
- LOT DEVELOPMENT IS LIMITED TO ONLY 1/2 ACRE OF "IMPERVIOUS" SURFACE THE REMAINDER OF THE LOTS MAY BE CLEARED OR UNDERBUSHED, FENCED AND LANDSCAPED BUT MUST REMAIN UNDEVELOPED. NOT WITHSTANDING THE FOREGOING, ANY OTHER AGENCIES MAY BE DEVELOPED, PROVIDED ALL REQUIREMENTS OF THE ST. TAMMANY PARISH DRAINAGE ORDINANCE IN CURRENT FORM OR AS HEREAFTER AMENDED IN THE FUTURE, ARE SATISFIED AND/OR WAIVED. THE EXACT LOCATION OF THE AREA TO BE DEVELOPED SHALL BE DETERMINED BY THE OWNER OF EACH LOT.
- BENCHMARK = MAG NAIL IN PAVEMENT AT NOSE OF MEDIAN ON HIGHLAND CREST DR. (AS SHOWN) ELEV. 180.75' MSL NAVD 88 (GEOID 18)



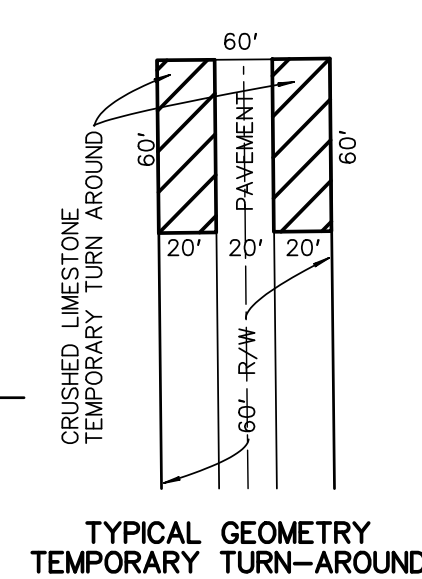
TYPICAL STREET SECTION

LOUISIANA HIGHWAY NO. 1129
(LEE RD.)

ENTRANCE DETAIL

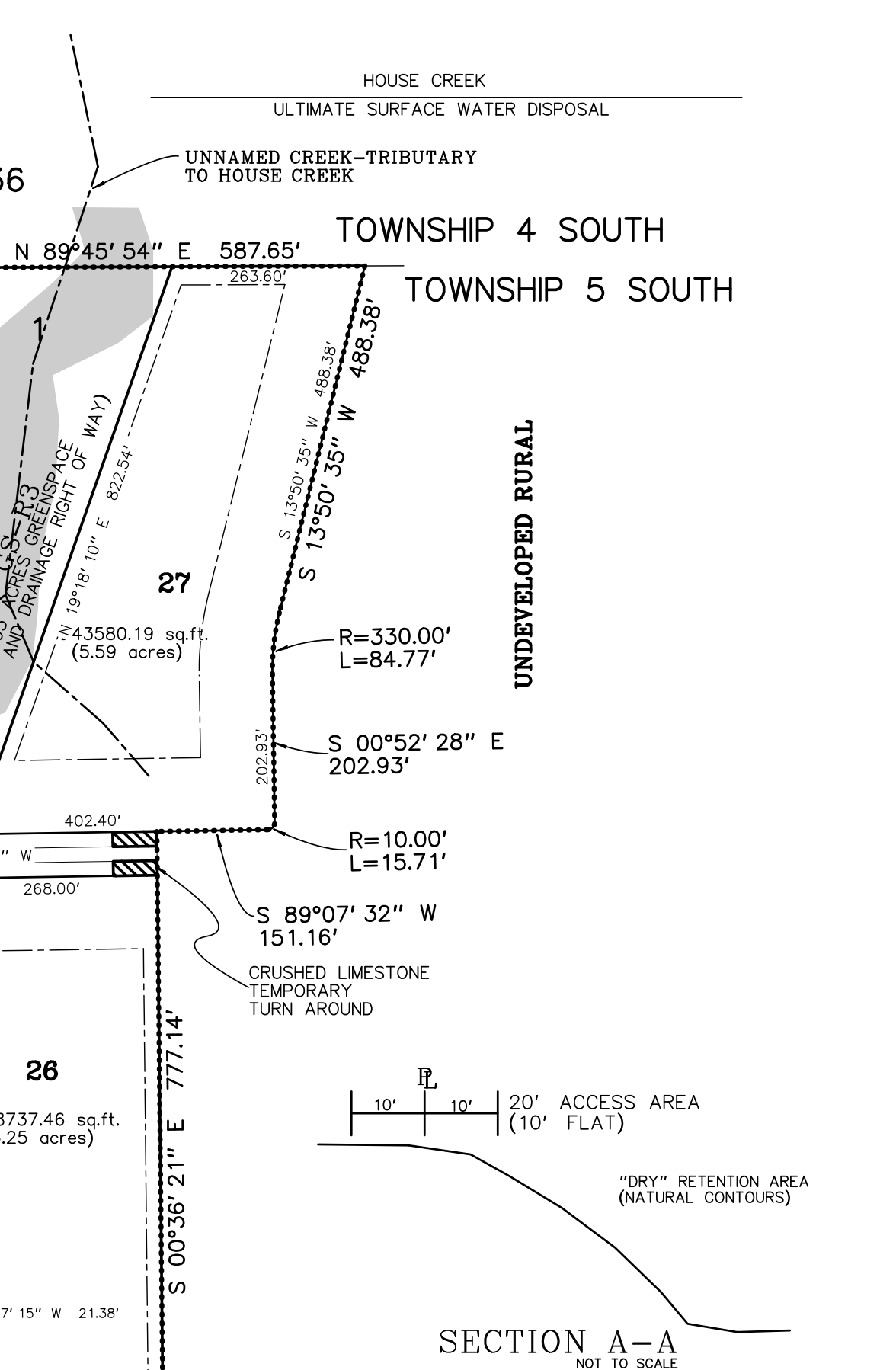


TYPICAL SECTION
TEMPORARY TURN-AROUND



TYPICAL GEOMETRY
TEMPORARY TURN-AROUND

301.73 acres	49	9950'	INDIVIDUAL
AREA	NO. OF LOTS	LENGTH OF STREETS	SEWER SYSTEM
5.0 ac.	AVG. 300'	60' / 20'	INDIVIDUAL
AVG. LOT SIZE	LOT FRONTAGE	STREET WIDTH	WATER SYSTEM
ASPHALT	AVG. 700'	A1	2400'
ROAD SURFACE	LOT DEPTH	ZONING	MAX. BLK. LENGTH



SECTION A-A
NOT TO SCALE

- RESTRICTIVE COVENANTS**
- NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED BEFORE THE INDIVIDUAL SEWERAGE AND WATER SYSTEMS ARE INSTALLED AND OPERABLE. ALL AS APPROVED BY THE ST. TAMMANY PARISH DEPARTMENT OF ENVIRONMENTAL SERVICES.
 - BUILDING SETBACKS ARE: FRONT - 100', SIDE - 20', REAR - 25' & SIDE STREET - 100'.
 - CONSTRUCTION OF ANY NATURE, INCLUDING FENCES, IS PROHIBITED IN PARISH DRAINAGE OR STREET EASEMENTS.
 - NO NOXIOUS OR OFFENSIVE ACTIVITY SHALL BE CARRIED ON UPON ANY LOT. NOR SHALL ANYTHING BE DONE THERE ON WHICH MAY BE OR MAY BECOME AN ANNOYANCE OR NUISANCE TO THE NEIGHBORHOOD, PARTICULARLY THE USE OF LOTS AS DUMPS OR JUNK CAR STORAGE.
 - THE MINIMUM ELEVATION FOR THE LOWEST FLOOR OF ALL RESIDENCES SHALL BE DETERMINED FROM THE LATEST FEMA FLOOD INSURANCE RATE MAPS. THIS PROPERTY LOCATED IN FLOOD ZONES A AND C.
 - NO LOT WILL BE FURTHER SUBDIVIDED WITHOUT THE PRIOR APPROVAL OF THE PLANNING COMMISSION AND THE DEPARTMENT OF ENVIRONMENTAL SERVICES OF ST. TAMMANY PARISH.
 - THE MINIMUM CULVERT SIZE IS SHOWN ON THE PAVING AND DRAINAGE PLAN. DRIVEWAYS ON CORNER LOTS SHALL NOT BE LOCATED ANY CLOSER THAN SIXTY (60') FEET FROM THE CORNER OF SAID PROPERTY CLOSEST TO THE INTERSECTION AS MEASURED FROM THE CORNER OF THE PROPERTY WHERE THE SAID TWO STREET RIGHT-OF-WAYS INTERSECT.
 - IT SHALL BE PROHIBITED FOR ANY LOT TO HAVE REAR ACCESS VIA A DRIVEWAY TO OR FROM ANY STREET OR ROAD THAT IS NOT LOCATED WITHIN THE BOUNDARIES OF THE APPROVED SUBDIVISION.
 - THE AFFORMENTED RESTRICTIONS SHALL BE RECIPIED IN EACH TITLE OR DEED IN ADDITION TO THE REQUIRED LISTING ON THE FINAL SUBDIVISION PLAN. (AMENDED BY ORD. 94-2142, ADOPTED 12/15/94)
- DEDICATION:**
ALL STREET RIGHTS-OF-WAY AS SHOWN HEREON ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER USE. EASEMENTS SHALL BE RESERVED FOR DRAINAGE & UTILITIES AS INDICATED HEREON AND NO OBSTRUCTION OR IMPROVEMENTS SHALL BE ALLOWED THAT WOULD PREVENT THEM FROM BEING USED FOR THEIR INTENDED PURPOSE. THE DETENTION PONDS SHALL BE DEDICATED TO & MAINTAINED BY ST. TAMMANY PARISH. THE STREET NAME SIGNS, TRAFFIC CONTROL SIGNS AND THE MOUNTING POLES PLACED WITHIN THIS SUBDIVISION ARE TO BE OWNED AND MAINTAINED BY ST. TAMMANY PARISH. THE MAINTENANCE OF THE "GREEN SPACE" SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION FOR THIS DEVELOPMENT.

OWNER
KELLY McHUGH
License No. 18940
PROFESSIONAL ENGINEER
IN
LOUISIANA REGISTERED LAND SURVEYOR NO. 4443
LOUISIANA REGISTERED CIVIL ENGINEER NO. 18940

P.O.B.

APPROVAL:
CHAIRMAN PARISH PLANNING COMMISSION
SECRETARY PARISH PLANNING COMMISSION
DIRECTOR OF THE DEPARTMENT OF ENGINEERING
DATE FILED
FILE NO.
CLERK OF COURT

PRELIMINARY PLAN

THE REFUGE (FORMERLY CREEKSTONE)
SECTIONS 1 & 2, T-5-S, R-11-E,
G.L.D., ST. TAMMANY PARISH, LA.

REVISIONS	DATE	DATE
10-30-20		

KELLY J. McHUGH & ASSOC., INC.
CIVIL ENGINEERS & LAND SURVEYORS
845 GALVEZ ST. - MANDEVILLE, LA.
626-5611

SCALE: 1" = 200'
DRAWN: DRJ
CHECKED: KJM

DATE: 10-09-20
JOB NO: 19-453
DWG. NO: 19-453-PRELIMINARY

FINAL SUBDIVISION REVIEW

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The following uncompleted items existed at the time of the final inspection and will be completed before the plats are signed:

General Comments:

1. Clean all streets throughout the development.
2. The detention ponds throughout this development need to be reworked to eliminate standing water, remove siltation, reestablished pond bank slopes and vegetate to avoid further erosion.
3. Remove the subsurface drainage between Dove Park Road and the newly constructed sidewalk and regrade the adjoining ditches in this area. This subsurface was not approved, was installed incorrectly, does not have the required pipe coverage, and the installed catch basins are not functioning as most of them are higher than Dove Park Road.
4. The plastic pipe on the northwest side of Emerald Dove Drive connecting to the detention pond has caused significant erosion to the pond bank. This needs to be reestablished, stabilized and vegetated/armored.
5. Update the provided test results to show the lot location where the tests were taken.
6. Provide utility trench bedding test results.
7. Provide utility trench backfill test results.
8. Asphalt is showing signs of raveling in the cul-de-sac at the end of Emerald Dove Drive.
9. Replace the “Brook Dove Drive” street name sign at the intersection of Dove Park Road.
10. The drainage manhole to the north of Lot #70 needs to be stabilized, the manhole top grouted and erosions issued corrected.

Final Plat:

11. Provide individual parcel labels for the greenspace areas within this development (GS-1, GS-2, etc.).
12. The Land Surveyor of Record for this development needs to sign, seal and date the Final Plat.
13. All infrastructure shall be either public or private. Revise the plats dedication language and restrictive covenants as needed.

Drainage & Paving Plans:

14. Provide an As-Built cross-section from the front of Lot #85 to the northern edge of pavement for Dove Park Road to verify that the constructed sidewalk does not impede the drainage in this area.

15. Provide a cross-section through the western property line and the rear of the western lots, showing As-Built dimension, elevations, property lines, fence and landscape buffer.
16. Provide as-built elevations for the ditch along the western property line, including the top of bank and center of ditch to show conformance to the approved plans.
17. Provide certification from the engineer that the detention ponds for this development have been constructed in accordance with the approved drainage study and required detention volume.

Informational Items:

The developer is responsible for contacting the USPS Regional Growth Management Coordinator to verify the appropriate mail delivery location for this development.

Should the Planning Commission approve the request for Final Approval, a Warranty Obligation will be required for the infrastructure in the amount of 3,028 linear feet x \$22.00 per linear foot = \$66,616.00 for a period of two (2) years.

Mandatory Developmental Fees are required as follows:

Road Impact Fee = \$1,077.00 per lot x 84 lots = \$90,468.00

Drainage Impact Fee = \$1,114.00 per lot x 84 lots = \$93,576.00

The Impact Fees associated with the industrial lot (Lot #85) will be assessed when a commercial building permit is filed for this lot.

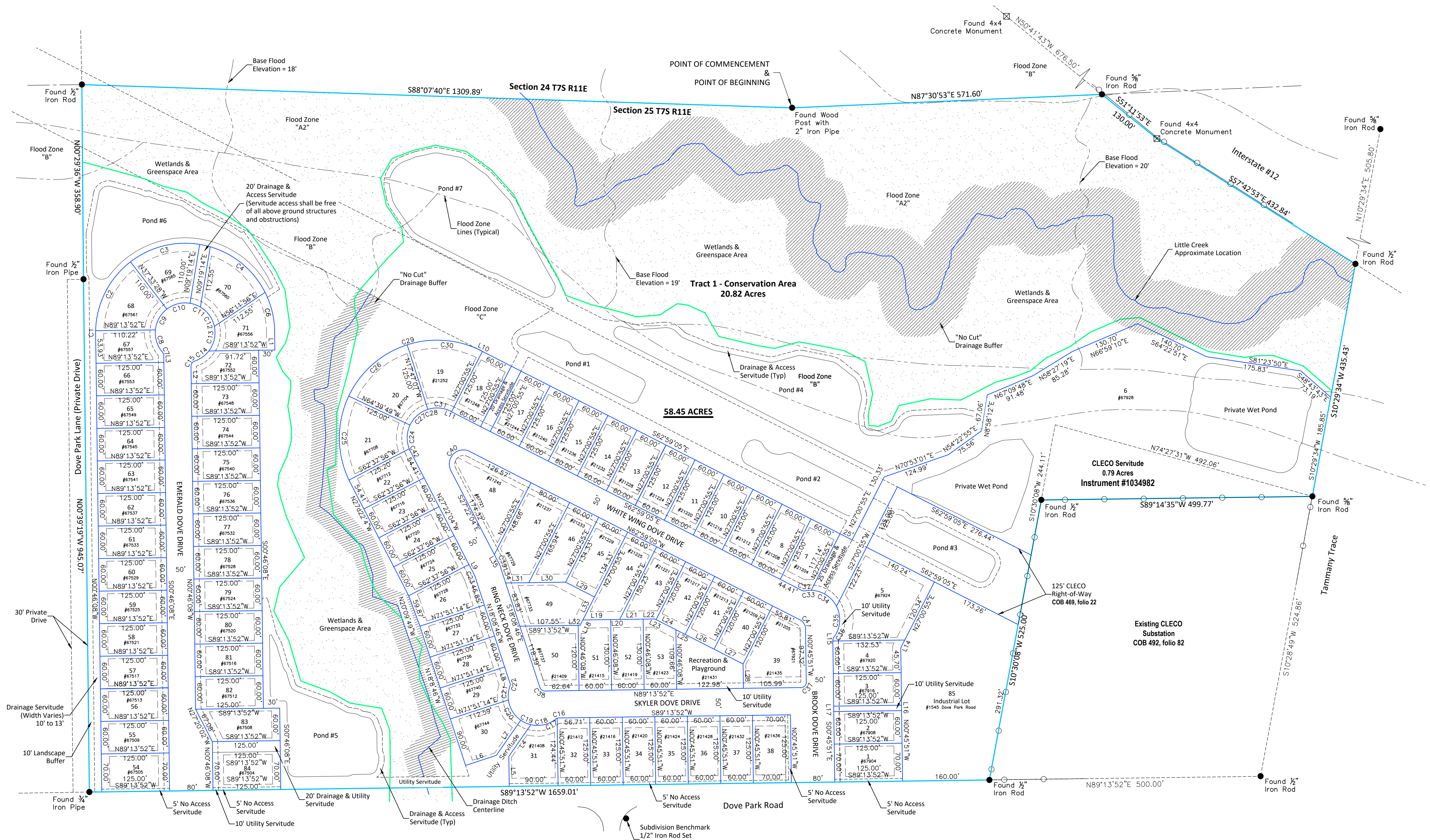
Fees are due before subdivision plats can be signed.

This subdivision is within the Urban Growth Boundary Line.

Revised drawings will not be accepted for review or placement in the packet prior to the November 10, 2020 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.

Dove Park Estates

A Planned Unit Development

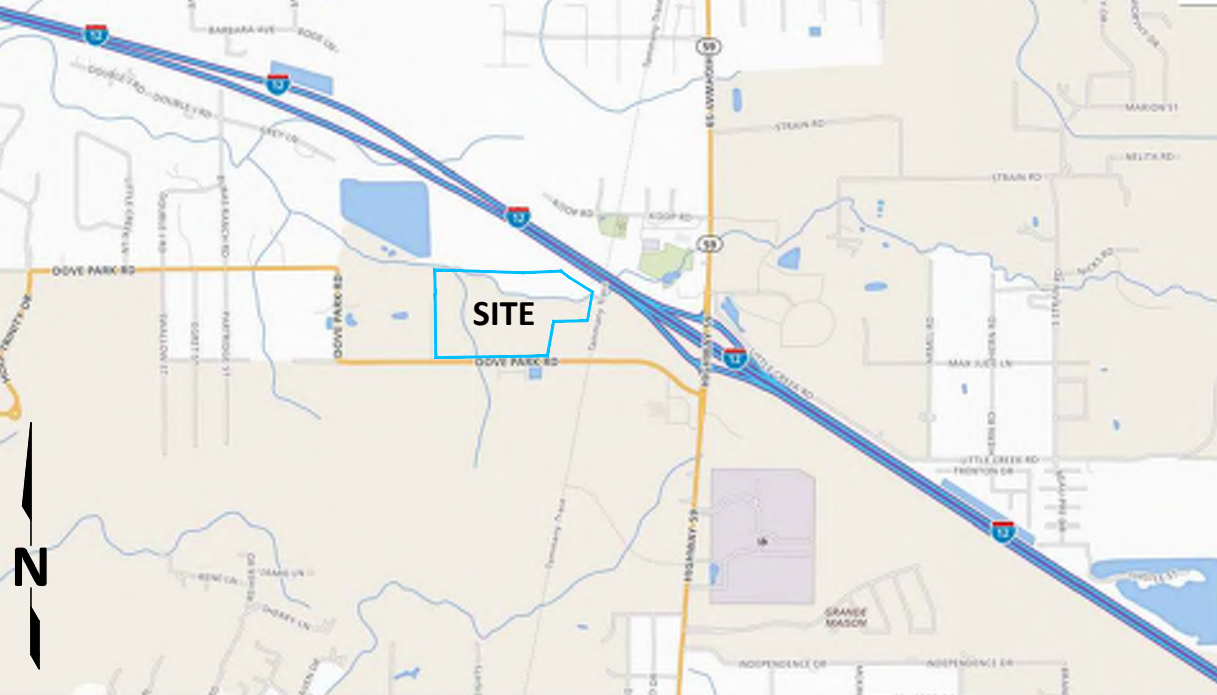


LEGEND OF SYMBOLS AND ABBREVIATIONS

- Found 1/2" Iron Rod
- ⊠ Found 4x4 Concrete Monument
- o-o- Chainlink Fence
- Servitude As Shown
- Setbacks
- #12345 Municipal Number

VICINITY MAP

SCALE: 1"= n/a



BASIS OF BEARINGS

Bearings shown herein are based on GPS observations per the Louisiana State Plane Coordinate System, La South Zone - NAD 83(2011) Epoch 2010.00 Geoid 2018 as acquired from LSU's CAG real time network. Distances shown herein are measured from monument to monument and are grid distances.

SURVEYOR'S NOTES

- The location of existing utilities are shown in an approximate way only, they were not excavated to be accurately located. Call Louisiana One Call @ 811 before digging.
- The property is located within flood zone "A2", "B" & "C" with a Base of 18', 19' & 20' according to the Federal Emergency Management Agency (FEMA) flood insurance rate map (firm) Community Panel No. 22505 0245 C dated October 17, 1989.
- Setback lines shall be verified by owner or contractor prior to any construction, as an abstract has not been performed by the undersigned.
- This survey was done on the ground under my direct supervision and control and found no encroachments on the subject property unless otherwise shown.
- Positional accuracy of found monuments are within dimensional tolerances in accordance with the minimum standards of a class C survey unless otherwise noted.
- References were made to the following surveys: survey by Land Engineering Services, dated September 21, 1967 with job number 67-2008, survey recorded at Map File #2322, survey by John E. Borneau & Associates, Inc. dated April 15, 2003 with job number 2003-186, survey by Randall W. Brown & Associates, Inc. dated October 29, 1996 with job number 961113 and survey by Kelly McHugh & Associates, Inc. dated April 9, 1999 with job number 98-410.
- Wetlands shown herein were provided by HYDRIK and are shown as reference material only. The undersigned does not hold any responsibility to the accuracy of the wetlands as they are shown in relation to the boundary.

APPROVALS:

CHAIRMAN - PARISH PLANNING COMMISSION

SECRETARY - PARISH PLANNING COMMISSION

DIRECTOR OF DEPARTMENT OF ENGINEERING

DATE FILED

FILE No.

CLERK OF COURT

DEDICATION - DEVELOPER:

DOVE PARK ESTATES, LLC
22161 MARSHALL ROAD
MANDALAY, LA 70471

ALL STREET RIGHTS-OF-WAY AS SHOWN HEREON ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER USE. EASEMENTS AND RIGHT-OF-WAYS SHALL BE RESERVED FOR DRAINAGE, UTILITIES AND ACCESS AS INDICATED HEREON AND NO OBSTRUCTION OR IMPROVEMENTS SHALL BE ALLOWED THAT WOULD PREVENT THEM FROM BEING USED FOR THEIR INTENDED PURPOSE. THE DEVELOPER OR HOMEOWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL GREENSPACE, DETENTION PONDS, DRAINAGE EASEMENTS, SIGNAGE AND SIGN POSTS.

FINAL PLAT

PERFORMED BY:



PO Box 504
Madisonville, Louisiana 70447

985.400.9750
bmccain@southerngeomatrics.com

PROJECT INFORMATION

Dove Park Estates
St. Tammany Parish, Louisiana

SECTION	TOWNSHIP	RANGE	LAND DISTRICT
25	7 South	11 East	Southeastern

SURVEY INFORMATION

Date of Field Survey August 4, 2017
Parish Comments April 25, 2018
Added Ponds February 02, 2020

PROJECT NUMBER	PARTY CHIEF	DRAWN BY	CALCS BY	APPROVED
17-081	JBM	JBM	JBM	AJK

SURVEYOR'S CERTIFICATION

To : Dove Park Estates, L.L.C.

I certify that this plat represents an actual ground survey made by me or under my direction, and it does conform to the requirements for the minimum standards for property boundary surveys as found in Louisiana Administrative Code Title 46: LXI, Chapter 25 for a Class C survey.

PRELIMINARY DOCUMENT FOR REVIEW ONLY
This document is not to be used for construction, bidding, recordation, conveyance, sales, or as the basis for the issuance of a permit.

Alfred J. Kesler
Professional Land Surveyor #5051

Date



METES & BOUNDS

All those certain lots or parcels of land situated in the Parish of St. Tammany, State of Louisiana, and being more particularly described as follows:

THAT CERTAIN PORTION OF GROUND, situated in the State of Louisiana, Parish of St. Tammany, being located in Section 25, Township 7 South, Range 11 East, and is described as follows:

Commencing at the 1/4" Corner for Section 24 and Section 25, Township 7 South, Range 11 East, being a found wood post and said point being the point of beginning. From the point of beginning run along the section line common to Section 24 and Section 25, Township 7 South, Range 11 East N87°30'53"E a distance of 571.60 feet to a found 3/4" iron rod being on the westerly right-of-way of Interstate 12; thence leaving said section line and proceed along said westerly right-of-way line S51°11'53"E a distance of 130.00 feet to a found 4x4 concrete monument; thence proceed S57°42'53"E a distance of 432.84 feet to a set 1/2" iron rod being on the westerly right-of-way of Tammany Trace; thence leaving said westerly right-of-way of Interstate 12 and run along said westerly right-of-way of Tammany Trace S10°29'34"W a distance of 435.43 feet to a found 3/4" iron rod; thence leaving said westerly right-of-way and proceed S89°14'35"W a distance of 499.77 feet to a found 1/2" iron rod; thence proceed S10°30'08"W a distance of 525.00 feet to a set 1/2" iron rod being on the northerly right-of-way of Dove Park Road; thence run along said northerly right-of-way S89°13'52"W a distance of 1659.01 feet to a found 1/2" iron pipe being on the easterly right-of-way of Dove Park Lane (private drive); thence leaving said northerly right-of-way of Dove Park Road and run along said easterly right-of-way line of Dove Park Lane (private drive) N00°59'19"W a distance of 945.07 feet to a found 1/2" iron pipe; thence leaving said easterly right-of-way and proceed N00°29'36"W a distance of 358.90 feet to a found 1/2" iron rod being on the aforementioned section line common to Section 24 and Section 25, Township 7 South, Range 11 East; thence proceed along said section line S88°07'40"E a distance of 1309.89 feet to the point of beginning.

Said Parcel of ground contains 58.45 Acres.

GENERAL NOTES

LOT SIZES

- 8 LOTS SMALLER THAN 0.172 AC (DIM. VARY)
 - LOTS 7, 29, 40-42, 53, 67, 72
- 47 LOTS 0.172 AC (60'X125')
 - LOTS 2-3, 8-18, 22-25, 27-28, 32-37, 55-66, 73-82
- 7 LOTS BETWEEN 0.172 AC & 0.200 AC (DIM. VARY)
 - LOTS 4, 43, 45, 51, 52, 71, 83
- 4 LOTS 0.200 AC (70'X125')
 - LOTS 1, 38, 54, 84
- 13 LOTS BETWEEN 0.200 AC & 0.300 AC (DIM. VARY)
 - LOTS 19-21, 26, 30-31, 44, 46, 49-50 68-70
- 6 LOTS GREATER THAN 0.300 AC LOTS 5-6, 39, 47-48 & 85

SETBACKS

FRONT	20'
REAR	15'
SIDE	5'
CORNER	10'
REMAINING LOTS	5'
MAXIMUM HEIGHT	35'

DENSITY FORMULA

TOTAL AREA X 0.75 X MAXIMUM NET DENSITY = 85 LOTS

SUBDIVISION PHASES & GENERAL INFORMATION

LOTS: 1-85

PROVIDED GREEN SPACE	± 32.34 ACRES - 55%
DEDICATED RIGHT-OF-WAY	± 3.89 ACRES - 7%
LOT ACREAGE	± 20.81 ACRES - 36%
INDUSTRIAL	± 1.41 ACRES - 2%
TOTAL ACREAGE:	± 58.45 ACRES - 100%

PASSIVE AMENITIES

- UNDISTURBED HABITAT (WETLANDS & LITTLE CREEK)
- STORM WATER MANAGEMENT AREAS
- CONNECTION TO EXISTING OFFSITE BIKE TRAIL

ACTIVE AMENITIES

- PLAYGROUND

TOTAL AREA 58.45 ACRES

NUMBER OF LOTS 85

STREET RIGHT OF WAY 50 FOOT & 80 FOOT (ENTRANCE BLVDS)

AVERAGE LOT SIZE VARIES

WATER SYSTEM TAMMANY UTILITIES

SEWER SYSTEM TAMMANY UTILITIES

ULTIMATE SURFACE WATER DISPOSAL LAKE PONTCHARTRAIN

ROAD SURFACE ASPHALT

ZONING PLANNED UNIT DEVELOPMENT

STREET LENGTH ± 3,028 LN FT

TREES

Two (2) Class "A" trees, not less than eight (8') feet in height, shall be planted in the backyard of each lot which abuts the Dove Park road right of way. Each of the aforementioned trees will need to be planted prior to a certificate of occupancy being granted by the Parish of St. Tammany for the home to be constructed on each of the lots. Dove Park Estates, LLC hereby guarantees the planting of each tree required pursuant hereto.

APPROVALS

CHAIRMAN - PARISH PLANNING COMMISSION

SECRETARY - PARISH PLANNING COMMISSION

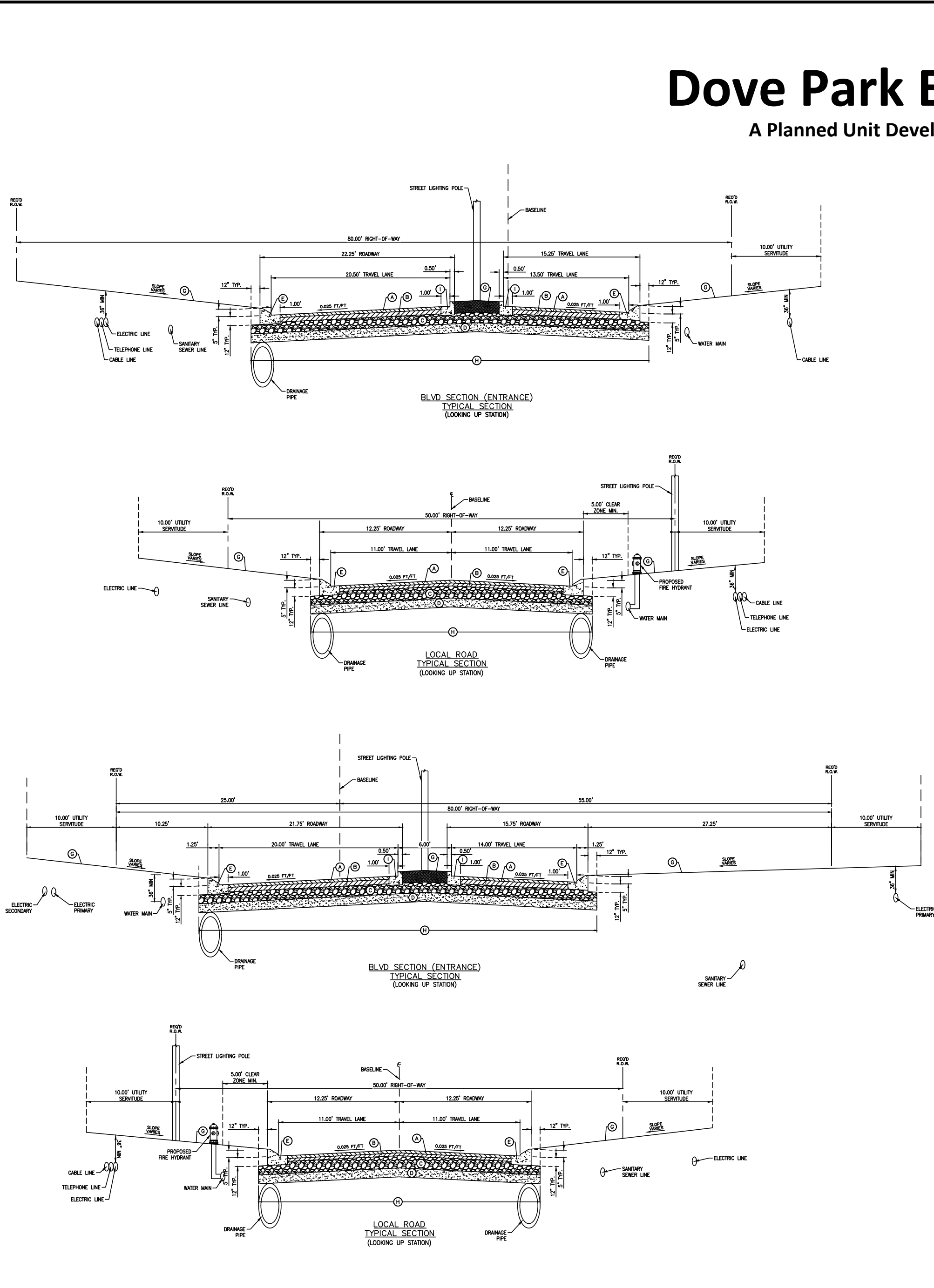
DIRECTOR OF DEPARTMENT OF ENGINEERING

DATE FILED FILE No.

CLERK OF COURT

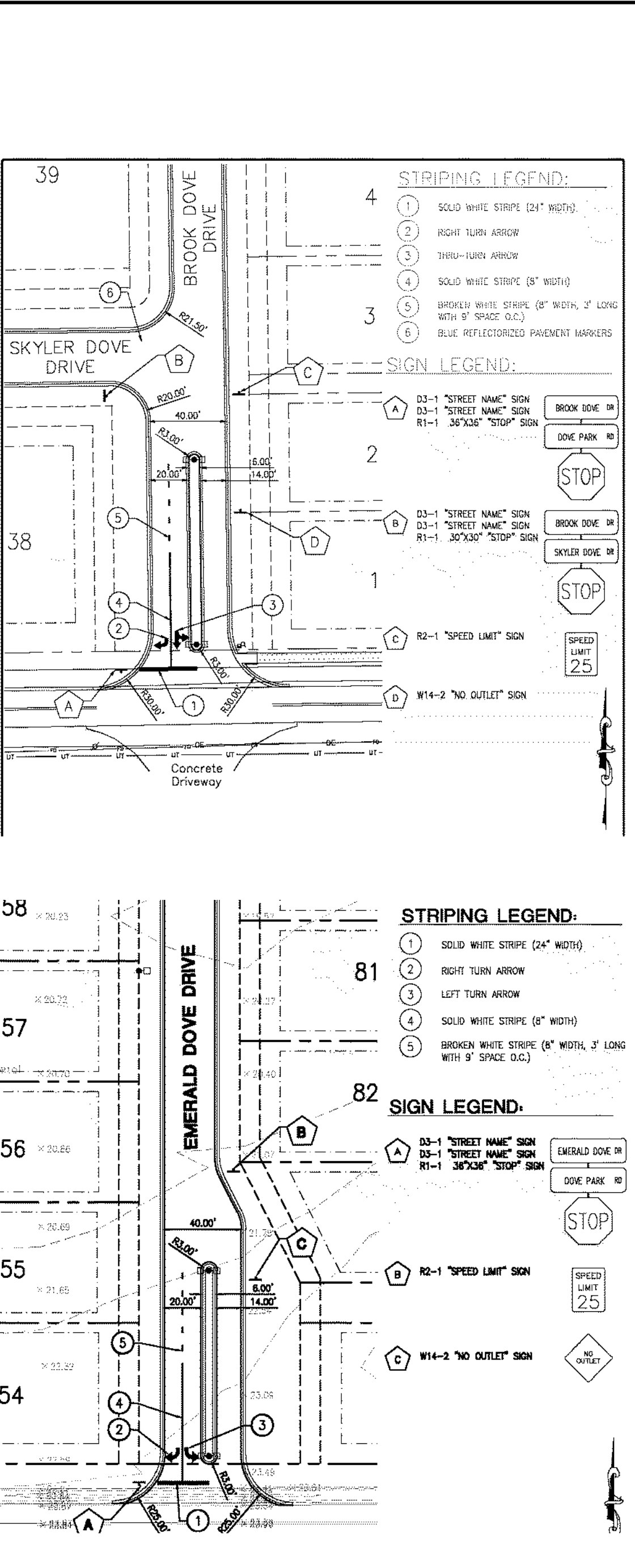
DEDICATION - DEVELOPER: DOVE PARK ESTATES, LLC 23161 MARSHALL ROAD MANDEVILLE, LA 70471

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CURVE TABLE				
NUMBER	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	CH = S00°17'04"W	R = 165.00'	AL = 6.07'	CL = 6.07'
C2	CH = S26°53'25"W	R = 165.00'	AL = 147.17'	CL = 142.34'
C3	CH = S75°52'53"W	R = 165.00'	AL = 135.00'	CL = 131.27'
C4	CH = N50°16'42"W	R = 165.00'	AL = 135.00'	CL = 131.27'
C5	CH = N30°19'12"W	R = 165.00'	AL = 20.05'	CL = 20.04'
C6	CH = N13°48'15"W	R = 165.00'	AL = 75.08'	CL = 74.43'
C7	CH = N20°37'35"W	R = 10.00'	AL = 6.93'	CL = 6.79'
C8	CH = S17°27'36"E	R = 55.00'	AL = 44.20'	CL = 43.02'
C9	CH = S29°00'11"W	R = 55.00'	AL = 45.00'	CL = 43.76'
C10	CH = S75°52'53"W	R = 55.00'	AL = 45.00'	CL = 43.76'
C11	CH = N57°14'25"W	R = 55.00'	AL = 45.00'	CL = 43.76'
C12	CH = N23°08'21"W	R = 55.00'	AL = 20.47'	CL = 20.35'
C13	CH = N12°25'28"E	R = 55.00'	AL = 47.81'	CL = 46.32'
C14	CH = N54°19'07"E	R = 55.00'	AL = 32.62'	CL = 32.15'
C15	CH = S35°16'16"W	R = 10.00'	AL = 12.58'	CL = 11.77'
C16	CH = S79°37'44"W	R = 10.00'	AL = 3.35'	CL = 3.34'
C17	CH = S69°47'43"W	R = 10.00'	AL = 3.22'	CL = 3.21'
C18	CH = N77°17'25"E	R = 54.00'	AL = 48.49'	CL = 46.88'
C19	CH = S66°06'50"E	R = 54.00'	AL = 20.49'	CL = 20.37'
C20	CH = S31°22'17"E	R = 54.00'	AL = 45.00'	CL = 43.71'
C21	CH = S06°00'42"W	R = 54.00'	AL = 25.47'	CL = 25.23'
C22	CH = N00°41'15"E	R = 10.00'	AL = 6.57'	CL = 6.46'
C23	CH = N22°45'25"W	R = 125.00'	AL = 20.12'	CL = 20.10'
C24	CH = S01°53'50"W	R = 55.00'	AL = 32.95'	CL = 32.46'
C25	CH = S00°07'37"E	R = 180.00'	AL = 159.99'	CL = 154.78'
C26	CH = S48°46'32"W	R = 180.00'	AL = 147.27'	CL = 143.20'
C27	CH = S48°46'32"W	R = 55.00'	AL = 45.00'	CL = 43.76'
C28	CH = S77°27'10"W	R = 55.00'	AL = 10.06'	CL = 10.04'
C29	CH = S73°48'26"W	R = 180.00'	AL = 10.01'	CL = 10.00'
C30	CH = N83°47'33"W	R = 180.00'	AL = 130.74'	CL = 127.88'
C31	CH = N80°08'50"W	R = 55.00'	AL = 12.68'	CL = 11.84'
C32	CH = S81°38'59"E	R = 10.00'	AL = 6.52'	CL = 6.40'
C33	CH = S85°37'02"W	R = 54.00'	AL = 11.18'	CL = 11.16'
C34	CH = N57°41'29"W	R = 54.00'	AL = 57.98'	CL = 55.24'
C35	CH = N04°49'02"E	R = 54.00'	AL = 59.84'	CL = 56.83'
C36	CH = S17°54'03"W	R = 10.00'	AL = 6.52'	CL = 6.40'
C37	CH = N44°14'01"E	R = 10.00'	AL = 15.71'	CL = 14.14'
C38	CH = S54°27'27"E	R = 10.00'	AL = 12.68'	CL = 11.84'
C39	CH = N22°45'25"W	R = 75.00'	AL = 12.07'	CL = 12.06'
C40	CH = S44°49'25"W	R = 26.00'	AL = 65.52'	CL = 49.51'
C41	CH = N31°52'28"W	R = 20.00'	AL = 21.72'	CL = 20.67'
C42	CH = N24°27'17"W	R = 55.00'	AL = 5.59'	CL = 5.59'

LINE TABLE		
NUMBER	DIRECTION	DISTANCE
L1	S00°46'08"E	33.93'
L2	N00°46'08"W	32.09'
L3	S00°46'08"E	12.40'
L4	N34°45'20"E	71.11'
L5	N00°45'51"W	55.34'
L6	N71°51'14"E	59.85'
L7	N34°45'20"E	78.67'
L8	N18°08'46"W	30.87'
L9	N27°22'04"W	13.15'
L10	S62°59'05"E	12.11'
L11	S62°59'05"E	10.00'
L12	N62°59'05"W	12.11'
L13	S62°59'05"E	10.00'
L14	N27°00'55"E	16.17'
L15	S00°45'51"E	1.07'
L16	S00°45'51"E	10.00'
L17	S00°45'51"E	10.00'
L18	N27°00'55"E	11.30'
L19	N89°13'52"E	51.26'
L20	N89°13'52"E	16.56'
L21	N89°13'52"E	43.44'
L22	N89°13'52"E	21.40'
L23	S62°59'05"E	2.63'
L24	S62°59'05"E	40.39'
L25	S62°59'05"E	19.01'
L26	S62°59'05"E	60.00'
L27	S62°59'05"E	60.00'
L28	S00°46'08"E	44.87'
L29	N62°59'05"W	60.00'
L30	S89°13'52"W	67.82'
L31	S89°13'52"W	42.57'
L32	S89°13'52"W	3.47'
L33	N27°00'55"E	47.51'
L34	S18°08'46"E	28.46'
L35	S27°22'04"E	15.93'



VICINITY MAP

SCALE: 1" = n/a

RESTRICTIVE COVENANTS

- EACH LOT WILL NOT HAVE MORE THAN ONE DWELLING.
- NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED BEFORE THE SEWERAGE AND WATER SYSTEMS ARE INSTALLED AND OPERABLE OR OTHERWISE CONNECTED TO A COMMUNITY (CENTRAL) SEWERAGE AND/OR WATER SYSTEM(S), ALL AS APPROVED BY THE ST. TAMMANY PARISH DEPARTMENT OF ENVIRONMENTAL SERVICES. WHENEVER A SUBDIVISION IS SERVED BY A COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY), NO PRIVATE WATER SUPPLY MAY BE DRILLED OR OTHERWISE CONSTRUCTED ON ANY LOT FOR THE PURPOSE OF SUPPLYING POTABLE WATER TO ANY BUILDING OR STRUCTURE, EXCEPT FOR THE PURPOSE OF IRRIGATION AND IN NO EVENT SHALL THERE BE A PHYSICAL CONNECTION BETWEEN ANY SUCH SOURCE AND ANY ELEMENT OF THE COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY).
- CONSTRUCTION OF ANY NATURE, INCLUDING FENCES, IS PROHIBITED IN STREET EASEMENTS, UTILITY SERVIDUTES AND DRAINAGE SERVIDUTES.
- NO NOXIOUS OR OFFENSIVE ACTIVITY SHALL BE CARRIED ON UPON ANY LOT, NOR SHALL ANYTHING BE DONE THERE ON WHICH MAY BE OR MAY BECOME AN ANNOYANCE OR NUISANCE TO THE NEIGHBORHOOD, PARTICULARLY THE USE OF LOTS AS DUMPS OR JUNK CAR STORAGE.
- THE MINIMUM ELEVATION FOR THE LOWEST FLOOR OF ALL RESIDENCES SHALL BE DETERMINED BY THE LATEST FEMA MAP. THE FINISHED FLOOR ELEVATION MUST BE A MINIMUM OF 1.0' ABOVE THE CROWN OF THE ADJACENT STREET OR MEET THE LATEST FEMA STANDARDS, WHICHEVER IS HIGHER.
- NO MOBILE HOMES WILL BE PERMITTED IN THIS SUBDIVISION.
- NO LOT WILL BE FURTHER RESUBDIVIDED WITHOUT THE PRIOR APPROVAL OF THE ST. TAMMANY PARISH PLANNING COMMISSION.
- THE AFOREMENTIONED RESTRICTIONS SHALL BE RECITED IN EACH TITLE OR DEED IN ADDITION TO THE REQUIRED LISTING ON THE FINAL SUBDIVISION PLAT. (AMENDED BY ORD. 94-2142, ADOPTED 12115194).
- DEVELOPER OR HOMEOWNERS ASSOCIATION IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE PLAYGROUND AND SIDEWALK CONNECTION TO THE EXISTING BIKE TRAIL.
- FURTHER RESTRICTIONS MAY BE RECORDED WITH THE SALE OF PROPERTY IN THE DEVELOPMENT.
- DRIVEWAYS ON CORNER LOTS SHALL NOT BE LOCATED ANY CLOSER THAN FORTY-SIX (46') FEET FROM THE CORNER OF SAID PROPERTY CLOSEST TO THE INTERSECTION, MEASURED FROM THE PROPERTY LINE ON THE CORNER OF THE PROPERTY WHERE THE SAID TWO STREET RIGHTS-OF-WAY INTERSECT.
- TELECOMMUNICATION CABINETS ARE PERMITTED TO BE LOCATED WITHIN THE GREENSPACE AND INDUSTRIAL PARCEL.
- ACCESSORY BUILDINGS WITH A SIZE OF LESS THAN 5% OF THE AREA OF THE LOT ON WHICH THE MAIN BUILDING IS SITUATED MAY BE LOCATED FIVE (5) FEET FROM THE NEAREST INTERIOR SIDE AND REAR LOT LINES PROVIDED THE BUILDING LENGTH DOES NOT EXCEED THIRTY (30) FEET & THE BUILDING HEIGHT DOES NOT EXCEED NINETEEN (19) FEET.
- AFTER CLEARING OF LOTS 54-84, A FENCE WILL BE CONSTRUCTED ALONG THE WESTERN PROPERTY LINE OF LOTS 54-67 AND THE REQUIRED TREES WILL BE PLANTED IN THE GREENSPACE.
- LOT 50 WILL BE ALLOWED SIDE LOT ACCESS. LOT 38 WILL NOT BE ALLOWED SIDE LOT ACCESS.
- SUBDIVISION BENCHMARK IS AS SHOWN AND IS NAVD 88 GEOID 18.
- THE PRIVATE WET POND SHOWN ON LOT 6 POND WILL BE OWNED AND MAINTAINED BY DOVE PARK ESTATES, L.L.C.

DOVE PARK INDUSTRIAL ZONING

- RADIO AND TELEVISION STUDIOS AND BROADCASTING STATIONS
- AUTO BODY SHOPS (MINIMUM STANDARDS APPLY)
- OUTDOOR STORAGE YARDS AND LOTS AND CONTRACTOR'S STORAGE YARDS IN CONJUNCTION WITH AN AFFILIATED OFFICE PROVIDED THAT THIS PROVISION SHALL NOT PERMIT WRECKING YARDS OR YARDS USED IN WHOLE OR IN PART FOR A SCRAP OR SALVAGE OPERATION. MINIMUM STANDARDS FOR CONTRACTOR'S YARDS APPLY.
- WELDING SHOPS (GREATER THAN 3000 SQ. FEET)
- INDOOR RECREATIONAL FACILITIES INCLUDING A RESTAURANT W/O LOUNGE
- OFFICE WAREHOUSE
- PORTABLE STORAGE CONTAINERS USE FOR STORAGE
- OUTDOOR DISPLAY PRE-ASSEMBLED BUILDING, POOL & PLAYGROUND EQUIPMENT

FINAL PLAT

SOUTHERN GEOMATICS SERVICES

PO Box 504
Madisonville, Louisiana 70447

985.400.9750
bmccain@southerngeomatics.com

PROJECT INFORMATION

Dove Park Estates
St. Tammany Parish, Louisiana

SECTION	TOWNSHIP	RANGE	LAND DISTRICT
25	7 South	11 East	Southeastern

SURVEY INFORMATION

Date of Field Survey: August 4, 2017
Parish Comments: April 25, 2018
Added Ponds: February 02, 2020

PROJECT NUMBER	PARTY CHIEF	DRAWN BY	CALCS BY	APPROVED
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SURVEYOR'S CERTIFICATION

To: Dove Park Estates, L.L.C.

I certify that this plat represents an actual ground survey made by me or under my direction, and it does conform to the requirements for the minimum standards for property boundary surveys as found in Louisiana Administrative Code Title 46: LXI, Chapter 25 for a Class C survey.

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Alfred J. Kesler
Professional Land Surveyor #5051

Date

Sheet 2 of 2

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FINAL SUBDIVISION STAFF ANALYSIS REPORT
(As of November 2, 2020)

CASE NO.: 2020-2101-FP

SUBDIVISION NAME: Lakeshore Villages, Phase 8B

DEVELOPER: D.R. Horton, Inc. Gulf Coast
7696 Vincent Road
Denham Springs, LA 70726

ENGINEER/SURVEYOR: Duplantis Design Group, LLC
16564 East Brewster Road
Covington, LA 70433

SECTION: 25, 26, 35 & 36
TOWNSHIP: 9 SOUTH
RANGE: 14 EAST

WARD: 9
PARISH COUNCIL DISTRICT: 13

TYPE OF DEVELOPMENT: ☐ URBAN (Residential lots less than 1 acre)
 ☐ SUBURBAN (Residential lots between 1-5 acres)
 ☐ RURAL (Residential Farm Tract lots 5 acres plus)
 ☒ OTHER (Multi family, commercial or industrial) (PUD)

GENERAL LOCATION: The property is located north of Oak Harbor Blvd., west of LA Highway 433, east of Interstate-10, Slidell, Louisiana

TOTAL ACRES IN DEVELOPMENT: 40.59 Acres

NUMBER OF LOTS: 165 AVERAGE LOT SIZE: 6,865 Square Feet

SEWER AND WATER SYSTEMS: Central

ZONING: PUD

FLOOD ZONE DESIGNATION: "AH- EL 1.0"

STAFF COMMENTARY:

Department of Planning and Development

Periodic inspections have been made by this office during construction and the final inspection was made on October 30, 2020. The inspection disclosed that all of the asphalt roads are constructed, and the subsurface drainage is functioning.

The following uncompleted items existed at the time of the final inspection and will be completed before the plats are signed:

General Comments:

1. The streets throughout this phase of Lakeshore Villages need to be cleaned so a meaningful inspection can be made.
2. Blue reflectors need to be installed in the vicinity of all fire hydrants.
3. Re-install the stop sign at the intersection of 1st Lake Drive and Cypress Branch Drive.
4. Remove dumpsters and construction material from the 1st Lake Drive roadway.
5. The drainage ditch leading to the detention pond from the subsurface drain line between Lots #1768 & #1769 needs to be cleaned out to provide positive flow.
6. A “West Lakeshore Landing Drive” street sign needs to be installed in the field and the As-built Signage Plan updated accordingly.

Final Plat:

7. Revise the address of Lot #1671 to “7527”.
8. A restrictive covenant #11 needs to be added to the Final Plat stating, “The aforementioned restrictions shall be recited in each title or deed in addition to the required listing on the Final Subdivision Plat”.
9. Revise restrictive covenant #9 to remove the reference to Lot #1827 as this lot is not located within Phase 8-B.
10. Provide individual parcel labels for the pond and greenspace areas in this phase of Lakeshore Villages. Update the Final Plat and As-built plans accordingly.
11. Remove the “Match-line A” reference from the Final Plat as there is no match-line for this phase of Lakeshore Villages.

Paving & Drainage Plan:

12. The lot boundaries shown for Lot #1754 on the As-built plans differ from the boundary described on the Final Plat. Revise the As-built plans to eliminate this conflict. (Typical)
13. The lot boundaries shown for Lot #1769 on the As-built plans differ from the boundary described on the Final Plat. Revise the As-built plans to eliminate this conflict. (Typical)
14. Update the As-built plans to show the as-built information for the western pond constructed in this phase of Lakeshore Villages. Include the invert elevations for all subsurface pipes associated with this pond and update the Final Plat to include all associated drainage servitudes.

Water & Sewer Plan:

15. Provide a water and sewer Letter of Capacity for this development from Oak Harbor East Utilities.
16. Provide a letter of acceptance and responsibility for the perpetual maintenance and operation of the water and sewer systems from Oak Harbor East Utilities.

Informational Items:

The developer is responsible for contacting the USPS Regional Growth Management Coordinator to verify the appropriate mail delivery location for this development.

Should the Planning Commission approve the request for Final Approval, a Warranty Obligation will be required for the infrastructure in the amount of 7,250 linear feet x \$22.00 per linear foot = \$159,500.00 for a period of two (2) years.

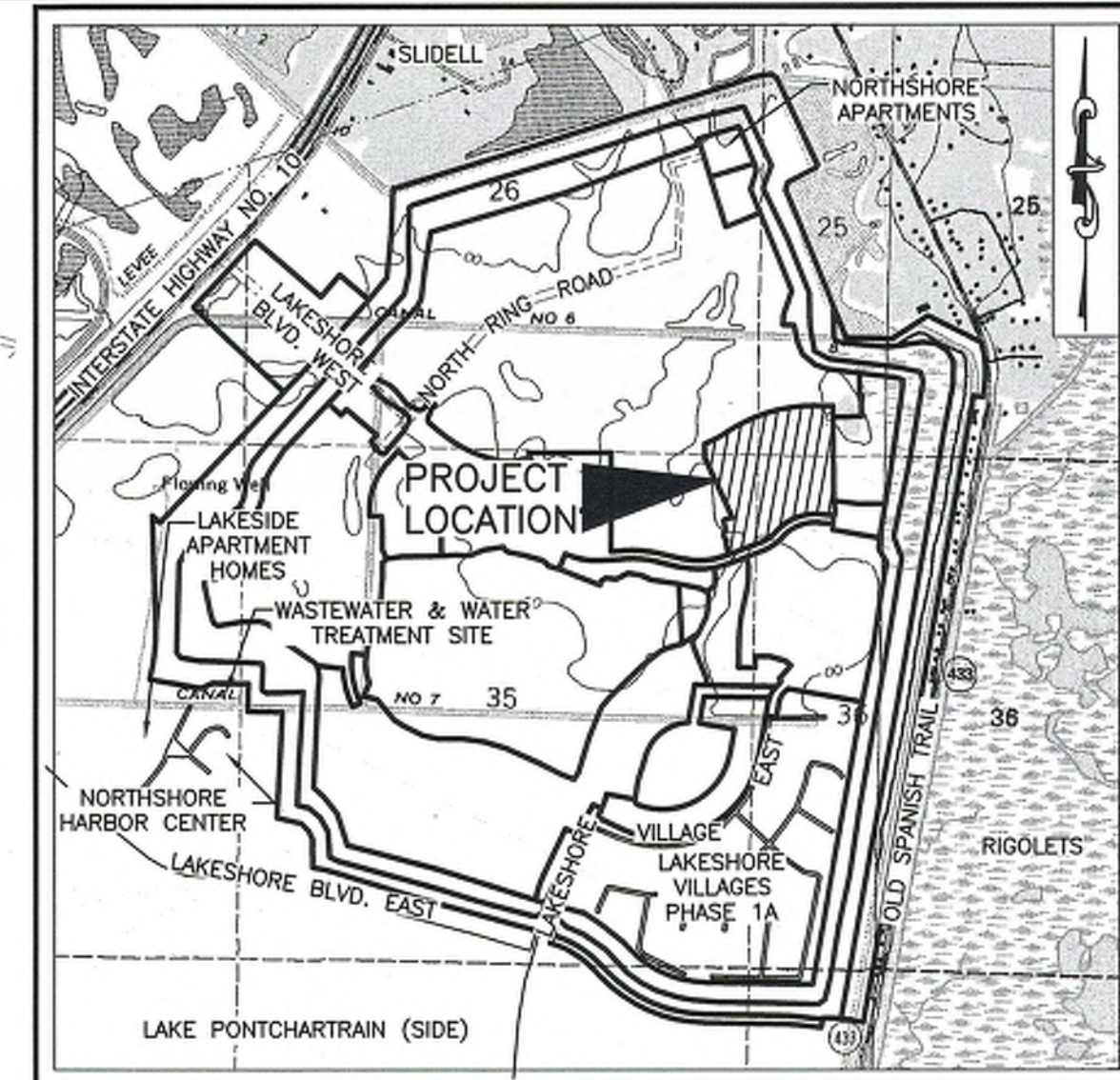
No Mandatory Development fees are required since a public hearing was held prior to January 1, 2005.

This subdivision is within the Urban Growth Boundary Line.

Revised drawings will not be accepted for review or placement in the packet prior to the November 10, 2020 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.

- RESTRICTIVE COVENANTS:**
- No certificate of occupancy shall be issued before the sewerage and water systems are installed and operable or otherwise connected to a community (central) sewerage and/or water systems(s), all as approved by the Department of Environmental Services of St. Tammany Parish. Whenever a subdivision is served by a community (central) water system (supply), no private water supply may be drilled or otherwise constructed on any lot for the purpose of supplying potable water to any building or structure, except for the purpose of irrigation, and in no event shall there be a physical connection between any such source and any element of the community (central) water system (supply).
 - Construction of any nature, including fences, is prohibited in drainage or street easements.
 - No noxious or offensive activity shall be carried on upon any lot, nor shall anything be done there on which may not become an annoyance or nuisance to the neighborhood, particularly the use of lots as trash or junk vehicle storage.
 - The minimum elevation for the lowest floor of all residential homes shall be a minimum of 1.0' M.S.L. (NAVD83) (0000 09) or 1 foot above the centerline of the road, whichever is greater. This subdivision is in F.I.R.M. community panel 22520505350, Rev. 8-25-2006, and is classified as being in Flood Zone AH.
 - No lot will be further subdivided without approval of the St. Tammany Planning Commission and the Department of Environmental Services of St. Tammany Parish.
 - It shall be prohibited for any lot within an approved subdivision to have rear access via a driveway to or from any street or road that is not dedicated within the boundaries of the approved subdivision plat. (Amended per Ord.12-2711, adopted April 5, 2012).
 - The existing stormwater detention system, including the canals, lakes, and pump station, are to be owned and maintained by the Community Development District.
 - The residents within Phase 8 will have the right to utilize the existing lake centrally located within Lakeshore Villages development for recreational purposes.
 - Driveways for all corner lots are to maintain a minimum distance of sixty (60') feet from a corner of said property closest to the intersection as measured from the property lines on the corner of the property where the said two street rights-of-way intersect. If there are lots that do not comply with this as front-loaded lots, they are to be side-loaded. Lot 1827 is to be side-loaded with a minimum distance of 48' between driveway edge and property corner where the two street rights-of-way intersect.
 - Home builder is responsible for the construction of the sidewalk along the lots.

**PLAT SHOWING FINAL SUBDIVISION
OF
LAKESHORE VILLAGES (PHASE 8-B)**
LOCATED IN SECTIONS 25, 26, 35, & 36
TOWNSHIP 9 SOUTH - RANGE 14 EAST
SLIDELL, ST. TAMMANY PARISH, LOUISIANA



VICINITY MAP
SCALE 1" = 2000'

OPEN/GREEN SPACE CALCULATIONS (PHASE 8-B)

OPEN/GREEN SPACE REQUIRED

40.594 ACRES

X 0.25 S.F. OPEN/GREEN SPACE

10,148 ACRES REQUIRED

(= 442,046 ± S.F.)

OPEN/GREEN SPACE PROVIDED

3,062 ACRES (PHASE 3A)

2,606 ACRES (PHASE 3B)

38.493 ACRES (PHASE 4A)

1,779 ACRES (PHASE 4B)

3,863 ACRES (PHASE 5)

21,751 ACRES (PHASE 6)

5,651 ACRES (PHASE 7)

6,297 ACRES (PHASE 8A)

1,140 ACRES (PHASE 8B)

93,655 ACRES TOTAL OPEN/GREEN SPACE REQUIRED

466,192 ACRES TOTAL PROVIDED

DEDICATION:

All street rights-of-way as shown hereon are not dedicated to the Parish of St. Tammany but are dedicated to the perpetual use of the Community Development District and is to be owned and maintained by the Community Development District. Easements shall be reserved for drainage and utilities as indicated hereon and no obstructions or improvements shall be allowed that would prevent them from being used for intended use. The developer or homeowners association is responsible for maintenance of all green spaces, drainage servitudes, street signs, and traffic control signs.

APPROVALS:

Chairman - Parish Planning Commission

Secretary - Parish Planning Commission

Director of Department of Engineering

Clerk of Court

Date Filed

File No.

Dedication - Developer
D.R. Horton, Inc. - Gulf Coast
7696 Vincent Road
Denham Springs, LA 70726

(Owner/Owner Representative)
D.R. Horton, Inc. - Gulf Coast
7696 Vincent Road
Denham Springs, LA 70726

Date

**FINAL PLANS
RECEIVED
10/16/2020 - 10:00 A.M.
DEVELOPMENT
ENGINEERING**

**ENGINEERING
REVIEW COPY**

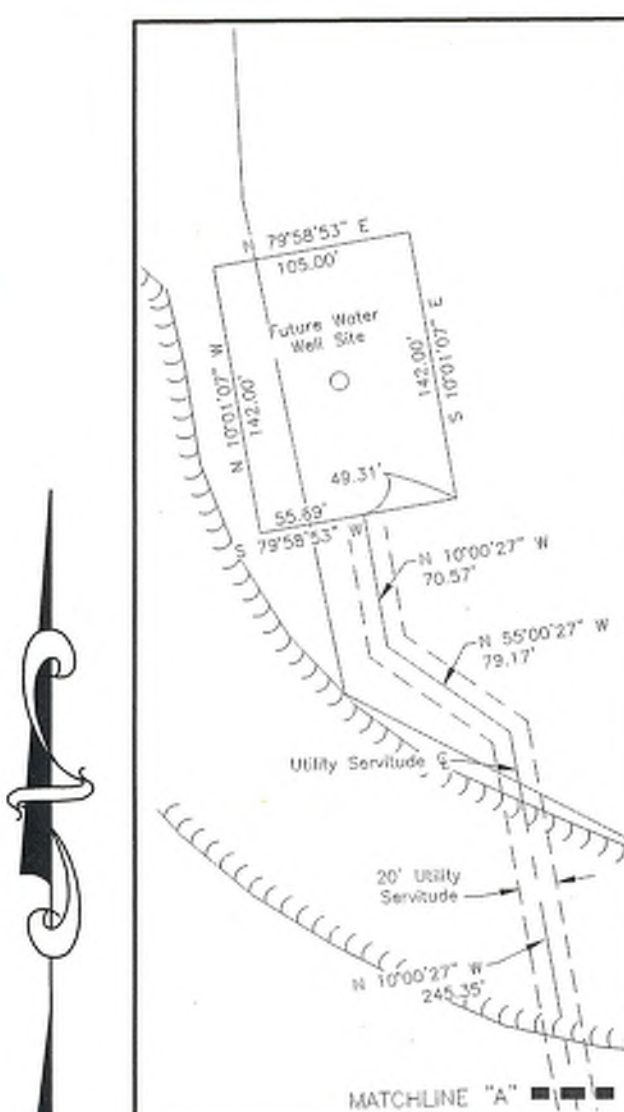
**SHEET 1 OF 2
(SEE SHEET 2 FOR GENERAL
NOTES, CURVE TABLE
& LEGAL DESCRIPTION)**

CERTIFICATION:
This is to certify that D.R. HORTON, INC. that this survey was done by me or under my direct supervision and control, that the survey was done on the ground and was done in accordance with the most recent Standards of Practice for Boundary Surveys as set forth by the State of Louisiana, Board of Registration for Professional Engineers and Land Surveyors and that the accuracy specification and positional tolerances are in accordance with Class "C" surveys indicated in the above standards. I also certify there are no visible encroachments across any property lines except as shown.

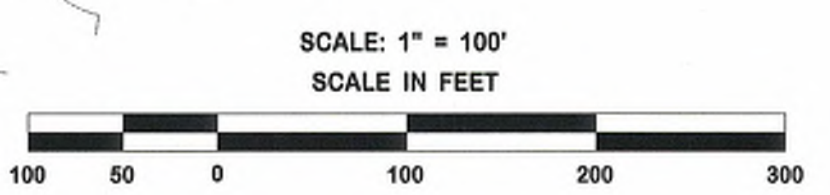
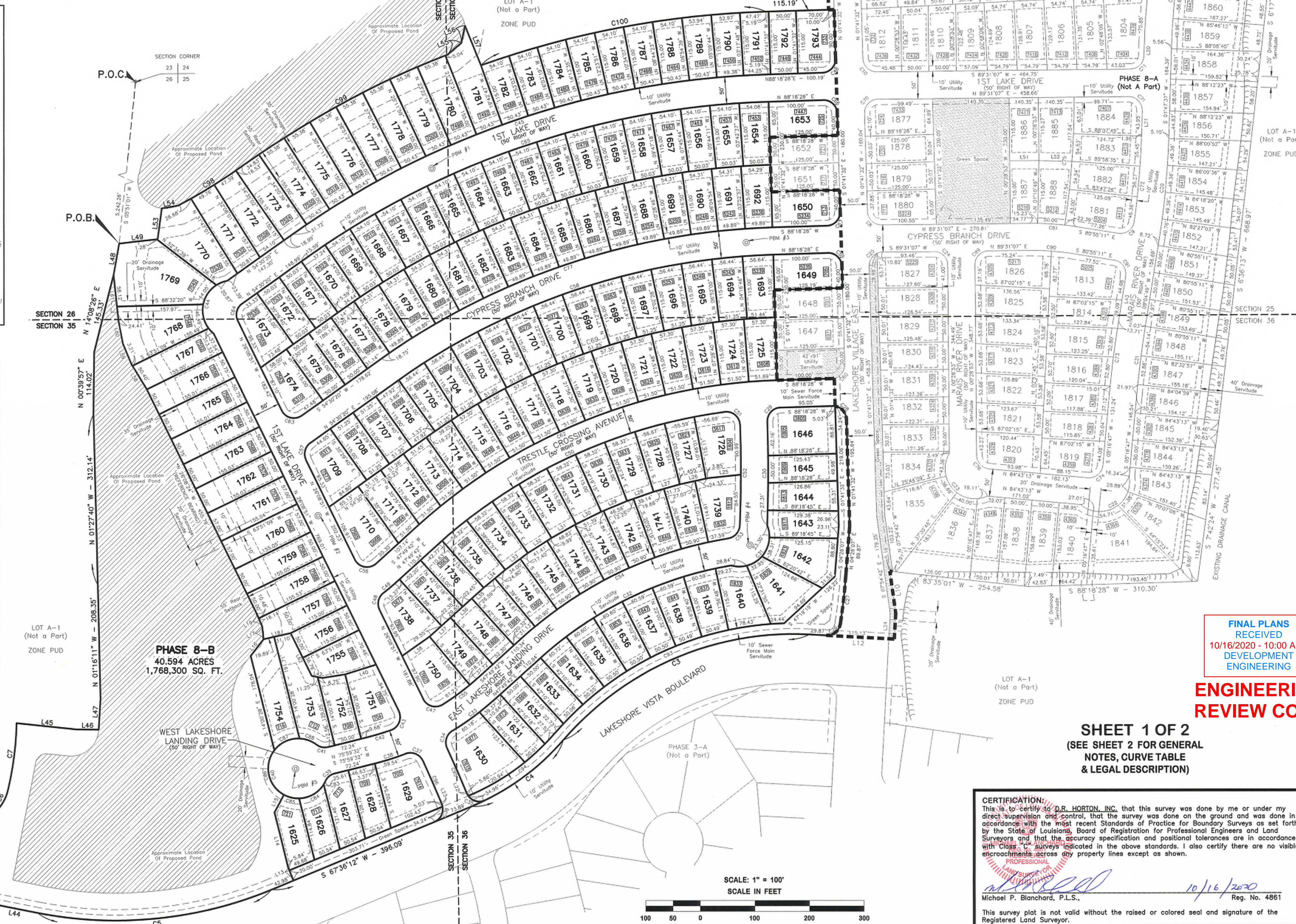
Michael P. Blanchard, P.L.S., Reg. No. 4861
This survey plot is not valid without the raised or colored seal and signature of the Registered Land Surveyor.

ACADIA
LAND SURVEYING, LLC
LOUISIANA • MISSISSIPPI • TEXAS
206 EAST 2ND STREET, THIBODAUX, LOUISIANA 70301
Phone • (985) 449-0094 Fax • (985) 449-0085
EMAIL • ACADIA@ACADIALANDSURVEYING.COM

DATE	REVISION	DESCRIPTION	INT.
DRAWN BY: CMH	CHECKED BY: APR	APPROVED BY: MPB	INT.
FIELD BOOK: 350	FIELD WORK COMPLETED ON: 180	ALS FILE: 2017/17-184a/17-184a3 P88 Find.dwg	



GENERAL INFORMATION	
CENTRAL	165
SEWER SYSTEM	NUMBER OF LOTS
LAKE PONTCHARTRAIN	PUD
ULTIMATE SURFACE WATER DISPOSAL	PRESENT ZONING
6,865± S.F.	ASPHALT
AVERAGE LOT SIZE	ROAD SURFACE
CENTRAL	50 FEET (LOCAL)
WATER SYSTEM	90 FEET (BOULEVARD)
1,528± FEET	RIGHT OF WAY WIDTHS
MAX BLOCK LENGTH	7,250± FEET
	STREET LENGTH
40.594± ACRES	26.005± ACRES
TOTAL AREA OF DEVELOPMENT	TOTAL AREA OF LOTS
OFF-SITE	
LOCATION OF WATER & SEWER FACILITIES	
FRONT: 20'	
REAR: 15'	
(55' Along Canal/Lake)	
SIDE: 4' (10' Along Right of Ways)	
BUILDING SETBACKS	

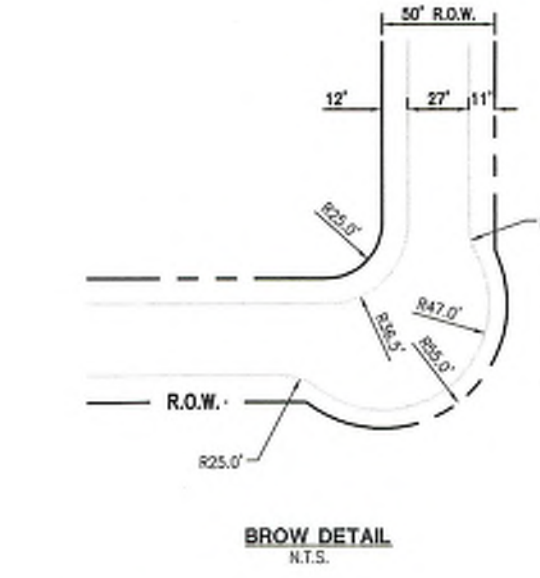
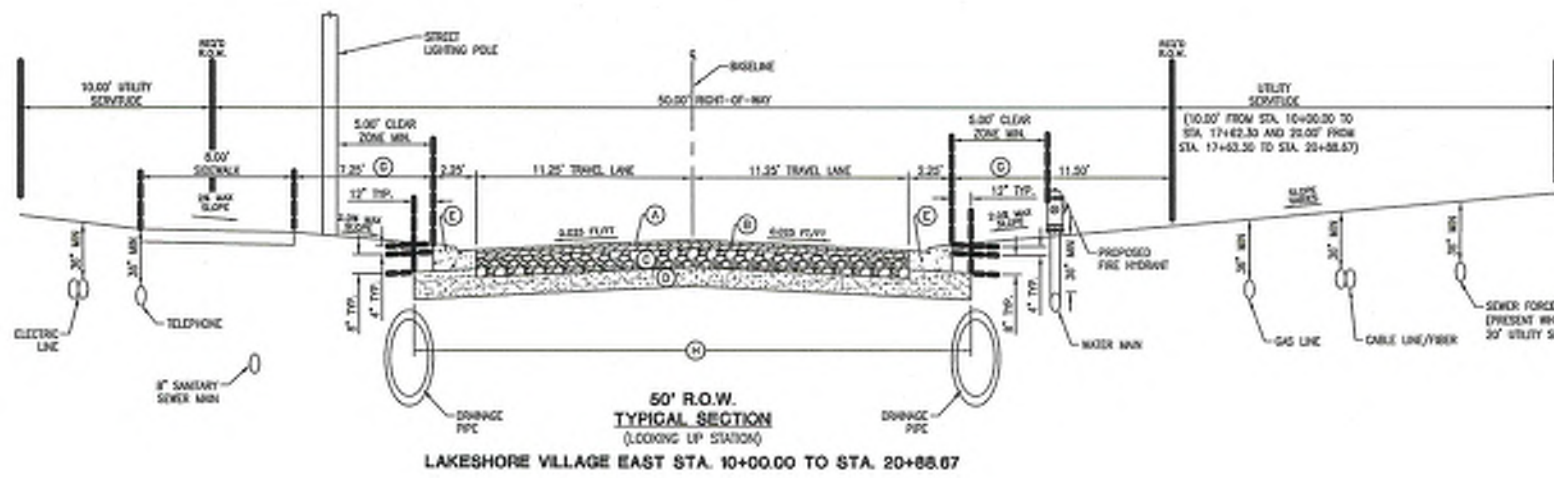


CURVE TABLE					
CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING & DISTANCE	
C1	30°48'55"	85.00'	45.72'	N 74°06'40" E - 45.17'	
C2	106°59'21"	65.00'	121.38'	N 11°42'05" W - 104.49'	
C3	52°29'03"	555.00'	508.39'	S 66°50'49" W - 490.80'	
C4	26°59'54"	445.00'	209.69'	S 54°06'15" W - 207.75'	
C5	33°38'19"	745.00'	437.39'	S 84°25'21" W - 431.14'	
C6	28°55'35"	75.00'	39.17'	N 26°12'18" E - 38.73'	
C7	12°13'49"	570.87'	121.86'	N 07°21'00" E - 121.63'	
C8	88°47'21"	25.00'	38.74'	N 46°05'12" E - 34.98'	
C9	91°04'12"	25.00'	39.74'	N 53°32'43" E - 35.68'	
C10	88°47'21"	25.00'	38.74'	N 46°05'12" W - 34.98'	
C11	87°43'30"	25.00'	38.28'	S 45°39'22" W - 34.65'	
C12	08°40'19"	1,225.00'	185.41'	S 06°07'47" W - 185.23'	
C13	93°25'23"	25.00'	40.76'	S 36°14'45" E - 36.40'	
C14	19°19'14"	1,490.00'	502.44'	S 87°22'57" E - 500.06'	
C15	79°24'51"	25.00'	34.65'	N 38°00'54" E - 31.94'	
C16	10°42'28"	475.00'	88.77'	S 83°10'02" W - 88.64'	
C17	19°22'03"	1,540.00'	520.56'	S 87°29'50" W - 518.08'	
C18	175°14'57"	55.00'	168.23'	S 33°07'29" E - 109.91'	
C19	08°27'06"	1,175.00'	173.32'	S 06°01'10" W - 173.16'	
C20	07°17'12"	1,525.00'	193.94'	S 05°26'13" W - 193.81'	
C21	03°48'02"	1,975.00'	131.01'	S 07°10'48" W - 130.98'	
C22	140°35'44"	55.00'	134.96'	S 60°04'44" W - 103.56'	
C23	144°58'00"	55.00'	139.16'	N 41°34'53" W - 104.90'	
C24	90°00'00"	25.00'	39.27'	N 45°28'53" W - 35.36'	
C25	91°12'39"	25.00'	39.80'	S 43°54'48" W - 35.73'	
C26	84°09'53"	25.00'	36.72'	S 51°00'24" E - 33.51'	
C27	04°44'27"	1,088.63'	90.08'	N 06°33'14" E - 90.05'	
C28	90°00'00"	25.00'	39.27'	N 46°41'32" W - 35.36'	
C29	90°20'52"	25.00'	39.42'	S 43°08'02" W - 35.46'	
C30	04°17'58"	2,525.00'	189.47'	S 00°06'35" W - 189.43'	
C31	128°33'11"	55.00'	123.40'	S 41°45'33" E - 99.10'	
C32	32°37'39"	690.00'	392.93'	S 64°10'02" W - 387.64'	
C33	10°51'52"	525.00'	99.55'	S 53°15'38" W - 99.40'	
C34	83°31'42"	25.00'	36.45'	S 16°55'43" W - 33.30'	
C35	93°33'52"	25.00'	40.83'	S 69°10'44" E - 36.44'	
C36	90°00'00"	25.00'	39.27'	N 22°36'12" E - 35.36'	
C37	86°06'05"	25.00'	37.57'	N 67°49'19" W - 34.13'	
C38	06°51'54"	525.00'	62.90'	S 72°33'35" W - 62.87'	
C39	51°19'04"	25.00'	22.39'	S 50°20'00" E - 21.65'	
C40	28°23'08"	55.00'	271.31'	N 14°00'28" W - 68.75'	
C41	51°19'04"	25.00'	22.39'	S 78°20'56" E - 21.65'	
C42	05°45'37"	475.00'	47.76'	N 73°06'44" E - 47.74'	
C43	96°22'46"	25.00'	42.05'	N 22°02'33" E - 37.27'	
C44	129°53'35"	55.00'	124.69'	N 14°10'45" E - 99.65'	
C45	33°48'08"	1,580.00'	932.14'	N 71°24'24" E - 918.68'	
C46	90°00'00"	25.00'	39.27'	N 43°18'28" E - 35.36'	
C47	96°22'46"	25.00'	42.05'	N 74°20'14" W - 37.27'	
C48	79°19'41"	25.00'	34.61'	N 13°31'00" E - 31.91'	
C49	05°21'08"	245.00'	22.89'	N 50°30'16" E - 22.88'	
C50	34°43'13"	970.00'	587.80'	N 65°11'18" E - 578.85'	
C51	95°30'32"	25.00'	41.67'	S 49°41'49" E - 37.01'	
C52	04°03'49"	2,475.00'	175.54'	S 00°05'21" W - 175.50'	
C53	78°37'00"	25.00'	34.30'	S 41°25'46" W - 31.67'	
C54	32°54'34"	740.00'	425.04'	S 64°16'59" W - 419.22'	
C55	09°38'41"	475.00'	79.96'	S 52°39'03" W - 79.86'	
C56	106°01'27"	25.00'	46.26'	N 79°09'34" W - 39.94'	
C57	80°39'11"	25.00'	35.19'	N 14°10'45" E - 32.36'	
C58	33°48'40"	1,250.00'	737.64'	N 71°24'40" E - 726.99'	
C59	90°00'00"	25.00'	39.27'	S 46°41'32" E - 35.36'	
C60	90°00'00"	25.00'	39.27'	S 43°18'28" W - 35.36'	
C61	09°33'42"	525.00'	87.61'	S 85°42'02" E - 87.51'	
C62	40°30'36"	1,020.00'	721.17'	S 68°03'49" W - 706.25'	
C63	99°20'49"	25.00'	43.35'	N 75°49'15" W - 38.12'	
C64	80°39'11"	25.00'	35.19'	N 14°10'45" E - 32.36'	
C65	33°48'34"	1,530.00'	902.83'	N 71°24'37" E - 889.79'	
C66	90°00'00"	25.00'	39.27'	S 46°41'32" E - 35.36'	
C67	90°00'00"	25.00'	39.27'	S 43°18'28" W - 35.36'	
C68	33°48'36"	1,415.00'	834.99'	N 71°24'36" E - 822.92'	
C69	33°48'43"	1,135.00'	669.80'	N 71°24'42" E - 660.12'	
C70	91°12'39"	25.00'	39.80'	S 43°54'48" E - 35.73'	
C71	92°16'30"	25.00'	40.26'	S 44°20'38" E - 36.05'	
C72	06°13'00"	1,475.00'	160.04'	S 04°54'07" W - 159.98'	
C73	03°48'02"	2,025.00'	134.32'	S 07°10'48" W - 134.30'	
C74	90°00'00"	25.00'	39.27'	S 50°16'47" W - 35.36'	
C75	08°57'34"	1,503.35'	235.08'	S 04°13'36" W - 234.84'	
C76	81°01'59"	25.00'	35.36'	N 40°59'52" E - 32.48'	
C77	33°48'38"	1,300.00'	767.14'	N 71°24'40" W - 756.06'	
C78	34°22'00"	55.00'	32.99'	S 45°01'16" W - 32.50'	
C79	52°35'58"	55.00'	50.49'	S 88°30'15" W - 48.74'	
C80	106°59'21"	55.00'	102.70'	N 11°42'05" W - 88.42'	
C81	68°04'23"	55.00'	65.35'	N 75°49'47" E - 61.57'	
C82	24°43'24"	55.00'	23.73'	S 57°46'19" E - 23.55'	
C83	07°30'49"	55.00'	7.21'	N 28°25'53" E - 7.21'	
C84	56°19'13"	55.00'	54.06'	N 60°20'54" E - 51.91'	

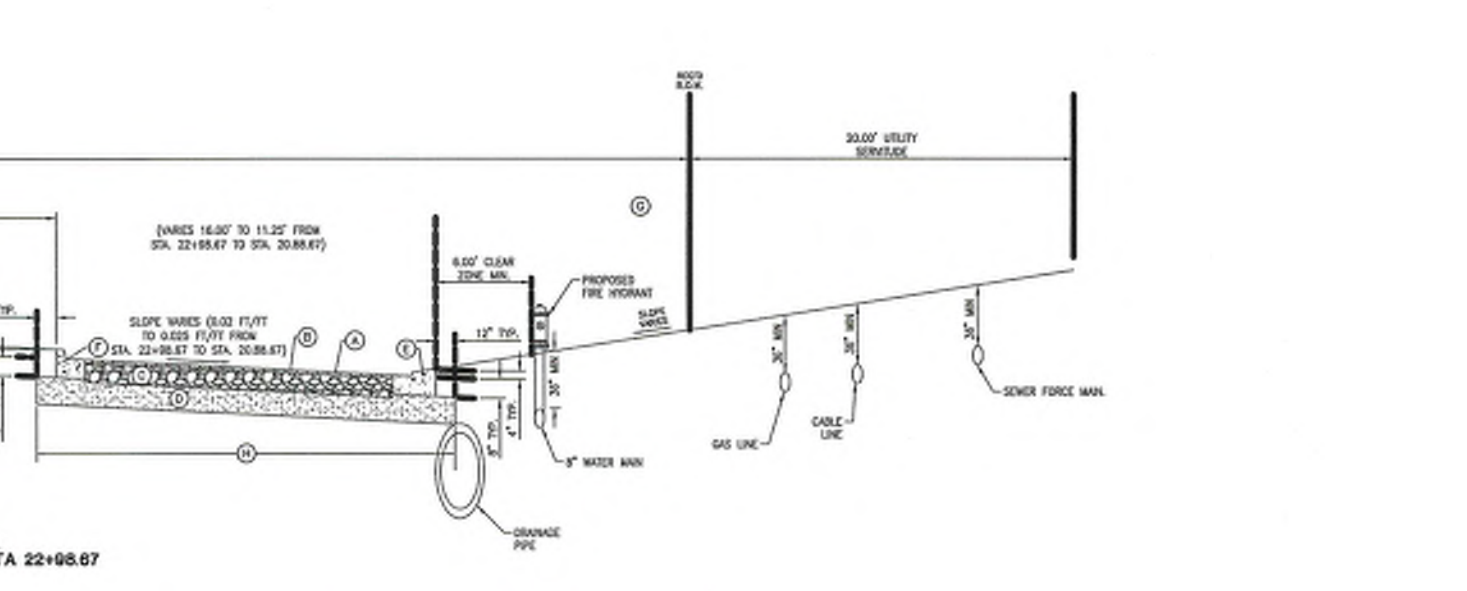
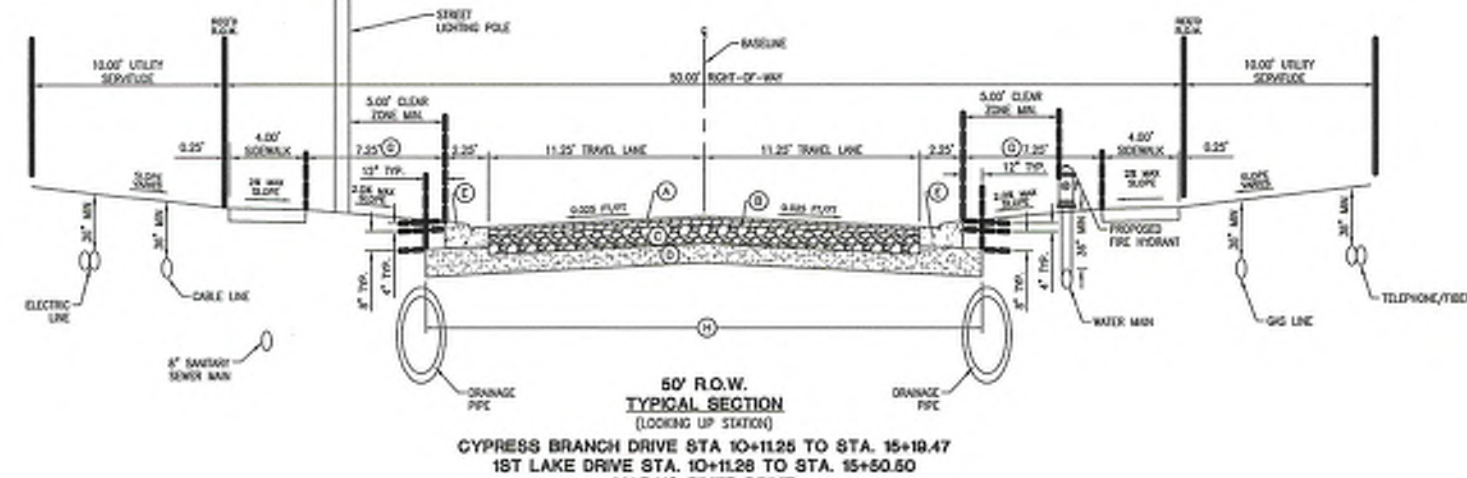
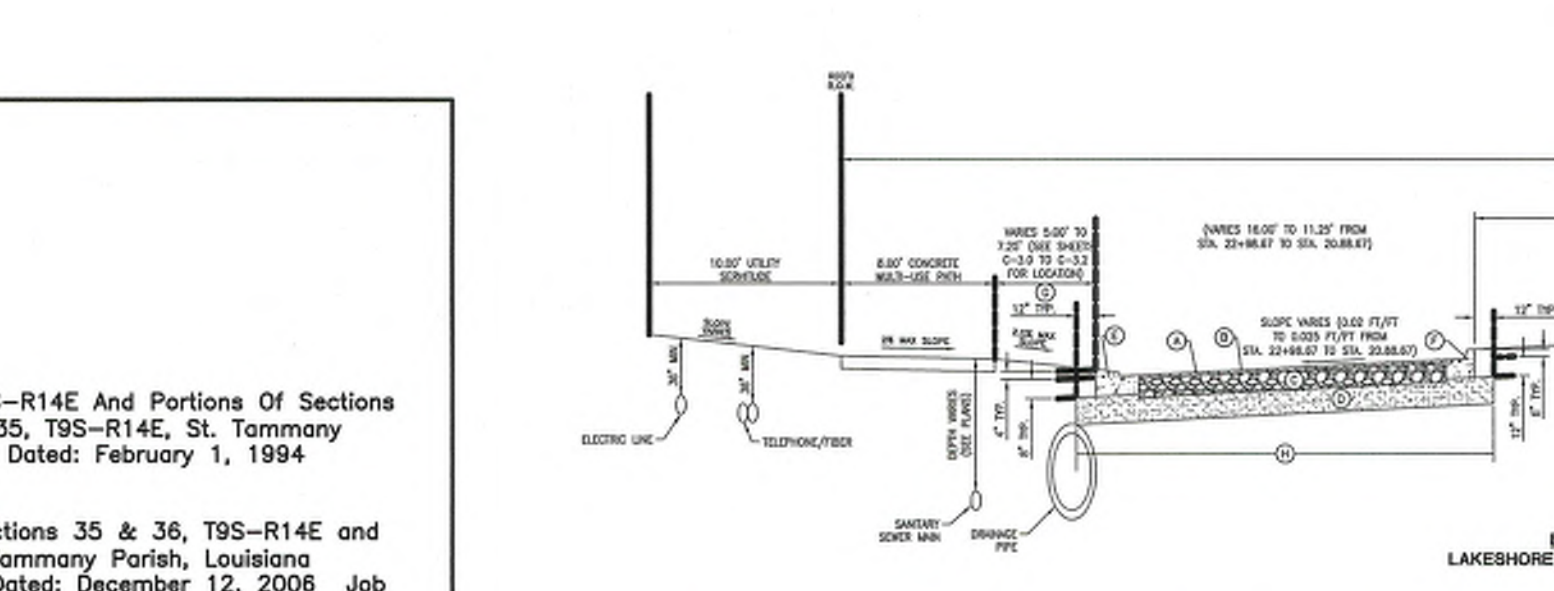
CURVE TABLE					
CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING & DISTANCE	
C85	30°02'02"	55.00'	55.00'	S 76°28'28" E - 28.50'	
C86	98°37'36"	55.00'	94.67'	S 12°08'39" E - 83.41'	
C87	55°12'47"	55.00'	53.00'	S 64°46'32" W - 50.97'	
C88	34°55'40"	55.00'	33.53'	N 70°09'14" W - 33.01'	
C89	90°00'00"	25.00'	39.27'	N 44°31'07" E - 35.36'	
C90	09°33'42"	475.00'	79.27'	S 85°42'02" E - 79.18'	
C91	90°00'00"	25.00'	39.27'	S 35°55'11" E - 35.36'	
C92	90°00'00"	25.00'	39.27'	N 46°41'32" W - 35.36'	
C93	47°41'57"	575.00'	476.69'	S 64°27'16" W - 464.99'	
C94	26°45'22"	425.00'	198.47'	S 53°58'59" W - 196.67'	
C95	02°26'20"	2,025.00'	86.19'	N 23°36'58" W - 86.19'	
C96	02°22'28"	1,975.00'	81.85'	S 23°35'02" E - 81.84'	
C97	90°00'00"	25.00'	39.27'	N 33°45'29" W - 35.36'	
C98	07°43'58"	1,040.00'	140.36'	N 58°22'19" E - 140.26'	
C99	14°07'08"	1,735.00'	427.54'	N 61°33'54" E - 426.46'	
C100	18°01'15"	1,695.00'	533.12'	N 79°17'51" E - 530.92'	

LINE TABLE			LINE TABLE		
LINE	BEARING	LENGTH	LINE	BEARING	LENGTH
L1	N 02°12'34" W	95.00'	L17	N 05°26'00" W	23.51'
L2	N 56°47'46" W	17.48'	L18	S 77°20'16" W	50.98'
L3	N 01°10'25" W	70.00'	L19	N 23°33'26" W	26.62'
L4	N 87°00'03" E	19.57'	L20	N 01°47'37" E	20.36'
L5	N 01°41'32" W	105.90'	L21	S 01°47'37" W	43.95'
L6	N 43°59'44" E	95.26'	L22	N 22°23'48" W	3.59'
L7	N 73°25'36" E	63.32'	L23	S 22°23'48" E	4.41'
L8	S 68°35'49" E	84.02'	L24	S 03°05'21" W	46.40'
L9	S 02°10'33" W	106.91'	L25	S 84°00'18" W	60.61'
L10	S 07°54'42" E	77.55'	L26	S 77°44'08" W	51.39'
L11	S 03°05'21" W	47.37'	L27	S 74°17'27" W	51.39'
L12	N 86°54'39" W	155.00'	L28	S 70°50'46" W	51.39'
L13	N 22°23'48" W	25.84'	L29	S 67°24'06" W	51.39'
L14	N 14°02'54" W	102.56'	L30	S 63°57'25" W	51.39'
L15	N 28°32'33" E	26.55'	L31	S 60°30'44" W	51.39'
L16	N 37°22'44" E	38.55'	L32	S 57°04'04" W	51.39'

(Typical Cross Sections & Details Provided By Duplantis Design Group, P.C.)



LEGEND:
 ① 2" LEVEL 1 (PER 20-226, 0.5 INCH NOMINAL WID)
 ② 2" LEVEL 1 (PER 20-226, 0.5 INCH NOMINAL WID)
 ③ 2" LEVEL 1 (PER 20-226, 0.5 INCH NOMINAL WID)
 ④ 12" CONCRETE STABILIZED BASE (SEE BY VOLUME) FOR COMPACTION PER AREA
 ⑤ 12" CONCRETE STABILIZED BASE (SEE BY VOLUME) FOR COMPACTION PER AREA
 ⑥ 12" CONCRETE STABILIZED BASE (SEE BY VOLUME) FOR COMPACTION PER AREA
 ⑦ 4" HIGH ADJUSTABLE CONCRETE CURB AND GUTTER WITH 12" GUTTER AND 10" WADABLE CURB
 ⑧ 4" HIGH ADJUSTABLE CONCRETE CURB AND GUTTER WITH 12" GUTTER AND 10" WADABLE CURB
 ⑨ HYDROSEED WITH STRAW OR SOIL DISTURBED AREAS IN ACCORDANCE WITH LANDSCAPE PLAN (WITHIN LIMITS OF CONSTRUCTION)
 ⑩ GENERAL EXCAVATION



- NOTES:**
- Zoning:** (PUD Planned Unit Development)
 - Building Setbacks:**
 Front = 20'
 Rear = 15' (55' along canal/lake)
 Side = 4' (10' along right of ways)
 - Reference Maps:**
 A) Survey Map Of Portions Of Sections 1, 2, 3 & 4, T10S-R14E And Portions Of Sections 25, 26, 27, 34 & 36, T9S-R14E, St. Tammany Parish, Louisiana, Prepared By: J.J. Krebs & Sons, Inc. Dated: February 1, 1994
 Map No. E2287 - St. Tammany Parish Clerk Of Court
 B) Final Subdivision Plan Phase 1A, Lakeshore Villages, Sections 35 & 36, T9S-R14E and Sections 1 & 2, T10S-R14E, District 13, Ward 9, St. Tammany Parish, Louisiana, Prepared By: Krebs, LeSalle, LeMieux Consultants, Inc. Dated: December 12, 2008
 Job No. 406-0039
 - Basis of Bearings:**
 Bearings are based on Reference Map "A"
 (*) Represents the Basis of Bearings. Distances shown are U.S. Survey feet.
 - Basis of Elevations:**
 The elevations shown hereon are based on the "North American Vertical Datum of 1988 - NAVD 88" (Geoid 12a) using GPS C4Net-RTN System accessed on September 14, 2016.
 - Flood Note:** The property hereon is located in Flood Zone "AH-EL 1" per FEMA LOMR dated August 25, 2005, for Map Community Panel Number: 2252050535D for St. Tammany Parish, Louisiana dated April 2, 1991. Base Flood Elevation is subject to change and should be verified with the local authority's Flood Plain Administrator before any design or construction.
 - Utilities:** The underground utilities shown have been located from visible utility features, and previous construction drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. The surveyor has not physically located the underground utilities, except for above ground visible utility features. No excavations were made during the progress of this survey to locate buried utilities/structures.
 - No attempt has been made by Acadia Land Surveying, LLC, to verify title, actual legal ownership, deed restrictions, servitudes, easements, alleys, right-of-ways or other burdens on the property, other than that furnished by the client or his representative. There is no representation that all applicable servitudes and restrictions are shown hereon. The surveyor has made no title search or public record search in compiling the data for this survey.
 - All wetlands have been permitted through MWN 0022-1717 dated May 7, 2004, which was most recently modified on February 3, 2011, and June 27, 2005.
 - The words "Certify," "Certifies" or "Certification" as used herein is understood to be an expression of professional opinion by the surveyor, based upon his best knowledge, information, and belief, as such, it does not constitute a guarantee nor a warranty, expressed or implied.
 - The surveyor has no knowledge or observed any evidence of the site used as a solid waste dump, sump or sanitary landfill.
 - Required green spaces are to be maintained by the Homeowner's Association.
 - Site P.B.M.'s (Temporary Bench Marks):**
 #1 - Set Square Mark On Road Curbing As Shown.
 Elevation = -1.04 feet; NAVD.88; N: 631,556.181 & E: 3,779,449.692
 #2 - Set Square Mark On Road Curbing As Shown.
 Elevation = -1.61 feet; NAVD.88; N: 630,920.425 & E: 3,779,240.664
 #3 - Set Square Mark On Road Curbing As Shown.
 Elevation = -0.52

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FINAL SUBDIVISION STAFF ANALYSIS REPORT
(As of November 2, 2020)

CASE NO.: 2020-2122-FP

SUBDIVISION NAME: Hunter's Haven, Phase 1

DEVELOPER: Favret Investments, LLC
68359 Taulla Drive
Covington, LA 70433

ENGINEER/SURVEYOR: Kelly McHugh & Associates, Inc.
845 Galvez Street
Mandeville, LA 70448

SECTION: 54
TOWNSHIP: 7 SOUTH
RANGE: 11 EAST

WARD: 4
PARISH COUNCIL DISTRICT: 4

TYPE OF DEVELOPMENT: ☐ URBAN (Residential lots less than 1 acre)
 ☐ SUBURBAN (Residential lots between 1-5 acres)
 ☐ RURAL (Residential Farm Tract lots 5 acres plus)
 ☒ OTHER (Multi family, commercial or industrial) (PUD)

GENERAL LOCATION: The property is located on the west side of Penn's Chapel Road, south of LA Highway 22, Mandeville, Louisiana

TOTAL ACRES IN DEVELOPMENT: 14.512 Acres

NUMBER OF LOTS: 32 AVERAGE LOT SIZE: Varies

SEWER AND WATER SYSTEMS: Central

ZONING: PUD

FLOOD ZONE DESIGNATION: "A13"

STAFF COMMENTARY:

Department of Planning and Development

Periodic inspections have been made by this office during construction and the final inspection was made on October 30, 2020. The inspection disclosed that all of the asphalt roads are constructed, but the road shoulders need to be brought to grade and the roadside ditches need final grading.

Staff recommends postponement of this submittal due to the following numerous and substantial uncompleted items that existed at the time of the final inspection and review. If the Planning Commission approves this submittal, it shall be subject to the following items being completed before the plats are signed.

General Comments:

1. Provide utility and drainage trench bedding test results.
2. Provide utility and drainage trench backfill test results.
3. Provide a recreation/amenity plan for the “Park Area”, including a schedule on when the amenities will be installed.
4. Blue reflectors need to be installed in the vicinity of all fire hydrants.
5. Bring roadside shoulders to grade, and vegetate roadside shoulders and ditches. (Typical)
6. Roadside ditches need to be regraded to provide positive flow. (Typical)
7. The back slope of the roadside ditches need to be re-established where eroding. (Typical)
8. The gates at the “Logger’s Trail” need to be locked to prevent vehicular traffic from utilizing this area.
9. Remove debris from the upstream and downstream side of the “Logger’s Trail” cross culverts.
10. The drainage servitude between Lots #15 & #16 needs to be cleared of debris and vegetated.
11. The sewer manhole in front of Lot #32 needs to be brought up to grade.
12. Add “All-Way” plaques at the intersection of the boulevard entrance and Loggers Circle, and update the As-built Signage Plan accordingly.
13. A section of the asphalt roadway has been saw cut and removed near Lot #1 and needs to be repaired.

Final Plat:

14. Provide a section corner tie for this phase of Hunter’s Haven.
15. The Final Plat needs to be stamped and signed by the surveyor of record for this development.
16. A restrictive covenant #15 needs to be added to the Final Plat stating, “The aforementioned restrictions shall be recited in each title or deed in addition to the required listing on the Final Subdivision Plat”.

17. The developer will need to contact the 911 Addressing Office to have road names and addresses verified and approved for this development.
18. The temporary construction access call-out needs to be removed from the Final Plat.

Drainage & Paving Plan:

19. Update the typical roadway sections to show “As-Built” conditions, and revise all applicable plan sheets.
20. Update the “Logger’s Trail” typical section and the Paving & Drainage Plan to show which sections of the trail are asphalt pavement and which sections are gravel.

Water & Sewer Plan:

21. Provide a water and sewer Letter of Capacity for this development from Tammany Utilities.
22. Provide Clear Water Tests for the new water lines installed in association with the development.
23. Provide a letter of acceptance and responsibility for the perpetual maintenance and operation of the water and sewer systems from Tammany Utilities.

Informational Items:

The developer is responsible for contacting the USPS Regional Growth Management Coordinator to verify the appropriate mail delivery location for this development.

Should the Planning Commission approve the request for final approval, a Warranty Obligation will be required for the infrastructure in the amount of 2,000 linear feet x \$22.00 per linear foot = \$44,000.00 for a period of two (2) years.

Mandatory Developmental Fees are required as follows:

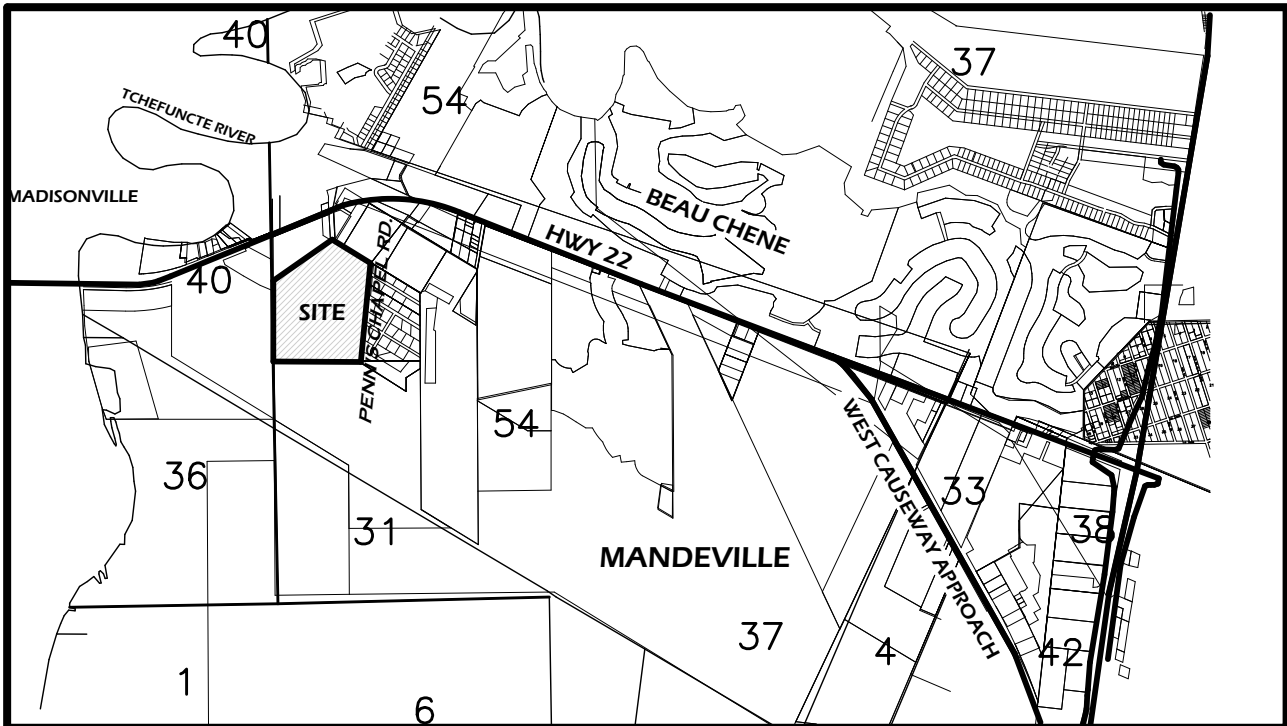
Road Impact Fee = \$1077.00 per lot x 32 lots = \$34,464.00

Drainage Impact Fee = \$1114.00 per lot x 32 lots = \$35,648.00

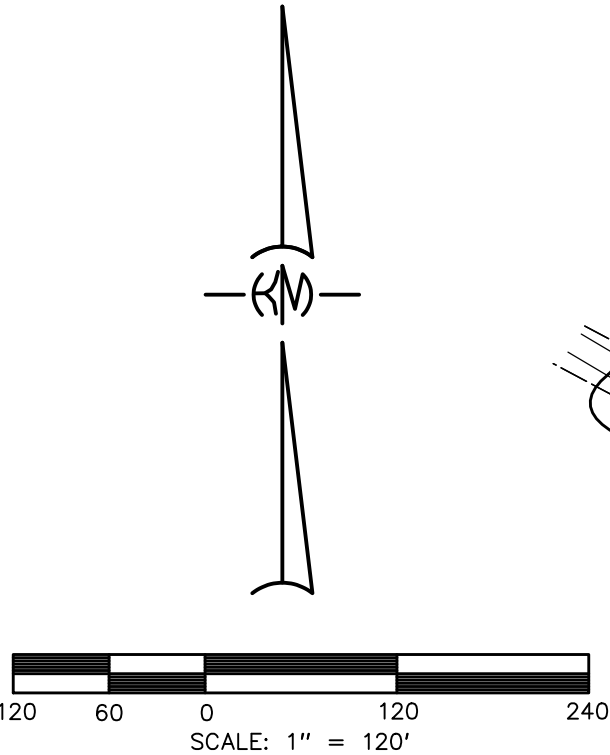
Fees are due before subdivision plats can be signed.

This subdivision is within the Urban Growth Boundary Line.

Revised drawings will not be accepted for review or placement in the packet prior to the November 10, 2020 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.



VICINITY MAP



HUNTER'S HAVEN SUBDIVISION, PHASE 1
(FORMERLY KNOWN AS HOULTONVILLE ESTATES)
SECTION 54, TOWNSHIP 7 SOUTH, RANGE 11 EAST,
GREENSBURG LAND DISTRICT, ST. TAMMANY PARISH, LOUISIANA

FINAL PLANS
RECEIVED
10/20/2020 - 10:00 A.M.
DEVELOPMENT
ENGINEERING

ENGINEERING
REVIEW COPY

Legal Description
A PARCEL OF LAND LOCATED IN SECTION 54, TOWNSHIP 7 SOUTH, RANGE 11 EAST, GREENSBURG LAND DISTRICT, ST. TAMMANY PARISH, LOUISIANA, MORE FULLY DESCRIBED AS FOLLOWS, TO-WIT:
COMMENCE AT A POINT HERETOFORE DESCRIBED AS BEING SOUTH 1,986.17 FEET, OF THE ONE-HALF (1/2) MILE POST NORTH OF THE FIFTH MILE POST BETWEEN TOWNSHIP 7 SOUTH, RANGE 10 EAST AND TOWNSHIP 7 SOUTH, RANGE 11 EAST; THENCE NORTH 37 DEGREES 39 MINUTES 07 SECONDS EAST A DISTANCE OF 1401.95 TO THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING measure
South 58°26' 52" East a distance of 1,247.95 feet to a point;
Thence South 05°30' 00" West a distance of 408.86 feet to a point;
Thence South 57°09' 05" West a distance of 91.19 feet to a point;
Thence South 46°24' 16" West a distance of 452.28 feet to a point;
Thence South 02°11' 19" West a distance of 53.38 feet to a point;
Thence South 67°02' 50" West a distance of 99.70 feet to a point;
Thence North 80°26' 37" West a distance of 582.87 feet to a point;
Thence North 89°23' 40" West a distance of 156.56 feet to a point;
Thence North 62°51' 38" West a distance of 714.09 feet to a point;
Thence North 37°39' 07" East a distance of 1,375.97 feet to the POINT OF BEGINNING, and containing 39.6190 acre(s) of land, more or less.

Point "A" is described as being South a distance of 1,986.17 feet, of the one-half (1/2) mile post North of the Fifth mile post between Township 7 South, Range 10 East and Township 7 South, Range 11 East;
Thence North 37°39' 07" East a distance of 1401.95 feet,
Thence South 58°26' 52" East a distance of 1,247.95 feet,
Thence North 84°30' 00" West a distance of 20.00'.

- MINIMUM RESTRICTIVE COVENANTS
1. EACH LOT WILL NOT HAVE MORE THAN ONE DWELLING.
 2. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED BEFORE THE SEWERAGE AND WATER SYSTEMS ARE INSTALLED AND OPERABLE OR OTHERWISE CONNECTED TO A COMMUNITY (CENTRAL) SEWERAGE AND/OR WATER SYSTEMS. ALL AS APPROVED BY THE ST. TAMMANY PARISH DEPARTMENT OF ENVIRONMENTAL SERVICES. WHENEVER A SUBDIVISION IS CREATED BY A COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY), NO PRIVATE WATER SUPPLY MAY BE DRILLED OR OTHERWISE CONSTRUCTED ON ANY LOT FOR THE PURPOSE OF SUPPLYING POTABLE WATER TO ANY BUILDING OR STRUCTURE, EXCEPT FOR THE PURPOSE OF BRIGADION, AND IN NO EVENT SHALL THERE BE A PHYSICAL CONNECTION BETWEEN ANY SUCH SOURCE AND ANY ELEMENT OF THE COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY).
 3. CONSTRUCTION OF ANY NATURE, INCLUDING FENCES, IS PROHIBITED IN PARISH DRAINAGE OR STREET EASEMENTS.
 4. NO NOXIOUS OR OFFENSIVE ACTIVITY SHALL BE CARRIED ON UPON ANY LOT, NOR SHALL ANYTHING BE DONE THERE ON WHICH MAY BE OR MAY BECOME AN ANNOYANCE OR NUISANCE TO THE NEIGHBORHOOD, PARTICULARLY THE USE OF LOTS AS DUMPS OR JUNK CAR STORAGE.
 5. THE FRONT OF EACH LOT IS SUBJECT TO A 10 FOOT EASEMENT ALONG ALL STREETS.
 6. NO LOT WILL BE FURTHER RESUBDIVIDED WITHOUT THE PRIOR APPROVAL OF ST. TAMMANY PARISH.
 7. EACH RESIDENCE OR ESTABLISHMENT WITHIN THE SUBDIVISION SHALL SUBSCRIBE AND BE SUBJECT TO THE WATER AND SEWERAGE SERVICES PROVIDED. DRIVEWAYS ON CORNER LOTS SHALL NOT BE LOCATED ANY CLOSER THAN SIXTY (60') FEET FROM THE CORNER OF SAID PROPERTY CLOSEST TO THE INTERSECTION AS MEASURED FROM THE CORNER OF THE PROPERTY WHERE THE SAID TWO STREET RIGHT-OF-WAYS INTERSECT.
 8. THE MINIMUM ELEVATION FOR THE LOWEST FLOOR OF ALL RESIDENCES SHALL BE 12" ABOVE THE CROWN OF THE STREET OR 12" ABOVE CURRENT BASE FLOOD ELEVATION WHERE THE BFE IS MORE THAN 12" BELOW THE STREET CROWN.
 9. NO BUILDING OR DRAINAGE FOR RESIDENTIAL OR BUSINESS PURPOSES SHALL EXCEED THIRTY-FIVE (35) FEET IN HEIGHT ABOVE THE NATURAL GRADE OF THE PROPERTY AT THE LOCATION OF THE STRUCTURE OR BASE FLOOD ELEVATION WHICH EVERY IS HIGHER.
 10. SETBACKS FOR ACCESSORY STRUCTURE, AND MAXIMUM SIZE, WHICH CAN BE 10' FROM SIDE & REAR PROPERTY LINES OR AS FOLLOWS FOR THE SMALLER LOTS, ACCESSORY BUILDINGS WITH A SIZE OF LESS THAN THE AREA OF THE LOT ON WHICH THE MAIN BUILDING IS SITUATED MAY BE LOCATED FIVE (5) FEET FROM THE NEAREST INTERIOR SIDE & REAR LOT LINES & 25' FROM THE FRONT PROPERTY LINE, PROVIDED THE BUILDING LENGTH DOES NOT EXCEED THIRTY (30) FEET. THE BUILDING HEIGHT DOES NOT EXCEED TWENTY (20) FEET AND THE REMAINING REQUIREMENTS OF THIS SUBDIVISION ARE MET. IN NO CASE CAN ACCESSORY BUILDINGS BE LESS THAN 5' FROM ANY NO CUT BUFFER.
 11. THE AMENITIES MAINTAINED BY THE HOME OWNERS ASSOCIATION.

DEDICATION:
ALL STREET RIGHTS-OF-WAY, DRAINAGE SERVICES AND STREET SIGNS AS SHOWN HEREON ARE HEREBY DEDICATED TO THE FEDERAL USE OF THE PUBLIC FOR PROPER USE. EASEMENTS SHALL BE RESERVED FOR DRAINAGE & UTILITIES AS INDICATED HEREON AND IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED.

OWNER DATE

THIS PLAN IS CERTIFIED TO CONFORM TO THE STATE OF LOUISIANA RS-33-5051 AND THE LAWS AND ORDINANCES OF ST. TAMMANY PARISH, AND CERTIFIED TO BE CORRECT AND IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED.

10-12-20

LOUISIANA REGISTERED LAND SURVEYOR NO. 4443
LOUISIANA REGISTERED CIVIL ENGINEER NO. 16940

14.512 ACRES	32	2000'	CENTRAL
AREA	NO. OF LOTS	LENGTH OF STREETS	SEWER SYSTEM
VARIABLES	LOT FRONTAGE	60' / 20'	CENTRAL
AVG. LOT SIZE	LOT DEPTH	STREET WIDTH	WATER SYSTEM
ASPHALT	VARIABLES	P.U.D.	700'
ROAD SURFACE	LOT DEPTH	ZONING	MAX. BLC. LENGTH

LAKE PONTCHARTRAIN
ULTIMATE SURFACE WATER DISPOSAL

FOR: APPROVAL:

FAVRET INVESTMENTS, LLC
OWNER

68359 TAULLA DR.
COVINGTON LA., 70433

ADDRESS

CHAIRMAN PARISH PLANNING COMMISSION

SECRETARY PARISH PLANNING COMMISSION

DIRECTOR OF ST. TAMMANY PARISH ENGINEERING

DATE FILED FILE NO.

CLERK OF COURT

- NOTES:
1. ALL LOT CORNERS MARKED WITH 1/2" IRON RODS
 2. THERE IS A 10' UTILITY SERVIDE ADJACENT TO AND ON THE OUTSIDE OF ALL R.O.W. LINES.
 3. [***] INDICATES MUNICIPAL ADDRESS
 4. NO STRUCTURES SHALL BE INSTALLED NOR IMPROVEMENTS MADE WITHIN THE GREENSPACE IDENTIFIED ON THIS PLAT. THE GREENSPACE SHALL REMAIN IN IT'S CURRENT CONDITION EXCEPT FOR THE REMOVAL OF DAMAGED OR DISEASED TREES AND UNDERBRUSHING
 5. THE INDIVIDUAL HOME BUILDERS ARE RESPONSIBLE FOR GRADING THE LOTS TO DRAIN IN ACCORDANCE WITH THE AS BUILT DRAINAGE PLAN.

FLOOD ZONE DATA

FLOOD ZONE: A13 (B.F.E. 11')
BASE FLOOD ELEV.: 11'
PANEL NO.: 225205 0220 C
REVISED: APRIL 2, 1991

BUILDING SETBACKS

FRONT: 15' MIN.
SIDE: 7.5' MIN.
REAR: 20' MIN.
LOT 1 REAR= 50' & 75'
LOTS 2-4 REAR= 50'
LOT 8 REAR= 7.5' & 20'
LOTS 15 & 16 SIDE= 15'
LOT 20 REAR= 10' & 75'
LOT 21 REAR= 75'

ALL AS SHOWN ON PLAT
SEE M.R.C. NO. 13 FOR ACCESSORY BUILDINGS

FINAL PLAN

HUNTER'S HAVEN SUBDIVISION, PHASE 1
(FORMERLY KNOWN AS HOULTONVILLE ESTATES)
SECTION 54, TOWNSHIP 7 SOUTH, RANGE 11 EAST,
GREENSBURG LAND DISTRICT, ST. TAMMANY PARISH, LA.

REVISIONS		DATE		KELLY J. McHUGH & ASSOC., INC.	
DATE		11-21-17	09-10-20	CIVIL ENGINEERS & LAND SURVEYORS	
02-02-18				845 GALVEZ ST.	MANDEVILLE, LA.
07-30-18				626-5611	
08-24-18				SCALE: 1" = 120'	DATE: 10/05/2017
03-28-19				DRAWN: ATB	JOB NO.: 16-020
10-23-19				CHECKED: KJM	DWG. NO.: 16-020-SUBD
11-07-19					

E:\SDA\A\plots\HUNTERS HAVEN (HOULTONVILLE ESTATES) FINAL PLAT

LINE TABLE

LINE	BEARING	DISTANCE
1	S 58°46' 40" W	180.79'
2	S 2°11' 19" W	53.38'
3	S 58°59' 47" W	153.93'
4	S 84°58' 26" W	297.96'
5	N 65°58' 23" W	349.24'
6	N 35°13' 14" W	193.94'
7	N 18°03' 57" W	205.84'
8	N 06°23' 32" E	94.77'
9	N 61°22' 21" E	112.07'
10	S 89°11' 09" E	54.34'
11	S 13°58' 38" W	116.00'
12	N 2°11' 19" E	53.38'
13	N 54°18' 42" E	47.59'
14	N 11°40' 08" E	116.00'
15	N 2°11' 19" E	53.38'
16	N 45°08' 35" E	74.00'
17	N 25°39' 40" W	132.98'
18	N 5°05' 12" E	116.00'
19	S 71°29' 30" E	145.18'
20	S 51°24' 34" E	37.45'
21	N 17°26' 12" E	7.42'
22	N 15°25' 35" W	3.44'

CURVE TABLE

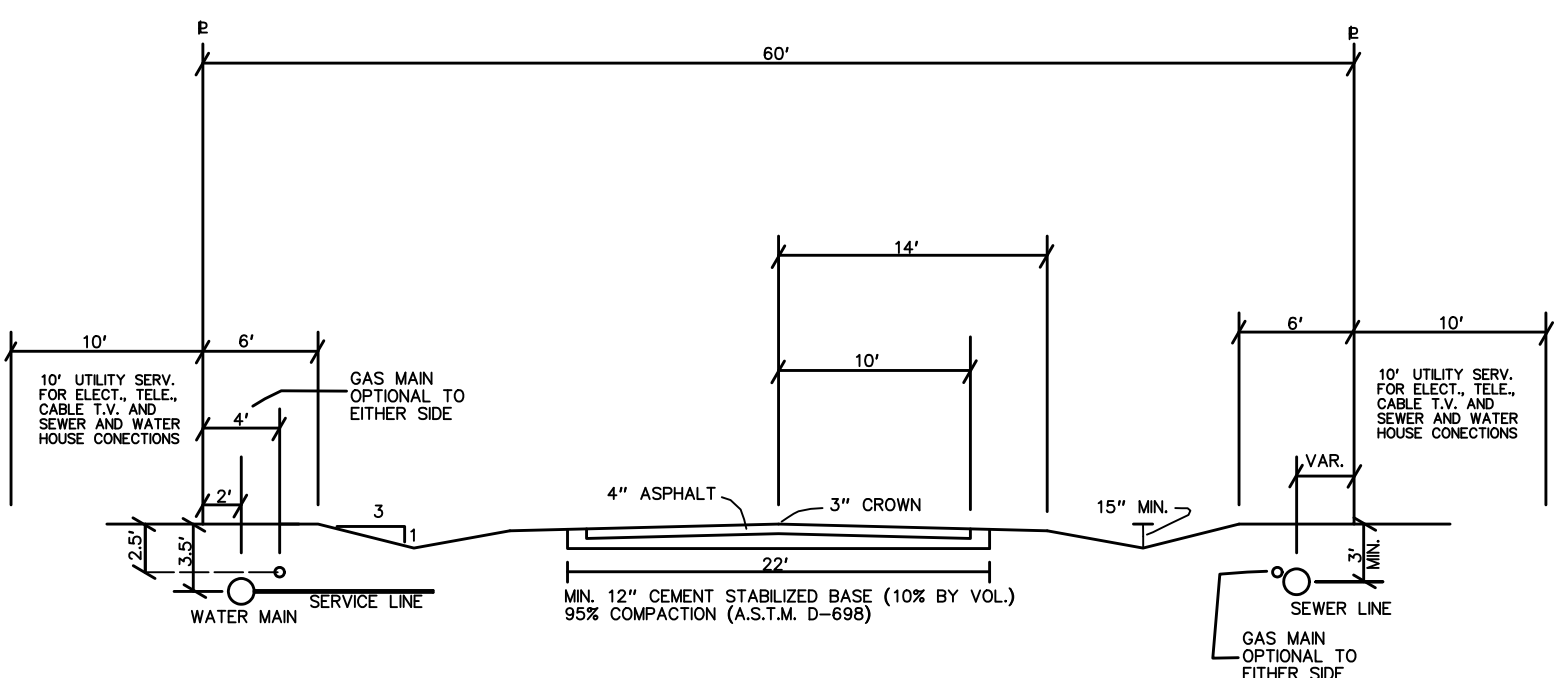
CURVE	RADIUS & ARC LENGTH	CHORD BEARING & DISTANCE
C1	R=200.00' L=176.94'	Ch=180.79' B=58°46' 40" W
C2	R=300.00' L=88.95'	Ch=224.30' B=2°11' 19" W
C3	R=1200.00' L=57.68'	Ch=242.41' B=58°59' 47" W
C4	R=600.00' L=23.22'	Ch=244.42' B=84°58' 26" W
C5	R=176.94' L=137.07'	Ch=254.32' B=35°13' 14" W
C6	R=600.00' L=7.42'	Ch=258.58' B=18°03' 57" W
C7	R=1200.00' L=142.95'	Ch=265.81' B=6°23' 32" E
C8	R=1200.00' L=112.07'	Ch=265.81' B=61°22' 21" E

AREA BREAKDOWN

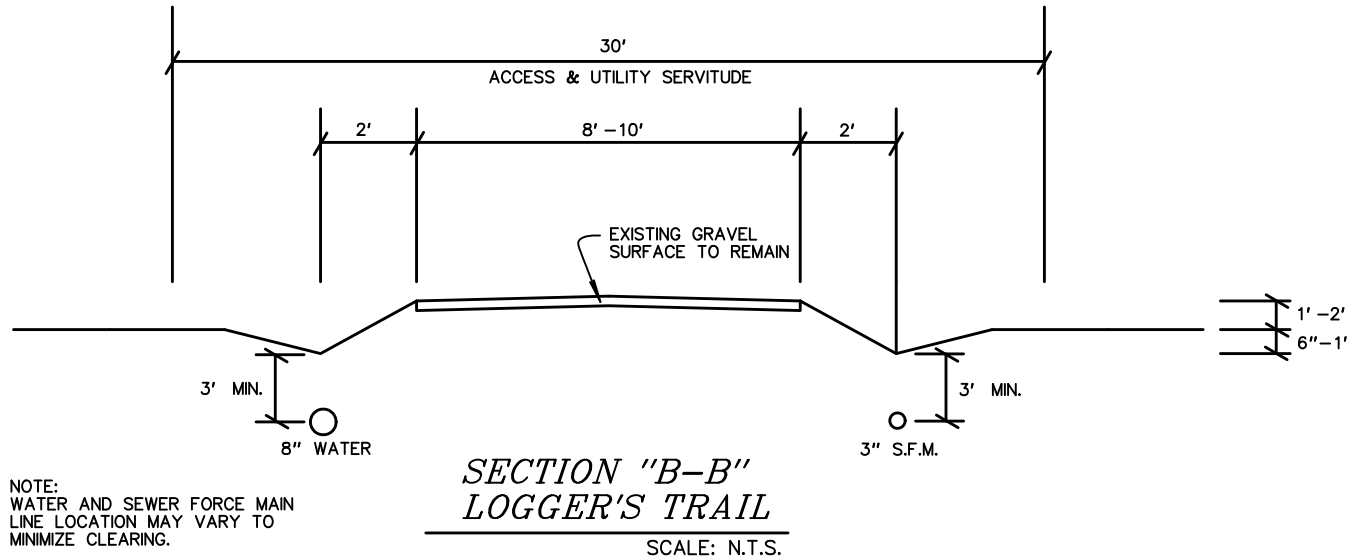
	ACRES	PERCENT
TOTAL AREA PHASE 1 =	39.618 ACRES	100%
TOTAL GREENSPACE PHASE 1 =	25.106 ACRES	63%
TOTAL DEVELOPED AREA PHASES 1 =	14.512 ACRES	37%

LEGEND
= GREENSPACE

BM- MAG NAIL SET IN C/L OF
THE PENNY CHAPEL RD ELEV. =
8.75, MSL, NAVD 88, GEOID 12A



TYPICAL STREET SECTION
SCALE: 1"=10'



SECTION "B-B"
LOGGER'S TRAIL
SCALE: N.T.S.

OLD BUSINESS

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ST. TAMMANY PARISH

MICHAEL B. COOPER
PARISH PRESIDENT

November 4, 2020

St. Tammany Parish Planning Commission
P.O. Box 628
Covington, LA 70434

OLD BUSINESS
November 10, 2020 Agenda

Re: SD10-08-005F - Colonial Nord du Lac Subdivision
Change in Ownership

Honorable Commissioners,

The attorney for the above captioned project, Mr. Jeff Schoen, has requested the ownership of Colonial Nord du Lac Subdivision to be changed from "Cypress Equities" to "Brookfield Properties Retail Properties, Inc."

This office has reviewed this request and has no objection. Therefore, it is recommended that the Planning Commission approve the name change of the developer/owner for Colonial Nord du Lac Subdivision.

Sincerely,

A handwritten signature in blue ink that reads "Christopher Tissue".

Christopher Tissue, P.E.
Lead Development Engineer

Attached: "Assistant Secretary Certificate" signed by Jack R. Kanter, Assistant Secretary, on September 20, 2019

xc: Honorable Michael Cooper
Honorable Marty Dean
Mr. Ross Liner, AICP, PTP, CFM
Mr. Jay B. Watson, P.E.
Ms. Helen Lambert
Mr. Earl J. Magner
Mr. Chris Tissue, P.E.
Mr. Theodore Reynolds, P.E.
Mr. Jeff Schoen, Jones Fussell, LLP

Assistant Secretary Certificate

I, the undersigned, being the duly appointed Assistant Secretary of Brookfield Properties Retail Inc. ("Brookfield Properties"), do hereby certify that:

1. Brookfield Properties is the property manager for the property commonly known as Nord Du Lac, located in Covington, Louisiana (the "Location"), which is owned by the legal entity, BSREP II Cypress Covington Owner LLC, a Delaware limited liability company.
2. Brookfield Properties has responsibility for managing various functions at this Location, including development activities at the Location.
3. The Location is owned and operated by those legal entities that are under the management and control of Brookfield Properties and its affiliates.

IN WITNESS WHEREOF, the undersigned, has executed and caused this Certificate to be delivered as of the 20th day of September, 2019.



Jack R. Kanter, Assistant Secretary

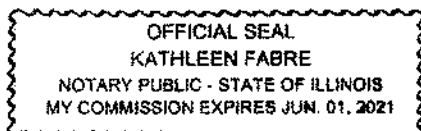
State of ILLINOIS }
County of COOK }

Personally appeared before me, a Notary Public in and for the County and State aforesaid, Jack R. Kanter who is personally known to me and the same person who executed the foregoing certificate.

Witness my hand and notarial seal, in the County and State aforesaid, this 20th day of September, 2019.



Kathleen Fabre, Notary Public





ST. TAMMANY PARISH

MICHAEL B. COOPER
PARISH PRESIDENT

November 4, 2020

St. Tammany Parish Planning Commission
P.O. Box 628
Covington, LA 70434

OLD BUSINESS
November 10, 2020 Agenda

Re: Case 2020-2055-MRP - 5 Acre Farms Subdivision
Part of Lots #14, #15 & #16 into #14-A, #14-B & #15-A
Waiver request

Honorable Commissioners,

The petitioner received approval for this resubdivision within 5 Acres Farms Subdivision with waivers at the October 13, 2020 Planning Commission meeting and has requested an additional waiver. The requested waiver is to allow the resubdivision plat to be recorded at the St. Tammany Parish Clerk of Court prior to the roadway being constructed. The St. Tammany Parish Code of Ordinances Section 125-189 (d) states: "Once the private drive has been constructed and all drainage improvements completed and approved by the department of engineering, then, and only then can the minor subdivision be recorded for public record in the clerk of court's office and the lots sold or donated".

Staff has reviewed the request and has no objection, so long as the petitioner agrees to construct the roadway prior to issuance of a building permit and adds a note to the plat stating as such.

Sincerely,

A handwritten signature in blue ink that reads "Christopher Tissue".

Christopher Tissue, P.E.
Lead Development Engineer

*Attached: Resubdivision Staff Analysis Report dated October 6, 2020
Survey from Land Surveying, LLC entitled "A Resubdivision of a Part of Lots #14, #15 & #16 into Lots #14-A, #14-B & #15-A" dated September 30, 2020 (Revised)*

xc: Honorable Michael Cooper
Honorable Rykert Toledano
Mr. Ross Liner, AICP, PTP, CFM
Mr. Jay B. Watson, P.E.
Ms. Helen Lambert
Mr. Earl J. Magner

Mr. Chris Tissue, P.E.
Mr. Theodore Reynolds, P.E.
Mr. Brian Perilloux
Ms. Carla V. Smith
Mr. Frances Marullo
Mr. Anthony Cyprus

RESUBDIVISION STAFF ANALYSIS REPORT

(As of October 6, 2020)

Meeting Date: October 13, 2020

CASE FILE NO: 2020-2055-MRP

NAME OF SUBDIVISION: 5 Acre Farms

LOTS BEING DIVIDED: Resubdivision of Lots 14, 15 & Part of 16 into lots 14-A, 14-B & 15-A,

SECTION: 36

WARD: 4

TOWNSHIP: 7 South

PARISH COUNCIL DISTRICT: 5

RANGE: 11 East

PROPERTY LOCATION: The parcels are located at the end of Ridgewood Drive and along the west side of Hidden Acres Road (future), Mandeville Louisiana.

ZONING: A-2 Suburban Zoning District

PROPERTY OWNER: Brian L. Perilloux, Carla V. Smith, Frances Marullo, Anthony J. Cyprus

STAFF COMMENTARY:

The owner is requesting to resubdivide three (3) lot into two (3) residential buildable sites.

The reason for the public hearing requirement is that the proposal involves:

- Lots 14-A, 14-B & 15-A do not meet the required minimum lot width under the A-2 Suburban Zoning District, requiring a waiver of the requirement from the Planning Commission.
- Parcels 14-A & 15-A are located within 5 Acre Farms Subdivision and are proposed to be accessed from a 30 foot right of way, requiring a waiver from the Planning Commission.
- As per St. Tammany Parish Communication District, the 30 foot private right of way to Parcels 14-B & 15-A shall be named. The proposed name of the access shall be granted approval by the Planning Commission. As per St. Tammany Parish Communication District, the proposed name "HIDDEN ACRES ROAD" has been submitted and approved by St. Tammany Parish Communication District.
- Hidden Acres Road is only 30 foot wide, requiring a waiver from the Planning Commission.

The request shall be subject to the below comment:

1. Approval of the proposed private access road name: "HIDDEN ACRES ROAD".
2. Provide revised survey showing turn around at the end of Hidden Acres Road.
3. Hidden Acres Road is subject to Section 125-189 - Minimum construction standards for a private drive (listed below), by the Planning Commission:
 - a. Perpetual servitude of access with a minimum width of 35 feet.
 - b. Driving surface of 20 feet in width with two-foot shoulders on each side of the drive and 5½ feet on each side of the shoulder devoted to ditching/drainage and or utilities.
 - c. Drive shall be constructed with suitable compacted subbase materials and overlaid with an aggregate material (i.e., shell, gravel, limestone, three-course treatment, asphalt, concrete, etc.) that is acceptable to the Department of Engineering.

- d. Ditch or ditches shall be constructed on either one or both sides of a drive in accordance to standard practices adopted by the department of engineering in order to provide adequate drainage.
- e. Plans for the construction of the private drive and drainage submitted to the Department of Engineering for review and approval prior to the initiation of work.
- f. Final inspection of the work performed by the Department of Engineering, after the private drive has been constructed and drainage improvements made.
- g. Once the private drive has been constructed and all drainage improvements completed and approved by the Department of Engineering, then, and only then can the minor subdivision be recorded for public record in the clerk of court's office and the lots sold or donated.

In order to approve the waivers a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 – Subdivision.



Reference:
 1.) A Survey Map by Alfred Anderson, Dated
 10-16-93, for Dawn and Anthony Cyprus Jr.
 (Based Bearings)
 2.) A Survey Map by C. R. Schultz, Dated
 5-8-57, of Lots 14 through 20
 3.) A Survey Map by this Firm, Dated
 6-6-2016, #17590

Reference calls not shown

The P.O.B. is reported to be N89°50'W-1308.3';
 S00°51'47"W-119.56' from the Section Corner
 common to Sections 30, 25, 36 & 31, T-7-S,
 R-11-E, St. Tammany Parish, Louisiana

A Resubdivision of a Part of Lots 14, 15 & 16,
 into Lots 14-A, 14-B & 15-A, Mandeville
 5 Acre Farms S/D, in Section 36, T-7-S,
 R-11-E, St. Tammany Parish, Louisiana

FINAL APPROVAL

CHAIRMAN OF PLANNING COMM.

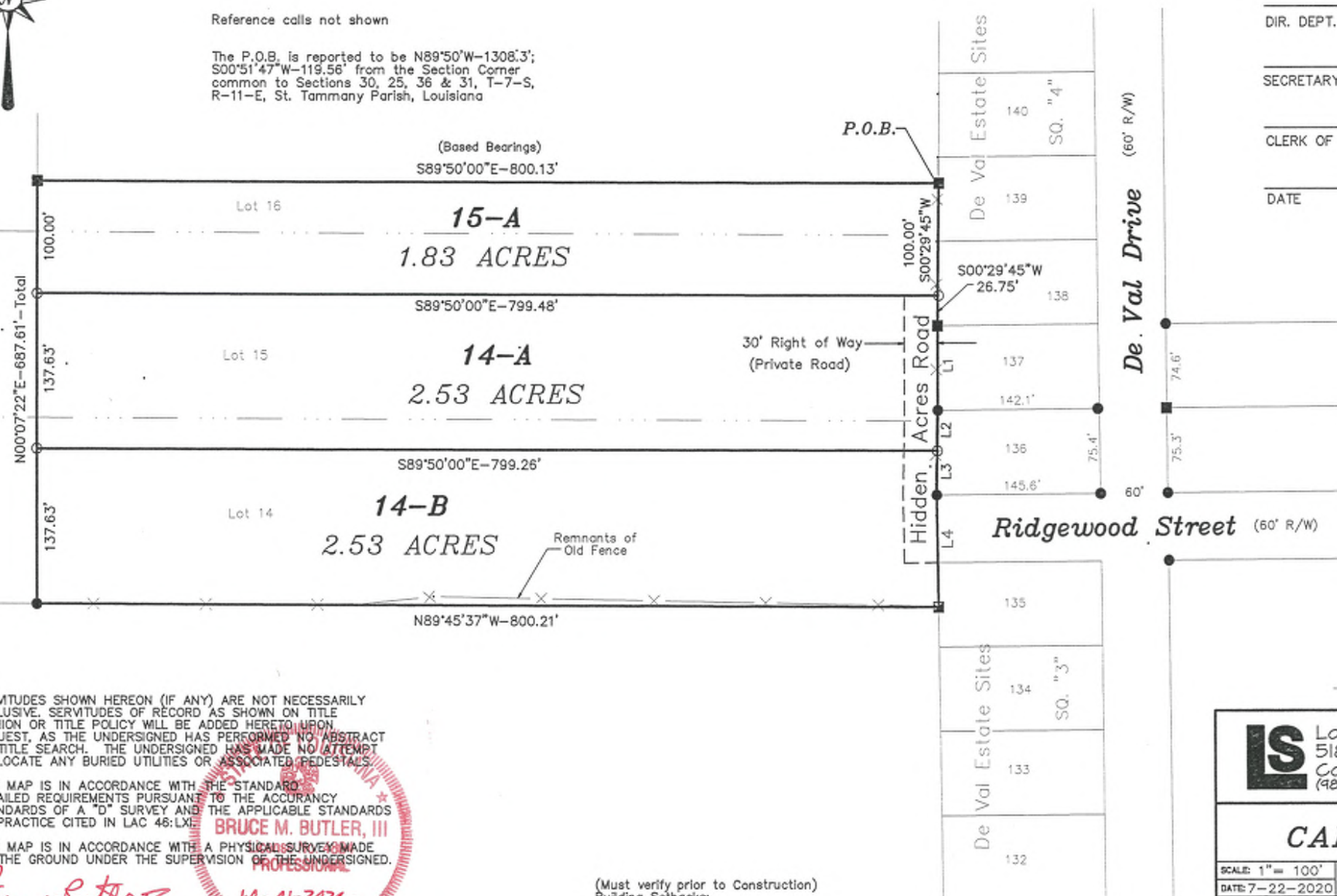
DIR. DEPT. OF ENGINEERING

SECRETARY PLANNING COMM.

CLERK OF COURT

DATE

FILE NO.



Line Table:

L1= S00°12'00"E-74.94'
 L2= S00°51'48"W-35.95'
 L3= S00°51'48"W-39.12'
 L4= S00°42'58"E-99.55'

LEGEND:

● = Fnd. 1/2" Iron Rod
 ■ = Fnd. 1 1/4" Iron Pipe
 ■ = Fnd. 1/2" Iron Pipe
 ○ = Set 1/2" Iron Rod
 —X— = Fence

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY
 EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE
 OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON
 REQUEST. AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT
 OR TITLE SEARCH. THE UNDERSIGNED HAS MADE NO ATTEMPT
 TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS

THIS MAP IS IN ACCORDANCE WITH THE STANDARD
 DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY
 STANDARDS OF A "D" SURVEY AND THE APPLICABLE STANDARDS
 OF PRACTICE CITED IN LAC 48:LXI

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE
 ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED.

BRUCE M. BUTLER, III
 L.A. PROFESSIONAL LAND SURVEYOR
 LIC. NO. 4894

(Must verify prior to Construction)
 Building Setbacks:
 Front:
 Side:
 Rear:
 Side Street:

LS Land Surveying, LLC
 518 N. Columbia Street
 Covington, LA 70433
 (985) 892-6277 office (985) 898-0355 fax

MAP PREPARED FOR

CARLA V. SMITH

SCALE: 1" = 100'

DATE: 7-22-2020

DRAWN BY: JWG

SECTION 36, T-7-S, R-11-E,
 ST. TAMMANY PARISH, LOUISIANA

Revised: 9-30-2020 (correct st. name)

DRAWN NUMBER

19931



ST. TAMMANY PARISH

MICHAEL B. COOPER
PARISH PRESIDENT

November 4, 2020

St. Tammany Parish Planning Commission
P.O. Box 628
Covington, LA 70434

OLD BUSINESS
November 10, 2020 Agenda


Re: Enter the Parish R.O.W. Resolution No. 19-029 - 5th Street between Adams and Jefferson
Avenue; Tammany Hills Subdivision
Amendment to the Warranty Obligation amount

Honorable Commissioners,

The above captioned project received approval at the April 9, 2019 Planning Commission meeting. At the time of approval, our office did not have the approximate length of the roadway to establish the Warranty Obligation. The Warranty Obligation was calculated in the amount of \$17,800.00 (808 linear feet x \$22.00 per linear foot = \$17,776.00 (rounded to the nearest hundred)) for a period of (2) two years. The actual length of the roadway was 930 linear feet, which results in the calculated amount of \$20,460.00 (930 linear feet x \$22.00 per linear foot = \$20,460.00).

The Warranty Obligation needs to be amended from \$17,800.00 to \$20,460.00 to cover the full length of the roadway for a period of two (2) years. Therefore, this office recommends approval of the amended Warranty Obligation amount by the Planning Commission.

Sincerely,


Christopher Tissue, P.E.
Lead Development Engineer

Attached: Enter the Parish R.O.W. Resolution No. 19-029

Marked up As-built Drainage and Grading Plan dated August 11, 2020 from Kyle Associates, LLC

xc: Honorable Michael Cooper
Honorable Marty Dean
Mr. Ross Liner, AICP, PTP, CFM
Mr. Jay B. Watson, P.E.
Ms. Helen Lambert

Mr. Earl J. Magner
Mr. Chris Tissue, P.E.
Mr. Theodore Reynolds, P.E.
Mr. Paul Mayronne, Jones Fussell, LLP
Mr. Eddie Powell, P.E., P.L.S., Kyle Associates, LLC

ST. TAMMANY PARISH PLANNING COMMISSION

RESOLUTION

RESOLUTION PLANNING COMMISSION SERIES NO. 19-029

TITLE: A RESOLUTION AUTHORIZING ADVANCE MORTGAGE COMPANY, LLC, TO ENTER PARISH RIGHT-OF-WAY.

SUB-TITLE: A RESOLUTION GRANTING PERMISSION TO ADVANCE MORTGAGE COMPANY, LLC; C/O MR. BRUCE WAINER, MANAGER; 321 VETERANS BOULEVARD; SUITE 201, METAIRIE, LOUISIANA 70005; TO ENTER PARISH RIGHT-OF-WAY, SPECIFICALLY THE UNOPENED PORTION OF 5TH STREET BETWEEN ADAMS AND JEFFERSON AVENUES AND A PORTION OF ADAMS AVENUE, TAMMANY HILLS SUBDIVISION, FOR THE PURPOSE OF GAINING ACCESS TO PROPERTY. WARD 3, DISTRICT 2.

NOW, THEREFORE, BE IT RESOLVED, by the St. Tammany Parish Planning Commission that it hereby grants permission to the aforementioned petitioner to enter Parish right-of-way for the aforementioned purposes, subject to the following conditions:

1. That the improvements that will be undertaken will be at the sole expense of the petitioner.
2. That the petitioner agrees to accept full responsibility, financial and all other, for the damage and /or relocation of utilities currently located within Parish right-of-way.
3. That the petitioner shall submit plans prepared by a licensed engineer to the Department of Engineering for review and approval. The drainage and road design with soil borings must meet the ASPHALT road standards as established under the "Subdivision Regulatory Ordinance." The Parish's engineer may require additional off-site work to minimize the potential impact of the proposed construction with special emphasis regarding drainage. The plans must include sewerage and water systems, where applicable. Upon approval of plans and specifications by the Director of Engineering, the petitioner must notify the Department of Engineering prior to the commencement of any activity.
4. Any developer/applicant proposing to develop lots within a "dormant subdivision" or "subdivision of record" must submit for review and approval of the Parish Engineer a drainage plan that meets the detention requirements of St. Tammany Parish Code of Ordinances, Part II "Land Development Code," Chapter 125 "Subdivision Regulations,". Where applicable, such developer/applicant shall be entitled to claim a credit toward drainage impact fees due the Parish under the authority of the St. Tammany Parish Code of Ordinances, Chapter 2, Article XVII "Parish Fees," Division 3 "Development," Subdivision V "Mandatory Impact Fees" and, where applicable, shall be entitled to claim credit/reimbursement from any drainage impact fees that have been paid into the "Drainage Impact Fee Escrow Account" by the owner or owners of lots that are not owned by the developer/applicant but would be receiving the benefits of said storage requirements.
5. That should the petitioner commence work thereon, petitioner by such act acquiesces and acknowledges thereby that he will hold this Parish, its officials, agents, servants, and employees free and harmless from any liability or responsibility whatsoever in connection with the construction of the project. Petitioner will provide copy of Liability Insurance Policy, including the naming of the Parish as an insured party. The insurance will remain in effect until the Parish takes over the maintenance.

6. That nothing herein shall be construed as a revocation of the dedication of the aforementioned right of way.
7. That no maintenance nor financial nor material nor assistance shall be provided by the Parish for the project nor the maintenance thereof, except for the inspection of the plans and specifications by the Department of Engineering to insure the construction complies with Parish specifications.
8. That the petitioner post a Performance Obligation in the amount of \$32,400 for a period of six (6) months.
9. That the petitioner agree to post a Warranty Obligation upon completion of the project in the amount of \$17,800 for a period of two (2) years.
10. That the petitioner and any assignees submit a Hold Harmless Agreement in connection with the construction of the project and utilization of the access by (an) individual (s) until the time that the access is upgraded to Parish standards and accepted into the Parish's Selective Road Maintenance System.
11. That the petitioner and any assignees agrees to provide maintenance for this access at his/her own expense until such time as the Parish agrees to accept this portion of right of way into the Parish's Selective Road Maintenance System.
12. Petitioner acknowledges and accepts full responsibility for the installation and maintenance of drainage, specifically from the on-site mechanical sewerage treatment plants, on the public right of way he/she seeks permission to enter, if applicable.
13. That the petitioner agrees to provide the Parish with the necessary drainage and utility servitude along the roadways being constructed.
14. That the petitioner shall submit a copy of the current owner's deed.
15. That the petitioner shall produce proof that the right of way is dedicated to the Parish.
16. That the petitioner shall produce from the U.S. Army Corps of Engineers either: a written statement that the road is not in a wetland area, within the meaning of Section 404 of the Federal "Clean Water Act" or a Section 404 Permit under the Federal "Clean Water Act" authorizing the opening of the portion of the right of way in question.
17. That the petitioner shall submit a site plan of Petitioner's property and the unopened right of way.
18. Permission is valid for the issuance of building permits according to current zoning only, issued to AS INDICATED ABOVE, WARD 3 DISTRICT 2.
19. That the petitioner submit as-built drawings certifying that road is constructed within the Parish right of way.
20. That the petitioner submit all documentation required within ONE (1) year from date of adoption, additionally petitioner has two (2) years to complete all work on this project, if not completed within two (2) years, approval of this work will be voided and petitioner will be required to reapply for permission.

THIS RESOLUTION HAVING BEEN SUBMITTED TO A VOTE, THE VOTE THEREON WAS AS FOLLOWS:

MOVED FOR ADOPTION BY MR. LOY LORREN, SECONDED BY MR. BARRY BAGERT; A VOTE THEREON RESULTED IN THE FOLLOWING:

YEA: MS. MARTHA CAUZUBON, MR. LOY LORREN, MRS. CAROLYN PARKER,
MR. TODD RICHARD, MR. RAY BERNIE WILLIE, MR. JAMES DAVIS,
MR. BARRY BAGERT, MR. PATRICK FITZMORRIS, MR. DAVID DOHERTY, JR.,
MR. RONALD RANDOLPH

NAY: N/A

ABSTAIN: N/A

ABSENT: MR. KIRK DRUMM

AND THIS RESOLUTION WAS DECLARED DULY ADOPTED ON THE 9TH DAY OF APRIL, 2019 AT A REGULAR MEETING OF THE PLANNING COMMISSION, A QUORUM OF THE MEMBERS BEING PRESENT.



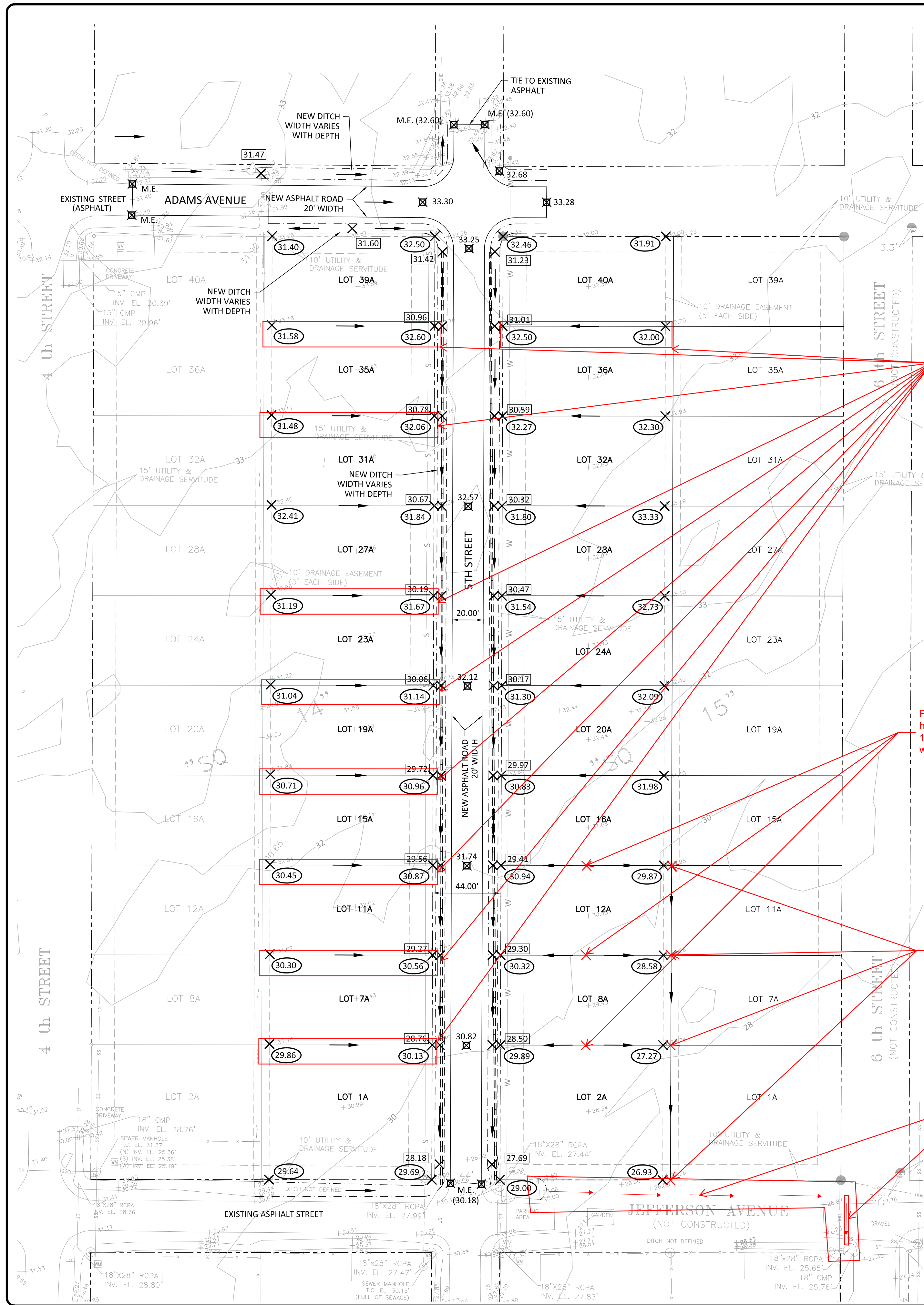
JAMES "JIMMIE" DAVIS, III, CHAIRMAN
ST. TAMMANY PARISH PLANNING COMMISSION

ATTEST:



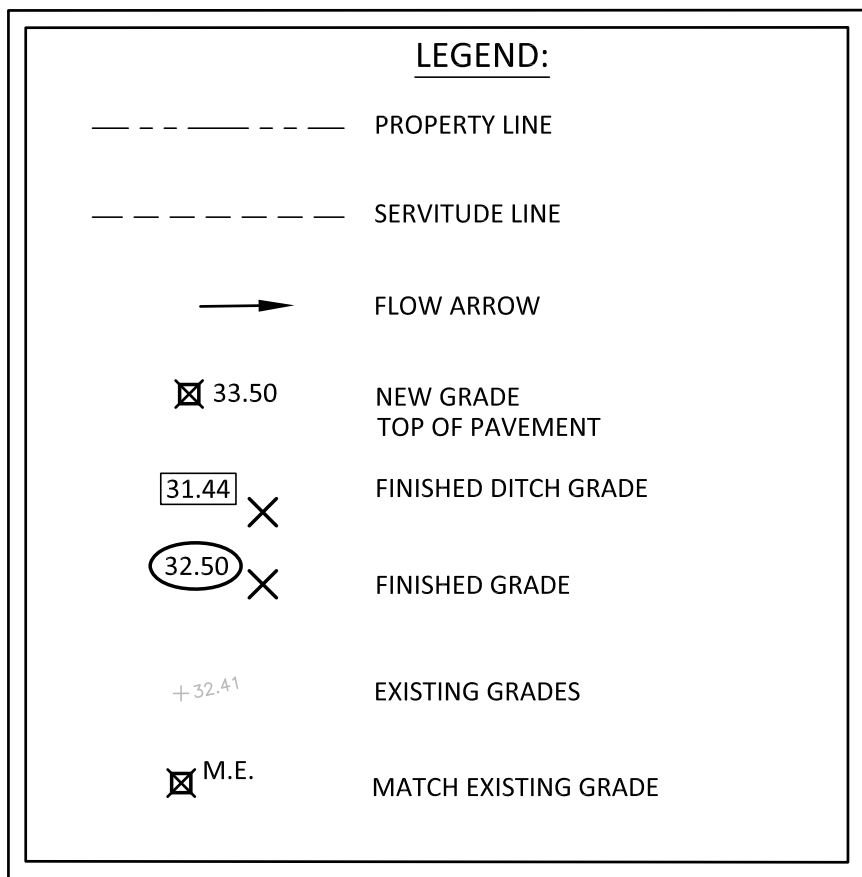
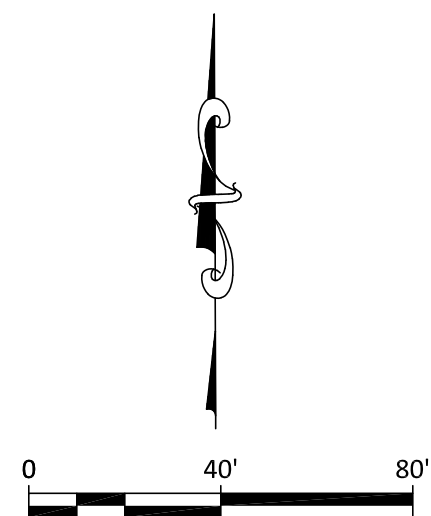
SIDNEY FONTENOT, SECRETARY
ST. TAMMANY PARISH PLANNING COMMISSION

Revised 10/10/2018



Informational Item:

- A Warranty Obligation in the amount of \$20,460.00 (930' x \$22.00/L.F.) for a period of two (2) years will need to be established once all plan and field comments have been satisfactorily addressed.



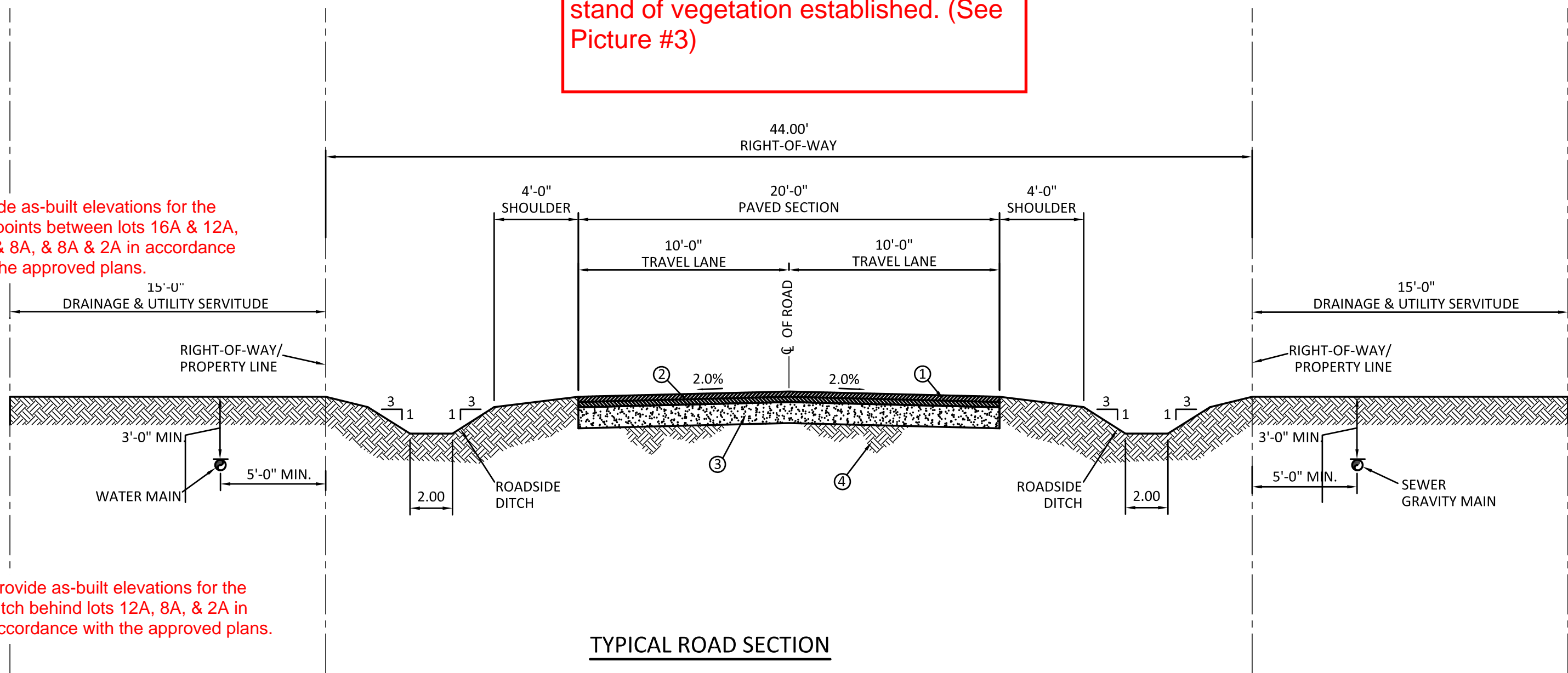
The as-built elevations at the property corners appear to be in conflict with the drainage directional flow arrows and do not appear to be in accordance with the approved plans. Revise grading and as-built elevations at the property corners in accordance with the approved plans.

Provide culvert schedule.

Provide as-built elevations for the high points between lots 16A & 12A, 12A & 8A, & 8A & 2A in accordance with the approved plans.

Provide as-built elevations for the ditch behind lots 12A, 8A, & 2A in accordance with the approved plans.

Provide as-built information for the ditch grading & 18"x28" RCPA cross culvert installation in accordance with the approved plans.



TYPICAL ROAD SECTION

- ① 2" HOT BITUMINOUS WEARING COURSE.
- ② 2" HOT BITUMINOUS BINDER COURSE.
- ③ 12" SOIL CEMENT BASE COURSE OF 12% BY VOLUME OF CEMENT.
- ④ EXISTING SUBGRADE
 - A. ALL SUBGRADE MATERIAL THAT WILL NOT SATISFACTORILY COMPACT SHALL BE REMOVED AND REPLACED WITH A-1 MATERIAL.
 - B. THE TOP 6 INCHES SHALL BE COMPACTED TO 95% ASTM D698 (STANDARD).
 - C. THE SUBGRADE SHALL BE SCARIFIED TO A DEPTH OF 6 INCHES FOR ITS FULL WIDTH AND THE MATERIAL SPREAD AND BROUGHT TO LINE AND GRADE AND COMPACTED AS SPECIFIED ABOVE.

Enter R.O.W. Project
PLANS
RECEIVED
8/11/2020
DEVELOPMENT
ENGINEERING

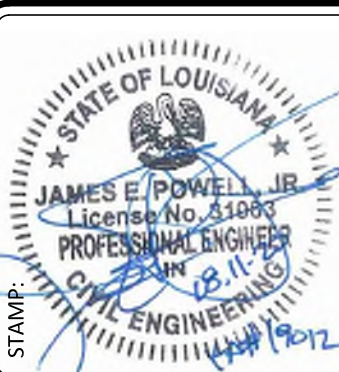
**ENGINEERING
REVIEW COPY**

TAMMANY HILLS SUBDIVISION
SQUARES 14 & 15

ST. TAMMANY PARISH, LA

AS-BUILT DRAINAGE AND GRADING PLAN

RECORD DRAWINGS



SHEET NO.

RD2.0

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