

AGENDA
ST. TAMMANY PARISH PLANNING COMMISSION MEETING
6:00 PM - TUESDAY, DECEMBER 15, 2020
ST. TAMMANY PARISH GOVERNMENT COMPLEX
PARISH COUNCIL CHAMBERS
21490 KOOP DRIVE, MANDEVILLE, LOUISIANA

NOTE: This meeting will be open to the public. Seating may be restricted due to COVID19 capacity guidelines. Attendees will be required to wear a face mask or covering and will be required to submit to a temperature check before entering the Parish Council Chambers.

A livestream will be available for viewing on regular broadcast channels (Charter Channel 710; U-verse Channel 99) or on the Parish website: www.stpgov.org. The livestream will begin at 6:00 PM on Tuesday, December 15, 2020.

Public comments regarding items on this agenda may be submitted during the meeting by calling in to an Audio Bridge Conference Call. Phone Number: 985-276-6398 (if busy, dial: 346-248-7799 or 669-900-6833) Meeting ID: 892 7301 3129 # Participant ID: # Password: 1425779 #. Please specify the case number you are calling in for.

ROLL CALL

PUBLIC ANNOUNCEMENTS

- Please silence all phones and electronic devices
- Appeals
- Speaker Cards
- Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal
- Please exit the building

INVOCATION AND PLEDGE OF ALLEGIANCE

APPROVAL OF THE NOVEMBER 10, 2020 MEETING MINUTES

PUBLIC HEARINGS:

REQUEST FOR POSTPONEMENTS

ENTERING PARISH RIGHT-OF-WAY, SERVITUDES, EASEMENTS & TAMMANY TRACE

Request to Enter the Parish Right of Way for Myrtle Drive for the purpose of installing parking spaces (Terra Bella Subdivision).

Debtor: Terra Bella Group, LLC

Parish Council District: Hon. Marty Dean

General Location: The property is located on the north side of Bootlegger Road (Highway 1085), west of Bricker Road, Covington, Louisiana. Ward 1, District 1 & 3

Request to Enter the Tammany Trace for the purpose of constructing a sidewalk connection in association with the Dove Park Ridge Subdivision.

Debtor: Dove Park Ridge, LLC

Parish Council District: Hon. Rykert Toledano

General Location: The property is located on the south side of Dove Park Road, west of LA Highway 59, south of Interstate 12, Covington, Louisiana. Ward 4, District 5

REVOCATION REVIEW**MINOR SUBDIVISION REVIEW****2020-2110-MSP**

A minor subdivision of Parcel B-3 into Parcels B-3A, B-3B, B-3C, B-3D & B-3E

Owner & Representative: Star Acquisitions, LLC - Vincent P. Centanni

Surveyor: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon Cheryl Tanner

General Location: The parcel is located on the north side of Prats Road, east of LA Highway 59,

Abita Springs, Louisiana, Ward 10, District 6

Postponed at the November 10, 2020 Meeting

2020-2149-MSP

A minor subdivision of 4.639 acres into Lots 1 & 2

Owner & Representative: Therone Tillison & Edward L. Tillison

Parish Council District Representative: Hon. Thomas J. Smith

General Location: The parcel is located on the south side of James Crosby Road, west of Bolden Road, Pearl River, Louisiana. Ward 8, District 14

2020-2155-MSP

A minor subdivision of Parcel 4 being 82.23 acres into Lots A1, A2, A3, A4 & A5

Owner & Representative: Johnsen Road Partnership in Commendam

Parish Council District Representative: Hon. David R. Fitzgerald

General Location: The parcel is located on the north side of Johnsen Road, east of LA Highway 437, Covington, Louisiana. Ward 3, District 2

RESUBDIVISION REVIEW**2020-2129-MRP**

Resubdivision of Lots 11-30 into Lots 11A, 13A, 15A, 17A, 19A, 21A, 23A, 25A, 27A & 29A, Square 346B, Town of Mandeville

Owner & Representative: SMS Holdings Company, LLC - Sean Delaney

Surveyor: John E. Bonneau & Associates, Inc.

Parish Council District Representative: Hon. James J. Davis

General Location: The property is located on the north side of Nelson Place, on the east side of Ozone Place and on the west side of Rapatel Street, Mandeville, Louisiana. Ward 4, District 7

2020-2148-MRP

Resubdivision of 11.32 acres of greenspace into Lots 16-A, 17-A & the remaining greenspace, Bushwood Estates

Owner: Secret Cove, LLC - Deborah Hogan

Representative: Paul J. Mayronne

Surveyor: John Cummings & Associates

Parish Council District Representative: Hon. Cheryl Tanner

General Location: The property is located on the east side of Kokomo Lane, west of the Pearl River Navigation Canal, Pearl River, Louisiana. Ward 5, District 6

PRELIMINARY SUBDIVISION REVIEW**2020-2151-PP**

Lakeshore Villages, Phase 12

Developer/Owner: D.R. Horton, Inc. - Gulf Coast

Engineer/Surveyor: Duplantis Design Group, PC

Parish Council District Representative: Hon. Jake Airey

General Location: The property is located north of Oak Harbor Blvd., west of LA Highway 433, east of Interstate-10, Slidell, Louisiana. Ward 9, District 13

2020-2152-PP

Lakeshore Villages, Phase 13

Developer/Owner: D.R. Horton, Inc. - Gulf Coast

Engineer/Surveyor: Duplantis Design Group, PC

Parish Council District Representative: Hon. Jake Airey

General Location: The property is located north of Oak Harbor Blvd., west of LA Highway 433, east of Interstate-10, Slidell, Louisiana. Ward 9, District 13

FINAL SUBDIVISION REVIEW**2020-2122-FP**

Hunter's Haven, Phase 1

Developer/Owner: Favret Investments, LLC

Engineer/Surveyor: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon. Michael Lorino

General Location: The property is located on the west side of Penn's Chapel Road, south of LA Highway 22, Mandeville, Louisiana. Ward 4, District 4

Postponed at the November 10, 2020 Meeting

2020-2150-FP

Lakeshore Villages, Phase 7

Developer/Owner: D.R. Horton, Inc. - Gulf Coast

Engineer/Surveyor: Duplantis Design Group, PC

Parish Council District Representative: Hon. Jake Airey

General Location: The property is located north of Oak Harbor Blvd., west of LA Highway 433, east of Interstate-10, Slidell, Louisiana. Ward 9, District 13

OLD BUSINESS**2020-2049-MSP**

A minor subdivision of 1.872 acres & 3.818 acres into Parcels A, B, C & D

Owner & Representative: Delmont O. & Joan M. Dapremont, Jr.

Surveyor: J.V. Burkes & Associates, Inc.

Parish Council District Representative: Hon. Steve Stefancik

General Location: The parcels are located on the east side of Horace Page Road & Bayou Oak Road (future), Slidell, Louisiana. Ward 9, District 11

2018-1105-PP

Providence Parks, Phase 1

Developer/Owner: Providence Parks, LLC

Engineer: SLD Engineering and Surveying

Parish Council District Representative: Hon. James Thompson

General Location: The property is located on the east side LA Highway 1077, north of U.S. Highway 190, Covington, Louisiana. Ward 1, District 3

Developer requesting an extension of the Preliminary Approval

NEW BUSINESS

ADJOURNMENT

MINUTES
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ROLL CALL

Present: Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm,
Randolph

Absent: Fitzmorris

Staff Present: Tissue, Lambert, Reynolds, Couvillon, Cleland, Vorenkamp

PUBLIC ANNOUNCEMENTS

- Please silence all phones and electronic devices
- Appeals
- Speaker Cards
- Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal
- Please exit the building

INVOCATION AND PLEDGE OF ALLEGIANCE

INVOCATION - Randolph presented the Invocation

PLEDGE OF ALLEGIANCE - Seeger presented the Pledge of Allegiance

APPROVAL OF THE OCTOBER 13, 2020 MEETING MINUTES

Randolph moved to approve, second by Seeger.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm,
Randolph

Nay: N/A

Abstain: N/A

PUBLIC HEARINGS:

REQUEST FOR POSTPONEMENTS**2020-2122-FP - POSTPONED**

Hunter's Haven, Phase 1

Developer/Owner: Favret Investments, LLC

Engineer/Surveyor: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon. Michael Lorino

General Location: The property is located on the west side of Penn's Chapel Road, south of LA Highway 22, Mandeville, Louisiana. Ward 4, District 4

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Paul Mayronne

Opposition: None

Randolph moved to postpone for one month, second by Willie.

Yea: Seeger, Ress, Willie, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

Nay: N/A

Abstain: McInnis (No Vote)

OLD BUSINESS**SD10-08-005F - APPROVED**

Colonial Pinnacle Nord du Lac

Developer/Owner: Cypress Equities

Engineer/Surveyor: Duplantis Design Group, PC

Parish Council District Representative: Hon. Marty Dean

General Location: The property is located east of LA Highway 21, north of U.S. Interstate 12, Covington, Louisiana. Ward 1, District 1

Change in ownership

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Jeff Schoen

Opposition: None

Richard moved to approve, second by Randolph.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

Nay: N/A

Abstain: N/A

2020-2055-MRP

Resubdivision of Part of Lots 14, 15 & 16 into lots 14-A, 14-B & 15-A, 5 Acre Farms

Owner & Representative: Brian L. Perilloux, Carla V. Smith, Frances Marullo, Anthony J. Cyprus

Surveyor: Land Surveying, LLC

Parish Council District Representative: Hon. Rykert O. Toledano, Jr.

General Location: The property is located at the end of Ridgewood Drive and along the west side of Hidden Acres Road (future), Mandeville, Louisiana. Ward 4, District 5

Waiver Request to record the approved Resubdivision for public record in the St. Tammany Clerk of Court's Office prior to construction of the private drive (Section 125-189 (d)).

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Ms. Carla V. Smith

Opposition: None

Ress moved to approve, second by Crawford.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

Nay: N/A

Abstain: N/A

ENTERING PARISH RIGHT-OF-WAY, SERVITUDES, EASEMENTS & TAMMANY TRACE

Enter the Parish R.O.W. - 5th Street between Adams and Jefferson Avenue; Tammany Hills

Request: Entering the Parish R.O.W. for the purpose of installing water, sewer and roadway improvements.

Debtor: Advance Mortgage Company, LLC

Parish Council District Representative: Hon. David R. Fitzgerald

General Location: The property is located on 5th Street between Adams and Jefferson Avenue, Covington, Louisiana.

Ward 3, District 2

Amend the amount for the Warranty Obligation

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: None

Opposition: None

Seeger moved to approve, second by Crawford.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

Nay: N/A

Abstain: N/A

ENTERING PARISH RIGHT-OF-WAY, SERVITUDES, EASEMENTS & TAMMANY TRACE

Request to Enter the Parish Right of Way for Ozone Street for the purpose of extending the street and installing drainage features (Town of Mandeville Subdivision). - **APPROVED**

Debtor: SMS Holdings, LLC

Parish Council District: Hon. Jimmie Davis

General Location: The property is located on the south side of Armand Street, north of the Nelson Street right-of-way, east of Soult Street, Mandeville, Louisiana. Ward 4, District 7

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: None

Opposition: Ms. Amanda Reyes, Mr. Armani Reyes

Crawford moved to approve, second by Randolph.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

Nay: N/A

Abstain: N/A

Request to Enter the Parish Right of Way for Rapatel Street for the purpose of extending the street and installing drainage features (Town of Mandeville Subdivision). - **APPROVED**

Debtor: SMS Holdings, LLC

Parish Council District: Hon. Jimmie Davis

General Location: The property is located on the south side of Armand Street, north of the Nelson Street right-of-way, east of Soult Street, Mandeville, Louisiana. Ward 4, District 7

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: None

Opposition: None

Seeger moved to approve, second by Crawford.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

Nay: N/A

Abstain: N/A

REVOCATION REVIEW

REV20-10-009 - DENIED

The revocation of a portion of future access Right of Way, located on the west side of Autumn Creek Dr. between Lot 89 and Lot 90 in Phase 2 of the Autumn Creek Subdivision, Madisonville, Louisiana, Ward 1, District 4

Applicant: Steven Hebert

Parish Council District Representative: Hon. Michael Lorino, Jr.

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Steven Hebert

Opposition: None

Seeger moved to deny, second by Barcelona.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

Nay: N/A

Abstain: N/A

MINOR SUBDIVISION REVIEW

2020-2092-MSP - APPROVED WITH A WAIVER

A minor subdivision of 14.11 acres into Parcels A, B & C

Owner & Representative: The Vincent D. Brouillette Trust- Vincent Brouillette and Belinda Besnard

Surveyor: Land Surveying, LLC

Parish Council District Representative: Hon. David R. Fitzgerald

General Location: The parcel is located on the east side of LA Highway 21 (Military Road), north of Nolan Lane, Covington, Louisiana, Ward 3, District 2

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Vincent Brouillette

Opposition: None

Willie moved to approve with the waiver, second by Seeger.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm,
Randolph

Nay: N/A

Abstain: McInnis (No Vote)

2020-2105-MSP - APPROVED WITH A WAIVER

A minor subdivision of Lot B & Parcels 3-A & 4-A into Lot B-1 & Parcel 3-A-1

Owner & Representative: Riverland Property Management – Brian Necaie – Manager and Sam J. Collett III

Surveyor: John E. Bonneau & Associates Inc.

Parish Council District Representative: Hon. David R. Fitzgerald

General Location: The parcel is located on the south side of Johnsen Road, east of Dogwood Lane, Covington, Louisiana, Ward 3, District 2

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Sam J. Collett III

Opposition: None

Seeger moved to approve with the waiver, second by Randolph.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm,
Randolph

Nay: N/A

Abstain: N/A

2020-2106-MSP - APPROVED WITH A WAIVER

A minor subdivision of 2 acres into Parcels A & B

Owner & Representative: Laurie A. Metevier & Vickylee Marie Clelland

Surveyor: John G. Cummings & Associates

Parish Council District Representative: Hon. David R. Fitzgerald

General Location: The parcel is located on the southwest corner of Jarrell Road & LA Highway 1129, Covington, Louisiana, Ward 2, District 2

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Ms. Laurie A. Metevier

Opposition: None

Seeger moved to approve with the waiver, second by McInnis.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm,
Randolph

Nay: N/A

Abstain: N/A

2020-2107-MSP - APPROVED

A minor subdivision of Parcel A-1 & A-2-B into Parcel A-1-A

Owner & Representative: Place 1077, LLC - Tim Richardson

Surveyor: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon. Martha Cazaubon

General Location: The parcel is located on northwest corner of LA Highway 1085 & LA Highway 1077, Covington, Louisiana, Ward 1, District 3

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Jeff Schoen

Opposition: None

Richard moved to approve, second by Randolph.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm,
Randolph

Nay: N/A

Abstain: N/A

2020-2108-MSP - APPROVED WITH A WAIVER

A minor subdivision of Parcels B-1 & B-2 into Parcels B-1A & B-2A

Owner & Representative: Marion Reiling & Ann Cerniglia

Surveyor: John G. Cummings & Associates

Parish Council District Representative: Hon David R. Fitzgerald

General Location: The parcel is located on the east side of LA Highway 1081, Covington,
Louisiana, Ward 2, District 2

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Ms. Ann Cerniglia

Opposition: None

Willie moved to approve with the waiver, second by Barcelona.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm,
Randolph

Nay: N/A

Abstain: N/A

2020-2110-MSP - POSTPONED

A minor subdivision of Parcel B-3 into Parcels B-3A, B-3B, B-3C, B-3D & B-3E

Owner & Representative: Star Acquisitions, LLC - Vincent P. Centanni

Surveyor: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon Cheryl Tanner

General Location: The parcel is located on the north side of Prats Road, east of LA Highway 59,
Abita Springs, Louisiana, Ward 10, District 6

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: None

Opposition: None

Drumm moved to postpone for one month, second by Willie.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm,
Randolph

Nay: N/A

Abstain: N/A

2020-2112-MSP - APPROVED

A minor subdivision of Parcels A, B, C & 1.61 acres into Parcels A, B, C & D

Owners & Representatives: Patricia Venturella, Joyce M. Castleman & Holly D. Morales

Surveyor: John E. Bonneau & Associates, Inc.

Parish Council District Representative: Hon. James J. Davis

General Location: The parcels are located at the end of Loretta Drive, south of LA Highway 1088
& Interstate 12, Mandeville, Louisiana, Ward 4, District 7

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Ms. Holly Morales and Mr. Darrell Castleman

Opposition: None

Crawford moved to approve with the waiver, second by Barcelona.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm,
Randolph

Nay: N/A

Abstain: N/A

2020-2113-MSP - APPROVED WITH WAIVERS

A minor subdivision of 15.17 acres into Parcels A & B

Owner & Representative: Gary M. & Kimberly P. Greene

Surveyor: Land Surveying, LLC

Parish Council District Representative: Hon. Cheryl Tanner

General Location: The parcel is located on the east side of LA Highway 40, south of Kenzie Road, Covington, Louisiana, Ward 2, District 6

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Ms. Kimberly P. Greene and Mr. Matthew Greene

Opposition: None

Seeger moved to approve with the waivers, second by Randolph.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm,
Randolph

Nay: N/A

Abstain: N/A

2020-2114-MSP - APPROVED WITH A WAIVER

A minor subdivision of Parcels A, B, C, BV-2 & Lot 44-A1 into Parcel ACG-1

Owner & Representative: JFS Business Park, LLC, Industrial Drive, LLC & Southeast Investments, LLC
- Christopher R. Jean

Surveyor: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon. Thomas J. Smith

General Location: The parcels are located on the west side of US Highway 11, on the south side of Fricke Road and on the south side of J.F. Smith Avenue, Slidell, Louisiana, Ward 8 & 9, District 14

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Jeff Schoen

Opposition: None

Randolph moved to approve with the waiver, second by Barcelona.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm,
Randolph

Nay: N/A

Abstain: N/A

2020-2117-MSP - APPROVED

A minor subdivision of 9.9 acres into Parcels A & B

Owner & Representative: Allison Zinskie

Surveyor: Land Surveying, LLC

Parish Council District Representative: Hon. James J. Davis

General Location: The parcel is located on the north side of N. Dixie Ranch Road, east of LA Highway 434, Lacombe, Louisiana, Ward 7, District 7

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Ms. Allison Zinskie

Opposition: None

Crawford moved to approve, second by Willie.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm,

Nay: N/A

Abstain: Randolph (No Vote)

2020-2118-MSP - APPROVED

A minor subdivision of 1.712 acres & 0.455 acres into Parcels A & B

Owner & Representative: Succession of Kent M. Chatellier - Jennifer Chatellier

Surveyor: John G. Cummings & Associates

Parish Council District Representative: Hon. Rykert Toledano Jr.

General Location: The parcel is located on the south side of Harry Lemons Road, east of LA Highway 59, Mandeville, Louisiana, Ward 4, District 5

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Ms. Jennifer Chatellier

Opposition: None

Seeger moved to approve, second by Crawford.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

Nay: N/A

Abstain: N/A

2020-2120-MSP - APPROVED

A minor subdivision of Parcel A into Parcels A-1 & A-2

Owner & Representative: Vergne Properties, Inc. - Dianne Swadling

Surveyor: Land Surveying, LLC

Parish Council District Representative: Hon. Rykert Toledano Jr.

General Location: The parcel is located on the east & west sides of Riverside Drive, Covington, Louisiana, Ward 3, District 5

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Ms. Jennifer Rice

Opposition: None

Randolph moved to approve, second by Richard.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm,
Randolph

Nay: N/A

Abstain: N/A

2020-2124-MSP - APPROVED

A minor subdivision of 5.1 acres & 5.35 acres into Parcel A

Owner & Representative: Paul J. & Rose L. Goodwine

Surveyor: Land Surveying, LLC

Parish Council District Representative: Hon. Rykert Toledano Jr.

General Location: The parcel is located at the southwest corner of Dove Park Road, Covington, Louisiana, Ward 4, District 5

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Jeff Schoen

Opposition: None

Ress moved to approve with the waiver, second by Crawford.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

Nay: N/A

Abstain: N/A

RESUBDIVISION REVIEW**2020-2077-MRP - APPROVED**

Resubdivision of the Recreation Area into Lots R1 & R2, Unit 3, Whisperwood Estate

Owner & Representative: Darlene D. Brown

Surveyor: J.V. Burkes & Associates, Inc.

Parish Council District Representative: Hon.: Chris Canulette

General Location: The property is located on the east side of Whisperwood Blvd and on the west side of Timbers Drive, Slidell, Louisiana. Ward 8, District 8

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Steve Ernst

Opposition: None

Randolph moved to approve, second by Crawford.

Yea: Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

Nay: Seeger

Abstain: N/A

2020-2104-MRP - APPROVED WITH A WAIVER

Resubdivision of Parcel 7A1-B1 into Parcels 7A1-B1A & 7A1-B1B, The Plantation

Owner & Representative: Shallow Creek Enterprises, LLC

Surveyor: John E. Bonneau & Associates, Inc.

Parish Council District Representative: Hon.: Cheryl Tanner

General Location: The property is located at the end of Shiloh lane, south of Shenandoah Lane, Covington, Louisiana. Ward 5, District 6

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Paul Mayronne

Opposition: None

Seeger moved to approve with the waiver, second by Willie.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

Nay: N/A

Abstain: N/A

2020-2109-MRP - APPROVED

Resubdivision of Square 175 into lots 1-14, Square 175, Town of Mandeville

Owner & Representative: Black Oak Holdings, LLC - Matthew Bowers

Surveyor: John E. Bonneau & Associates, Inc.

Parish Council District Representative: Hon.: James J. Davis

General Location: The property is located on the east side of Soult Street, on the south side of McNamarra Street, on the west side of Molitor Street and on the north side of Caroline Street (not constructed), Mandeville, Louisiana. Ward 4, District 7

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Jeff Schoen

Opposition: Claire Ennis

Willie moved to approve, second by Seeger.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm,
Randolph

Nay: N/A

Abstain: N/A

2020-2115-MRP - APPROVED

Resubdivision of Lot 52 Phase 4A & lot 80 Phase 1, into lot 80-A, Phase 1, River Club

Owner & Representative: David & Lori Collier

Surveyor: Land Surveying, LLC

Parish Council District Representative: Hon.: Marty Dean

General Location: The property is located on the northeast corner of Ox Bow Lane & Ox Bow Court, Covington, Louisiana. Ward 1, District 1

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Ron Lee

Opposition: None

Crawford moved to approve, second by Randolph.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm,
Randolph

Nay: N/A

Abstain: N/A

2020-2121-MRP -APPROVED WITH WAIVERS

Resubdivision of Parcels 4A2 & 4A3 into Parcels 4A4, 4A5 & 4A6, The Plantation

Owner & Representative: Robert J. Jr. & Jennifer Rathe

Surveyor: John E. Bonneau & Associates, Inc.

Parish Council District Representative: Hon.: Cheryl Tanner

General Location: The property is located at the end of Shenandoah Lane, east of Shiloh Lane, Covington, Louisiana. Ward 5, District 6

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Paul Mayronne

Opposition: None

Willie moved to approve with waivers, second by Seeger.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm,
Randolph

Nay: N/A

Abstain: N/A

2020-2123-MRP - APPROVED

Resubdivision of Lot 376 and a Portion of Reserved Area, Square 25, Tchefuncta Club Estates
Owner & Representative: Tchefuncta Club Estates, Inc. - Francis Ward Cashion, President and Clyde Smalley, IV & Stacey Smalley
Surveyor: Land Surveying, LLC
Parish Council District Representative: Hon.: Marty Dean
General Location: The property is located on the north side of Riverdale Drive, east of Sunny Hollow Road, Covington, Louisiana. Ward 1, District 1

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Paul Mayronne

Opposition: None

Seeger moved to approve, second by Willie.

Yea: Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

Nay: N/A

Abstain: N/A

PETITIONS/WAIVER REQUESTS**DORMANT SUBDIVISION REVIEW****TENTATIVE SUBDIVISION REVIEW****2020-2099-TP - APPROVED WITH A WAIVER**

Lakeshore Villages, Phase 12
Developer/Owner: D.R. Horton, Inc. - Gulf Coast
Engineer/Surveyor: Duplantis Design Group, PC
Parish Council District Representative: Hon. Jake Airey
General Location: The property is located north of Oak Harbor Blvd., west of LA Highway 433, east of Interstate-10, Slidell, Louisiana. Ward 9, District 13

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Jeff Schoen

Opposition: None

Randolph moved to approve with a waiver, second by Barcelona.

Yea: Seeger, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

Nay: Ress, McInnis

Abstain: N/A

2020-2100-TP - APPROVED

Lakeshore Villages, Phase 13
Developer/Owner: D.R. Horton, Inc. - Gulf Coast
Engineer/Surveyor: Duplantis Design Group, PC
Parish Council District Representative: Hon. Jake Airey
General Location: The property is located north of Oak Harbor Blvd., west of LA Highway 433, east of Interstate-10, Slidell, Louisiana. Ward 9, District 13

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Jeff Schoen

Opposition: None

Willie moved to approve, second by Randolph.

Yea: Seeger, Ress, Willie, Richard, Doherty, Barcelona, Crawford, Drumm,
Randolph

Nay: McInnis

Abstain: N/A

PRELIMINARY SUBDIVISION REVIEW

2020-2010-PP - APPROVED WITHOUT WAIVER

Military Ridge, Phase 1

Developer/Owner: Lynn Levy Land Co., LLC

Engineer/Surveyor: J.V. Burkes & Associates, Inc.

Parish Council District Representative: Hon. Mike Smith

General Location: The property is located on the east & west sides of North Military Road/LA Highway 1090, north of Interstate-12, Slidell, Louisiana. Ward 8, District 9

Postponed at the October 13, 2020 meeting

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Jeff Schoen and Mr. Sean Burkes

Opposition: None

Ress moved to approve without the waivers, second by Drumm.

Mr. Schoen withdrew the waiver request.

Seeger moved to amend the motion to remove the waivers from the original motion, second by Randolph.

Yea: Seeger, Willie, Richard, Doherty, Barcelona, Crawford, Drumm,
Randolph

Nay: McInnis

Abstain: Ress

Ress moved to approve, second by Drumm.

Yea: Seeger, Willie, Richard, Doherty, Barcelona, Crawford, Drumm,
Randolph

Nay: Ress, McInnis

Abstain: N/A

2020-2102-PP - APPROVED

Dove Park Ridge

Developer/Owner: Dove Park Ridge, LLC

Engineer/Surveyor: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon. Rykert Toledano

General Location: The property is located on the south side of Dove Park Road, west of LA Highway 59, south of Interstate 12, Covington, Louisiana. Ward 4, District 5

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Jeff Schoen and Mr. Kelly McHugh

Opposition: None

Seeger moved to approve, second by Barcelona.

Yea: Seeger, Ress, Willie, Richard, Doherty, Barcelona, Crawford, Drumm,
Randolph

Nay: McInnis

Abstain: N/A

2020-2103-PP- APPROVED WITH A WAIVER

The Refuge (formerly Creekstone)

Developer/Owner: Yar Construction Co.

Engineer/Surveyor: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon. Richard Tanner

General Location: The property is located on the east of LA Highway 1129 (Lee Rd.), north of Shortcut Road, across from Highland Crest Drive, Covington, Louisiana. Ward 2, District 6

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Paul Mayronne

Opposition: None

Seeger moved to approve with a waiver, second by Willie.

Yea: Seeger, Ress, Willie, Richard, Doherty, Barcelona, Crawford, Drumm,
Randolph

Nay: McInnis

Abstain: N/A

FINAL SUBDIVISION REVIEW

2020-1977-FP - APPROVED

Dove Park Estates (**Resubmitted**)

Developer/Owner: Dove Park Estates, LLC

Engineer/Surveyor: Duplantis Design Group, PC

Parish Council District Representative: Hon. Rykert Toledano

General Location: The property is located on the north side of Dove Park Road, west of LA Highway 59, south of Interstate 12, Covington, Louisiana. Ward 4, District 5

Postponed at the October 13, 2020 meeting

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Paul Mayronne

Opposition: None

Seeger moved to approve, second by Barcelona.

Yea: Seeger, Ress, Willie, Richard, Doherty, Barcelona, Crawford, Drumm,
Randolph

Nay: McInnis

Abstain: N/A

2020-2101-FP - APPROVED

Lakeshore Villages, Phase 8-B

Developer/Owner: D.R. Horton, Inc. - Gulf Coast

Engineer/Surveyor: Duplantis Design Group, PC

Parish Council District Representative: Hon. Jake Airey

General Location: The property is located north of Oak Harbor Blvd., west of LA Highway 433, east of Interstate-10, Slidell, Louisiana. Ward 9, District 13

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Jeff Schoen

Opposition: None

Randolph moved to approve, second by Crawford.

Yea: Ressa, Willie, Richard, Doherty, Barcelona, Crawford, Drumm,
Randolph

Nay: N/A

Abstain: Seeger

AMENDMENTS TO CHAPTER 125 - SUBDIVISION REGULATIONS**AMENDMENT TO DEVELOPMENTAL AGREEMENT****NEW BUSINESS****ADJOURNMENT**

**ENTERING THE PARISH
RIGHTS-OF-WAY,
SERVITUDES AND
EASEMENTS**

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ST. TAMMANY PARISH

MICHAEL B. COOPER
PARISH PRESIDENT

December 1, 2020

St. Tammany Parish Planning Commission
P.O. Box 628
Covington, LA 70434

Re: Enter the Parish R.O.W. - Myrtle Drive - For the purpose of constructing parking spaces (Terra Bella Subdivision)

Honorable Commissioners,

This office is in receipt of Mr. Kelly McHugh, P.E., P.L.S.'s request, on behalf of the Terra Bella Group, LLC, to enter the Parish right-of-way for the purpose of constructing parking spaces between Terra Bella Boulevard and Bocage Court along Myrtle Drive; Terra Bella Subdivision.

This office has reviewed the request from Mr. McHugh's and has no objection.

Sincerely,

A handwritten signature in blue ink that reads "Christopher Tissue".

Christopher Tissue, P.E.
Lead Development Engineer

*Attachments: DRAFT Enter the Parish R.O.W. Resolution dated December 1, 2020
Request to Enter the Parish Right-of-Way from Mr. McHugh, P.E., P.L.S.'s dated
November 16, 2020
"Proposed New Parking Terra Bella, Phase 1A-1" Site Plan dated November 17, 2020*

xc: Honorable Michael Cooper
Honorable Marty Dean
Mr. Ross Liner, AICP, PTP, CFM
Mr. Jay Watson, P.E.
Ms. Helen Lambert
Mr. Earl J. Magner
Mr. Theodore Reynolds, P.E.
Mr. Seamus Loman, Terra Bella Group, LLC
Mr. Kelly McHugh, P.E., P.L.S., Kelly McHugh & Associates, Inc.

ST. TAMMANY PARISH PLANNING COMMISSION

RESOLUTION

RESOLUTION PLANNING COMMISSION SERIES NO. _____

TITLE: A RESOLUTION AUTHORIZING TERRA BELLA GROUP, LLC, C/O MR. SEAMUS LOMAN, TO ENTER PARISH RIGHT-OF-WAY.

SUB-TITLE: A RESOLUTION GRANTING PERMISSION TO TERRA BELLA GROUP, LLC, 111 TERRA BELLA BOULEVARD, COVINGTON, LA, 70433 OR ASSIGNEES TO ENTER PARISH RIGHT-OF-WAY, SPECIFICALLY A 350 FOOT PORTION OF MYRTLE DRIVE BETWEEN TERRA BELLA BOULEVARD AND BOCAGE COURT, TERRA BELLA SUBDIVISION, FOR THE PURPOSE OF CONSTRUCTING PARKING SPACES. WARD 1, DISTRICT 1.

NOW, THEREFORE, BE IT RESOLVED, by the St. Tammany Parish Planning Commission that it hereby grants permission to the aforementioned petitioner to enter Parish right-of-way for the aforementioned purposes, subject to the following conditions:

1. That the improvements that will be undertaken will be at the sole expense of the petitioner.
2. That the petitioner agrees to accept full responsibility, financial and all other, for the damage and /or relocation of utilities currently located within Parish right-of-way.
3. That the petitioner shall submit plans prepared by a licensed engineer to the Department of Engineering for review and approval. The drainage and road design with soil borings must meet the asphalt road standards as established under the “Subdivision Regulatory Ordinance.” The Parish’s engineer may require additional off-site work to minimize the potential impact of the proposed construction with special emphasis regarding drainage. The plans must include sewerage and water systems, where applicable. Upon approval of plans and specifications by the Director of Engineering, the petitioner must notify the Department of Engineering prior to the commencement of any activity.
4. That should the petitioner commence work thereon, petitioner by such act acquiesces and acknowledges thereby that he will hold this Parish, its officials, agents, servants, and employees free and harmless from any liability or responsibility whatsoever in connection with the construction of the project. Petitioner will provide copy of Liability Insurance Policy, including the naming of the Parish as an insured party. The insurance will remain in effect until the Parish takes over the maintenance.
5. That nothing herein shall be construed as a revocation of the dedication of the aforementioned right of way.
6. That no maintenance nor financial nor material nor assistance shall be provided by the Parish for the project nor the maintenance thereof, except for the inspection of the plans and specifications by the Department of Engineering to insure the construction complies with Parish specifications.
7. That the petitioner shall post a Performance Obligation prior to a work order being issued for the calculated amount based on the linear footage of proposed roadway using the formula “\$40.00 per linear foot x ____ linear feet = calculated amount” for asphalt roadways. The linear footage of construction shall be taken from the approved Preliminary plan(s). The Performance Obligation in the amount of \$14,000.00 (\$40.00 per linear foot x 350 linear feet) shall be established for a period of one (1) year.
8. That the petitioner shall post a Warranty Obligation upon completion of the project for the calculated amount based on the linear footage of constructed roadway using the formula “\$22.00 per linear foot x ____ linear feet” for asphalt roadways. The linear footage of construction shall be taken from the approved As-Built plan(s). The Warranty Obligation shall be established for a period of two (2) years.
9. That the petitioner and any assignees submit a Hold Harmless Agreement in connection with the construction of the project and utilization of the access by (an) individual (s) until the time that the access is upgraded to Parish standards and accepted into the Parish’s Selective Road Maintenance System.

10. That the petitioner and any assignees agrees to provide maintenance for this project at his/her own expense until such time as the Parish agrees to accept this project into the Parish's Selective Road Maintenance System.
11. That the petitioner shall submit a copy of the current owner's deed.
12. That the petitioner shall produce proof that the right of way is dedicated to the Parish.
13. That the petitioner shall submit a site plan of Petitioner's property and parking spaces proposed improvements.
14. That the petitioner submit as-built drawings certifying that the project is constructed in accordance with the approved drawings.
15. That the petitioner submit all documentation required within ONE (1) year from date of adoption, additionally petitioner has two (2) years to complete all work on this project, if not completed within two (2) years, approval of this work will be voided and petitioner will be required to reapply for permission.

THIS RESOLUTION HAVING BEEN SUBMITTED TO A VOTE, THE VOTE THEREON WAS AS FOLLOWS:

MOVED FOR ADOPTION BY _____, SECONDED
BY _____; A VOTE THEREON RESULTED IN THE FOLLOWING:

YEA:

NAY:

ABSTAIN:

ABSENT:

AND THIS RESOLUTION WAS DECLARED DULY ADOPTED ON THE 15TH DAY OF
DECEMBER, 2020, AT A REGULAR MEETING OF THE PLANNING COMMISSION, A QUORUM
OF THE MEMBERS BEING PRESENT.

DAVID DOHERTY, JR., CHAIRMAN
ST. TAMMANY PARISH PLANNING COMMISSION

ATTEST:

ROSS P. LINER, AICP, PTP, CFM, SECRETARY
ST. TAMMANY PARISH PLANNING COMMISSION



Kelly McHugh
&
Associates, Inc.

Enter R.O.W. Project
PLANS
RECEIVED
11/17/2020
DEVELOPMENT
ENGINEERING

**ENGINEERING
REVIEW COPY**

November 16, 2020

St. Tammany Parish
Department of Engineering
Attn: Chris Tissue
PO Box 628
Covington, LA 70434

RE: Request to Enter STP Right-Of-Ways
Myrtle Drive, Terra Bella Subdivision
St. Tammany Parish, Louisiana

Chris,

My client, Terra Bella Group, LLC, 111 Terra Bella Blvd Covington, La 70433, requests permission to enter Parish right-of-way, specifically Myrtle Dr. south side between Terra Bella Blvd, and Bocage Ct to install additional parking as shown on the attached Site Plan.

The length of those improvements is approximately 350'.

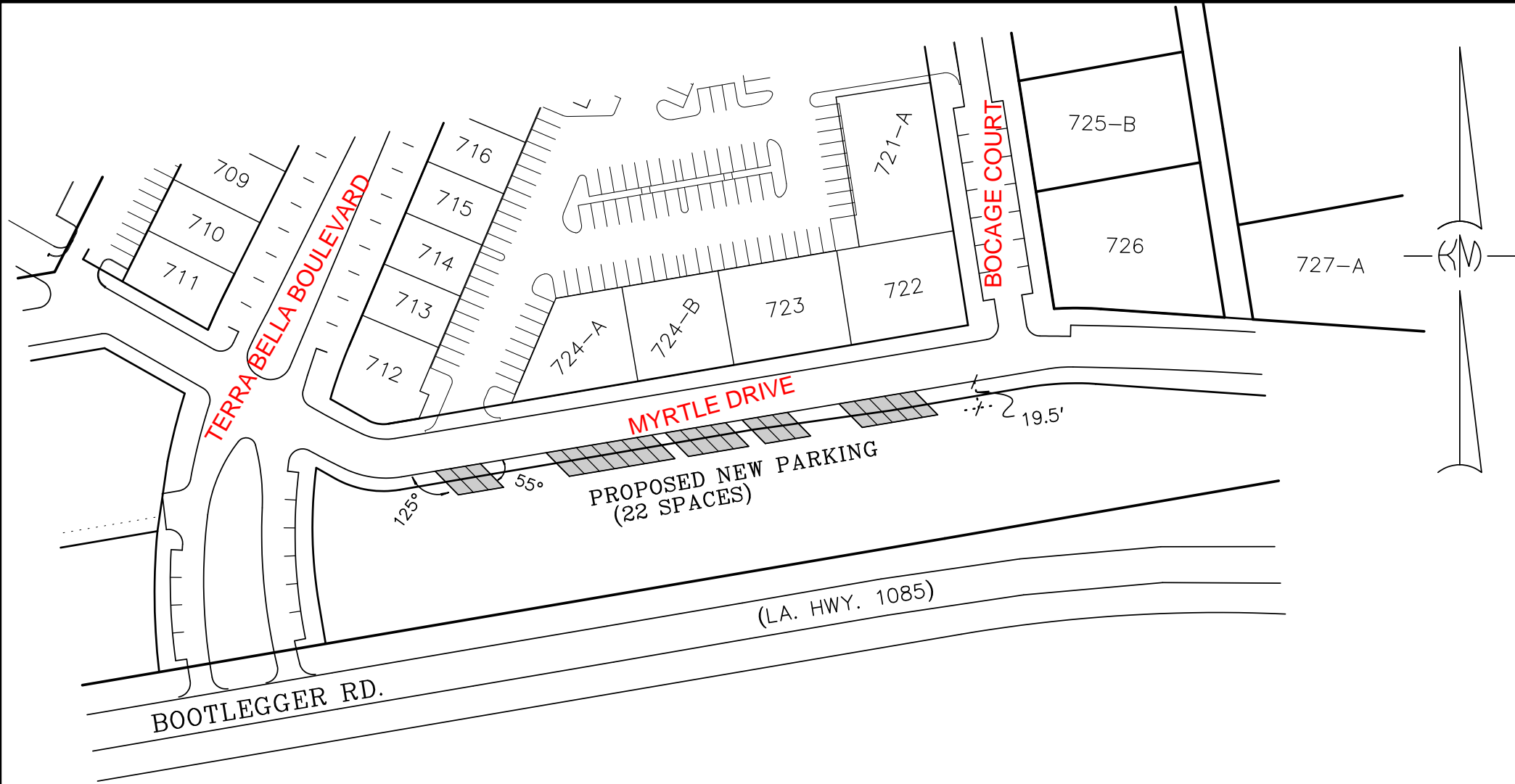
Also attached is a copy of the cash sale and Terra Bella's latest approved PUD Plan showing this parking. .

I appreciate your help in this matter.

Sincerely,

Kelly McHugh, PE, PLS

KJM/kah



Enter R.O.W. Project
PLANS
RECEIVED
11/17/2020
DEVELOPMENT
ENGINEERING

**ENGINEERING
REVIEW COPY**

SITE PLAN

/plats/TERRA BELLA MYRTLE DR PARKING SITE PLAN.scj

PROPOSED NEW PARKING TERRA BELLA, PH., 1-A1 ST. TAMMANY PARISH, LA.			
SCALE:	1" = 100'	DATE:	11-17-20
DRAWN:	DRJ	JOB NO.:	
REVISED:			

KELLY J. McHUGH & ASSOC., INC.
CIVIL ENGINEERS & LAND SURVEYORS
845 GALVEZ ST., MANDEVILLE, LA. 626-5611

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ENTERING THE TAMMANY TRACE STAFF ANALYSIS REPORT
(As of December 4, 2020)

CASE NO.: TRC20-11-001

REQUEST AND PURPOSE: The petitioner is requesting to enter the Tammany Trace for the purpose of constructing a six (6) foot concrete walkway and culvert to connect to the Trace parkway at the western edge of the Tammany Trace, 1084 feet south of its intersection with Dove Park Road.

DEVELOPER: Dove Park Ridge, LLC
845 Galvez Street
Mandeville, LA 70448

ENGINEER/SURVEYOR: Kelly McHugh & Associates, Inc.
845 Galvez Street
Mandeville, LA 70448

WARD: 4 PARISH COUNCIL DISTRICT: 5

PROPERTY LOCATION: The property is located on the south side of Dove Park Road, west of LA Highway 59, south of Interstate 12, Covington, Louisiana.

STAFF COMMENTARY:

The Staff recommends approval of the access request subject to the comments listed below:

COMMENTS:

Department of Planning and Development

1. The width of the cleared area for the construction of a path to access the Trace shall not exceed ten (10) feet and the width of the pavement shall not exceed five (5) feet. A corrected request letter that is compliant with these regulations must be provided.
2. A detailed plan showing how the proposed sidewalk will connect to the Trace including elevations, drainage culverts, etc. must be provided prior to final approval.
3. No trees are to be cleared along the Tammany Trace, with the exception of the 15 foot section of the Trace buffer needed to install the concrete walkway and culvert.
4. A land clearing permit must be acquired prior to work order and a pre-land clearing site visit will be conducted to ensure proper fencing or staking is in place to ensure no adverse effects on trees or Trace Right-of-Way.
5. The applicant shall procure written approval from the Director of the Tammany Trace prior to commencing any construction and shall provide said director with a daily work schedule.
6. The Tammany Trace shall not be closed or obstructed due to construction activity for more than one hour at any time unless it is approved by the Director of the Tammany Trace.
7. Only rubber tire excavating equipment is to be used on the trace.
8. All construction activities on the Tammany Trace shall be limited to daylight hours, Monday through Friday only (no weekends).

9. The Tammany Trace must be kept clean and free of construction material and debris at all times.
10. Obtain a work order from the Parish Engineer.
11. The applicant shall provide the parish with an acknowledgement and hold harmless agreement indemnifying St Tammany Parish from any and all liability that arises in connection with the requested access subject to review and approval by the parish's legal department.

INFORMATIONAL ITEMS:

A Performance Obligation is required in the amount of \$10.00 per linear foot x 15 linear feet = \$150.00 for a period of one (1) year.

If the Planning Commission approves this request, an Ordinance must be drafted for approval by the St. Tammany Parish Council.

Revised drawings will not be accepted for review or placement in the packet prior to the December 15, 2020 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.



Kelly McHugh
&
Associates, Inc.

November 10, 2020

St. Tammany Parish
Department of Development
Attn: Carl Cleland
PO Box 628
Covington, LA 70434

RE: Entering Tammany Trace to connect
Pedestrian access
(6' concrete walkway)
For Dove Park Ridge Subdivision

Carl,

In behalf of Dove Park Ridge, LLC, 845 Galvez Street Mandeville, LA 70448, we request permission to enter Tammany Trace to construct a 6' concrete walkway and culvert to connect to the Trace parkway at the western edge of Trace 1084' South of its intersection with Dove Park Rd. See attached Vicinity Map and Dove Park Ridge Paving & Drainage Plan with walkway details.

We feel that there is an absolute need for the residents of Dove Park Ridge to be able to have a safe, pedestrian only access to use the public recreation (Trace).

This pedestrian access for recreation on the Trace is its intended use. There will only be minimal clearing (12'-15') to install the 6' wide concrete walkway. There will be minimal disruption to drainage, the entirety of Dove Park Ridge drains west and away from the Trace.

We appreciate your kind attention to this matter.

Sincerely,

Kelly J. McHugh, P.E.

KJM:kah



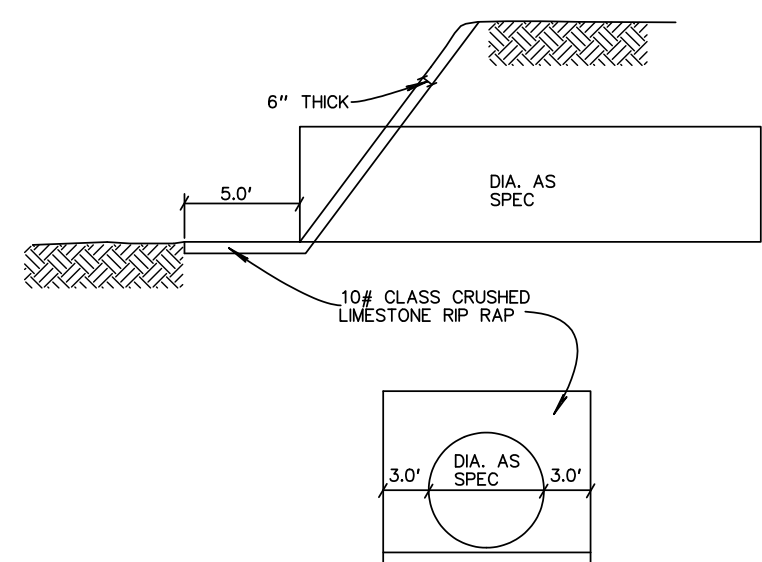
TAMMANY TRACE

*VICINITY MAP
FOR 6' WALKWAY FROM DOVE PARK RIDGE*

CULVERT SCHEDULE

SIZE	LOT NUMBERS
15in.	ALL GARDEN HOME LOTS 1 @ BOTH STREETS, 2-10, 11 @ BOTH STREETS, 12 @ BOTH STREETS, 13-22, 23 @ FRONT STREET, 26, 27, 28 @ BOTH STREETS, 29-35 36 @ BOTH STREETS, 37-39, 41 @ FRONT STREET, 42-46, 48, 49, 51, 52, 53 @ BOTH STREETS, 54 @ BOTH STREETS, 55-60 67 @ BOTH STREETS, 68-74, 78-80, 83-87, 88-91, 98-109.
18in.	23 @ SIDE STREET, 24, 25, 40, 41 @ SIDE STREET, 47 @ BOTH STREETS, 50, 61, 62-65, 66 @ BOTH STREETS 75 @ BOTH STREETS, 76, 77, 81, 82 @ BOTH STREETS 95-97, 110-112
21"	92 @ BOTH STREETS, 93, 94, 113-116
24"	117, 118, 119 @ BOTH STREETS

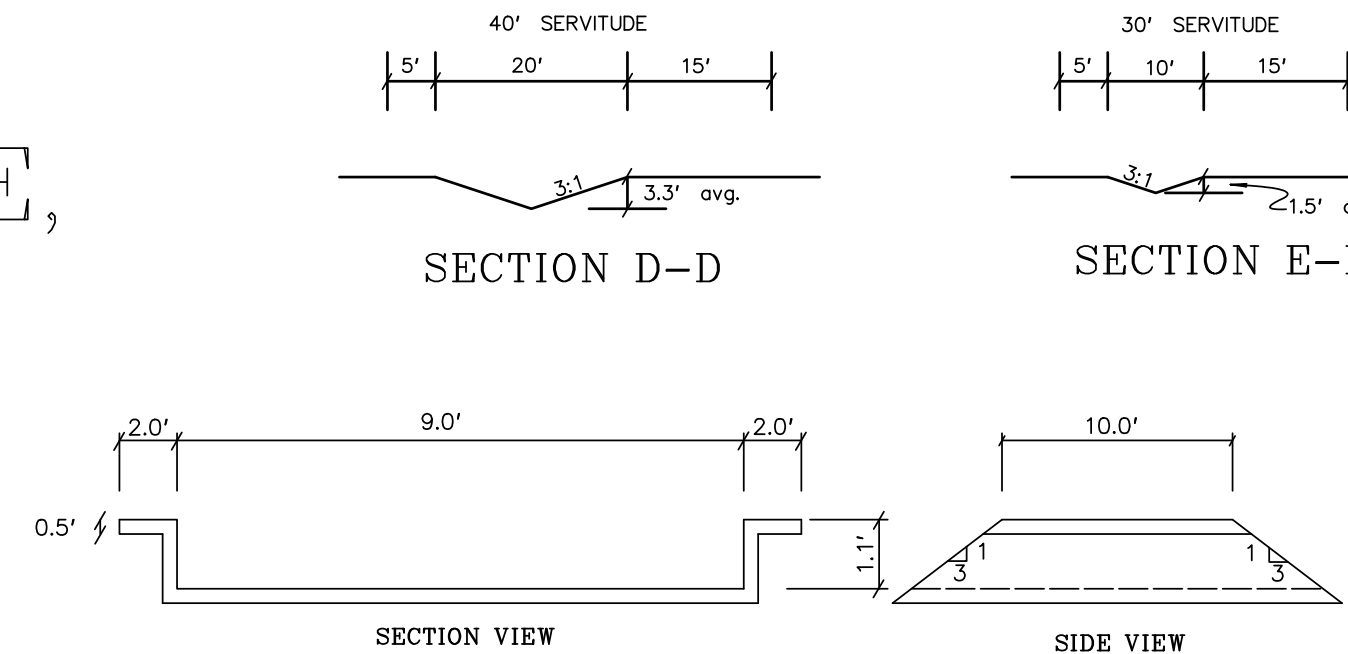
⊕ BENCHMARK-MAG NAIL IN EDGE OF PAVEMENT
ELEV. 24.45' MSL NAVD 88 (GEOID 18)



CRUSHED LIMESTONE
RIP-RAP DETAIL
(RIP-RAP AND BOTH ENDS
OF ALL CULVERTS)



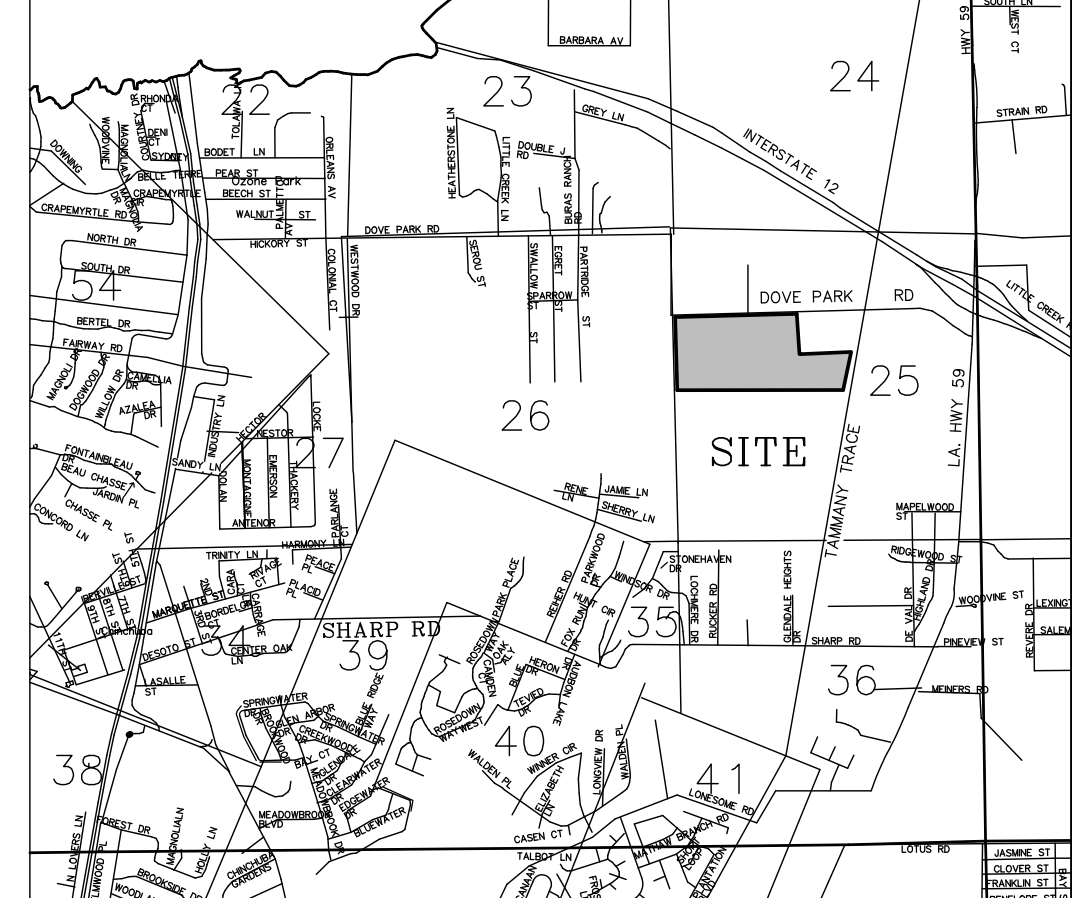
DOVE PARK RIDGE SECTION 25, T-7-S, R-11-E, ST. TAMMANY PARISH, LA.



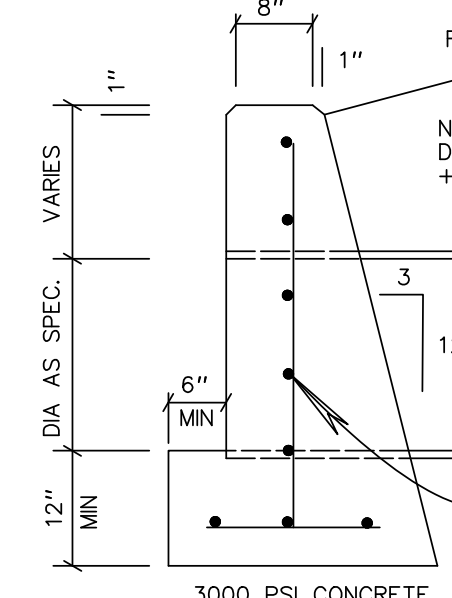
SECTION VIEW

SIDE VIEW

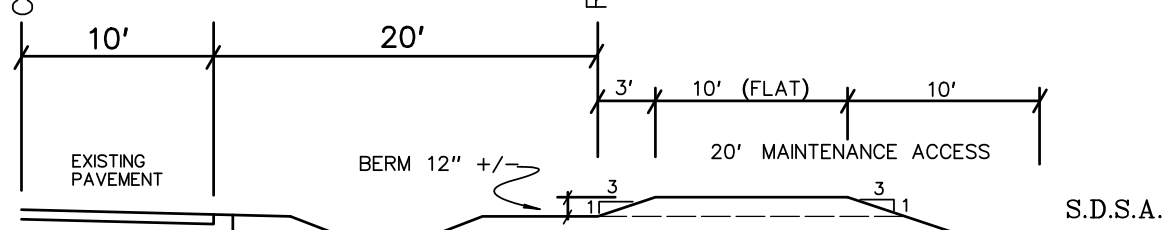
WEIR DETAIL
N.T.S.



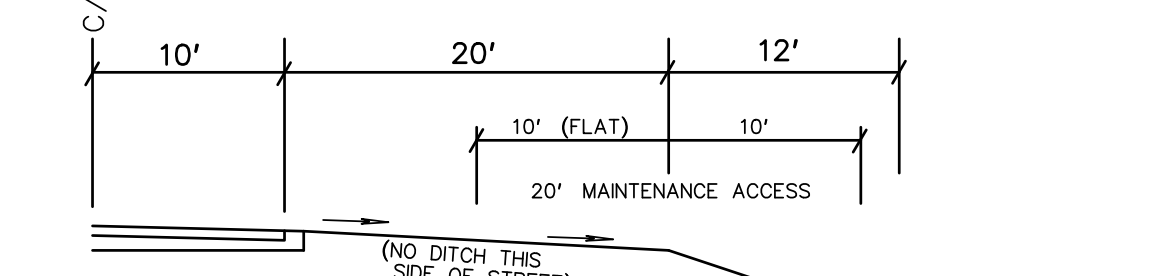
VICINITY MAP



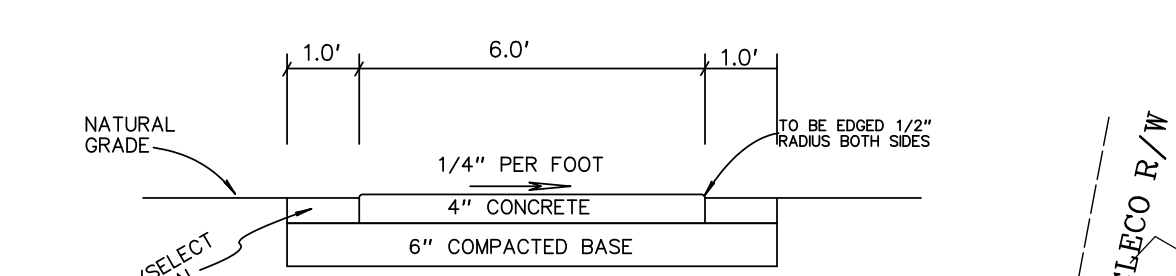
STRAIGHT
HEADWALL
DETAIL



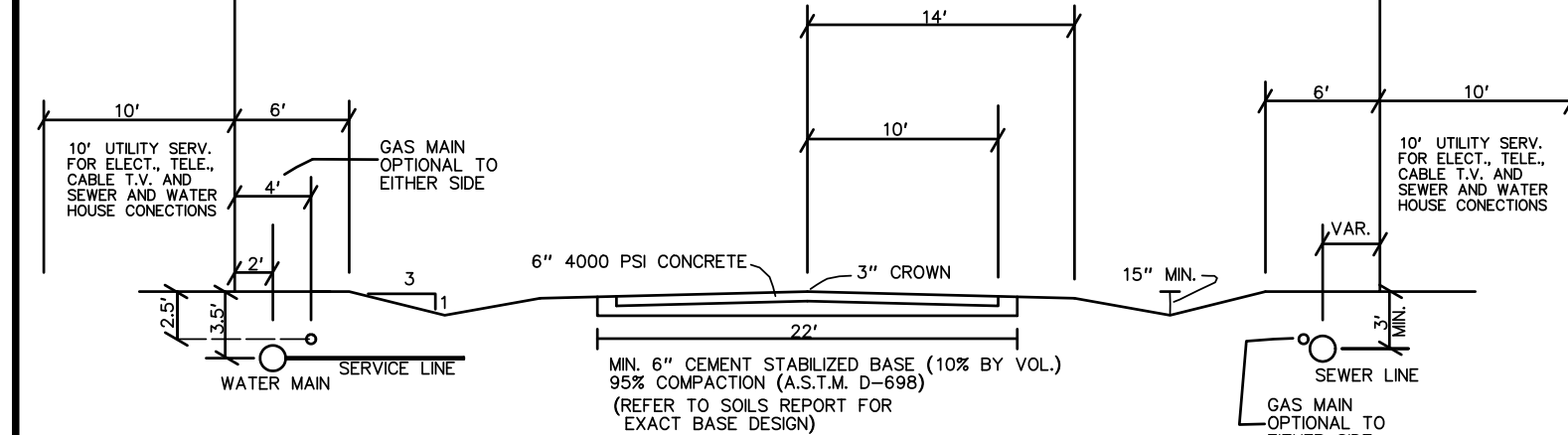
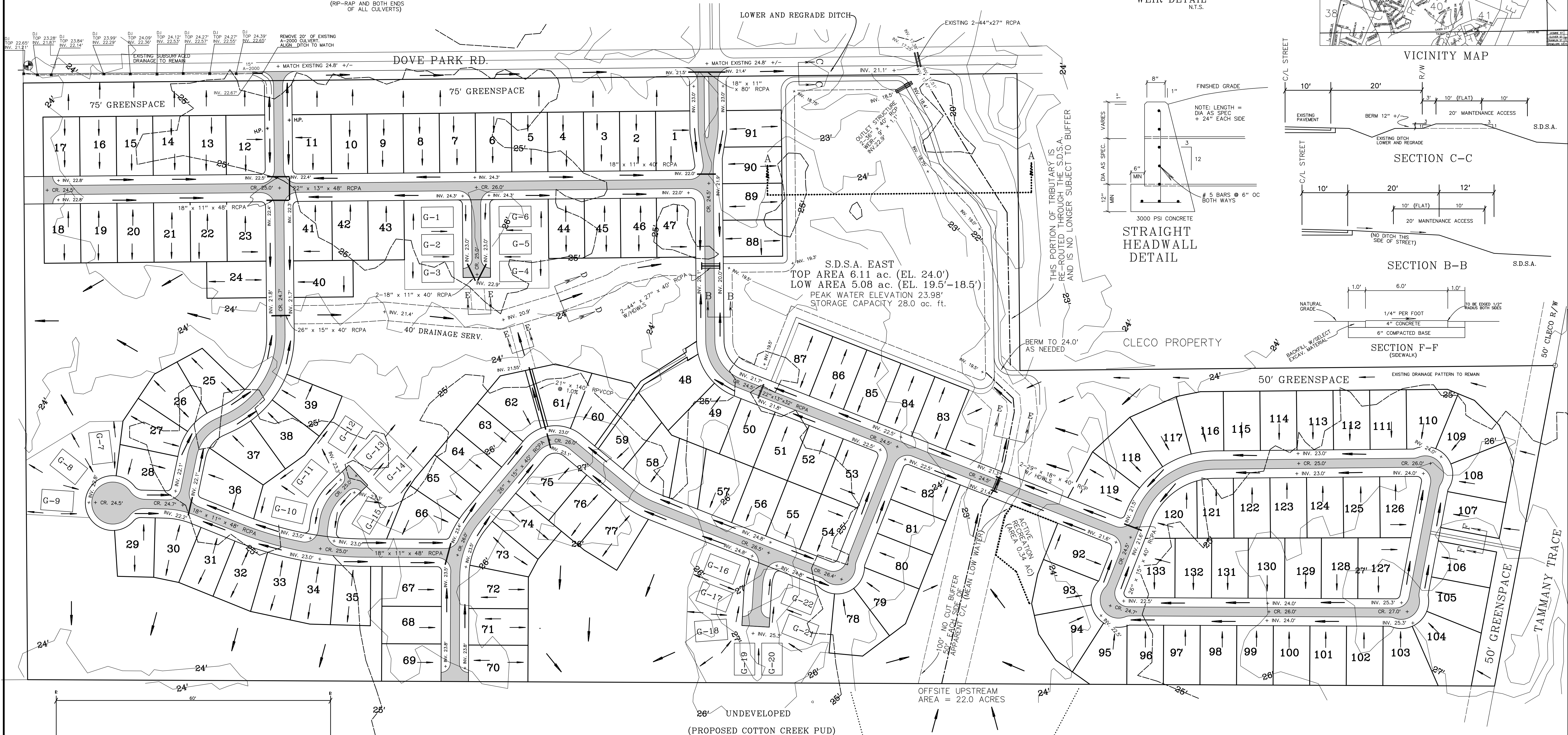
SECTION C-C



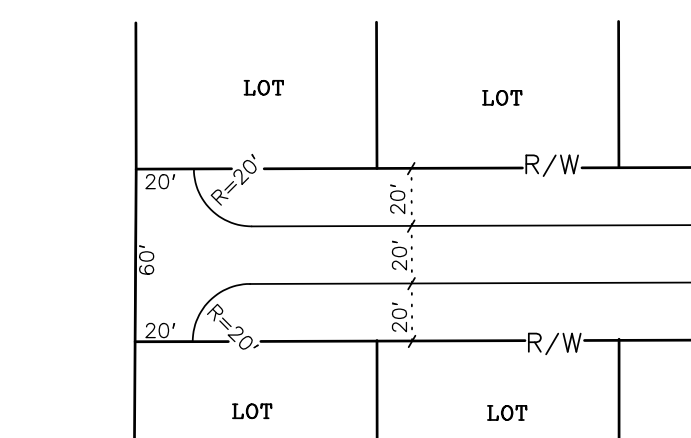
SECTION B-B



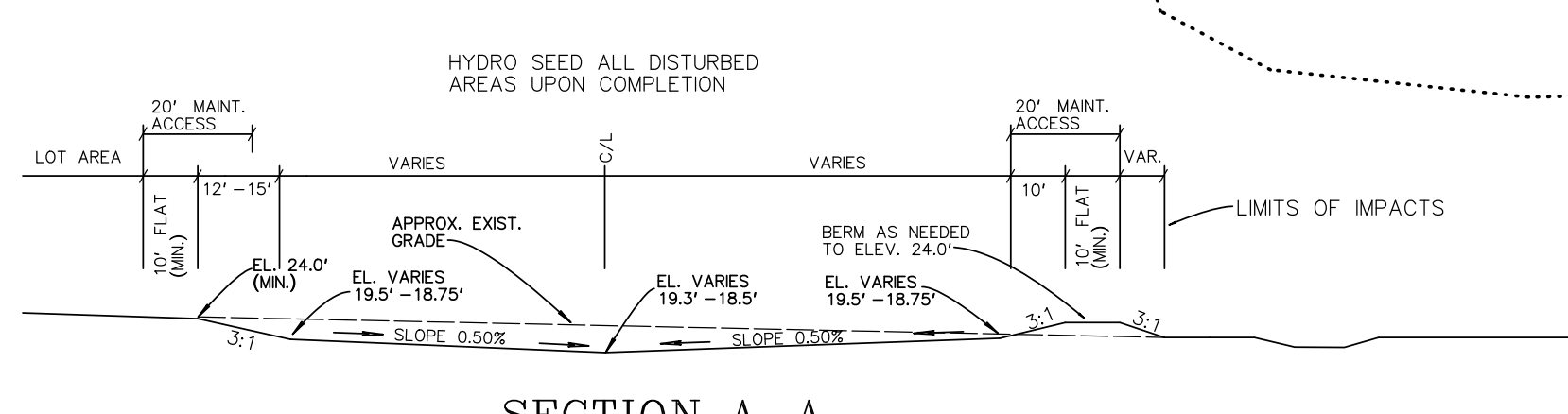
SECTION F-F
(SIDEWALK)



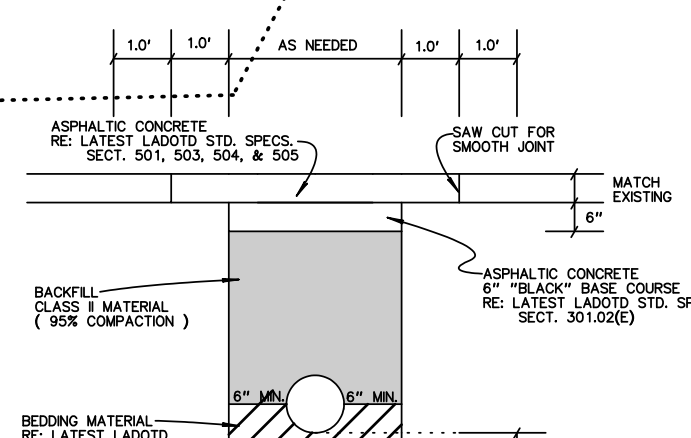
TYPICAL STREET SECTION
SCALE 1"=10'



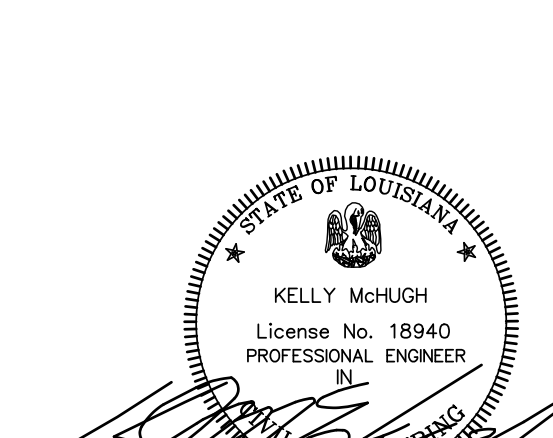
TYPICAL HAMMER HEAD
TURNAROUND DETAIL



SECTION A-A
(STORMWATER DETENTION STORAGE AREA)



CUT AND PATCH
EXISTING ASPHALT



PAVING AND DRAINAGE PLAN			
DOVE PARK RIDGE SECTION 25, T-7-S, R-11-E ST. TAMMANY PARISH, LA.			
REVISIONS		KELLY J. McHUGH & ASSOC., INC.	
DATE	DATE	CIVIL ENGINEERS & LAND SURVEYORS	
10-28-20		845 GALVEZ ST. - MANDEVILLE, LA.	
		626-5611	
		SCALE: 1" = 100'	
		DATE: 10-14-20	
		DRAWN: DRJ	
		JOB NO.: 19-164	
		CHECKED:	
		DWN. NO.:	

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MINOR SUBDIVISIONS

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MINOR SUBDIVISION STAFF ANALYSIS REPORT

(As of December 7, 2020)

Meeting Date: December 15, 2020

CASE NO.: 2020-2110-MSP

OWNER/DEVELOPER: Star Acquisitions, LLC - Vincent P. Centanni

ENGINEER/SURVEYOR: Kelly McHugh & Associates, Inc.

SECTION: 30

TOWNSHIP: 6 South

RANGE: 12 East

WARD: 10

PARISH COUNCIL DISTRICT: 6

TYPE OF DEVELOPMENT: X SUBURBAN (Residential acreage between 1-5 acres)
 RURAL (Low density residential 5 acres or more)
 OTHER (PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: North side of Prats Road, east of LA Highway 59, Abita Springs, Louisiana

SURROUNDING LAND USES: Undeveloped & Residential

TOTAL ACRES IN DEVELOPMENT: 7.35 acres

NUMBER OF LOTS/PARCELS: 1 parcel into 5 parcels: Parcel B-3 into Parcels B-3A, B-3B, B-3C, B-3D & B-3E

ZONING: A-2 Suburban Zoning District

STAFF COMMENTARY:

Department of Development – Planning & Engineering

The applicant is requesting to create five (5) parcels from Parcel B-3. The minor subdivision request requires a public hearing due to:

- Parcel B-3 was part of a minor subdivision approved in August 2018 (2018-1170-MSA).
- Parcels B-3B, B-3C, B-3D & B-3E do not have Parish Road Frontage and are proposed to be accessed via a private road.
- The proposed name of the access shall be depicted on the survey plat, and shall be granted approval by the Planning Commission. The proposed access name “Franco Road” has been submitted and approved by St. Tammany Parish Communication District.
- Requesting a waiver to construct the 35’ access servitude and the required drainage prior to building permit being issued instead of prior to plats being recorded.

The request shall be subject to the above and below comments:

1. Confirm that the calculation for the area of parcels B-3A, B-3B & B-3C are exclusive of the proposed private drive.
2. Survey is amended to include a reference to previously approved minor subdivision: 2018-1170-MSA & Ref: Plat of a Minor Sub by Kelly McHugh & Associates Inc, Filed 08/20/2018 as Map No. 5769D.
3. Amend survey as follow “~~Resubdivision~~ Minor Subdivision of Parcel B-3...”.
4. Approval of the proposed private access road name: “Franco Road”.

5. The proposed name of the access "Franco Road" shall be depicted on the survey plat.
6. Remove the note "25' Building setback".
7. Add arrows to show original boundaries of Lot B-3.
8. Submit plans of proposed "Franco Road" to the Department of Engineering for review and approval.
9. Franco Road is subject to Section 125-189 - Minimum construction standards for a private drive (listed below):
 - a. Perpetual servitude of access with a minimum width of 35 feet.
 - b. Driving surface of 20 feet in width with two-foot shoulders on each side of the drive and 5½ feet on each side of the shoulder devoted to ditching/drainage and or utilities.
 - c. Drive shall be constructed with suitable compacted subbase materials and overlaid with an aggregate material (i.e., shell, gravel, limestone, three-course treatment, asphalt, concrete, etc.) that is acceptable to the Department of Engineering.
 - d. Ditch or ditches shall be constructed on either one or both sides of a drive in accordance to standard practices adopted by the department of engineering in order to provide adequate drainage.
 - e. Plans for the construction of the private drive and drainage submitted to the Department of Engineering for review and approval prior to the initiation of work.
 - f. Final inspection of the work performed by the Department of Engineering, after the private drive has been constructed and drainage improvements made.
 - g. Once the private drive has been constructed and all drainage improvements completed and approved by the Department of Engineering, then, and only then can the minor subdivision be recorded for public record in the clerk of court's office and the lots sold or donated.

In order to approve the waivers a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 - Subdivision Regulations.

LEGEND:

- = 1/2" IRON ROD FOUND
○ = 1/2" IRON ROD SET

CURVE DATA CHART

C-1 - R=61.00' L=67.52' Ch=N 58°33'18" W 64.13'
C-2 - R=61.00' L=114.72' Ch=N 27°02'07" E 98.55'

S 89°51'14" W 1500.72'

1/4 CORNER COMMON TO
SECTIONS 29 & 30,
T-6-S, R-12-E, G.L.D.,
ST. TAMMANY PARISH, LA.

APPROVAL:

CHAIRMAN PARISH PLANNING COMMISSION

SECRETARY PARISH PLANNING COMMISSION

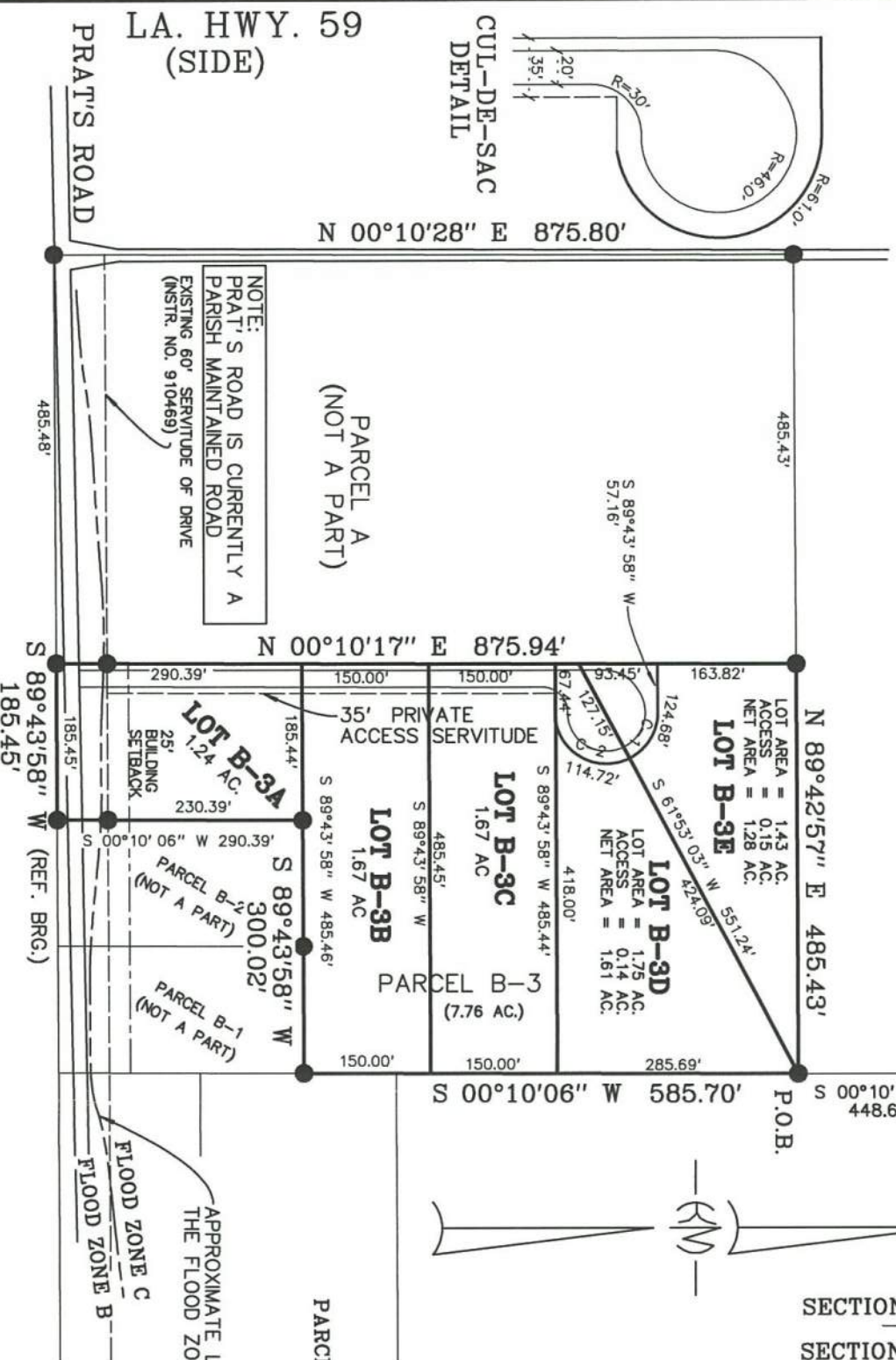
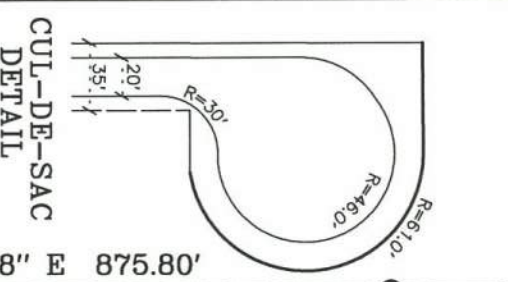
DIRECTOR OF THE DEPARTMENT OF ENGINEERING

DATE FILED FILE NO.

CLERK OF COURT

PREPARED FOR: VINCENT CENTANNI

KELLY J. McHUGH & ASSOC., INC.
CIVIL ENGINEERS & LAND SURVEYORS
845 GALVEZ ST., MANDEVILLE, LA. 626-5611



NOTE:
NO ATTORNEY HAS BEEN MADE BY KELLY McHUGH & ASSOC., INC. TO
VERIFY THE EXISTENCE OF ANY UNRECORDED EASEMENTS, RIGHTS OF WAY,
DEED RESTRICTIONS, ENCUMBRANCES, OR OTHER ENCUMBRANCES ON THE
PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT.

REFERENCE: PLAT OF A RESUBDIVISION
BY JOHN E. BONNEAU & ASSOCIATES, INC.
FILED 09-08-2008 AS MAP NO. 4719D.



CERTIFIED TO BE IN ACCORDANCE WITH A PHYSICAL
SURVEY MADE ON THE GROUND AND COMPLYING WITH THE
CURRENT APPLICABLE STANDARDS OF PRACTICE FOR A CLASS
"C" SURVEY. RED STAMP SIGNIFIES CERTIFIED PLAT.

A RESUBDIVISION OF PARCEL B-3 INTO
PARCELS B-3A, B-3B, B-3C, B-3D & B-3E
ALL IN SECTION 30, T-6-S, R-12-E,
G.L.D., ST. TAMMANY PARISH, LA.

SCALE:	1" = 200'	DATE:	10-14-20
DRAWN:	DRJ	JOB NO.:	18-230-B3 RESUB
REVISED:			

LEGEND:

● = 1/2" IRON ROD FOUND

1/4 CORNER COMMON TO
SECTIONS 29 & 30,
T-6-S, R-12-E, G.L.D.,
ST. TAMMANY PARISH, LA.

APPROVAL:

SECRETARY PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT
OF ENGINEERING

08-20-2018 5769 D
DATE FILED FILE NO.

Dy Shana Hess
CLERK OF COURT Shana Hess, Deputy Clerk

PREPARED FOR: VINCENT CENTANNI

KELLY J. McHUGH & ASSOC., INC.
CIVIL ENGINEERS & LAND SURVEYORS
845 GALVEZ ST., MANDEVILLE, LA. 626-5611

LA. HWY. 59
(SIDE)

N 00°10'28" E 875.80'

PARCEL A

(T-S 00°10' 06" W-875.80')
N 00°10'17" E 875.94'

NOTE:
PRAT'S ROAD IS CURRENTLY A
PARISH MAINTAINED ROAD
(INSTR. NO. 910469)

PRAT'S ROAD

485.48' (T-485.44')
S 89°43'58" W 970.95'
(REF. BRG.) (T-970.87')

25' BUILDING SETBACK

PARCEL B-2
(1.21 AC.)

PARCEL B-1
(1.21 AC.)

PARCEL B

PARCEL B-3
(7.35 AC.)

S 00°10'06" W 876.08'
(T-875.80')

SECTION 30
SECTION 29

APPROXIMATE LOCATION OF
THE FLOOD ZONE LINE

FLOOD ZONE C
FLOOD ZONE B

REFERENCE: PLAT OF A RESUBDIVISION
BY JOHN E. BONNEAU & ASSOCIATES, INC.
FILED 09-08-2008 AS MAP NO. 4719D.

NOTE:
NO ATTEMPT HAS BEEN MADE BY KELLY McHUGH & ASSOC., INC. TO
VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS,
RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL
ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN
THOSE FURNISHED BY THE CLIENT.

KELLY J. McHUGH
License No 4443
PROFESSIONAL

Kelly J. McHugh, REG. NO. 4443

CERTIFIED CORRECT AND IN ACCORDANCE WITH A PHYSICAL
SURVEY MADE ON THE GROUND AND COMPLYING WITH THE
CURRENT APPLICABLE STANDARDS OF PRACTICE FOR A CLASS
"C" SURVEY. RED STAMP SIGNIFIES CORRECT PLAT.

A RESUBDIVISION OF PARCEL B
INTO PARCELS B-1, B-2, & B-3,
ALL IN SECTION 30, T-6-S, R-12-E,
G.L.D., ST. TAMMANY PARISH, LA.

SCALE: 1" = 200'
DATE: 08-03-18
DRAWN: DRJ
JOB NO.: 18-230-EAST-2
REVISED: 08-08-18

- NOTES:
1. ALL NEW LOT CORNERS MARKED WITH 1/2" IRON RODS.
 2. THIS PROPERTY IS LOCATED IN FLOOD ZONES B & C, RE: FIRM PANEL NO. 225205 0235 C
- LAST REVISED 10-17-89

MINOR SUBDIVISION STAFF ANALYSIS REPORT

(As of December 7, 2020)

Meeting Date: December 15, 2020

CASE NO.: 2020-2149-MSP

OWNER/DEVELOPER: Therone Tillison & Edward L. Tillison

ENGINEER/SURVEYOR: J.V. Burkes & Associates, Inc.

SECTION: 11

TOWNSHIP: 8 South

RANGE: 14 East

WARD: 8

PARISH COUNCIL DISTRICT: 14

TYPE OF DEVELOPMENT: X SUBURBAN (Residential acreage between 1-5 acres)
 RURAL (Low density residential 5 acres or more)
 OTHER (PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: South side of James Crosby Road, west of Bolden Road, Pearl River, Louisiana

SURROUNDING LAND USES: Undeveloped & Residential

TOTAL ACRES IN DEVELOPMENT: 4.639 acres

NUMBER OF LOTS/PARCELS: 1 parcel into 2 lots: 4.639 acres into Lots 1 & 2

ZONING: A-4-A Single Family Residential Zoning District

STAFF COMMENTARY:

Department of Development – Planning & Engineering

The applicant is requesting to create two (2) lots from 4.639 acres. The minor subdivision request requires a public hearing due to:

- Lot 2 does not have public road access and is proposed to be accessed via a 35-foot access servitude.



Line Table		
Line #	Length	Direction
L9	19.68'	S02°30'18"E
L10	120.00'	S89°04'42"W
L11	120.00'	S02°30'18"E
L12	120.00'	N89°04'42"E

NOTE: BEARINGS REFER TO THE LOUISIANA STATE PLANE COORDINATE SYSTEM (LOUISIANA SOUTH 1702).

REF: A Survey by J.V. Burkes Dated 09/23/1991 Survey # 910366.

APPROVED:

CHAIRMAN OF PLANNING COMMISSION DATE

SECRETARY OF PLANNING COMMISSION DATE

DIRECTOR OF ENGINEERING DATE

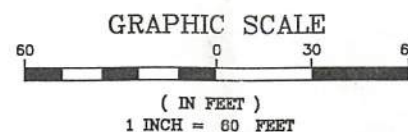
CLERK OF COURT DATE

DATE FILED FILE NO.

TOTAL AREA: 202,075 SQ. FT. OR 4.639 ACRES

P.O.B. IS REPORTED TO BE THE SW CORNER OF LOT 4 OF SECTION 11, T-8-S, R-14-E, GLD, ST. TAMMANY PARISH, LOUISIANA

P.O.B.



SCALE: 1" = 60'

DATE: 01/10/2019

DRAWN BY: VLL CHECKED BY: JDL

DWG. NO: 20180837

SHEET 1 OF 1

I certify that this plat does represent an actual ground survey and that to the best of my knowledge no encroachments exist either way across any of the property lines, except as shown. Encumbrances shown hereon are not necessarily exclusive. Encumbrances of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.

I have consulted the Flood Insurance Rate Maps and found this property is not in a Special Flood Hazard Area.

F.I.R.M.: 225205 0300 C
DATE: 10/17/1989
ZONE: C
B.F.E. = N/A

* Verify prior to construction with local governing body

A MINOR SUBDIVISION MAP OF A 4.639 AC. PARCEL INTO LOT 1 & LOT 2 LOCATED IN SECTION 11, T-8-S, R-14-E, GREENSBURG LAND DISTRICT ST. TAMMANY PARISH, LOUISIANA

Declaration is made to original purchaser of the survey. It is not transferable to additional institutions or subsequent owners. Survey is valid only if print has original seal of surveyor. Property is surveyed in accordance with the Louisiana "Standards of Practice for Property Boundary Surveys" for a Class D survey. Bearings are based on record bearings unless noted otherwise.

THERONE TILLISON

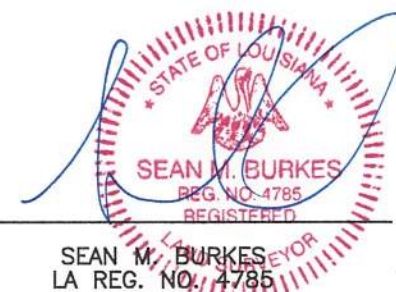
J.V. Burkes & Associates, Inc.

SURVEYING ENGINEERING • ENVIRONMENTAL



1805 Shortcut Highway
Slidell, Louisiana 70458
E-mail: jvbassoc@jvburkes.com

Phone: 985-649-0075 Fax: 985-649-0154



MINOR SUBDIVISION STAFF ANALYSIS REPORT

(As of December 7, 2020)

Meeting Date: December 15, 2020

CASE NO.: 2020-2155-MSP

OWNER/DEVELOPER: Johnsen Road Partnership in Commendam

ENGINEER/SURVEYOR: John E. Bonneau & Associates, Inc.

SECTION: 23

TOWNSHIP: 6 South

RANGE: 11 East

WARD: 3

PARISH COUNCIL DISTRICT: 2

TYPE OF DEVELOPMENT:

_____ SUBURBAN (Residential acreage between 1-5 acres)
 X RURAL (Low density residential 5 acres or more)
_____ OTHER (PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: North side of Johnsen Road, east of LA Highway 437, Covington, Louisiana

SURROUNDING LAND USES: Undeveloped & Residential

TOTAL ACRES IN DEVELOPMENT: 82.23 acres

NUMBER OF LOTS/PARCELS: Parcel 4 being 82.23 acres into Lots A1, A2, A3, A4 & A5

ZONING: A-1 Suburban Zoning District

STAFF COMMENTARY:

Department of Development – Planning & Engineering

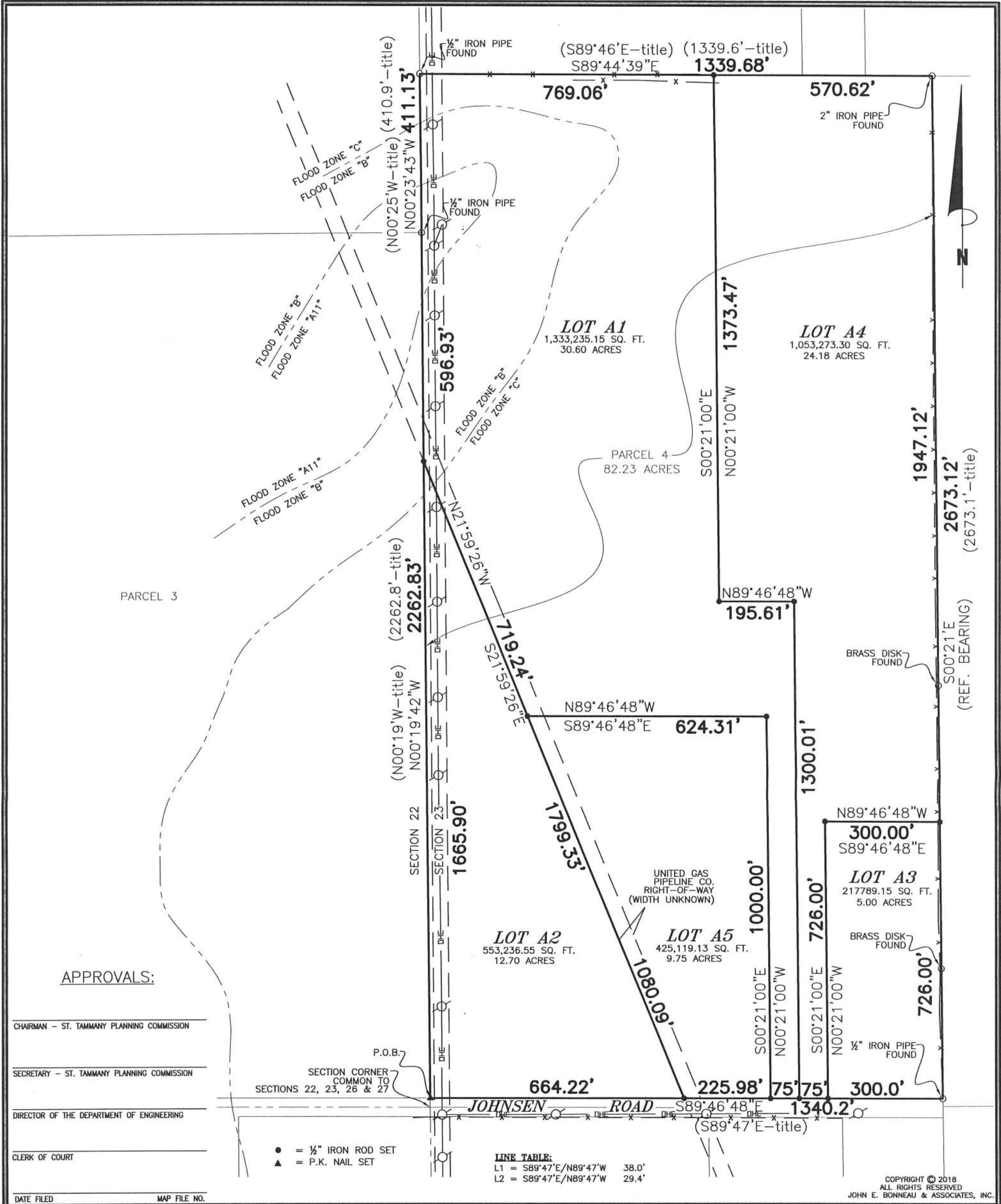
The applicant is requesting to create five (5) lots from Parcel 4 being 82.23 acres. The minor subdivision request requires a public hearing due to:

- Lot A5 does not meet the minimum lot width of 300 feet required under the A-1 Suburban Zoning District and requiring a waiver from the Planning Commission.
- The proposed name of the access depicted on the survey plat for Lot A1, shall be granted approval by the Planning Commission. The proposed access name “Milton Lane” has been submitted and approved by St. Tammany Parish Communication District.
- The proposed name of the access depicted on the survey plat for Lot A4, shall be granted approval by the Planning Commission. The proposed access name “Roswell Road” has been submitted and approved by St. Tammany Parish Communication District.
- The rear of Lot A2 does not meet the minimum width of 300 feet , as required under the A-1 Suburban Zoning District and requiring a waiver from the Planning Commission.

The request shall be subject to the above and below comments:

1. Approval of the proposed private access road names: “Milton Lane” & “Roswell Road”.

In order to approve the waivers a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 - Subdivision Regulations.



THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL; AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS "D" SURVEY.

NOTE: The P.O.B. is reported to be N00°19'W - 25' from the Section Corner common to Sections 22, 23, 26 & 27, T-6-S, R-11-E, St. Tammany Parish, Louisiana

REFERENCE SURVEYS:

1. A survey by Land Surveying, Inc. dated December 04, 1981 with number 2538.
2. The recorded subdivision map of Bogue Glen, Addition one to Magnolia Gardens, Phase two.

BASIS FOR BEARINGS: The Reference Survey 1.

FLOODZONE NOTE: This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described is located in Flood Zone(s) "C", "B" & "A11" with a Base Flood Elevation of 28' in accordance with Community Panel No. 225205 0150 C ; Revised: OCTOBER 17, 1989

A RESUBDIVISION MAP OF
PARCEL 4 BEING 82.23 ACRES AND SITUATED IN SECTION 23, T-6-S, R-11-E
into
LOTS A1, A2, A3, A4 & A5
St. Tammany Parish, Louisiana
for
JOHNSEN ROAD PARTNERSHIP IN COMMENDAM TMC REALTY, L.L.C.

Survey No. 2020 1238 Drawn by: SPH Scale: 1" = 250'
Date: JUNE 03, 2020 Revised: 10/15/20(CERT.); 11/06/20(OFFICE)

JOHN E. BONNEAU & ASSOCIATES, INC.
Professional Land Surveyors • Planners and Consultants
1011 NORTH CAUSEWAY BLVD., SUITE 34 • MANDEVILLE, LA 70471
(985)845-1012 • (985)845-1013 • FAX NO. (985)845-1778
www.JEBCOLandSurveying.com • e-mail: info@jebcosurvey.com

RESUBDIVISION REVIEW

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RESUBDIVISION STAFF ANALYSIS REPORT

(As of December 7, 2020)

Meeting Date: December 15, 2020

CASE FILE NO: 2020-2129-MRP

NAME OF SUBDIVISION: Town of Mandeville

LOTS BEING DIVIDED: Resubdivision of Lots 11-30 into lots 11A, 13A, 15A, 17A, 19A, 21A, 23A, 25A, 27A & 29A square 346B

SECTION: 44

WARD: 4

TOWNSHIP: 8 South

PARISH COUNCIL DISTRICT: 7

RANGE: 12 East

PROPERTY LOCATION: The property is on the north side of Nelson Place, on the east side of Ozone Place and on the west side of Rapatel Street, Mandeville

ZONING: A-4 Single Family Residential District

PROPERTY OWNER: SMS Holdings Company, LLC - Sean Delaney

STAFF COMMENTARY:

The owner is requesting to create 10 lots by combining a total of 20 lots.

The reason for the public hearing requirement is that the proposal involves the creation/adjustment of more than five (5) lots.

The request shall be subject to the below comments:

- As per 911 addressing, the survey should be amended to show "Nelson Street" instead of "Nelson Place".

A RESUBDIVISION MAP OF
LOTS 11-30, SQ. 346B, TOWN OF MANDEVILLE
into
LOTS 11A, 13A, 15A, 17A, 19A, 21A, 23A, 25A, 27A & 29A, SQ. 346B
situated in
Section 44, T-8-S, R-12-E
St. Tammany Parish, Louisiana
for
SMS HOLDINGS COMPANY, LLC, SEAN DELANCY, SEAN KILLEEN
AND MICHAEL DEMORAN

Survey No. 2019 441 A
Date: FEBRUARY 05, 2020
Revised: 09/16/20(office)
Scale: 1" = 50'
Drawn by: SPH
Professional Land Surveyors
JOHN E. BONNEAU & ASSOCIATES, INC.
Planners and Consultants
1011 NORTH CAUSEWAY BLVD., SUITE 34 • MANDEVILLE, LA 70471
(985)845-1012 • (985)845-1013 • FAX NO. (985)845-1778
www.JEBCOLandSurveying.com • e-mail: info@jebcosurvey.com

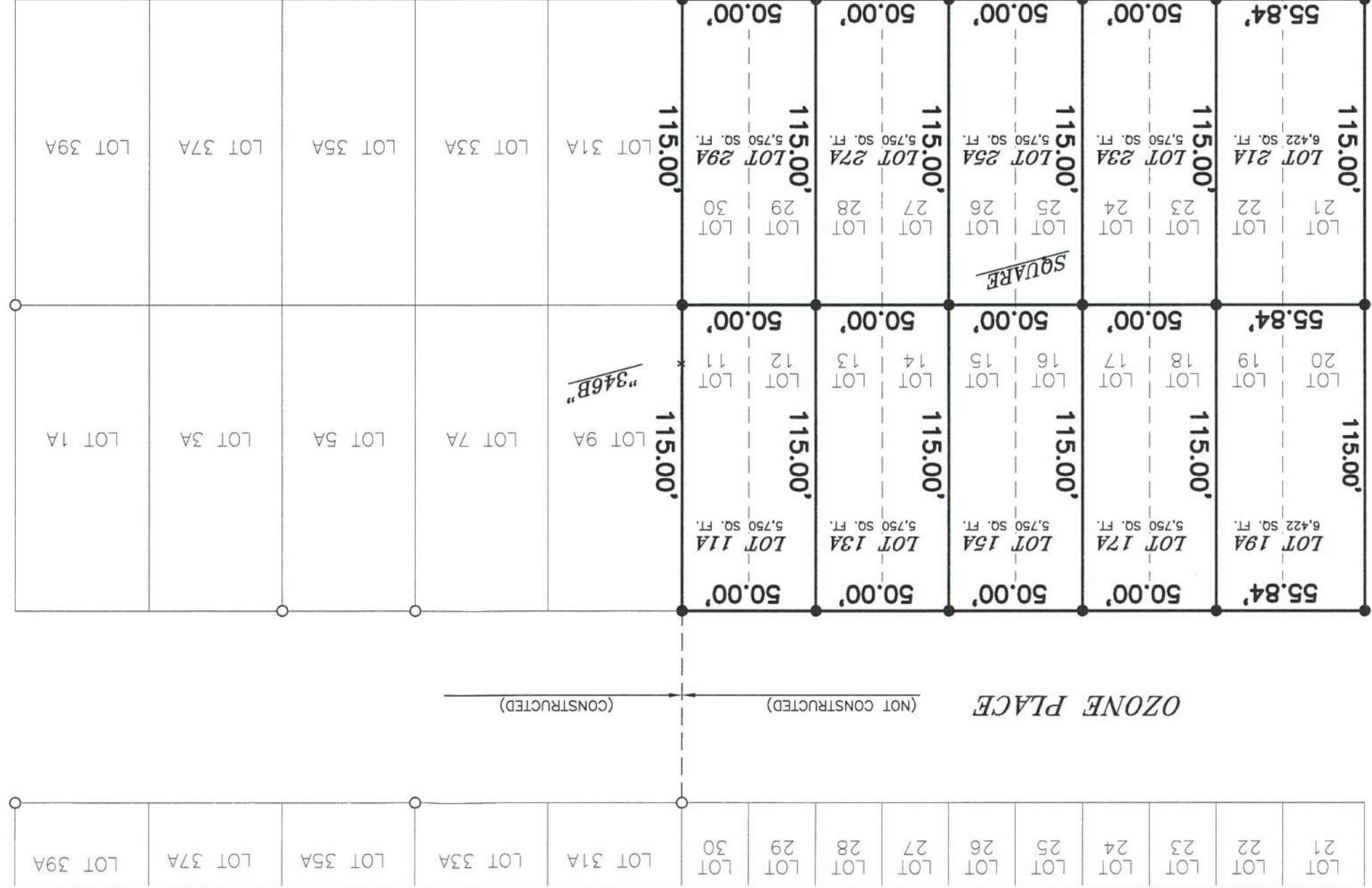
NOTE: Setback lines shall be verified by owner and/or contractor prior to any construction, as an abstract has not been performed by the undersigned.
NOTE: Servitudes shown hereon are not necessarily exclusive. Servitudes of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.
JOHN E. BONNEAU
LICENSE NO. 4423
PROFESSIONAL
This Survey is Certified True and Correct By

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL, AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS D SURVEY.

FLOODZONE NOTE: This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described is located in Flood Zone(s) "C" with a Base Flood Elevation of N/A in accordance with Community Panel No. 225205 0360 C; Revised: APRIL 2, 1991

NOTE: This is to certify that I have done an actual ground survey and found that no encroachments exist either way across any property lines except as shown.
BASIS FOR BEARINGS/ANGLES:
The Reference Survey:
A survey by Land Surveying Inc. dated 7-14-82 with number 2715.
REFERENCE SURVEY:
A survey by Land Surveying Inc. dated 7-14-82 with number 2715.
BUILDING SETBACKS:
FRONT: N/A
SIDE: N/A
SIDE STREET: N/A
REAR: N/A

ARMAND STREET
NELSON PLACE
OZONE PLACE
APPROVALS:
CHAIRMAN - ST. TAMMANY PLANNING COMMISSION
SECRETARY - ST. TAMMANY PLANNING COMMISSION
DIRECTOR OF THE DEPARTMENT OF ENGINEERING
CLERK OF COURT
DATE FILED
MAP FILE NO.
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JOHN E. BONNEAU & ASSOCIATES, INC.



RESUBDIVISION STAFF ANALYSIS REPORT

(As of December 7, 2020)

Meeting Date: December 15, 2020

CASE FILE NO: 2020-2148-MRP

NAME OF SUBDIVISION: Bushwood Estates

LOTS BEING DIVIDED: 11.32 acres of greenspace into Lots 16-A, 17-A & the remaining greenspace

SECTION: 26 & Headright 47

WARD: 5

TOWNSHIP: 5 South

PARISH COUNCIL DISTRICT: 6

RANGE: 13 East

PROPERTY LOCATION: The property is located on the east side of Kokomo Lane, west of the Pearl River Navigation Canal, Bush Louisiana.

ZONING: A-2 Suburban Zoning District

PROPERTY OWNER: Secret Cove, LLC - Robert M. & Deborah Hogan III

STAFF COMMENTARY:

The owner is requesting to create two (2) lots – Lot 16-A and Lot 17-A and remaining greenspace from 11.32 acres of greenspace. Considering that the subdivision will not exceed 25 lots, no minimum acreage of greenspace/recreation area is required to be set aside for the use of the residents.

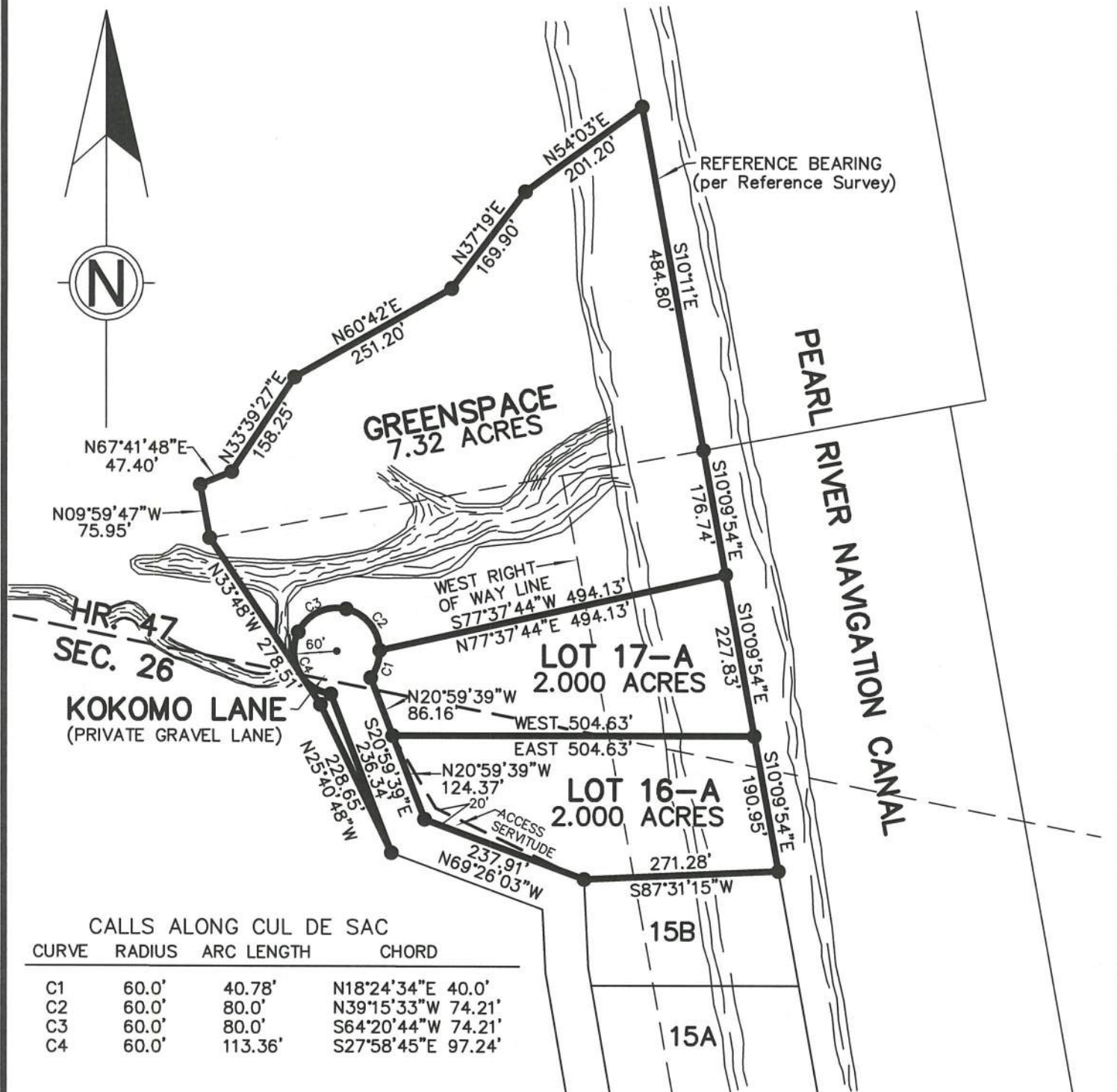
The public hearing is required considering that:

- As stated in the restrictive covenants of the approved plat, no lots shall be further resubdivided without approval from the Planning Commission.
- Lot 17-A does not meet the minimum lot width of 150 feet required under the A-2 Suburban Zoning District. The width of Parcel 17-A shall be increased to a minimum of 150 feet or requiring a waiver of the regulations by the Planning Commission.

The request shall be subject to the above & below comments:

1. Survey is amended to include a signature line for the Chairman of the Planning Commission.
2. Increase the width of proposed lot 17-A to meet the minimum lot width of 150 feet required under the A-2 Suburban Zoning District.

In order to approve the request a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 - Subdivision Regulations.



NOTE:

This property is located in Flood Zone A, per F.E.M.A. Map No. 225205 0180 B, dated March 1, 1984.

REFERENCE SURVEY:

Plat of Bushwood Estates (a re-plat) by John G. Cummings, Surveyor, dated March 21, 2016, Job No. 9709-PD, filed St. Tammany Parish Clerk of Court Map File No. 5537.

THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND/OR RESTRICTIONS HAVE BEEN SHOWN HEREON. ANY SERVITUDES AND/OR RESTRICTIONS SHOWN ON THIS PLAT ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION AND/OR INFORMATION FURNISHED THE UNDERSIGNED. A TITLE OR PUBLIC RECORD SEARCH FOR SUCH INFORMATION WAS NOT MADE BY THE UNDERSIGNED IN COMPILING DATA FOR THIS SURVEY.

APPROVAL:

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

SECRETARY OF THE PARISH PLANNING COMMISSION

CLERK OF COURT

DATE FILED

FILE NO.

(985) 892-1549

John G. Cummings and Associates
PROFESSIONAL LAND SURVEYORS

FAX (985) 892-9250

503 N. JEFFERSON AVENUE

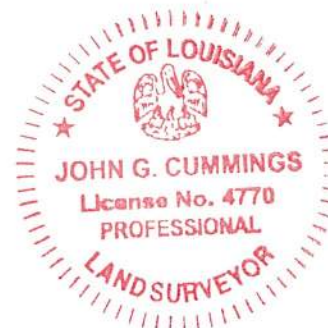
COVINGTON, LA 70433

PLAT PREPARED FOR: **Secret Cove, LLC**

SHOWING A SURVEY OF: A RESUBDIVISION OF 11.32 ACRES OF GREENSPACE INTO LOTS 16-A, 17-A, & THE REMAINING GREENSPACE, BUSHWOOD ESTATES (RE-PLAT), LOCATED IN SECTION 26 & HEADRIGHT 47, TOWNSHIP 5 SOUTH, RANGE 13 EAST, ST. TAMMANY PARISH, LOUISIANA.

THIS PLAT REPRESENTS A PHYSICAL SURVEY MADE ON THE GROUND BY ME, OR THOSE UNDER MY DIRECTION, AND IS IN ACCORDANCE WITH THE APPLICABLE STANDARDS OF PRACTICE AND BEARS A CLASS C SURVEY.

PROFESSIONAL LAND SURVEYOR



SCALE: 1" = 200'

JOB NO. 9709-2GS-RSB

DATE: 10/9/2019

REVISED:

PRELIMINARY SUBDIVISION REVIEW

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PRELIMINARY SUBDIVISION STAFF ANALYSIS REPORT
(As of December 1, 2020)

CASE NO.: 2020-2151-PP

SUBDIVISION NAME: Lakeshore Villages, Phase 12

DEVELOPER: D.R. Horton, Inc. Gulf Coast
7696 Vincent Road
Denham Springs, LA 70726

ENGINEER/SURVEYOR: Duplantis Design Group, LLC
16564 East Brewster Road
Covington, LA 70433

SECTION: 25 & 26
TOWNSHIP: 9 South
RANGE: 14 East

WARD: 9
PARISH COUNCIL DISTRICT: 13

TYPE OF DEVELOPMENT: _____ URBAN (Residential lots less than 1 acre)
_____ SUBURBAN (Residential lots between 1-5 acres)
_____ RURAL (Residential Farm Tract lots 5 acres plus)
_____ X OTHER (Multi family, commercial or industrial)(**PUD**)

GENERAL LOCATION: The property is located north of Oak Harbor Blvd., west of LA Highway 433, east of Interstate-10, Slidell, Louisiana.

TOTAL ACRES IN DEVELOPMENT: 67.65 Acres

NUMBER OF LOTS: 311 AVERAGE LOT SIZE: 6,449.46 Square Feet

SEWER AND WATER SYSTEMS: Off-site

EXISTING ZONING: PUD

FLOOD ZONE DESIGNATION: "AH - EL -3.0"

TENTATIVE APPROVAL GRANTED: November 10, 2020

STAFF COMMENTARY:

Department of Planning and Development

The Preliminary plans and hydrologic study have been reviewed by this office and an inspection was made of the site on November 24, 2020.

Planning Commission approval shall be subject to the following items being addressed:

Preliminary Plat:

1. Provide dimensions for the revised drainage servitude to the east of Lot #2488.

Water and Sewer Plan:

2. Provide written plan approval from Oak Harbor East Utilities for this phase of Lakeshore Villages.
3. Provide a water and sewer letter of capacity for this phase of Lakeshore Villages from Oak Harbor East Utilities.

Informational Items:

The developer is responsible for contacting the USPS Regional Growth Management Coordinator to verify the appropriate mail delivery location for this development.

A Letter of No Objection regarding the water and sewer improvements needs to be issued on behalf of The Department of Environmental Services for this phase of Lakeshore Villages.

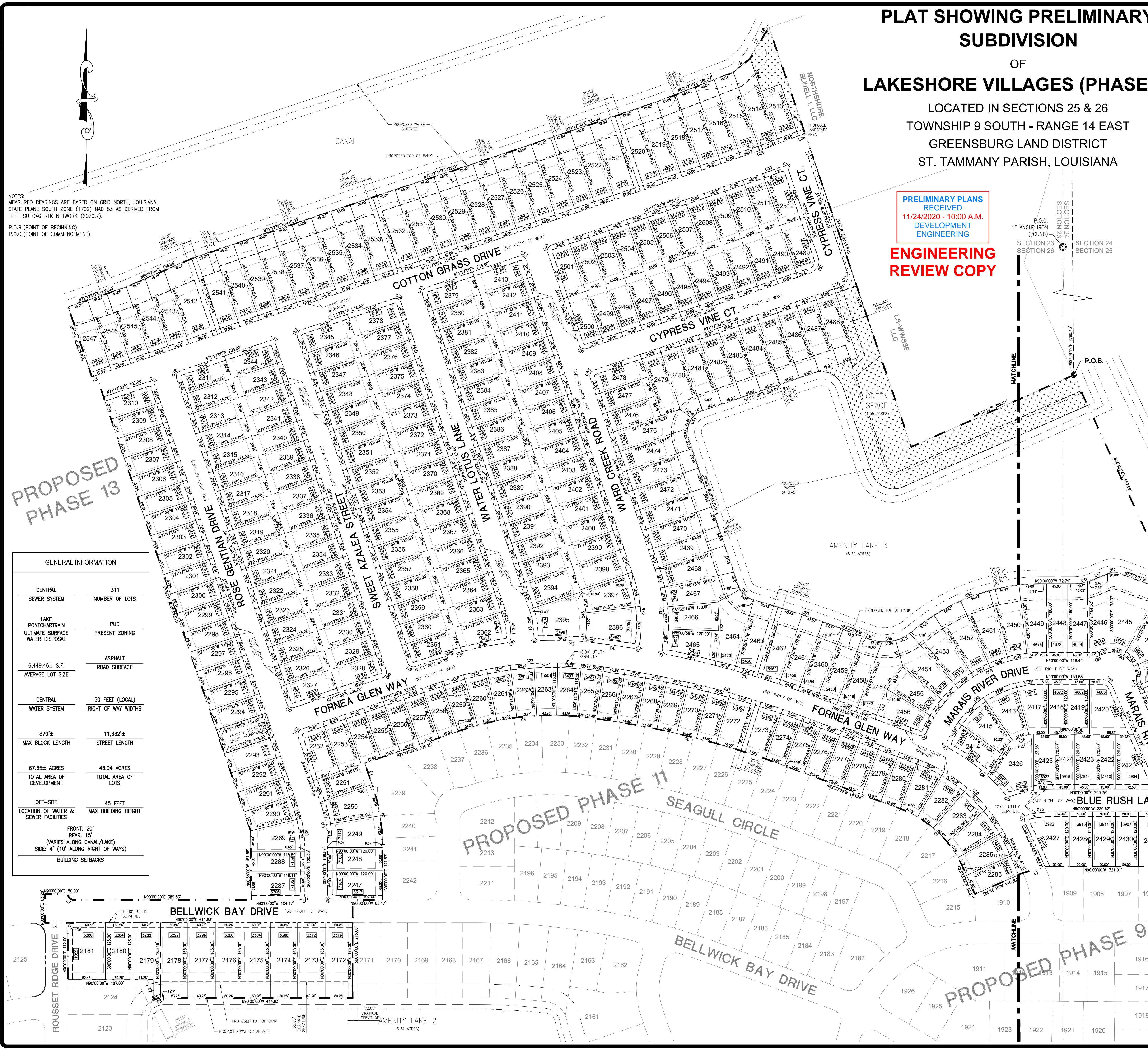
The Traffic Impact Analysis for the Lakeshore Villages Development has been updated to include Phase 12 of the development. The updated study needs to be reviewed and approved by STP and LADOTD once LADOTD roadway construction in this area has been completed.

A St. Tammany Parish stormwater agreement signed and completed by the owner or contractor will need to be submitted for this phase of Lakeshore Villages.

No funded **Maintenance Obligation** is required since this a Community Development District owned and maintained subdivision.

No Mandatory Developmental fees are required at Final Submittal in accordance with St. Tammany Code of Ordinances, Part II “Land Development Code,” Chapter 125 “Subdivision Regulations,” since a public hearing was held prior to January 1, 2005.

Revised drawings will not be accepted for review or placement in the packet prior to the December 15, 2020 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.



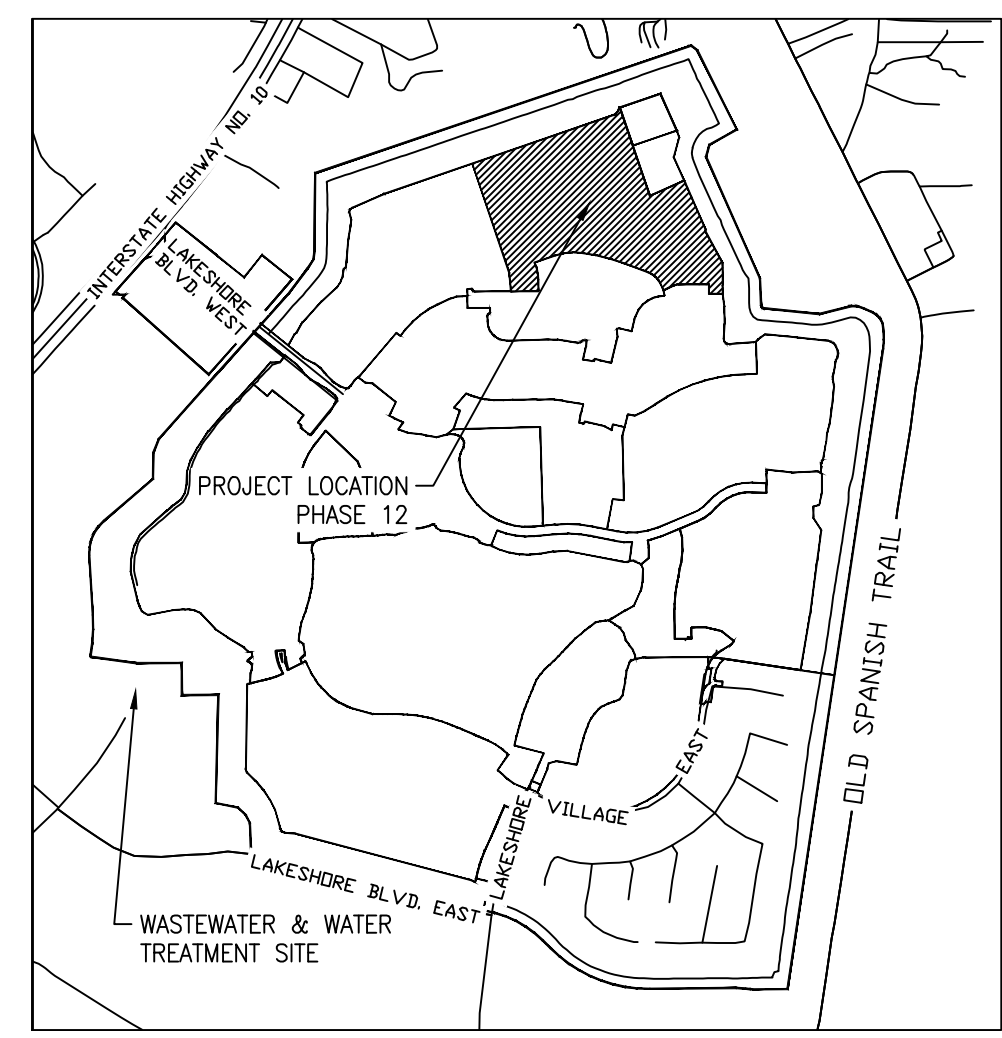
NOTES:
MEASURED BEARINGS ARE BASED ON GRID NORTH, LOUISIANA
STATE PLANE SOUTH ZONE (1703) NAD 83 AS DERIVED FROM
THE LSU CAG RTK NETWORK (2020.7).
P.O.B. (POINT OF BEGINNING)
P.O.C. (POINT OF COMMENCEMENT)

GENERAL INFORMATION	
CENTRAL SEWER SYSTEM	311 NUMBER OF LOTS
LAKE PONTCHARTRAIN ULTIMATE SURFACE WATER DISPOSAL	PUD PRESENT ZONING
6,449.46± S.F. AVERAGE LOT SIZE	ASPHALT ROAD SURFACE
CENTRAL WATER SYSTEM	50 FEET (LOCAL) RIGHT OF WAY WIDTHS
870'± MAX BLOCK LENGTH	11,632'± STREET LENGTH
67.65± ACRES TOTAL AREA OF DEVELOPMENT	46.04 ACRES TOTAL AREA OF LOTS
OFF-SITE LOCATION OF WATER & SEWER FACILITIES	45 FEET MAX BUILDING HEIGHT
BUILDING SETBACKS	
FRONT: 20' REAR: 15' (VARIES ALONG CANAL/LAKE) SIDE: 4' (10' ALONG RIGHT OF WAYS)	

PLAT SHOWING PRELIMINARY SUBDIVISION OF LAKESHORE VILLAGES (PHASE 12) LOCATED IN SECTIONS 25 & 26 TOWNSHIP 9 SOUTH - RANGE 14 EAST GREENSBURG LAND DISTRICT ST. TAMMANY PARISH, LOUISIANA

PRELIMINARY PLANS RECEIVED 11/24/2020 - 10:00 A.M. DEVELOPMENT ENGINEERING

ENGINEERING REVIEW COPY



OPEN GREEN SPACE CALCULATIONS (PHASE 12)	
OPEN/GREEN SPACE REQUIRED X 0.25 S.F. OPEN/GREEN SPACE 16.912 ACRES REQUIRED (~736,686± S.F.)	
OPEN/GREEN SPACE REQUIRED 3.062 ACRES (PHASE 3A) 2.606 ACRES (PHASE 3B) 36.493 ACRES (PHASE 4A) 1.779 ACRES (PHASE 4B) 3.863 ACRES (PHASE 5) 22.246 ACRES (PHASE 6) 5.851 ACRES (PHASE 7) 16.449 ACRES (PHASE 8) 20.285 ACRES (PHASE 9) 8.681 ACRES (PHASE 10) 6.650 ACRES (PHASE 11) 16.912 ACRES (PHASE 12)	OPEN/GREEN SPACE PROVIDED 3.318 ACRES (PHASE 3A) 0.770 ACRES (PHASE 3B) 439.779 ACRES (PHASE 4A) 1.289 ACRES (PHASE 4B) 0.657 ACRES (PHASE 5) 4.109 ACRES (PHASE 6) 5.777 ACRES (PHASE 7) 2.226 ACRES (PHASE 8) 6.040 ACRES (PHASE 9) 0.000 ACRES (PHASE 10) 5.335 ACRES (PHASE 11) 5.715 ACRES (PHASE 12) 475.015 ACRES TOTAL PROVIDED

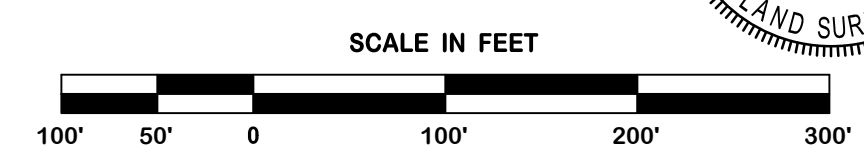
DEDICATION:
ALL STREET RIGHTS-OF-WAY SHOWN HEREON ARE NOT DEDICATED TO THE PARISH OF ST. TAMMANY BUT ARE DEDICATED TO THE PERPETUAL USE OF THE COMMUNITY DEVELOPMENT DISTRICT AND IS TO BE OWNED AND MAINTAINED BY THE COMMUNITY DEVELOPMENT DISTRICT. EASEMENTS SHALL BE RESERVED FOR DRAINAGE AND UTILITIES AS INDICATED HEREON AND NO OBSTRUCTIONS OR IMPROVEMENTS SHALL BE ALLOWED THAT WOULD PREVENT THEM FROM BEING USED FOR INTENDED USE. THE DEVELOPER OR HOMEOWNERS ASSOCIATION IS RESPONSIBLE FOR MAINTENANCE OF ALL GREEN SPACES, DRAINAGE SERVITUDES, STREET SIGNS, AND TRAFFIC CONTROL SIGNS.

APPROVALS:	
CHAIRMAN - PARISH PLANNING COMMISSION	
SECRETARY - PARISH PLANNING COMMISSION	
DIRECTOR OF DEPARTMENT OF ENGINEERING	
CLERK OF COURT	
DATE FILED	FILE NO.

(OWNER/OWNER REPRESENTATIVE)
DR HORTON, INC. - GULF COAST
7695 VINCENT ROAD
DENHAM SPRINGS, LA 70726

I CERTIFY THAT THIS PRELIMINARY PLAT REPRESENTS AN ACTUAL GROUND SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND IS NOT IN FULL COMPLIANCE WITH LA RS: 33:5051 AND THE REQUIREMENTS OF THE CURRENT LOUISIANA STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A CLASS "C" SURVEY, SINCE ALL CORNERS ARE NOT SET.

DATE OF PLAT: 11/24/2020
DENNIS L. GOWIN, P.L.S.: LA REG. NO. 4846
REGISTERED PROFESSIONAL LAND SURVEYOR



REVISION	BY
PER COMMENTS	
1	11/20/2020 BPV

DUPLANTIS DESIGN GROUP, PC
SURVEY
16564 Brewster Road, Suite 101
Covington, LA 70433
Phone: 985.249.6180 \ FAX: 985.249.6190
1308 Camellia Blvd, Suite 200
Lafayette, LA 70508
WWW.ddgpc.com

DDG
DUPLANTIS DESIGN GROUP

SUBDIVISION OF LAKESHORE VILLAGES (PHASE 12)
SLIDELL, LOUISIANA
ST. TAMMANY PARISH
FOR:
DR HORTON, INC. - GULF COAST

DRAWN BPV
CHECKED DLG
PROJECT NO. 20-398
FILE 20-398 PHASE 12 PRELIMINARY REV1
SHEET 1-2

PRELIMINARY SUBDIVISION STAFF ANALYSIS REPORT
(As of December 1, 2020)

CASE NO.: 2020-2152-PP

SUBDIVISION NAME: Lakeshore Villages, Phase 13

DEVELOPER: D.R. Horton, Inc. Gulf Coast
7696 Vincent Road
Denham Springs, LA 70726

ENGINEER/SURVEYOR: Duplantis Design Group, LLC
16564 East Brewster Road
Covington, LA 70433

SECTION: 26
TOWNSHIP: 9 South
RANGE: 14 East

WARD: 9
PARISH COUNCIL DISTRICT: 13

TYPE OF DEVELOPMENT: _____ URBAN (Residential lots less than 1 acre)
_____ SUBURBAN (Residential lots between 1-5 acres)
_____ RURAL (Residential Farm Tract lots 5 acres plus)
_____ X OTHER (Multi family, commercial or industrial)(**PUD**)

GENERAL LOCATION: The property is located north of Oak Harbor Blvd., west of LA Highway 433, east of Interstate-10, Slidell, Louisiana.

TOTAL ACRES IN DEVELOPMENT: 60.43 Acres

NUMBER OF LOTS: 244 AVERAGE LOT SIZE: 7,912.08 Square Feet

SEWER AND WATER SYSTEMS: Off-site

EXISTING ZONING: PUD

FLOOD ZONE DESIGNATION: "AH - EL -3.0"

TENTATIVE APPROVAL GRANTED: November 10, 2020

STAFF COMMENTARY:

Department of Planning and Development

The Preliminary plans and hydrologic study have been reviewed by this office and an inspection was made of the site on November 24, 2020.

Planning Commission approval shall be subject to the following items being addressed:

Water and Sewer Plan:

1. Provide written plan approval from Oak Harbor East Utilities for this phase of Lakeshore Villages.
2. Provide a water and sewer letter of capacity for this phase of Lakeshore Villages from Oak Harbor East Utilities.
3. Add a fire hydrant along Sea Breeze Drive so that the required fire hydrant spacing (maximum 500') is met.

Striping and Signage Plan:

4. Revise plans to include the required blue reflectors call-out at all fire hydrant locations as shown on the water and sewer plans.

Informational Items:

The developer is responsible for contacting the USPS Regional Growth Management Coordinator to verify the appropriate mail delivery location for this development.

A Letter of No Objection regarding the water and sewer improvements needs to be issued on behalf of The Department of Environmental Services for this phase of Lakeshore Villages.

The Traffic Impact Analysis for the Lakeshore Villages Development has been updated to include Phase 13 of the development. The updated study needs to be reviewed and approved by STP and LADOTD once LADOTD roadway construction in this area has been completed.

A St. Tammany Parish stormwater agreement signed and completed by the owner or contractor will need to be submitted for this phase of Lakeshore Villages.

No funded **Maintenance Obligation** is required since this a Community Development District owned and maintained subdivision.

No Mandatory Developmental fees are required at Final Submittal in accordance with St. Tammany Code of Ordinances, Part II "Land Development Code," Chapter 125 "Subdivision Regulations," since a public hearing was held prior to January 1, 2005.

Revised drawings will not be accepted for review or placement in the packet prior to the December 15, 2020 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.

NOTES:
MEASURED BEARINGS ARE BASED ON GRID NORTH, LOUISIANA
STATE PLANE SOUTH ZONE (1702) NAD 83 AS DERIVED FROM
THE LSU C46 RTK NETWORK (2020.7).

PARCEL CURVE DATA				
CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING & DISTANCE
C1	090°00'02"	13.00'	20.42'	N44°59'59"W - 18.38'
C2	019°37'00"	625.00'	213.98'	S76°00'20"W - 212.94'
C3	027°19'41"	935.00'	445.96'	S52°32'00"W - 441.75'
C6	036°56'21"	176.35'	113.70'	N10°20'27"E - 111.74'
C8	021°08'37"	162.39'	59.93'	N24°40'53"E - 59.59'
C10	051°44'48"	36.94'	33.36'	N15°53'57"E - 32.24'
C11	056°38'23"	44.56'	44.05'	S75°49'17"W - 42.28'
C12	041°54'50"	43.19'	31.60'	N56°37'53"W - 30.90'
C13	078°56'30"	52.65'	72.53'	S86°59'11"W - 66.93'
C17	077°47'47"	50.37'	68.39'	S20°35'16"W - 63.25'
C195	092°37'20"	25.00'	40.41'	S04°49'20"E - 36.16'
C196	083°42'05"	25.00'	36.52'	N87°00'57"E - 33.36'

CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING & DISTANCE
C197	096°17'55"	13.00'	21.85'	N02°59'03"W - 19.37'
C198	087°22'40"	13.00'	19.83'	S85°10'40"W - 17.96'
C199	092°37'20"	13.00'	21.02'	S04°49'20"E - 18.80'
C200	087°22'40"	13.00'	19.83'	S85°10'40"W - 17.96'
C201	092°37'20"	13.00'	21.02'	N04°49'20"W - 18.80'
C202	087°22'40"	13.00'	19.83'	N85°10'40"E - 17.96'
C216	090°00'09"	13.00'	20.42'	N06°07'55"W - 18.39'
C217	087°22'40"	13.00'	19.83'	S85°10'40"W - 17.96'
C218	028°57'18"	25.00'	12.63'	S30°41'16"W - 12.50'
C223	041°24'35"	25.00'	18.07'	N30°25'43"W - 17.68'
C224	041°24'35"	25.00'	18.07'	N71°50'17"W - 17.68'
C229	020°21'51"	25.00'	8.89'	N51°40'16"E - 8.84'
C234	028°57'18"	25.00'	12.63'	N02°29'09"E - 12.50'
C239	028°57'18"	25.00'	12.63'	S36°39'21"E - 12.50'
C240	080°40'08"	13.00'	18.30'	N88°31'56"E - 16.83'
C246	084°54'50"	13.00'	19.27'	N32°44'25"E - 17.55'
C247	090°00'00"	13.00'	20.42'	N63°43'00"W - 18.38'
C251	144°19'12"	75.00'	188.91'	N00°52'36"W - 142.79'
C254	005°38'55"	1170.00'	115.35'	N41°39'37"E - 115.30'
C256	095°37'05"	13.00'	21.70'	N03°19'28"W - 19.26'
C263	111°54'12"	25.00'	48.83'	S72°54'54"W - 41.43'
C268	092°37'20"	13.00'	21.02'	S04°49'20"E - 18.80'
C273	090°01'51"	13.00'	20.43'	N83°51'05"E - 18.39'
C277	090°00'00"	13.00'	20.42'	N26°17'00"E - 18.38'
C278	090°00'00"	13.00'	20.42'	N63°43'00"W - 18.38'
C279	090°00'00"	13.00'	20.42'	N26°17'00"E - 18.38'
C455	090°00'00"	13.00'	20.42'	N63°43'00"W - 18.38'
C458	090°00'00"	13.00'	20.42'	S26°17'00"W - 18.38'
C475	090°00'00"	13.00'	20.42'	S63°43'00"E - 18.38'
C478	087°21'03"	13.00'	19.82'	S43°40'32"W - 17.95'
C498	089°59'51"	13.00'	20.42'	S83°52'05"W - 18.38'
C500	089°58'09"	13.00'	20.41'	N06°08'55"W - 18.38'
C521	090°00'00"	13.00'	20.42'	S63°43'00"E - 18.38'
C523	016°41'53"	300.00'	87.43'	S10°22'03"E - 87.12'
C524	002°01'07"	300.00'	10.57'	S01°00'33"E - 10.57'
C526	144°19'12"	36.25'	91.31'	S00°52'36"E - 69.01'
C528	090°00'00"	13.00'	20.42'	N45°00'00"W - 18.38'
C534	090°00'00"	13.00'	20.42'	N26°17'00"E - 18.38'
C538	090°00'00"	13.00'	20.42'	N26°17'00"E - 18.38'
C539	090°00'00"	13.00'	20.42'	S63°43'00"E - 18.38'
C544	090°00'00"	13.00'	20.42'	S45°00'00"W - 18.38'
C546	018°43'00"	505.00'	164.97'	S09°21'30"E - 164.23'
C547	018°43'00"	555.00'	181.30'	N09°21'30"W - 180.50'
C548	018°43'00"	505.00'	164.97'	S09°21'30"E - 164.23'
C549	018°43'00"	555.00'	181.30'	N09°21'30"W - 180.50'
C551	018°43'00"	350.00'	114.33'	N09°21'30"W - 113.83'
C555	035°40'48"	125.00'	77.84'	N89°07'24"E - 76.59'
C561	035°40'48"	175.00'	108.98'	S89°07'24"W - 107.23'

PARCEL CURVE DATA				
CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING & DISTANCE
C562	051°04'27"	50.68'	45.18'	S47°02'58"E - 43.70'
C565	017°59'58"	1170.00'	367.56'	N57°11'51"E - 366.05'
C567	169°48'48"	55.00'	163.01'	N72°54'54"E - 109.57'
C568	024°31'33"	325.00'	139.12'	N29°13'34"E - 138.06'
C569	154°23'46"	55.00'	148.21'	N15°20'42"W - 107.27'
C570	154°03'58"	55.00'	147.89'	N86°45'24"W - 107.19'
C572	024°31'33"	375.00'	160.52'	S29°13'34"W - 159.30'
C574	027°19'41"	985.00'	469.81'	S52°32'00"W - 465.37'
C576	021°09'13"	675.00'	249.21'	S76°46'27"W - 247.80'
C578	005°05'10"	810.00'	71.90'	N68°44'25"E - 71.88'
C580	020°40'52"	1120.00'	404.27'	N55°51'24"E - 402.07'

LINE TABLE		
LINE	BEARING	LENGTH
L1	N71°17'00"E	10.10'
L2	N90°00'00"W	50.00'
L3	S00°00'00"E	63.28'
L4	N51°08'09"W	50.00'
L5	N51°05'35"W	20.71'
L10	N66°13'19"E	89.05'
L15	S12°02'53"W	41.50'
L16	N39°33'39"E	42.37'
L17	S58°30'19"W	13.50'
L18	N39°55'20"E	49.39'
L19	S16°21'28"E	45.32'
L20	S09°17'11"E	38.08'
L21	S00°32'35"E	16.13'
L22	S00°00'00"E	52.62'
L23	N00°00'00"E	45.80'
L24	S00°00'00"E	45.80'
L25	N00°00'00"E	33.44'
L26	S40°24'53"E	21.16'
L27	S74°55'20"E	36.42'
L28	N86°51'58"E	51.91'
L30	S83°35'48"E	14.30'
L31	N16°57'48"E	34.00'
L32	N68°34'34"W	47.43'
L33	N08°40'40"W	29.55'
L35	N34°27'10"E	50.36'
L92	N16°57'48"E	22.93'
L104	S41°29'20"W	19.04'
L105	S16°57'48"W	17.26'
L106	S00°00'00"E	34.17'
L107	S18°43'00"E	11.41'
L108	N66°11'50"E	65.34'

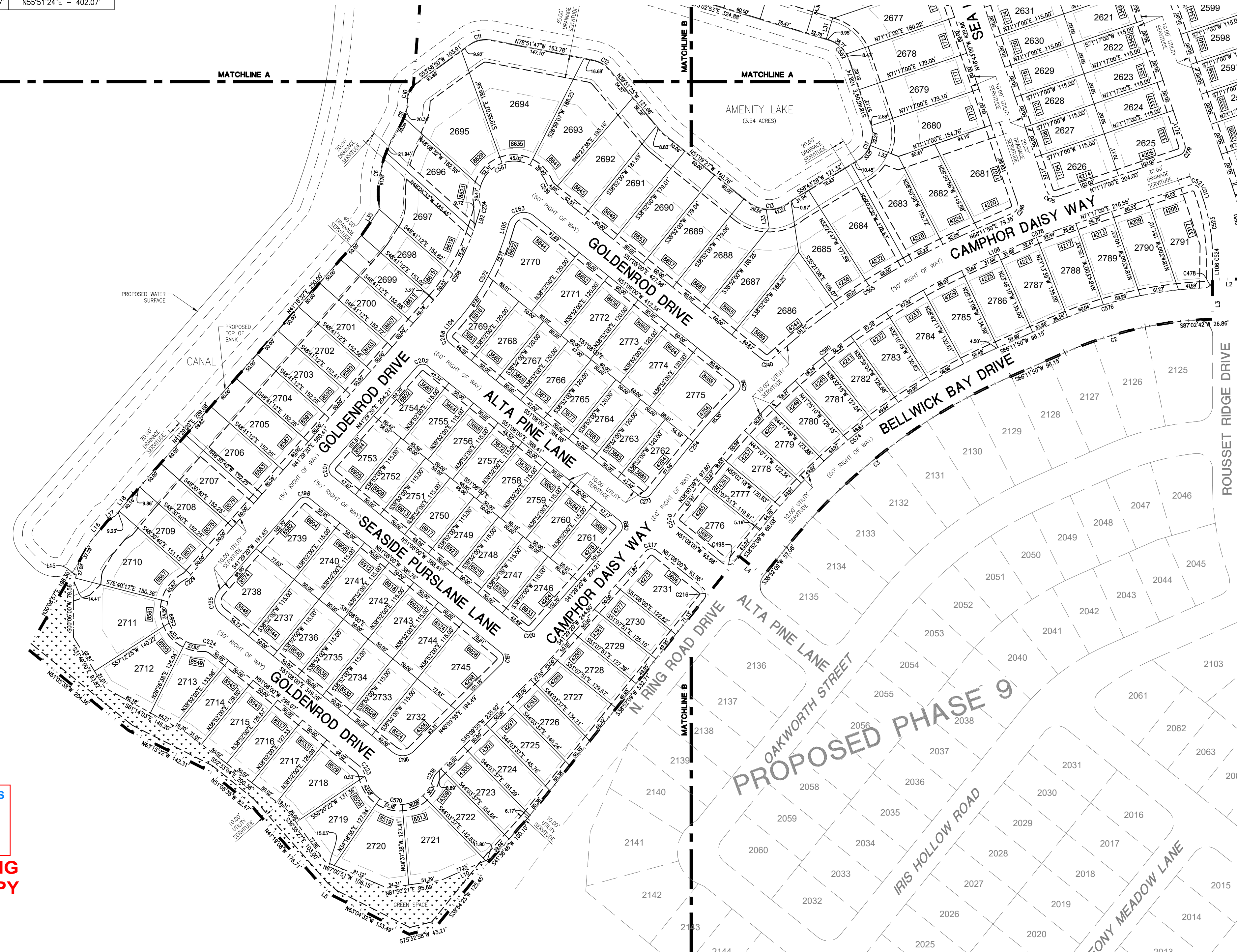
LINE	BEARING	LENGTH
L1	N71°17'00"E	10.10'
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L22	S00°00'00"E	52.62'
L23	N00°00'00"E	45.80'
L24	S00°00'00"E	45.80'
L25	N00°00'00"E	33.44'
L26	S40°24'53"E	21.16'
L27	S74°55'20"E	36.42'
L28	N86°51'58"E	51.91'
L30	S83°35'48"E	14.30'
L31	N16°57'48"E	34.00'
L32	N68°34'34"W	47.43'
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L106	S00°00'00"E	34.17'
L107	S18°43'00"E	11.41'
L108	N66°11'50"E	65.34'

LINE	BEARING	LENGTH
L1	N71°17'00"E	10.10'
L2	N90°00'00"W	50.00'
L3	S00°00'00"E	63.28'
L4	N51°08'09"W	50.00'
L5	N51°05'35"W	20.71'
L10	N66°13'19"E	89.05'
L15	S12°02'53"W	41.50'
L16	N39°33'39"E	42.37'
L17	S58°30'19"W	13.50'
L18	N39°55'20"E	49.39'
L19	S16°21'28"E	45.32'
L20	S09°17'11"E	38.08'
L21	S00°32'35"E	16.13'
L22	S00°00'00"E	52.62'
L23	N00°00'00"E	45.80'
L24	S00°00'00"E	45.80'
L25	N00°00'00"E	33.44'
L26	S40°24'53"E	21.16'
L27	S74°55'20"E	36.42'
L28	N86°51'58"E	51.91'
L30	S83°35'48"E	14.30'
L31	N16°57'48"E	34.00'
L32	N68°34'34"W	47.43'
L33	N08°40'40"W	29.55'
L35	N34°27'10"E	50.36'
L92	N16°57'48"E	22.93'
L104	S41°29'20"W	19.04'
L105	S16°57'48"W	17.26'
L106	S00°00'00"E	34.17'
L107	S18°43'00"E	11.41'
L108	N66°11'50"E	65.34'

PRELIMINARY PLANS
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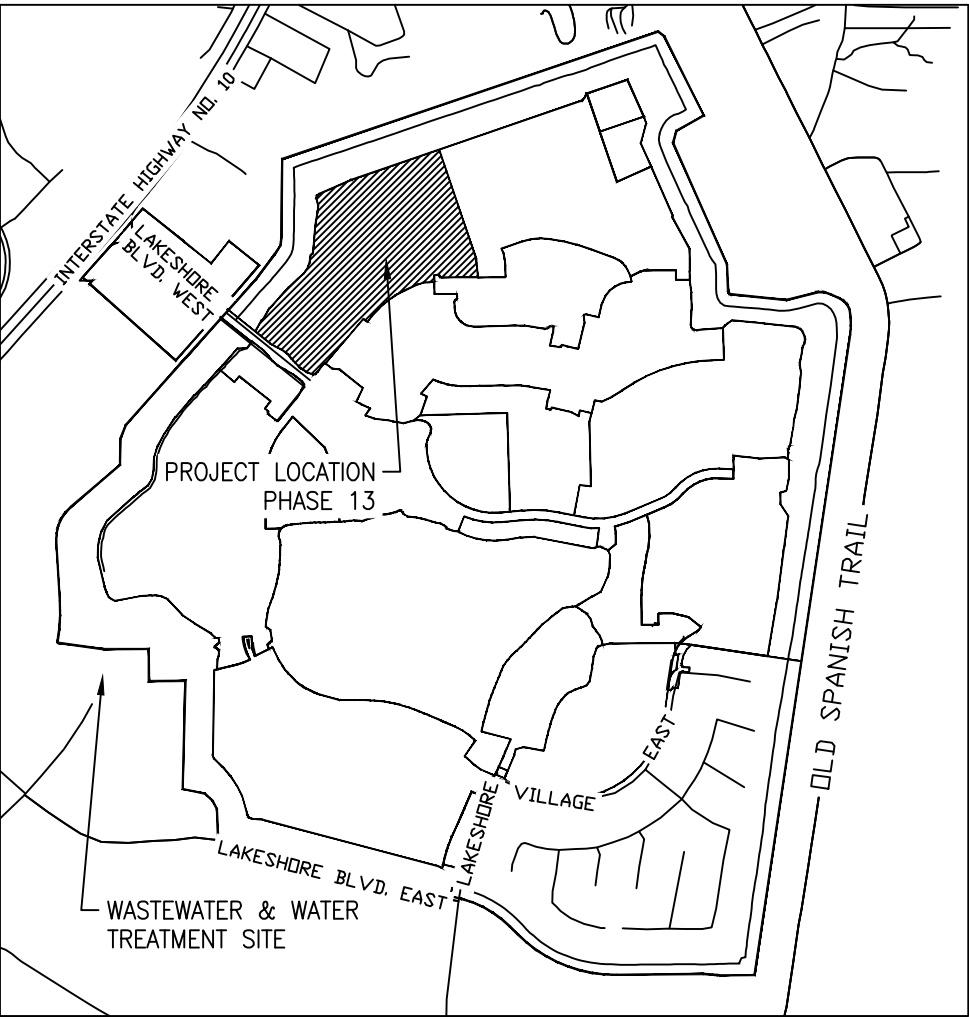
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GENERAL INFORMATION	
CENTRAL SEWER SYSTEM	244 NUMBER OF LOTS
LAKE PONTCHARTRAIN ULTIMATE SURFACE WATER DISPOSAL	PUD PRESENT ZONING
7912.08± S.F. AVERAGE LOT SIZE	ASPHALT ROAD SURFACE
CENTRAL WATER SYSTEM	50 FEET (LOCAL) RIGHT OF WAY WIDTHS
1,159'± MAX BLOCK LENGTH	10,131'± STREET LENGTH
60.43± ACRES TOTAL AREA OF DEVELOPMENT	44.32 ACRES TOTAL AREA OF LOTS
OFF-SITE LOCATION OF WATER & SEWER FACILITIES	45 FEET MAX BUILDING HEIGHT
FRONT: 20' REAR: 15' (VARIES ALONG CANAL/LAKE) SIDE: 4' (10' ALONG RIGHT OF WAYS)	
BUILDING SETBACKS	



RESTRICTIVE COVENANTS:

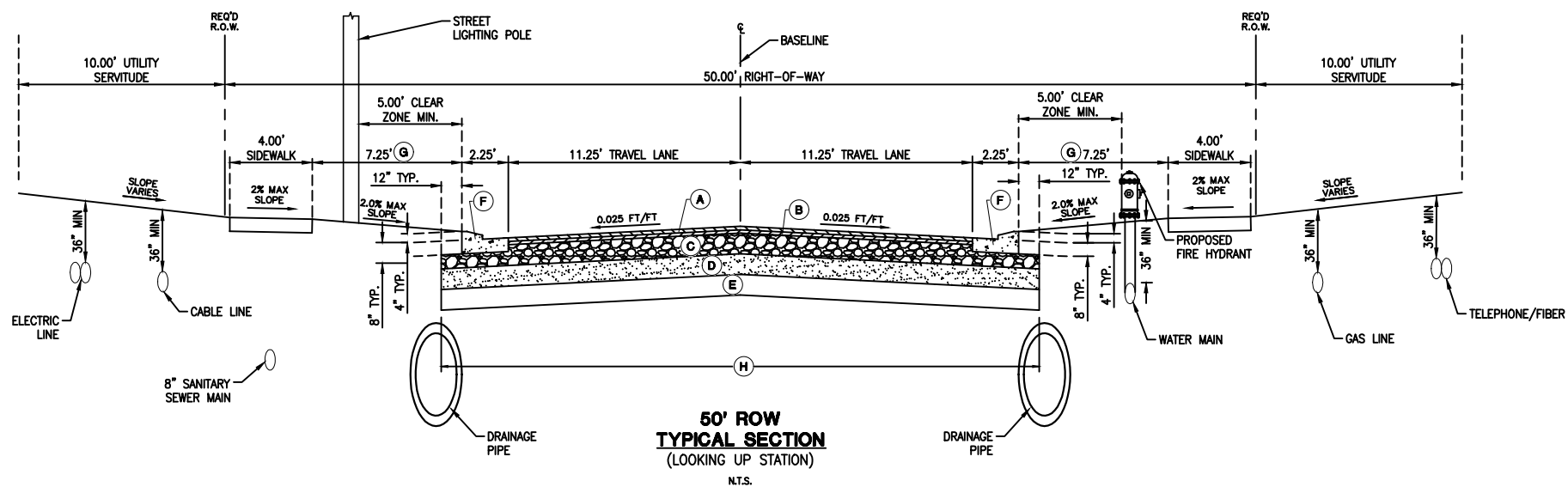
1. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED BEFORE THE SEWERAGE AND WATER SYSTEMS ARE INSTALLED AND OPERABLE OR OTHERWISE CONNECTED TO A COMMUNITY (CENTRAL) SEWERAGE AND/OR WATER SYSTEMS, ALL AS APPROVED BY THE DEPARTMENT OF ENVIRONMENTAL SERVICES OF THE PARISH. WHENEVER A SUBDIVISION IS SERVED BY A COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY), NO PRIVATE WATER SUPPLY MAY BE DRILLED OR OTHERWISE CONSTRUCTED ON ANY LOT FOR THE PURPOSE OF SUPPLYING POTABLE WATER TO ANY BUILDING OR STRUCTURE, EXCEPT FOR THE PURPOSE OF IRRIGATION, AND IN NO EVENT SHALL THERE BE A PHYSICAL CONNECTION BETWEEN ANY SUCH SOURCE AND ANY ELEMENT OF THE COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY).
2. CONSTRUCTION OF ANY NATURE IS PROHIBITED IN DRAINAGE OR STREET EASEMENTS.
3. LOTS MAY NOT BE USED FOR THE STORAGE OF TRASH OR JUNK VEHICLES.
4. THE MINIMUM FINISHED FLOOR ELEVATION FOR ALL RESIDENTIAL HOMES SHALL MEET THE LATEST ADOPTED F.L.R.M. MAP OR 1 FOOT ABOVE THE CENTERLINE OF THE ROAD, WHICHEVER IS GREATER.
5. NO LOT WILL BE FURTHER SUBDIVIDED WITHOUT APPROVAL OF THE PLANNING COMMISSION AND THE DEPARTMENT OF ENVIRONMENTAL SERVICES OF THE PARISH.
6. DRIVEWAYS ON CORNER LOTS SHALL NOT BE LOCATED ANY CLOSER THAN 60 FEET FROM A CORNER OF SAID PROPERTY CLOSEST TO THE INTERSECTION AS MEASURED FROM THE PROPERTY LINES ON THE CORNER OF THE PROPERTY WHERE THE SAID TWO STREET RIGHTS-OF-WAY INTERSECT. IF THERE ARE LOTS THAT DO NOT COMPLY WITH THIS AS FRONT-LOADED LOTS, THEY ARE TO BE SIDE-LOADED.
7. IT SHALL BE PROHIBITED FOR ANY LOT WITHIN AN APPROVED SUBDIVISION TO HAVE REAR ACCESS VIA A DRIVEWAY TO OR FROM ANY STREET OR ROAD THAT IS NOT DEDICATED WITHIN THE BOUNDARIES OF THE APPROVED SUBDIVISION PLAT.
8. THE HOME BUILDER IS RESPONSIBLE FOR THE CONSTRUCTION OF THE SIDEWALK ALONG THE LOTS.
9. THE RESIDENTS WITHIN PHASE 13 WILL HAVE THE RIGHT TO UTILIZE THE EXISTING CENTRAL LAKE LOCATED WITHIN THE LAKESHORE VILLAGES DEVELOPMENT FOR RECREATIONAL PURPOSE.
10. THE EXISTING STORMWATER DETENTION SYSTEM, INCLUDING THE CANALS, LAKES, AND PUMP STATION, ARE TO BE OWNED AND MAINTAINED BY THE COMMUNITY DEVELOPMENT DISTRICT.
11. THE AFOREMENTIONED RESTRICTIONS SHALL BE REITED IN EACH TITLE OR DEED IN ADDITION TO THE REQUIRED LISTING ON THE FINAL SUBDIVISION PLAT.



VICINITY MAP

OPEN GREEN SPACE CALCULATIONS (PHASE 13)

OPEN/GREEN SPACE REQUIRED	
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NOTES:

1. ALL PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH LADOT STANDARD SPECIFICATIONS 2016 EDITION AND/OR ST. TAMMANY PARISH SUBDIVISION REGULATION CHAPTER 125 SPECIFICATIONS; THE MORE STRINGENT STANDARD SHALL BE USED.
2. CONTRACTOR MAY UTILIZE AN ALTERNATIVE CLASS II BASE COURSE IN LIEU OF SOIL CEMENT IN AREAS WHERE SOIL CEMENT CANNOT MEET PROJECT SPECIFICATIONS. A-4 SUB-BASE SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, ST. TAMMANY PARISH CODE OF ORDINANCES, AND SUB-SECTION 1003 OF THE LSSRB. THE BASE SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY NEAR THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D-698.
3. BASED ON THE PAVEMENT SECTION DESIGN RECOMMENDATION LETTERS PREPARED BY PREMIER GEOTECH AND TESTING, THE BASE AND SUBGRADE SHALL CONSIST OF LEAN CLAYS AND SANDY LEAN CLAYS (CL) OR CLAYEY SANDS (SC) HAVING THE FOLLOWING RECOMMENDED MATERIAL PROPERTIES AND PLOTS ABOVE THE "A-LINE" ON THE PLASTICITY CHART:
 - LIQUID LIMIT: 40 MAXIMUM
 - PLASTICITY INDEX: 20 MAXIMUM
 - INERT MATERIAL (NON-EXPANSIVE)
 - FREE OF ORGANICS
 - MAXIMUM PARTICLE SIZE: 2-INCHES
4. EACH LIFT SHALL BE PLACED IN MAXIMUM LIFTS OF 8" OF LOOSE MATERIAL AND COMPACTED TO 95% STANDARD PROCTOR PER ASTM D-698.
5. THIS MATERIAL MUST BE CERTIFIED AND APPROVED BY THE OWNER'S INDEPENDENT TESTING LABORATORY AND/OR THE GEOTECHNICAL ENGINEER OF RECORD PRIOR TO ITS USE.
6. CONTRACTOR TO ENSURE ALL STREET LIGHT POLES AND FIRE HYDRANTS ARE LOCATED 5' MINIMUM BEHIND BACK OF CURB FOR LOCAL ROADS.

LEGEND:

- (A) 1-1/2" LEVEL I (PG-22M, 0.5' NOMINAL MIX) ASPHALTIC CONCRETE WEARING COURSE
- (B) 1-1/2" LEVEL I (PG-22M, 0.5' NOMINAL MIX) ASPHALTIC CONCRETE BINDER COURSE
- (C) 12" CEMENT STABILIZED BASE (10% BY VOLUME) 95% COMPACTION PER ASTM D-698 (REF. NOTE 2)
- (D) 12" COMPACTED STRUCTURAL FILL SUBBASE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. SUBBASE IS TO BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY NEAR THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D-698. (REF. NOTE 3)
- (E) PROOF ROLLED AND STABLE SUBGRADE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- (F) 4" HIGH MOUNTABLE CONCRETE CURB AND GUTTER WITH 12" GUTTER AND 15" MOUNTABLE CURB
- (G) HYDROSEED WITH STRAW OR SOD DISTURBED AREAS (WITHIN LIMITS OF CONSTRUCTION)
- (H) GENERAL EXCAVATION

PLAT SHOWING PRELIMINARY SUBDIVISION

OF
LAKESHORE VILLAGES (PHASE 13)
LOCATED IN SECTION 26
TOWNSHIP 9 SOUTH - RANGE 14 EAST
GREENSBURG LAND DISTRICT
ST. TAMMANY PARISH, LOUISIANA

BENCHMARK:

ELEVATIONS SHOWN ARE NAVD 1988 (GEOID 12B) AS DERIVED FROM GPS OBSERVATIONS USING THE LSU C4G NETWORK (2020.8).

SITE BENCHMARK #1: 60D NAIL SET IN POWER POLE LOCATED AT NORTH 632550 AND EAST 3776515, LOUISIANA STATE PLANE SOUTH ZONE.
ELEVATION: 2.53

SITE BENCHMARK #1: 60D NAIL SET IN POWER POLE LOCATED AT GRID NORTH 633409 AND EAST 3776085 OF LOUISIANA STATE PLANE SOUTH ZONE.
ELEVATION: 2.53

NOTES:

1) ZONING:
THE SUBJECT PROPERTY IS PART OF LAKESHORE VILLAGE PUD "Y" (PLANNED UNIT DEVELOPMENT), USE AREA LV-3 (SINGLE AND MULTI-FAMILY RESIDENTIAL).

2) PLATTED BUILDING SETBACKS:

FRONT: 20'
REAR: 15' (VARIES ALONG CANAL/LAKE)
SIDE: 4' (10' ALONG STREET RIGHTS OF WAY)

3) REFERENCES:

A) PLAT SHOWING PRELIMINARY SUBDIVISION OF LAKESHORE VILLAGES (PHASE 9) LOCATED IN SECTIONS 25, 26, & 35, TOWNSHIP 9 SOUTH-RANGE 14 EAST GREENSBURG LAND DISTRICT ST. TAMMANY PARISH, LOUISIANA.

B) PLAT SHOWING TENTATIVE SUBDIVISION OF LAKESHORE VILLAGES (PHASE 12) LOCATED IN SECTIONS 25 & 26, TOWNSHIP 9 SOUTH-RANGE 14 EAST GREENSBURG LAND DISTRICT ST. TAMMANY PARISH, LOUISIANA.

4) FLOOD ZONE NOTE:

SURVEYOR HAS CONSULTED THE FEMA FLOOD INSURANCE RATE MAP (F.I.R.M) FOR THIS LOCATION AND FOUND THAT THE SUBJECT PROPERTY IS IN A SPECIAL FLOOD HAZARD AREA: FLOOD ZONE: AH & "X" (SHADED)

BASE FLOOD ELEVATION: -3'

COMMUNITY PANEL NO. 225205 0535 D

MAP REVISED: APRIL 16, 2020

NOTES:

MAP REVISION IS FROM LETTER OF MAP REVISION, CASE NO. 19-06-185P, EFFECTIVE DATE APRIL 16, 2020.

CONTACT ST. TAMMANY PARISH FOR ANY ADDITIONAL ELEVATION REQUIREMENTS.

5) WETLANDS:

WETLANDS HAVE BEEN PERMITTED BY PERMIT NO. MWN 2002-1717, DATED MAY 7, 2004, MODIFIED JUNE 27, 2005 AND FEBRUARY 3, 2011.

6) LANDFILL:

SURVEYOR HAS NO KNOWLEDGE OF OR HAS OBSERVED ANY LANDFILLS ON THE SUBJECT PROPERTY.

7) GREENSPACES:

GREEN SPACES SHOWN ARE TO BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.

8) UTILITY LOCATIONS:

UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE UTILITY FEATURES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES, EXCEPT FOR ABOVE GROUND VISIBLE UTILITY FEATURES, NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES.

9) TITLE:

THE SERVITUDES AND RESTRICTIONS SHOWN HEREON ARE LIMITED TO THOSE SET FORTH IN THE INFORMATION PROVIDED TO US. THERE IS NO REPRESENTATION MADE BY THIS SURVEYOR THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN. TITLE WAS NOT RESEARCHED IN PREPARATION OF THIS SURVEY.

DEDICATION:

ALL STREET RIGHTS-OF-WAY SHOWN HEREON ARE NOT DEDICATED TO THE PARISH OF ST. TAMMANY BUT ARE DEDICATED TO THE PERPETUAL USE OF THE COMMUNITY DEVELOPMENT DISTRICT AND IS TO BE OWNED AND MAINTAINED BY THE COMMUNITY DEVELOPMENT DISTRICT. EASEMENTS SHALL BE RESERVED FOR DRAINAGE AND UTILITIES AS INDICATED HEREON AND NO OBSTRUCTIONS OR IMPROVEMENTS SHALL BE ALLOWED THAT WOULD PREVENT THEM FROM BEING USED FOR INTENDED USE. THE DEVELOPER OR HOMEOWNERS ASSOCIATION IS RESPONSIBLE FOR MAINTENANCE OF ALL GREEN SPACES, DRAINAGE SERVITUDES, STREET SIGNS, AND TRAFFIC CONTROL SIGNS.

APPROVALS:

CLERK OF COURT

DATE FILED

FILE NO.

(OWNER/OWNER REPRESENTATIVE)
DR. HORTON, INC. - GULF COAST
7896 VINCENT ROAD
DENHAM SPRINGS, LA 70726

I CERTIFY THAT THIS PRELIMINARY PLAT REPRESENTS AN ACTUAL GROUND SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND IS NOT IN FULL COMPLIANCE WITH LA RS. 33:5051 AND THE REQUIREMENTS OF THE CURRENT LOUISIANA STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A CLASS "C" SURVEY, SINCE ALL CORNERS ARE NOT SET.

DATE OF PLAT: 11/24/2020

DENNIS L. GOWIN, P.L.S.: LA REG. NO. 4846
REGISTERED PROFESSIONAL LAND SURVEYOR



REVISION	BY
PER COMMENTS	
11/20/2020	BPV

DUPLANTIS DESIGN GROUP, PC
SURVEY
15554 Brewster Road, Suite 101
Covington, LA 70433
Phone: 985.243.6180 \ FAX: 985.249.6190
1308 Camellia Blvd, Suite 200
Lafayette, LA 70508
WWW.ddgpc.com



SUBDIVISION OF LAKESHORE VILLAGES (PHASE 13)
SLIDELL, LOUISIANA
ST. TAMMANY PARISH

FOR:
DR. HORTON, INC. - GULF COAST

DRAWN
BPV
CHECKED
DLG
PROJECT NO.
20-399
FILE
20-399 PHASE 13
PRELIMINARY REV1
SHEET
2-2

FINAL SUBDIVISION REVIEW

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FINAL SUBDIVISION STAFF ANALYSIS REPORT
(As of November 30, 2020)

CASE NO.: 2020-2122-FP

SUBDIVISION NAME: Hunter's Haven, Phase 1

DEVELOPER: Favret Investments, LLC
68359 Taulla Drive
Covington, LA 70433

ENGINEER/SURVEYOR: Kelly McHugh & Associates, Inc.
845 Galvez Street
Mandeville, LA 70448

SECTION: 54
TOWNSHIP: 7 SOUTH
RANGE: 11 EAST

WARD: 4
PARISH COUNCIL DISTRICT: 4

TYPE OF DEVELOPMENT: _____ URBAN (Residential lots less than 1 acre)
 _____ SUBURBAN (Residential lots between 1-5 acres)
 _____ RURAL (Residential Farm Tract lots 5 acres plus)
 X OTHER (Multi family, commercial or industrial) (PUD)

GENERAL LOCATION: The property is located on the west side of Penn's Chapel Road, south of LA Highway 22, Mandeville, Louisiana

TOTAL ACRES IN DEVELOPMENT: 14.512 Acres

NUMBER OF LOTS: 32 AVERAGE LOT SIZE: Varies

SEWER AND WATER SYSTEMS: Central

ZONING: PUD

FLOOD ZONE DESIGNATION: "A13"

STAFF COMMENTARY:

This project was postponed for one month at the November 10, 2020 Planning Commission meeting.

Department of Planning and Development

Periodic inspections have been made by this office during construction and a confirmation final inspection was made on November 24, 2020. The inspection disclosed that all of the asphalt roads are constructed, but the roadside ditches need final grading.

The following uncompleted items existed at the time of the final inspection and will be completed before the plats are signed:

General Comments:

1. Provide a recreation/amenity plan for the “Park Area”, including a schedule on when the amenities will be installed.
2. The roadside ditch front slopes need to be reworked to provide the required slide slope. (Typical Comment)
3. The roadway cross culvert near Lots #15 & #16 needs to have erosion control measures installed on the upstream and downstream side of the culvert.

Final Plat:

4. The developer will need to contact the 911 Addressing Office to have road names and addresses verified and approved for this development.
5. Revise restrictive covenant #14 to state that the H.O.A. will be responsible to maintain the greenspace area, the park area, and all associated amenities within this phase of Hunter’s Haven.

Water & Sewer Plan:

6. Provide a letter of acceptance and responsibility for the perpetual maintenance and operation of the water and sewer systems from Tammany Utilities.

Informational Items:

The developer is responsible for contacting the USPS Regional Growth Management Coordinator to verify the appropriate mail delivery location for this development.

Should the Planning Commission approve the request for final approval, a Warranty Obligation will be required for the infrastructure in the amount of 2,000 linear feet x \$22.00 per linear foot = \$44,000.00 for a period of two (2) years.

Mandatory Developmental Fees are required as follows:

Road Impact Fee = \$1,077.00 per lot x 32 lots = \$34,464.00

Drainage Impact Fee = \$1,114.00 per lot x 32 lots = \$35,648.00

Fees are due before subdivision plats can be signed.

This subdivision **is** within the Urban Growth Boundary Line.

Revised drawings will not be accepted for review or placement in the packet prior to the December 15, 2020 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.

HUNTER'S HAVEN SUBDIVISION, PHASE 1
(FORMERLY KNOWN AS HOULTONVILLE ESTATES)
SECTION 54, TOWNSHIP 7 SOUTH, RANGE 11 EAST,
GREENSBURG LAND DISTRICT, ST. TAMMANY PARISH, LOUISIANA

Legal Description

A PARCEL OF LAND LOCATED IN SECTION 54, TOWNSHIP 7 SOUTH, RANGE 11 EAST, GREENSBURG LAND DISTRICT, ST. TAMMANY PARISH, LOUISIANA, MORE FULLY DESCRIBED AS FOLLOWS, TO-WIT:
COMMENCE AT A POINT HERETOFORE DESCRIBED AS BEING SOUTH 1,986.17 FEET, OF THE ONE-HALF (1/2) MILE POST NORTH OF THE FIFTH MILE POST BETWEEN TOWNSHIP 7 SOUTH, RANGE 10 EAST AND TOWNSHIP 7 SOUTH, RANGE 11 EAST; THENCE NORTH 37 DEGREES 39 MINUTES 07 SECONDS EAST A DISTANCE OF 1401.95 TO THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING measure
South 58°26'52" East a distance of 1,247.95 feet to a point;
Thence South 05°30'00" West a distance of 408.86 feet to a point;
Thence South 57°09'05" West a distance of 91.19 feet to a point;
Thence South 48°24'16" West a distance of 452.28 feet to a point;
Thence South 02°11'19" West a distance of 53.38 feet to a point;
Thence South 67°02'50" West a distance of 99.70 feet to a point;
Thence North 80°26'37" East a distance of 582.87 feet to a point;
Thence North 89°23'40" West a distance of 156.56 feet to a point;
Thence North 37°39'07" East a distance of 1,375.87 feet to the POINT OF BEGINNING, and containing 39.6190 acre(s) of land, more or less.

Point "A" is described as being South a distance of 1,986.17 feet, of the one-half (1/2) mile post North of the Fifth mile post between Township 7 South, Range 10 East and Township 7 South, Range 11 East; Thence North 37°39'07" East a distance of 1401.95 feet, Thence South 58°26'52" East a distance of 1,247.95 feet, Thence North 05°30'00" West a distance of 408.86 feet, Thence North 84°30'00" West a distance of 20.00 feet.

- MINIMUM RESTRICTIVE COVENANTS
- EACH LOT WILL NOT HAVE MORE THAN ONE DWELLING.
 - NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED BEFORE THE SEWERAGE AND WATER SYSTEMS ARE INSTALLED AND OPERABLE OR OTHERWISE CONNECTED TO A COMMUNITY (CENTRAL) SEWERAGE AND/OR WATER SYSTEM(S). ALL AS APPROVED BY THE ST. TAMMANY PARISH ENGINEERING DEPARTMENT.
 - THE SEWERAGE AND WATER SYSTEMS FOR THE ENTIRE SUBDIVISION IS SERVED BY A COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY). THE SEWERAGE AND WATER SYSTEMS SHALL BE INSTALLED AND OPERABLE ON ANY LOT FOR THE PURPOSE OF SUPPLYING POTABLE WATER TO ANY BUILDING OR STRUCTURE. THERE SHALL BE NO OTHER PURPOSE OF SUCH CONNECTION. THERE SHALL BE A PHYSICAL CONNECTION BETWEEN ANY SUCH SOURCE AND ANY ELEMENT OF THE SEWERAGE AND WATER SYSTEM (CENTRAL) WATER SYSTEM (SUPPLY).
 - CONSTRUCTION OF ANY NATURE, INCLUDING FENCES, IS PROHIBITED IN PARISH DRAINAGE OR STREET EASEMENTS.
 - NO NOISY OR OFFENSIVE ACTIVITY SHALL BE CARRIED ON UPON ANY LOT.
 - NOR SHALL ANYTHING BE DONE THERE ON WHICH MAY BE OR MAY BECOME AN ANNOYANCE OR NUISANCE TO THE NEIGHBORHOOD, PARTICULARLY THE USE OF LOTS AS DUMP OR JUNK CAR STORAGE.
 - THE FRONT OF EACH LOT IS SUBJECT TO A 10 FOOT EASEMENT ALONG ALL STREETS.
 - NO MOBILE HOMES WILL BE PERMITTED IN THIS SUBDIVISION.
 - NO LOT WILL BE FURTHER RESUBDIVIDED WITHOUT THE PRIOR APPROVAL OF ST. TAMMANY PARISH.
 - EACH RESIDENCE OR ESTABLISHMENT WITHIN THE SUBDIVISION SHALL SUBSIDIZE AND BE SUBJECT TO THE WATER AND SEWERAGE SERVICES PROVIDED.
 - DRIVEWAYS ON CORNER LOTS SHALL NOT BE LOCATED ANY CLOSER THAN SIXTY (60') FEET FROM THE CORNER OF SAID PROPERTY CLOSEST TO THE INTERSECTION AS MEASURED FROM THE CORNER OF THE PROPERTY WHERE THE SAID TWO STREET RIGHT-OF-WAYS INTERSECT.
 - THE MINIMUM ELEVATION FOR THE LOWEST FLOOR OF ALL RESIDENCES SHALL BE 12" ABOVE THE CROWN OF THE STREET OR 12" ABOVE CURRENT BASE FLOOD ELEVATION WHERE THE BFE IS MORE THAN 12" BELOW THE STREET CROWN.
 - NO BUILDING OR DWELLING FOR RESIDENTIAL OR BUSINESS PURPOSES SHALL EXCEED THIRTY-FIVE (35) FEET IN HEIGHT ABOVE THE NATURAL GRADE OF THE PROPERTY AT THE LOCATION OF THE STRUCTURE OR BASE FLOOD ELEVATION WHICH EVER IS HIGHER.
 - SETBACKS FOR ACCESSORY STRUCTURE, AND MAXIMUM SIZE, WHICH CAN BE 10' FROM SIDE & REAR PROPERTY LINES OR AS FOLLOWS FOR THE SMALLER LOTS: ACCESSORY BUILDINGS WITH A SIZE OF LESS THAN 5% OF THE AREA OF THE LOT ON WHICH THE MAIN BUILDING IS SITUATED MAY BE LOCATED FIVE (5) FEET FROM THE NEAREST INTERIOR SIDE & REAR LOT LINES & 25' FROM THE FRONT PROPERTY LINE, PROVIDED THE BUILDING LENGTH DOES NOT EXCEED THIRTY (30) FEET, THE BUILDING HEIGHT DOES NOT EXCEED TWENTY (20) FEET AND THE REMAINING REQUIREMENTS OF THIS SUBSECTION ARE MET. IN NO CASE CAN THE REMAINING REQUIREMENTS OF THIS SUBSECTION BE EXCEEDED.
 - THE AGREEMENTS MAINTAINED BY THE HOME OWNERS ASSOCIATION.
 - THE AGREEMENTS MAINTAINED BY THE HOME OWNERS ASSOCIATION.

DEDICATION
ALL STREET RIGHTS-OF-WAY, DRAINAGE SERVITUDES AND STREET SIGNS AS SHOWN HEREON ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER USE. EASEMENTS SHALL BE RESERVED FOR DRAINAGE & UTILITIES AS INDICATED HEREON AND NO OBSTRUCTION OR IMPROVEMENTS SHALL BE ALLOWED THAT WOULD PREVENT THEM FROM BEING USED FOR THEIR INTENDED PURPOSE.

OWNER DATE

THIS PLAN IS CERTIFIED TO CONFORM TO THE STATE OF LOUISIANA RS-33-5051 AND THE LAWS AND ORDINANCES OF ST. TAMMANY PARISH, AND CERTIFIED TO BE CORRECT AND IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED.

KELLY McHUGH
License No. 18940
PROFESSIONAL ENGINEER
N

KELLY McHUGH
License No. 4443
PROFESSIONAL SURVEYOR
N

11-18-20

14.512 ACRES	32	2000'	CENTRAL
AREA	NO. OF LOTS	LENGTH OF STREETS	SEWER SYSTEM
VARIABLES	VARIABLES	60' / 20'	CENTRAL
AVG. LOT SIZE	LOT FRONTS	STREET WIDTH	WATER SYSTEM
ASPHALT	LOT DEPTHS	PAVED ZONING	700'
ROAD SURFACE			MAX. BLDG. LENGTH

LAKE PONCHARTRAIN
ULTIMATE SURFACE WATER DISPOSAL

FOR: APPROVAL:

FAVRET INVESTMENTS, LLC
OWNER

68359 TAULLA DR.
COVINGTON LA., 70433

ADDRESS

CHAIRMAN PARISH PLANNING COMMISSION

SECRETARY PARISH PLANNING COMMISSION

DIRECTOR OF ST. TAMMANY PARISH ENGINEERING

DATE FILED FILE NO.

CLERK OF COURT

LINE	BEARING	DISTANCE
1	S 58°46' 40" W	180.79
2	S 71°17' 16" W	53.97
3	S 58°50' 4" W	15.94
4	S 84°50' 26" W	237.95
5	S 83°55' 23" W	13.04
6	N 55°13' 14" W	13.04
7	N 19°03' 57" W	205.84
8	N 08°22' 34" W	94.77
9	S 72°00' 00" W	39.26
10	S 80°11' 09" W	117.07
11	S 13°51' 36" W	54.34
12	S 72°00' 00" W	39.26
13	N 54°18' 42" W	42.59
14	N 11°56' 08" W	26.37
15	S 72°00' 00" W	13.06
16	N 45°08' 35" W	74.00
17	N 23°39' 40" W	32.95
18	N 52°54' 53" W	116.05
19	S 71°29' 30" W	43.18
20	S 51°24' 34" W	37.45
21	N 71°29' 30" W	43.18
22	N 15°26' 35" W	3.44

CURVE	RADIUS & ARC LENGTH	CHORD BEARING & DISTANCE
C1	R=60.00' L=178.84'	CH1=S 72°02' 50" W 99.70'
C2	R=35.00' L=58.95'	CH2=S 59°30' 27" W 49.91'
C3	R=120.00' L=57.64'	CH3=N 42°44' 22" E 57.09'
C4	R=60.00' L=28.62'	CH4=N 42°44' 22" E 57.09'
C5	R=175.31' L=137.07'	CH5=N 05°44' 09" E 133.60'
C6	R=60.00' L=71.48'	CH6=N 48°58' 24" W 67.32'
C7	R=120.00' L=142.93'	CH7=N 48°58' 24" W 134.65'

- NOTES:
- ALL LOT CORNERS MARKED WITH 1/2" IRON RODS
 - THERE IS A 10' UTILITY SERVITUDE ADJACENT TO AND ON THE OUTSIDE OF ALL R.O.W. LINES.
 - INDICATES MUNICIPAL ADDRESS
 - BENCHMARK = MAG NAIL SET IN C/L OF PENN'S CHAPEL RD. ELEV. = 8.75, MSL, NAVD 88, GRID 12A
 - THIS PROPERTY IS LOCATED IN FLOOD ZONE: A13
BASE FLOOD ELEV.: 11.0'. RE: FIRM PANEL NO.: 225205 0220 C
REVISED: APRIL 2, 1991
 - NO STRUCTURES SHALL BE INSTALLED NOR IMPROVEMENTS MADE WITHIN THE GREENSPACE IDENTIFIED ON THIS PLAT. THE GREENSPACE SHALL REMAIN IN ITS CURRENT CONDITION EXCEPT FOR THE REMOVAL OF DAMAGED OR DISEASED TREES AND UNDERBRUSHING
 - THE INDIVIDUAL HOME BUILDERS ARE RESPONSIBLE FOR GRADING THE LOTS TO DRAIN IN ACCORDANCE WITH THE AS BUILT DRAINAGE PLAN.

BUILDING SETBACKS

FRONT: 15' MIN.
SIDE: 7.5' MIN.
REAR: 20' MIN.
LOT 1 REAR= 50' & 75'
LOTS 2-4 REAR= 50'
LOT 8 REAR= 7.5' & 20'
LOTS 15 & 16 SIDE= 15'
LOT 20 REAR= 10' & 75'
LOT 21 REAR= 75'

OR AS SHOWN ON PLAT

SEE MINIMUM RESTRICTIVE COVENANTS NO: 13
FOR ACCESSORY BUILDINGS

FINAL PLAN

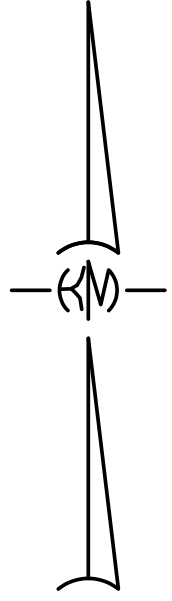
HUNTER'S HAVEN SUBDIVISION, PHASE 1
(FORMERLY KNOWN AS HOULTONVILLE ESTATES)
SECTION 54, TOWNSHIP 7 SOUTH, RANGE 11 EAST,
GREENSBURG LAND DISTRICT, ST. TAMMANY PARISH, LA.

REVISIONS		KELLY J. McHUGH & ASSOC., INC.	
DATE	DATE	CIVIL ENGINEERS & LAND SURVEYORS	
11-21-17	09-10-20	845 GALVEZ ST. - MANDEVILLE, LA.	
02-02-18	11-18-20		
07-30-18		626-5611	
08-24-18			
03-28-19			
10-23-19			
11-07-19			
SCALE: 1" = 120'		DATE: 10/05/2017	
DRAWN: ATB		JOB NO.: 16-020	
CHECKED: KJM		DWG. NO.: 16-020-SUBD	

I:\SDATA\plots\HUNTERS HAVEN (HOULTONVILLE ESTATES) FINAL PLAT

120 60 0 120 240
SCALE: 1" = 120'

VICINITY MAP



POINT OF BEGINNING

A.T. & T. SITE ENLARGEMENT

FLOOD ZONE A13 (B.F.E. 11)
FLOOD ZONE A13 (B.F.E. 12)

TYPICAL STREET SECTION

SCALE: 1"=10'

SECTION "B-B"
LOGGER'S TRAIL

SCALE: N.T.S.

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FINAL SUBDIVISION STAFF ANALYSIS REPORT
(As of November 30, 2020)

CASE NO.: 2020-2150-FP

SUBDIVISION NAME: Lakeshore Villages, Phase 7

DEVELOPER: D.R. Horton, Inc. Gulf Coast
7696 Vincent Road
Denham Springs, LA 70726

ENGINEER/SURVEYOR: Duplantis Design Group, LLC
16564 East Brewster Road
Covington, LA 70433

SECTION: 25, 26, 35 & 36
TOWNSHIP: 9 SOUTH
RANGE: 14 EAST

WARD: 9
PARISH COUNCIL DISTRICT: 13

TYPE OF DEVELOPMENT: ☐ URBAN (Residential lots less than 1 acre)
 ☐ SUBURBAN (Residential lots between 1-5 acres)
 ☐ RURAL (Residential Farm Tract lots 5 acres plus)
 ☒ OTHER (Multi family, commercial or industrial) (PUD)

GENERAL LOCATION: The property is located north of Oak Harbor Blvd., west of LA Highway 433, east of Interstate-10, Slidell, Louisiana

TOTAL ACRES IN DEVELOPMENT: 22.642 Acres

NUMBER OF LOTS: 81 AVERAGE LOT SIZE: 10,034 Square Feet

SEWER AND WATER SYSTEMS: Central

ZONING: PUD

FLOOD ZONE DESIGNATION: "AH- EL 1.0"

STAFF COMMENTARY:

Department of Planning and Development

Periodic inspections have been made by this office during construction and the final inspection was made on November 24, 2020. The inspection disclosed that all of the asphalt roads are constructed, and the subsurface drainage is functioning.

The following uncompleted items existed at the time of the final inspection and will be completed before the plats are signed:

General Comments:

1. Silt fencing needs to be installed between the pond bank and the rear of the lots in accordance with the Erosion Control Plan until a mature stand of vegetation is established along all pond banks.
2. Blue reflectors need to be installed in the vicinity of all fire hydrants.
3. Pond bank erosion and pond siltation is occurring at the subsurface pipe located between Lot #1582 and Lot #1583. The erosion issues need to be corrected and the siltation removed.
4. Erosion is occurring at the subsurface outfall pipe located within the greenspace area between Lot #1608 and Lot #1609. The erosion issues need to be corrected and erosion control measures installed.
5. Remove all references to “Preliminary Plans” from the plan set. (Typical Comment)

Final Plat:

6. The dedication statement on page 1 and page 2 of the Final Plats differ, revise the statements to be consistent and include verbal regarding the CDD owning and maintaining the auxiliary structures, drainage servitudes, greenspaces, signage, etc.
7. The as-builts provided show a section of the pond goes outside of the drainage servitude on Lots #1604 through #1607. Revise the pond bank or drainage servitude accordingly to correct this conflict.

Water & Sewer Plan:

8. Provide a water and sewer Letter of Capacity for this development from Oak Harbor East Utilities.
9. Provide a letter of acceptance and responsibility for the perpetual maintenance and operation of the water and sewer systems from Oak Harbor East Utilities.
10. Remove the fire hydrant call-out from the intersection of Lakeshore Village South and Lakeshore Village East.

Informational Items:

The developer is responsible for contacting the USPS Regional Growth Management Coordinator to verify the appropriate mail delivery location for this development.

Should the Planning Commission approve the request for Final Approval, a Warranty Obligation will be required for the infrastructure in the amount of 3,360 linear feet x \$22.00 per linear foot = \$73,920.00 for a period of two (2) years.

No Mandatory Development fees are required since a public hearing was held prior to January 1, 2005.

This subdivision **is** within the Urban Growth Boundary Line.

Revised drawings will not be accepted for review or placement in the packet prior to the December 15, 2020 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.

RESTRICTIVE COVENANTS:

- No certificate of occupancy shall be issued before the sewerage and water systems are installed and operable or otherwise connected to a community (central) sewerage and/or water system(s), all as approved by the Department of Environmental Services of St. Tammany Parish. Whenever a subdivision is served by a community (central) water system (supply), no private water supply may be drilled or otherwise constructed on any lot for the purpose of supplying potable water to any building or structure, except for the purpose of irrigation, and in no event shall there be a physical connection between any such source and any element of the community (central) water system (supply).
- Construction of any nature is prohibited in all drainage easements/servitudes, excepting auxiliary structures that are to be owned and maintained by the Community Development District.
- No noxious or offensive activity shall be carried on upon any lot, nor shall anything be done there on which may not become an annoyance or nuisance to the neighborhood, particularly the use of lots as trash or junk vehicle storage.
- The minimum elevation for the lowest floor of all residential homes shall be a minimum of 1.0' M.S.L. (NAVD88) (GEOD 09) or 1 foot above the centerline of the road, whichever is greater. This subdivision is in F.I.R.M. community panel 22520505350, Rev. 8-25-2006, and is classified as being in Flood Zone AH.
- No lot will be further subdivided without approval of the St. Tammany Planning Commission and the Department of Environmental Services of St. Tammany Parish.
- Driveways on corner lots shall not be located any closer than forty-seven (47') feet from a corner of said property closest to the intersection as measured from the property lines on the corner of the property where the said two street rights-of-way intersect. No driveway is to be allowed to directly connect to Lakeshore Village South Boulevard.
- The Community Development District will own and maintain all levees and pumps, lakes, subsurface drainage, road right of ways, and drainage servitudes.
- Only one dwelling unit per lot will be allowed.
- The maximum building height is 45 feet for single family and multi-family unit residential parcels.

NOTES:

- Zoning: (PUD Planned Unit Development)
Zoning information acquired from <http://stpgov.org/departments/planning> accessed on August 1, 2017.
Setback lines and zoning information shall be verified by the owner, developer and/or contractor prior to any construction, as an abstract has not been performed by the surveyor. Zoning and setbacks are subject to change and should be verified with the local authority's Zoning Department before any design or construction.
- Reference Maps:
A.) Survey Map Of Portions Of Sections 1, 2, 3 & 4, T10S-R14E And Portions Of Sections 25, 26, 27, 34 & 36, T9S-R14E, And All Of Sections 35, T9S-R14E, St. Tammany Parish, Louisiana, Prepared By: J.J. Krebs & Sons, Inc. Dated: February 1, 1994 Map No. E2287 - St. Tammany Parish Clerk Of Court
B.) Final Subdivision Plan Phase 1A, Lakeshore Villages, Sections 35 & 36, T9S-R14E and Sections 1 & 2, T10S-R14E, District 13, Ward 9, St. Tammany Parish, Louisiana Prepared By: Krebs, LaSalle, LeMieux Consultants, Inc. Dated: December 12, 2006 Job No. 406-0039
- Basis of Bearings:
Bearings are based on Reference Map "A"
(*) Represents the Basis of Bearings. Distances shown are U.S. Survey feet.
- Basis of Elevations:
The elevations shown hereon are based on the "North American Vertical Datum of 1988 - NAVD 88" (Geoid 12a) using GPS C4Gnet-RTN System accessed on September 14, 2016.
- Flood Note: The property hereon is located in Flood Zone "AH-EL 1" per FEMA LOMR dated August 25, 2006, for Map Community Panel Number 22520505350 for St. Tammany Parish, Louisiana dated April 2, 1991. Base Flood Elevation is subject to change and should be verified with the local authority's Flood Plain Administrator before any design or construction.
- Utilities: The underground utilities shown have been located from visible utility features, and previous construction drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. The surveyor has not physically located the underground utilities, except for above ground visible utility features. No excavations were made during the progress of this survey to locate buried utilities/structures.
- No attempt has been made by Acadia Land Surveying, L.L.C. to verify title, actual legal ownership, dead restrictions servitudes, easements, alleys, right-of-ways or other burdens on the property, other than that furnished by the client or his representative. There is no representation that all applicable servitudes and restrictions are shown hereon. The surveyor has made no title search or public record search in compiling the data for this survey.
- All wetlands have been permitted through MWN 2002-1717 dated May 7, 2004, which was most recently modified on February 3, 2011, and June 27, 2005.
- The words "Certify," "Certifies" or "Certification" as used herein is understood to be an expression of professional opinion by the surveyor, based upon his best knowledge, information, and belief, as such, it does not constitute a guarantee nor a warranty, expressed or implied.
- The surveyor has no knowledge or observed any evidence of the site used as a solid waste dump, sump or sanitary landfill.
- The community Development District will own and maintain all green spaces, street lights, traffic control signs, and signage posts.
- Site P.B.M.'s (Permanent Bench Marks):
#1 - Set Square Mark On Road Curbing As Shown.
Elevation = -1.87 feet; N.A.V.D.88; N: 628,050.515 & E: 3,777,878.891
#2 - Set Square Mark On Road Curbing As Shown.
Elevation = -2.55 feet; N.A.V.D.88; N: 628,788.206 & E: 3,778,694.596

PLAT SHOWING FINAL SUBDIVISION OF REVISED LAKESHORE VILLAGES (PHASE 7) LOCATED IN SECTION 35, TOWNSHIP 9 SOUTH - RANGE 14 EAST SLIDELL, ST. TAMMANY PARISH, LOUISIANA

SECTION CORNER

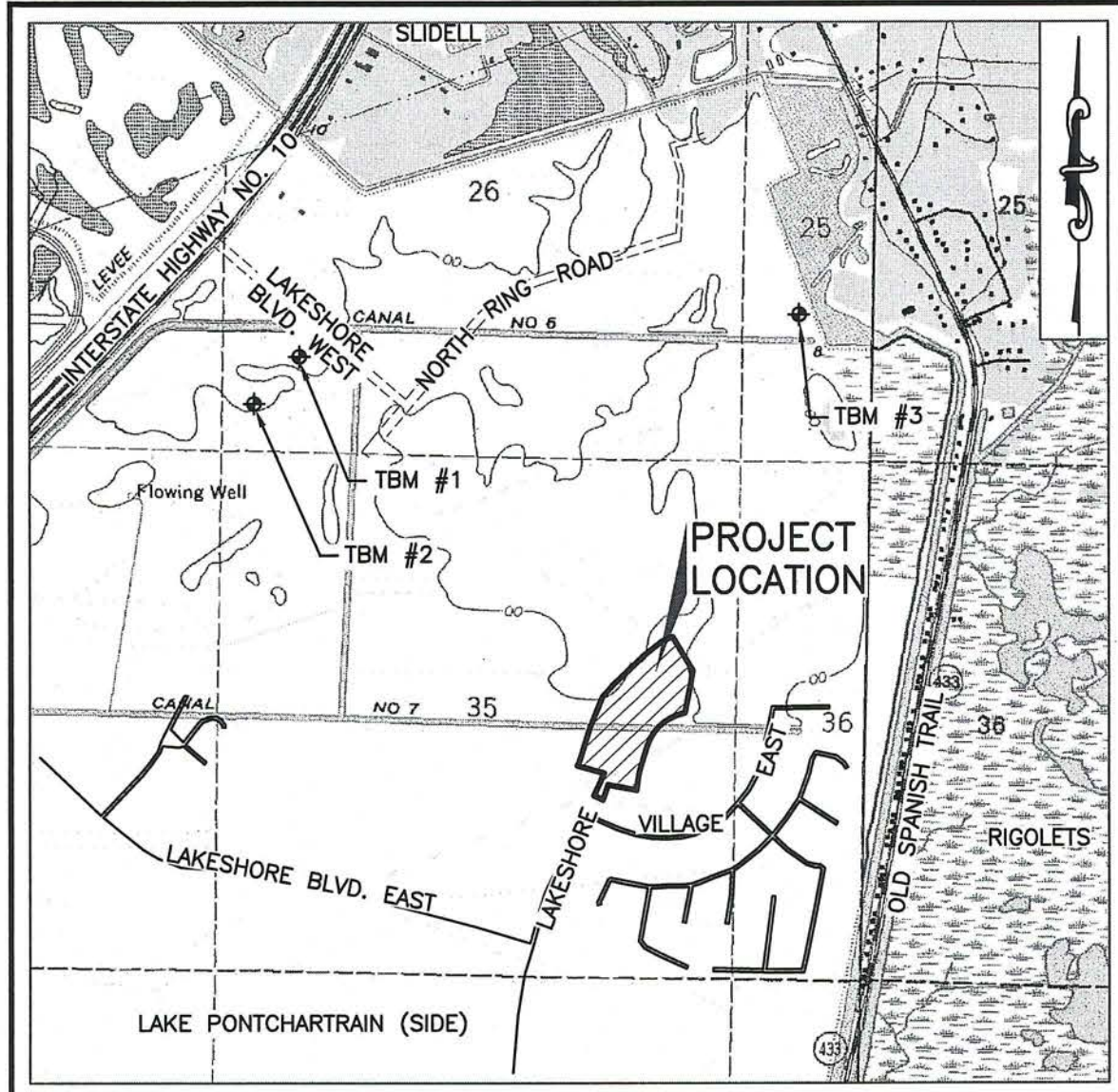
23 24
26 25

P.O.C.

P.O.B.

GENERAL INFORMATION

CENTRAL	81
SEWER SYSTEM	NUMBER OF LOTS
LAKE PONTCHARTRAIN	PUD
ULTIMATE SURFACE WATER DISPOSAL	PRESENT ZONING
10,034± S.F.	ASPHALT
AVERAGE LOT SIZE	ROAD SURFACE
CENTRAL	50 FEET (LOCAL ROAD)
WATER SYSTEM	110 FEET (BOULEVARD)
1,250± FEET	RIGHT OF WAY WIDTHS
MAX BLOCK LENGTH	STREET LENGTH
22.642± ACRES	18.659± ACRES
TOTAL AREA OF DEVELOPMENT	TOTAL AREA OF LOTS
OFF-SITE	
LOCATION OF WATER & SEWER FACILITIES	
LAKES AND CANALS CONTROLLED BY PUMP SYSTEM	
PROPOSED FORM OF DETENTION	
FRONT: 20'	
REAR: 15' (VARIES ALONG LAKE)	
SIDE: 4' (10' ALONG R.O.W.)	
BUILDING SETBACKS	



VICINITY MAP
SCALE 1" = 2000'

FINAL PLANS
RECEIVED
11/13/2020 - 8:00 A.M.
DEVELOPMENT
ENGINEERING

DEDICATION:

All street rights-of-way, signage, and sign posts as shown hereon are not dedicated to the Parish of St. Tammany but are dedicated to the perpetual use of the Community Development District and is to be owned and maintained by the Community Development District. Easements shall be reserved for drainage and utilities as indicated hereon and no obstructions or improvements shall be allowed (excepting auxiliary structures to be owned, and maintained by the Community Development District) that would prevent them from being used for intended use.

APPROVALS:

Chairman - Parish Planning Commission

Secretary - Parish Planning Commission

Director of Department of Engineering

Clerk of Court

Date Filed File No.

Dedication - Developer
D.R. Horton, Inc. - Gulf Coast
7696 Vincent Road
Denham Springs, LA 70726

(Owner/Owner Representative)
D.R. Horton, Inc. - Gulf Coast
7696 Vincent Road
Denham Springs, LA 70726

Date

SHEET 1 OF 2 (SEE SHEET 2 FOR TYPICAL SECTIONS & LEGAL DESCRIPTION)

ACADIA
LAND SURVEYING, LLC

LOUISIANA • MISSISSIPPI • TEXAS

206 EAST 2ND STREET, THIBODAUX, LOUISIANA 70301

Phone • (985) 449-0094 Fax • (985) 449-0085

EMAIL • ACADIA@ACADIALANDSURVEYING.COM

DATE	REVISION DESCRIPTION	APPROVED BY: MPB	INT.
DRAWN BY: APR	CHECKED BY: APR	APPROVED BY: MPB	INT.
FIELD BOOK: 350	FIELD WORK COMPLETED ON: TBD	ALS FILE: 2017/17-1844/17-18447 P7 Final.dwg	

SCALE: 1" = 100'
SCALE IN FEET



CERTIFICATION:

This is to certify to D.R. HORTON, INC. that this survey was done by me or under my direct supervision and control, that the survey was done on the ground and was done in accordance with the most recent Standards of Practice for Boundary Surveys as set forth by the State of Louisiana, Board of Registration for Professional Engineers and Land Surveyors and that the accuracy specification and positional tolerances are in accordance with Class 20' surveys indicated in the above standards. I also certify there are no visible encroachments across any property lines except as shown.

MICHAEL P. BLANCHARD
REGISTERED PROFESSIONAL LAND SURVEYOR
Michael P. Blanchard, P.L.S., Reg. No. 4861

This survey plat is not valid without the raised or colored seal and signature of the Registered Land Surveyor.

OPEN/GREEN SPACE CALCULATIONS (PHASE 7)

OPEN/GREEN SPACE REQUIRED
22.642 ACRES
X 0.25 S.F. OPEN/GREEN SPACE
5.661 ACRES REQUIRED
(= 246,571 ± S.F.)

OPEN/GREEN SPACE PROVIDED
3.062 ACRES (PHASE 3A)
2.608 ACRES (PHASE 3B)
38.493 ACRES (PHASE 4A)
1.779 ACRES (PHASE 4B)
3.863 ACRES (PHASE 5)
21.751 ACRES (PHASE 6)
5.681 ACRES (PHASE 7)
77.215 ACRES TOTAL OPEN/GREEN SPACE REQUIRED

OPEN/GREEN SPACE PROVIDED
3.318 ACRES (PHASE 3A)
0.770 ACRES (PHASE 3B)
439.779 ACRES (PHASE 4A)
1.289 ACRES (PHASE 4B)
0.657 ACRES (PHASE 5)
13.334 ACRES (PHASE 6)
2.856 ACRES (PHASE 7)
461.703 ACRES TOTAL PROVIDED

*Typical Cross Sections & Details Provided By Duplantis Design Group, P.C.

NOTES:

- ALL PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH LADOTD STANDARD SPECIFICATIONS 2016 EDITION AND/OR ST. TAMMANY PARISH SUBDIVISION REGULATION CHAPTER 125 SPECIFICATIONS; THE MORE STRINGENT STANDARD SHALL BE USED.
- CONTRACTOR MAY UTILIZE 12" A-4 SUB-BASE IN LIEU OF SOIL CEMENT IN AREAS WHERE SOIL CEMENT CANNOT MEET PROJECT SPECIFICATIONS. A-4 SUB-BASE SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, ST. TAMMANY PARISH CODE OF ORDINANCES, AND SUB-SECTION 100.3 OF THE LSSRB. THE BASE SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY NEAR THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D-698.
- BASED ON THE GEOTECHNICAL REPORT PREPARED BY PREMIER GEOTECH AND TESTING DATED JULY 10, 2019 AND PAVEMENT SECTION DESIGN RECOMMENDATION LETTER DATED JANUARY 29, 2020, THE BASE AND SUBGRADE SHALL CONSIST OF LEAN CLAYS AND SANDY LEAN CLAYS (CL) OR CLAYEY SANDS (SC) HAVING THE FOLLOWING RECOMMENDED MATERIAL PROPERTIES AND PLOTS ABOVE THE "A-LINE" ON THE PLASTICITY CHART:
 - LIQUID LIMIT: 40 MAXIMUM
 - PLASTICITY INDEX: 20 MAXIMUM
 - INERT MATERIAL (NON-EXPANSIVE)
 - FREE OF ORGANICS
 - MAXIMUM PARTICLE SIZE: 2-INCHES

EACH LIFT SHALL BE PLACED IN MAXIMUM LIFTS OF 8" OF LOOSE MATERIAL AND COMPACTED TO 95% STANDARD PROCTOR PER ASTM D-698.

THIS MATERIAL MUST BE CERTIFIED AND APPROVED BY THE OWNER'S INDEPENDENT TESTING LABORATORY AND/OR THE GEOTECHNICAL ENGINEER OF RECORD PRIOR TO ITS USE.

- CONTRACTOR TO ENSURE ALL STREET LIGHT POLES AND FIRE HYDRANTS ARE LOCATED 5' MINIMUM BEHIND BACK OF CURB FOR LOCAL ROADS.

LEGEND:

- (A) 1-1/2" ASPHALTIC CONCRETE WEARING COURSE (TYPE III)
- (B) 1-1/2" ASPHALTIC CONCRETE BINDER COURSE (TYPE III)
- (C) 12" CEMENT STABILIZED BASE (10% BY VOLUME) 95% COMPACTION PER ASTM D-698 (REF. NOTE 2)
- (D) 12" COMPACTED STRUCTURAL FILL SUBBASE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. SUBBASE IS TO BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY NEAR THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D-698. (REF. NOTE 3)
- (E) PROOF ROLLED AND STABLE SUBGRADE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- (F) CONCRETE BARRIER CURB AND GUTTER (REF. DETAILS)
- (G) CONCRETE MOUNTABLE CURB AND GUTTER (REF. DETAILS)
- (H) HYDROSEED WITH STRAW OR SOD DISTURBED AREAS (WITHIN LIMITS OF CONSTRUCTION)
- (I) GENERAL EXCAVATION

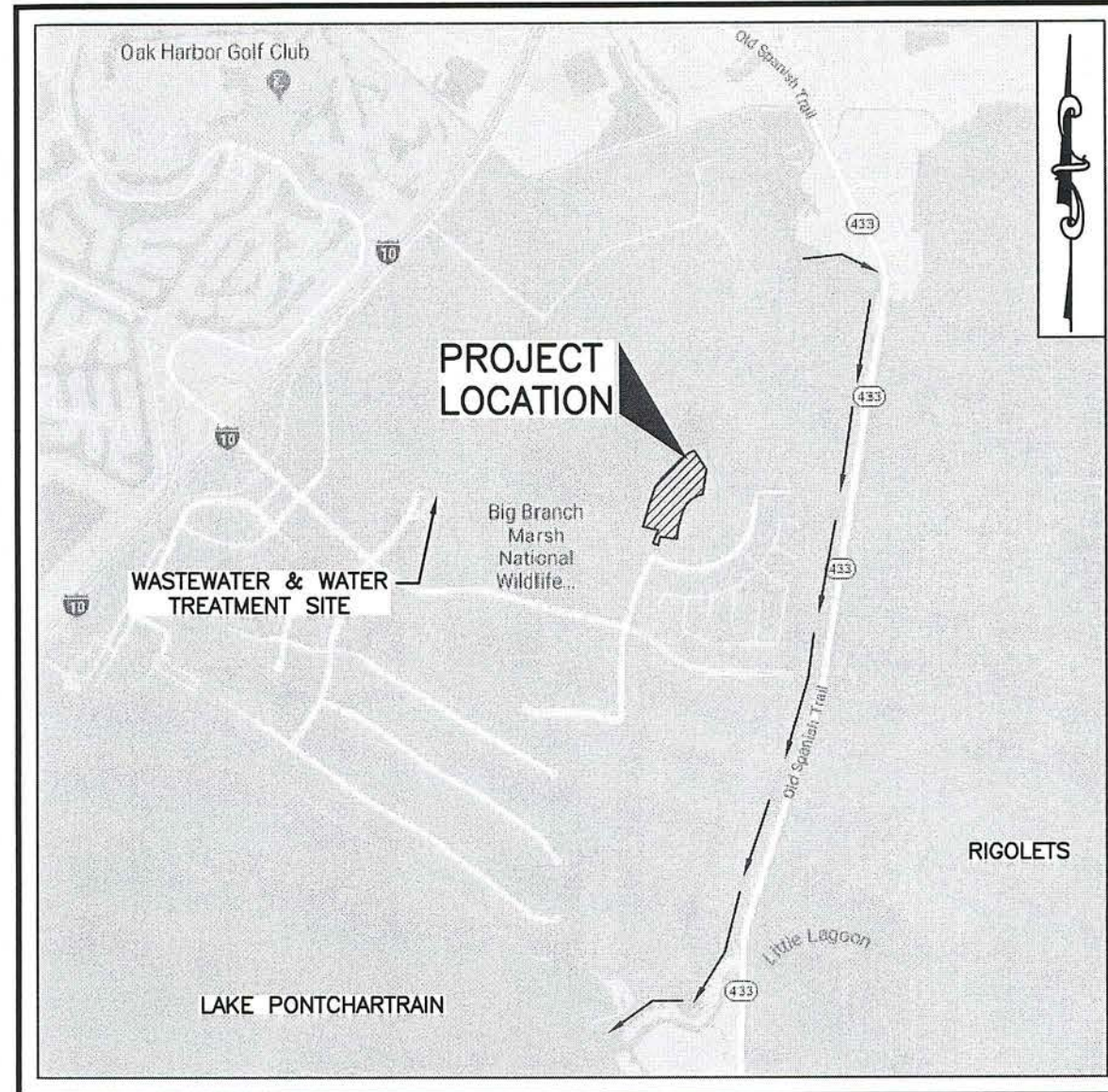
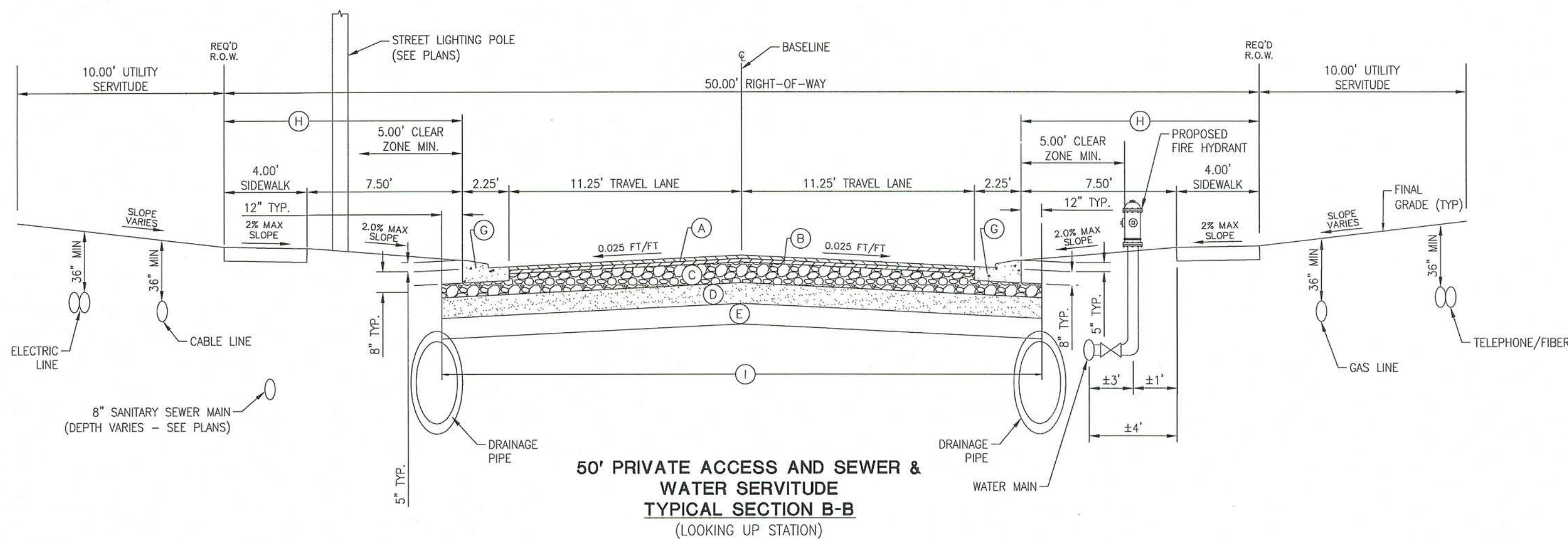
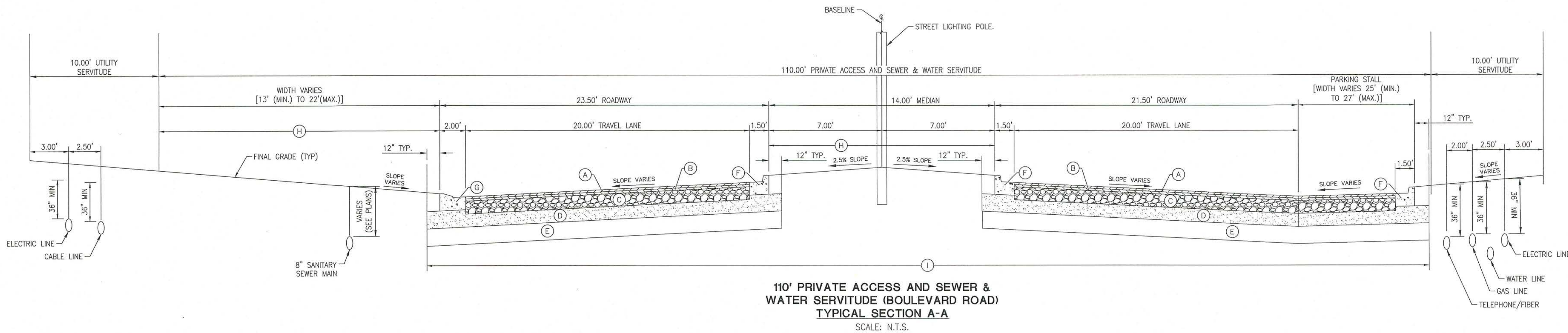
PLAT SHOWING FINAL SUBDIVISION
OF
REVISED LAKESHORE VILLAGES (PHASE 7)
LOCATED IN SECTION 35,
TOWNSHIP 9 SOUTH - RANGE 14 EAST
SLIDELL, ST. TAMMANY PARISH, LOUISIANA

LEGAL DESCRIPTION - LAKESHORE VILLAGES (PHASE 7)

A certain tract or parcel of land designated as the LAKESHORE VILLAGES (PHASE 7) containing 22,642 Acres or 986,305 sq. ft. located in Section 35, Township 9 South - Range 14 East, St. Tammany Parish, State of Louisiana, being more particularly described as follows:

Commencing at a point being the intersection common to Sections 23, 24, 25 & 26, said point being the "POINT OF COMMENCEMENT" and labeled "P.O.C.;" Then, South 06 degrees 11 minutes 50 seconds West a distance of 7,398.81 feet to a point, said point being the "POINT OF BEGINNING" and labeled "P.O.B.;"

Then, South 32 degrees 15 minutes 34 seconds East a distance of 405.44 feet to a point;
Then, South 08 degrees 28 minutes 45 seconds West a distance of 451.18 feet to a point;
Then, along a curve to the left having a delta of 63 degrees 04 minutes 08 seconds, a radius of 500.00 feet, an arc length of 550.38 feet and a chord bearing of South 47 degrees 04 minutes 06 seconds West a distance of 523.01 feet to a point;
Then, South 15 degrees 32 minutes 02 seconds West a distance of 253.11 feet to a point;
Then, along a curve to the left having a delta of 11 degrees 30 minutes 15 seconds, a radius of 405.00 feet, an arc length of 81.32 feet and a chord bearing of South 09 degrees 46 minutes 54 seconds West a distance of 81.18 feet to a point;
Then, along a curve to the right having a delta of 07 degrees 00 minutes 55 seconds, a radius of 1,095.00 feet, an arc length of 134.07 feet and a chord bearing of South 07 degrees 32 minutes 14 seconds West a distance of 133.99 feet to a point;
Then, North 81 degrees 16 minutes 28 seconds West a distance of 274.89 feet to a point;
Then, along a curve to the right having a delta of 05 degrees 28 minutes 20 seconds, a radius of 500.00 feet, an arc length of 47.76 feet and a chord bearing of South 21 degrees 00 minutes 18 seconds West a distance of 47.74 feet to a point;
Then, South 23 degrees 44 minutes 28 seconds West a distance of 121.76 feet to a point;
Then, North 68 degrees 15 minutes 32 seconds West a distance of 110.00 feet to a point;
Then, North 23 degrees 44 minutes 28 seconds East a distance of 128.04 feet to a point;
Then, along a curve to the left having a delta of 03 degrees 00 minutes 44 seconds, a radius of 850.00 feet, an arc length of 44.69 feet and a chord bearing of North 22 degrees 14 minutes 06 seconds East a distance of 44.68 feet to a point;
Then, along a curve to the right having a delta of 02 degrees 32 minutes 20 seconds, a radius of 500.00 feet, an arc length of 22.16 feet and a chord bearing of North 21 degrees 59 minutes 54 seconds East a distance of 22.15 feet to a point;
Then, North 16 degrees 00 minutes 25 seconds East a distance of 80.19 feet to a point;
Then, North 75 degrees 30 minutes 46 seconds West a distance of 288.73 feet to a point;
Then, North 29 degrees 41 minutes 08 seconds East a distance of 31.21 feet to a point;
Then, North 15 degrees 24 minutes 16 seconds East a distance of 385.68 feet to a point;
Then, North 20 degrees 33 minutes 15 seconds East a distance of 346.03 feet to a point;
Then, North 39 degrees 27 minutes 20 seconds East a distance of 158.84 feet to a point;
Then, North 44 degrees 50 minutes 59 seconds East a distance of 441.83 feet to a point;
Then, North 50 degrees 19 minutes 44 seconds East a distance of 252.16 feet to a point;
Then, North 64 degrees 21 minutes 30 seconds East a distance of 86.67 feet to a point;
Then, North 72 degrees 22 minutes 03 seconds East a distance of 26.84 feet to the "POINT OF BEGINNING".



ULTIMATE DISPOSAL
NOT TO SCALE

DEDICATION:

All street rights-of-way as shown hereon are not dedicated to the Parish of St. Tammany but are dedicated to the perpetual use of the Community Development District and is to be owned and maintained by the Community Development District. Easements shall be reserved for drainage and utilities as indicated hereon and no obstructions or improvements shall be allowed that would prevent them from being used for intended use. The developer or homeowners association is responsible for maintenance of all green spaces, drainage servitudes, street signs, and traffic control signs.

APPROVALS:

Clerk of Court _____
Date Filed _____ File No. _____


(Owner/Owner Representative) _____ Date _____
D.R. Horton, Inc. - Gulf Coast
7685 Vincent Road
Denham Springs, LA 70726

SHEET 2 OF 2
(SEE SHEET 1 FOR SURVEY PLAT,
RESTRICTIVE COVENANTS, &
GENERAL NOTES)

ACADIA 
LAND SURVEYING, LLC
LOUISIANA • MISSISSIPPI • TEXAS
206 EAST 2ND STREET, THIBODAUX, LOUISIANA 70301
Phone • (985) 449-0094 Fax • (985) 449-0085
EMAIL • ACADIA@ACADIALANDSURVEYING.COM

CERTIFICATION:

This is to certify to D.R. HORTON, INC. that this survey was done by me or under my direct supervision and control, that the survey was done on the ground and was done in accordance with the most recent Standards of Practice for Boundary Surveys as set forth by the State of Louisiana, Board of Registration for Professional Engineers and Land Surveyors and that the accuracy specification and positional tolerances are in accordance with Class "20" surveys indicated in the above standards. I also certify there are no visible encroachments across any property lines except as shown.


Michael P. Blanchard, P.L.S., Reg. No. 4861
11/13/2020

This survey plat is not valid without the raised or colored seal and signature of the Registered Land Surveyor.

DATE	REVISION DESCRIPTION	INT.
DRAWN BY: APR	CHECKED BY: APR	APPROVED BY: MPB
FIELD BOOK: 350	FIELD WORK COMPLETED ON: TBD	ALS FILE: 2017/17-1844/17-18447 P7 Final.dwg

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OLD BUSINESS

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MINOR SUBDIVISION STAFF ANALYSIS REPORT

(As of December 7, 2020)

Meeting Date: December 15, 2020

CASE NO.: 2020-2049-MSP

OWNER/DEVELOPER: Delmont O. & Joan M. Dapremont, Jr.

ENGINEER/SURVEYOR: Surveyor: J.V. Burkes & Associates, Inc.

SECTION: 42 TOWNSHIP: 9 South RANGE: 13 East

WARD: 9 PARISH COUNCIL DISTRICT: 11

TYPE OF DEVELOPMENT: X SUBURBAN (Residential acreage between 1-5 acres)
 RURAL (Low density residential 5 acres or more)
 OTHER (PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: East side of Horace Page Road & Bayou Oak Road (future), Slidell, Louisiana.

SURROUNDING LAND USES: Undeveloped & Single family residential

TOTAL ACRES IN DEVELOPMENT: 5.19 acres

NUMBER OF LOTS/PARCELS: 2 parcels; 1.872 acres & 3.818 acres into Parcels A & B

ZONING: A-2 Suburban Residential District

STAFF COMMENTARY:

Department of Development – Planning & Engineering

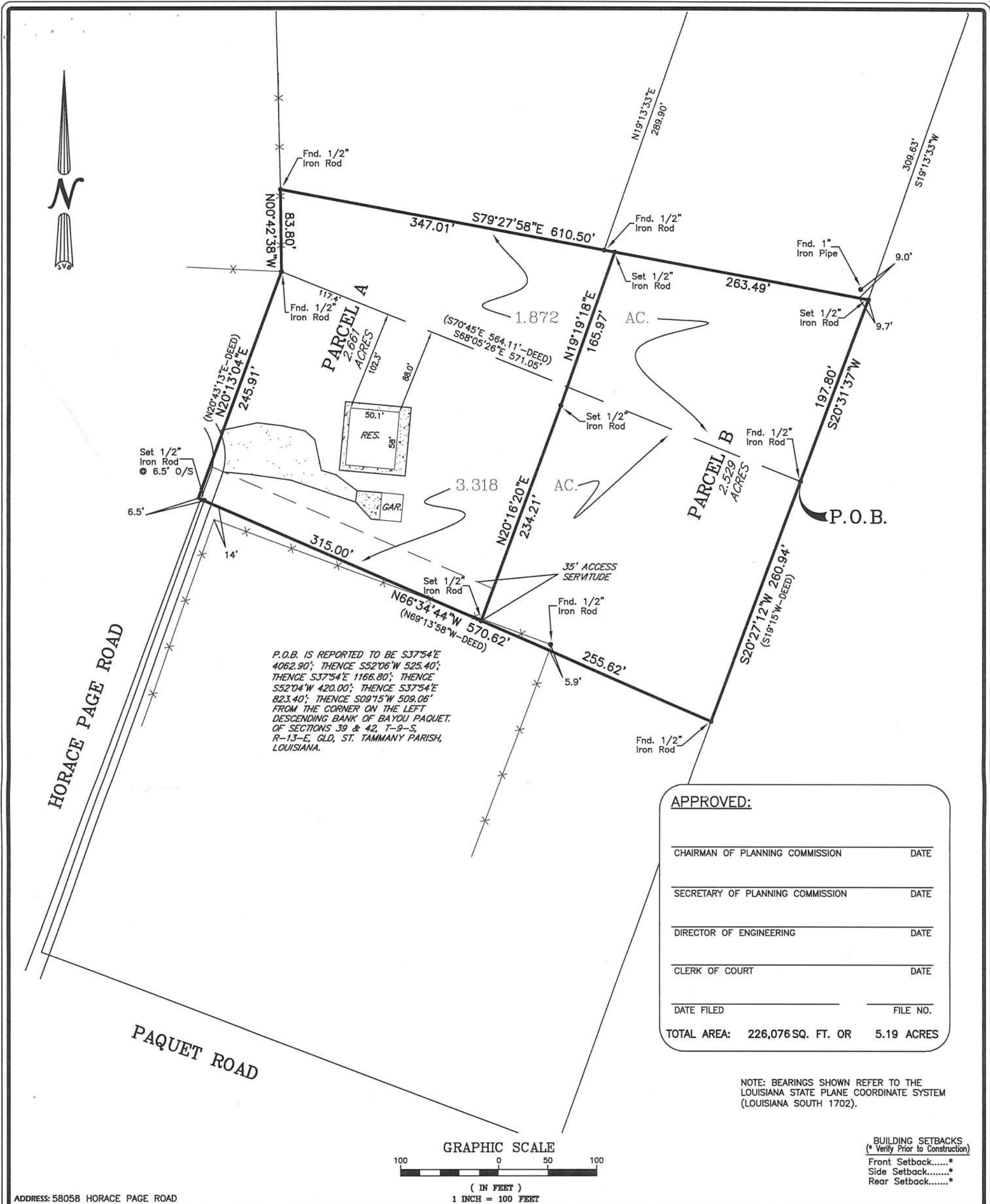
The applicant is requesting to create two (2) parcels from a 1.872 acre parcel & 3.818 acre parcel. The minor subdivision request requires a public hearing due to:

- Parcel B is proposed to be access via a 35 foot access servitude.
- The proposed name of the access depicted on the survey plat, shall be granted approval by the Planning Commission. The proposed access name “Bayou Oak Road” has been submitted and approved by St. Tammany Parish Communication District.

The request shall be subject to the above & below comments:

1. Approval of the proposed private access road name: “Bayou Oak Road”
2. Provide amended survey showing “Bayou Oak Road”.
3. As per St. Tammany Parish Communication District, the survey should show Bayou Paquet Road.

In order to approve the waivers a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 - Subdivision Regulations.



ADDRESS: 58058 HORACE PAGE ROAD

I CERTIFY THAT THIS PLAT DOES REPRESENT AN ACTUAL GROUND SURVEY AND THAT TO THE BEST OF MY KNOWLEDGE NO ENCROACHMENTS EXIST EITHER WAY ACROSS ANY OF THE PROPERTY LINES, EXCEPT AS SHOWN.

PROPERTY IS SURVEYED IN ACCORDANCE WITH THE LOUISIANA STANDARDS OF PRACTICE FOR PROPERTY BOUNDARY SURVEYS FOR A CLASS C SURVEY. BEARINGS ARE BASED ON RECORD BEARINGS UNLESS NOTED OTHERWISE.

ENCUMBRANCES SHOWN HEREON ARE NOT NECESSARILY EXCLUSIVE. ENCUMBRANCES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST, AS SURVEYOR HAS NOT PERFORMED ANY TITLE SEARCH OR ABSTRACT.

F.I.R.M. No. 225205.415 C
F.I.R.M. Date 4/2/91
ZN: A10 B.F.E. 10'
* Verify prior to construction with Local Governing Body.

DRAWING NO.
20180475

DATE:
7/31/18

J.V. Burkes & Associates, Inc.

SURVEYING

ENGINEERING • ENVIRONMENTAL

1805 Shortcut Highway
Slidell, Louisiana 70458
E-mail: jvbassoc@jvburkes.com

Phone: 985-649-0075 Fax: 985-649-0154

DRAWN BY:
JDL

CHECKED BY:
RMK

SCALE:
1" = 100'

REVISED: 6/8/16 MINOR SUBDIVISION
6/15/2020 MINOR SUB. SET CORNERS & STAKING
9/3/20 ADD ROAD NAME PER PARISH
10/21/20 MISC. PER PARISH
11/17/2020 MODIFY PARCELS INTO A & B

A MINOR SUBDIVISION MAP OF A 1.872 AC. & A 3.318 AC. PARCEL OF LAND INTO PARCELS A & B IN SECTION 42, T-9-S, R-13-E, GREENSBURG LAND DISTRICT ST. TAMMANY PARISH, LOUISIANA

CERTIFIED TO: CIVICSOURCE & DELMONT DAPREMONT

DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL OF SURVEYOR.

STATE OF LOUISIANA
SEAN M. BURKES
REGISTERED
LA REG. No. 4785



ST. TAMMANY PARISH

MICHAEL B. COOPER
PARISH PRESIDENT

December 1, 2020

St. Tammany Parish Planning Commission
P.O. Box 628
Covington, LA 70434

OLD BUSINESS
December 15, 2020 Agenda

Re: 2018-1105-PP - Providence Parks Subdivision, Phase 1
Developer requesting an extension of the Preliminary Approval

Honorable Commissioners,

This office is in receipt of Mr. Rodney Savoy, Providence Parks, LLC's request to extend the Preliminary approval date for Providence Parks Subdivision, Phase 1.

The developer is actively pursuing the required state and/or federal authorizations for this development.

This office has reviewed Mr. Savoy's request and has no objection to a one year extension of the Preliminary Approval.

Sincerely,

A handwritten signature in blue ink that reads "Christopher Tissue".

Christopher P. Tissue, P.E.
Lead Development Engineer

Attached: Request for an extension of time from Mr. Savoy dated November 2, 2020

xc: Honorable Michael Cooper
Honorable Martha Cazaubon
Mr. Ross Liner, AICP, PTP, CFM
Mr. Jay Watson, P.E.
Ms. Helen Lambert
Mr. Earl J. Magner
Mr. Chris Tissue, P.E.
Mr. Theodore Reynolds, P.E.
Mr. Rodney Savoy, Providence Parks, LLC
Mr. Paul Mayronne, Jones Fussell, LLP
Mr. Chris Ventre, RR Company of America, LLC/Southern Livestyle Development

Theodore C. Reynolds

From: pjm@jonesfussell.com
Sent: Tuesday, November 03, 2020 10:50 AM
To: Christopher P. Tissue
Cc: Theodore C. Reynolds; Jay Watson
Subject: Providence Parks
Attachments: Tissue 20 1103.pdf

Chris,

Please find attached my client's letter requesting the extension of preliminary approval for the above referenced project. A hard copy is being placed in the mail today.

Let me know if you should have any questions.

Thanks

Paul J. Mayronne

Jones Fussell, L.L.P.

Office: (985) 892-4801

Cell: (985) 630-3071

Fax: (985) 892-4925

Northlake Corporate Park, Suite 103

1001 Service Road East, Highway 190

P.O. Box 1810

Covington, Louisiana 70434-1810

Providence Parks Development, L.L.C.,
1100 Camellia Boulevard, Suite 201
Lafayette, LA 70508

November 2, 2020

VIA EMAIL AND U.S. MAIL

Mr. Chris Tissue, P.E.
Lead Development Engineer, St. Tammany Parish
21545 Koop Drive, Suite 1B
Mandeville, LA 70471

Re: Providence Parks

Dear Mr. Tissue:

On behalf of Providence Parks Development, L.L.C., the owner and developer of the above-referenced project, please allow this letter to serve as our request for an extension of the preliminary approval for Providence Parks. At present, we are still waiting on our final 404 Wetlands Permit, certain approvals from the Louisiana Department of Transportation and Development and confirmation from Tammany Utilities regarding the expansion of the sewer treatment plant servicing the project. We would ask that our request be placed under old business on the December agenda for the St. Tammany Parish Planning Commission.

Thank you for processing our request. Should you need anything further, please contact Chris Ventre at chris@rrcoa.com or (337) 216-6682.

Sincerely,

Providence Parks Development, L.L.C.



Rodney L. Savoy, Manager

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