

**AGENDA**  
**ST. TAMMANY PARISH PLANNING COMMISSION MEETING**  
**6:00 PM - TUESDAY, AUGUST 10, 2021**  
**ST. TAMMANY PARISH GOVERNMENT COMPLEX**  
**PARISH COUNCIL CHAMBERS**  
**21490 KOOP DRIVE, MANDEVILLE, LOUISIANA**

**NOTE: This meeting will be open to the public. Seating may be restricted due to COVID19 capacity guidelines. Attendees will be required to wear a face mask or covering.**

A livestream will be available for viewing on regular broadcast channels (Charter Channel 710; U-verse Channel 99) or on the Parish website: [www.stpgov.org](http://www.stpgov.org). The livestream will begin at 6:00 PM on Tuesday, August 10, 2021.

**ROLL CALL**

**PUBLIC ANNOUNCEMENTS**

- Please silence all phones and electronic devices
- Appeals
- Speaker Cards
- Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal
- Please exit the building

**INVOCATION AND PLEDGE OF ALLEGIANCE**

**APPROVAL OF THE JULY 13, 2021 MEETING MINUTES**

**REQUEST FOR POSTPONEMENTS**

**ENTERING PARISH RIGHT-OF-WAY, SERVITUDES, EASEMENTS & TAMMANY TRACE**

**1. TRC21-07-001 – WITHDRAWN**

Request to Enter the Tammany Trace for the purpose of installing two (2) shallow groundwater monitoring wells in association with the former Southern Coating & Chemicals site.

Debtor: Sherwin-Williams Company

Parish Council District: Hon. Steve Stefanik

General Location: The property is located on the south side of Gause Blvd West, east of Indian Hills Drive, west of Buckingham Drive, Slidell, Louisiana. Ward 9, District 11

**POSTPONED FROM JULY 13, 2021 MEETING**

**REVOCATION REVIEW**

**MINOR SUBDIVISION REVIEW**

**2. 2021-2404-MSP**

A minor subdivision of Lots 1, 2, 3, 4 & 5 into lots 1-A, 2, 3, 4-A & 5-A

Owners & Representatives: Scariano Holdings LLC, Joseph H. & Ashley H. Owen, Dennis G. & Malanie W. Schultz

Parish Council District Representative: Hon. Rykert O. Toledano, Jr.

General Location: The parcel is located on the northeast corner of 6<sup>th</sup> Avenue & Soell Drive, Covington, Louisiana. Ward 3, District 5

**POSTPONED FROM JULY 13, 2021 MEETING**

**3. 2021-2472-MSP**

A minor subdivision of 52.21 acres into Parcels A & B

Owners & Representatives: Decatur Enterprises, Inc.

Parish Council District Representative: Hon. Martha J. Cazaubon

General Location: The parcel is located on the north side of US Highway 190 and at the end of Pamela Drive, Covington, Louisiana. Ward 3, District 3

**4. 2021-2492-MSP**

A minor subdivision of 6.12 acres & 16.225 acres into Parcels A, B, C & D

Owners & Representatives: Three W., Mandeville LLC and BB Mini Storage, LLC

Parish Council District Representative: Hon. Rykert O. Toledano, Jr.

General Location: The parcels are located on the east side of LA Highway 59, south of I-12, Mandeville, Louisiana. Ward 4, District 5

**5. 2021-2493-MSP**

A minor subdivision of Lots 1A1-A1 & 1A2 into lots 1A1-A1A & 1A2-A

Owners & Representatives: N59 Ventures, LLC – Michael Saucier and 2003 Realty Company, LLC – Richard Mueller III

Parish Council District Representative: Hon. Rykert O. Toledano, Jr.

General Location: The parcels are located on the east side of LA Highway 59 and on the north side of East Koop Drive, Mandeville, Louisiana. Ward 4, District 5

**6. 2021-2495-MSP**

A minor subdivision of Parcel 3A into Parcels 3A-1, 3A-2, 3A-3, 3A-4, 3A-5

Owners & Representatives: Fitzjackel, LLC – Clark P. Fitz-Hugh

Parish Council District Representative: Hon. David R. Fitzgerald

General Location: The parcel is located on the north side of Johnsen Road and on the east side of LA Highway 437, Covington, Louisiana. Ward 3, District 2

**7. 2021-2496-MSP**

A minor subdivision of 1.480 acres & 3.711 acres into Parcels A, B & C

Owners & Representatives: Robert Hicks

Parish Council District Representative: Hon. Marty Dean

General Location: The parcels are located on the north side of Brewster Road, east of Perrilloux Road, Madisonville, Louisiana. Ward 1, District 1

**RESUBDIVISION REVIEW****8. 2021-2490-MRP**

Resubdivision of Lots 1, 2, 3, 4, 5, 6, 10A, 11A, 12A & a portion of lot 9-A-1 into lots 1A, 2A, 3A, 4A, 5A & 9-A-1-A, Square 169, Town of Mandeville Subdivision

Owner: Big D Land & Cattle Company, LLC – Dennis A. Pasentine

Representative: Tim Burns

Surveyor: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon. James J. Davis

General Location: The parcels are located on the south side of Carolyn Street, on the north side of America Street, on the east side of Rapatel Street, on the west side of McDonald Street, Mandeville, Louisiana. Ward 4, District 7

**9. 2021-2497-MRP**

Resubdivision of Lots 1, 3-65 & 67 into lots 3A, 6A, 7A, 10A, 11A, 14A, 15A, 18A, 19A, 22A, 23A, 26A, 27A, 30A, 31A, 34A, 35A, 38A, 39A, 42A, 43A, 46A, 47A, 50A, 51A, 54A, 55A, 58A, 59A, 62A, 63A, 67A, Square 21, The Birg Boulevard

Owners & Representatives: Robert Doolittle & Benjamin Doolittle

Surveyor: Lowe Engineers

Parish Council District Representative: Hon. Rykert O. Toledano, Jr.

General Location: The parcels are located on North Street, 11 Avenue & Helenbirg Blvd (not constructed) Covington, Louisiana. Ward 3, District 5

**TEXT CHANGE****10. 2021- 2486 – Text Change**

An Ordinance to amend St. Tammany Code of Ordinances Chapter 125-88 to incorporate updated and new criteria and standards for design and location of drainage ditches, channels, canals, and similar drainage features, including subsurface drainage.

**TENTATIVE SUBDIVISION REVIEW****PRELIMINARY SUBDIVISION REVIEW****11. 2021-2502-PP**

Lakeshore Villages, Phase 6 (Revised Submittal)

*(Previously approved at the September 8, 2020 meeting)*

Developer/Owner: D.R. Horton, Inc. - Gulf Coast

Engineer/Surveyor: Duplantis Design Group, PC

Parish Council District Representative: Hon. Jake Airey

General Location: The property is located north of Oak Harbor Blvd., west of LA Highway 433, east of Interstate-10, Slidell, Louisiana. Ward 9, District 13

**FINAL SUBDIVISION REVIEW****12. 2021-2444-FP**

Copper Ridge

Developer/Owner: Copper Ridge LLC – c/o Shelby LaSalle, Jr. LLC

Engineer/Surveyor: J.V. Burkes & Associates, Inc.

Parish Council District Representative: Hon. James J. Davis

General Location: The property is located at the end of Hazel Drive, north of Montmartre Street, Mandeville, Louisiana. Ward 4, District 7

**POSTPONED FROM JULY 13, 2021 MEETING**

**OLD BUSINESS****NEW BUSINESS****ADJOURNMENT**

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**MINUTES**  
**ST. TAMMANY PARISH PLANNING COMMISSION MEETING**  
**6:00 PM - TUESDAY, JULY 13, 2021**  
**ST. TAMMANY PARISH GOVERNMENT COMPLEX**  
**PARISH COUNCIL CHAMBERS**  
**21490 KOOP DRIVE, MANDEVILLE, LOUISIANA**

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**ROLL CALL**

Present: Seeger, Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Drumm, Randolph, Truxillo

Absent: N/A

Staff Present: Liner, Lambert, Tissue, Reynolds, Couvillon, Cleland, Lucio

**PUBLIC ANNOUNCEMENTS**

- Please silence all phones and electronic devices
- Appeals
- Speaker Cards
- Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal
- Please exit the building

**INVOCATION AND PLEDGE OF ALLEGIANCE**

**INVOCATION** - Randolph

**PLEDGE OF ALLEGIANCE** - Drumm

**APPROVAL OF THE JUNE 8, 2021 MEETING MINUTES**

**Crawford moved to approve, second by Randolph.**

**Yea:** Seeger, Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Drumm, Randolph, Truxillo

**Nay:** N/A

**Abstain:** N/A

**REQUEST FOR POSTPONEMENTS**

**ENTERING PARISH RIGHT-OF-WAY, SERVITUDES, EASEMENTS & TAMMANY TRACE**

**1. TRC21-07-001 - POSTPONED**

Request to Enter the Tammany Trace for the purpose of installing two (2) shallow groundwater monitoring wells in association with the former Southern Coating & Chemicals site.

Debtor: Sherwin-Williams Company

Parish Council District: Hon. Steve Stefanik

General Location: The property is located on the south side of Gause Blvd West, east of Indian Hills Drive, west of Buckingham Drive, Slidell, Louisiana. Ward 9, District 11.

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: None

Opposition: None

**Drumm moved to postpone, second by Truxillo.**

**Yea:** Seeger, Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Drumm, Randolph, Truxillo

**Nay:** N/A

**Abstain:** N/A

## **REVOCATION REVIEW**

### **MINOR SUBDIVISION REVIEW**

#### **2. 2021-2404-MSP – POSTPONED**

A minor subdivision of Lots 1, 2, 3, 4 & 5 into lots 1-A, 2, 3, 4-A & 5-A

Owners & Representatives: Scariano Holdings LLC, Joseph H. & Ashley H. Owen, Dennis G. & Malanie W. Schultz

Parish Council District Representative: Hon. Rykert O. Toledano, Jr.

General Location: The parcel is located on the northeast corner of 6<sup>th</sup> Avenue & Soell Drive, Covington, Louisiana. Ward 3, District 5

**POSTPONED FROM JUNE 8, 2021 MEETING**

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: None

Opposition: None

**Fitzmorris moved to postpone, second by Randolph.**

**Yea:** Seeger, Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Drumm, Randolph, Truxillo

**Nay:** N/A

**Abstain:** N/A

#### **3. 2021-2446-MSP - APPROVED**

Minor Subdivision of Parcels B, C & 25.42 acres into Parcels B-1, C-1 & D

Owners & Representatives: Waldheim General, LLC, Waldheim Place, LLC and

Joy Lynn Dutsch Huhn

Parish Council District Representative: Hon. Cheryl Tanner

General Location: The property is located on the north side of LA Highway 21, west of LA Highway 1083, Louisiana. Ward 10, District 6

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Timothy Franksmith

Opposition: None

**McInnis moved to approve, second by Willie.**

**Yea:** Seeger, Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Drumm, Randolph, Truxillo

**Nay:** N/A

**Abstain:** N/A

**4. 2021-2457-MSP - APPROVED**

Minor Subdivision of 21.641 acres into Parcels A-1, A-2 & A-3

Owners & Representatives: Cheryl L. Cedotal & William Joseph Fuzette Jr.

Parish Council District Representative: Hon. Cheryl Tanner

General Location: The property is located on the east side of Press Sharp road and along Family Court (future), north of LA Highway 40, Bush, Louisiana. Ward 2, District 6

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: William Fuzette

Opposition: None

**Crawford moved to approve with waivers and comments, second by Fitzmorris.**

**Yea:** Seeger, Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Drumm, Randolph, Truxillo

**Nay:** N/A

**Abstain:** N/A

**5. 2021-2460-MSP - APPROVED**

Minor Subdivision of 5.693 acres into Parcels A & B

Owners & Representatives: Erik Wagner

Parish Council District Representative: Hon. David R. Fitzgerald

General Location: The property is located at the southeast corner of LA Highway 25 & Million Dollar Road, Covington, Louisiana. Ward 3, District 2

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Erik Wagner

Opposition: None

**Fitzmorris moved to approve with waiver, second by Crawford.**

**Yea:** Seeger, Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Drumm, Randolph, Truxillo

**Nay:** N/A

**Abstain:** N/A

**RESUBDIVISION REVIEW****6. 2021-2419-MRP - APPROVED**

Resubdivision of lots 13-A-1 & 13-A-2 into lot 13-A-2-B, St. Tammany Oaks Subdivision

Owners & Representatives: New Beginnings Church of Louisiana, LLC – Edward Swan & Peggy Swan

Surveyor: Randall W. Brown & Associates, Inc.

Parish Council District Representative: Hon. Rykert O. Toledano Jr.

General Location: The property is located on the south side of Park Place Drive, east of North US Highway 190, Covington, Louisiana. Ward 3, District 5

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Edward Swan

Opposition: None

**Fitzmorris moved to approve, second by Crawford.**

**Yea:** Seeger, Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Drumm, Randolph, Truxillo

**Nay:** N/A

**Abstain:** N/A

**7. 2021-2433-MRP APPROVED**

Resubdivision of Lots 9 & 10 into lot 9-A, Square 2, Grande Hills Estates

Owners & Representatives: Brian P. & Dea O'Rourke

Surveyor: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon. Cheryl Tanner

General Location: The parcel is located at the southeast corner of Churchill Downs Drive & Seattle Slew Court, Bush, Louisiana. Ward 5, District 6

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Raleigh Brunet

Opposition: None

**Fitzmorris moved to approve, second by Randolph.**

**Yea:** Seeger, Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Drumm, Randolph, Truxillo

**Nay:** N/A

**Abstain:** N/A

**8. 2021-2434-MRP - APPROVED**

Resubdivision of Parcels A, C & D into Parcels A1, C1 & D1 being part of Lot 19, Galatas Subdivision

Owners & Representatives: Deborah S. Koppenol, Stacy M. Fitzgerald, Herbert Harry Koppenol Jr., Ricky O. Koppenol, Shelia K. Parker, Iris Koppenol Benoit,

Surveyor: Land Surveying LLC

Parish Council District Representative: Hon. Marty Dean

General Location: The parcel is located at the northwest corner of Galatas Road and Revere Road, Madisonville, Louisiana. Ward 1, District 1

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Judith Otero

Opposition: None

**Randolph moved to approve with waivers, second by Crawford.**

**Yea:** Seeger, Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Drumm, Randolph, Truxillo

**Nay:** N/A

**Abstain:** N/A

**9. 2021-2436-MRP - APPROVED**

Resubdivision of Lots 7A1 & 7B1 into lots 7A2 & 7B2, Bushwood Estates

Owners: Secret Cove, LLC

Representative: Paul J. Mayronne

Surveyor: John G. Cummings & Associates

Parish Council District Representative: Hon. Cheryl Tanner

General Location: The parcel is located on the east side of Kokomo Lane, north of Bushwood Drive, Bush, Louisiana. Ward 5, District 6



A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Paul Mayronne

Opposition: None

**Fitzmorris moved to approve with waiver, second by Randolph.**

**Yea:** Seeger, Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Drumm, Randolph, Truxillo

**Nay:** N/A

**Abstain:** N/A

**10. 2021-2445-MRP - APPROVED**

Resubdivision of Lot 13-A & 4.584 acres into Lot 13A1, Square 1, Tammany Terrace Subdivision & Parcel A

Owners & Representatives: Larry & Kelli Aleman

Surveyor: Lowe Engineers

Parish Council District Representative: Hon. David R. Fitzgerald

General Location: Parcels located at the end of Walden Street, Covington, Louisiana.

Ward 3, District 2

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Kelli and Larry Aleman

Opposition: None

**Willie moved to approve with waivers, second by Truxillo.**

**Yea:** Seeger, Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Drumm, Randolph, Truxillo

**Nay:** N/A

**Abstain:** N/A

**TENTATIVE SUBDIVISION REVIEW**

**PRELIMINARY SUBDIVISION REVIEW**

**FINAL SUBDIVISION REVIEW**

**11. 2021-2444-FP - POSTPONED**

Copper Ridge

Developer/Owner: Copper Ridge LLC – c/o Shelby LaSalle, Jr. LLC

Engineer/Surveyor: J.V. Burkes & Associates, Inc.

Parish Council District Representative: Hon. James J. Davis

General Location: The property is located at the end of Hazel Drive, north of Montmartre Street, Mandeville, Louisiana. Ward 4, District 7

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: None

Opposition: None                      Comment: Tyler Abadie

**Fitzmorris moved to postpone, second by Drumm.**

**Yea:** Seeger, Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Drumm, Randolph, Truxillo

**Nay:** N/A

**Abstain:** N/A

**OLD BUSINESS****12. 2020-2103-PP - APPROVED**

The Refuge (formerly Creekstone)

Developer/Owner: Yar Construction Co.

Engineer/Surveyor: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon. Cheryl Tanner

General Location: The property is located on the east of LA Highway 1129 (Lee Rd.), north of Shortcut Road, across from Highland Crest Drive, Covington, Louisiana. Ward 2, District 6

*Change of developer's name*

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Paul Mayronne

Opposition: None

**Crawford moved to approve, second by Willie.**

**Yea:** Seeger, Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Drumm, Randolph, Truxillo

**Nay:**

**Abstain:** N/A

**13. 2020-2122-FP - DENIED**

Hunter's Haven, Phase 1

Developer/Owner: Favret Investments, LLC

Engineer/Surveyor: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon. Michael Lorino

General Location: The property is located on the west side of Penn's Chapel Road, south of LA Highway 22, Mandeville, Louisiana. Ward 4, District 4

*Developer requests to amend conditions of the Final Subdivision Approval*

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Paul Mayronne, Kelly McHugh

Opposition: Kevin Mashburn, Julie Gilbert, Nancy Cundiff, Jaesa McGee, Mark Fayon, Ernest Sulmer, JP Dela Houssaye

**Seeger moved to approve, second by Barcelona.**

**Yea:** Seeger, Barcelona, Fitzmorris

**Nay:** Ress, McInnis, Willie, Doherty, Crawford, Drumm, Randolph, Truxillo

**Abstain:** N/A

**Crawford moved to deny, second by McInnis.**

**Yea:** Ress, McInnis, Willie, Doherty, Crawford, Drumm, Randolph, Truxillo

**Nay:** Seeger, Fitzmorris, Barcelona

**Abstain:** N/A

**14. 2017-612-MSP - APPROVED**

A 127.726-acre parcel into lots 1 thru 5

Owner: Hickory Estates, L.L.C.

Surveyor: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon. Cheryl Tanner

General Location: The property is located north of Lowe Davis Road, west of Downs Avenue, east of LA Highway 1083. Ward 10, District 6

***Request for waiver of the Fee in Lieu of Detention requirement***

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Paul Mayronne

Opposition: None

**Fitzmorris moved to approve the waiver, second by Willie.**

**Yea:** Seeger, Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Drumm, Randolph, Truxillo

**Nay:** N/A

**Abstain:** N/A

**NEW BUSINESS****ADJOURNMENT**

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# **MINOR SUBDIVISIONS**

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## MINOR SUBDIVISION STAFF ANALYSIS REPORT

(As of August 3, 2021)

Meeting Date: August 10, 2021

CASE NO.: 2021-2404-MSP

OWNER/DEVELOPER: Scariano Holdings LLC, Joseph H. & Ashley H. Owen, Dennis G. & Malanie W. Schultz

ENGINEER/SURVEYOR: Land Surveying LLC

SECTION: 14

TOWNSHIP: 7 South

RANGE: 11 East

WARD: 3

PARISH COUNCIL DISTRICT: 5

TYPE OF DEVELOPMENT:              X   SUBURBAN (Residential acreage between 1-5 acres)  
          RURAL (Low density residential 5 acres or more)  
          OTHER (PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: Located on the northeast corner of 6<sup>th</sup> Avenue & Soell Drive, Covington, Louisiana

SURROUNDING LAND USES: Residential and Undeveloped

TOTAL ACRES IN DEVELOPMENT: 1.84 acres

NUMBER OF LOTS/PARCELS: Lots 1, 2, 3, 4 & 5 into lots 1-A, 2, 3, 4-A & 5-A

ZONING: A-4A Single-Family Residential District

### STAFF COMMENTARY:

#### Department of Planning & Development and Department of Engineering

The applicant is requesting to create five (5) lots from lots 1, 2, 3, 4 & 5. The minor subdivision request requires a public hearing due to:

- Lots 1, 2, 3, 4 & 5 were previously part of a minor subdivision approved in February 2018 (2018-926-MSP).
- Lots 1-A, 2, 3, 4-A & 5-A do not meet the minimum lot size of 1 acre required under Chapter 125 Subdivision Regulations Section 125-188 Minor Subdivision and requiring a waiver from the Planning Commission.
- Lot 1-A is proposed to be created as a flag lot, requiring a waiver of the regulation by the Planning Commission, since flag lots are only permitted above the Urban Growth Boundary Line.

The request shall be subject to the above and below comments:

1. Amend survey to reflect the appropriate request: Minor Subdivision of Lots 1, 2, 3, 4 & 5 into lots 1-A, ~~2-A, 3-A, 4-A~~ 2, 3, 4 & 5-A.
2. Provide 10 original copies of the new survey.
3. Provide complete dedication of the 20 foot access drainage servitude to St. Tammany Parish.
4. Upon recordation of minor subdivision, an Act of Correction will be required to be filed as "Null & Void" Map file #5719A and add note referring to new recorded map number prior to issuance of building permit for Lots 1-A, 4-A & 5-A.

In order to approve the request a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 - Subdivision Regulations

A Minor Subdivision of Lots 1, 2, 3, 4 & 5, into  
Lots 1-A, 2-A, 3-A, 4-A & 5-A, situated in Section  
14, T-7-S, R-11-E, St. Tammany Parish, Louisiana

Note:

This survey plat shall supercede the  
previous survey filed under map file  
#5719A, dated 02-28-2018, Clerk  
of Courts Office, St. Tammany  
Parish, La.

FINAL APPROVAL

DIR. DEPT. OF ENGINEERING

Preliminary

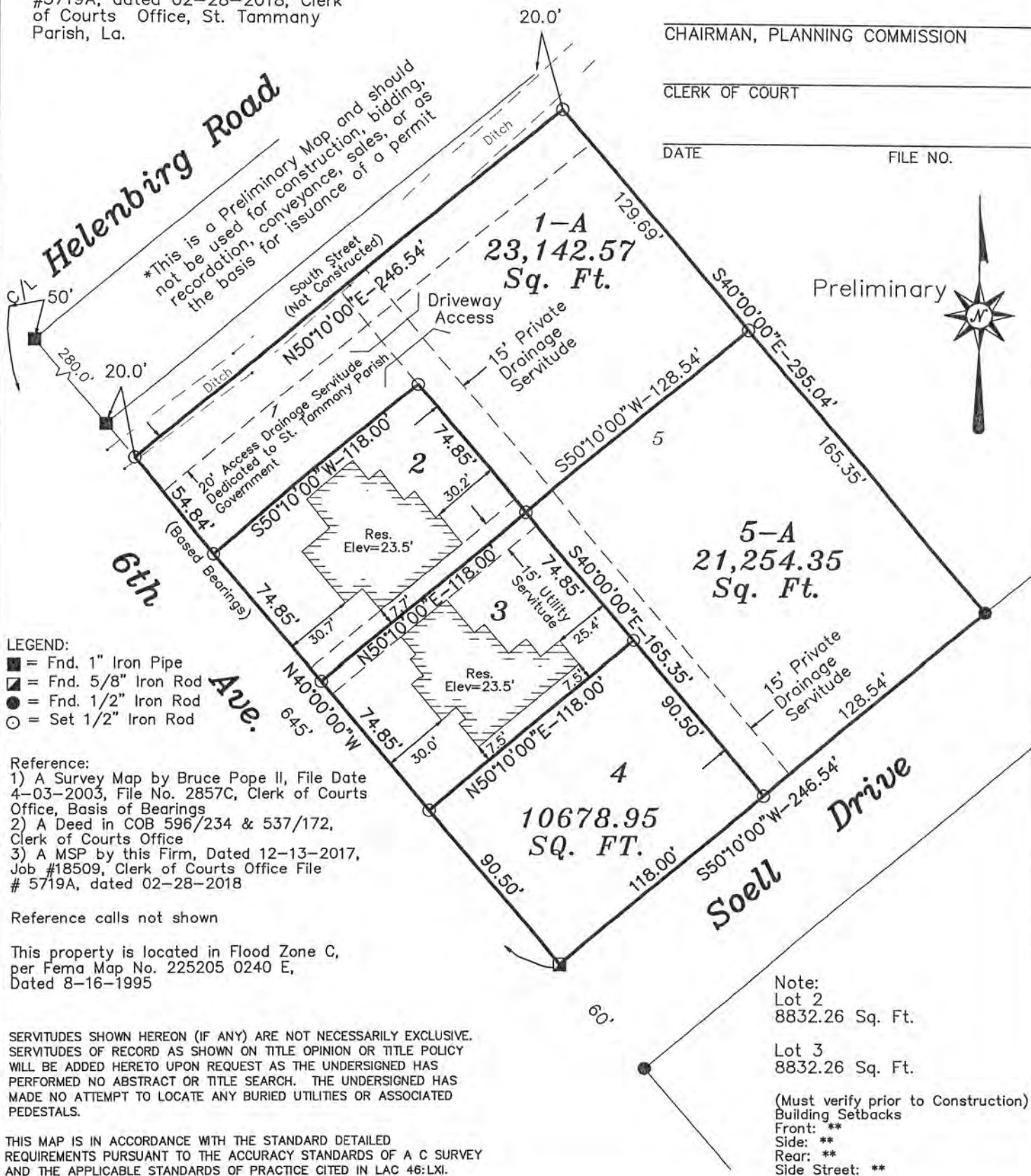
SECRETARY PLANNING COMM.

CHAIRMAN, PLANNING COMMISSION

CLERK OF COURT

DATE

FILE NO.



MAP PREPARED FOR **MVH PROPERTIES**

SHOWN A SURVEY MADE OF PROPERTY LOCATED IN LOT 1, 2, 3, 4 & 5, SECTION 14, T-7-S, R-11-E, ST. TAMMANY PARISH, LOUISIANA

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED: SIGNATURE AND STAMPED SEAL MUST BE IN RED OR THIS PLAT IS NOT A TRUE COPY.

**LAND SURVEYING LLC**

518 N. Columbia Street, Covington, LA 70433  
(985) 892-6277 office (985) 898-0355 fax  
landsurveyingllc@gmail.com email

Revised: 06-07-2021, 07-08-2021

CERTIFIED CORRECT

Preliminary

BRUCE M. BUTLER, III  
LOUISIANA PROFESSIONAL LAND SURVEYOR  
LICENSE NO. 4894

SCALE: 1" = 60'

DATE: 04-20-2021

NUMBER: 20327



A Minor Subdivision of a 0.853 & 0.929 Acre Parcel of Land, into Lots 1, 2, 3, 4 & 5, situated in Section 14, T-7-S, R-11-E, St. Tammany Parish, Louisiana

Reference:

- 1) A Survey Map by Bruce Pope II, File Date 4-03-2003, File No. 2857C, Clerk of Courts Office, Basis of Bearings
- 2) A Deed in COB 596/234 & 537/172, Clerk of Courts Office

Reference calls not shown

FINAL APPROVAL

DIR. DEPT. OF ENGINEERING

SECRETARY PLANNING COMM.

CLERK OF COURT Shana Hess, Deputy Clerk

02-28-2018

57194

DATE

FILE NO.

CHAIRMAN, PLANNING COMM.

Helenberg Blvd.

6th Avenue

Soell Drive

LEGEND:

- = Fnd. 1" Iron Pipe
- ▣ = Fnd. 5/8" Iron Rod
- = Fnd. 1/2" Iron Rod
- = Set 1/2" Iron Rod

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS.

THIS MAP IS IN ACCORDANCE WITH THE STANDARD DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A C SURVEY AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46:LXI.

(Must verify prior to Construction)  
Building Setbacks  
Front: \*\*  
Side: \*\*  
Rear: \*\*  
Side Street: \*\*

MAP PREPARED FOR **MVH PROPERTIES**

SHOWN A SURVEY MADE OF PROPERTY LOCATED IN SECTION 14, T-7-S, R-11-E, ST. TAMMANY PARISH, LOUISIANA

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED: SIGNATURE AND STAMPED SEAL MUST BE IN RED OR THIS PLAT IS NOT A TRUE COPY.

**LAND SURVEYING LLC**

518 N. Columbia Street, Covington, LA 70433  
(985) 892-6277 office (985) 898-0355 fax  
landsur1@bellsouth.net email

BRUCE M. BUTLER, III

BRUCE M. BUTLER, III  
LOUISIANA PROFESSIONAL LAND SURVEYOR  
LICENSE NO. 4894

SCALE: 1" = 60'

DATE: 12-13-2017

NUMBER: 18509

**LAND SURVEYING, LLC**  
**518 N. COLUMBIA STREET**  
**COVINGTON, LA 70433**

**Bruce M. Butler, III**  
**PROFESSIONAL SURVEYOR**

**TELEPHONE: (985) 892-6277**  
**FAX: (985) 898-0355**  
**landsurveyingllc@gmail.com**

*July 8, 2021*

*Description of Property for*

*MVH Properties*

*Located in Section 14 Township 7 South Range 11 East, St. Tammany Parish, Louisiana.*

*From the intersection formed by the centerline of Helenburg Road and the East Right-of-way of 6<sup>th</sup> Avenue run along the East Right-of-way of 6<sup>th</sup> Avenue South 40 degrees 00 minutes 00 seconds East, 675.0 feet to a point in the center of Soell Drive; thence run North 40 degrees 00 minutes 00 seconds West, 30.0 feet to a point on the North Right-of-way of Soell Drive and the Point of Beginning.*

*From the Point of Beginning run along the East Right-of-way of 6<sup>th</sup> Avenue North 40 degrees 00 minutes 00 seconds West, 295.04 feet to a point on the South Right-of-way of South Street (Not Constructed); thence run along said South Right-of-way North 50 degrees 10 minutes 00 seconds East, 246.54 feet to a point; thence run South 40 degrees 00 minutes 00 seconds East, 295.04 feet to a point on the North Right-of-way of Soell Drive; thence run along the North Right-of-way of Soell Drive South 50 degrees 10 minutes 00 seconds West, 246.54 feet back to the Point of Beginning.*

**PRELIMINARY**

**ST. TAMMANY PARISH, LOUISIANA**  
**Bruce M. Butler, III**  
**CHANG**



**LAND SURVEYING, LLC**  
**518 N. COLUMBIA STREET**  
**COVINGTON, LA 70433**

**Bruce M. Butler, III**  
**PROFESSIONAL SURVEYOR**

**TELEPHONE: (985) 892-6277**  
**FAX: (985) 898-0355**  
**landsurveyingllc@gmail.com**

*July 8, 2021*

*Description of Property for*

*MVH Properties*

*Located in Section 14 Township 7 South Range 11 East, St. Tammany Parish, Louisiana.*

*From the intersection formed by the centerline of Helenburg Road and the East Right-of-way of 6<sup>th</sup> Avenue run along the East Right-of-way of 6<sup>th</sup> Avenue South 40 degrees 00 minutes 00 seconds East, 675.0 feet to a point in the center of Soell Drive; thence run North 40 degrees 00 minutes 00 seconds West, 30.0 feet to a point on the North Right-of-way of Soell Drive and the Point of Beginning.*

*From the Point of Beginning continue along the East Right-of-way of 6<sup>th</sup> Avenue North 40 degrees 00 minutes 00 seconds West, 295.04 feet to a point on the South Right-of-way of South Street (Not Constructed); thence run along said South Right-of-way North 50 degrees 10 minutes 00 seconds East, 118.00 feet to a point; thence run South 40 degrees 00 minutes 00 seconds East, 295.04 feet to a point on the North Right-of-way of Soell Drive; thence run along the North Right-of-way of Soell Drive South 50 degrees 10 minutes 00 seconds West, 118.00 feet back to the Point of Beginning.*

*This tract contains 34,815.01 Sq. Ft.*

**PRELIMINARY**  
*Bruce M. Butler, III*  
**SUBJECT TO CHANGE**

**LAND SURVEYING, LLC**  
**518 N. COLUMBIA STREET**  
**COVINGTON, LA 70433**

**Bruce M. Butler, III**  
**PROFESSIONAL SURVEYOR**

**TELEPHONE: (985) 892-6277**  
**FAX: (985) 898-0355**  
**landsurveyingllc@gmail.com**

*July 8, 2021*

*Description of Property for*

*MVH Properties*

*Located in Section 14 Township 7 South Range 11 East, St. Tammany Parish, Louisiana.*

*From the intersection formed by the centerline of Helenburg Road and the East Right-of-way of 6<sup>th</sup> Avenue run along the East Right-of-way of 6<sup>th</sup> Avenue South 40 degrees 00 minutes 00 seconds East, 675.0 feet to a point in the center of Soell Drive; thence run North 40 degrees 00 minutes 00 seconds West, 30.0 feet to a point on the North Right-of-way of Soell Drive; thence run along the North Right-of-way of Soell Drive North 50 degrees 10 minutes 00 seconds East, 118.00 feet to the Point of Beginning.*

*From the Point of Beginning run North 40 degrees 00 minutes 00 seconds West, 295.04 feet to a point on the South Right-of-way of South Street (Not Constructed); thence run along said South Right-of-way of South Street (Not Constructed) North 50 degrees 10 minutes 00 seconds East, 128.54 feet to a point; thence South 40 degrees 00 minutes 00 seconds East, 295.04 feet to a point on the North Right-of-way of Soell Drive; thence run along the North Right-of-way of Soell Drive South 50 degrees 10 minutes 00 seconds West, 128.54 feet back to the Point of Beginning.*

*This tract contains 37,925.39 Sq. Ft.*

**PRELIMINARY**  
*Bruce M. Butler, III*  
**SUBJECT TO CHANGE**



**LAND SURVEYING, LLC**  
**518 N. COLUMBIA STREET**  
**COVINGTON, LA 70433**

**Bruce M. Butler, III**  
**PROFESSIONAL SURVEYOR**

**TELEPHONE: (985) 892-6277**  
**FAX: (985) 898-0355**  
**landsurveyingllc@gmail.com**

*July 8, 2021*

*Description of Property for*

*MVH Properties*

*Located as Lot 1-A in Section 14 Township 7 South Range 11 East, St. Tammany Parish, Louisiana.*

*From the intersection formed by the centerline of Helenburg Road and the East Right-of-way of 6<sup>th</sup> Avenue run along the East Right-of-way of 6<sup>th</sup> Avenue South 40 degrees 00 minutes 00 seconds East, 675.0 feet to a point in the center of Soell Drive; thence run North 40 degrees 00 minutes 00 seconds West, 30.0 feet to a point on the North Right-of-way of Soell Drive; thence continue along said East Right-of-way of 6<sup>th</sup> Avenue North 40 degrees 00 minutes 00 seconds West, 240.20 feet to the Point of Beginning.*

*From the Point of Beginning continue along the East Right-of-way of 6<sup>th</sup> Avenue North 40 degrees 00 minutes 00 seconds West, 54.84 feet to a point on the South Right-of-way of South Street (Not Constructed); thence run along said South Right-of-way North 50 degrees 10 minutes 00 seconds East, 246.54 feet to a point; thence run South 40 degrees 00 minutes 00 seconds East, 129.69 feet to a point; thence South 50 degrees 10 minutes 00 seconds West, 128.54 feet to a point; thence North 40 degrees 00 minutes 00 seconds West, 74.85 feet to a point; thence South 50 degrees 10 minutes 00 seconds West, 118.00 feet to a point on the East Right-of-way of 6<sup>th</sup> Street and back to the Point of Beginning.*

*This tract contains 23,142.57 Sq. Ft.*

**PRELIMINARY**  
**SUBJECT TO CHANG**  
*Bruce M. Butler, III*

**LAND SURVEYING, LLC**  
**518 N. COLUMBIA STREET**  
**COVINGTON, LA 70433**

**Bruce M. Butler, III**  
**PROFESSIONAL SURVEYOR**

**TELEPHONE: (985) 892-6277**  
**FAX: (985) 898-0355**  
**landsurveyingllc@gmail.com**

*July 8, 2021*

*Description of Property for*

*MVH Properties*

*Located as Lot 5-A in Section 14 Township 7 South Range 11 East, St. Tammany Parish, Louisiana.*

*From the intersection formed by the centerline of Helenburg Road and the East Right-of-way of 6<sup>th</sup> Avenue run along the East Right-of-way of 6<sup>th</sup> Avenue South 40 degrees 00 minutes 00 seconds East, 675.00 feet to a point in the center of Soell Drive; thence run North 40 degrees 00 minutes 00 seconds West, 30.0 feet to a point on the North Right-of-way of Soell Drive; thence run along said Right-of-way North 50 degrees 10 minutes 00 seconds East, 118.00 feet to the Point of Beginning.*

*From the Point of Beginning run North 40 degrees 00 minutes 00 seconds West, 165.35 feet to a point; thence North 50 degrees 10 minutes 00 seconds East, 128.54 feet to a point; thence South 40 degrees 00 minutes 00 seconds East, 165.35 feet to a point on the North Right-of-way of Soell Drive; thence follow said Right-of-way South 50 degrees 10 minutes 00 seconds West, 128.54 feet back to the Point of Beginning.*

*This tract contains 21,254.35 Sq. Ft.*

**PRELIMINARY**  
**SUBJECT TO CHANGE**  
Bruce M. Butler, III

## MINOR SUBDIVISION STAFF ANALYSIS REPORT

(As of August 3, 2021)

Meeting Date: August 10, 2021

CASE NO.: 2021-2472-MSP

OWNER/DEVELOPER: Decatur Enterprises, Inc.

ENGINEER/SURVEYOR: John G. Cummings & Associates

SECTION: 25

TOWNSHIP: 6 South

RANGE: 10 East

WARD: 3

PARISH COUNCIL DISTRICT: 3

TYPE OF DEVELOPMENT:

☐ SUBURBAN (Residential acreage between 1-5 acres)  
☒ RURAL (Low density residential 5 acres or more)  
☐ OTHER (PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: Located on the north side of US Highway 190 and at the end of Pamela Drive, Covington, Louisiana

SURROUNDING LAND USES: Undeveloped & Residential

TOTAL ACRES IN DEVELOPMENT: 52.21 acres

NUMBER OF LOTS/PARCELS: 52.21 acres into Parcels A & B

ZONING: A-1 Suburban District

### STAFF COMMENTARY:

#### Department of Planning & Development and Department of Engineering

The applicant is requesting to create two (2) parcels from a 52.21 acre parcel. The minor subdivision request requires a public hearing due to:

- Parcel A is proposed to be created as a flag lot requiring a waiver of the regulation by the Planning Commission, since flag lots are only permitted above the Urban Growth Boundary Line.
- Parcel B does not meet the minimum lot width of 300 feet required under the A-1 Suburban Zoning District, along Hwy 190, requiring a waiver from the Planning Commission.
- The name of the access to Parcel A and the name of the access to Parcel B shall be granted approval by the Planning Commission.
- The parent property to be subdivided totals more than 25 acres in size and only Parcel A consisting of 10.5 acres has been surveyed, requiring a waiver of the regulations by the Planning Commission, since the site is located south of the Urban Growth Boundary Line.

The request shall be subject to the below comments:

- 1- As per St. Tammany Parish Communication District, the proposed access to Parcel A depicted on the survey plat, shall be named and granted approval by the Planning Commission. The proposed name "Olga Lane" has been submitted and approved by St. Tammany Parish Communication District.
- 2- As per St. Tammany Parish Communication District, the proposed access to Parcel B depicted on the survey plat, shall be named and granted approval by the Planning Commission. The proposed

name "Benedict Lane" has been submitted and approved by St. Tammany Parish Communication District.

- 3- Provide amended survey showing the approved names of the accesses to Parcel A and to Parcel B.
- 4- Provide signature line for the Chairman of the Planning Commission.
- 5- Extend the access from Pamela Drive to Parcel A to the entire width of the right of way (60 feet).

In order to approve the waivers a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 - Subdivision Regulations.





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## MINOR SUBDIVISION STAFF ANALYSIS REPORT

(As of August 10, 2021)

Meeting Date: August 10, 2021

CASE NO.: 2021-2492-MSP

OWNER/DEVELOPER: Three W., Mandeville LLC and BB Mini Storage, LLC

ENGINEER/SURVEYOR: Dading, Marques & Associates, LLC

SECTION: 25, 30

TOWNSHIP: 7 South

RANGE: 11, 12 East

WARD: 4

PARISH COUNCIL DISTRICT: 5

TYPE OF DEVELOPMENT:               SUBURBAN (Residential acreage between 1-5 acres)  
          RURAL (Low density residential 5 acres or more)  
     X   OTHER (PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: Located on the east side of LA Highway 59, south of I-12, Mandeville, Louisiana

SURROUNDING LAND USES: Commercial and Undeveloped

TOTAL ACRES IN DEVELOPMENT: 22.35 acres

NUMBER OF LOTS/PARCELS: 6.12 acres & 16.225 acres into Parcels A, B, C & D

ZONING: HC-3 Highway Commercial District

### STAFF COMMENTARY:

#### Department of Planning & Development and Department of Engineering

The applicant is requesting to create four (4) parcels from a 6.12 acre parcel & a 16.225 acre parcel. The minor subdivision request requires a public hearing due to:

- Parcel A is proposed to be accessed from a private cross access servitude, through Parcel B, from LA Highway 59.
- Parcels A & C are proposed to be accessed from an existing private drive, requiring approval by the Planning Commission.
- The original parent property before the creation of the 6.12 acre parcel and the 16.225 acre parcel totaled more than 25 acres in size. Only Parcels A, B & C consisting of 6.12 acres have been surveyed, requiring a waiver of the regulations by the Planning Commission, since the site is located south of the Urban Growth Boundary Line.
- Requesting a waiver to construct the private drive and the required drainage prior to building permit being issued instead of prior to plats being recorded.

The request shall be subject to the above and below comments:

1. Amend the survey as follow: ~~Resubdivision~~ Minor Subdivision of a 6.12 acre Tract & a 16.225 acre Tract.
2. Provide 10 original revised scaled copies of the survey, maximum paper size 11 inches X 17 inches for recordation.
3. Show leader lines for the original 2 tracts of land.

4. As per 911 Communication District, signage must be provided at HWY 59, at the driveway/cross access servitude leading to the parcel A.
5. Provide a maintenance agreement for the proposed private drive.
6. Add the following note to the survey: No building permit will be issued before construction of the private drive and the required drainage is completed.
7. Submit plans of proposed private drive to the Department of Engineering for review and approval.
8. The private drive is subject to Section 125-189 - Minimum construction standards for a private drive (listed below):
  - a. Perpetual servitude of access with a minimum width of 35 feet.
  - b. Driving surface of 20 feet in width with two-foot shoulders on each side of the drive and 5½ feet on each side of the shoulder devoted to ditching/drainage and or utilities.
  - c. Drive shall be constructed with suitable compacted subbase materials and overlaid with an aggregate material (i.e., shell, gravel, limestone, three-course treatment, asphalt, concrete, etc.) that is acceptable to the Department of Engineering.
  - d. Ditch or ditches shall be constructed on either one or both sides of a drive in accordance to standard practices adopted by the Department of Engineering in order to provide adequate drainage.
  - e. Plans for the construction of the private drive and drainage submitted to the Department of Engineering for review and approval prior to the initiation of work.
  - f. Final inspection of the work performed by the Department of Engineering, after the private drive has been constructed and drainage improvements made.
  - g. Once the private drive has been constructed and all drainage improvements completed and approved by the Department of Engineering, then, and only then can the minor subdivision be recorded for public record in the clerk of court's office and the lots sold or donated.

In order to approve the waivers a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 - Subdivision Regulations.







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**MINOR SUBDIVISION STAFF ANALYSIS REPORT**

*(As of July 27, 2021)*

*Meeting Date: August 10, 2021*

CASE NO.: 2021-2493-MSP

OWNER/DEVELOPER: N59 Ventures, LLC – Michael Saucier and 2003 Realty Company, LLC – Richard Mueller III

ENGINEER/SURVEYOR: Lowe Engineers, LLC

SECTION: 19

TOWNSHIP: 7 South

RANGE: 12 East

WARD: 4

PARISH COUNCIL DISTRICT: 5

TYPE OF DEVELOPMENT:                           SUBURBAN (Residential acreage between 1-5 acres)  
          RURAL (Low density residential 5 acres or more)  
     X   OTHER (PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: Located on the east side of LA Highway 59 and on the north side of East Koop Drive, Mandeville, Louisiana

SURROUNDING LAND USES: Undeveloped

TOTAL ACRES IN DEVELOPMENT: 9.2 acres

NUMBER OF LOTS/PARCELS: Lots 1A1-A1 & 1A2 into lots 1A1-A1A & 1A2-A

ZONING: HC-2 & HC-3 Highway Commercial Districts

**STAFF COMMENTARY:**

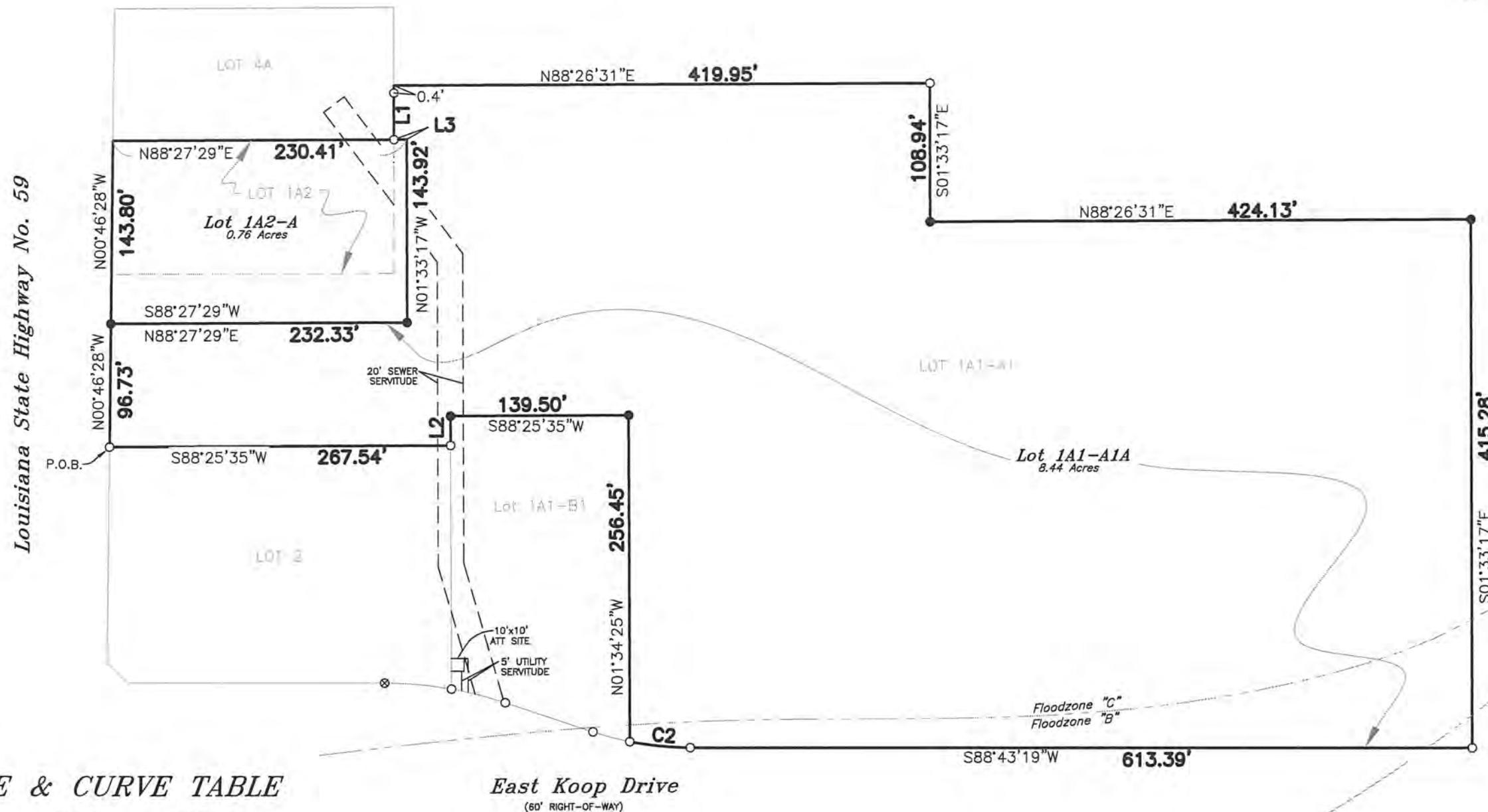
**Department of Planning & Development and Department of Engineering**

The applicant is requesting to create two (2) lots from lots 1A1-A1 & 1A2. The minor subdivision request requires a public hearing due to:

- Lots 1A1-A1 & 1A2 were previously part of a minor subdivision approved by the Planning Commission in August 2015 as MS15-07-031 (see attached survey).
- Lot 1A-2 does not meet the minimum lot size of 1 acre required under the Minor Subdivision Regulations.

In order to approve the waivers a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 - Subdivision Regulations.

NOTE: THE P.O.B. IS REPORTED TO BE N00°12'E-667.45'; N89°30'W-60.36'; N03°08'00"E-136.51' AND N00°46'28"W-169.96' FROM THE SOUTHWEST CORNER OF SECTION 19, TOWNSHIP 7 SOUTH, RANGE 12 EAST, ST. TAMMANY PARISH, LOUISIANA.



### APPROVALS:

CHAIRMAN - ST. TAMMANY PLANNING COMMISSION

SECRETARY - ST. TAMMANY PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

CLERK OF COURT

DATE FILED

MAP FILE NO.

### LINE & CURVE TABLE

LINE	BEARING	DISTANCE
L1	N01°33'17"W	42.40'
L2	S01°34'25"E	23.00'
L3	N88°27'29"E	10.05'

CURVE	RADIUS	ARC LENGTH	CHORD	CHORD LENGTH
C1	240.50'	47.54'	N85°36'54"W	47.46'

- ⊗ = Disc Found  
○ = 1/2" Iron Pipe Found  
● = 1/2" Iron Rod Set

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LOWE ENGINEERS, LLC

#### REFERENCE SURVEY:

A survey by this firm with survey no. 2016 135B dated 03/30/16, last revised 07/18/18.

#### BASIS FOR BEARINGS:

The Reference Survey.

**NOTE:** This is to certify that I have done an actual ground survey and found that no encroachments exist either way across any property lines except as shown.

**FLOODZONE NOTE:** This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described is located in Flood Zone(s) "C, B & A1" with a Base Flood Elevation of N/A in accordance with Community Panel No. 225205 0245 C; Revised: OCTOBER 17, 1989

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL; AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS "DL" SURVEY.

Survey No. 21-140459

Drawn by: SPH

Scale: 1" = 100'

Date: JULY 15, 2021

Revised:

**NOTE:** Setback lines shall be verified by owner and/or contractor prior to any construction, as an abstract has not been performed by the undersigned.

This Survey is Certified True and Correct By

A MINOR SUBDIVISION OF  
**LOTS 1A1-A1 & 1A2, LITTLE CREEK**  
into  
**LOTS 1A1-A1A & 1A2-A, LITTLE CREEK**  
situated in SECTION 19, T-7-S, R-12-E  
St. Tammany Parish, Louisiana  
for  
**GULF STATES CONSTRUCTION SERVICES, INC.**

**LOWE ENGINEERS, LLC**  
Professional Land Surveyors • Planners and Consultants  
1011 NORTH CAUSEWAY BLVD., SUITE 34 • MANDEVILLE, LA 70471  
(985)845-1012 • (985)845-1013 • FAX NO. (985)845-1778  
www.JEBCOLandSurveying.com • e-mail: info@jebcosurvey.com

**NOTE:** Servitudes shown hereon are not necessarily exclusive. Servitudes of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.

JOHN E. BONNEAU  
Professional Land Surveyor  
Registration No. 4423



RESERVED FOR  
FUTURE R.O.W.  
DEDICATION

LA. STATE HWY NO. 59

KOOP  
DRIVE

APPROVED:

CHAIRMAN, PLANNING COMMISSION

SECRETARY PARISH PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

CLERK OF COURT

8-25-2015  
DATE FILED

5414C  
FILE NO.

N88°26'31"E  
218.95'  
LOT 4A  
0.524 Acres  
(NOT A PART)

220.36'  
S88°27'29"W  
LOT 1A2  
0.534 Acres

N88°25'35"E 267.54'  
LOT 2  
1.148 Acres  
(NOT A PART)

202.15'  
S88°43'25"W

P.O.B.  
see note

RESERVED FOR PRIVATE DRAINAGE &  
UTILITY SERVITUDE  
(NOT A BUILDABLE LOT)

NOTE:  
P.O.B IS REPORTED TO BE N0°12'E, 667.45'  
(717.42'-TITLE); N89°30'E, 60.36'; N03°08'00"E,  
136.51' FROM THE SOUTHWEST CORNER OF  
SECTION 19, TOWNSHIP 7 SOUTH, RANGE 12  
EAST, ST. TAMMANY PARISH, LOUISIANA.

CURVE TABLE

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	77.38'	240.50'	18°26'03"	N82°03'39"W	77.04'
C2	43.54'	299.50'	8°19'49"	N77°00'32"W	43.51'
C3	52.81'	299.50'	10°06'09"	N86°13'31"W	52.74'

LINE TABLE

LINE	BEARING	DISTANCE
L1	N72°50'37"W	72.45'
L2	N46°03'11"W	21.78'

PARCEL A-1-A

N88°26'31"E 419.95'

LOT 1A1  
5.392 Acres

FORMERLY  
LOT 1A

FORMERLY  
LOT 3A

EAST KOOP DRIVE R/W

1.33 ACRES

RESERVED FOR PRIVATE  
10' DRAINAGE &  
UTILITY SERVITUDE

LAFARGE CONCRETE

P.I.

CHURCH OF THE KING

A MINOR SUBDIVISION OF  
LOTS 1A & 3A \* LITTLE CREEK,  
SECTION 19, TOWNSHIP 7 SOUTH - RANGE 12 EAST  
ST. TAMMANY PARISH, LOUISIANA  
INTO  
LOTS 1A1 AND 1A2

NOTE:

ATTENTION TO CLERK OF COURT:

Lots 1A and 3A represent a portion of a previously  
approved Minor Subdivision (MS14-03-016) by St.  
Tammany Parish Government, recorded under Map File  
No. 5255B and filed for record on April 23, 2014. The  
Parish of St. Tammany requests that the Clerk of Court  
make mention of same within the margin of the original  
recorded filing, to serve as occasion may require.

LOT 5  
4.033 Acres  
(NOT A PART)

PARCEL A-1-A  
(NOT A PART)



Copyright 2015 - Randall W. Brown & Associates, Inc.

Y:\SurveyShared\Subdivisions\Projects\ACTIVE\HWY 59-GULF STATES\2015\dominos.dwg

● DENOTES 1/2" IRON PIPE FND  
UNLESS OTHERWISE NOTED

○ DENOTES 1/2" IRON PIPE TO BE SET  
UNLESS OTHERWISE NOTED

REF.1: Assimilation Survey by Randall W. Brown  
Dated: 12/20/11, Revised: 4/23/12

REF.2: Resub by Randall W. Brown  
Date filed: 4/23/2014  
File No.: 5255B

THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SET  
FORTH IN THE DESCRIPTION FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL  
APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON. THE SURVEYOR HAS MADE  
NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY

SURVEYED IN ACCORDANCE WITH THE LOUISIANA  
"MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS"  
FOR A CLASS C SURVEY.

Randall W. Brown, P.L.S.  
Professional Land Surveyor  
LA Registration No. 04586

Randall W. Brown & Associates, Inc.  
Professional Land Surveyors  
Planners • Consultants  
228 W. Causeway App. Mandeville, LA 70448  
(985) 624-5368 FAX (985) 624-5309

Date: JUNE 18, 2015  
Survey No. .  
Project No. .

Scale: 1"=100'±  
Drawn By: RJB  
Revised:

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## MINOR SUBDIVISION STAFF ANALYSIS REPORT

(As of August 3, 2021)

Meeting Date: August 10, 2021

CASE NO.: 2021-2495-MSP

OWNER/DEVELOPER: Fitzjackel, LLC – Clark P. Fitz-Hugh

ENGINEER/SURVEYOR: Land Surveying, LLC

SECTION: 22

TOWNSHIP: 6 South

RANGE: 11 East

WARD: 3

PARISH COUNCIL DISTRICT: 2

TYPE OF DEVELOPMENT:

☐ SUBURBAN (Residential acreage between 1-5 acres)  
☒ RURAL (Low density residential 5 acres or more)  
☐ OTHER (PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: Located on the north side of Johnsen Road and on the east side of LA Highway 437, Covington, Louisiana

SURROUNDING LAND USES: Undeveloped

TOTAL ACRES IN DEVELOPMENT: 68.6 acres

NUMBER OF LOTS/PARCELS: Parcel 3A into Parcels 3A-1, 3A-2, 3A-3, 3A-4, 3A-5

ZONING: A-1 Suburban District and RO Rural Overlay

### STAFF COMMENTARY:

#### Department of Planning & Development and Department of Engineering

The applicant is requesting to create five (5) parcels from Parcel 3A. The minor subdivision request requires a public hearing due to:

- Parcel 3A was previously part of a minor subdivision approved by the Planning Commission in April 2021 as 2021-2318-MSP (see attached survey).
- Parcel 3A-3 does not meet the minimum lot width of 300 feet required under A-1 Suburban Zoning District, along Hwy 437, requiring a waiver from the Planning Commission.

The request shall be subject to the above and below comments:

1. Provide the pond setback from the western property line, shown on proposed Parcel 3A-5. Note that the pond shall be located 25 feet from the property line or a variance shall be requested to the Board of Adjustment.
2. Remove the access from Hwy 437 to Parcel 3A-3, since the parcel can be accessed from Johnsen Road, in order to minimize the number of driveway access from Hwy 437 and to eliminate the need for a waiver of the minimum lot width along Hwy 437.

In order to approve the waivers a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 - Subdivision Regulations.



A Minor Subdivision of Parcel 3A, into Parcels 3A-1, 3A-2, 3A-3, 3A-4 & 3A-5, Section 22, T6S-R11E, St.Tammany Parish, Louisiana

Final Approval:

Director, Dept. of Engineering

Secretary, Planning Commission

Chairman, Planning Commission

Clerk of Court

Date Filed

Map File No.

Reference:

- 1) Survey Plat by Jeron Fitzmorris, Dated 12-4-1981, #2538  
2) A Resub Map by this Firm, File Date 9-29-2020, File No. 5958E, Clerk of Courts Office (Based Bearings)  
3) A Resub Map by this Firm, File Date 5-3-2021, File No. 6018B, Clerk of Courts Office

Reference calls not shown

The P.O.B. is described being North-40.0'; West-1263.0'; from the Section Corner common to Sections 22, 23, 26 & 27, T-6-S, R-11-E, St.Tammany Parish, La.

LEGEND:

- = Set 1/2" Iron Rod  
■ = Fnd. 5/8" Iron Rod  
● = Fnd. 1/2" Iron Rod  
⊙ = Fnd. 1" Iron Pipe  
□ = Fnd. Conc. Hwy. Mon.  
✱ = Fnd. 1 1/2" Iron Pipe  
▣ = Fnd. 2" Iron Pipe  
▲ = Fnd. 1/2" Iron Pipe  
—X— = Fence  
—E— = Powerline

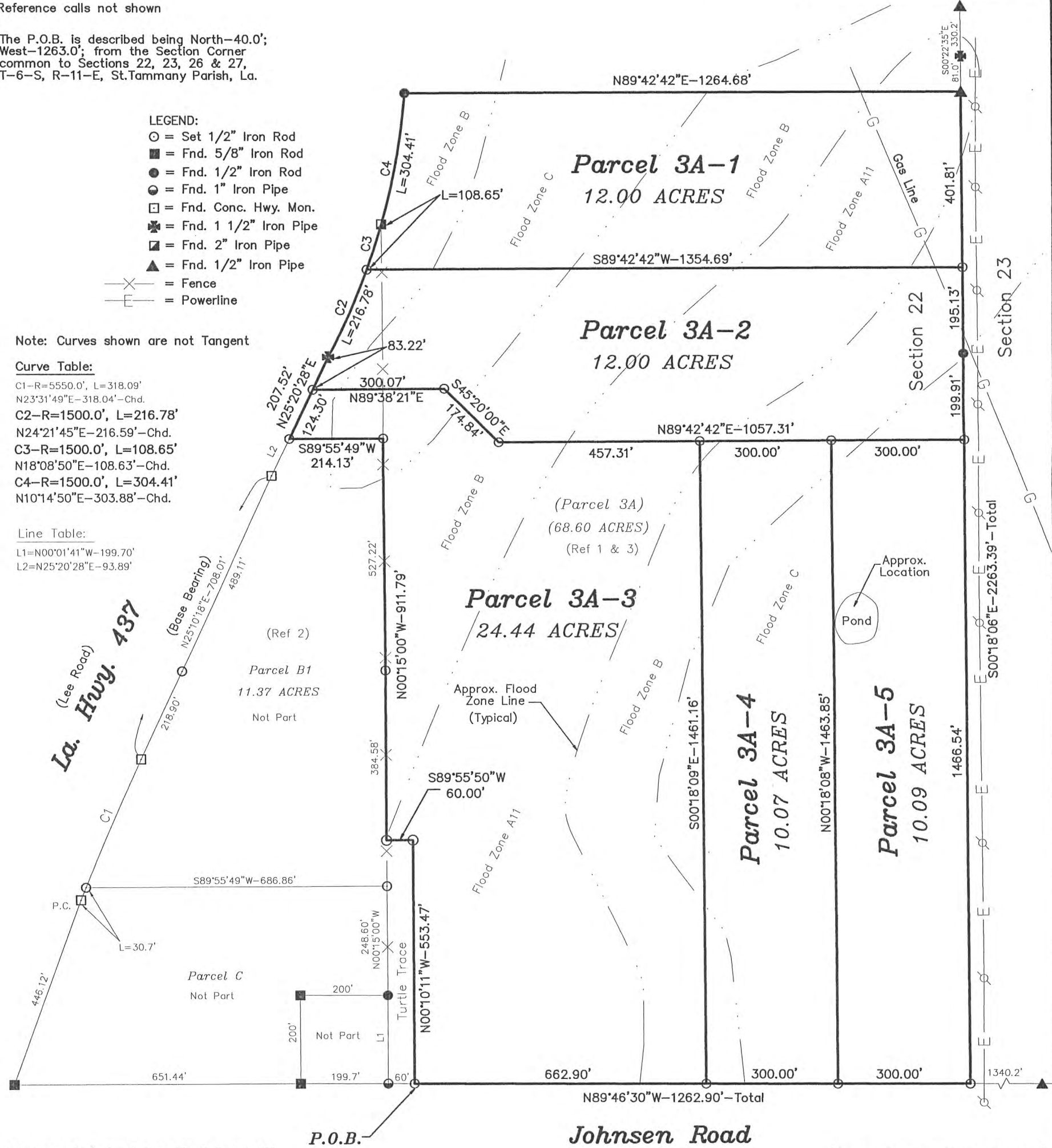
Note: Curves shown are not Tangent

Curve Table:

- C1-R=5550.0', L=318.09'  
N23°31'49"E-318.04'-Chd.  
C2-R=1500.0', L=216.78'  
N24°21'45"E-216.59'-Chd.  
C3-R=1500.0', L=108.65'  
N18°08'50"E-108.63'-Chd.  
C4-R=1500.0', L=304.41'  
N10°14'50"E-303.88'-Chd.

Line Table:

- L1=N00°01'41"W-199.70'  
L2=N25°20'28"E-93.89'



This property is located in Flood Zones A11, B & C, per Fema Map No. 225205 0150 C, Dated 10-17-1989

Some items shown are not to scale for clarity, dimensions shown prevail pver scale

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST, AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS.

THIS MAP IS IN ACCORDANCE WITH THE STANDARD DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A "D" SURVEY AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46:XXI.

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED.

BRUCE M. BUTLER III  
LA. PROFESSIONAL LAND SURVEYOR  
LIC. NO. 4894

Land Surveying, LLC  
518 N. Columbia Street  
Covington, LA 70433  
(985) 892-6277 office (985) 898-0355 fax

MAP PREPARED FOR  
**CALLENDER & FITZJACKEL, LLC**

SCALE: 1" = 250'	DRAWN BY: JWG
DATE: 6-30-2021	
Section 22, T-6-S, R-11-E, St. Tammany Parish, La.	
SURVEY NUMBER: 20431	



A Minor Subdivision of Parcels 3, A & B Into  
Parcels B1 & 3A, Section 22 Township 6  
South Range 11 East, St. Tammany Parish,  
Louisiana

Final Approval:

Director, Dept. of Engineering

Secretary, Planning Commission

Chairman, Planning Commission

Clerk of Court **Amy White, Deputy Clerk**

**5-3-21** Map File No. **6018B**

Date Filed

Reference:

- 1) Survey Plat by Jeron Fitzmorris,  
Dated 12-4-1981, #2538
- 2) Survey Map by John Bonneau,  
Dated 6-19-2006, #2006 750
3. A Resub Map by this Firm, File Date  
9-29-2020, File No. 5958E, Clerk of  
Courts Office (Based Bearings)

Reference calls not shown

The P.O.B. is described being North-40.0';  
West-1323.0'; from the Section Corner  
common to Sections 22, 23, 26 & 27,  
T-6-S, R-11-E, St. Tammany Parish, La.  
(per Ref 2)

- LEGEND:
- = Set 1/2" Iron Rod
  - = Fnd. 5/8" Iron Rod
  - = Fnd. 1/2" Iron Rod
  - = Fnd. 1" Iron Pipe
  - = Fnd. Conc. Hwy. Mon.
  - ⊠ = Fnd. 1 1/2" Iron Pipe
  - ▣ = Fnd. 2" Iron Pipe
  - ▲ = Fnd. 1/2" Iron Pipe
  - X— = Fence
  - ... = Line Not Surveyed

Note: Curves shown are not Tangent

Curve Table:

C1-R=5550.0', L=318.09'  
N23°31'49"E-318.04'-Chd.  
C2-R=1500.0', L=325.43'  
N22°17'15"E-324.79'-Chd.  
C3-R=1500.0', L=303.8' +/-  
N10°16'00"E-303.3' +/- Chd.

Line Table:

L1=N00°01'41"W-199.70'  
L2=N25°20'28"E-93.89'

**La. Hwy. 437**  
(Lee Road)

**Parcel B1**  
**11.37 ACRES**

(Parcel B)

**Parcel 3A**

(Parcel 3, 68.3 Acres)

**68.65 ACRES**

Ref 1

Section 22

Section 23

1262.90'  
N89°46'30"W-1322.90' - Total

**Johnsen Road**

(Asphalt)

P.O.B.

(Must verify prior to Construction)  
Building Setbacks:  
Front:  
Side:  
Rear:  
Side Street:

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY  
EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE  
REQUEST, AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT  
OR TITLE SEARCH. THE UNDERSIGNED HAS MADE NO ATTEMPT  
TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS.  
THIS MAP IS IN ACCORDANCE WITH THE STANDARD  
DETAILED REQUIREMENTS PURSUANT TO THE APPLICABLE STANDARDS  
OF PRACTICE CITED IN LAC 46:1X1.  
THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE  
ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED.  
License No. 4894  
*Amy White*  
BRUCE M. BUTLER III  
LA. PROFESSIONAL LAND SURVEYOR  
LIC. NO. 4894

**CALLENDER & FITZJACKEL, LLC**

MAP PREPARED FOR

**LS**  
Land Surveying, LLC  
518 N. Columbia Street  
Covington, LA 70433  
(985) 892-6277 office (985) 898-0355 fax



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**MINOR SUBDIVISION STAFF ANALYSIS REPORT**

*(As of August 3, 2021)*

*Meeting Date: August 10, 2021*

CASE NO.: 2021-2496-MSP

OWNER/DEVELOPER: Robert Hicks

ENGINEER/SURVEYOR: Duplantis Design Group

SECTION: 9

TOWNSHIP: 7 South

RANGE: 10 East

WARD: 1

PARISH COUNCIL DISTRICT: 1

TYPE OF DEVELOPMENT:

☐ SUBURBAN (Residential acreage between 1-5 acres)  
☒ RURAL (Low density residential 5 acres or more)  
☐ OTHER (PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: Located on the north side of Brewster Road, east of Perrilloux Road, Madisonville, Louisiana

SURROUNDING LAND USES: Residential and Undeveloped

TOTAL ACRES IN DEVELOPMENT: 5.19 acres

NUMBER OF LOTS/PARCELS: 1.480 acres & 3.711 acres into Parcels A, B & C

ZONING: A-2 Suburban District

**STAFF COMMENTARY:**

**Department of Planning & Development and Department of Engineering**

The applicant is requesting to create three (3) parcels from a 1.48 acre parcel and a 3.711 acre parcel. The minor subdivision request requires a public hearing due to:

- Parcel A is proposed to be created as a flag lot requiring a waiver of the regulation by the Planning Commission, since flag lots are only permitted above the Urban Growth Boundary Line.
- Parcel B is proposed to be created as a flag lot requiring a waiver of the regulation by the Planning Commission, since flag lots are only permitted above the Urban Growth Boundary Line

The request shall be subject to the below comments:

1. Show the leader lines for the original 1.480 acres & 3.711 acres tracts.

In order to approve the waivers a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 - Subdivision Regulations.



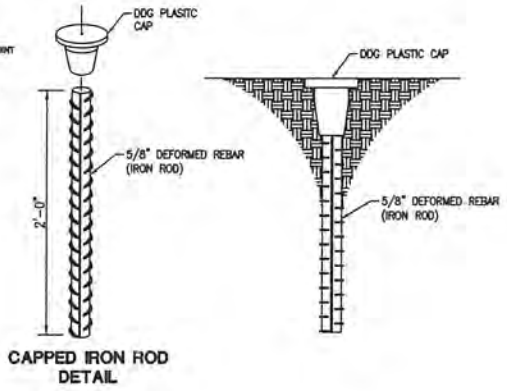
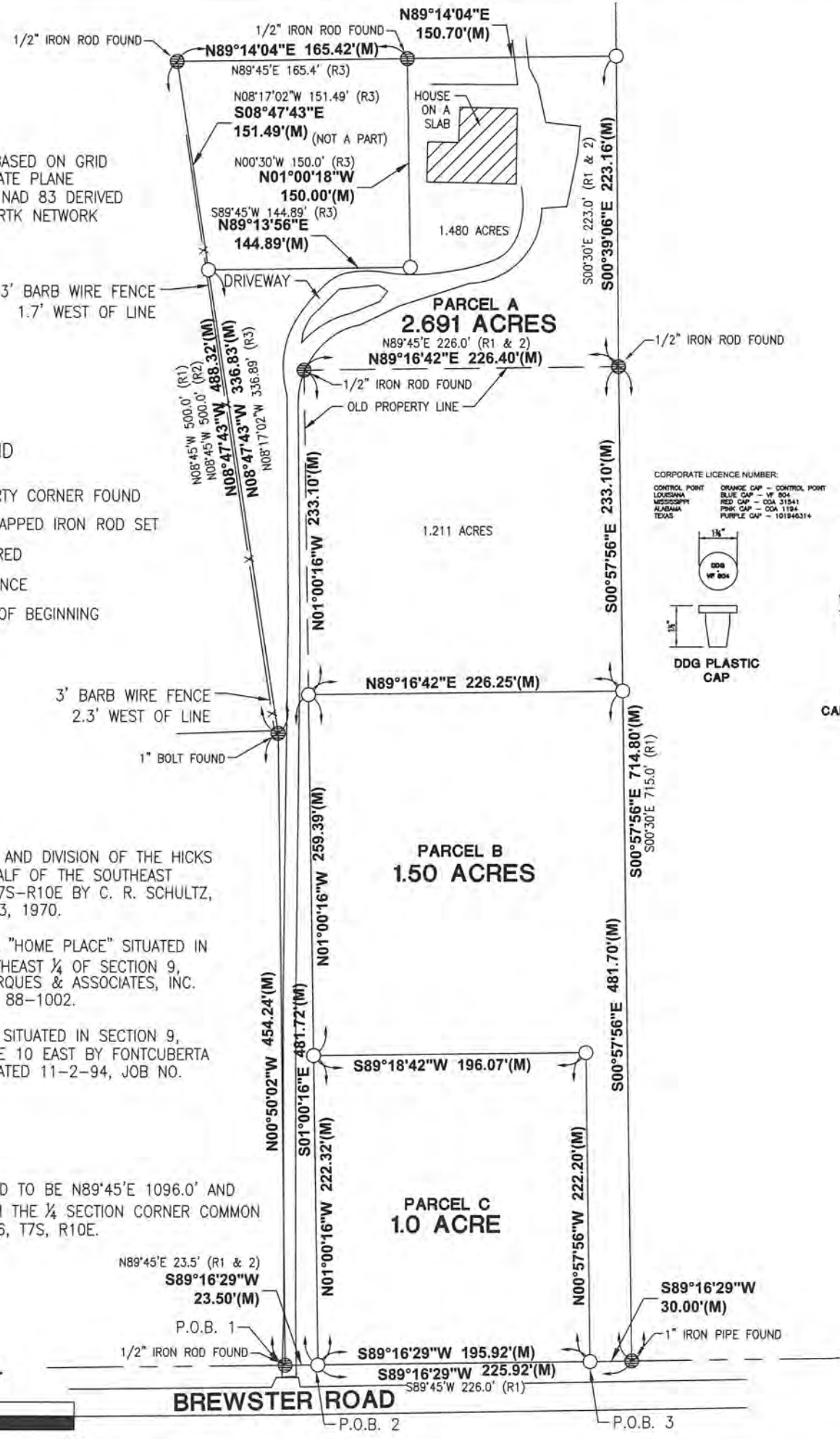
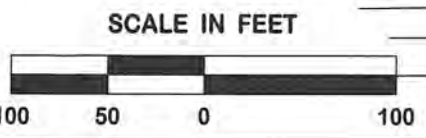


MEASURED BEARING BASED ON GRID NORTH, LOUISIANA STATE PLANE SOUTH ZONE (1702) NAD 83 DERIVED FROM THE LSU C4G RTK NETWORK (2021.52).

- LEGEND
- PROPERTY CORNER FOUND
  - 5/8" CAPPED IRON ROD SET
  - (M) MEASURED
  - (R) REFERENCE
  - P.O.B. POINT OF BEGINNING

- REFERENCES:
- 1) MAP SHOWING SURVEY AND DIVISION OF THE HICKS PROPERTY IN THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 9-T7S-R10E BY C. R. SCHULTZ, SURVEYOR, DATED MARCH 3, 1970.
  - 2) SURVEY OF PARCEL 7, "HOME PLACE" SITUATED IN THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 9, T7S-R10E BY DADING, MARQUES & ASSOCIATES, INC. DATED 5-19-88, JOB NO. 88-1002.
  - 3) SURVEY OF PROPERTY SITUATED IN SECTION 9, TOWNSHIP 7 SOUTH, RANGE 10 EAST BY FONTCUBERTA SURVEYS INCORPORATED DATED 11-2-94, JOB NO. 944617.

P.O.B. 1 IS REPORTED TO BE N89°45'E 1096.0' AND N00°20'W 25.0' FROM THE 1/4 SECTION CORNER COMMON TO SECTIONS 9 & 16, T7S, R10E.



# MINOR SUBDIVISION

OF 1.480 ACRES AND 3.711 ACRES INTO PARCELS A, B, & C,  
SECTION 9, TOWNSHIP 7 SOUTH, RANGE 10 EAST,  
GREENSBURG LAND DISTRICT  
ST. TAMMANY PARISH, LOUISIANA

APPROVAL:

CHAIRMAN-PARISH PLANNING COMMISSION

SECRETARY OF THE PARISH PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

CLERK OF COURT

DATE FILED FILE NO

## FLOOD ZONE NOTE:

SURVEYOR HAS CONSULTED THE FEMA FLOOD INSURANCE RATE MAP (F.I.R.M) FOR THIS LOCATION AND FOUND THAT THE SUBJECT PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA:  
FLOOD ZONE: "C"  
BASE FLOOD ELEVATION: NOT INDICATED  
COMMUNITY PANEL NO. 225205 0205 C  
MAP REVISED: OCTOBER 17, 1978  
(CONTACT ST. TAMMANY PARISH FOR ADDITIONAL ELEVATION REQUIREMENTS.)

THE SERVITUDES AND RESTRICTIONS SHOWN HEREON ARE LIMITED TO THOSE SET FORTH IN THE INFORMATION PROVIDED TO US. THERE IS NO REPRESENTATION MADE BY THIS SURVEYOR THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN. TITLE WAS NOT RESEARCHED IN PREPARATION OF THIS SURVEY.

I CERTIFY THAT THIS PLAT REPRESENTS AN ACTUAL GROUND SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND IT DOES CONFORM TO THE REQUIREMENTS OF LA R.S. 33.5051 AND THE CURRENT LOUISIANA STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A CLASS "C" SURVEY.


DATE OF SURVEY: 07/12/2021

SHAWN P. MACMENAMIN, P.L.S.:  
LA REG. NO. 5099  
SMACMENAMIN@DDGPC.COM



REVISION	BY

DUPLANTIS DESIGN GROUP, PC  
SURVEY  
16564 Brewster Road, Suite 101  
Covington, LA 70438  
Phone: 985.249.6100 | Fax: 985.249.6190  
1308 Camellia Street Blvd., Suite 200  
Lafayette, LA 70506  
WWW.DDGPC.COM



DUPLANTIS DESIGN GROUP

MINOR SUBDIVISION  
ST. TAMMANY PARISH, LOUISIANA  
CHRIS MURILL

DRAWN HLA
CHECKED SPM
ISSUED DATE 07/09/2021
ISSUED FOR REVIEW
PROJECT NO. 21-640
FILE 21-640
SHEET 1-1



# **RESUBDIVISION REVIEW**

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## RESUBDIVISION STAFF ANALYSIS REPORT

*(As of August 3, 2021)*

*Meeting Date: August 10, 2021*

CASE FILE NO: 2021-2490-MRP

NAME OF SUBDIVISION: Town of Mandeville

LOTS BEING DIVIDED: Lots 1, 2, 3, 4, 5, 6, 10A, 11A, 12A & a portion of lot 9-A-1 into lots 1A, 2A, 3A, 4A, 5A & 9-A-1-A

SECTION: 46

WARD: 4

TOWNSHIP: 8 South

PARISH COUNCIL DISTRICT: 7

RANGE: 21 East

PROPERTY LOCATION: Property is located on the south side of Carolyn Street, on the north side of America Street, on the east side of Rapatel Street, on the west side of McDonald Street, Mandeville, Louisiana

ZONING: A-4 Single-Family Residential District

PROPERTY OWNER: Big D Land & Cattle Company, LLC – Dennis A. Pasentine

### **STAFF COMMENTARY:**

#### **Department of Planning & Development and Department of Engineering**

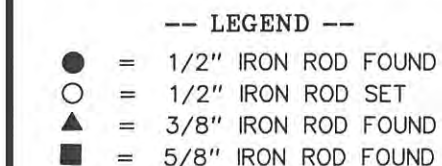
The owner is requesting to create six (6) lots – lots 1A, 2A, 3A, 4A, 5A & 9-A-1-A. The public hearing is required considering that:

- The proposal involves the creation/adjustment of more than five (5) lots.

The request shall be subject to the above and below comments:

1. The following lots shall be relabeled as follow: lot ~~1-A~~ **2-A**, lot ~~2-A~~ **4-A**, lot ~~3-A~~ **6-A**, lot ~~4-A~~ **12-A-1**, lot ~~5-A~~, **10-A-1**.
2. Show existing buildings on proposed lot ~~1-A~~ **2-A**.

In order to approve the request a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 - Subdivision Regulations

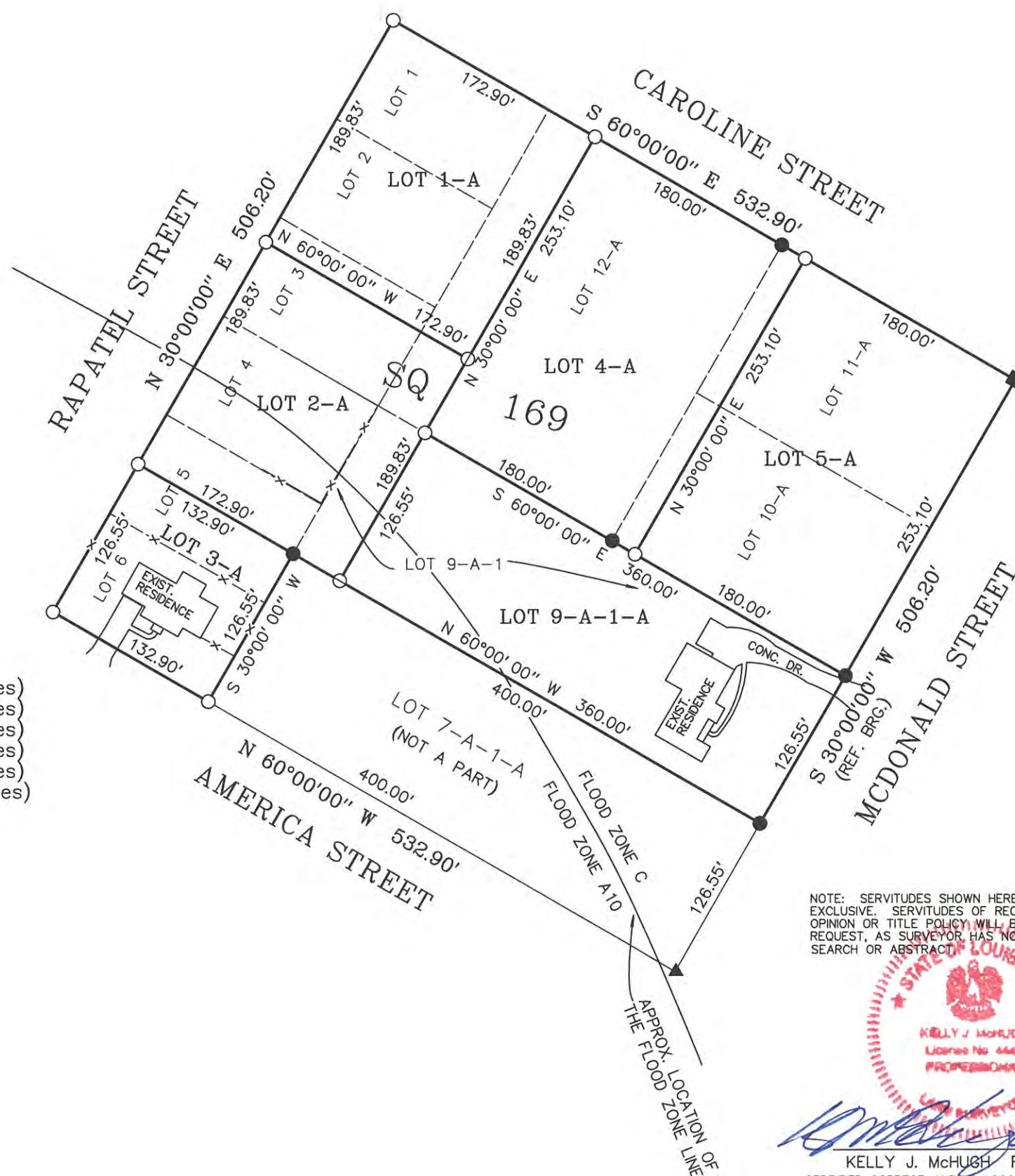


LOT AREAS			
LOT 1-A	32820.74	sq.ft.	(0.75 acres)
LOT 2-A	32820.74	sq.ft.	(0.75 acres)
LOT 3-A	16818.49	sq.ft.	(0.39 acres)
LOT 4-A	45558.00	sq.ft.	(1.05 acres)
LOT 5-A	45558.00	sq.ft.	(1.05 acres)
LOT 9-A-1-A	45558.00	sq.ft.	(1.05 acres)

NOTE:  
OWNER OR CONTRACTOR IS RESPONSIBLE  
FOR VERIFYING BUILDING SETBACKS  
BEFORE CONSTRUCTION BEGINS.


( NO SETBACKS OR SERVITUDES SHOWN HEREON. )

THIS PROPERTY IS LOCATED IN FLOOD  
ZONE A10 & C ; BASE FLOOD ELEV. 11.0' ; F.I.R.M.  
PANEL NO. 225205 0360 C; REV. 04-02-91



NOTE: SERVITUDES SHOWN HEREON ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST, AS SURVEYOR HAS NOT PERFORMED ANY TITLE SEARCH OR ABSTRACT.



  
 KELLY J. McHUGH REG. NO. 4443  
 CERTIFIED CORRECT AND IN ACCORDANCE WITH A PHYSICAL  
 SURVEY MADE ON THE GROUND AND COMPLYING WITH THE  
 CURRENT APPLICABLE STANDARDS OF PRACTICE FOR A CLAS-  
 S "C" SURVEY. RED STAMP SIGNIFIES CORRECT PLAT.

APPROVAL:

CHAIRMAN PARISH PLANNING COMMISSION

SECRETARY PARISH PLANNING COMMISSION

\_\_\_\_\_  
DIRECTOR OF THE DEPARTMENT OF ENGINEERING

DATE FILED	FILE NO.
------------	----------

CLERK OF COURT

REFERENCES:

1. A RESUBDIVISION PLAT BY THIS FIRM, FILED FOR RECORD 04-15-18 MAP FILE NO. 867-B.
2. A RESUBDIVISION PLAT BY JOHN BONNEAU AND ASSOC. FILED FOR RECORD 08-30-2004, MAP FILE NO. 3530-C.
3. DEED RECORDED IN THE OFFICIAL RECORDS OF ST. TAMMANY PARISH FILED 08-12-2004. INSTR. NO. 1449336

BOUNDARY SURVEY OF:  
A RESUBDIVISION OF LOTS 1,2,3,4,5,6,10A,11A,  
12A & A PORTION OF LOT 9-A-1, SQ. 169,  
INTO LOTS 1A, 2A, 3A, 4A, 5A, & 9-A-1-A  
SQ. 169, TOWN OF MANDEVILLE  
(UNINCORPORATED)  
ST. TAMMANY PARISH, LOUISIANA.

PREPARED FOR:

DENNIS A. PASENTINE

KELLY J. McHUGH & ASSOC., INC.  
CIVIL ENGINEERS & LAND SURVEYORS  
845 GALVEZ ST., MANDEVILLE, LA. 626-5611

SCALE:	1" = 100'	DATE:	07-01-21
DRAWN:	MDM	JOB NO.:	21-094
REVISED:			

## RESUBDIVISION STAFF ANALYSIS REPORT

*(As of August 3, 2021)*

*Meeting Date: August 10, 2021*

CASE FILE NO: 2021-2497-MRP

NAME OF SUBDIVISION: The Birg Boulevard

LOTS BEING DIVIDED: Lots 1, 3-65 & 67 into lots 3A, 6A, 7A, 10A, 11A, 14A, 15A, 18A, 19A, 22A, 23A, 26A, 27A, 30A, 31A, 34A, 35A, 38A, 39A, 42A, 43A, 46A, 47A, 50A, 51A, 54A, 55A, 58A, 59A, 62A, 63A, 67A

SECTION: 12  
TOWNSHIP: 7 South  
RANGE: 11 East

WARD: 3  
PARISH COUNCIL DISTRICT: 5

PROPERTY LOCATION: The parcels are located on North Street, 11 Avenue & Helenbirg Road (not constructed) Covington, Louisiana

ZONING: A-4 Single-Family Residential

PROPERTY OWNER: Robert Doolittle & Benjamin Doolittle

### **STAFF COMMENTARY:**

#### **Department of Planning & Development and Department of Engineering**

The owner is requesting to create thirty-two (32) lots – lots 3A, 6A, 7A, 10A, 11A, 14A, 15A, 18A, 19A, 22A, 23A, 26A, 27A, 30A, 31A, 34A, 35A, 38A, 39A, 42A, 43A, 46A, 47A, 50A, 51A, 54A, 55A, 58A, 59A, 62A, 63A, 67A.

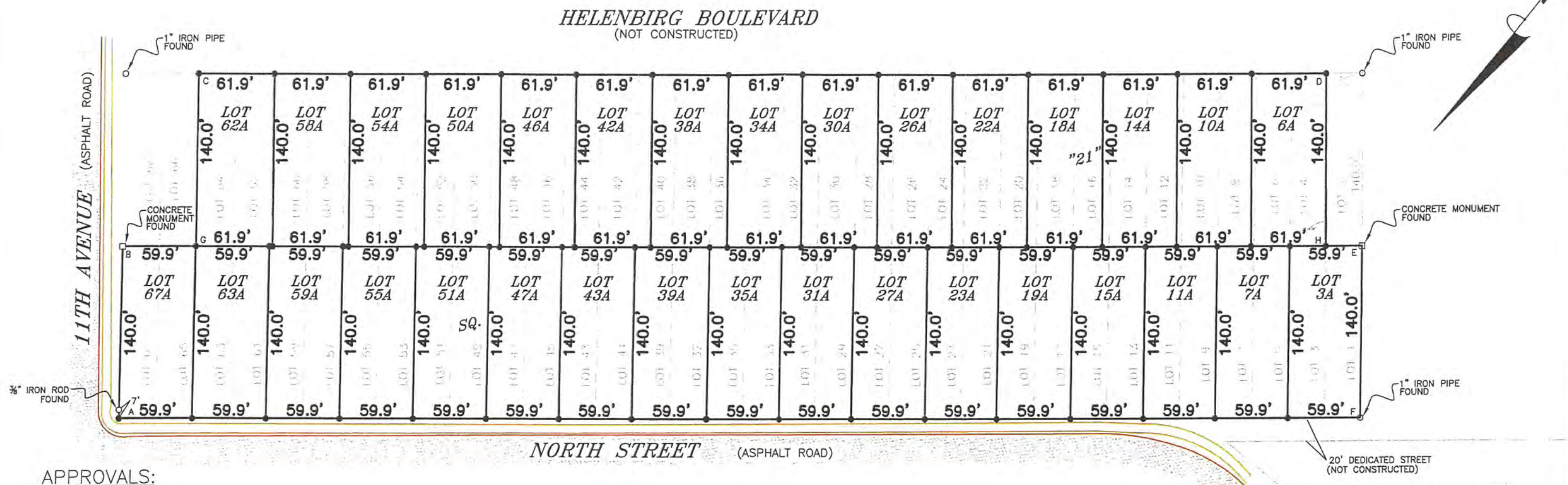
The public hearing is required considering that:

- The proposal involves the creation/adjustment of more than five (5) lots.

The request shall be subject to the below comments:

1. Provide 10 original copies of the stamp survey addressing all comments.
2. As per 911 addressing, the survey should be amended to show “Helenbirg Road” instead of “Helenbirg Boulevard”.
3. Provide construction status of Helenbirg Road: will application be submitted to go through the process of “Entering the Parish ROW”? Note that the process of “Enter the ROW” to construct Helenbirg Road to Parish Standards will also require detention to be provided meeting Parish requirements.





APPROVALS:

CHAIRMAN - ST. TAMMANY PLANNING COMMISSION

SECRETARY - ST. TAMMANY PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

CLERK OF COURT

DATE FILED      MAP FILE NO.

LOTS 3A - 67A (NORTH STREET LOTS) = 8,386 SQ. FT. (0.19 ACRES) EACH  
LOTS 6A - 62A (HELENBIRG BLVD. LOTS) = 8,666 SQ. FT. (0.20 ACRES) EACH

ANGLE A - 89°41'05"  
ANGLE B - 90°18'56"  
ANGLE C - 89°53'56"  
ANGLE D - 90°19'27"  
ANGLE E - 89°43'47"  
ANGLE F - 90°16'12"  
ANGLE G - 90°06'03"  
ANGLE H - 89°40'34"

● = 1/4" IRON ROD SET

**REFERENCE SURVEY:**  
The Recorded Subdivision Map.  
**BASIS FOR ANGLES:**  
The Reference Survey.

**NOTE:** This is to certify that I have done an actual ground survey and found that no encroachments exist either way across any property lines except as shown.

A RESUBDIVISION MAP OF  
LOTS 1, 3-65 & 67, SQUARE 21, THE BIRG BOULEVARD  
into  
LOTS 3A, 6A, 7A, 10A, 11A, 14A, 15A, 18A, 19A, 22A,  
23A, 26A, 27A, 30A, 31A, 34A, 35A, 38A, 39A, 42A, 43A,  
46A, 47A, 50A, 51A, 54A, 55A, 58A, 59A, 62A, 63A & 67A  
SQUARE 21, THE BIRG BOULEVARD  
Section 12, T-7-S, R-11-E, St. Tammany Parish, Louisiana  
for  
BLACK OAK HOLDINGS, LLC

**FLOODZONE NOTE:** This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described is located in Flood Zone(s) "C" with a Base Flood Elevation of N/A in accordance with Community Panel No. 225 205 0235 C Revised: OCTOBER 17, 1989

Survey No. 21-140392      Drawn by: SPH  
Date: JUNE 22, 2021      Revised:



Professional Land Surveyors  
Planners and Consultants  
1011 NORTH CAUSEWAY BLVD., SUITE 34  
MANDEVILLE, LA 70471  
OFFICE NO. (985)845-1012  
FAX NO. (985)845-1778  
www.loweengineers.com  
e-mail: MandevilleTeam@loweengineers.com

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL; AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS D SURVEY.

Scale: 1" = 80'

**NOTE:** Setback lines shall be verified by owner and/or contractor prior to any construction, as an abstract has not been performed by the undersigned.

**NOTE:** Servitudes shown hereon are not necessarily exclusive. Servitudes of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.

This Survey is Certified True and Correct By

**JARY**

John E. Bonneau  
Professional Land Surveyor  
Registration No. 4423

**TEXT CHANGE**

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ST. TAMMANY PARISH COUNCIL

ORDINANCE

ORDINANCE CALENDAR NO: 6711

ORDINANCE COUNCIL SERIES NO: \_\_\_\_\_

COUNCIL SPONSOR: LORINO/COOPER

PROVIDED BY: PLANNING DEVELOPMENT

INTRODUCED BY: MR. DEAN

SECONDED BY: MR. DAVIS

ON THE 8 DAY OF JULY, 2021

AN ORDINANCE TO AMEND ST. TAMMANY CODE OF ORDINANCES CHAPTER 125-88 TO INCORPORATE UPDATED AND NEW CRITERIA AND STANDARDS FOR DESIGN AND LOCATION OF DRAINAGE DITCHES, CHANNELS, CANALS, AND SIMILAR DRAINAGE FEATURES, INCLUDING SUBSURFACE DRAINAGE.

WHEREAS, the Parish finds it necessary to clarify the criteria for the developer's engineer to design drainage infrastructure to minimize conflicts with encroachments,

THE PARISH OF ST. TAMMANY HEREBY ORDAINS: that it amends, supplements, and reenacts the St. Tammany Code of Ordinances Chapter 125-88 as follows:

Sec. 125-88. - Drainage.

(a) The drainage and flood control provisions to apply. The drainage and flood control provisions of the parish Code of Ordinances are incorporated herein and shall be applicable to the placement of any fill material and/or construction on any lot or parcel of property, or any part thereof, which property and/or activity is governed by the drainage and flood control provisions. In the event of any conflict between the drainage and flood control provisions and those contained within this section, the more stringent or restrictive provision shall apply.

The purpose of these regulations is to ensure the general health, safety, and welfare of the citizens of St. Tammany Parish. These provisions apply to all land and improvements within the unincorporated limits of St. Tammany Parish unless expressly exempted herein or by any other applicable law. The provisions of Chapter 115. Drainage and Flood Control are incorporated herein and shall be applicable to the modification of existing drainage, placement of any fill material, and/or construction on any lot or parcel of property, in whole or in part. In the event of any conflict between the provisions of Chapter 115. Drainage and Flood Control and those contained within this section, the more stringent or restrictive provision shall apply.

(b) Drainage systems.

(1) A drainage system shall be provided and designed in accordance with the best modern engineering practices so as to adequately contain and carry off, to the point of ultimate disposal, such runoff as can be expected in the area, taking into consideration the number and type of buildings or structures to be erected in the subdivision and certifying that the runoff will not be increased by the proposed development.

(2) Culverts.

a. All culverts positioned within the drainage system shall be constructed of concrete, metal or plastic in accordance with the state department of transportation and development (DOTD) Engineering Directives and Standards Manual (EDSM) Nos. II.2.1.1; II.2.1.6 and II.2.1.13, dated July 20, 1992, as amended and within standards acceptable to the department of engineering shall be constructed of concrete, bituminous-coated metal, or plastic in accordance with the latest revision of Louisiana Department of Transportation and Development ("LADOTD") Engineering Directives and Standards Manual ("EDSM") Nos. 11.2.1.1, 11.2.1.6, and 11.2.1.13; the latest revision of LADOTD Standard Specifications for Roads and Bridges; and within standards acceptable to the Department of Engineering.

b. All culverts may be constructed of durable concrete; however, corrugated metal pipe and plastic pipe may be used for residential driveways and subsurface conveyance where there is no traffic load.

Culverts under roadways shall be concrete pipe constructed in accordance with the latest version of the LADOTD Standard Specifications for Roads and Bridges.

c. Culverts under roadways shall be installed perpendicular to the roadway; except where crossing existing drainage features or approved by the Parish Engineer.

d. All corrugated metal pipe shall be a minimum of 146 gauge and bituminous coated.

e. All plastic pipe shall be ribbed or corrugated and double walled.

(3) Permanent bench marks shall be installed by the developer's engineer or surveyor at convenient locations as approved by the pParish Eengineer in each subdivision before final approval is granted. Bench marks can be made with concrete, a spike driven into a permanent tree, or other suitable material approved by the pParish Eengineer. The location and elevation of each bench mark shall be clearly noted on the plat of the subdivision filed for record with the cClerk of cCourt. Whenever practical, the elevation of the bench mark shall accurately be related to mean sea level as established by the U.S. Coast and Geodetic Survey, the U.S. Army Corps of Engineers, or the state department of highways LADOTD.

(4) The elevation of the center of the completed streets shall also be noted on the "file" plat as-built paving and drainage plan at intervals not to exceed 1,500 feet fifteen hundred five hundred feet (1,500') (500') and at all intersecting roadways, and said elevations are to be established from the bench mark after completion.

(5) Final as-built paving and drainage plans must indicate the invert elevation of the roadside ditch at each property line.

(6) Any subdivision to be approved following adoption of the ordinance from which this subsection (b)(6) is derived shall be subject to the following procedures and requirements:

a. The subdivision plans must accurately depict the location of any open drainage ditch, drainage channel, canal, or similar drainage feature, and any natural river or stream that is situated within the boundaries of the proposed subdivision.

b. Except as provided in section 130-2128 "Boat houses and boat slips," no part of a permanent structure, including a driveway and/or fence, shall be located within twenty feet (20') of the top of bank of an open drainage ditch, channel, canal, or similar drainage feature, including a natural river or stream, unless subsurface drainage is installed. b. Whenever any open drainage ditch, drainage channel or similar drainage feature, not including a natural river or stream, is located entirely or partially on any lot or parcel to be created within a subdivision, no part of a permanent structure, including a driveway and fence, is to be located within 20 feet of such open drainage ditch, drainage channel or similar drainage feature unless subsurface drainage is installed. This provision shall apply to the lot upon which the open ditch, channel or similar drainage feature is actually located and to any adjacent lot where a structure could be placed within 20 feet of the open ditch, drainage channel or similar drainage feature that is located on the adjacent lot.

c. Whenever the provisions of subsection (b)(6)(b) of this section are applicable, the department of engineering Department of Engineering shall determine, based upon the data and information that is to be contained in the subdivision plan submitted, whether subsurface drainage is required. The determination is to be made based on considerations of the size of the parcel or lot,; available building site (including driveway) on the parcel or lot in relation to the location of the ditch open drainage ditch, channel, canal, or similar drainage feature; any restrictions on the size of the structure,; and any other pertinent information or data deemed necessary by the department of engineering Department of Engineering to ensure that no permanent structure, including a driveway and/or fence, is to be located within 20 feet twenty feet (20') of an open drainage ditch, drainage channel, canal, or similar drainage feature.

d. A building permit shall not be issued for the construction of any permanent structure, including a driveway and/or fence, where any part of said structure would be located within 20 feet twenty feet (20') of an open drainage ditch, drainage channel, canal, or similar drainage feature.

e. When the department of engineering Department of Engineering determines that subsurface drainage installation is required, the provisions of section 125-89 shall be applicable to the installation.

f. Following the final plat approval of any subdivision governed by the provisions of this subsection (b)(6), any relocation of a drainage ditch, drainage channel, canal, or similar drainage feature shall be governed by the provisions of section 115-3(b)(11).

g. The requirements of subsurface drainage may be modified when plans are approved by the Parish Engineer. The requirements of subsurface drainage shall not be applicable with respect to roadside drainage ditches.

(c) Drainage right-of-way generally

(1) The right-of-way for all drainage infrastructure and roadways in a subdivision, excluding side-yard swales, shall be dedicated to the public when the drainage infrastructure in a subdivision infrastructure is to be publicly maintained; and shall be dedicated to a legal entity or person when the drainage infrastructure in a subdivision infrastructure is to be privately maintained.

(2) Individually maintained drainage ditches, channels, canals and/or similar drainage features that provide drainage for more than one (1) lot or parcel shall be prohibited regardless of whether the drainage infrastructure in a subdivision is to be privately or publicly maintained; Except for shared swales between individual properties that are maintained by the abutting properties.

(d). Design and location of drainage ditches, channels, canals, and similar drainage features.

(1) All drainage ditches, channels, canals, and similar drainage features shall be located within a dedicated right-of-way and not located within an individual lot(s). Dedicated right-of-way may be located in greenspace or open space.

(2) If direct access is not available, there shall be a dedicated right-of-way access that extends to a public or private road that is a minimum of twenty-five feet (25') wide.

(3) A drainage ditch, channel, canal, or similar drainage feature right-of-way shall comply with the following criteria:

a. Provide a minimum of fifteen feet (15') wide working distance on one side of the ditch, channel, canal, or similar drainage feature and a five feet (5') wide distance on the opposite side of the ditch. Measurements for this subpart shall be taken from top of bank to boundary line of right-of-way.

b. The dimensions of the ditch, channel, canal, or similar drainage feature shall be determined by hydrologic calculations in accordance with criteria stated in Chapter 125-197.

c. Side slopes shall be designed at a 3:1 ratio (3 feet horizontal to 1 foot vertical). When a 3:1 design cannot be achieved, the proposed drainage ditch, channel, canal, or similar drainage feature shall be subsurfaced.

d. Drainage plans shall include cross-section(s) for each drainage ditch, channel, canal, or similar drainage feature clearly showing conformance to this subsection.

(e) Design and location of subsurface drainage.

(1) All subsurface drainage shall be located within a dedicated right-of-way and not located within an individual lot(s). Dedicated right-of-way may be located in greenspace or open space; except for subsurface drainage installed on and serving a single lot, or within a shared swale between two (2) lots.

(2) If direct access is not available, there shall be indicated on the plat a dedicated access that is not located within an individual lot, and that extends to a public or private road that is a minimum of twenty-five (25') feet wide. Dedicated access may be located in greenspace or open space.

(3) All subsurface drainage right-of-ways shall be designed in accordance with all of the following criteria:

a. Provide a minimum twenty-foot (20') wide right-of-way distance. Right-of-way shall be increased as required to allow for a minimum of five feet (5') from edge of pipe to right-of-way boundary at all locations. Additional right-of-way width may be required at the discretion of the Parish Engineer.

b. This right-of-way shall be exclusively for drainage except when necessary for crossing by other utilities.

c. The subsurface drainage shall be sized for the capacity determined by hydrologic calculations in accordance with criteria stated in Chapter 125-197.

d. Subsurface pipe construction and materials shall be constructed of concrete, bituminous-coated metal, or plastic in accordance with the latest revision of LADOTD EDSM Nos. 11.2.1.1, 11.2.1.6, and 11.2.1.13; the latest revision of LADOTD Standard Specifications for Roads and Bridges; and within standards acceptable to the Department of Engineering. All corrugated metal pipe shall be a minimum of 14 gauge and bituminous coated. All plastic pipe shall be ribbed or corrugated and double walled.

THE PARISH OF ST. TAMMANY HEREBY ORDAINS:

REPEAL: All ordinances or parts of Ordinances in conflict herewith are hereby repealed.

SEVERABILITY: If any provision of this Ordinance shall be held to be invalid, such invalidity shall not affect other provisions herein which can be given effect without the invalid provision and to this end the provisions of this Ordinance are hereby declared to be severable.

EFFECTIVE DATE: This Ordinance shall become effective fifteen (15) days after adoption.

MOVED FOR ADOPTION BY: \_\_\_\_\_ SECONDED BY: \_\_\_\_\_

WHEREUPON THIS ORDINANCE WAS SUBMITTED TO A VOTE AND RESULTED IN THE FOLLOWING:

YEAS: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSTAIN: \_\_\_\_\_

ABSENT: \_\_\_\_\_

THIS ORDINANCE WAS DECLARED DULY ADOPTED AT A REGULAR MEETING OF THE PARISH COUNCIL ON THE 5 DAY OF AUGUST , 2021 ; AND BECOMES ORDINANCE COUNCIL SERIES NO \_\_\_\_.

\_\_\_\_\_  
MICHAEL R. LORINO, JR. , COUNCIL CHAIRMAN

ATTEST:

\_\_\_\_\_  
KATRINA L. BUCKLEY, COUNCIL CLERK

\_\_\_\_\_  
MICHAEL B. COOPER, PARISH PRESIDENT

Published Introduction: JUNE 30 , 2021

Published Adoption: \_\_\_\_\_, 2021

Delivered to Parish President: \_\_\_\_\_, 2021 at \_\_\_\_\_

Returned to Council Clerk: \_\_\_\_\_, 2021 at \_\_\_\_\_

#### ADMINISTRATIVE COMMENT

An Ordinance to amend St. Tammany Code of Ordinances Chapter 125-88 to incorporate updated and new criteria and standards for design and location of drainage ditches, channels, canals, and similar drainage features, including subsurface drainage.

# **PRELIMINARY SUBDIVISION REVIEW**



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**PRELIMINARY SUBDIVISION STAFF ANALYSIS REPORT**  
**(As of August 3, 2021)**

CASE NO.: 2021-2502-PP

SUBDIVISION NAME: Lakeshore Villages, Phase 6 (Revised Submittal)

DEVELOPER: D.R. Horton, Inc. Gulf Coast  
7696 Vincent Road  
Denham Springs, LA 70726

ENGINEER/SURVEYOR: Duplantis Design Group, LLC  
16564 East Brewster Road  
Covington, LA 70433

SECTION: 35  
TOWNSHIP: 9 South  
RANGE: 14 East

WARD: 9  
PARISH COUNCIL DISTRICT: 13

TYPE OF DEVELOPMENT: \_\_\_\_\_ URBAN (Residential lots less than 1 acre)  
\_\_\_\_\_ SUBURBAN (Residential lots between 1-5 acres)  
\_\_\_\_\_ RURAL (Residential Farm Tract lots 5 acres plus)  
\_\_\_\_\_ **X** OTHER (Multi family, commercial or industrial)(**PUD**)

GENERAL LOCATION: The property is located north of Oak Harbor Blvd., west of LA Highway 433, east of Interstate-10, Slidell, Louisiana.

TOTAL ACRES IN DEVELOPMENT: 88.983 +/- Acres

NUMBER OF LOTS: 407 AVERAGE LOT SIZE: 7,346 +/- Square Feet

SEWER AND WATER SYSTEMS: Central

PROPOSED OR EXISTING ZONING: PUD

FLOOD ZONE DESIGNATION: "AH - EL -3.0" & "X" (Shaded)

TENTATIVE or PUD APPROVAL GRANTED: August 11, 2020

**STAFF COMMENTARY:**

**Department of Planning and Development**

The Preliminary plans and hydrologic study have been reviewed by this office and an inspection was made of the site on July 30, 2021.

Planning Commission approval shall be subject to the following items being addressed:

**General Comments:**

1. The Geotechnical Report and Pavement Design dated June 21, 2021 calls for a 3.5" asphalt section for this phase of Lakeshore Villages. Update all plan sheets and typical sections accordingly to reflect this requirement. Once the plans have been updated approval from the Director of Engineering will be required for this pavement section.

**Paving & Drainage Plan:**

2. The updated cross-section E-E will need to be modified to provide a minimum of five (5) foot depth for this pond area.

**Informational Items:**

The developer is responsible for contacting the USPS Regional Growth Management Coordinator to verify the appropriate mail delivery location for this development.

A Letter of No Objection regarding the water and sewer improvements needs to be issued on behalf of The Department of Environmental Services for this phase of Lakeshore Villages.

Louisiana Department of Health (LDH) Approval for this phase of Lakeshore Villages is required.

No funded **Maintenance Obligation** is required since this a Community Development District owned and maintained subdivision.

**No Mandatory Developmental fee** is required at Final Submittal in accordance with St. Tammany Code of Ordinances, Part II "Land Development Code," Chapter 125 "Subdivision Regulations," since a public hearing was held prior to January 1, 2005.

Revised drawings will not be accepted for review or placement in the packet prior to the August 10, 2021 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.

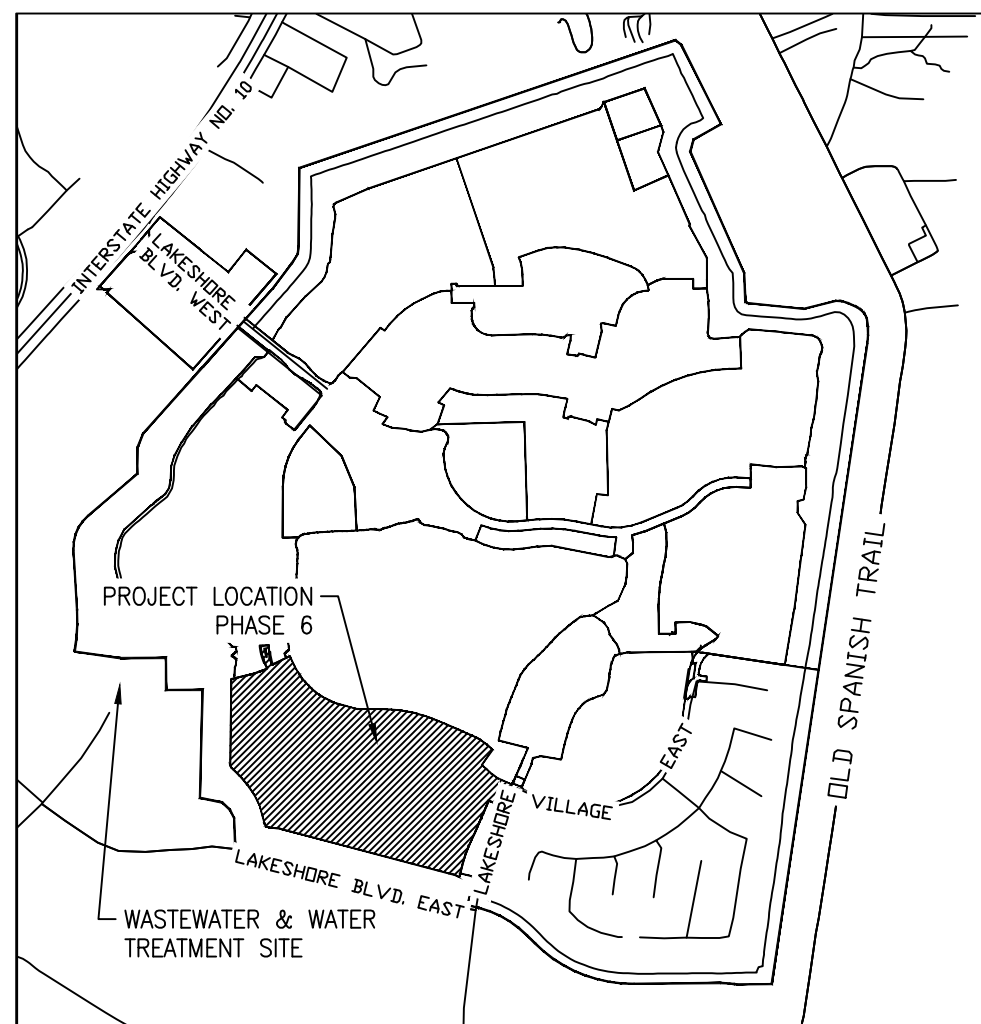


PLAT SHOWING PRELIMINARY SUBDIVISION  
OF  
LAKESHORE VILLAGES (PHASE 6)

LOCATED IN SECTIONS 35  
TOWNSHIP 9 SOUTH - RANGE 14 EAST  
GREENSBURG LAND DISTRICT  
ST. TAMMANY PARISH, LOUISIANA

NOTES:  
MEASURED BEARINGS ARE BASED ON GRID NORTH, LOUISIANA  
STATE PLANE SOUTH ZONE (1702) NAD 83 AS DERIVED FROM  
THE LSU C4G RTK NETWORK (2020.5).

PRELIMINARY PLANS  
RECEIVED  
7/30/2021 - 11:00 A.M.  
DEVELOPMENT  
ENGINEERING



VICINITY MAP

GENERAL INFORMATION	
CENTRAL SEWER SYSTEM	407 NUMBER OF LOTS
LAKE PONTCHARTRAIN ULTIMATE SURFACE WATER DISPOSAL	PUD PRESENT ZONING
7346± S.F. AVERAGE LOT SIZE	ASPHALT ROAD SURFACE
CENTRAL WATER SYSTEM	50 FEET, 55 FEET RIGHT OF WAY WIDTHS
1,190± MAX BLOCK LENGTH	14,073± STREET LENGTH
88,983± ACRES TOTAL AREA OF DEVELOPMENT	68.64 ACRES TOTAL AREA OF LOTS
OFF-SITE LOCATION OF WATER & SEWER FACILITIES	45 FEET MAX BUILDING HEIGHT
BUILDING SETBACKS	
FRONT: 20' (15' LOTS 1207-1220, 1545-1568) REAR: 15' (55' ALONG CANAL/LAKE) SIDE: 5' (10' ALONG RIGHT OF WAYS)	

OPEN GREEN SPACE CALCULATIONS (PHASE 6)

OPEN/GREEN SPACE REQUIRED	
88,983 ACRES X 0.25 S.F. OPEN/GREEN SPACE	22,246 ACRES REQUIRED (=869,035± S.F.)
OPEN/GREEN SPACE REQUIRED 3,062 ACRES (PHASE 3A) 2,606 ACRES (PHASE 3B) 36,493 ACRES (PHASE 4A) 1,779 ACRES (PHASE 4B) 3,863 ACRES (PHASE 5) 22,246 ACRES (PHASE 6) 5,551 ACRES (PHASE 7) 16,449 ACRES (PHASE 8) 19,969 ACRES (PHASE 9) 8,798 ACRES (PHASE 10)	OPEN/GREEN SPACE PROVIDED 3,318 ACRES (PHASE 3A) 0,770 ACRES (PHASE 3B) 439,779 ACRES (PHASE 4A) 1,289 ACRES (PHASE 4B) 0,657 ACRES (PHASE 5) 1,847 ACRES (PHASE 6) 5,777 ACRES (PHASE 7) 2,226 ACRES (PHASE 8) 6,040 ACRES (PHASE 9) 0,000 ACRES (PHASE 10)
120,916 ACRES TOTAL OPEN/GREEN SPACE REQUIRED	461,703 ACRES TOTAL PROVIDED

DEDICATION:  
ALL STREET RIGHTS-OF-WAY SHOWN HEREON ARE NOT DEDICATED TO THE PARISH OF ST. TAMMANY BUT ARE DEDICATED TO THE PERPETUAL USE OF THE COMMUNITY DEVELOPMENT DISTRICT AND IS TO BE OWNED AND MAINTAINED BY THE COMMUNITY DEVELOPMENT DISTRICT. EASEMENTS SHALL BE RESERVED FOR DRAINAGE AND UTILITIES AS INDICATED HEREON AND NO OBSTRUCTIONS OR IMPROVEMENTS SHALL BE ALLOWED THAT WOULD PREVENT THEM FROM BEING USED FOR INTENDED USE. THE DEVELOPER OR HOMEOWNERS ASSOCIATION IS RESPONSIBLE FOR MAINTENANCE OF ALL GREEN SPACES, DRAINAGE SERVITUDES, STREET SIGNS, AND TRAFFIC CONTROL SIGNS.

RESTRICTIVE COVENANTS:

- NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED BEFORE THE SEWERAGE AND WATER SYSTEMS ARE INSTALLED AND OPERABLE OR OTHERWISE CONNECTED TO A COMMUNITY (CENTRAL) SEWERAGE AND/OR WATER SYSTEMS, ALL AS APPROVED BY THE DEPARTMENT OF ENVIRONMENTAL SERVICES OF THE PARISH. WHENEVER A SUBDIVISION IS SERVED BY A COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY), NO PRIVATE WATER SUPPLY MAY BE DRILLED OR OTHERWISE CONSTRUCTED ON ANY LOT FOR THE PURPOSE OF SUPPLYING POTABLE WATER TO ANY BUILDING OR STRUCTURE, EXCEPT FOR THE PURPOSE OF IRRIGATION, AND IN NO EVENT SHALL THERE BE A PHYSICAL CONNECTION BETWEEN ANY SUCH SOURCE AND ANY ELEMENT OF THE COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY).
- CONSTRUCTION OF ANY NATURE IS PROHIBITED IN DRAINAGE OR STREET EASEMENTS.
- LOTS MAY NOT BE USED FOR THE STORAGE OF TRASH OR JUNK VEHICLES.
- THIS SUBDIVISION IS LOCATED IN FLOOD ZONES AH AND ZONE X (SHADED) PER LETTER OF MAP REVISION, CASE NO. 19-06-0865P, EFFECTIVE DATE APRIL 16, 2020. THE MINIMUM FINISHED FLOOR ELEVATION OF ALL RESIDENTIAL HOMES SHALL MEET THE PROPOSED ELEVATION OF THE LATEST ADOPTED FIRM UNTIL A NEW DFIRM IS PUBLISHED AND ADOPTED BY ST. TAMMANY PARISH OR ONE (1) FOOT ABOVE THE CROWN OF THE STREET WHICH EVER IS HIGHER.
- NO LOT WILL BE FURTHER SUBDIVIDED WITHOUT APPROVAL OF THE PLANNING COMMISSION AND THE DEPARTMENT OF ENVIRONMENTAL SERVICES OF THE PARISH.
- DRIVEWAYS ON CORNER LOTS SHALL NOT BE LOCATED ANY CLOSER THAN 60 FEET FROM A CORNER OF SAID PROPERTY CLOSEST TO THE INTERSECTION AS MEASURED FROM THE PROPERTY LINES ON THE CORNER OF THE PROPERTY WHERE THE SAID TWO STREET RIGHTS-OF-WAY INTERSECT. IF THERE ARE LOTS THAT DO NOT COMPLY WITH THIS AS FRONT-LOADED LOTS, THEY ARE TO BE SIDE-LOADED.
- IT SHALL BE PROHIBITED FOR ANY LOT WITHIN AN APPROVED SUBDIVISION TO HAVE REAR ACCESS VIA A DRIVEWAY TO OR FROM ANY STREET OR ROAD THAT IS NOT DEDICATED WITHIN THE BOUNDARIES OF THE APPROVED SUBDIVISION PLAT.
- THE HOME BUILDER IS RESPONSIBLE FOR THE CONSTRUCTION OF THE SIDEWALK ALONG THE LOTS.
- THE RESIDENTS WITHIN PHASE 6 WILL HAVE THE RIGHT TO UTILIZE THE EXISTING CENTRAL LAKE LOCATING WITHIN THE LAKESHORE VILLAGES DEVELOPMENT FOR RECREATIONAL PURPOSE.
- THE EXISTING STORMWATER DETENTION SYSTEM, INCLUDING THE CANALS, LAKES, AND PUMP STATION, ARE TO BE OWNED AND MAINTAINED BY THE COMMUNITY DEVELOPMENT DISTRICT.
- THE FOREMENTIONED RESTRICTIONS SHALL BE REITED IN EACH TITLE OR DEED IN ADDITION TO THE REQUIRED LISTING ON THE FINAL SUBDIVISION PLAT.

APPROVALS:

CHAIRMAN - PARISH PLANNING COMMISSION

SECRETARY - PARISH PLANNING COMMISSION

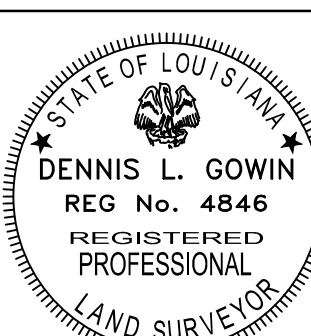
DIRECTOR OF DEPARTMENT OF ENGINEERING

CLERK OF COURT

DATE FILED

FILE NO.

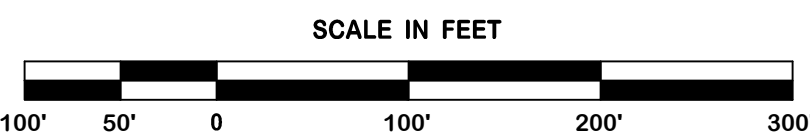
(OWNER/OWNER REPRESENTATIVE)  
DR HORTON, INC. - GULF COAST  
7696 VINCENT ROAD  
DENHAM SPRINGS, LA 70726



I CERTIFY THAT THIS PRELIMINARY PLAT REPRESENTS AN ACTUAL GROUND SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND IS NOT IN FULL COMPLIANCE WITH LA RS: 33:5051 AND THE REQUIREMENTS OF THE CURRENT LOUISIANA STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A CLASS "C" SURVEY, SINCE ALL CORNERS ARE NOT SET.

DATE OF PLAT: 07/28/2021

Dennis L. Gowin  
REGISTERED PROFESSIONAL LAND SURVEYOR



REVISION	BY
PARISH COMMENTS	
08/25/2020	BPV
ADDED LOTS	
06/24/2021	BPV
ADDED COMMENTS / 911 ADDRESS CHANGES	
07/28/2021	BPV

DUPLANTIS DESIGN GROUP, PC  
SURVEY  
16564 Brewster Road, Suite 101  
Covington, LA 70433  
Phone: 985.243.6180 | Fax: 985.249.6190  
1308 Camellia Blvd, Suite 200  
Lafayette, LA 70508  
WWW.ddgpc.com



SUBDIVISION OF LAKESHORE VILLAGES (PHASE 6)  
SLIDELL, LOUISIANA  
ST. TAMMANY PARISH

FOR:  
DR HORTON, INC. - GULF COAST

DRAWN  
BPV  
CHECKED  
DLG  
PROJECT NO.  
20-396  
FILE  
20-396 PHASE 6  
PRELIMINARY REV3  
SHEET

1-3



PLAT SHOWING PRELIMINARY SUBDIVISION

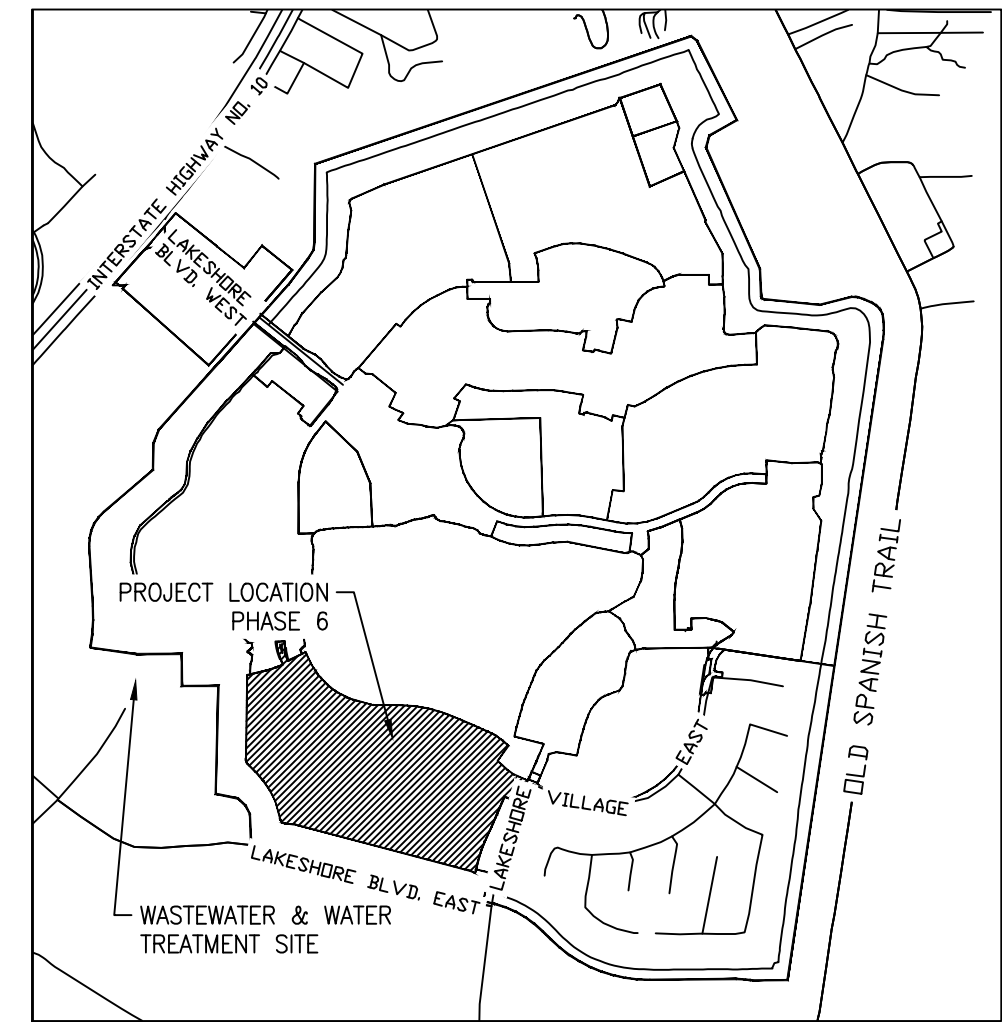
OF

LAKESTORE VILLAGES (PHASE 6)

LOCATED IN SECTION 35  
TOWNSHIP 9 SOUTH - RANGE 14 EAST  
GREENSBURG LAND DISTRICT  
ST. TAMMANY PARISH, LOUISIANA

NOTES:  
MEASURED BEARINGS ARE BASED ON GRID NORTH, LOUISIANA  
STATE PLANE SOUTH ZONE (1702) NAD 83 AS DERIVED FROM  
THE LSU C4G RTK NETWORK (2020.5).

P.O.B. (POINT OF BEGINNING)  
P.O.C. (POINT OF COMMENCEMENT)



VICINITY MAP

ELEVATION NOTE:

ELEVATIONS SHOWN ARE NAVD 1988 (GEOID 128) AS DERIVED FROM GPS OBSERVATIONS USING THE LSU C4G NETWORK (2020.6).

SITE BENCHMARK #1: 5/8" IRON ROD SET ±319' SOUTH OF THE COMMON CORNER OF THE NORTHEAST CORNER OF LOT 1544 IN PHASE 6 AND THE P.O.B. OF THE OUTER PHASE 6 BOUNDARY AND ±251' NORTH OF THE COMMON CORNER OF THE SOUTHEAST PROPERTY CORNER OF LOT 1163A OF PHASE 6 AND THE NORTHEAST PROPERTY CORNER OF LOT 348 OF PHASE 1A. (SEE DRAWING FOR LOCATION)

ELEVATION: -1.53'

SITE BENCHMARK #2: 5/8" IRON ROD SET ±25' SOUTH OF THE 1/2" IRON ROD FOUND AT THE COMMON CORNER OF THE NORTHWEST CORNER OF LOT 342 IN PHASE 1A AND THE SOUTHWEST CORNER OF LOT 343 PHASE 1A AND ±228' WEST OF THE CENTERLINE OF LAKESHORE DRIVE. (SEE DRAWING FOR LOCATION)

ELEVATION: -0.71'

DEDICATION:

ALL STREET RIGHTS-OF-WAY SHOWN HEREON ARE NOT DEDICATED TO THE PARISH OF ST. TAMMANY BUT ARE DEDICATED TO THE PERPETUAL USE OF THE COMMUNITY DEVELOPMENT DISTRICT AND IS TO BE OWNED AND MAINTAINED BY THE COMMUNITY DEVELOPMENT DISTRICT. EASEMENTS SHALL BE RESERVED FOR DRAINAGE AND UTILITIES AS INDICATED HEREON AND NO OBSTRUCTIONS OR IMPROVEMENTS SHALL BE ALLOWED THAT WOULD PREVENT THEM FROM BEING USED FOR INTENDED USE. THE DEVELOPER OR HOMEOWNERS ASSOCIATION IS RESPONSIBLE FOR MAINTENANCE OF ALL GREEN SPACES, DRAINAGE SERVITUDES, STREET SIGNS, AND TRAFFIC CONTROL SIGNS.

APPROVALS:

CLERK OF COURT

DATE FILED

FILE NO.

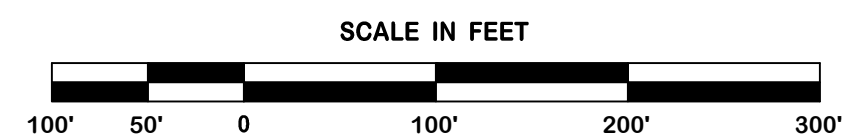
(OWNER/OWNER REPRESENTATIVE)  
DR. HORTON, INC. - GULF COAST  
7696 VINCENT ROAD  
DENHAM SPRINGS, LA 70726



I CERTIFY THAT THIS PRELIMINARY PLAT REPRESENTS AN ACTUAL GROUND SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND IS NOT IN FULL COMPLIANCE WITH LA RS: 33:5051 AND THE REQUIREMENTS OF THE CURRENT LOUISIANA STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A CLASS 'C' SURVEY, SINCE ALL CORNERS ARE NOT SET.

DATE OF PLAT: 07/28/2021

DENNIS L. GOWIN, P.L.S.: LA REG. NO. 4846  
REGISTERED PROFESSIONAL LAND SURVEYOR



REVISION	BY
1	BPV
2	BPV
3	BPV

DUPLANTIS DESIGN GROUP, PC  
SURVEY  
15564 Brewster Road, Suite 101  
Covington, LA 70433  
Phone: 985.249.6180 \ FAX: 985.249.6190  
1308 Camella Blvd, Suite 200  
Lafayette, LA 70508  
WWW.ddgpc.com



SUBDIVISION OF LAKESHORE VILLAGES (PHASE 6)  
SLIDELL, LOUISIANA  
ST. TAMMANY PARISH

FOR:  
DR. HORTON, INC. - GULF COAST

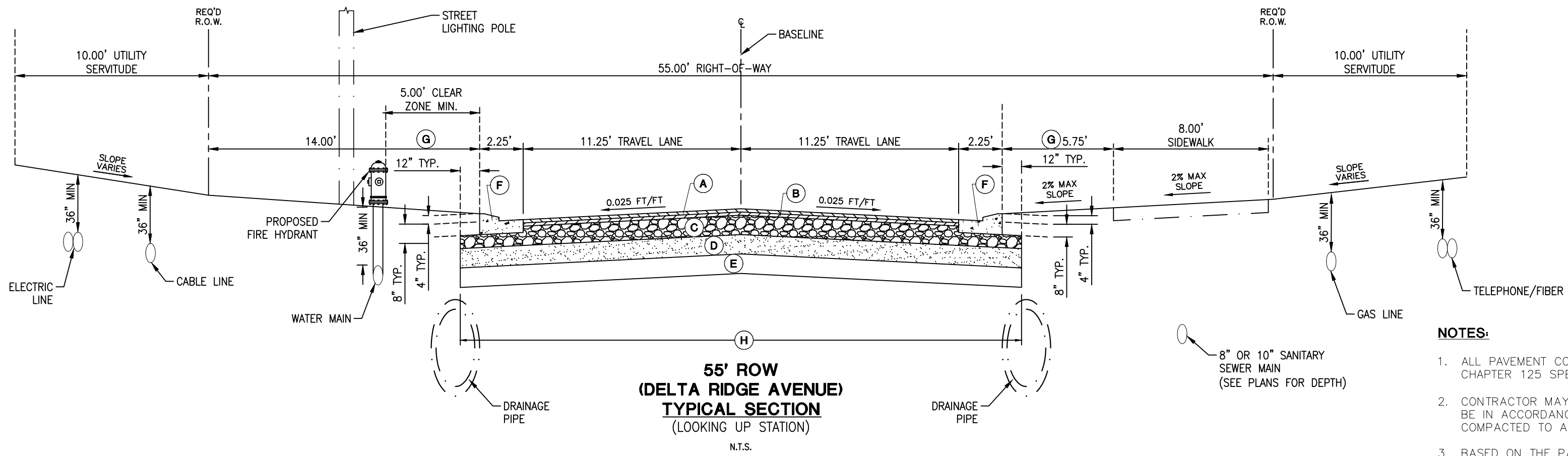
DRAWN BPV
CHECKED DLG
PROJECT NO. 20-396
FILE 20-396 PHASE 6 PRELIMINARY REV3
SHEET 2-3



PLAT SHOWING PRELIMINARY SUBDIVISION

OF  
LAKESHORE VILLAGES (PHASE 6)

LOCATED IN SECTION 35  
TOWNSHIP 9 SOUTH - RANGE 14 EAST  
GREENSBURG LAND DISTRICT  
ST. TAMMANY PARISH, LOUISIANA



NOTES:

- ALL PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH LADOTD STANDARD SPECIFICATIONS 2016 EDITION AND/OR ST. TAMMANY PARISH SUBDIVISION REGULATION CHAPTER 125 SPECIFICATIONS; THE MORE STRINGENT STANDARD SHALL BE USED.
- CONTRACTOR MAY UTILIZE 12" A-4 SUB-BASE IN LIEU OF SOIL CEMENT IN AREAS WHERE SOIL CEMENT CANNOT MEET PROJECT SPECIFICATIONS. A-4 SUB-BASE SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, ST. TAMMANY PARISH CODE OF ORDINANCES, AND SUB-SECTION 100.3 OF THE LSSRB. THE BASE SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY NEAR THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D-698.
- BASED ON THE PAVEMENT SECTION DESIGN RECOMMENDATION LETTERS PREPARED BY PREMIER GEOTECH AND TESTING DATED JANUARY 29, 2020, THE BASE AND SUBGRADE SHALL CONSIST OF LEAN CLAYS AND SANDY LEAN CLAYS (CL) OR CLAYEY SANDS (SC) HAVING THE FOLLOWING RECOMMENDED MATERIAL PROPERTIES AND PLOTS ABOVE THE "A-LINE" ON THE PLASTICITY CHART:
  - LIQUID LIMIT: 40 MAXIMUM
  - PLASTICITY INDEX: 20 MAXIMUM
  - INERT MATERIAL (NON-EXPANSIVE)
  - FREE OF ORGANICS
  - MAXIMUM PARTICLE SIZE: 2-INCHES

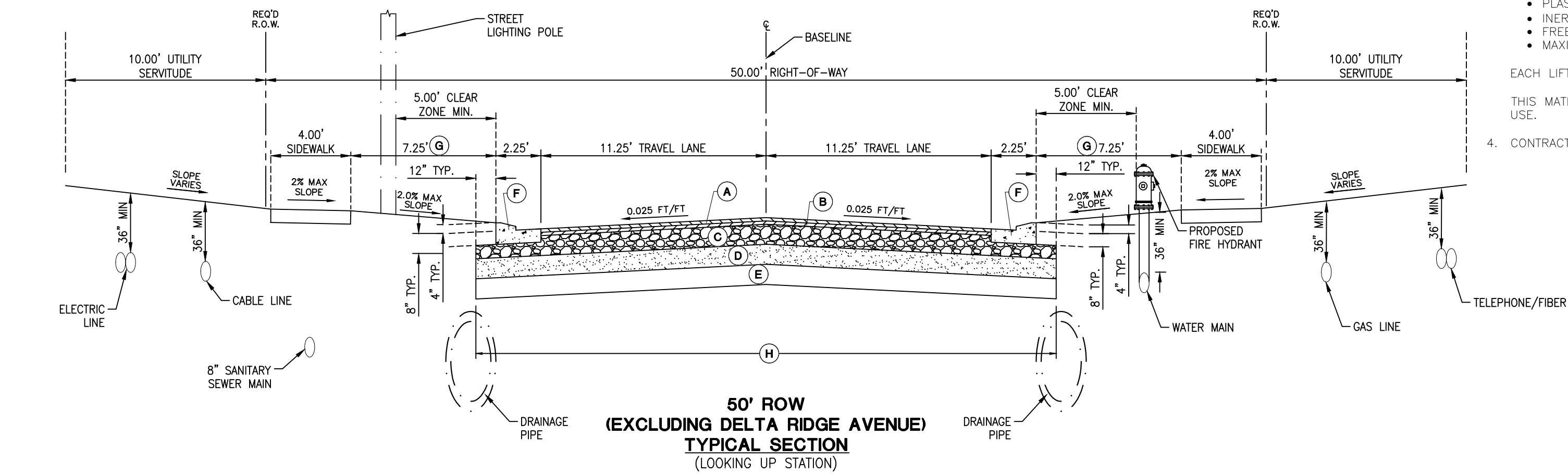
EACH LIFT SHALL BE PLACED IN MAXIMUM LIFTS OF 8" OF LOOSE MATERIAL AND COMPACTED TO 95% STANDARD PROCTOR PER ASTM D-698.

THIS MATERIAL MUST BE CERTIFIED AND APPROVED BY THE OWNER'S INDEPENDENT TESTING LABORATORY AND/OR THE GEOTECHNICAL ENGINEER OF RECORD PRIOR TO ITS USE.

- CONTRACTOR TO ENSURE ALL STREET LIGHT POLES AND FIRE HYDRANTS ARE LOCATED 5' MINIMUM BEHIND BACK OF CURB FOR LOCAL ROADS.

LEGEND:

- (A) 1-1/2" LEVEL 1 (PG-22M, 0.5' NOMINAL MIX) ASPHALTIC CONCRETE WEARING COURSE
- (B) 1-1/2" LEVEL 1 (PG-22M, 0.5' NOMINAL MIX) ASPHALTIC CONCRETE BINDER COURSE
- (C) 12" CEMENT STABILIZED BASE (10% BY VOLUME) 95% COMPACTION PER ASTM D-698 (REF. NOTE 2)
- (D) 12" COMPACTED STRUCTURAL FILL SUBBASE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. SUBBASE IS TO BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY NEAR THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D-698. (REF. NOTE 3)
- (E) PROOF ROLLED AND STABLE SUBGRADE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- (F) CONCRETE MOUNTABLE CURB AND GUTTER (REF. DETAILS)
- (G) HYDROSEED WITH STRAW OR SOD DISTURBED AREAS (WITHIN LIMITS OF CONSTRUCTION)
- (H) GENERAL EXCAVATION

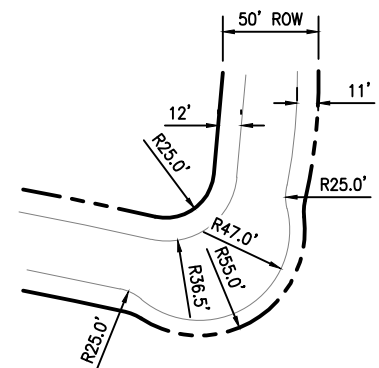


PARCEL CURVE DATA				
CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING & DISTANCE
C1	003°45'21"	1030.00'	67.52'	S47°25'42"E - 67.51'
C2	011°27'52"	770.00'	154.07'	S51°16'57"E - 153.81'
C3	010°35'21"	1140.69'	210.81'	S18°45'39"W - 210.52'
C4	068°51'42"	50.00'	60.09'	N49°51'29"W - 56.54'
C5	026°14'27"	1102.71'	505.03'	S37°27'06"E - 500.63'
C6	018°55'47"	568.61'	187.86'	N14°12'04"W - 187.01'
C7	019°04'01"	437.08'	145.45'	S12°25'47"E - 144.78'
C8	022°44'49"	420.00'	166.74'	S37°14'09"E - 165.65'
C9	045°49'17"	770.00'	615.80'	S66°31'12"E - 599.52'
C26	013°44'05"	175.00'	41.95'	S00°09'33"W - 41.85'
C29	090°00'00"	13.00'	20.42'	S37°58'24"E - 18.38'
C33	007°53'43"	75.00'	10.33'	S79°01'33"E - 10.33'
C36	090°00'00"	13.00'	20.42'	N59°55'19"E - 18.38'
C65	021°16'59"	12.50'	4.75'	S26°02'19"W - 4.72'
C70	013°04'47"	12.25'	2.80'	S89°30'48"E - 2.79'
C74	007°53'43"	25.00'	3.44'	S79°01'33"E - 3.44'
C99	020°21'51"	25.00'	8.89'	S64°53'46"E - 51.40'
C105	020°21'51"	25.00'	8.89'	N09°08'58"E - 8.84'
C129	094°54'59"	13.00'	21.54'	N82°11'18"E - 19.16'
C130	003°41'25"	825.00'	53.14'	S52°11'55"E - 53.13'

PARCEL CURVE DATA				
CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING & DISTANCE
C131	012°10'32"	836.19'	177.69'	S55°03'57"E - 177.36'
C132	012°10'32"	836.19'	177.69'	S55°03'57"E - 177.36'
C141	027°11'35"	1085.00'	514.95'	S72°31'33"W - 510.13'
C142	020°54'45"	570.00'	208.04'	N33°09'11"W - 206.89'
C143	045°49'16"	920.00'	735.76'	N66°31'12"W - 716.30'
C144	037°48'09"	1790.00'	1181.00'	N70°31'47"W - 1159.69'
C145	006°04'41"	1030.00'	109.26'	N48°35'22"W - 109.21'
C146	096°43'09"	15.00'	25.32'	N47°16'53"W - 22.42'
C147	080°10'13"	25.00'	34.98'	N41°09'48"E - 32.20'
C148	029°11'47"	805.00'	410.21'	S69°45'39"W - 405.78'
C149	023°01'36"	575.00'	231.09'	N69°44'06"E - 229.54'
C150	081°31'24"	17.00'	24.19'	S81°01'00"E - 22.20'
C151	098°46'19"	15.00'	25.86'	S05°46'36"W - 22.77'
C153	003°21'16"	625.00'	36.59'	S41°55'56"E - 36.58'
C154	003°27'14"	160.00'	9.64'	N54°15'37"E - 9.64'
C155	028°38'52"	690.00'	345.00'	N70°18'40"E - 341.41'
C156	001°37'32"	88.93'	27.92'	S58°11'33"W - 27.92'
C157	080°55'59"	13.00'	18.36'	S85°18'47"E - 16.87'
C158	024°16'23"	275.00'	116.50'	S45°19'12"W - 115.63'
C159	089°09'00"	13.00'	20.23'	S11°23'30"E - 18.25'

PARCEL CURVE DATA				
CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING & DISTANCE
C160	084°01'12"	13.00'	19.06'	N43°05'17"E - 17.40'
C161	094°57'20"	15.00'	24.86'	N46°23'59"W - 22.11'
C162	030°52'39"	855.00'	460.77'	N69°39'33"E - 455.22'
C163	000°33'57"	975.00'	9.63'	S55°41'01"E - 9.63'
C164	010°07'27"	1016.29'	179.58'	S50°07'25"E - 179.35'
C165	025°50'23"	179.10'	80.77'	N44°05'29"E - 80.09'
C166	029°28'45"	970.00'	499.07'	N71°45'36"E - 493.59'
C167	086°45'29"	13.00'	19.68'	N76°14'42"E - 17.86'
C168	021°54'41"	325.00'	124.26'	N46°30'07"E - 123.50'
C169	029°01'00"	1135.00'	574.80'	N71°57'48"E - 568.68'
C171	091°03'33"	13.00'	20.66'	N40°56'31"E - 18.55'
C172	034°17'21"	375.00'	224.42'	N21°43'56"W - 221.09'
C173	086°43'31"	15.00'	22.70'	N82°14'22"W - 20.60'
C174	011°07'36"	1007.00'	199.05'	S59°57'41"W - 198.74'
C175	090°00'00"	15.00'	23.56'	S60°36'06"W - 21.21'
C176	088°06'26"	13.00'	19.99'	S28°27'07"E - 18.08'
C177	040°04'37"	75.00'	52.46'	S85°33'48"W - 51.40'
C178	090°00'00"	13.00'	20.42'	N29°23'54"W - 18.38'
C179	012°18'58"	960.29'	206.42'	S66°26'27"E - 206.02'
C180	008°15'37"	475.00'	68.48'	N78°31'43"W - 68.42'

PARCEL CURVE DATA				
CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING & DISTANCE
C181	088°38'15"	13.00'	20.11'	S53°01'22"W - 18.16'
C182	006°53'52"	1585.00'	190.81'	S12°09'10"W - 190.70'
C183	105°01'57"	13.00'	23.83'	S36°54'52"E - 20.63'
C184	012°31'00"	975.00'	213.00'	S83°10'21"E - 212.57'
C185	087°29'03"	13.00'	19.85'	N59°20'38"E - 17.98'
C186	074°58'03"	25.00'	32.71'	S53°05'08"W - 30.43'
C187	005°51'19"	1735.00'	177.31'	N86°30'11"W - 177.23'
C188	010°20'148"	1535.00'	322.29'	S09°35'12"W - 321.70'
C189	011°21'01"	1025.00'	203.05'	S09°14'49"W - 202.72'
C190	090°00'00"	25.00'	39.27'	S30°04'41"E - 35.36'
C191	090°00'00"	15.00'	23.56'	N59°55'19"E - 21.21'
C192	011°21'01"	1255.00'	248.61'	N09°14'49"E - 248.21'
C193	012°01'48"	1305.00'	274.00'	N09°35'12"E - 273.50'
C194	099°10'38"	15.00'	25.96'	N33°59'13"W - 22.84'
C201	012°01'48"	1420.00'	298.15'	S09°35'12"W - 297.60'
C210	083°27'13"	13.00'	18.94'	N57°19'43"E - 17.31'
C212	011°21'01"	1140.00'	225.83'	N09°14'49"E - 225.46'
C213	090°00'00"	13.00'	20.42'	N30°04'41"W - 18.38'
C214	012°01'48"	1255.00'	263.50'	N09°35'12"E - 263.02'
C215	011°21'01"	1305.00'	258.52'	N09°14'49"E - 258.10'



BROW DETAIL  
N.T.S.

DESCRIPTION PHASE 6:

THAT CERTAIN PIECE OR PARCEL OF LAND DESIGNATED AS LAKESHORE VILLAGES, PHASE 6, A SUBDIVISION OF A PORTION OF LOT A-1-A, LOCATED IN SECTION 35, TOWNSHIP 9 SOUTH, RANGE 14 EAST, GREENSBURG LAND DISTRICT, PARISH OF ST. TAMMANY, STATE OF LOUISIANA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A 1" ANGLE IRON FOUND AT THE CORNER COMMON TO SECTIONS 23, 24, 25 AND 26, SAID TOWNSHIP 9 SOUTH, RANGE 14 EAST; THENCE S11°39'35"W A DISTANCE OF 8974.90 FEET FOR A POINT OF BEGINNING; THENCE S40°41'37"W A DISTANCE OF 166.32 FEET TO A POINT; THENCE ALONG A CURVE TO THE RIGHT AN ARC DISTANCE OF 17.52 FEET, SAID CURVE HAVING A RADIUS OF 1030.00 FEET, AND A CHORD WITH A BEARING OF S47°25'42"E AND A LENGTH 67.51 FEET; THENCE ALONG A CURVE TO THE LEFT AN ARC DISTANCE OF 154.07 FEET, SAID CURVE HAVING A RADIUS OF 770.00 FEET, AND A CHORD WITH A BEARING OF N51°16'57"W AND A LENGTH 153.81 FEET; THENCE S66°15'32"E A DISTANCE OF 159.24 FEET TO A POINT; THENCE N23°44'28"E A DISTANCE OF 80.75 FEET TO A POINT; THENCE S23°52'24"W A DISTANCE OF 168.74 FEET TO A POINT; THENCE N65°12'55"W A DISTANCE OF 149.77 FEET TO A POINT; THENCE S23°46'20"W A DISTANCE OF 68.66 FEET TO A POINT; THENCE S23°38'55"W A DISTANCE OF 60.06 FEET TO A POINT; THENCE S23°46'37"W A DISTANCE OF 60.14 FEET TO A POINT; THENCE S23°49'44"W A DISTANCE OF 59.97 FEET TO A POINT; THENCE S23°45'28"W A DISTANCE OF 59.89 FEET TO A POINT; THENCE S23°40'10"W A DISTANCE OF 60.10 FEET TO A POINT; THENCE S23°44'48"W A DISTANCE OF 59.97 FEET TO A POINT; THENCE ALONG A CURVE TO THE LEFT AN ARC DISTANCE OF 210.81 FEET, SAID CURVE HAVING A RADIUS OF 1140.69 FEET, AND A CHORD WITH A BEARING OF S18°45'39"W AND A LENGTH OF 210.52 FEET TO A POINT; THENCE S13°34'32"W A DISTANCE OF 98.93 FEET TO A POINT; THENCE N75°06'19"W A DISTANCE OF 1460.98 FEET TO A POINT; THENCE N76°26'40"W A DISTANCE OF 257.53 FEET TO A POINT; THENCE N75°06'19"W A DISTANCE OF 205.13 FEET TO A POINT; THENCE N84°17'20"W A DISTANCE OF 116.21 FEET TO A POINT; THENCE ALONG A CURVE TO THE RIGHT AN ARC DISTANCE OF 60.09 FEET, SAID CURVE HAVING A RADIUS OF 50.00 FEET, AND A CHORD WITH A BEARING OF N49°51'29"W AND A LENGTH OF 56.54 FEET TO A POINT; THENCE N15°25'38"W A DISTANCE OF 56.69 FEET TO A POINT; THENCE N72°30'27"E A DISTANCE OF 10.01 FEET TO A POINT; THENCE N15°25'38"W A DISTANCE OF 151.20 FEET TO A POINT; THENCE ALONG A CURVE TO THE LEFT AN ARC DISTANCE OF 305.03 FEET, SAID CURVE HAVING A RADIUS OF 1102.71 FEET, AND A CHORD WITH A BEARING OF S37°27'06"E AND A LENGTH OF 500.63 FEET; THENCE N00°49'27"E A DISTANCE OF 912.48 FEET TO A POINT; THENCE N76°37'56"E A DISTANCE OF 194.04 FEET TO A POINT; THENCE N74°54'38"E A DISTANCE OF 49.44 FEET TO A POINT; THENCE N71°36'48"E A DISTANCE OF 48.95 FEET TO A POINT; THENCE N67°47'22"E A DISTANCE OF 86.53 FEET TO A POINT; THENCE S23°30'27"E A DISTANCE OF 60.14 FEET TO A POINT; THENCE S23°45'26"W A DISTANCE OF 59.89 FEET TO A POINT; THENCE S23°40'10"W A DISTANCE OF 60.10 FEET TO A POINT; THENCE S23°44'48"W A DISTANCE OF 59.97 FEET TO A POINT; THENCE S23°46'37"W A DISTANCE OF 60.14 FEET TO A POINT; THENCE S23°49'44"W A DISTANCE OF 59.97 FEET TO A POINT; THENCE S23°45'28"W A DISTANCE OF 59.89 FEET TO A POINT; THENCE S23°40'10"W A DISTANCE OF 60.10 FEET TO A POINT; THENCE S23°44'48"W A DISTANCE OF 59.97 FEET TO A POINT; 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# **FINAL SUBDIVISION REVIEW**



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**FINAL SUBDIVISION STAFF ANALYSIS REPORT**  
**(As of August 3, 2021)**

CASE NO.: 2021-2444-FP

SUBDIVISION NAME: Copper Ridge Subdivision

DEVELOPER: Copper Ridge, LLC  
1580 W. Causeway App, Suite 2  
Mandeville, LA 70471

ENGINEER/SURVEYOR: J.V. Burkes & Associates, Inc.  
1805 Shortcut Hwy  
Slidell, LA 70458

SECTION: 12  
TOWNSHIP: 8 SOUTH  
RANGE: 11 EAST

WARD: 4  
PARISH COUNCIL DISTRICT: 7

TYPE OF DEVELOPMENT:                      X   URBAN (Residential lots less than 1 acre)  
          SUBURBAN (Residential lots between 1-5 acres)  
          RURAL (Residential Farm Tract lots 5 acres plus)  
          OTHER (Multi family, commercial or industrial) (PUD)

GENERAL LOCATION:            The property is located at the end of Hazel Drive, north of Montmartre Street,  
   Mandeville, Louisiana.

TOTAL ACRES IN DEVELOPMENT: 10.113 Acres

NUMBER OF LOTS: 24                    AVERAGE LOT SIZE: 100' x 140'

SEWER AND WATER SYSTEMS: Central

ZONING: A4

FLOOD ZONE DESIGNATION: "C"

**STAFF COMMENTARY:**

This project was postponed for one month at the July 13, 2021 Planning Commission meeting.

**Department of Planning and Development**

Periodic inspections have been made by this office during construction and a confirmation final inspection was made on August 3, 2021. The inspection disclosed that all of the concrete roads are constructed and the roadside subsurface drainage is functioning; however, the subsurface drainage located in the greenspace areas is not functioning.

Planning Commission approval shall be subject to the following items being completed before the plats are signed.

**General Comments:**

1. The Hazel Drive and Montmartre Street intersection improvements need to be completed in accordance with the 6-3-2019 Traffic Letter, as well as the "Stop Sign Location Plan" dated 7-25-2020. Once this is completed the As-Built Signage Plan will need to be revised to reflect the modifications to this intersection.
2. The revised "As-Built Paving & Drainage Plan" shows numerous "Yard Drains" installed along the eastern boundary of this property; however, during the final inspection these "Yard Drains" could not be located due to siltation issues. The siltation needs to be removed from these areas and the "Yard Drains" exposed.
3. Per Sec. 125-95(d), the developer shall establish within a legal instrument the dedication and maintenance of said green space area in favor of a homeowners association or property owners once the developers interest within the subdivision is reduced to less than 50% of lot ownership. Said instrument shall include the developer's responsibility of maintaining the green space areas prior to the establishment and assumption by the homeowners association or property owners. The instrument shall be referenced to within each property title. The developer shall submit a copy of the legal instrument to the Department of Planning upon recordation.
4. The catch basins behind Lots #7 & #8 were shifted to the west during construction resulting in subsurface drain lines and a catch basin being located outside the greenspace area and on private lots, as well as standing water occurring behind these lots. The drainage infrastructure needs to be relocated to be off the private property and the standing water corrected.
5. The eastern and southern Greenspaces areas need to have all siltation that has occurred removed from this area, have a final grade established, and have proper BMPs installed until a mature stand of vegetation is established.
6. The Drop Inlets and associated subsurface drain lines along the southern boundary are being removed and a drainage swale is being installed to facilitate drainage in this area. Once this drainage feature is installed and final grade established the swale needs to be vegetated and the as-built plans updated to reflect the changes.
7. The pond slopes and banks showed signs of erosion. Re-establish the pond slopes and provide a mature stand of vegetation.

**Final Plat:**

8. Update Restrictive Covenant # 10 to include the COB reference.

**Paving & Drainage Plan:**

9. The As-built pond volume does not appear to conform to the as-built Drainage Impact Study required pond storage. Raise pond banks accordingly to provide the required top of bank and pond storage volume.

**Drainage Impact Study:**

10. Provide a complete and updated as-built Drainage Impact Study stamped and signed by the engineer of record.

**Informational Items:**

The developer is responsible for contacting the USPS Regional Growth Management Coordinator to verify the appropriate mail delivery location for this development.

Should the Planning Commission approve the request for final approval, a Warranty Obligation will be required for the infrastructure in the amount of 1,260 linear feet x \$25.00 per linear foot = \$31,500.00 for a period of two (2) years.

Mandatory Developmental Fees are required as follows:

Road Impact Fee = \$1,077.00 per lot x 24 lots = \$25,848.00

Drainage Impact Fee = \$1,114.00 per lot x 24 lots = \$26,736.00

Fees are due before subdivision plats can be signed.

This subdivision **is** within the Urban Growth Boundary Line.

Revised drawings will not be accepted for review or placement in the packet prior to the August 10, 2021 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.



FLOOD ZONE NOTE

I HAVE CONSULTED THE FLOOD INSURANCE RATE MAPS AND FOUND THIS PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA. F.I.R.M. COMMUNITY MAP NO. 225205 0360; DATED: 04/02/1991 FLOOD ZONE: C; BASE FLOOD ELEVATION: N/A.

NOTE:  
SEWER TREATMENT AND WATER FACILITIES ARE LOCATED OFF SITE AND WILL BE PROVIDED BY MAGNOLIA WATER UTILITY.

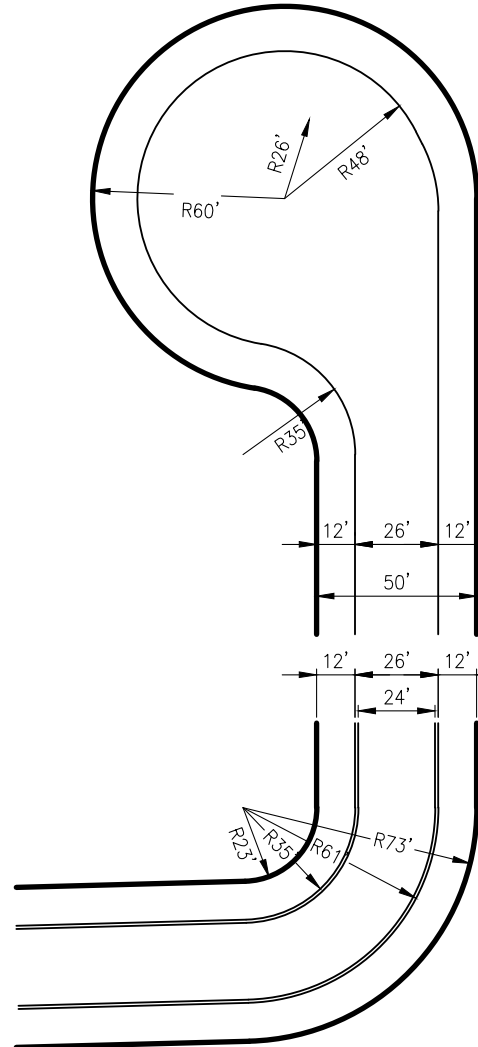
Legal Description:

A certain parcel of land, lying and situated in Section 12, Township 8 South, Range 11 East, Greensburg Land District, Saint Tammany Parish, Louisiana and being more fully described as follows.

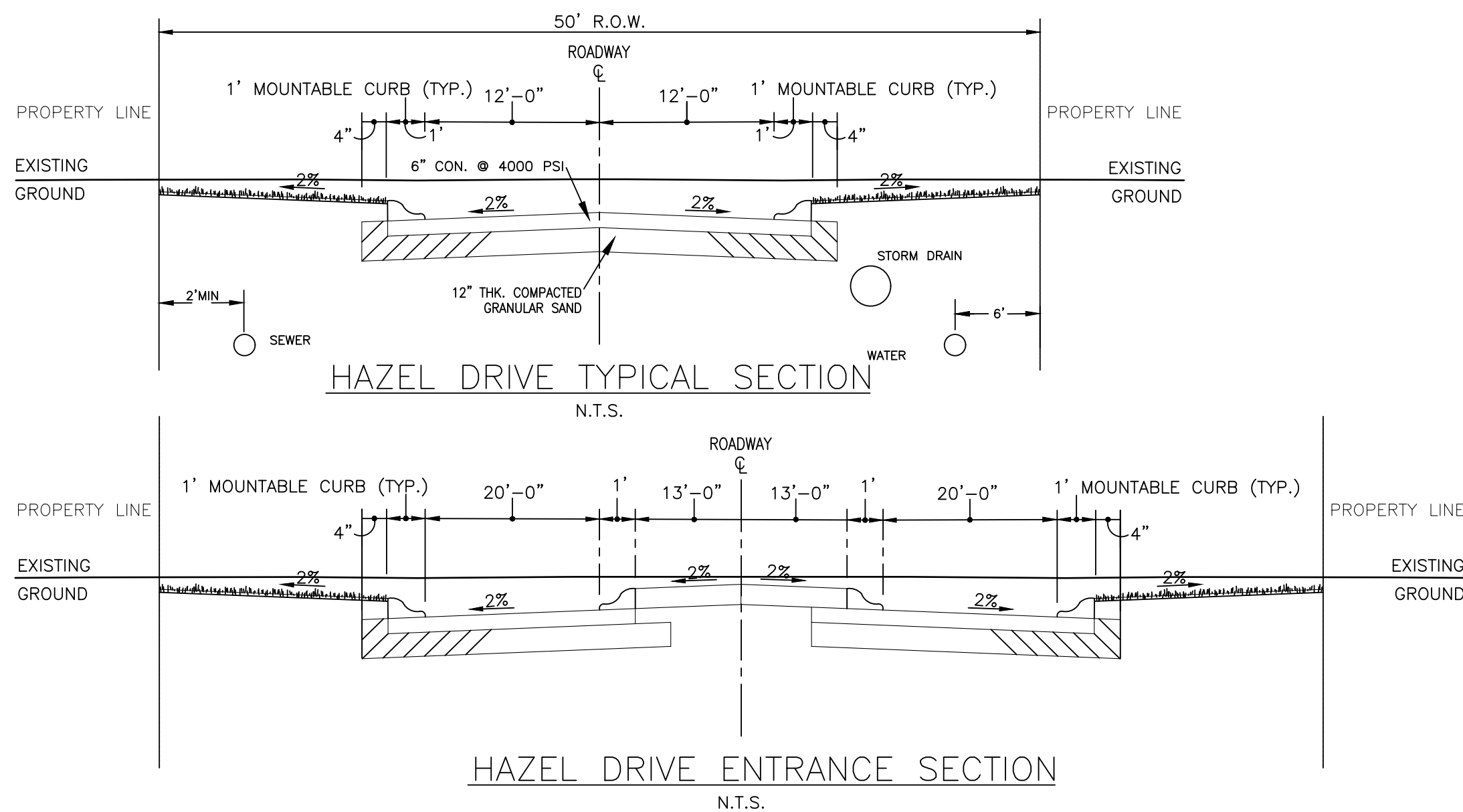
From the Quarter Section corner common to Sections 1 & 12, Township 8 South, Range 11 East, Greensburg Land District, Saint Tammany Parish, Louisiana run East a distance of 1318.70 feet to an axle found and the Point of Beginning.

From the Point of Beginning run North 89 Degrees 23 Minutes 32 Seconds East a distance of 250.00 feet to a 1/2" iron rod found; Thence run North 89 Degrees 18 Minutes 52 Seconds East, a distance of 277.57 feet to an axle found; Thence run South 02 Degrees 09 Minutes 34 Seconds East a distance of 906.85 feet (South 01 Degrees 30 Minutes 00 Seconds East a distance of 906.57 feet--title) to an axle found; Thence run North 72 Degrees 53 Minutes 51 Seconds West a distance of 579.52 feet to an axle and an old wood found; Thence run North 00 Degrees 36 Minutes 49 Seconds West a distance of 729.85 feet to and back to the Point of Beginning.

Said parcel contains 10.113 acres of land more or less, lying and situated in Section 12, Township 8 South, Range 11 East, Greensburg Land District, Saint Tammany Parish, Louisiana.



TYPICAL CUL-DE-SAC DETAIL



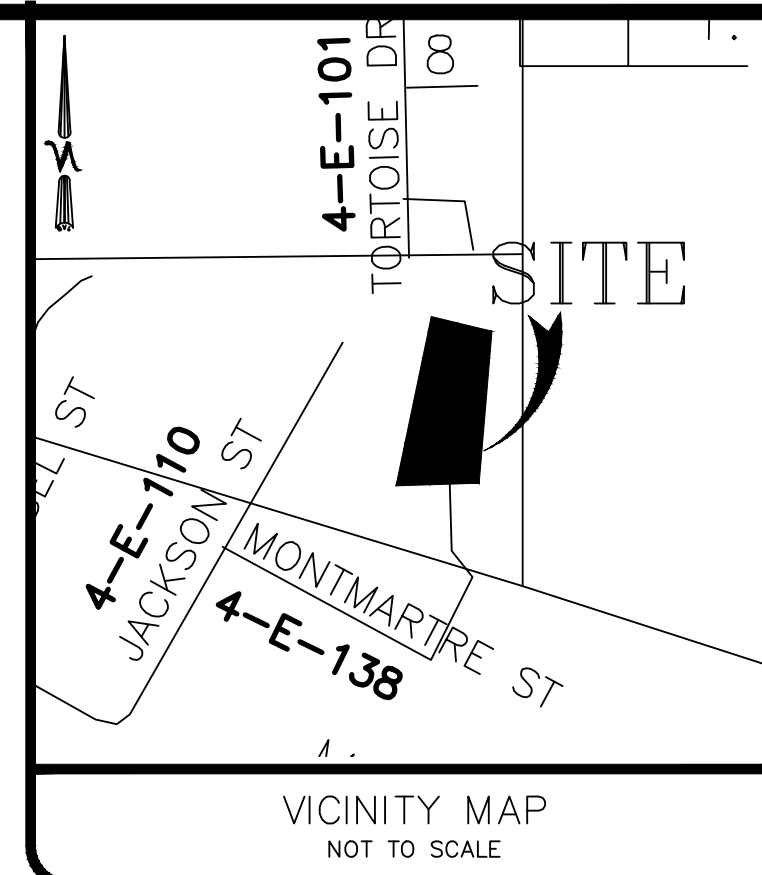
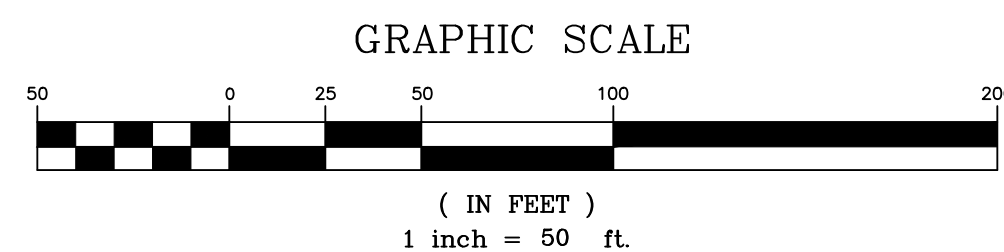
Curve Table				
Curve #	Length	Radius	Chord Bearing	Chord Distance
C1	174.33'	225.00'	N07°25'10"E	170.00'
C2	44.04'	200.00'	S08°28'06"E	43.95'
C3	112.69'	73.00'	N46°23'01"W	101.83'
C4	273.31'	60.00'	S41°06'08"E	91.26'
C5	32.51'	23.00'	S48°53'52"W	29.87'
C6	35.51'	23.00'	N46°23'01"W	32.08'
C7	22.37'	14.00'	N43°36'59"E	20.07'
C8	57.41'	200.00'	S82°23'07"E	57.21'
C9	34.83'	25.00'	S34°14'41"E	32.08'
C10	272.10'	60.00'	S55°45'19"W	92.04'
C11	71.76'	250.00'	S82°23'07"E	71.51'
C12	25.86'	14.00'	N37°41'52"W	22.34'
C13	97.65'	225.00'	S04°18'00"W	96.89'
C14	40.27'	100.00'	N03°24'10"E	40.00'

NOTES:

- NET DENSITY-10.113 TOTAL ACRES - 3.076 ACRES (ROADWAY + WETLANDS)/24 LOTS = 3.41 UNITS PER ACRES.
- THERE SHALL BE A 10' UTILITY AND DRAINAGE EASEMENT PLACED ACROSS THE FRONT OF ALL LOTS.
- A WAIVER OF THE BLVD. ENTRANCE REQUIREMENT WAS GRANTED WITH THE TENTATIVE APPROVAL OF THIS SUBDIVISION AT THE 04/09/2019 PLANNING COMMISSION MEETING.
- THE WAIVER REQUEST FOR LOTS THAT DO NOT MEET 90' MINIMUM LOT FRONTAGE REQUIRED BY A-4 ZONING ON LOTS 1, 8, & 9 WAS APPROVED AT THE 07/09/2019 PRELIMINARY PLANNING COMMITTEE MEETING.
- 0000 MUNICIPAL NUMBER

Final Plans  
RECEIVED  
07/28/2021  
DEPARTMENT OF  
ENGINEERING

ENGINEERING  
REVIEW COPY



RESTRICTIVE COVENANTS

- EACH LOT WILL HAVE NO MORE THAN ONE DWELLING.
- FRONT BUILDING SETBACKS WILL BE 30 FEET FROM EACH FRONT PROPERTY LINE. SIDE BUILDING SETBACKS WILL BE 10 FEET FROM INTERIOR LINES. SIDE STREET SETBACK WILL BE 20'. REAR BUILDING SETBACKS WILL BE NO LESS THAN 25 FEET FROM REAR PROPERTY LINE. MAXIMUM BUILDING HEIGHT IS 35 FEET.
- THE MINIMUM FINISHED FLOOR ELEVATION SHALL BE 12" (1 FOOT) ABOVE THE CROWN OF THE STREET IN FRONT OF THE LOT OR MEET THE FEMA FLOOD ZONE REQUIREMENT, WHICHEVER IS GREATER.
- CONSTRUCTION OF ANY NATURE IS PROHIBITED IN PARISH AND "PRIVATE" DRAINAGE EASEMENTS.
- NO NOXIOUS OR OFFENSIVE ACTION SHALL BE CARRIED ON UPON ANY LOT, NOR SHALL ANYTHING BE DONE THEREON WHICH MAY BE OR BECOME AN ANNOYANCE OR NUISANCE TO THE NEIGHBORHOOD, PARTICULARLY THE USE AS LOTS AS DUMPS OR JUNK VEHICLE STORAGE.
- MOBILE HOMES WILL NOT BE PERMITTED TO OCCUPY LOTS AS RESIDENCES IN THIS SUBDIVISION.
- NO LOT WILL BE FURTHER SUBDIVIDED WITHOUT APPROVAL OF THE ST. TAMMANY PARISH PLANNING COMMISSION.
- NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED BEFORE THE SEWERAGE AND WATER SYSTEMS ARE INSTALLED AND OPERABLE. WHENEVER A SUBDIVISION IS SERVED BY A COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY), NO PRIVATE WATER SUPPLY MAY BE DRILLED OR OTHERWISE CONSTRUCTED ON ANY LOT FOR THE PURPOSE OF SUPPLYING POTABLE WATER TO ANY BUILDING OR STRUCTURE, EXCEPT FOR THE PURPOSE OF IRRIGATION, AND IN NO EVENT SHALL THERE BE A PHYSICAL CONNECTION BETWEEN ANY SUCH SOURCE AND ANY ELEMENT OF THE COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY).
- DRIVEWAYS ON CORNER LOTS SHALL NOT BE LOCATED ANY NEARER THAN 60 FEET FROM CORNER OF SAID PROPERTY CLOSEST TO THE INTERSECTION AS MEASURED FROM THE CORNER OF THE PROPERTY WHERE THE SAID TWO STREET RIGHT OF WAY INTERSECT.
- ADDITIONAL COVENANTS RECORDED IN COB SHALL BE MADE THEREIN IN EACH TITLE.
- THERE WILL BE A 10' UTILITY AND DRAINAGE SERVITUDE RUNNING ALONG THE FRONT OF ALL LOTS.
- THE POND SHALL BE MAINTAINED BY THE PARISH.
- THE "HOA", HOMEOWNERS ASSOCIATION IS RESPONSIBLE FOR THE MAINTENANCE OF ALL GREENSPACES, INCLUDING DRAINAGE STRUCTURES & FEATURES WITHIN THIS AREA.
- NO POOLS OR OTHER STRUCTURES LOCATED WITHIN 10' OF THE REAR PROPERTY LINE AND WITHIN 5' OF THE SIDE PROPERTY LINE, ON LOTS 9 THROUGH 12.
- ANY MATURE HARDWOOD TREES LOCATED WITHIN 10' FEET OF THE REAR PROPERTY LINE OF LOTS 9 THROUGH 12 MUST BE PRESERVED, EXCEPT IN THE EVENT THAT THEIR REMOVAL IS REQUIRED FOR DRAINAGE OR UTILITY PURPOSES, OR IF THE TREE IS DISEASED OR POSES A DANGER TO THE SURROUNDING STRUCTURES.
- IT SHALL BE PROHIBITED FOR ANY LOT WITHIN AN APPROVED SUBDIVISION TO HAVE REAR ACCESS VIA A DRIVEWAY TO OR FROM ANY STREET OR ROAD THAT IS NOT DEDICATED WITHIN THE BOUNDARIES OF THE APPROVED SUBDIVISION PLAN.

CERTIFICATION

THIS MAP IS CERTIFIED TO BE CORRECT AND IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THIS GROUND UNDER SUPERVISION OF THE UNDERSIGNED.

SEAN M. BURKES - LA P.L.S. No. 4785

THIS PLAN IS CERTIFIED TO CONFORM TO THE PROVISION OF THE STATE OF LOUISIANA LA RS:33:5051 AND LAWS AND ORDINANCES OF THE PARISH OF ST. TAMMANY WITH WAIVERS.

SEAN M. BURKES - LA P.E. No. 27642

DEDICATION

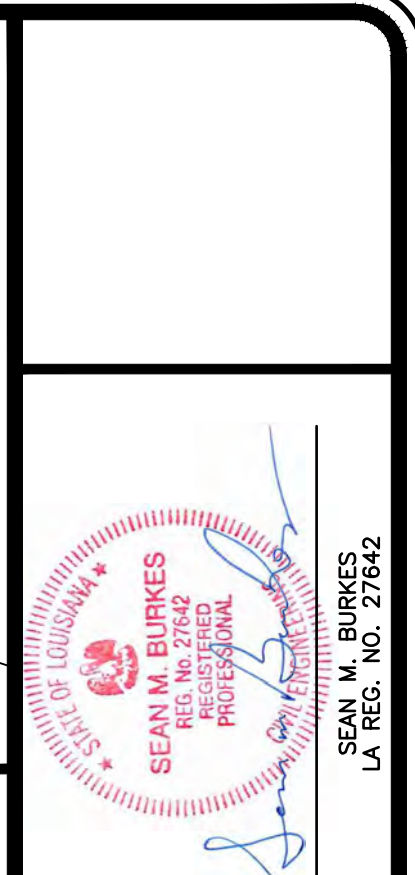
BE IT RESOLVED, BY THE UNDERSIGNED OWNER OF THE LAND AS SHOWN AND DESCRIBED HEREON, THAT HE DOES DECLARE THIS TO BE A TRUE AND ACCURATE MAP OF:

COPPER RIDGE

THE STREET RIGHT-OF-WAY AS SHOWN IN THIS DEVELOPMENT IS HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER USES. ALL TRAFFIC CONTROL SIGNS, STREET SIGNS AND POSTS SHALL BE MAINTAINED BY THE HOME OWNERS ASSOCIATION. EASEMENTS SHALL BE RESERVED FOR DRAINAGE AND UTILITIES AS INDICATED HEREON AND NO OBSTRUCTION OR IMPROVEMENTS SHALL BE ALLOWED THAT WOULD PREVENT THEM FROM BEING USED FOR THEIR INTENDED PURPOSES.

OWNER	OWNER DATE
FOR	
COPPER RIDGE SUBDIVISION	
APPROVAL	
PARISH PLANNING COMMISSION CHAIRMAN	DIRECTOR OF PARISH ENGINEERING
PARISH PLANNING COMMISSION SECRETARY	CLERK OF COURT
DATE FILED	FILE NUMBER

10.113 ACRES	24	CENTRAL	CENTRAL
AREA	NO. OF LOTS	SEWER SYSTEM	WATER SYSTEM
100' X 140'	VARIES	1,260 L.F.	400'
AVG. LOT SIZE	LOT FRONTAGE	LENGTH OF STREET	MAX. BLOCK LENGTH
CONCRETE	VARIES	50'	
ROAD SURFACE	LOT DEPTH	STREET R.O.W.	
LITTLE BAYOU CASTINE TO LAKE PONTCHARTRAIN		ZONING	
ULTIMATE SURFACE WATER DISPOSAL			



J.V. Burkes & Associates, Inc.  
SURVEYING ENGINEERING • ENVIRONMENTAL  
1805 Shortcut Highway  
Shreveport, Louisiana 70555  
E-mail: jvburkes@jvburkes.com  
Phone: 855-649-0075 Fax: 855-649-0154

REVISIONS	DATE	BY	DESCRIPTION
1	07/28/2021	SEAN M. BURKES	REVISED PLAT AS PER PARISH COMMENTS
2	07/28/2021	SEAN M. BURKES	ADDITIONAL PARISH COMMENTS
3	07/28/2021	SEAN M. BURKES	ADDED 10' PRIVATE DRAINAGE SERVITUDE
4	07/28/2021	SEAN M. BURKES	REVISED LOT LAYOUT-ADDED DETENTION POND
5	07/28/2021	SEAN M. BURKES	REVISIONS AS PER COMMENTS FROM PARISH
6	07/28/2021	SEAN M. BURKES	REVISIONS AS PER COMMENTS FROM PARISH

FINAL PLAT - COPPER RIDGE SUBDIVISION  
A PARCEL LOCATED IN  
SECTION 12, T-8-S, R-11-E,  
GREENSBURG LAND DISTRICT,  
ST. TAMMANY PARISH, LOUISIANA  
OCCUPATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL OF SURVEYOR.

SCALE: 1" = 50'

DATE: 04/23/2019

DRAWN BY: WSR CHECKED BY: SMB

DWG. NO. 20190092

SHEET 1 OF 9