

**AGENDA MEETING  
ST. TAMMANY PARISH BOARD OF ADJUSTMENT MEETING  
JANUARY 4, 2022 – 2PM  
ST. TAMMANY PARISH GOVERNMENT COMPLEX BUILDING A  
21490 KOOP DRIVE, PARISH COUNCIL CHAMBERS  
MANDEVILLE, LOUISIANA**

**CALL TO ORDER**

**ROLL CALL**

**ANNOUNCEMENTS**

- Please silence all phones and electronic devices
- Appeals
- Speaker Cards
- Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal
- Please exit the building

**APPROVAL OF THE DECEMBER 7, 2021 MINUTES**

**PUBLIC HEARINGS**

**1- BOA CASE NO. 2021-2625-BOA**

Request by applicant in an A-4 Single Family Residential Zoning District for an after the fact waiver to allow for the driveway concrete paving to remain within 5 feet of the property line

The property is located: 3006 Mountain Court, Mandeville, Louisiana

Applicant: Britt & Kathy Hinshaw

Representative: Boles Construction, LLC – Ricky Boles

**2- BOA CASE NO.2021-2665-BOA**

Request by applicant in a PUD Planned Unit Development Overlay to reduce the required rear yard setback for a swimming pool from 5 feet to 3 feet.

The property is located: 629 Bocage Court South, Covington, Louisiana

Applicant & Representative: Paul & Julie Richardson

**3- BOA CASE NO.2021-2668-BOA**

Request by applicant in an A-2 Suburban Zoning District to increase the maximum allowable length of an accessory structure from 50 feet to 60 feet

The property is located: 57616 Mainegra Drive, Slidell, Louisiana

Applicant & Representative: Mainegra, LLC

**OLD BUSINESS**

**NEW BUSINESS**

**ADJOURNMENT**

**MINUTES**  
**ST. TAMMANY PARISH BOARD OF ADJUSTMENT MEETING DECEMBER 7, 2021**  
**ST. TAMMANY PARISH GOVERNMENT COMPLEX BUILDING A**  
**21490 KOOP DRIVE, PARISH COUNCIL CHAMBERS**  
**MANDEVILLE, LOUISIANA**

The December 7, 2021 meeting of the St. Tammany Parish Board of Adjustment was called to order by the Chairman, Mr. Ballantine.

The roll was called as follows:

PRESENT: Mr. Brookter, Mrs. Thomas, Mr. Ballantine, Mr. Daly, Mr. Blache, Mr. Spies.

ABSENT: N/A

STAFF PRESENT: Mr. Liner, Mrs. Lambert, Mrs. Couvillon, Mr. Cloutet

**APPROVAL OF THE MINUTES**

Moved by Mr. Brookter and seconded by Mrs. Thomas to accept the November 9, 2021 minutes.

**MOTION CARRIES UNANIMOUSLY**

**1- BOA CASE NO.2021-2576-BOA**

Request by applicant in a PUD Planned Unit Development Overlay to reduce the required rear yard setback from 10 feet to 1 foot to allow for an addition to the single-family residence.

The property is located: 28 Wax Myrtle Lane, Covington, Louisiana

Applicant & Representative: Calvin & Nicholle Klein

(Mrs. Lambert read the staff report into the record...)

Nicholle Klein: Property owner. Family moved in home abutting golf course. Children cannot go in the backyard because it is abutting the golf course and presence of golf balls. Asking for variance for screened in addition to allow the kids to have playroom area in the backyard. Provided no objection letters from abutting neighbors and HOA. Ask the Board to approve as requested

Mr. Blache: No concern/objection. Screen in area is better chose than glass.

Motion by Mr. Blache and seconded by Mr. Brookter to approve the variance as requested.

**MOTION CARRIES UNANIMOUSLY**

## **2- BOA CASE NO. 2021-2617-BOA**

Request by applicant in an A-1 Suburban Zoning District for an after the fact variance to allow for the completion of an accessory structure and request to:

- increase the maximum allowable length of an accessory structure from 50 feet to 100 feet
- increase the maximum allowable width of an accessory structure from 50 feet to 72 feet
- increase the maximum allowed height from 20 feet to 34 feet
- allow for the construction of an accessory structure within the front yard
- allow for an accessory building larger and higher than the existing single-family residence

The property is located: 11834 Tantala Ranch Road, Covington

Owner & Representative: John & Brandi LaBruzzo

(Mrs. Lambert read the staff report into the record...)

Brandi LaBruzzo: Purchase dream property, because of the barn. Barn burned down 2 years ago. Want to rebuild, further back, smaller barn, aesthetically pleasing. It would include storage and it would also be for personal use. Large area of greenspace would remain around the barn. Abutting neighbors submitted letters of no objection. It cannot be seen by other neighbors in the area, unless if travelling in front of the property.

Mr. Ballantine: Any rules regarding rebuilding after lost of accessory building by fire?

Mrs. Couvillon: Legal non-conforming regulation requires that the building be constructed within a certain period of time and within the same footprint. Request appears to be to construct a structure that is going to be higher than the regulation allows.

Brandi LaBruzzo: It will be larger and higher than what the regulations allows; however, it will be smaller, lower and further setback, than the barn that was destroyed by fire.

Mrs. Lambert: The building was completely destroyed. More than 50 % burned. The legal non-conforming regulation would not apply. Started building without a permit/after the fact request.

Mr. Blache: It is a non-conforming use? Can it be rebuilt within a year of destruction and remain a non-conforming use?

Mrs. Lambert: It was completely destroyed.

Mrs. Couvillon: Lost at more than 50% of total cost of replacement.

Brandi LaBruzzo: After the fact request. Need to save money and would like to eventually finish the project.

Mr. Blache: Do we need to include in the motion any requirement regarding drainage requirements?

Mrs. Lambert: The Engineering Department will request and review necessary drainage plans before issuing permit.

Motion by Mrs. Thomas and seconded by Mr. Brookter to approve the variance as requested.

**MOTION CARRIES UNANIMOUSLY**

**3- BOA CASE NO. 2021-2622-BOA**

Request by applicant in an A-2 Suburban Zoning District to reduce the required south side no cut buffer from 50 feet to 20 feet for a length of 170 feet to allow for the placement of a driveway.

The property is located: 188 Perrilloux Road, Madisonville, Louisiana

Owner & Representative: William Treas

(Mrs. Lambert read the staff report into the record...)

William Treas: Property owner, purchased the property in 2009 to build a home. Delay in construction because of price of lumber. Want to build house outside of flood zone area. Proposed driveway will be within a portion of the 50 foot no cut buffer. Adjacent neighbor signed the plan to confirm no objection to the request.

Mrs. Lambert: Confirm that the signature on the plan is from the neighbor to state there is no object to the requested variance.

William Treas: Correct. No other neighbor on the site. Want to stay away from the large drainage feature abutting the property.

Mr. Ballantine: No HOA in the area? Receive similar request recently in the area?

Mrs. Lambert: We received similar request in the same area.

William Treas: Correct, no HOA.

Motion by Mr. Blache and seconded by Mrs. Thomas to approve the variance as requested.

**MOTION CARRIES UNANIMOUSLY**



#### **4- BOA CASE NO. 2021-2624-BOA**

Request by applicant in a CBF-1 Community Based Facilities Zoning District to:

- Allow for a building exceeding 500 square feet within 200 feet of a residentially zoned property/78 feet from the south property line.
- Allow for a building exceeding 500 square feet within 200 feet of a residentially zoned property/181 feet from the north property line.
- Allow for a building exceeding 500 square feet within 200 feet of a residentially zoned property/52 feet from the west property line.
- Waiver of the required 8-foot opaque fence on the south, east and west sides.

The property is located: 19516 Sunshine Avenue, Covington

Applicant & Representative: Northshore Bible Church

(Mrs. Lambert read the staff report into the record...)

Jeffrey Shoen: Representing Northshore Bible Church. Church has been in place for 25 years. Plan to build a Youth Building to be used on Wednesday and Sunday for Youth program. The property had a different zoning classification when it was built. Under the UDC, CBF-1 zoning requires that all structure larger than 500 square feet be setback 200 feet from any abutting residentially zone property. Seeking setback variances on the south, east and west sides. No objections from abutting property owners.

In regards to the waiver of the required fence: large track of land, heavily wooded on all sides. Would require the removal of trees to allow for the placement of fence on the property line. If any of the neighbor request to have fence put up in the future, it will be placed inside the property. Would like to make it part of the records.

Would like to ask the Board to grant the variances as requested with stipulation that fence would be put up if any of the neighbor request it.

Mr. Blache: Did you consider any other type of screen instead of opaque fence, such as bamboo, shrubs, which acts as natural fence barrier?

Mr. Shoen: Not opposed to the suggestion. South, west and east sides are abutting thick existing buffers. Want to maintain greenspace for privacy. Additional shrubs and trees can be planted if necessary and required by the Board.

Mr. Brookter: What is abutting the property in the rear?

Mr. Shoen: Rear/South side: Heavily wooded in the rear and no abutting neighbor in the rear. Homes on each side.

Motion by Mrs. Thomas and seconded by Mr. Brookter to approve the variance as requested, with the stipulation that if requested by abutting neighbor, additional planting will be provided.

**MOTION CARRIES UNANIMOUSLY**

**5- BOA CASE NO. 2021-2625-BOA**

Request by applicant in an A-4 Single Family Residential Zoning District for an after the fact waiver to allow for the driveway concrete paving to remain within 5 feet of the property line.

The property is located: 3006 Mountain Court, Mandeville, Louisiana

Applicant: Britt & Kathy Hinshaw

Representative: Boles Construction, LLC – Ricky Boles

(Mrs. Lambert read the staff report into the record...)

Ricky Boles: Boles Construction, representing the property owners. Paving & concrete curb poured along the side of the house to move roof run off away from the property line. Recently built a handicap accessible addition to the house. The reason for the paving: needed to provide emergency access from the side of the house/new addition and add sufficient space for A/C unit on that side. Pavement and curb are necessary to move water towards the street.

Met with Engineering Department on site. Additional information requested. Revised drainage plans submitted today. Concrete paving is not causing any drainage impact on abutting neighbors. Refers to Hurricane Ida and other rain events and no water present and/or causing any drainage issues.

A hand drawn sketch was provided to neighbors, which is signed by abutting neighbors. Ask the Board to approved the after the fact waiver as requested.

Mr. Ballantine: Board members received some letters of opposition.

Mr. Brookter: How many feet of concrete has been poured? Did you install some PVC pipes?

Ricky Boles: Length from garage to the new addition: 68 feet of concrete. Before pouring concrete, installed some PVC pipes to connect to the catch basins to be installed in the backyard. Explains drainage pattern in the backyard. Water from the roof would drain to the pavement, to 8-inch culver and to the ditch.

Mr. Brookter: What is the distance from the concrete to the street?

Ricky Boles: 80 feet. Paving does extend to the street. Same paving area present on other properties within the subdivision.

Mr. Ballantine: Is the property owner present in the Chamber?

Ricky Boles: Yes, they are here.

Mr. Ballantine: Does the Engineering Department have any comments?

Mr. Cloutet: Plans were submitted on November 16, 2021 for review. Comments were submitted to owner and contractor. Revised plans submitted today December 7<sup>th</sup>, 2021.



Mr. Ballantine: Did you get a chance to review the revised plans?

Mr. Cloutet: Reviewed big items to be addressed. I would be hesitant to approve 4-inch PVC pipe to accommodate the drainage. In previous comments submitted, we requested to confirm that 4-inch pipe would be sufficient for capacity. It is the design Engineer responsibility to prove/provide drainage calculations. Also need to show existing fence on the plan, from the photo you can observe that the concrete is right on the fence line, but plan shows the fence being 2 feet from the property line. Other items were not address. Engineering Department cannot approve plans at this time.

Ricky Boles: Surveyor said that some of the request could be provided on the as built plan. If Engineering is requesting additional information, we would like to request to postpone the case.

Motion by Mr. Brookter and seconded by Mrs. Thomas to postpone the request until the January 4<sup>th</sup>, 2022 BOA meeting.

## **MOTION CARRIES UNANIMOUSLY**

### **6- BOA Case No. 2021-2626-BOA**

Request by an applicant in a HC-2 Highway Commercial Zoning District for a:

- Reduction of the required street planting area from 20 feet to 15 feet along Thelma Lane
- Reduction of the required street planting area from 20 feet to 15 feet along Third Street
- Reduction of the required street planting area from 20 feet to 15 feet along Vivian Street.
- Reduction of the required setback on the south side of the property from 10 feet to 5 feet.
- Waiver of the required 10-foot planting area and required number of Class A & Class B trees along the south side of the property

The property is located: West side of Thelma Street, Covington, Louisiana

Applicant: JJH Construction Company, LLC - Rob Hazard, Jr.

Representative: Jeffrey Shoen

(Mrs. Lambert read the staff report into the record...)

Jeffrey Shoen: Representative for JJH Construction Company, LLC - Rob Hazard, Jr. Seeking variances listed on the staff report. Refers to the survey, Architect determined the setbacks in 2008, prior to the adoption of the Unified Development Code. The owner did not move forward with construction at the time. Decided to move forward with construction within the past 6 months. Client was informed that setbacks have changed. Building has already been purchased, currently in storage. 3 sides of the parcels are abutting public right of way, some are not open. On the south side, existing building, same setbacks as proposed since it was constructed before the adoption of the Unified Development Code. Last document in the packet is a no objection letter from same property owner. Also, business owner located across the street "North Lion" issued not objection letter. Lots of abandoned cars, unsightly area, hoping to revitalize the area with new building. Seek variances as requested and listed on the staff report. Will be resubdividing 2 lots into 1 lot. State of the art green drainage system/ limestone/French drain to be provided on the site. Also refers to drawing elevations of the building.

Mr. Blache: What type of business is proposed for the building?

Jeffrey Shoen: Office warehouse.

Mr. Blache: Does the Parish have a tree bank? It may be beneficial to impose payment to the tree bank in regards to the requested variance for the number of trees.

Mrs. Lambert: No calculation provided to pay into the tree bank.

Mr. Blache: Would be important to create a tree bank and have funds for future planting.

Jeffrey Shoen: Required number of trees will be allocated in other areas of the site.

Mr. Daly: Southern side of site will be abutting the rear of the existing building?

Jeffrey Shoen: Correct and will have the same setback as the existing building.

Motion by Mr. Brookter and seconded by Mr. Blache to approve the variance as requested.

#### **MOTION CARRIES UNANIMOUSLY**

#### **7- BOA CASE NO. 2021-2637-BOA**

Request by applicant in a HC-3 Highway Commercial Zoning District for a waiver of the required street planting area on the north side of the property and the required number of Class A & Class B trees and shrubs to allow for the addition of a second drive thru lane.

The property is located: 1270 N. Highway 190, Covington, Louisiana

Applicant: Raising Canes - LuAron Foster

Representative: Angel Robinson

(Mrs. Lambert read the staff report into the record...)

Jeffrey Shoen: Restaurant located on Hwy 190, Covington. Craig Smith, owner/operator of the restaurant is present. Request to add a 2nd Drive-thru lane on the site. There has been an increase in the number of patrons using drive-thru since the pandemic. Before pandemic drive-thru users 60% and sit down in restaurant 40%. Pandemic, 100% drive thru-users. Now 85% of customers use the drive thru and 15% dine inside. Asking waiver of the existing 20-foot planting area along the north side of the property to allow for the 2<sup>nd</sup> drive thru lane and to provide additional stacking onsite instead of along Hwy 190. Raising Canes will be purchasing adjacent property to allow for the construction of additional parking spaces. The variance is requested to allow for a safer environment. Required number of trees within the 20-foot planting area along the north side will be provided within the greenspace along Hwy 190. Agree with requirements listed on the staff comments regarding stripping and signage.

Mr. Blache: This a positive addition. In favor of the request.

Mr. Daly: It may create a precedent but it will allow for stacking onsite.



Mr. Liner: The building was constructed before the adoption of the UDC. Limited to improve the site safety. Business model has changed, need to add 2<sup>nd</sup> drive-thru lane.

Mr. Daly: Fence on the side is significant: 48 inches and 5-foot strip would be left along the side street.

Motion by Mr. Blache and seconded by Mrs. Thomas to approve the variance as requested, with stipulation to provide site and landscape plan, required signage and stripping.

**MOTION CARRIES UNANIMOUSLY**

**OLD BUSINESS**

**NEW BUSINESS**

**ADJOURNMENT:** Mr. Ballantine, CHAIRMAN

**MOTION CARRIED UNANIMOUSLY**

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MR. TOM BALLANTINE, CHAIRMAN  
ST. TAMMANY PARISH BOARD OF ADJUSTMENTS

*Disclaimer: These minutes are intended to represent an overview of the meeting and general representation of the testimony given; and therefore, does not constitute verbatim testimony or a transcription of the proceedings.*

**ST. TAMMANY PARISH BOARD OF ADJUSTMENT  
STAFF ANALYSIS REPORT**

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Case File Number:	BOA Case No. 2021-2625-BOA
Initial Hearing Date:	12/07/2021
2 <sup>ND</sup> Hearing Date:	01/04/2022
Date of Report:	12/27/2021

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**GENERAL INFORMATION**

Applicant:	Britt & Kathy Hinshaw
Representative:	Boles Construction, LLC – Ricky Boles
Location of Property:	3006 Mountain Court, Mandeville, Louisiana
Zoning of Property:	A-4 Single Family Residential Zoning Districts
Variance(s) Requested:	Reduce the required the front & rear yard setbacks.

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**OVERVIEW**

Request by applicant for an after the fact waiver to allow for the driveway concrete paving to remain within 5 feet of the property line.

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**STAFF COMMENTS**

As per Ordinance Section 35-7(d)(5)(h) which states that “No entrance or exit shall be constructed that any part of such entrance or exit shall be less than five feet from the boundaries as defined above.” The boundaries are defined in Ordinance Section 35-7(d)(5)(a) as “The frontage of any parcel of property adjacent to a public road shall be considered to be confined between lines drawn from the intersection of the property lines with the right-of-way lines of the road to the roadway surface or to the curbing, if any, and perpendicular to the axis of the road; or if the axis is a curve, to the center of curvature; or a combination of the two. Those lines shall be known as boundaries.”

The objective of the request is to allow for portion of the driveway and/or concrete paving to remain within 5 feet of the property line (see attached picture) to facilitate access to the rear of the property. The requested variance is a personal preference rather than a property hardship.

Should the Board be in favor of the request, it should be subject to the following:

- Provide a sealed drainage plan prepared by a Louisiana Civil Engineer, showing that all water is drained from the rear of the lot to the front in accordance with the approved drainage plan for Forest Brook Subdivision, Ph. 4C-1. The drainage plan shall include sufficient information to verify correct pipe sizes, invert elevations, inlet areas, etc. to provide adequate drainage of the property. Note that a revised drainage plan shall be submitted addressing the attached marked up comments; and
- Provide a Louisiana Civil Engineer prepared and sealed As-Built Drainage plan showing all improvements were constructed in accordance with the approved plan(s) to the Dept. of Engineering for review and approval

Should the Board not be in favor of the request, it should be subject to the following:

- Remove the concrete from the property line to 5’ from the property line and regrade the area to provide positive drainage from the rear of the site to the front in accordance with the approved drainage plan for Forest Brook Subdivision, Ph. 4C-1.

See attached, revised plan and comments from the Department of Engineering.



2021-2625-BOA

DESERT

FOREST BROOK

MOUNTAIN

A-4 5  
T8-R12E

A-2

CREEK

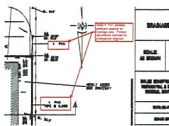
LAKE



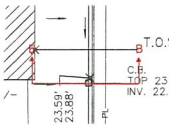
Comments 01/04/2022 meeting

NEWLY ADDED  
SIDE DRIVEWAY

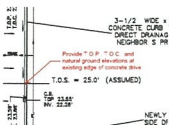
Accurately show location of existing fence on plan.



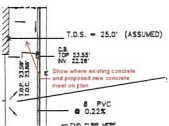
Verify 4" PVC provides sufficient capacity for drainage area. Provide calculations stamped by professional engineer.



Provide cross section B-B with dimensions.



Provide T.O.P., T.O.C., and natural ground elevations at existing edge of concrete drive.



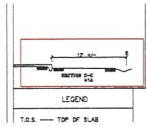
Show where existing concrete and proposed new concrete meet on plan.





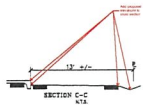
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**Page Label:** Drainage Plan  
**Page Index:** 1  
**Author:** Chris A. Cloutet  
**Date:** 12/10/2021 8:18:07 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Show location of existing utilities in this area.



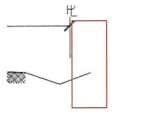
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**Page Label:** Drainage Plan  
**Page Index:** 1  
**Author:** Chris A. Cloutet  
**Date:** 12/10/2021 8:19:58 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Show location of proposed 8" pipe on cross section C-C.



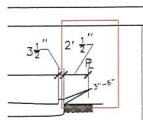
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**Page Label:** Drainage Plan  
**Page Index:** 1  
**Author:** Chris A. Cloutet  
**Date:** 12/10/2021 8:25:06 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Add proposed elevations to cross section.



**Subject:** Drainage  
**Page Label:** Drainage Plan  
**Page Index:** 1  
**Author:** Chris A. Cloutet  
**Date:** 12/10/2021 8:23:38 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Verify proposed drainage or grading work does not encroach on adjacent property. Written authorization from adjacent property owner is required for any work on adjacent property.



**Subject:** Cross Section  
**Page Label:** Drainage Plan  
**Page Index:** 1  
**Author:** Chris A. Cloutet  
**Date:** 12/10/2021 8:26:42 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Verify location of property line is correct and show location of existing fence on cross section.

**RESIDENTIAL  
RENOVATION**  
3006 MOUNTAIN COURT  
MANDEVILLE, LA 70448

**DRAINAGE PLAN**

SCALE: AS SHOWN  
DRAWING: D-1

BOLES CONSTRUCTION, LLC.  
RESIDENTIAL & COMMERCIAL  
GENERAL CONTRACTORS

DATE: 08-11-2021

SCALE: SHOWN

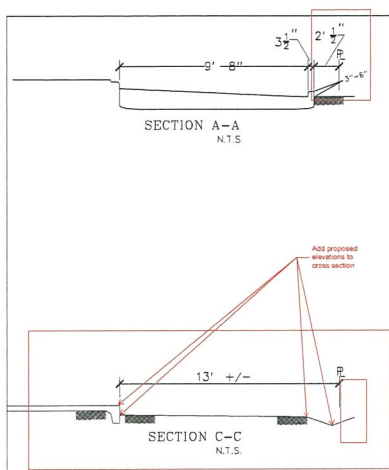
FILE No: 005

JOB No: 005

DRAWN BY: CLINTON BOLES

CHECKED BY: RICKY BOLES

KELLY J. McHUGH & ASSOC., INC.  
CIVIL ENGINEERS & LAND SURVEYORS  
845 CALVEZ ST. MANDEVILLE, LA. 70481



**LEGEND**

T.O.S. --- TOP OF SLAB

T.O.C. --- TOP OF CURB

T.O.P. --- TOP OF PAVING

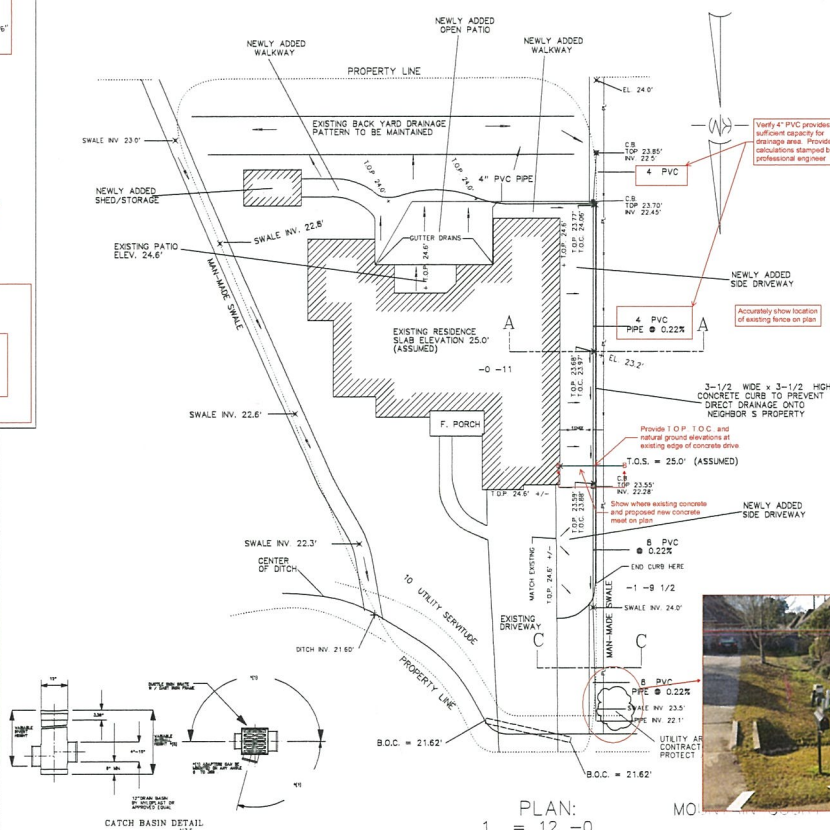
B.O.C. --- BOTTOM OF CULVERT

PIPE INDICATION

DIRECTION OF DRAINAGE

PLACEMENT OF CATCH BASIN

ELEVATION MARKER





SIDE DRIVEWAY  
TYPICAL SECTION:

SECTION A-A  
N.T.S.

# LEGEND

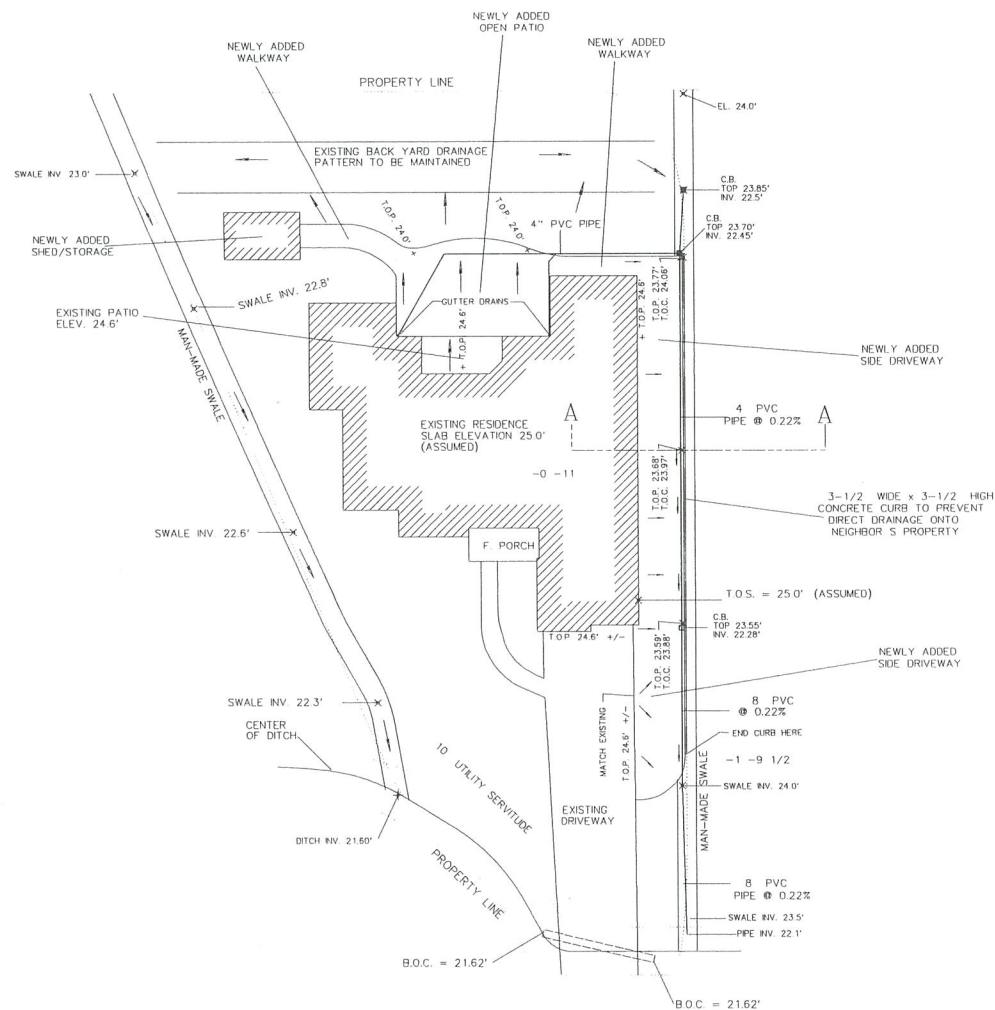
T.O.S. --- TOP OF SLAB  
T.O.C. --- TOP OF CURB  
T.O.P. --- TOP OF PAVING  
B.O.C. --- BOTTOM OF CULVERT

PIPE INDICATION  
—→—→—  
DIRECTION OF DRAINAGE

PLACEMENT OF CATCH BASIN



ELEVATION MARKER



RESIDENTIAL  
RENOVATION  
3006 MOUNTAIN COURT  
MANDERVILLE, LA 70448

## DRAINAGE PLAN

SCALE:  
AS SHOWN

DRAWING:  
D-1

HOLES CONSTRUCTION, LLC.  
RESIDENTIAL & COMMERCIAL  
GENERAL CONTRACTORS

DATE: 08-11-2021

SCALE: SHOWN

FILE No.: 005

JOB No.: 005

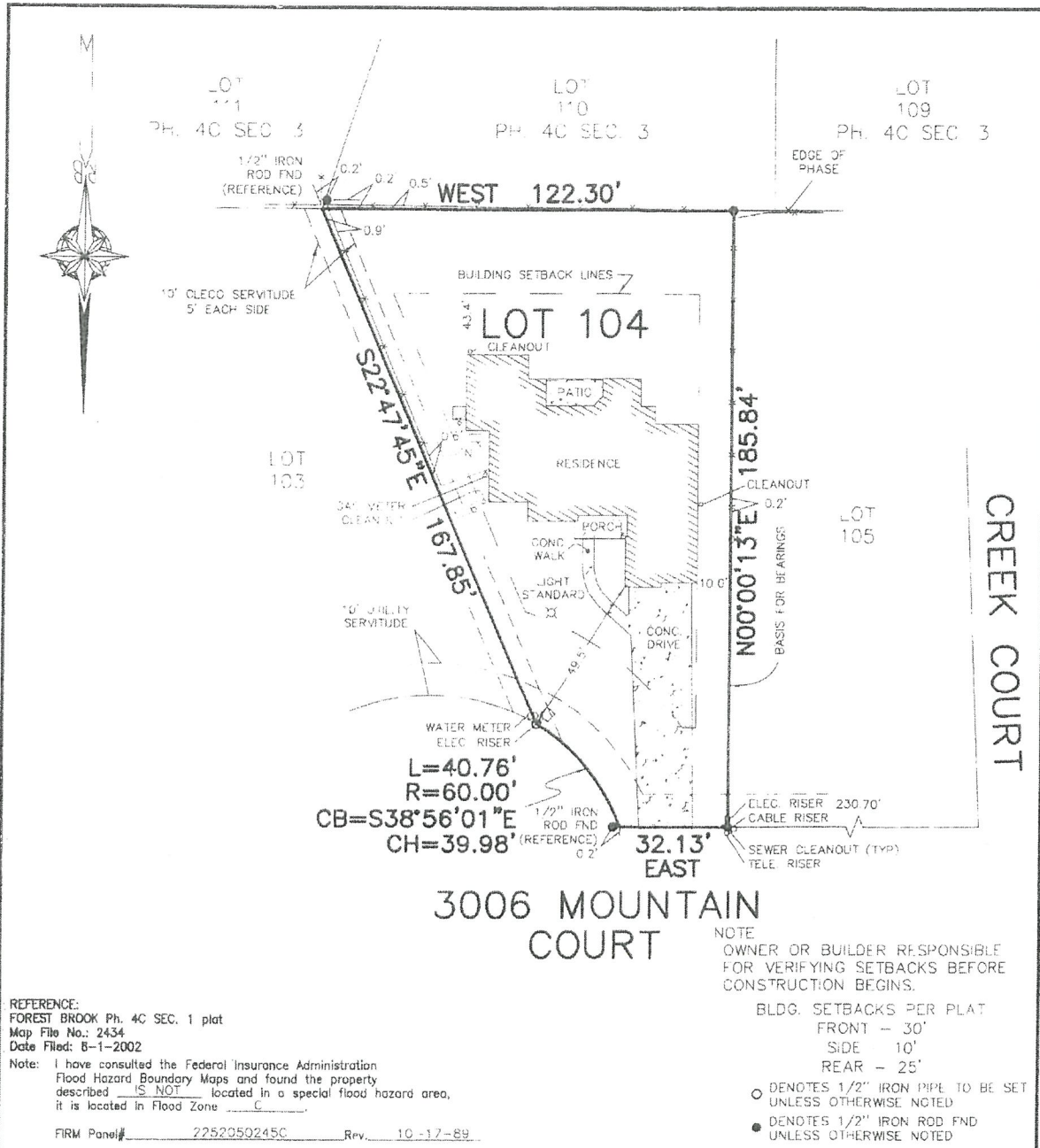
DRAWN BY: CLINTON HOLES

CHECKED BY: RICKY HOLES

THIS PLAN CANNOT BE COPIED OR REPRODUCED WITHOUT THE WRITTEN APPROVAL OF HOLES CONSTRUCTION, LLC.

PLAN:  
1 = 12 -0

MOUNTAIN COURT



Survey of  
 LOT 104 \* FOREST BROOK \* PHASE 4C SECTION 1  
 ST. TAMMANY PARISH, LOUISIANA  
 FOR  
 BRITT HINSHAW

NO ATTEMPT HAS BEEN MADE BY RANDALL W. BROWN & ASSOC., INC. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT.

SURVEYED IN ACCORDANCE WITH THE LOUISIANA "APPLICABLE STANDARDS FOR PROPERTY BOUNDARY SURVEYS" FOR A CLASS C SURVEY.

*[Signature]*  
 Randall W. Brown, P.L.S.  
 Professional Land Surveyor  
 LA Registration No. 04586

**Randall W. Brown**  
 & Associates, Inc.  
 Professional Land Surveyors

228 W. Causeway Approach, Mandeville, LA 70448  
 (985) 624-5368 FAX (985) 624-5389  
 info@brownsurveys.com

Date: MAY 27, 2020  
 Survey No. 20310  
 Project No. (CRS) 820310.TX1

Scale: 1" = 40' ±  
 Drawn By: J.E.D.  
 Revised:



THESE RESULTS WERE REPRODUCED IN A SECOND EXPERIMENT.

# LOT104 FOREST BROOK DRAINAGE PLAN-2 (Markups & Markup Summary).pdf Markup Summary

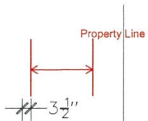
Comments 12/07/2021 Meeting

## Drainage Plan (14)

Show North Direction Arrow on plan.

**Subject:** North Arrow  
**Page Label:** Drainage Plan  
**Page Index:** 1  
**Author:** Chris A. Cloutet  
**Date:** 11/15/2021 1:05:22 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Show North Direction Arrow on plan.



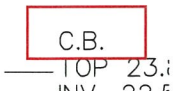
**Subject:** Dimensions  
**Page Label:** Drainage Plan  
**Page Index:** 1  
**Author:** Chris A. Cloutet  
**Date:** 11/15/2021 1:09:14 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Show dimension from edge of concrete to property line on cross section.



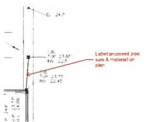
**Subject:** PE Stamp  
**Page Label:** Drainage Plan  
**Page Index:** 1  
**Author:** Chris A. Cloutet  
**Date:** 11/15/2021 1:10:04 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Drainage plan is required to be stamped by professional engineer.



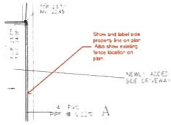
**Subject:** Catch Basin Details  
**Page Label:** Drainage Plan  
**Page Index:** 1  
**Author:** Chris A. Cloutet  
**Date:** 11/16/2021 8:58:08 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Provide typical catch basin detail.



**Subject:** Pipe Information  
**Page Label:** Drainage Plan  
**Page Index:** 1  
**Author:** Chris A. Cloutet  
**Date:** 11/15/2021 1:11:18 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Label proposed pipe size & material on plan.



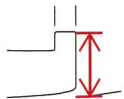
**Subject:** Property Line  
**Page Label:** Drainage Plan  
**Page Index:** 1  
**Author:** Chris A. Cloutet  
**Date:** 11/16/2021 9:09:35 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Show and label side property line on plan. Also show existing fence location on plan.



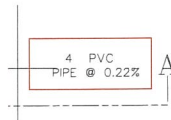
**Subject:** Utilities Comment  
**Page Label:** Drainage Plan  
**Page Index:** 1  
**Author:** Chris A. Cloutet  
**Date:** 11/16/2021 9:17:56 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Show location of existing utilities in this area.



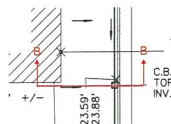
**Subject:** Dimensions  
**Page Label:** Drainage Plan  
**Page Index:** 1  
**Author:** Chris A. Cloutet  
**Date:** 11/16/2021 8:57:18 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Provide dimensions or elevations from existing ground to top of curb.



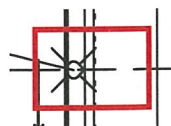
**Subject:** Pipe Sizing  
**Page Label:** Drainage Plan  
**Page Index:** 1  
**Author:** Chris A. Cloutet  
**Date:** 11/16/2021 8:59:16 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Verify 4" PVC provides sufficient capacity for drainage area.



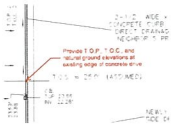
**Subject:** Cross Section B-B  
**Page Label:** Drainage Plan  
**Page Index:** 1  
**Author:** Chris A. Cloutet  
**Date:** 11/16/2021 9:02:32 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Provide cross section B-B with dimensions.



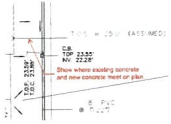
**Subject:** Elevations  
**Page Label:** Drainage Plan  
**Page Index:** 1  
**Author:** Chris A. Cloutet  
**Date:** 11/16/2021 9:35:06 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Provide natural ground elevation at this location.



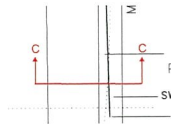
**Subject:** Elevations  
**Page Label:** Drainage Plan  
**Page Index:** 1  
**Author:** Chris A. Cloutet  
**Date:** 11/16/2021 9:34:59 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Provide T.O.P., T.O.C., and natural ground elevations at existing edge of concrete drive.



**Subject:** Transition  
**Page Label:** Drainage Plan  
**Page Index:** 1  
**Author:** Chris A. Cloutet  
**Date:** 11/16/2021 9:35:15 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Show where existing concrete and new concrete meet on plan.



**Subject:** Cross Section C-C  
**Page Label:** Drainage Plan  
**Page Index:** 1  
**Author:** Chris A. Cloutet  
**Date:** 11/16/2021 9:14:01 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Provide cross section C-C with dimensions.





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**ST. TAMMANY PARISH BOARD OF ADJUSTMENT  
STAFF ANALYSIS REPORT**

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Case File Number:	BOA Case No. 2021-2665-BOA
Initial Hearing Date:	01/04/2022
Date of Report:	12/27/2021

---

**GENERAL INFORMATION**

Applicant & Representative:	Paul & Julie Richardson
Location of Property:	629 Bocage Court South, Covington, Louisiana
Zoning of Property:	PUD Planned Unit Development Overlay
Variance(s) Requested:	Reduce the required rear yard setback for swimming pool

---

**OVERVIEW**

Request by applicant to reduce the required rear yard setback for a swimming pool from 5 feet to 3 feet

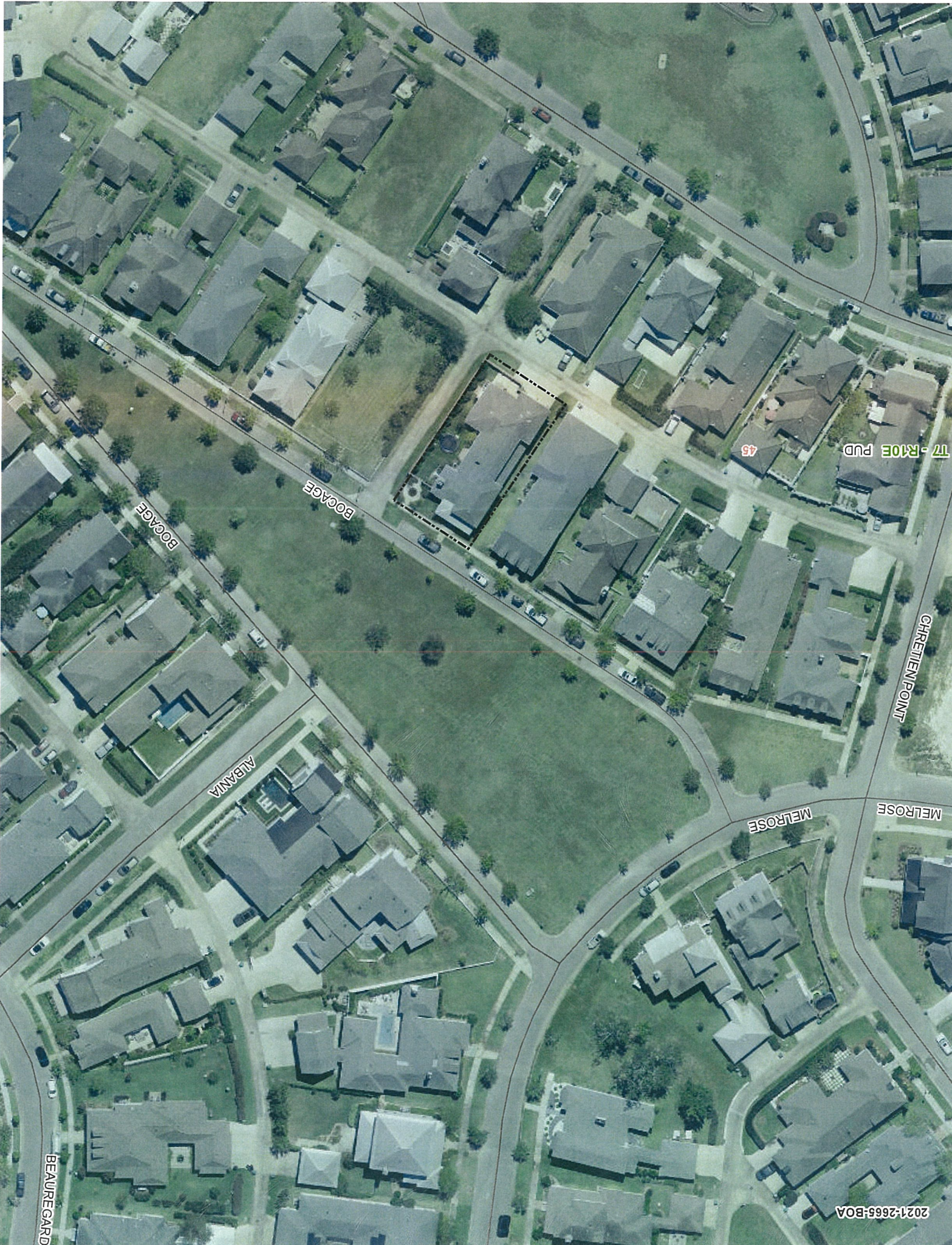
---

**STAFF COMMENTS**

As per the Unified Development Code Section 130-2213. - Minimum standards. (35) *Swimming pools*. e. In-ground swimming pools (less than 12 inches above grade) can only be located on the property in either a side or rear yard area. The inside edge, lip or structure of each swimming pool shall be set back at least five feet from the side property line and five feet from the rear property line.

The objective of the request is to allow for the construction of an approximately 350 square foot (14.6' X 24') swimming pool in the rear of an existing single family residence. While the proposed location of the pool may not cause any adverse effect on the drainage in the area, nor affect any neighbor since the pool will be surrounded by an existing brick wall located along an alleyway, the requested variance is a personal preference rather than a property hardship.





T7 - R10E PUD

45

BOGAGE

ALBANY

MELROSE

MELROSE

CHRETIEN POINT

BEAUREGARD

2021-2665-BOA



# St. Tammany Parish

## Board of Adjustment Variance Request

September 30, 2021

Mr. Paul and Julie Richardson  
629 Bocage Court S.  
Covington, LA. 70433

Property Request Location: Same

To Whom it may concern,

We are applying for a variance to the side (southeast) building setback at my property. We wish to install an inground swimming pool. Due to the small nature of the space, to have a more functional pool, we're proposing to encroach the setback by two feet. There is an existing six-foot privacy wall along the property line. Beyond the privacy wall is five-foot greenspace and a private alleyway. The drainage within the site is currently collected and discharged at the private alleyway. The drainage layout within the property lines will change but the discharge will remain the same. The drainage along the private alleyway will also remain the same as we will not disturb that area. Our closest neighbor is on the opposite side of the project and will not be affected in any way.

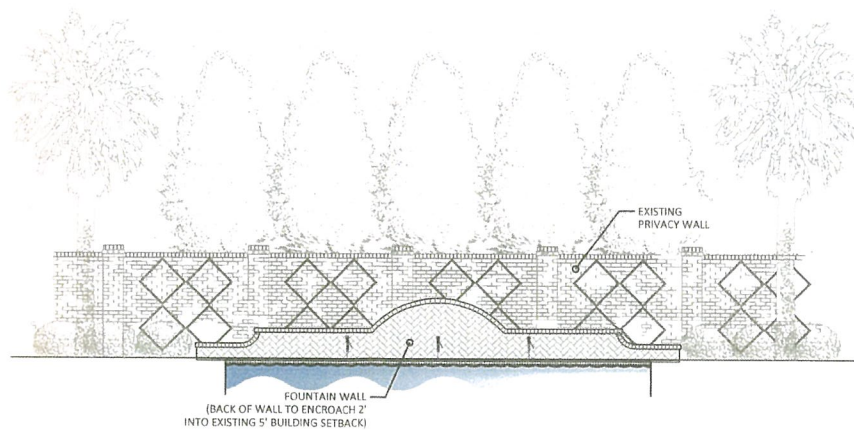
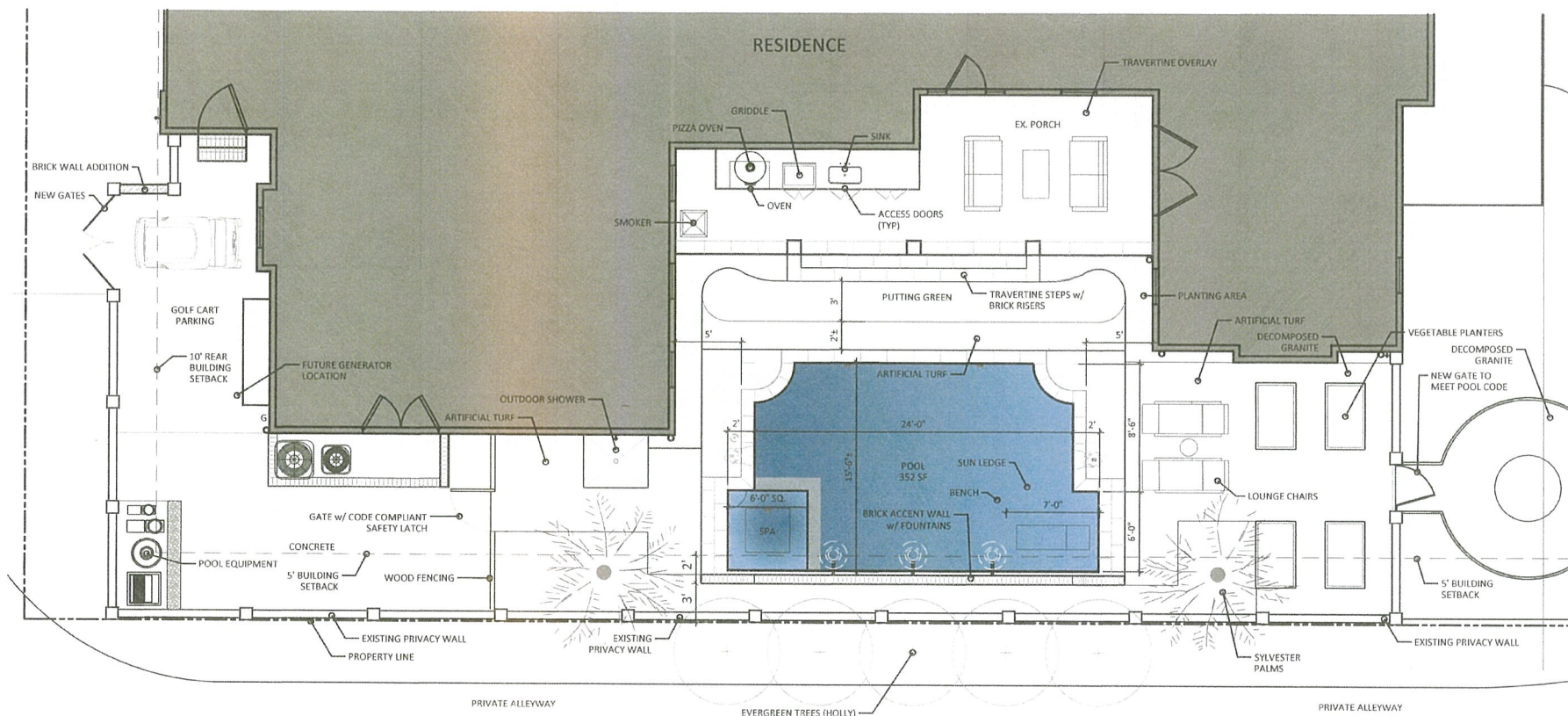
Please note that our pool equipment will be within the setback as well. This will leave enough space closer to the house to allow us to install a home generator in the future.

The subdivision has already approved this request (see approved letter).

Sincerely,



Paul Richardson



**RICHARDSON RESIDENCE**  
**VARIANCE REQUEST 09.22.21**  
 SCALE: 1/8"=1'-0"







EXISTING EXTERIOR OUTSIDE WALL ALONG  
ALLEYWAY



EXISTING INTERIOR LOOKING @ EXISTING  
PRIVACY WALL



# St. Tammany Parish

## Board of Adjustment Variance Request

Paul and Julie Richardson  
629 Bocage Court S.  
Covington, LA. 70433

Property Location: Same

621 Bocage Ct. S.  
I Deborah Bowie at property location 9-23-2021, adjacent to  
the Richardson Residence at 629 Bocage Court S., Terra Bella, have no objection to this variance request.

Deborah Bowie

Homeowner

9-23-2021

Date



## GNO Property Management, LLC

826 Union Street, Suite 200 New Orleans, LA 70112  
(504) 528-7028 • Fax (504) 566-4795

September 30, 2021

Paul Richardson & Julie Richardson  
629 Bocage Court  
Covington, LA 70433

### Application for Modification Approval Letter

Dear Paul Richardson & Julie Richardson:

Thank you for completing the Terra Bella Residential Owner's Association Application for Modification and providing the supporting documentation. This letter is to inform you that your Landscape and Pool Application - (Dated: 09/23/21) has been approved as submitted. We appreciate your understanding and patience during this process.

If you have any questions or concerns regarding our determination, please feel free to contact our office.

Sincerely,

Ronnie Lewis

Ronnie Lewis, Property Manager  
ronnie@gnoproperty.com

**ST. TAMMANY PARISH BOARD OF ADJUSTMENT  
STAFF ANALYSIS REPORT**

---

Case File Number:	BOA Case No. 2021-2668-BOA
Initial Hearing Date:	01/04/2022
Date of Report:	12/27/2021

---

**GENERAL INFORMATION**

Applicant & Representative:	Mainegra, LLC
Location of Property:	57616 Mainegra Drive, Slidell, Covington, Louisiana
Zoning of Property:	A-2 Suburban Zoning District
Variance(s) Requested:	Increase the maximum allowable length of an accessory structure.

---

**OVERVIEW**

Request by applicant to increase the maximum allowable length of an accessory structure from 50 feet to 60 feet.

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**STAFF COMMENTS**

As per the Unified Development Code Section 130-2127 (g) The combined length of an accessory structure shall not exceed 50 feet in all residential districts.

The objective of the request is to allow for the construction of a 2400 square foot accessory building (40' X 60'). Although, no hardship has been demonstrated, staff is not opposed to this request considering that the proposed accessory building will be located on a parcel of land of approximately 8 acres, and it will not exceed the maximum allowable size of 7.5 percent of the area of the lot on which the main building is situated, as per Section 130-2127. (c) of the Unified Development Code.



2021-2668-BOA

38

PF-1

CEMETERY

TERRANCE

DOUGETTE

A-3

8

T9-R14E

A-2

MAINEGRA

MIDDLEBROOK

9



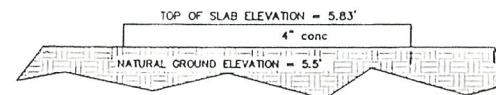
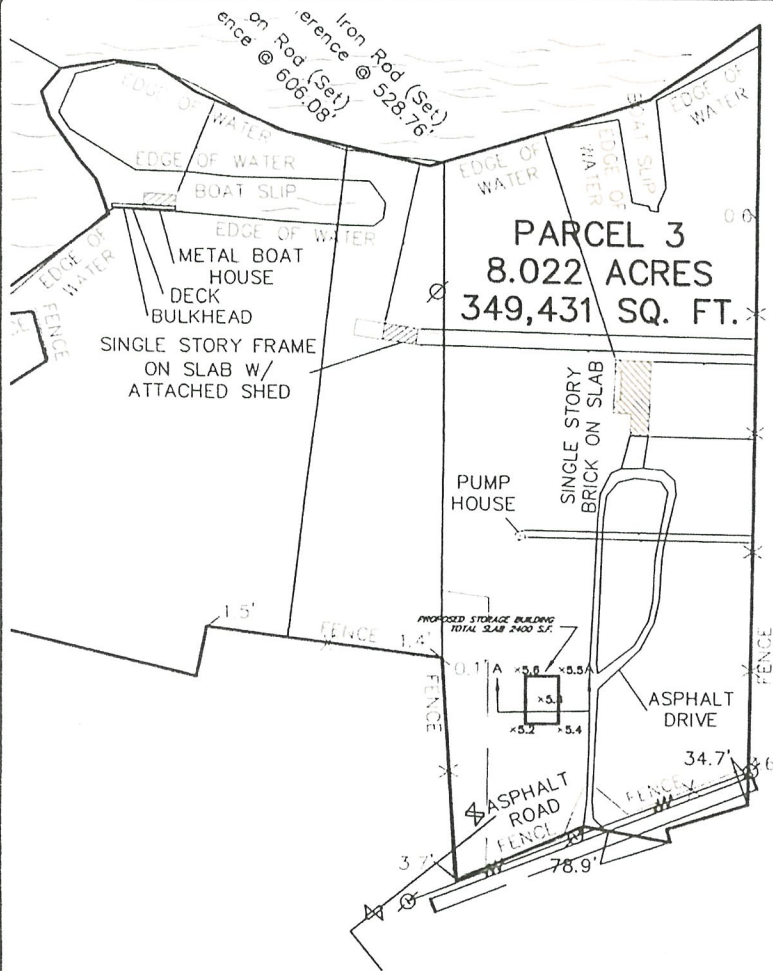


Ms. Helen  
Dept. of Planning & Development.

We are asking that you please allow us to proceed with permitting for a 60 ft. by 40 ft. workshop. When we originally designed and purchased the components of the metal building, we had no idea about the "max 50 ft." allowance. In hind sight, we should have researched the regulations. We live on a large piece of land with no immediate neighbors, and ask that you allow us to proceed. It would be a huge financial burden to have to re-design and re-purchase the materials.

Thank you!

-Hunt Sproull & Jared Norris



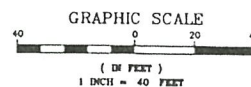
SECTION A-A  
NOT TO SCALE  
PROPOSED STORAGE BUILDING

LEGEND

- 95 PROPOSED GRADE CONTOUR
- EXISTING ELEVATION
- FLOW ARROW
- PROPOSED GRADED HIGH POINT OR LOW POINT

NO ADDITIONAL FILL NEEDED  
THEREFORE NO MITIGATION REQUIRED

THERE ARE NO ADVERSE IMPACTS TO  
ADJACENT NEIGHBORS



NOTE: THE PURPOSE OF THIS PLAN IS FOR THE MITIGATION OF FILL ONLY.

SCALE:  
1" = 40'

DATE:  
11/5/2021

DRAWN BY: WSR  
CHECKED BY: SMB

DWG. NO:  
20210262

SHEET  
1 OF 1

I have consulted the Flood Insurance Rate Maps and found this property is not in a Special Flood Hazard Area.

F.I.R.M.: 225205 0420 E  
DATE: 04/21/1999  
ZONE: A7  
B.F.E. = 9'

\* Verify prior to construction with local governing body

A FILL PLAN FOR  
8.022 ACRES PARCEL 3  
IN SECTIONS 8, T-9-E, R-14-E,  
GREENSBURG LAND DISTRICT,  
ST. TAMMANY PARISH, LOUISIANA

HUNT & SUSAN SPROULL

J.V. Burkes & Associates, Inc.

SURVEYING ENGINEERING • ENVIRONMENTAL



1805 Shortcut Highway  
Slidell, Louisiana 70458  
E-mail: jvbassoc@jvburkes.com

Phone: 985-649-0075 Fax: 985-649-0154





