

**AGENDA MEETING
ST. TAMMANY PARISH BOARD OF ADJUSTMENT MEETING
FEBRUARY 1, 2022 – 2PM
ST. TAMMANY PARISH GOVERNMENT COMPLEX BUILDING A
21490 KOOP DRIVE, PARISH COUNCIL CHAMBERS
MANDEVILLE, LOUISIANA**

CALL TO ORDER

ROLL CALL

ANNOUNCEMENTS

- Please silence all phones and electronic devices
- Appeals
- Speaker Cards
- Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal
- Please exit the building

APPROVAL OF THE JANUARY 4, 2022 MINUTES

PUBLIC HEARINGS

1- BOA CASE NO. 2021-2625-BOA

Request by applicant in an A-4 Single Family Residential Zoning District for an after the fact waiver to allow for the driveway concrete paving to remain within 5 feet of the property line

The property is located: 3006 Mountain Court, Mandeville, Louisiana

Applicant: Britt & Kathy Hinshaw

Representative: Boles Construction, LLC – Ricky Boles

2- BOA CASE NO. 2021-2658-BOA

Request by applicant in an A-4 Single Family Residential Zoning District to:

- increase the maximum allowable length of an accessory structure from 50 feet to 60 feet.
- exceed the maximum allowable size of 7.5 percent of the area of the lot on which the main building is situated by 5 percent and/or occupy a total of 12.5 percent of the area of the lot.
- reduce the required side yard setback from 10 feet to 5 feet.

The property is located: 40600 Hayes Road, Slidell, Louisiana

Applicant & Representative: Charles Vogel

3- BOA CASE NO. 2021-2672-BOA

Request by applicant in a PUD Planned Unit Development Overlay for a reduction of the required rear yard setback from 60 feet to 53 feet to allow for the construction of a single-family residence.

The property is located: 1632 Ox Bow Lane, Covington, Louisiana

Applicant & Representative: Jordan Williams

4- BOA CASE NO. 2021-2693-BOA

Request by applicant in an A-2 Suburban Zoning District to increase the maximum allowable length of an accessory structure from 50 feet to 60 feet.

The property is located: 535 Dove Park Road, Covington, Louisiana

Applicant & Representative: Michael J. Evans

5- BOA CASE NO. 2022-2696-BOA

Request by applicant in a HC-3 Highway Commercial Zoning District for a waiver of the required 10-foot side buffer planting areas on each side of the property line and a waiver of the required number of Class A & Class B trees.

The property is located: 68200 & 68228 LA Highway 59, Mandeville, Louisiana

Applicant & Representative: N59 Ventures, LLC & RPM Pizza, LLC

6- BOA CASE NO. 2022-2697-BOA

Request by applicant in an A-3 Suburban District for a waiver of the required 50 foot no cut buffer on the west side of the property to allow for the placement of a driveway and for a reduction of the required 50 foot no cut buffer to 25 feet for approximately 180 feet and to 15 feet for 130 feet on the east side of the property, to allow for the construction of a single-family residence.

The property is located: Robert Road, Slidell, Louisiana

Applicant & Representative: Keith & Jane Campo

OLD BUSINESS

NEW BUSINESS

ADJOURNMENT

MINUTES
ST. TAMMANY PARISH BOARD OF ADJUSTMENT MEETING JANUARY 4, 2021
ST. TAMMANY PARISH GOVERNMENT COMPLEX BUILDING A
21490 KOOP DRIVE, PARISH COUNCIL CHAMBERS
MANDEVILLE, LOUISIANA

The January 4, 2022 meeting of the St. Tammany Parish Board of Adjustment was called to order by the Chairman, Mr. Ballantine.

The roll was called as follows:

PRESENT: Mrs. Thomas, Mr. Ballantine, Mr. Daly, Mr. Spies (voting member).

ABSENT: Mr. Brookter, Mr. Blache

STAFF PRESENT: Mr. Liner, Mrs. Lambert, Mrs. Couvillon

APPROVAL OF THE MINUTES

Moved by Mr. Spies and seconded by Mr. Daly to accept the December 7, 2021 minutes.

MOTION CARRIES UNANIMOUSLY

1- BOA CASE NO. 2021-2625-BOA

Request by applicant in an A-4 Single Family Residential Zoning District for an after the fact waiver to allow for the driveway concrete paving to remain within 5 feet of the property line

The property is located: 3006 Mountain Court, Mandeville, Louisiana

Applicant: Britt & Kathy Hinshaw

Representative: Boles Construction, LLC – Ricky Boles

(Mrs. Lambert read the staff report into the record...)

Kathy Hinshaw: Request by property owner to postpone until the February 1, 2022 BOA meeting.

Chris Staint: speaks in opposition of the requested variance. Indicated that the contractor should be in attendance to present the requested variance. Explains that the requested variance will create some permanent drainage and engineering problems in the neighborhood. There is a reason for regulation being in place. Concrete was put in place incorrectly.

Mr. Ballantine: Engineering staff has additional question and needed clarification regarding the plans submitted.

Kathy Hinshaw: Explains that appropriate piping has been put in place to capture the water.

Motion by Mrs. Thomas and seconded by Mr. Daly to postpone until the February 1st, 2022 meeting.

MOTION CARRIES UNANIMOUSLY

2- BOA CASE NO.2021-2665-BOA

Request by applicant in a PUD Planned Unit Development Overlay to reduce the required rear yard setback for a swimming pool from 5 feet to 3 feet.

The property is located: 629 Bocage Court South, Covington, Louisiana

Applicant & Representative: Paul & Julie Richardson

(Mrs. Lambert read the staff report into the record...)

Drew Biehler: Contractor from Smoketree and representing the owners. Explains that because of the small size of the property, trying to use as much usable space as possible for the pool.

Mrs. Thomas: Where is the property located?

Mrs. Richardson: TerraBella Subdivision.

Mr. Daly: Is the brick wall inside the property line?

Drew Biehler: Yes, the wall is located inside the property line. It takes up some of the property.

Mr. Ballantine: When you approach the HOA for Terra Bella, how was their response to the request.

Drew Ballantine: Immediate approval was granted.

Motion by Mr. Spies and seconded by Mrs. Thomas to approve the variance as requested.

MOTION CARRIES UNANIMOUSLY

3- BOA CASE NO.2021-2668-BOA

Request by applicant in an A-2 Suburban Zoning District to increase the maximum allowable length of an accessory structure from 50 feet to 60 feet

The property is located: 57616 Mainegra Drive, Slidell, Louisiana

Applicant & Representative: Mainegra, LLC

(Mrs. Lambert read the staff report into the record...)

Hunt Sproull: Manager for Mainegra LLC. The accessory building is proposed to be located in the center of the 8-acre parcel and 150 feet from the nearest property line. The accessory building will be used for a workshop & parking.

Mr. Ballantine: Accessory building appears to be close to Mainegra Drive.

Hunt Sproull: It will be approximately 175 feet from the front property line.

Motion by Mr. Spies and seconded by Mr. Daly to approve the variance as requested.

OLD BUSINESS

NEW BUSINESS

ADJOURNMENT: Mr. Ballantine, CHAIRMAN

MOTION CARRIED UNANIMOUSLY

MR. TOM BALLANTINE, CHAIRMAN
ST. TAMMANY PARISH BOARD OF ADJUSTMENTS

Disclaimer: These minutes are intended to represent an overview of the meeting and general representation of the testimony given; and therefore, does not constitute verbatim testimony or a transcription of the proceedings.

**ST. TAMMANY PARISH BOARD OF ADJUSTMENT
STAFF ANALYSIS REPORT**

Case File Number:	BOA Case No. 2021-2625-BOA
Initial Hearing Date:	12/07/2021
2 ND Hearing Date:	01/04/2022
3 rd Hearing Date:	02/02/2022
Date of Report:	01/25/2022

GENERAL INFORMATION

Applicant:	Britt & Kathy Hinshaw
Representative:	Boles Construction, LLC – Ricky Boles
Location of Property:	3006 Mountain Court, Mandeville, Louisiana
Zoning of Property:	A-4 Single Family Residential Zoning Districts
Variance(s) Requested:	Reduce the required the front & rear yard setbacks.

OVERVIEW

Request by applicant for an after the fact waiver to allow for the driveway concrete paving to remain within 5 feet of the property line.

STAFF COMMENTS

As per Ordinance Section 35-7(d)(5)(h) which states that “No entrance or exit shall be constructed that any part of such entrance or exit shall be less than five feet from the boundaries as defined above.” The boundaries are defined in Ordinance Section 35-7(d)(5)(a) as “The frontage of any parcel of property adjacent to a public road shall be considered to be confined between lines drawn from the intersection of the property lines with the right-of-way lines of the road to the roadway surface or to the curbing, if any, and perpendicular to the axis of the road; or if the axis is a curve, to the center of curvature; or a combination of the two. Those lines shall be known as boundaries.”

The objective of the request is to allow for portion of the driveway and/or concrete paving to remain within 5 feet of the property line (see attached picture) to facilitate access to the rear of the property. The requested variance is a personal preference rather than a property hardship.

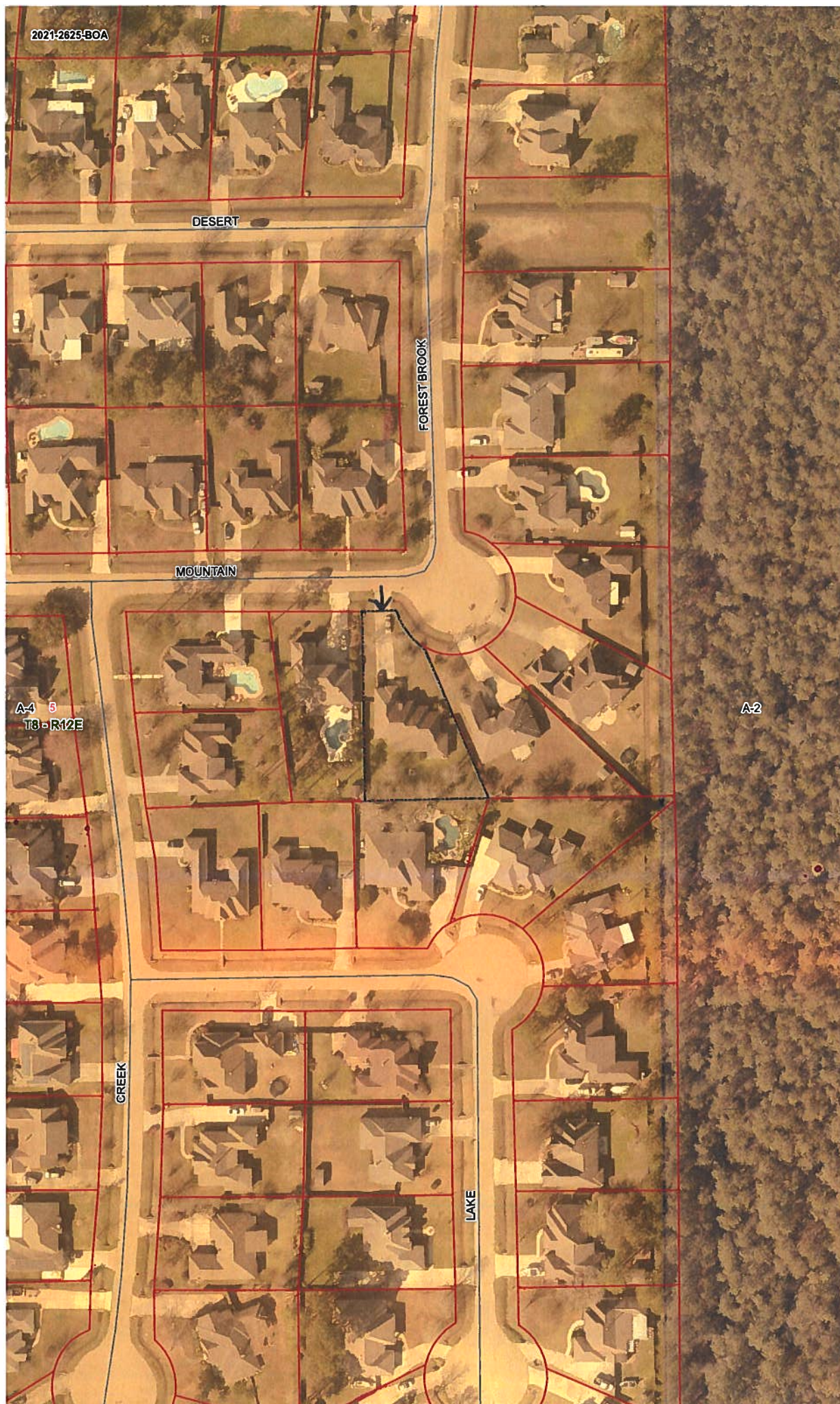
Should the Board be in favor of the request, it should be subject to the following:

- Provide a sealed drainage plan prepared by a Louisiana Civil Engineer, showing that all water is drained from the rear of the lot to the front in accordance with the approved drainage plan for Forest Brook Subdivision, Ph. 4C-1. The drainage plan shall include sufficient information to verify correct pipe sizes, invert elevations, inlet areas, etc. to provide adequate drainage of the property. Note that a revised drainage plan shall be submitted addressing the attached marked up comments; and
- Provide a Louisiana Civil Engineer prepared and sealed As-Built Drainage plan showing all improvements were constructed in accordance with the approved plan(s) to the Dept. of Engineering for review and approval.

Should the Board not be in favor of the request, it should be subject to the following:

- Remove the concrete from the property line to 5’ from the property line and regrade the area to provide positive drainage from the rear of the site to the front in accordance with the approved drainage plan for Forest Brook Subdivision, Ph. 4C-1.

See attached, revised plan and comments from the Department of Engineering (Note that no revised plan has been submitted).



LOT104 FOREST BROOK DRAINAGE PLAN-3 (Markups & Markup Summary).pdf Markup Summary

Comments 01/04/2022 meeting

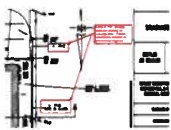
Drainage Plan (10)

NEWLY ADDED
SIDE DRIVEWAY

Accurately show location
of existing fence on plan.

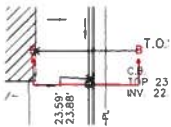
Subject: Drainage
Page Label: Drainage Plan
Page Index: 1
Author: Chris A. Cloutet
Date: 12/10/2021 8:11:05 AM
Status:
Color: ■
Layer:
Space:

Accurately show location of existing fence on plan.



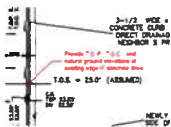
Subject: pipe sizing
Page Label: Drainage Plan
Page Index: 1
Author: Chris A. Cloutet
Date: 12/10/2021 8:13:10 AM
Status:
Color: ■
Layer:
Space:

Verify 4" PVC provides sufficient capacity for drainage area. Provide calculations stamped by professional engineer.



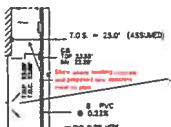
Subject: Cross Section B-B
Page Label: Drainage Plan
Page Index: 1
Author: Chris A. Cloutet
Date: 12/10/2021 8:14:01 AM
Status:
Color: ■
Layer:
Space:

Provide cross section B-B with dimensions.



Subject: Elevations
Page Label: Drainage Plan
Page Index: 1
Author: Chris A. Cloutet
Date: 12/10/2021 8:16:06 AM
Status:
Color: ■
Layer:
Space:

Provide T.O.P., T.O.C., and natural ground elevations at existing edge of concrete drive.



Subject: Transition
Page Label: Drainage Plan
Page Index: 1
Author: Chris A. Cloutet
Date: 12/10/2021 8:29:47 AM
Status:
Color: ■
Layer:
Space:

Show where existing concrete and proposed new concrete meet on plan.



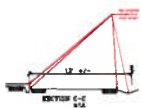
Subject: Utilities Comment
Page Label: Drainage Plan
Page Index: 1
Author: Chris A. Cloutet
Date: 12/10/2021 8:18:07 AM
Status:
Color: ■
Layer:
Space:

Show location of existing utilities in this area.



Subject: Cross-Section
Page Label: Drainage Plan
Page Index: 1
Author: Chris A. Cloutet
Date: 12/10/2021 8:19:58 AM
Status:
Color: ■
Layer:
Space:

Show location of proposed 8" pipe on cross section C-C.



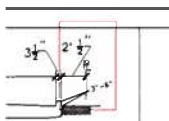
Subject: Cross Section
Page Label: Drainage Plan
Page Index: 1
Author: Chris A. Cloutet
Date: 12/10/2021 8:25:06 AM
Status:
Color: ■
Layer:
Space:

Add proposed elevations to cross section.



Subject: Drainage
Page Label: Drainage Plan
Page Index: 1
Author: Chris A. Cloutet
Date: 12/10/2021 8:23:38 AM
Status:
Color: ■
Layer:
Space:

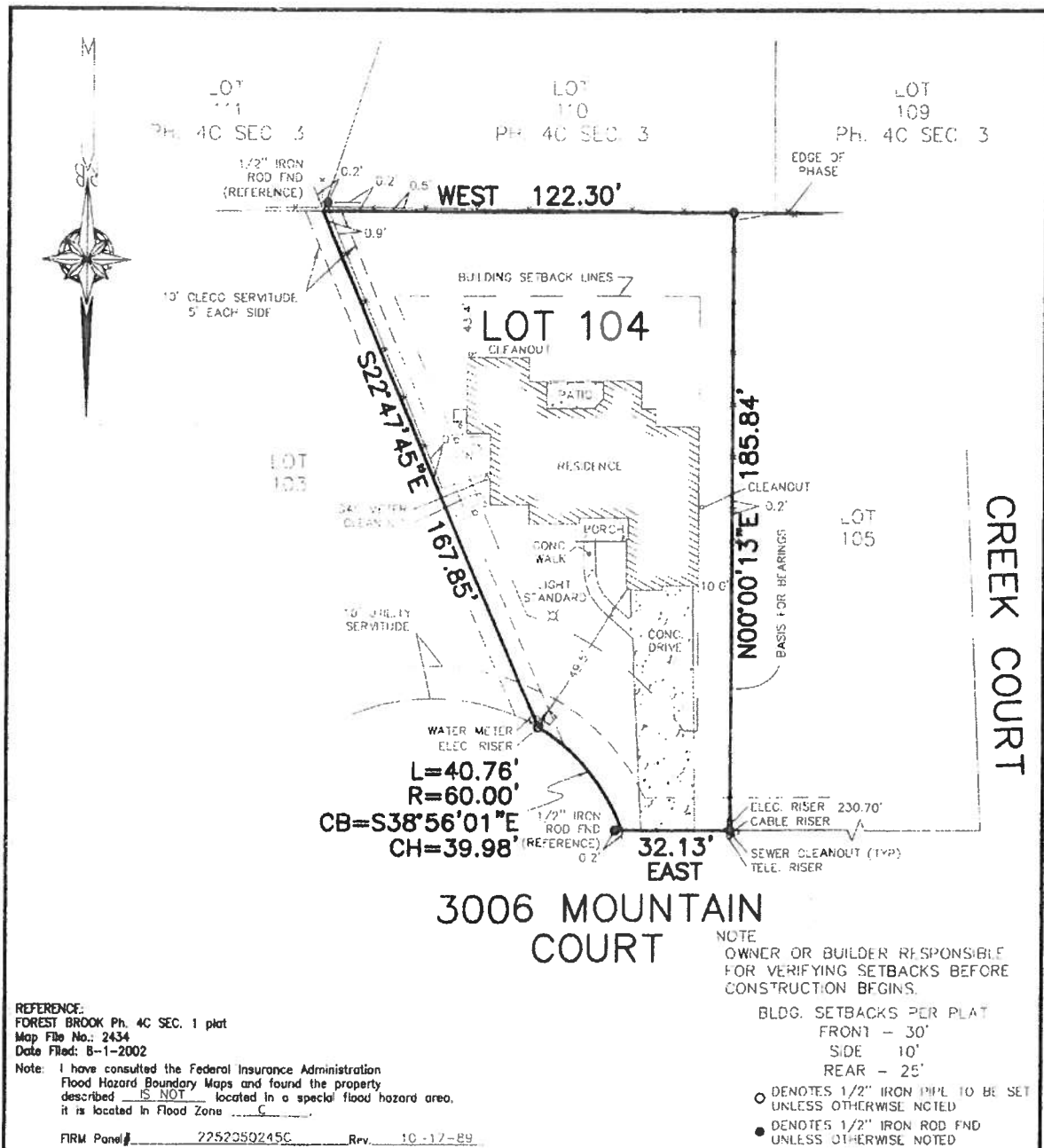
Verify proposed drainage or grading work does not encroach on adjacent property. Written authorization from adjacent property owner is required for any work on adjacent property.



Subject: Cross Section
Page Label: Drainage Plan
Page Index: 1
Author: Chris A. Cloutet
Date: 12/10/2021 8:26:42 AM
Status:
Color: ■
Layer:
Space:

Verify location of property line is correct and show location of existing fence on cross section.





Survey of
LOT 104 * FOREST BROOK * PHASE 4C SECTION 1
ST. TAMMANY PARISH, LOUISIANA
FOR
BRITT HINSHAW

NO ATTEMPT HAS BEEN MADE BY RANDALL W. BROWN & ASSOC., INC. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT.

SURVEYED IN ACCORDANCE WITH THE LOUISIANA "APPLICABLE STANDARDS FOR PROPERTY BOUNDARY SURVEYS" FOR A CLASS C SURVEY.


 Randall W. Brown, P.L.S.
 Professional Land Surveyor
 LA Registration No. 04586

Randall W. Brown
 & Associates, Inc.
 Professional Land Surveyors
 228 W. Causeway Approach, Mandeville, LA 70448
 (985) 624-5368 FAX (985) 624-5389
 info@brownsurveys.com

Date: MAY 27, 2020
 Survey No. 20310
 Project No. (CRS) 820310.1X1

Scale: 1"= 40'±
 Drawn By: J.E.D.
 Revised:

LOT104 FOREST BROOK DRAINAGE PLAN-2 (Markups & Markup Summary).pdf Markup Summary

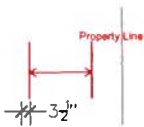
Comments 12/07/2021 Meeting

Drainage Plan (14)

Show North Direction Arrow on plan.

Subject: North Arrow
Page Label: Drainage Plan
Page Index: 1
Author: Chris A. Cloutet
Date: 11/15/2021 1:05:22 PM
Status:
Color: ■
Layer:
Space:

Show North Direction Arrow on plan.



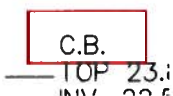
Subject: Dimensions
Page Label: Drainage Plan
Page Index: 1
Author: Chris A. Cloutet
Date: 11/15/2021 1:09:14 PM
Status:
Color: ■
Layer:
Space:

Show dimension from edge of concrete to property line on cross section.



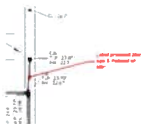
Subject: PE Stamp
Page Label: Drainage Plan
Page Index: 1
Author: Chris A. Cloutet
Date: 11/15/2021 1:10:04 PM
Status:
Color: ■
Layer:
Space:

Drainage plan is required to be stamped by professional engineer.



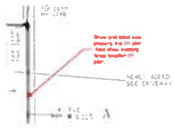
Subject: Catch Basin Details
Page Label: Drainage Plan
Page Index: 1
Author: Chris A. Cloutet
Date: 11/16/2021 8:58:08 AM
Status:
Color: ■
Layer:
Space:

Provide typical catch basin detail.



Subject: Pipe Information
Page Label: Drainage Plan
Page Index: 1
Author: Chris A. Cloutet
Date: 11/15/2021 1:11:18 PM
Status:
Color: ■
Layer:
Space:

Label proposed pipe size & material on plan.



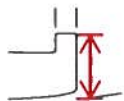
Subject: Property Line
Page Label: Drainage Plan
Page Index: 1
Author: Chris A. Cloutet
Date: 11/16/2021 9:09:35 AM
Status:
Color: ■
Layer:
Space:

Show and label side property line on plan. Also show existing fence location on plan.



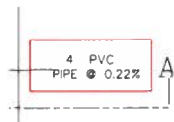
Subject: Utilities Comment
Page Label: Drainage Plan
Page Index: 1
Author: Chris A. Cloutet
Date: 11/16/2021 9:17:56 AM
Status:
Color: ■
Layer:
Space:

Show location of existing utilities in this area.



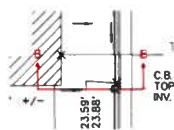
Subject: Dimensions
Page Label: Drainage Plan
Page Index: 1
Author: Chris A. Cloutet
Date: 11/16/2021 8:57:18 AM
Status:
Color: ■
Layer:
Space:

Provide dimensions or elevations from existing ground to top of curb.



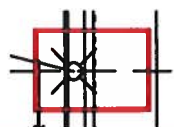
Subject: Pipe Sizing
Page Label: Drainage Plan
Page Index: 1
Author: Chris A. Cloutet
Date: 11/16/2021 8:59:16 AM
Status:
Color: ■
Layer:
Space:

Verify 4" PVC provides sufficient capacity for drainage area.



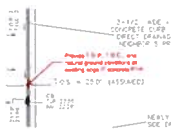
Subject: Cross Section B-B
Page Label: Drainage Plan
Page Index: 1
Author: Chris A. Cloutet
Date: 11/16/2021 9:02:32 AM
Status:
Color: ■
Layer:
Space:

Provide cross section B-B with dimensions.



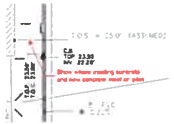
Subject: Elevations
Page Label: Drainage Plan
Page Index: 1
Author: Chris A. Cloutet
Date: 11/16/2021 9:35:06 AM
Status:
Color: ■
Layer:
Space:

Provide natural ground elevation at this location.



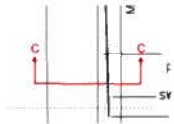
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Page Label: Drainage Plan
Page Index: 1
Author: Chris A. Cloutet
Date: 11/16/2021 9:34:59 AM
Status:
Color: ■
Layer:
Space:

Provide T.O.P., T.O.C., and natural ground elevations at existing edge of concrete drive.



Subject: Transition
Page Label: Drainage Plan
Page Index: 1
Author: Chris A. Cloutet
Date: 11/16/2021 9:35:15 AM
Status:
Color: ■
Layer:
Space:

Show where existing concrete and new concrete meet on plan.



Subject: Cross Section C-C
Page Label: Drainage Plan
Page Index: 1
Author: Chris A. Cloutet
Date: 11/16/2021 9:14:01 AM
Status:
Color: ■
Layer:
Space:

Provide cross section C-C with dimensions.



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**ST. TAMMANY PARISH BOARD OF ADJUSTMENT
STAFF ANALYSIS REPORT**

Case File Number:	BOA Case No. 2021-2658-BOA
Initial Hearing Date:	02/01/2022
Date of Report:	01/25/2022

GENERAL INFORMATION

Applicant & Representative:	Charles Vogel
Location of Property:	40600 Hayes Road, Slidell, Louisiana
Zoning of Property:	A-4 Single Family Residential Zoning District
Variance(s) Requested:	Reduction of required side yard setback, increase of maximum allowable length of an accessory building and exceed the maximum allowable size of 7.5 percent of the area of the lot.

OVERVIEW

Request by applicant to:

- reduce the required side yard setback from 10 feet to 5 feet.
- exceed the maximum allowable size of 7.5 percent of the area of the lot on which the main building is situated by 5 percent and/or occupy a total of 12.5 percent of the area of the lot
- increase the maximum allowable length of an accessory structure from 50 feet to 60 feet.

STAFF COMMENTS

As per the Unified Development Code Section 130-2127:

- Any accessory building may be built in a required rear yard. However, an accessory building must be located at least 40 feet from the front lot line, ten feet from an interior rear lot line, ten feet from the nearest interior side lot line and 15 feet from the nearest side street lot line.
- (c) The size of any accessory buildings shall not exceed 7.5 percent of the area of the lot on which the main building is situated.
- (g) The combined length of an accessory structure shall not exceed 50 feet in all residential districts.

The objective of the request is to allow:

- 1- for the placement of the accessory building 5 feet from the side property line.
- 2- for the construction of a 2400 square foot accessory building (40' X 60').
- 3- for the accessory structure to exceed the maximum allowable size of 7.5 percent of the area of the lot on which the main building is situated by 5 percent and/or occupy a total of 12.5 percent of the 19,215 square foot parcel of land.

There is no compelling reason to be in favor of the requested variance considering that no hardship has been demonstrated.



DEVEREUX

A-2

HAYES

CHINGHAS CREEK

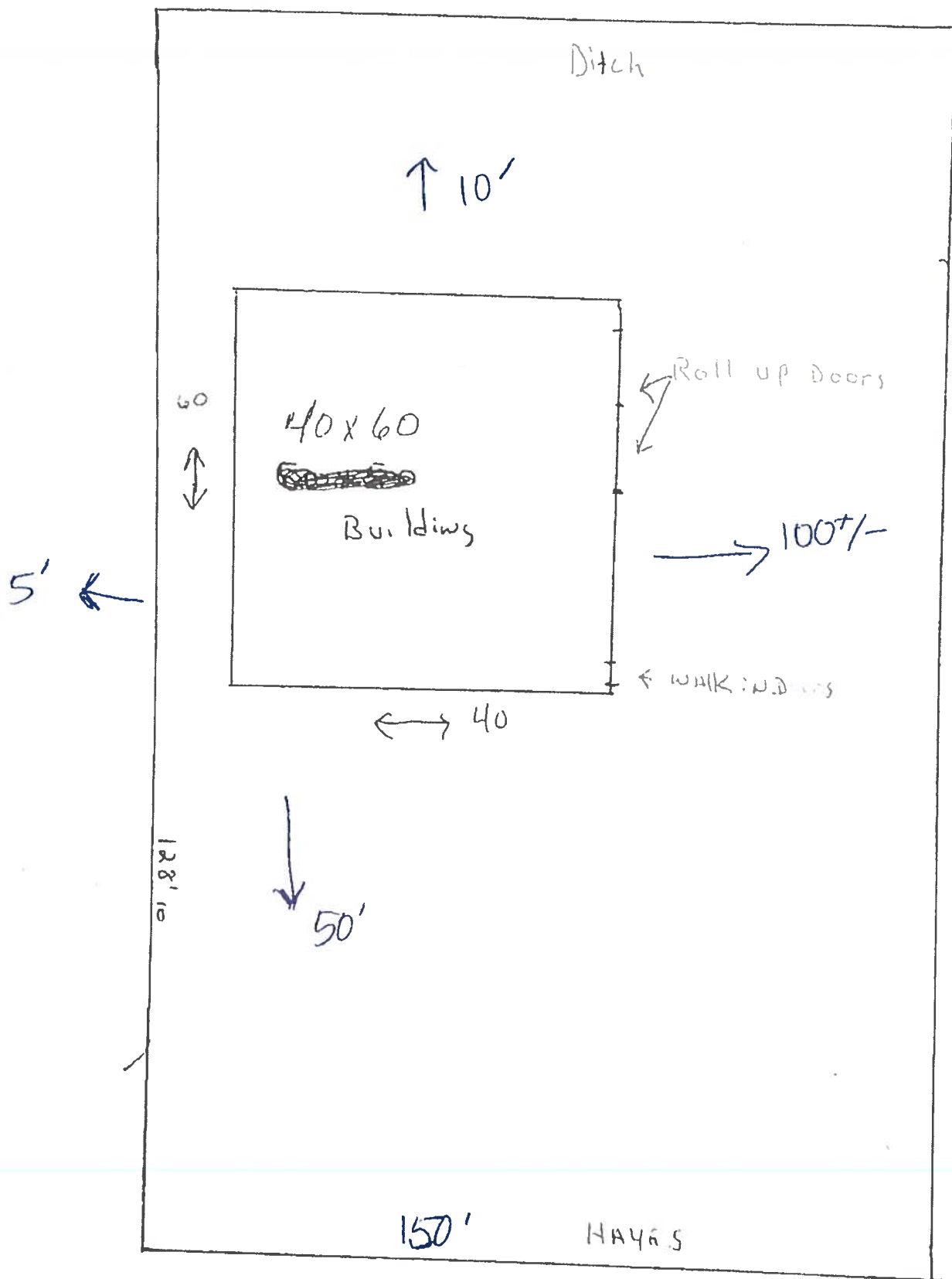
T9-RIDGE

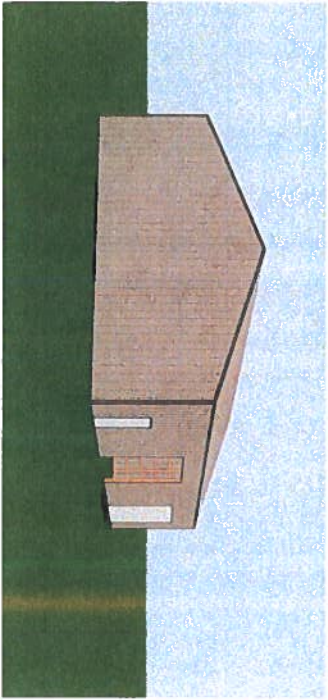
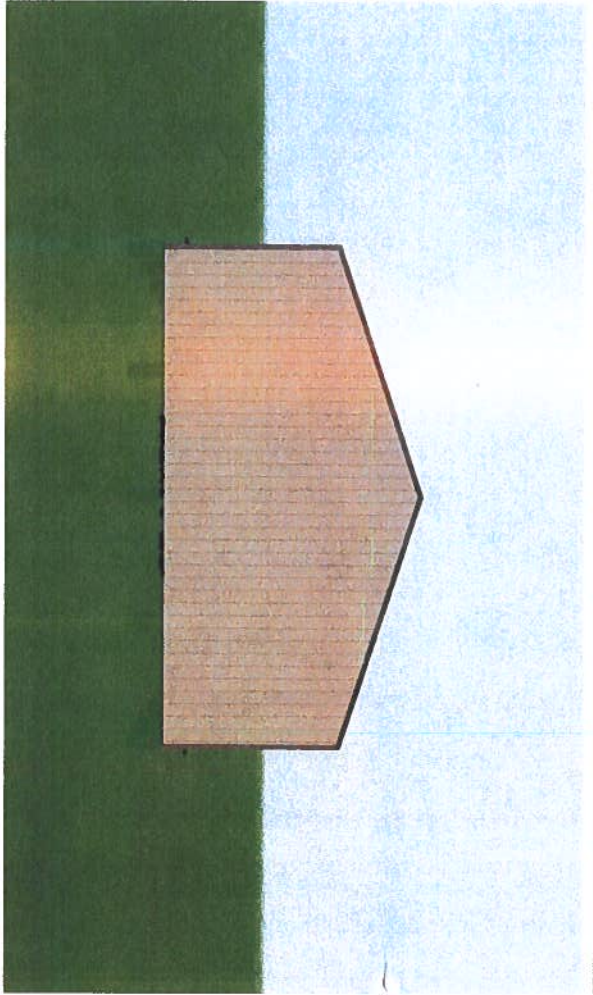
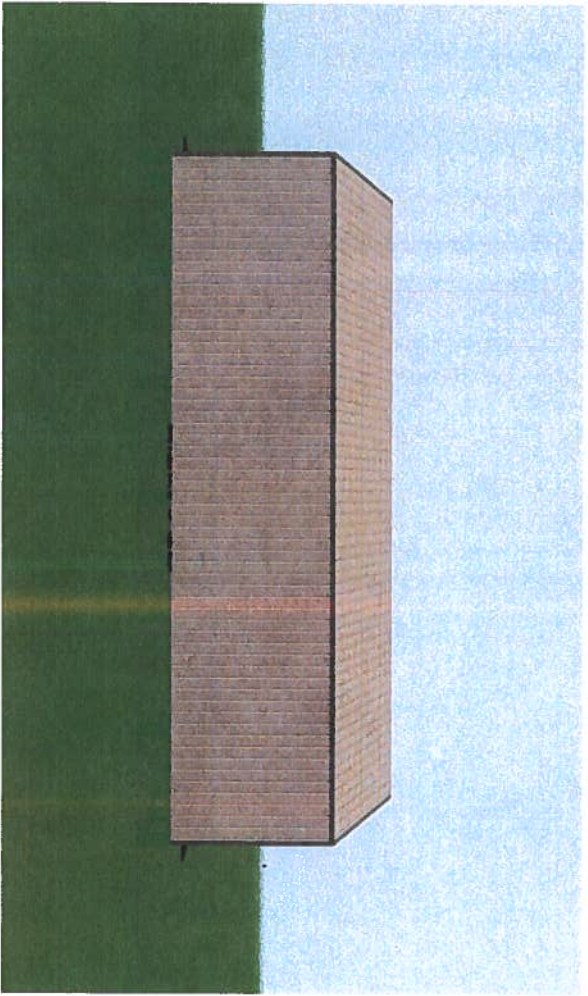
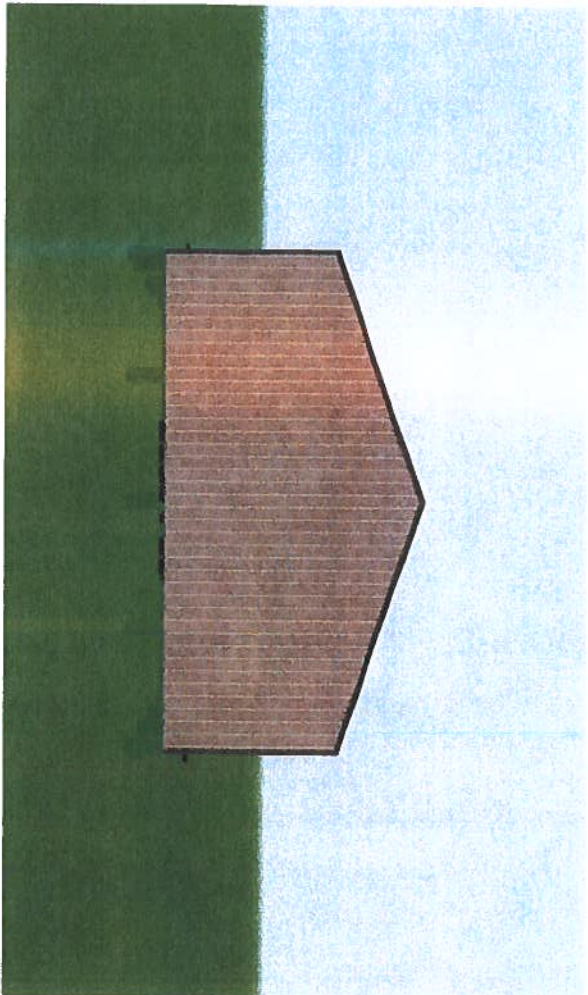
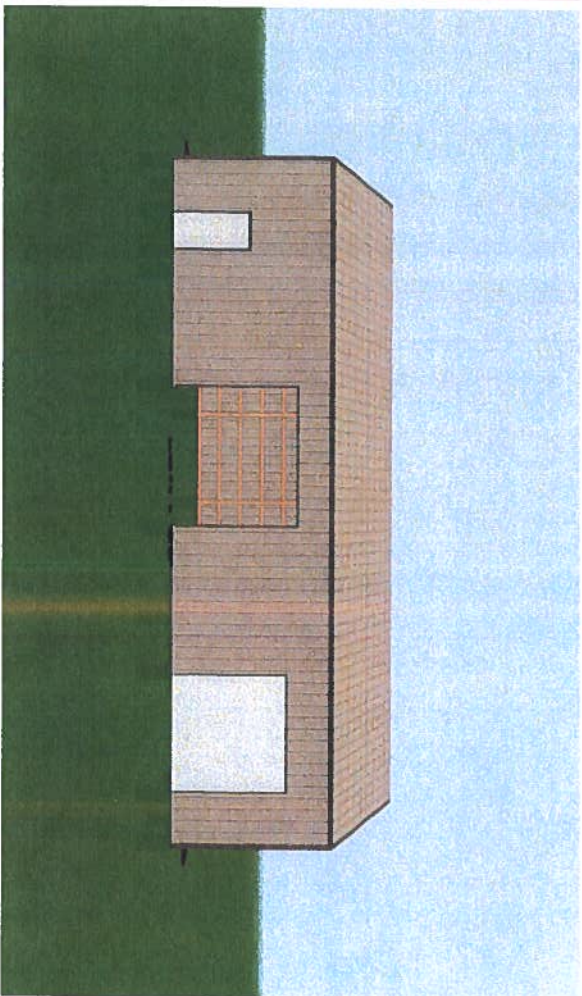
GUN

37

A-4

2021-2658-BOA
RANCH





PLEASE NOTE:
THIS IS A GRAPHICAL DEPICTION OF THE BUILDING DESIGN FOR THE PURPOSE OF A VISUAL AID FOR THE COORDINATION OF COLOR CHOICES AND THE
PLACEMENT OF DOORS AND WINDOWS

FOR DESIGN
APPROVAL ONLY

DESIGNED BY:

3D RENDER

JOB: 21-249 VOGEL

DATE: 11/05/21

PAGE: 5 OF 9

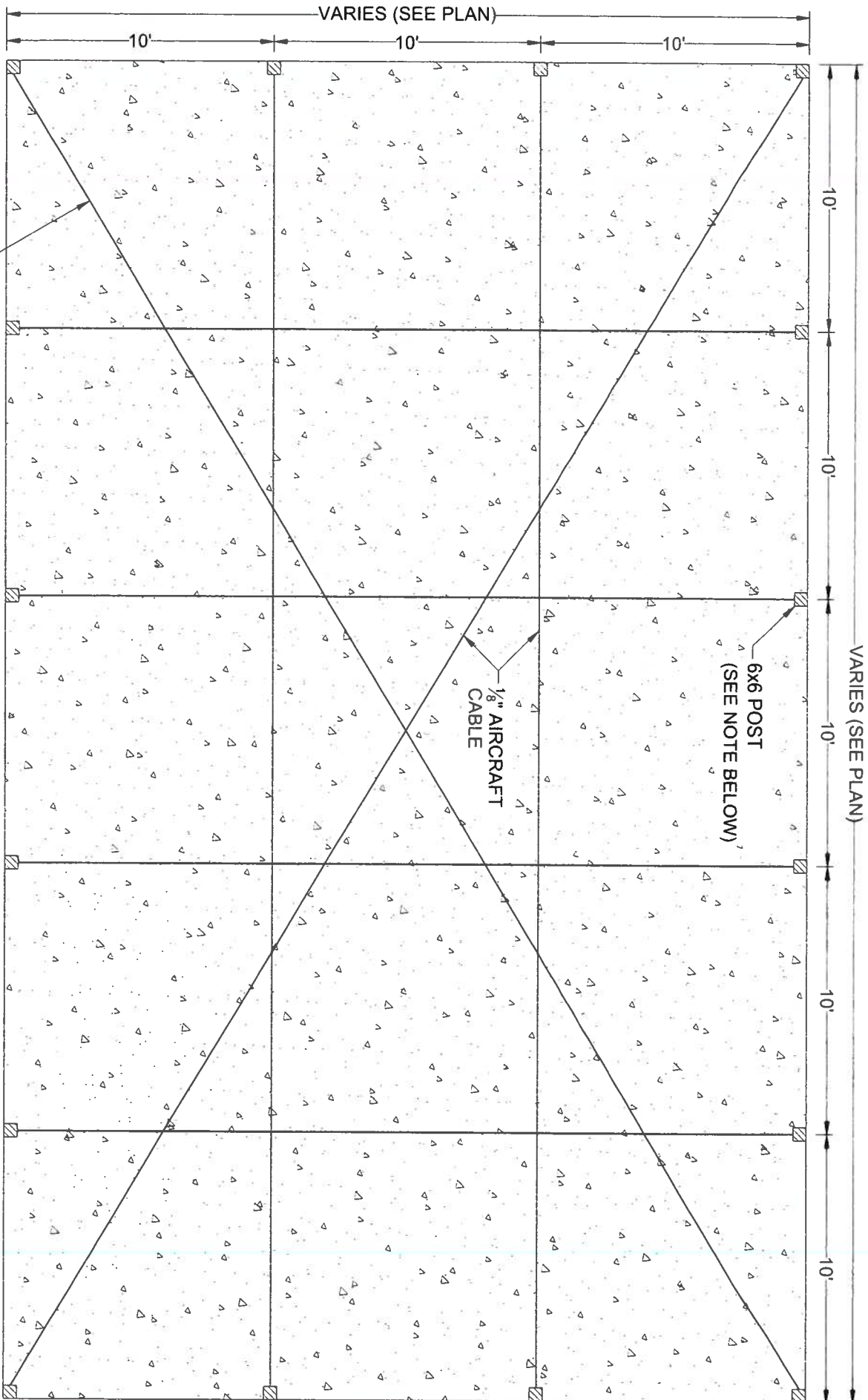
SCALE: NTS

P. M. I.

DRAFTING & DESIGN

PLEASE INITIAL HERE:

DS
CV



AIRCRAFT CABLE TO BE CONNECTED TO 6x6 TREATED POST WITH 1/4" DIA. x 3 3/4" LAG EYE SCREWS AND 1/8" CABLE CLAMPS AND INSTALLED POST TO POST AS SHOWN. AIRCRAFT CABLE DOES NOT HAVE TO BE TAUT.

PLEASE NOTE:
EXACT POST FRAME SPACING MAY VARY PER BUILDING HARDWARE COMPONENTS.
TYPICALLY 6x6 POST FRAME SPACING IS 10'-0".
SEE PAGE 4 OF 9 "PROPOSED PLAN" FOR EXACT POST LOCATIONS.

FOR DESIGN
APPROVAL ONLY

DESIGNED BY:

P. M. I.

DRAFTING & DESIGN

AIRCRAFT CABLE LAYOUT

JOB: 21-249 VOGEL

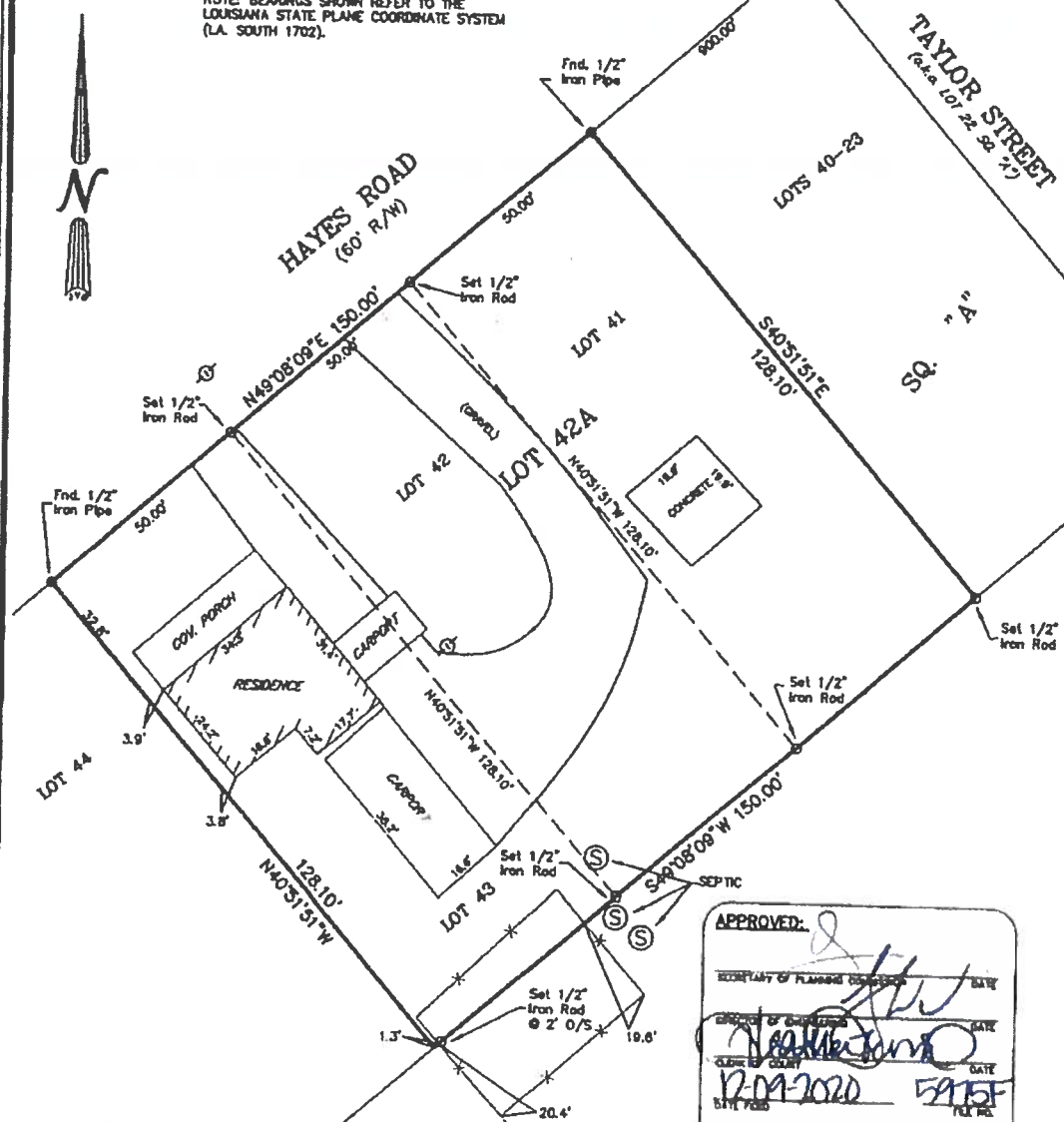
DATE: 11/05/21

PAGE: 8 OF 9

SCALE: NTS

PLEASE INITIAL HERE: 

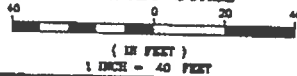
NOTE: BEARINGS SHOWN REFER TO THE LOUISIANA STATE PLANE COORDINATE SYSTEM (LA SOUTH 1702).



NOTE: ST. TAMMANY PARISH WILL REQUIRE ANY NEW CONSTRUCTION TO BE BUILT AT AN ELEVATION OF 13'.

LEGEND
 ○ 1/2" Iron Rod Set
 ● 1/2" Iron Rod Found
 ⊕ Cross

GRAPHIC SCALE



APPROVED: [Signature]
 SECRETARY OF PLANNED DEVELOPMENT DATE
 [Signature] DATE
 [Signature] DATE
 [Signature] DATE
 TOTAL AREA: 12,810.00 SQ. FT. OR 0.294 ACRES

Heather Tenorio, Deputy Clerk

Front Setback...
 Side Setback...
 Rear Setback...

ADDRESS: HAYES ROAD

I CERTIFY THAT THIS PLAN DOES REPRESENT AN ACTUAL GROUND SURVEY AND THAT TO THE BEST OF MY KNOWLEDGE NO ENCROACHMENTS EXIST EITHER WAY ACROSS ANY OF THE PROPERTY LINES, EXCEPT AS SHOWN.

PROPERTY IS SURVEYED IN ACCORDANCE WITH THE LOUISIANA STANDARDS OF PRACTICE FOR PROPERTY BOUNDARY SURVEYS FOR A CLASS "C" SURVEY. BEARINGS ARE BASED ON RECORDED BEARINGS UNLESS NOTED OTHERWISE.

ENCUMBRANCES SHOWN HEREON ARE NOT NECESSARILY EXCLUSIVE. ENCUMBRANCES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HEREON UPON REQUEST, AS SURVEYOR HAS NOT PERFORMED ANY TITLE SEARCH OR ABSTRACT.

FIRM No. 223205 0110 D
 FIRM Date 04/21/1999
 24' A10 B15 10'
 Verify prior to construction with Local Governing Body.

DRAWING NO.
 20200315
 DATE:
 06/23/2020

REVISED: 7/31/20 ADDED LOT 43
 REVISED: 9/11/20 PER ST. TAMMANY PARISH

J.V. Burkes & Associates, Inc.
 SURVEYING ENGINEERING • ENVIRONMENTAL

1805 Shortcut Highway
 Slidell, Louisiana 70458
 E-mail: mbasoc@jburkes.com
 Phone: 983-848-0075 Fax: 983-848-0154

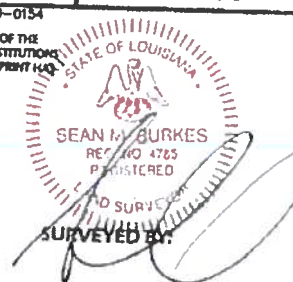
DRAWN BY: VLL
 CHECKED BY: JDL

SCALE:
 1" = 30'

A RESUBDIVISION MAP OF
 LOTS 41-43, INTO LOT 42-A,
 SQ. A, ABNEY COUNTRY AIR IN
 SECTION 37, T-9-S, R-15-E, GLD,
 ST. TAMMANY PARISH, LOUISIANA

CERTIFIED
 TO: CHARLES VOGEL

DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL OF SURVEYOR.



SEAN M. BURKES
 LA REG. No. 4785

**ST. TAMMANY PARISH BOARD OF ADJUSTMENT
STAFF ANALYSIS REPORT**

Case File Number:	BOA Case No. 2021-2672-BOA
Initial Hearing Date:	02/01/2022
Date of Report:	01/25/2022

GENERAL INFORMATION

Applicant & Representative:	Jordan Williams
Location of Property:	1632 Ox Bow Lane, Covington, Louisiana
Zoning of Property:	PUD Planned Unit Development Overlay
Variance(s) Requested:	Reduction of required rear yard setback

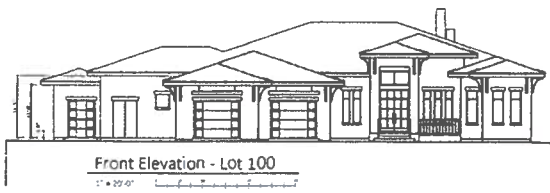
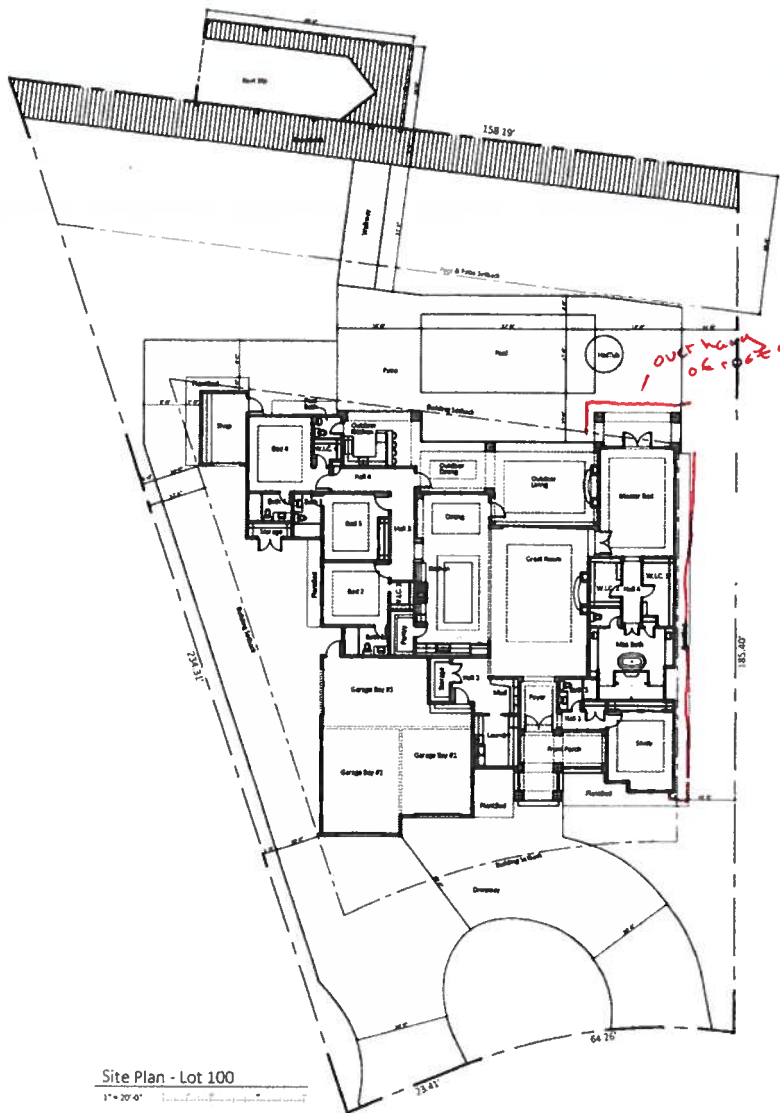
OVERVIEW

Request by applicant for a reduction of the required rear yard setback from 60 feet to 53 feet to allow for the construction of a single-family residence.

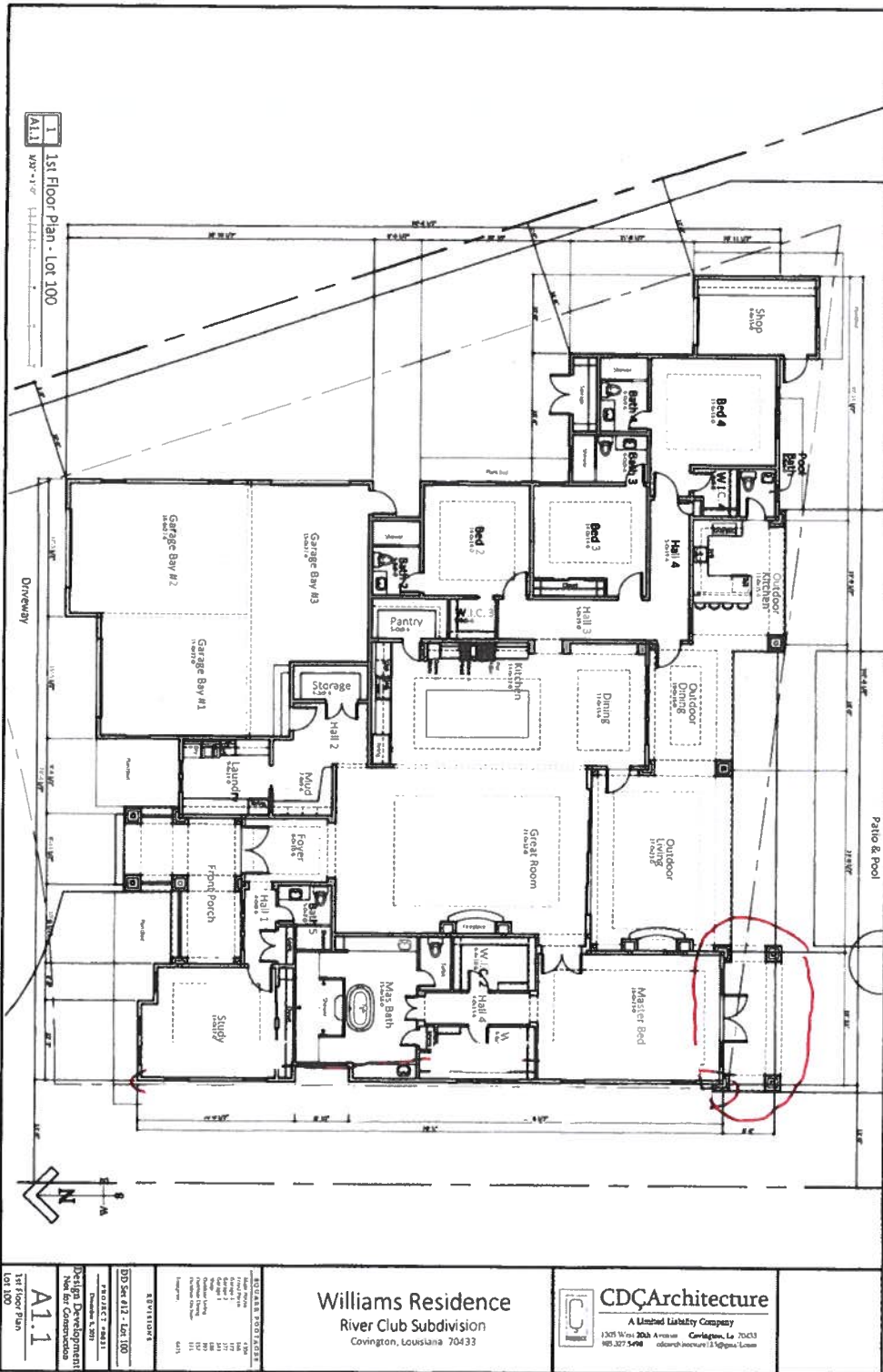
STAFF COMMENTS

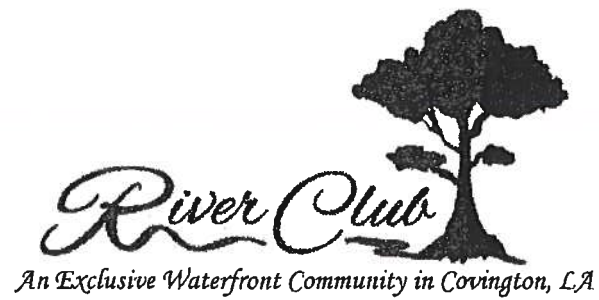
According to the regulation for the River Club PUD Subdivision, a single-family residence shall be located a minimum of 60 feet from the rear property line. As shown on the attached drawing, the request is to allow for the overhang, located over the rear back door, to extend 7 feet into the rear yard. While the rear property line is slightly angled, no hardship has been demonstrated to support the requested variance.





Site Plan & Front Elevation A1.1	DESIGN PROFESSIONAL Project Name Project No. Date Scale Author Checker Approver	Williams Residence River Club Subdivision Covington, Louisiana 70433	CDCArchitecture A Limited Liability Company 1305 West 20th Avenue Covington, La 70433 985.527.5498 cdca@cdca.com
	REVISIONS DD Set #12 - Lot 100 11/11/21 Design Development New for Construction		

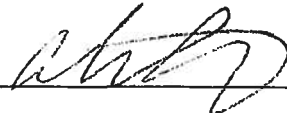




River Club Development, L.L.C.
845 Galvez Street
Mandeville, LA 70448
(985) 626-5689/fax: (985) 626-5926

River Club Development, LLC has no objection to the variance request of Jordan Williams for lot 100 in River Club. The variance is for a rear porch overhang off the right rear corner (behind the Master Bedroom) that extends over the rear building setback line.

River Club Development, LLC Architectural Control Committee

By:  01/10/22

Alex Bennett

**ST. TAMMANY PARISH BOARD OF ADJUSTMENT
STAFF ANALYSIS REPORT**

Case File Number:	BOA Case No. 2021-2693-BOA
Initial Hearing Date:	02/01/2022
Date of Report:	01/25/2022

GENERAL INFORMATION

Applicant & Representative:	Michael J. Evans
Location of Property:	535 Dove Park Road, Covington, Louisiana
Zoning of Property:	A-2 Suburban Zoning District
Variance(s) Requested:	Reduction of required rear yard setback

OVERVIEW

Request by applicant in an A-2 Suburban Zoning District to increase the maximum allowable length of an accessory structure from 50 feet to 60 feet.

STAFF COMMENTS

As per the Unified Development Code Section 130-2127 (g) The combined length of an accessory structure shall not exceed 50 feet in all residential districts.

The objective of the request is to allow for the construction of a 2400 square foot accessory building (40' X 60'). Although, no hardship has been demonstrated, staff is not opposed to this request considering that the proposed accessory building will be located on a parcel of land of approximately 1.5 acre and will not exceed 7.5 percent of the area of the lot on which the main building is situated.

2021-2693-BOA

HEATHERSTONE

LITTLE CREEK

23

T7-R1E

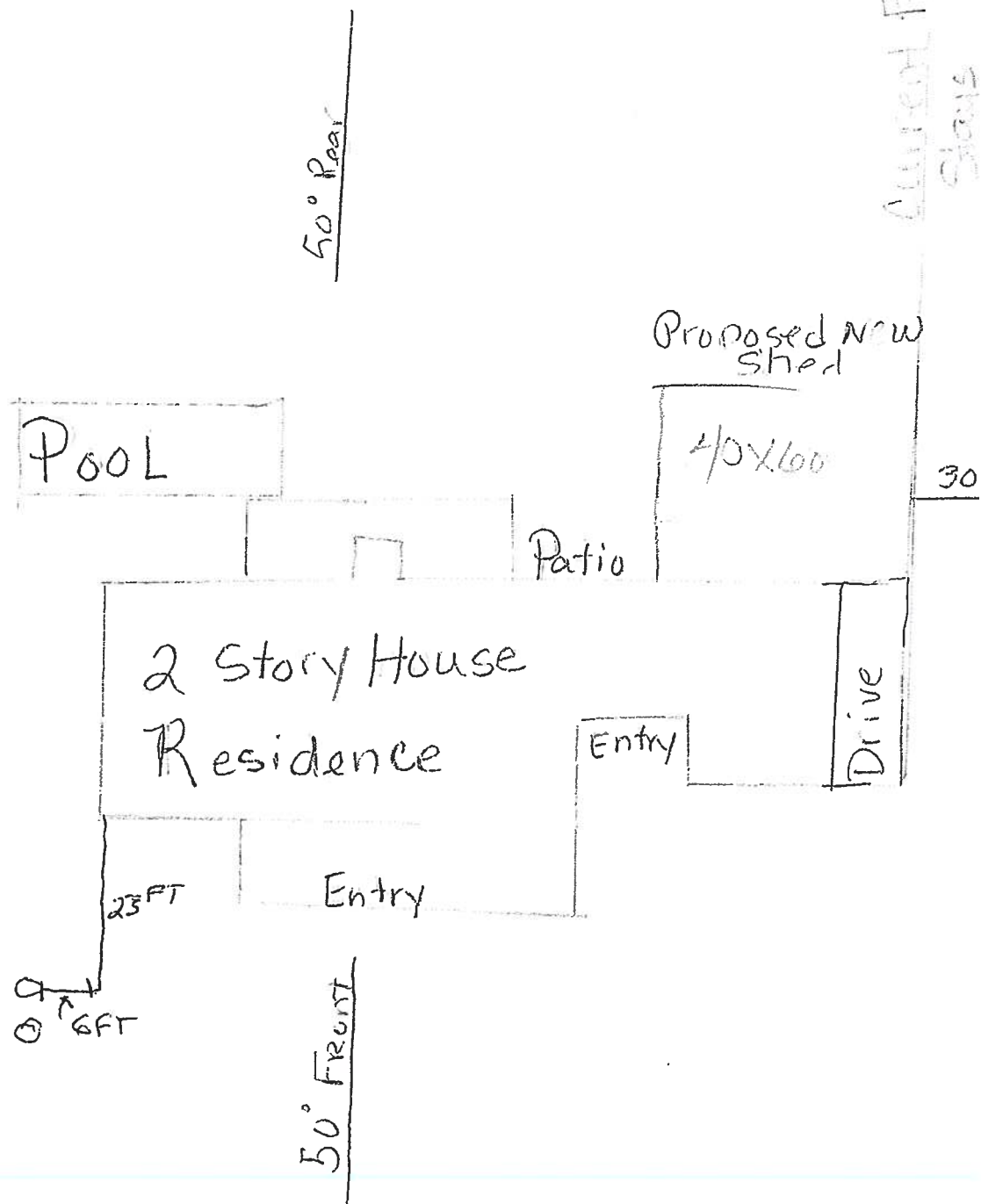
DOVE PARK



Michael J. Evans
535 Dove Park Rd.
Covington La. 70433

Proposed New 40x60 Shop
Will stay inside of our
current Fence Line
Set backs will not change.

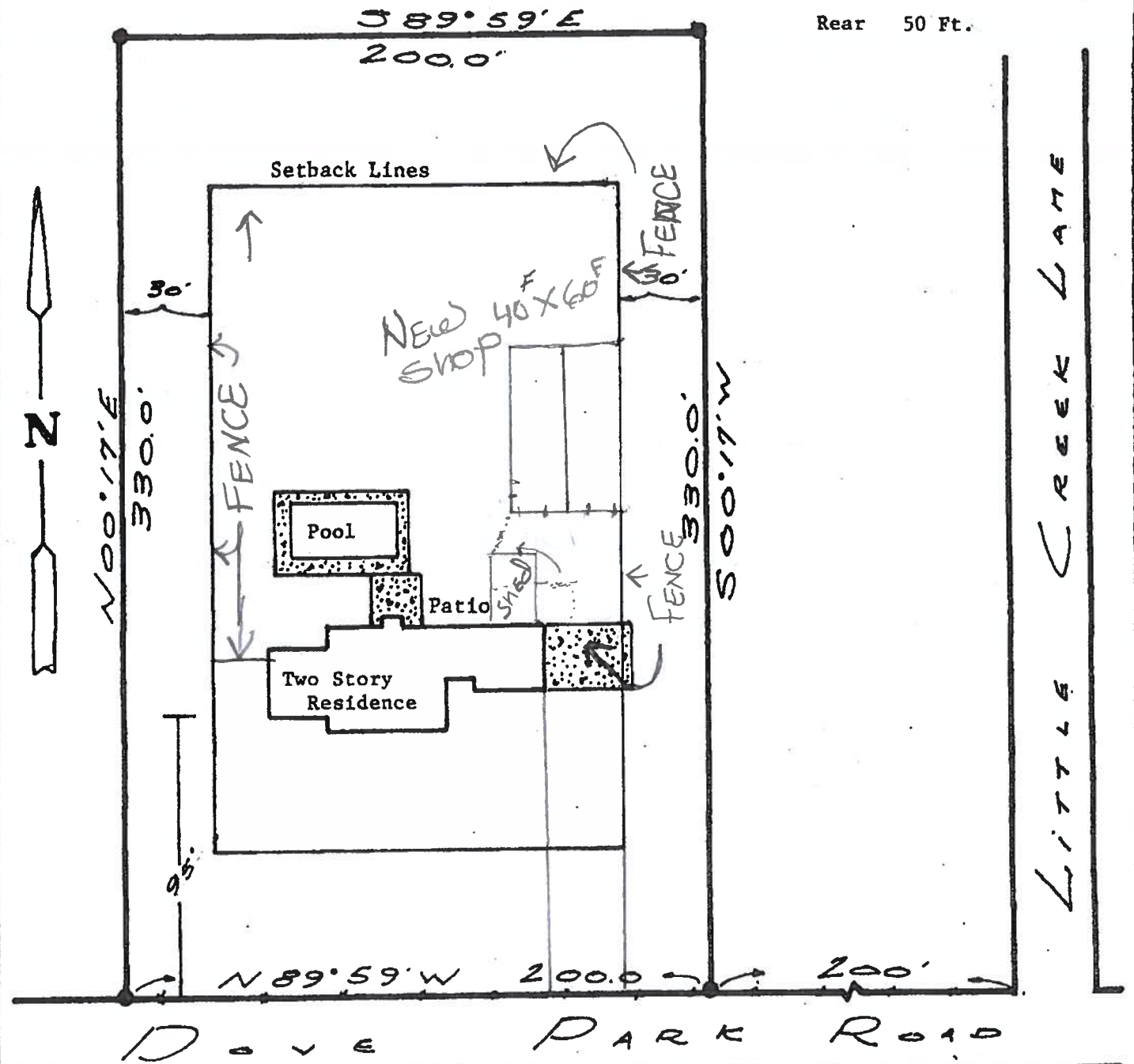
- Required
1. Setback lines
30'
on Both Sides
 2. Setback lines
Front
50°
 3. Set back lines
Rear
50°



Front 50 Ft.

Side 30 Ft.

Rear 50 Ft.

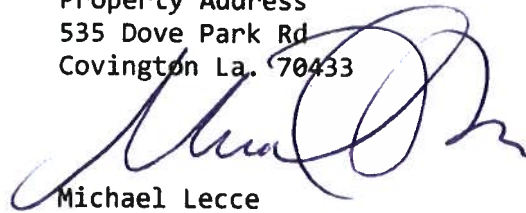


St. Tammany Parish Government

December 23, 2021

Helen Lambert
Assistant Director
Planning & Development

This letter is to certify that we
Michael & Catherine Lecce at
525 Dove Park Rd Covington La 70433
pose no objection to the build of a
40' x 60' workshop at the
Property Address
535 Dove Park Rd
Covington La. 70433

A handwritten signature in blue ink, appearing to read "Michael Lecce", written over the printed name.

Michael Lecce

A handwritten signature in blue ink, appearing to read "Catherine Lecce", written over the printed name.

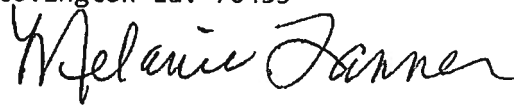
Catherine Lecce

St. Tammany Parish Government

December 23, 2021

Helen Lambert
Assistant Director
Planning & Development

This letter is to certify that I
Melanie Tanner
599 Dove Park Rd Covington La 70433
pose no objection to the build of a
40' x 60' workshop at the
Property Address
535 Dove Park Rd
Covington La. 70433

A handwritten signature in black ink that reads "Melanie Tanner". The signature is written in a cursive, flowing style.

Melanie Tanner

St. Tammany Parish Government

December 23, 2021

Helen Lambert
Assistant Director
Planning & Development

St. Tammany Parish Request for Variance
To Allow Length of building
from 50' to 60'

Michael J. Evans & Martha A. Evans
Property Address
535 Dove Park Rd
Covington La. 70433

Michael A Evans 12-23-21
Martha A Evans 12-23-21

**ST. TAMMANY PARISH BOARD OF ADJUSTMENT
STAFF ANALYSIS REPORT**

Case File Number:	BOA Case No. 2021-2696-BOA
Initial Hearing Date:	02/01/2022
Date of Report:	01/25/2022

GENERAL INFORMATION

Applicant & Representative:	N59 Ventures, LLC & RPM Pizza, LLC
Location of Property:	68200 & 68228 LA Highway 59, Mandeville, Louisiana
Zoning of Property:	HC-3 Highway Commercial Zoning District
Variance(s) Requested:	Waiver of required side buffers and required trees

OVERVIEW

Request by applicant for a waiver of the required 10-foot side buffer planting areas on each side of the property line and a waiver of the required number of Class A & Class B trees.

STAFF COMMENTS

According to the Unified Development Code Section 130-1977. (a), (b) & (e) A 10-foot buffer planting area shall be provided along the side property lines and a minimum of one Class A & one Class B trees shall be provided for each 30 linear feet of the buffer planting area.

The objective of the requested waivers is to allow for the placement of a common access driveway between the two proposed restaurants and maintain adequate internal circulation. See below chart showing the required number of Class A and Class B and proposed number of Class A & Class B trees to be planted. Payment into the tree bank is being requested for the remaining required 17 Class A & 12 Class B trees.

Lot #	Req. Nb. Of Class A	Req. Nb of Class B	Provided Nb of Class A	Provided Nb of Class B
1A2-A1	8	8	1	2
1A3	8	8	0	2

Should the Board be in favor of the request, it should be subject to the following:

- A minimum of 8 Class A & 8 Class B trees should be replanted on the site, within any of the required buffers on lot 1A2-A1 and/or on lot 1A3.
- Payment to the tree bank for the additional 8 Class A & Class B trees requested to be removed.

2021-2696-BOA

STRAIN

59

24

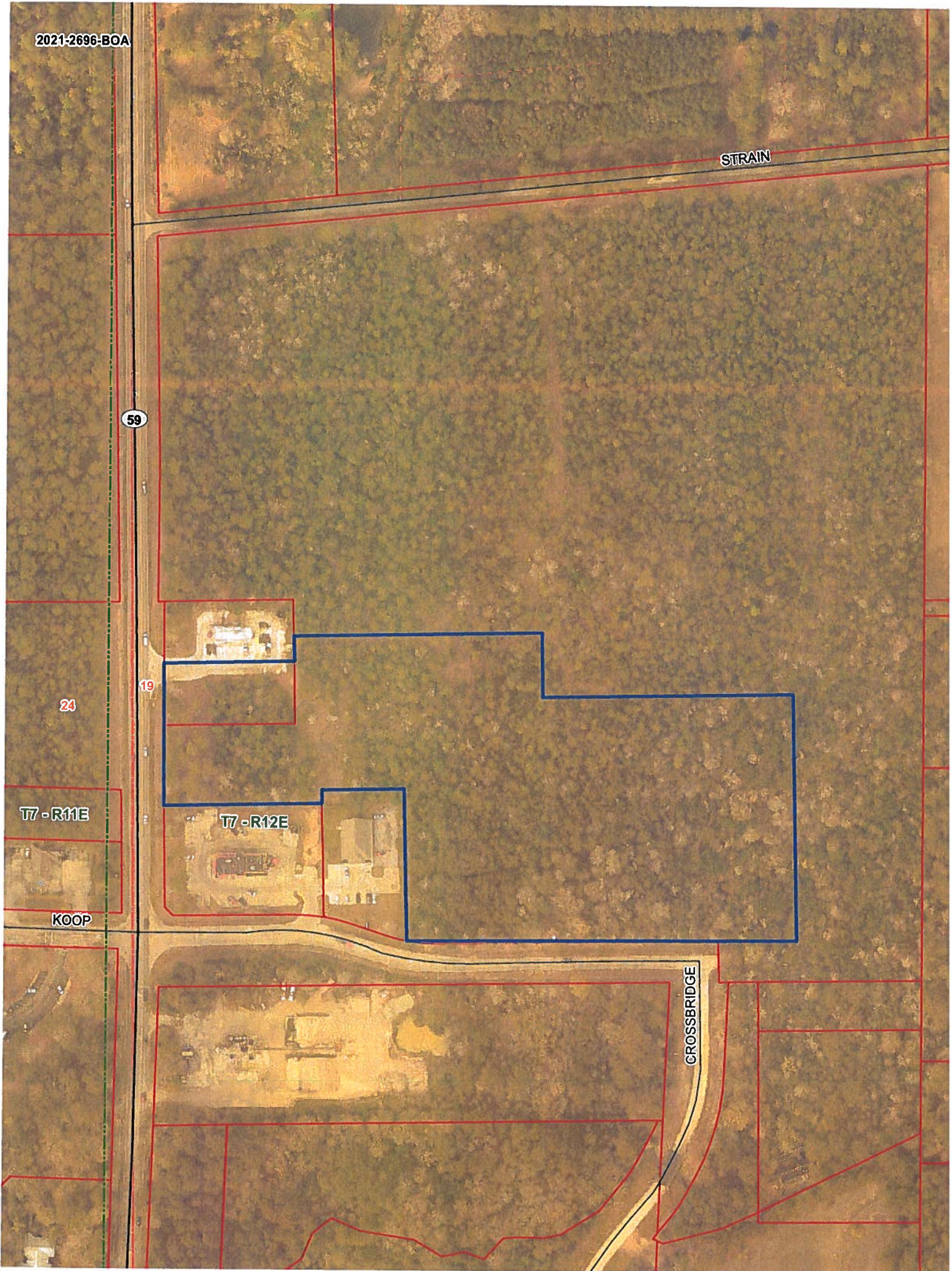
19

T7 - R11E

T7 - R12E

KOOP

CROSSBRIDGE





January 3, 2022

Ms. Helen Lambert
St. Tammany Parish, Planning Department
P. O. Box 628
Covington, LA 70434

Re: Board of Adjustment Application
Little Creek Minor Subdivision
Lot 1A2-A1 and Lot 1A3
Mandeville, LA

Dear Helen,

Per previous discussions, enclosed is the completed Board of Application for the above referenced project, along with the required paperwork, survey, and site plan

In conjunction with similar variance requests previously granted on other property lines within this development and the overall master planning, we are requesting a waiver of the required 10 foot planting buffer on each side of the property line and waiver of the required number of Class A & Class B trees per the enclosed highlighted master site plan and landscape plans. A resubdivision application was previously submitted to your office to create Lot 1A3.

A summary of the required Class A & B trees within the above referenced buffer, along with a number of Class A & B trees that we intend to re-plant within other landscape buffers or areas onsite:

<u>Lot #</u>	<u>Req'd Class A Trees</u>	<u>Req'd Class B Trees</u>	<u>Provided Class A Trees</u>	<u>Provided Class B Trees</u>
Lot 1A2-A1 (Dominos)	7	7	1	2
Lot 1A3 (Starbucks)	8	8	0	2

We would propose to pay to the Tree Mitigation Bank the balance of any trees which cannot be planted onsite, as per the other variances referenced above at this development.

The project's single access connection to Hwy 59, as required by DOTD, and the need to maintain proper internal site circulation are the driving factors which make the landscape buffers unfeasible on this project at this property line.

We appreciate your office's assistance to date with the above request. Feel free to advise with any questions. We look forward to presenting this case to the Board at the next scheduled meeting on February 1st.

Sincerely,

A handwritten signature in dark ink, appearing to read "Jason Reibert", written in a cursive style.

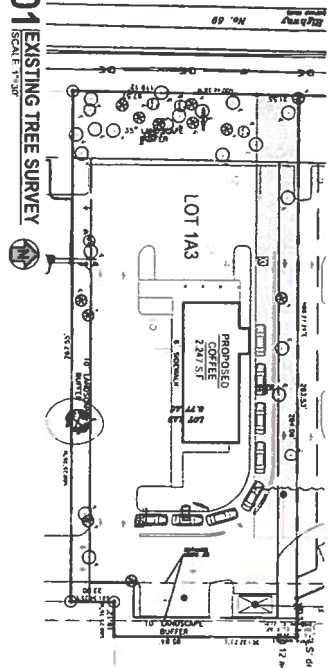
Jason Reibert
Vice President

JFR/rg

Cc: Mike Saucier
Rog Mueller
Caffrey Favrot

01 EXISTING TREE SURVEY

SCALE 1"=30'



LEGEND	
(Symbol)	Existing Tree
(Symbol)	Proposed Tree
(Symbol)	Proposed Building Footprint
(Symbol)	Proposed Landscape Buffer
(Symbol)	Proposed Sidewalk
(Symbol)	Proposed Driveway
(Symbol)	Proposed Parking Area
(Symbol)	Proposed Access Road
(Symbol)	Proposed Utility Line
(Symbol)	Proposed Easement
(Symbol)	Proposed Right-of-Way
(Symbol)	Proposed Boundary
(Symbol)	Proposed Survey Point
(Symbol)	Proposed Survey Marker
(Symbol)	Proposed Survey Station
(Symbol)	Proposed Survey Line
(Symbol)	Proposed Survey Area
(Symbol)	Proposed Survey Point
(Symbol)	Proposed Survey Marker
(Symbol)	Proposed Survey Station
(Symbol)	Proposed Survey Line
(Symbol)	Proposed Survey Area

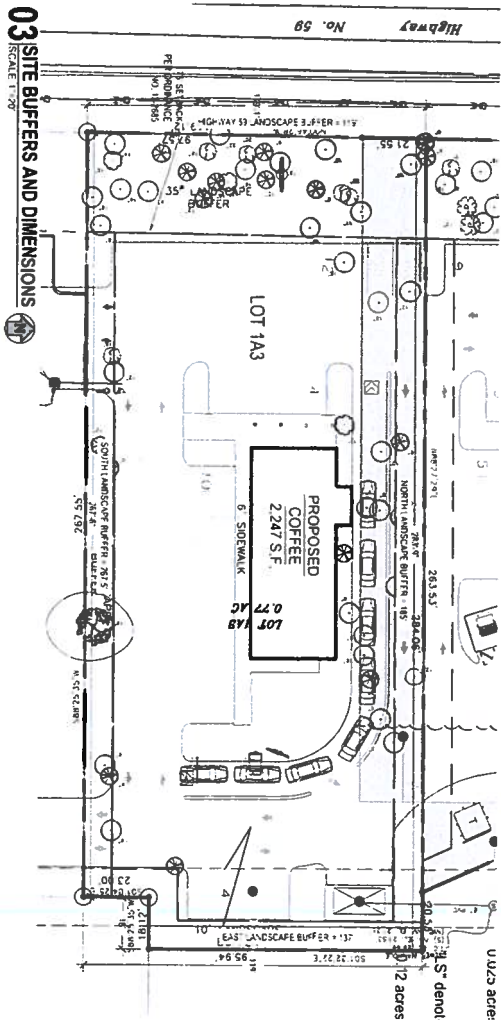
02 BUFFERS KEY

SCALE 1"=10'

(Symbol) Existing Buffers

03 SITE BUFFERS AND DIMENSIONS

SCALE 1"=30'



REVISION DATE

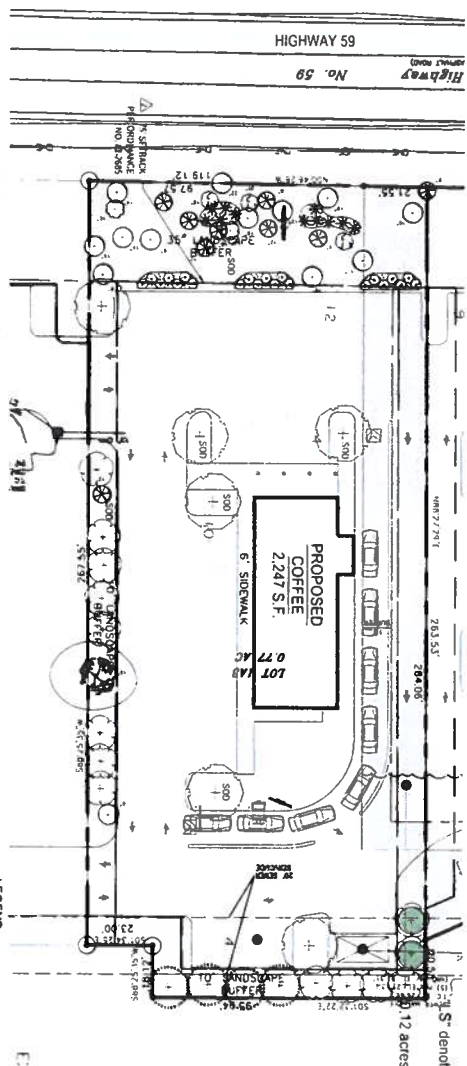
LOT 1A3
LA HWY 59 & KOOP DR.
COVINGTON, LA

REICH
LANDSCAPE ARCHITECTURE

101 S. Grand Street, Suite 100, Covington, LA 70020
713.333.1882



ISSUE
FOR PERMIT
SHEET TITLE
TREE SURVEY AND SITE
BUFFERS
SHEET NO.
12.00



SITE DATA (LOT 1A3)			
TENANT SPACE	PARKING REQUIRED	TOTAL PROVIDED	PARKING RATIO
PROPOSED RESTAURANT 2,247 S.F.	1 SPACE PER 3 OCCUPANTS (15) PLUS 1 PER EMPLOYEE (4) = 19 SPACES REQ'D.	30 SPACES	12.3 / 1,000 S.F.

01 LANDSCAPE ORDINANCE PLAN

SCALE 1"=20'-0"

02 LANDSCAPE ORDINANCE REQUIREMENTS

SCALE 1"=15'

REQUIRED BUFFERS	BUFFER DIMENSIONS	CLASS A TREES -REQUIRED-	CLASS A TREES -PROVIDED-	CLASS B TREES -REQUIRED-	CLASS B TREES -PROVIDED-	SHRUBS
HWY 59 35' BUFFER	119'	1/20L F-6	6 (va credits)	1/20L F-6	6 (va credits)	1/10L F-12 required and provided
SOUTH 10' BUFFER	267.2' just line 232.5' 35' Hwy 59 buffer	1/30L F-8	8 (va credits)	1/30L F-8	8	0
EAST 10' BUFFER	118' 10' just line 127' 35' Hwy 59 buffer	1/30L F-4	4	1/30L F-4	4	0
NORTH 10' BUFFER	267.2' just line 232.5' 35' Hwy 59 buffer	1/30L F-8	0	1/30L F-8	2	0
INTERIOR PARKING BUFFERS	6 Islands	1 Island 6	6	none required	0	Screen along Hwy 59
TOTALS		32	24 (14 va credits)	26	20 (6 va credits)	32

NOTE
PER SECTION 130-1982 THE OWNER OR HIS AGENT SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR OF ALL LANDSCAPE MATERIALS AND BARRIERS AS REQUIRED BY THE UDC.
LIGHTING MUST MEET COMMERCIAL STANDARDS PER SECTION 130-2011 OF UNIFIED DEVELOPMENT CODE.
DUMPSTER AREA TO BE SCREENED BY A 7' OPAQUE FENCE.

03 PLANT SCHEDULE

SCALE 1"=15'

TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
1	6	Acer rubrum / Drummond Red Maple	45 gal	2.5' Cal	10 - 12 H X 5 - 6 W
1	14	Magnolia virginiana / Sweet Bay	45 gal	2.5' Cal	10 - 12 H X 5 - 6 W
1	4	Taxodium ascendens / Pond Cypress	45 gal	2.5' Cal	10 - 12 H X 5 - 6 W
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	
1	21	Podocarpus macrophylla / Japanese Yew	3 gal	15-18" H x 15-18" W	
1	11	Sabal minor / Dwarf Palmetto	3 gal	18-21" H x 18-21" W	

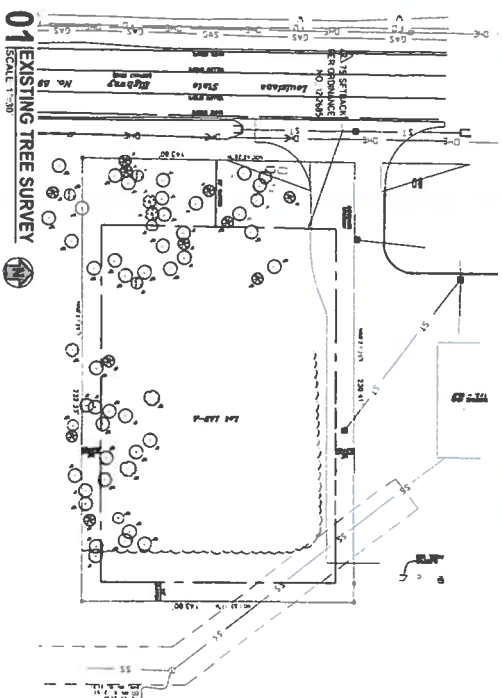
LEGEND
NORTH BUFFER TREE

REICH
LANDSCAPE ARCHITECTURE

LOT 1A3
LA HWY 59 & KOOP DR.
COVINGTON, LA



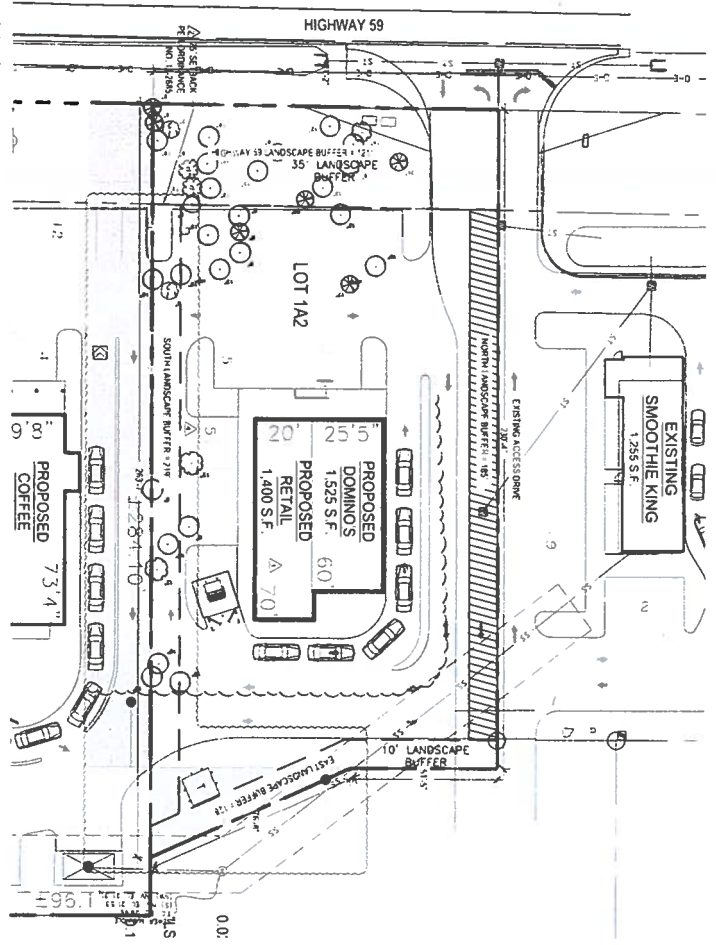
ISSUE
FOR PERMIT
SHEET TITLE
LANDSCAPE ORDINANCE PLAN
JANUARY 4, 2012
SHEET NO.
12.02



LEGEND

1	1" DBH	1	1" DBH
2	2" DBH	2	2" DBH
3	3" DBH	3	3" DBH
4	4" DBH	4	4" DBH
5	5" DBH	5	5" DBH
6	6" DBH	6	6" DBH
7	7" DBH	7	7" DBH
8	8" DBH	8	8" DBH
9	9" DBH	9	9" DBH
10	10" DBH	10	10" DBH
11	11" DBH	11	11" DBH
12	12" DBH	12	12" DBH
13	13" DBH	13	13" DBH
14	14" DBH	14	14" DBH
15	15" DBH	15	15" DBH
16	16" DBH	16	16" DBH
17	17" DBH	17	17" DBH
18	18" DBH	18	18" DBH
19	19" DBH	19	19" DBH
20	20" DBH	20	20" DBH
21	21" DBH	21	21" DBH
22	22" DBH	22	22" DBH
23	23" DBH	23	23" DBH
24	24" DBH	24	24" DBH
25	25" DBH	25	25" DBH
26	26" DBH	26	26" DBH
27	27" DBH	27	27" DBH
28	28" DBH	28	28" DBH
29	29" DBH	29	29" DBH
30	30" DBH	30	30" DBH

01 EXISTING TREE SURVEY
SCALE 1"=30'



02 SITE BUFFERS AND DIMENSIONS
SCALE 1"=30'

03 BUFFERS KEY
SCALE NTS

[Symbol]	EXISTING BUFFERS
[Symbol]	PROPOSED BUFFERS
[Symbol]	PROPOSED BUFFERS - VARIATION FOR ACCESS SCENARIO
[Symbol]	REFER TO LUTHER D.B.A. (C.A.F. # 141439)

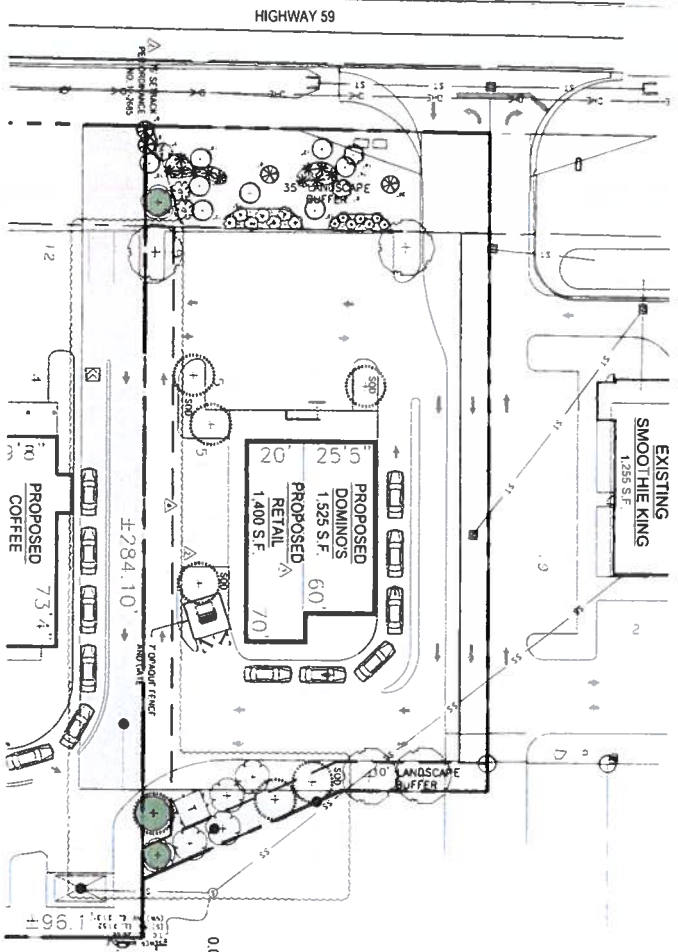
REICH
LANDSCAPE ARCHITECTURE
P.O. Box 100000, Houston, TX 77200
713.776.3490

LITTLE CREEK SHOPPING CENTER
HIGHWAY 59 DEVELOPMENT
COVINGTON, LA



REVISION	DATE
1	8/1/21
2	8/1/21
3	8/1/21
4	8/1/21
5	8/1/21
6	8/1/21
7	8/1/21
8	8/1/21
9	8/1/21
10	8/1/21
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24	8/1/21
25	8/1/21
26	8/1/21
27	8/1/21
28	8/1/21
29	8/1/21
30	8/1/21

ISSUE
FOR PERMIT
SHEET TITLE
TREE SURVEY AND SITE
BUFFERS
SHEET NO.
L2.00



SITE DATA (LOT 1A2)			
TENANT SPACE	PARKING REQUIRED	TOTAL PROVIDED	PARKING RATIO
PROPOSED RESTAURANT 1,525 S.F.	1 SPACE PER 3 OCCUPANTS (2) PLUS 1 PER EMPLOYEE (9) = 7 SPACES REQD.	19 SPACES	6.5 / 1,000 S.F.
PROPOSED RETAIL/BUSINESS 1,400 S.F.	1 SPACE PER 350 S.F. = 4 SPACES REQD.		
TOTAL 2,925 S.F.	11 SPACES REQD.		

NOTE
PER SECTION 130-19B2 THE OWNER OR HIS AGENT SHALL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR OF ALL LANDSCAPE MATERIALS AND BARRIERS AS REQUIRED BY THE UDC.
LIGHTING MUST MEET COMMERCIAL STANDARDS PER SECTION 130-2011 OF UNIFIED DEVELOPMENT CODE.
DUMPSTER AREA TO BE SCREENED BY A 7' OPAQUE FENCE.

01 LANDSCAPE ORDINANCE PLAN

SCALE 1"=20'-0"

02 LANDSCAPE ORDINANCE REQUIREMENTS

SCALE N.T.S.

REQUIRED BUFFERS	BUFFER DIMENSIONS	CLASS A TREES REQUIRED	CLASS A TREES PROVIDED	CLASS B TREES REQUIRED	CLASS B TREES PROVIDED	SHRUBS
HWY 59	121'	1/20L-F=6	6 (via credits)	1/20L-F=6	6 (via credits)	1/10L-F=12 required and provided
SOUTH 10' BUFFER	25' from line - 10' easement - 219'	1/30L-F=7	1 A	1/30L-F=7	2 A	0
EAST 10' BUFFER	128'	1/30L-F=4	4	1/30L-F=4	4	0
NORTH 10' BUFFER	135' from line - 10' easement - 185'	BUFFER PROVIDEDLY REMOVED & REPLANTED BY ROK COS. NO. 14-11870		BUFFER PROVIDEDLY REMOVED & REPLANTED BY ROK COS. NO. 14-1239		0
INTERIOR PARKING BUFFERS	6 Islands	1 Island=6	6	none required	0	Screen along Hwy 59
TOTALS		23	17 (6 via credits)	17	12 (6 via credits)	25

03 PLANT SCHEDULE

SCALE N.T.S.

TREES	QTY	BOTANICAL / COMMON NAME	CONT.	CAL.	SIZE
	4	Acer rubrum / Drummondii / Drummond Red Maple	45 gal	2.5 Cal	10-12 H X 5-6 W
	6	Magnolia virginiana / Sweet Bay	45 gal	2.5 Cal	10-12 H X 5-6 W
	7	Taxodium ascendens / Pond Cypress	45 gal	2.5 Cal	10-12 H X 5-6 W
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT.	SIZE	
	7	Prodracarpus macrophyllus / Japanese Yew	3 gal	15-18" H x 15-18" W	
	7	Rhododendron x 'George Taber' / George Taber Azalea	3 gal	15-18" H x 15-18" W	
	11	Sabal minor / Dwarf Palmetto	3 gal	18-27" H x 18-27" W	

LITTLE CREEK SHOPPING CENTER
HIGHWAY 59 DEVELOPMENT
COVINGTON, LA

REICH
LANDSCAPE ARCHITECTURE



DATE: AUGUST 17, 2021
FOR PERMIT
SHEET TITLE: LANDSCAPE ORDINANCE PLAN
SHEET NO. L2.02

	DATE FILED
	MAP FILE NO.

NOTE: This is to certify that I have done an actual ground survey and found that no encroachments exist either way across any property lines except as shown.

encroachments exist either way across any property lines except as shown.

Scale: 1" = 100'

This Stamp is Certified
True and Correct By
JOHN E. BONNEAU
Professional Land Surveyor
Registration No. 4423

**Professional Land Surveyors
Planners and Consultants**
1011 NORTH CAUSEWAY BLVD., SUITE 340
WABEDEVILLE, VA 20671
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LOWE
ENGINEERING

MINOR RESUBDIVISION OF
1-1A1A & 1A2-A, LITTLE CREEK
into
1B, 1A2-A1 & 1A3, LITTLE CREEK
in SECTION 19, T-7-S, R-12-E
Tammany Parish, Louisiana
for
N59 VENTURES, LLC

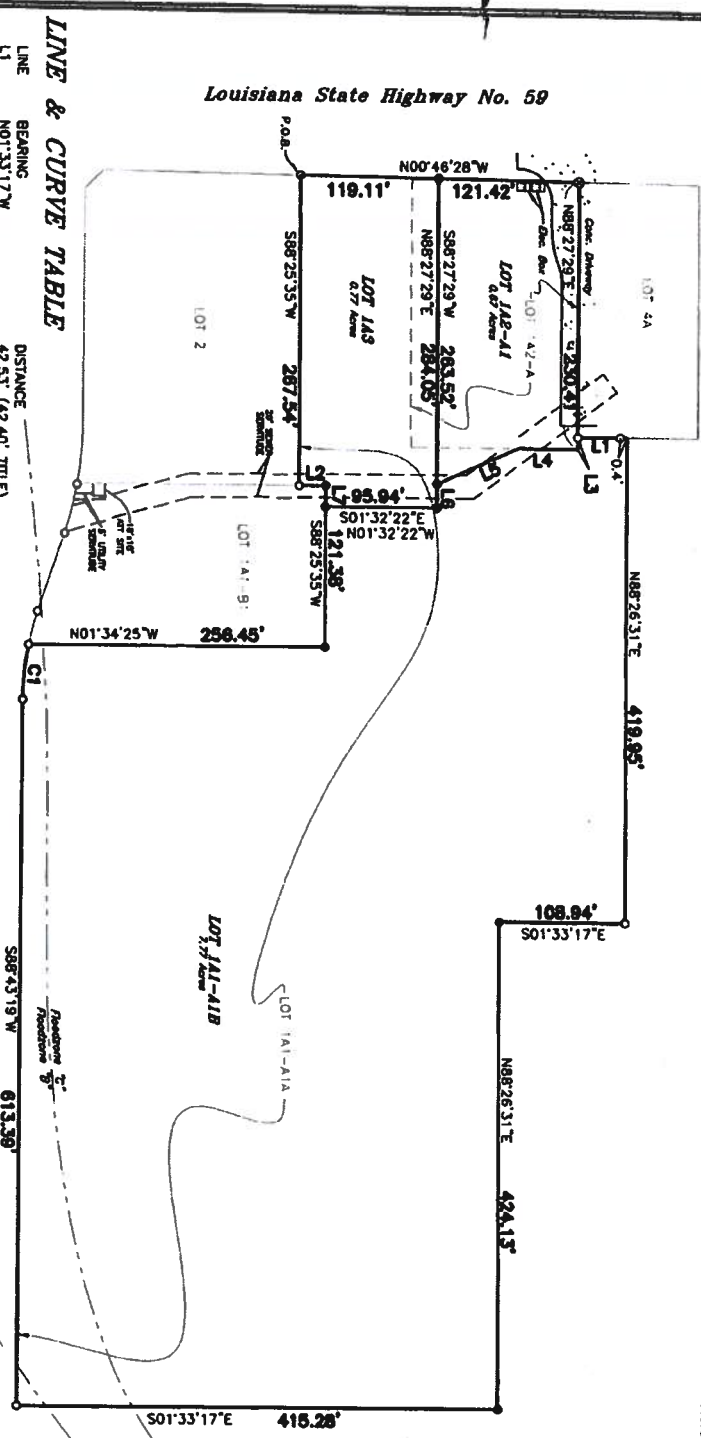
LOTS 1A1-A1B, 1A2-A1 & 1A3, LITTLE CREEK
situated in SECTION 19, T-7-S, R-12-E

CURVE	RADIUS	ARC LENGTH	CHORD	CHORD LENGTH
1	240.50'	47.54'	N85°36'54"W	47.46'
2				
3				
4				
5				
6				
7				

@ = 3" Found
 O = 1/2" Iron Pipe For

DISTANCE BEARING
 L1 N01°33'17"W 42.53' (42.40')
 L2 S01°34'25"E 23.00'
 L3 N88°27'29"E / S88°27'29"W 10.05'
 L4 N01°32'35"W / S01°32'35"E 51.47'
 L5 N23°46'53"W / S23°46'53"E 76.70'
 L6 S86°27'23"W / N86°27'23"E 20.53'
 L7 S85°25'35"W 16.12'

East Koop Drive
 (NOT RECORDED - 1987)



**ST. TAMMANY PARISH BOARD OF ADJUSTMENT
STAFF ANALYSIS REPORT**

Case File Number:	BOA Case No. 2021-2697-BOA
Initial Hearing Date:	02/01/2022
Date of Report:	01/25/2022

GENERAL INFORMATION

Applicant & Representative:	Keith & Jane Campo
Location of Property:	Robert Road, Slidell, Louisiana
Zoning of Property:	A-3 Suburban Zoning District
Variance(s) Requested:	Waiver and reduction of the required uncut 50-foot side buffers

OVERVIEW

Request by applicant for:

- a waiver of the required 50 foot no cut buffer on the west side of the property to allow for the placement of a driveway.
- a reduction of the required 50 foot no cut buffer on the east side of the property to 25 feet for approximately 180 feet and to 15 feet for 130 feet, to allow for the construction of a single-family residence.

STAFF COMMENTS

As per the Unified Development Code Sec. 130-2250. (b) (2) A minimum uncut buffer of 50 feet in depth shall be required adjacent to residential zoning district.

The objective of the request is to allow:

1. for the placement of a driveway on the west side of the property, within the required no cut buffer, to provide to access to the proposed single-family residence and to the rear of the property, as shown on the attached survey.
2. reduction of a portion of the required no cut buffer on the east side of the property to allow for the construction of a single-family residence.

Staff has no objection to requested waiver of the required 50 foot no cut buffer on the west side of the property, considering that the location of the access was approved by the Planning Commission as part of the minor subdivision process. While an attempt is being made to plant Oak trees, Crape Myrtles and Azaleas to mitigate the removal of trees within the buffers, the requested variance to reduce a portion of the required 50-foot buffer on the east side is a personal preference rather than a property hardship. The residence could be relocated towards the west side to allow for the preservation of the required 50 foot no cut buffer.



