

**AGENDA MEETING
ST. TAMMANY PARISH BOARD OF ADJUSTMENT MEETING
JUNE 7, 2022 – 2PM
ST. TAMMANY PARISH GOVERNMENT COMPLEX BUILDING A
21490 KOOP DRIVE, PARISH COUNCIL CHAMBERS
MANDEVILLE, LOUISIANA**

CALL TO ORDER

ROLL CALL

ANNOUNCEMENTS

- Please silence all phones and electronic devices
- Appeals
- Speaker Cards
- Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal
- Please exit the building

APPROVAL OF THE MAY 3, 2022 MINUTES

PUBLIC HEARINGS

1- BOA CASE NO. 2022-2817-BOA

Request by applicant in a HC-2 Highway Commercial Zoning District for a waiver of the required street planting buffer to provide additional parking spaces.

The property is located: 240 Highway 22 E, Madisonville, Louisiana

Applicant & Representative: Impastato Cellars, LLC – Mica Impastato

2- BOA CASE NO. 2022-2819-BOA

Request by applicant in an A-3 Suburban Zoning District for an after the fact request to reduce the required 50 foot no cut buffer to 5 feet on the west side of the property and replant with a new vegetative buffer.

The property is located: 515 & 519 Brewster Road, Madisonville, Louisiana

Applicant & Representative: Lee Robinson and John Martinez

3- BOA CASE NO. 2022-2859-BOA

Request by applicant in an A-2 Suburban Zoning District to reduce the required front yard setback from 25 feet to 11 feet and the required rear yard setback from 12 feet to 11' – 11.5" to allow for the construction of a single family residence.

The property is located: 69177 4th Avenue, Covington, Louisiana

Applicant & Representative: Kayjos Properties Investments, LLC - Erick & Susana Rodriguez

4- BOA CASE NO. 2022-2860-BOA

Request by applicant in an A-1 Suburban Zoning District to reduce the required roadway no cut buffers from 25 feet to 18 feet and the required sides and rear no cut buffers from 50 feet to 36 feet to allow for the placement of a fence.

The property is located: 81160 Katie Lane, Bush, Louisiana

Applicant & Representative: Waterhole Fork Farms, LLC -Mary Ann Fritscher

5-BOA CASE NO. 2022-2873-BOA

Request by applicant in an A-4 Single Family Residential Zoning District to reduce the required rear yard setback from 22 feet to 20 feet to allow for the construction of a single family residence. The property is located: 13483 Riverlake Drive, Covington, Louisiana
Applicant & Representative: Jefferey Rathburn

6- BOA CASE NO. 2022-2874-BOA

Request by applicant in an A-4-A Single Family Residential Zoning District to reduce the required front yard setback from 25 feet to 10 feet and on the required rear yard setback from 20 feet to 10 feet to allow for the placement of a manufactured home.
The property is located: 26383 Edwards Street, Slidell, Louisiana
Applicant & Representative: Lateisha Foster

7- BOA CASE NO. 2022-2889-BOA

Request by applicant in a PUD Planned Unit Development Overlay to reduce the required rear yard setback from 30 feet to 10 feet.
The property is located: 538 Solitude Way, Covington, Louisiana
Applicant & Representative: David & Ramona Wildt

8- BOA CASE NO. 2022-2890-BOA

Request by applicant in an A-1A Suburban Zoning District for a waiver of the western side 50 foot no cut buffer and to selectively cut the southern 50 foot and 25 foot no cut buffer and allow for replanting.
The property is located: 194 Rucker Road, Madisonville, Louisiana
Applicant & Representative: Keith Luminais

9- BOA CASE NO. 2022-2904-BOA

Request by applicant in an A-4 Single Family Residential Zoning District for a reduction of the required rear yard setback from 25 feet to 18 feet.
The property is located: 501 Belle Pointe Loop, Madisonville, Louisiana
Applicant & Representative: Randy J. Hess

OLD BUSINESS

NEW BUSINESS

ADJOURNMENT

MINUTES
ST. TAMMANY PARISH BOARD OF ADJUSTMENT MEETING MAY 3, 2022
ST. TAMMANY PARISH GOVERNMENT COMPLEX BUILDING A
21490 KOOP DRIVE, PARISH COUNCIL CHAMBERS
MANDEVILLE, LOUISIANA

The May 3, 2022 meeting of the St. Tammany Parish Board of Adjustment was called to order by the Vice-Chairman, Mrs. Thomas.

The roll was called as follows:

PRESENT: Mrs. Thomas, Mr. Spies (Voting Member), Mr. Daly, Mr. Blache, Mr. Swindell (Voting Member)

ABSENT: Mr. Ballantine

STAFF PRESENT: Mrs. Lambert, Mrs. Couvillon, Mrs. Cook, Mr. Liner

APPROVAL OF THE MINUTES

Moved by Mr. Blache and seconded by Mr. Daly to accept the April 5, 2022 minutes.

MOTION CARRIES UNANIMOUSLY

1- BOA CASE NO. 2022-2768-BOA

Request by applicant in an A-4 Single Family Residential Zoning District for after the fact variances to reduce rear yard setback from 10 feet to 6 feet and required side yard from 15 ft. to 4 feet.

The property is located: 1337 Destin Street, Mandeville, Louisiana

Applicant & Representative: Jenny R. Mevers

(Mrs. Lambert read the staff report into the record...)

Jenny R. Mevers: Back in front of the Board, provided additional letters of no objection from other abutting property owners. Also provided letter from ATMOS, allowing for the gas line to be moved. Paid the fees to have the line moved and indicated time for completion. Only requesting variance for side yard setback.

Mr. Blache: Observations & findings after reviewing the request: Problem originally started because no building permit was applied for before work took place. Construction took place over gas servitude. Seems to be no hardship besides monetary hardship. Similar other variance requests have been submitted in the past and were not approved. Reason is that there is a lot more after the fact requests submitted because approval is being granted. In this situation the structure was built over the gas line.

Mr. Daly: Ask question regarding the waiver of the rear yard setback and reason why it is no longer needed. Ask questions about the location of the gas line.

Jenny R. Mevers: Wall will be moved 4 feet inside and engineered beam will be installed. Explains how the gas line is going to be moved.

Mr. Swindell: Question about letters provided from abutting property owners.

Jenny R. Mevers: Yes, I provided letters from all abutting property owners.

Motion by Mr. Spies and seconded by Mr. Swindell to approve as requested, subject to:

- Submit letter/evidence that the gas line has been relocated before final inspection and/or occupancy of the accessory building can be granted.

Yeas: Mrs. Thomas, Mr. Spies, Mr. Swindell

Nays: Mr. Daly, Mr. Blache.

MOTION FAILED

2- BOA CASE NO. 2022-2779-BOA

Request by applicant in an A-2 Suburban Zoning District to reduce the required no cut buffer on the east side of the property from 50 feet to 20 feet and to reduce the required no cut buffer on the west side from 50 feet to 30 feet, for approximately 800 feet.

The property is located: 23234 Lowe Davis Road, Covington, Louisiana

Applicant & Representative: James & Jamie Taylor

(Mrs. Lambert read the staff report into the record...)

James Taylor: Only trying to clear 200 feet. No longer asking to clear 800 feet. If preserving 50 foot no cut buffer, over 1/3 of the property is unusable. Amended request to only clear as shown on the plan, only 1 acre.

Mrs. Lambert: Is your driveway going to be 20 feet from the property line?

James Taylor: Yes, it will be 20 feet from the property; however, the driveway is already existing. Previous house on the site. Path already existing.

Mr. Blache: Property is usable. Buffers of 50 feet from the property line is regulation approved by the Council. House could be turned. Smaller house is an option. Approved in the past when the house plan shows a side loading garage. Glad that request to reduce the required buffers is no longer for the entire 800 feet. Buffers are for privacy from and for abutting neighbors.

Mr. Swindell: Were you able to contact the property owner on the other adjacent side?

James Taylor: Attempted to contact and find out the owner of the adjacent property. No information available.

Motion by Mr. Swindell and seconded by Mr. Spies to approve the variances as requested: clear one acre with 20 buffer on one side and 30 foot buffer on other side.

Yeas: Mrs. Thomas, Mr. Spies, Mr. Swindell, Mr. Blache.

Nays: Mr. Daly

MOTION CARRIES

3- BOA CASE NO. 2022-2805-BOA

Request by applicant in a PF-2 Public Facilities Zoning District for a variance to remove all pine trees within the required 50 foot no cut buffers.

The property is located: 39524 Honey Island Swamp Road, Pearl River, Louisiana

Applicant & Representative: Russell Jones

(Mrs. Lambert read the staff report into the record...)

Russell Jones: Request permission to cut trees within the buffers.

Mrs. Thomas: What is the reason for the request?

Russell Jones: To harvest timber.

Mr. Blache: With the zoning designation of PF-2, does it allow for the growing of pine trees and timber harvesting? Do the buffers apply to the zoning?

Mrs. Lambert: The owner can clear the property; however the required buffers still apply.

Mr. Daly: L Shape lot, refers to the drawing. What is the use of the adjacent lots?

Russell Jones: Provides information regarding adjacent property owners.

Mr. Spies: What is the size of the property?

Russell Jones: 15 acres requested to be cleared. Own a total of 40 acres

Mr. Daly: Were the trees planted?

Russell Jones: Trees were planted and property will be replanted. Logging business. It is time to cut the timber.

Mr. Spies: Is there a neighbor on the left side of the property? Is there a storage facilities on the site?

Russell Jones: Describe the abutting properties. No storage facilities. Portion of the property is already pasture land.

Mr. Blache: How long have you owned the property? Question regarding the zoning of the property and if owner checked the zoning before purchasing it. What type of swamp land is it? Understand the need for harvesting.

Russell Jones: I have owned it for 8 years. Honey Island Swamp. It is swamp land; however, it is buildable. It is not wetlands.

Mr. Spies: Ask Legal can variance be granted to clear as requested?

Mrs. Couvillon: Will have to meet all regulations, he is only asking to clear some of the 50 foot buffer.

Mrs. Lambert: Is the request to only clear the pine trees located within the buffers?

Russell Jones: Correct. Hardwood will remain within the buffers.

Motion by Mr. Blache and seconded by Mr. Daly to approve the variances as requested, only clear the pine trees within the 50 foot no cut buffers.

MOTION CARRIES UNANIMOUSLY

4- BOA CASE NO. 2022-2814-BOA

Request by applicant in an A-4 Single Family Residential Zoning District for a variance to reduce the required street side setback yard setback from 20 feet to 10 feet to allow for the construction of a single family residence.

The property is located: Corner of an Unconstructed Portion of Preval Street & Cours Carson Street, Mandeville, Louisiana

Applicant & Representative: Nancy Landers

(Mrs. Lambert read the staff report into the record...)

Nancy Landers: Property is not located on a true corner. There is a driveway on the side, it is not a public road. Submitted application for street revocation to allow to construct driveway to access the property.

Mr. Blache: Ask questions regarding the revocation.

Nancy Landers: Requesting revocation to allow construction of driveway.

Mrs. Lambert: Revocation request is to allow to purchase a portion of Cours Carson to construct driveway.

Lundy Moore: Preval Street is an unconstructed dedicated right of way, street portion already revoked for abutting development. Only portion of Preval connecting to my property exists. Describes requested variance. Cannot connect to Preval Street, since it is my driveway.

Mr. Swindell: Question about setbacks. It appears that the garage is proposed to be located within the required 10 foot setback.

Nancy Landers: If variance is not granted it will be difficult to access garage.

Mrs. Lambert: Clarify the variance request.

Mr. Swindell: Can the street ever be constructed?

Nancy Landers: Street cannot be constructed

Mr. Daly: Access to Kingswood is through Cours Carson?

Lundy Moore: Provides information regarding access to Kingswood and configuration of the subdivision.

Lundy Moore: When Old Mandeville Woods developed, Preval Street was approved to be used to access. It happened between 2001 & 2003.

Mr. Liner: Motion could be subject to the approval of the revocation.

Motion by Mr. Spies and seconded by Mr. Blache to approve the variance as requested, subject to the approval of the requested street revocation.

MOTION CARRIES UNANIMOUSLY

5- BOA CASE NO. 2022-2817-BOA

Request by applicant in a HC-2 Highway Commercial Zoning District for a waiver of the required street planting buffer to provide additional parking spaces.

The property is located: 240 Highway 22 E, Madisonville, Louisiana

Applicant & Representative: Impastato Cellars, LLC – Mica Impastato

(Mrs. Lambert read the staff report into the record...)

Mica Impastato: Request to postpone until the June Meeting to allow for her attorney to attend the meeting.

Motion by Mr. Spies and seconded by Mr. Blache to postponed the request until June 7, 2022 Meeting

MOTION CARRIES UNANIMOUSLY

6- BOA CASE NO. 2022-2818-BOA

Request by applicant in a HC-3 Highway Commercial Zoning District for a waiver of the required 10 foot side yard buffers and required number of Class A & Class B trees to allow an addition to the existing parking lot.

The property is located: 1290 N. Highway 190, Covington, Louisiana

Applicant & Representative: Raising Cane's LLC - LuAron Foster

(Mrs. Lambert read the staff report into the record...)

Mitchell Meyard: Representative for the request. 2nd driveway approved for drive-thru and to allow stacking onsite and add parking spaces. Functions as one property.

Mr. Blache: In favor of the request. Lots of accidents in the area. Agreed to pay into the tree bank if there are some deficiencies.

Mr. Daly: Similar request was previously presented.

Motion by Mr. Swindell and seconded by Mr. Daly to approved the variances as requested.

MOTION CARRIES UNANIMOUSLY

7- BOA CASE NO. 2022-2819-BOA

Request by applicant in an A-3 Suburban Zoning District for an after the fact request to reduce the required 50 foot no cut buffer to 5 feet on the west side of the property and replant with a new vegetative buffer.

The property is located: 515 & 519 Brewster Road, Madisonville, Louisiana

Applicant & Representative: Lee Robinson and John Martinez

(Mrs. Cook read the staff report into the record...)

Lee Robinson: Inadvertently cleared buffers when work took place on flag lot.

John Martinez: Purchased the land in 2020. Contacted other neighbors to informed them of proposed development. Posted by Code Enforcement.

John Forester: Representing Mr. James Ellis. Provided letter and photographs before the meeting. It includes history of what has been happening since November 2021. Ask to have a continuance. Number of outstanding issues to be resolve before the Board should vote on request. Issued Cease and Desist letter to hold revocation of permit until issues are resolved.

Mrs. Couvillon: Board can make a motion to postponed the case.

John Forester: Hoping not to go to litigation. Over 1 acre of trees cleared knowingly. Client Mr. Ellis can testify. Misrepresentation in variance requested. Cuts of oak trees. Complete blocked view/buffer has been cleared. Construction is taking place on weekdays and weekends causing loud noise. Burning wood on the property. Fire Department came to the site to stop the Fire. States regulations regarding clearing of live oak trees. Asking to have buffer replanted and live oaks replaced. Proposed replanting with bamboo is not going to provide the previous buffer that was in

place. Clearing of the trees is considered as a misdemeanor. No agreement in place with Mr. Ellis to install Bamboo in lieu of the required buffer. Ask to the Board to deny or have case continued. They appeared in front of BOA previously to request waiver of setback for the pond. Plans and agreement to be submitted after digging pond. May have been provided but not aware. Proof of compliance should be provided before Board consider granting variance for the buffer. Review the list of 5 items that the board must consider to determine if a variance/appeal is eligible for granting and add comments regarding each items and variance request. Ask the Board to continue the variance request and come up with a solution.

Lee Robinson: Was under the impression that the buffers could be removed along the entire sides of the driveway access. Working with Planning Department. Received the Cease and Desist letter.

John Martinez: Spoke with Mr. Ellis to rectify the issue and replanting with buffer. Trying to do everything correctly. No constant burning, only over a 2 day period. Smoke after the fire was taken down.

John Forester: No agreement between Mr. Ellis and John Martinez & Lee Robinson.

John Martinez: Agreement was provided. Not all plans provided because still working on the pond.

Mr. Spies: Did you get permission to cut live oak trees?

Lee Robinson: Only aware of 1 live oak trees and it was knocked down. Planning on planting several trees on the property.

Mr. Swindell: If the variance request is denied, what would be the outcome?

Mrs. Lambert: The 50 foot buffer would have to be replanted.

Mr. Liner: Replanting of 50 foot buffer is difficult to accomplish/ takes time to grow to maturity. Replanting plan should be provided and voted on by the Board.

Mr. Swindell: How should we proceed? Should the Board deny the request and then ask for a replanting plan or should the Board postpone the request and ask for a replanting plan to be submitted?

Mrs. Couvillon: Practically speaking it would be better to have a plan submitted, for the Board to consider. It may be better for the Board to vote to postpone the case.

Mr. Liner: Flag lot brings certain hardship and presence of the 100 foot powerline servitude.

Mr. Daly: 35 foot driveway cleared and additional 30 foot cleared on adjacent parcel. Is the request to plant the bamboo along the driveway and no replanting on lot A-1?

Lee Robinson: I have the right to clear driveway. Request not to have a buffer between the 2 lots.

John Martinez: There was an agreement with Mr. Ellis for the replanting of the bamboo.

Mr. Blache: Address Mr. Forester regarding photos and videos submitted.

Mr. Forester: Submitted by email. Provide pictures of the site to the Board.

Mr. Blache: Ask Mr. Forester regarding potential way to resolve issues.

Mr. Forester: No agreement in place at this time.

Mr. Blache: Regulation is still in place. Appreciate the fact that you are trying to come up with an agreement.

Mr. Liner: Trees shall be replaced; however, need to look at caliper of trees removed and to be replaced.

Mr. Daly: Site plan should be provided showing location of residence on Parcel A-1 to determine the buffers.

Mr. Liner: 100 foot servitude cannot be built upon. Submitting site plan would allow to confirm buildable area.

Motion by Swindell and seconded by Mr. Blache to postponed the request until June 7, 2022 Meeting, with condition to bring plan for buffer to be restored and impose timeline to complete the replanting,

MOTION CARRIES UNANIMOUSLY

8- BOA CASE NO. 2022-2820-BOA

Request by applicant in a CBF-1 Community Based Facilities Zoning District & A-2 Suburban Zoning District for a waiver of the required pond setback on each side of the property line.

The property is located: 24401 Highway 190, Lacombe, Louisiana

Applicant & Representative: Chad Almquist

(Mrs. Lambert read the staff report into the record...)

Chad Almquist: Survey submitted shows property line across the existing pond. Request waiver of the required setback for the pond. Want to have pond as part of the business.

Motion by Spies and seconded by Mr. Blache to approve the variances as requested.

MOTION CARRIES UNANIMOUSLY

9- BOA CASE NO. 2022-2824-BOA

Request by applicant in an A-1 & A-2 Suburban Zoning Districts with a RO Rural Overlay to appeal the decision by Parish Official to deny the issuance of an Administrative Permit to operate a Short Term Rental.

The property is located: 74450 LA Highway 437 Covington, Louisiana

Applicant & Representative: Chance Mortenson

(Mrs. Cook read the staff report into the record...)

Anthony Maska: Council for Chance Mortenson. Mr. Mortensen went through the application process for the castle to use it as a short term rental. On February 16, 2022 an approval letter was provided to Mr. Mortensen to obtain occupational license. On February 17, 2022, Sheriff's office issued occupational license to operate Short Term Rental. Letter received on March 18, 2022 approximately 1 month later, stating that previously approved application was being denied. When approval is granted and then removed, it is not a denial, it is a revocation. Wrong section of the code quoted in the letter. The letter stated that there was a brochure error. The brochure was provided the same day as requested, except for the affidavit. Public Record Request submitted. Information obtained: stack of emails provided by one neighbor. One neighbor has been submitting complaints since April 2020. Complaints have been filed about personal use, parties and about Air B & B. Dolores Falkner stated that it needs to be addressed before it gets out of control, living next door is a nightmare. Mr. Mortensen submitted 13 signed statements from neighbors who are in favor or not in opposition to the Air B & B application. There is one neighbor who brought the Castle to the attention of Code Enforcement officer in March 2022. When informed of denial or revocation of permit in February 2022, he was not provided the procedure from which the revocation occurred. Second, he was never told about complaints regarding Air B&B or personal use of property. From the time he was approved on February 16, 2022 to March 18, 2022, no action or complaints, except from abutting neighbor. Abutting neighbor Mr. Lambert, his attorney sent letters, two different times, amplifying own personal use of the property. Property owner has the right to use his own property. It is becoming harassment by one neighbor over personal use of the property. Looking at overhead attached to email, refers to picture showing red circle, which identifies the castle, un circled piece of property is where client dwell, other circle is Mrs. Faulkner's property. Between the 2 properties there are trees, shrubs and foliage for about 150 yards. On same picture, show closest abutting neighbor with a square. Closest abutting neighbor never filed complaints for use of property for personal party or Air B & B. Some of the pictures submitted shows shrubbery and lights. Reading some of the complaints submitted and pictures showing lights in the evening. Repetitive submission grown into harassment. Submit copy of picture for the Board to review. Would like to draw attention to the Section addressing denial, language says that complaints are to be provided from guests or neighbors, not only one neighbor. We do not know if the operation of the Short Term Rental resulted in any complaints because most of the complaints received were related to personal use of the space. Approved in February, one month later he is denied, he is revoked, he was not told who made complaints or how he could fix them, he was just told that several complaints were filed. Public Record Request shows that all complaints come from one neighbor. We believe it is arbitrary and capricious to grant the license and deny it 30 days later, when it is actually a revocation and nothing had changed during that time period and all the complaints were filed when client approved in February.

1

Britney Walker: Representative for Mr. David Lambert and Dolores Falkner, direct neighbors to the Covington Castle. Shared driveway, which is the only way client can access their home. States that Mr. Mortensen wants to focus on 13 neighbors. If you review the packet, point to picture show where the property is located, the only actual neighbors are my clients. It is located in a Rural area they are the only actual neighbor. No other neighbors. Short Term Rental taking place at the Covington Castle constantly brings hundreds of people, including party buses, loud music and immense disruption of this low density neighborhood and have prevented clients from peacefully enjoying their home. The Short Term Ordinance makes it clear that it can be denied if it created a nuisance and clearly states that commercial functions are prohibited, which includes receptions, fund raising events, outdoor music and festivals. Mr. Mortensen is not attempting to use the Covington Castle as a getaway for families, he is attempting to use it for large parties and events, which is in direct violation of the ordinance. When we originally talk to Barry Matte, we were informed that Mr. Mortensen could no longer operate the Short Term Rental until he receives the permit. Only at that time the Covington Castle was taken down from the website Air B & B; however, the short term rentals, the parties and the nuisances never stopped. Instead he took other avenues to advertise to lease out the Covington Castle. For example he began working with P Agency Entertainment, which is marketing and consulting company, from New Orleans, to this day, it is listed as an event venue, that you can book the Covington Castle to book an event, a performance, a speaking engagement or a commercial. Even after short term rental was denied, it is still listed today. He also created an account with Gifts and Go, which appears to allow renters to donate to rent the Covington Castle. Days after permit was denied, payment of \$600 was made to reserve for November 11 for cookout for 100 guests. This is not a small party and shows that it is being rented out. Same day payment of \$500 for Labor Day weekend Party September 3rd to 5th, includes details that Covington Castle is located 40 minutes away from New Orleans on Facebook. It is clear that it is being rented out, even after the denial. Other advertisement for Grand Mother 70th birthday party December 9th & 10th. Mr. Mortensen clearly stated to her clients that regardless of the outcome of today's meeting he will continue to advertise it as a short term rental. Even after denial issued, he never stopped using it as a short term rental. The Parish does not reward people who intentionally violate the law. Important to look at the short term ordinance which provides the applicant involved in drugs or felony that the permit should be denied. Mr. Mortensen has pending charges for adult felony, cruelty to juveniles and misdemeanor. Trial taking place on May 9th, which Board should consider. Clients ask that the Board uproar the Planning & Development's denial and allow Mr. Lambert & Mrs. Faulkner to live peacefully. Copies of short term rental advertisement available for the Board to review.

Dolores Faulkner: Chance Mortensen and our property share a connected driveway. The initial issue was that there was no barrier, resulting in all the party people coming over all night long, arriving at 4PM, driving to and turning around into her yard. Blocking driveway with vehicles. Chance Mortensen obtain permit and ask that gate would be put up. After gate was put up, party bus came down driveway, gate was unlocked, came down her driveway and blew the horn. Castle is occupied every weekend causing disturbance. More details provided regarding the situation taking place at the castle.

Anthony Maska: Most of the emails and complaints were submitted at the time that Mr. Mortensen received approval. No explanation provided, 30 days later, permit was revoked. Allegations are not convictions. Not in control of what people put on other websites.

Chance Mortensen: Originally Built castle to live in. March of 2020 open castle to allow people to have private adventure with friends and family. Some guests had parties. Guests stay inside do not go into the yard. Suggested to Mr. David and Ms. Dolores to block shared driveway if they agree. Recommended to put up chain with no trespassing sign. Thought that gate should be installed, chain is easy to take down. Conversations recorded with Mr. David, agreed to put up gate. 14 neighbors surrounding the property line. They are the 2nd closest neighbor. Closest neighbor never complained. Other 13 neighbors signed letter stating no objection to the castle. Hoping for mitigation to make neighbors happy. Visited neighbors with his son. Complaints filed by one address. What can be done to mitigate the situation?

Britney Walker: Castle constructed on the property, in a residential area. It is not meant for large events and it is on an entertainment website to be rented out. Only direct neighbors are our clients. No amendable conversation between the clients. As lawyers, we advised our client to call the police. Mr. Mortensen should have built castle on property where he could have done what he intended to do.

Dolores Faulkner: Hope to have her house and property given as an inheritance. Abutting neighbor has a baseball facility. Not disturbed by abutting neighbor. Tenants of the castle come on her property. Would like to have a peaceful and safe home.

Mr. Blache: Ask Anthony Maska if informational packet was provided 24 hours after the permit was denied? In regards to the Trash removal, was the issue ever rectified? Is it under a contract with a company?

Anthony Maska: Provided approximately within 24 hours. Yes, there is a contract with a garbage company.

Mr. Blache: Complaints have been filed. Have any citations been issued?

Anthony Maska: None.

Mr. Blache: Neighbors are entitled to the quietness of the property and Mr. Mortensen as well. There is a need for a balance. Seems that at this time it is not balanced. How many guests does the Fire Marshall allow you to have for the Short Term Rental? How many guests can stay overnight.

Chance Mortenson: 15 guests according to the number of bedrooms including futon or sofa. It was not stated if we could have more guests or if 15 guests were allowed.

Mr. Blache: Do you have 75 to 100 people showing up for events? This is not an event center, it is a short term rental for overnight rental. Large gatherings should not be taking place on the site.

Chance Mortensen: Agree for the Air B & B but for my personal use, I should be able to have as many guest. If I want to allow someone to get married on my property I can.

Mr. Blache: How can you justify someone advertising that a large number of people will be on the property?

Chance Mortensen: Person called and ask if it would be possible to have a party at the castle. Asked if he was invited. Confirm that he was invited.

Mr. Blache: Is it a paid party?

Chance Mortensen: No, we have some mutual friends. And ask how many people would attend. Approximately 15 people that he knows and other guests invited that he will meet. Person organizing the party will help with cleaning. Donation accepted by person having the party. Other people have made donations for the castle.

Mrs. Thomas: Remind the Board that the request from the applicant is an appeal of the decision of Parish Official to deny the issuance of an administrative permit.

Mr. Spies: Ask questions regarding the definitions of Zoning Designations of A-1, A-2 & RO Rural Overlay.

Mrs. Lambert: Explains zoning designations uses for A-1 & A-2 and states that the RO Rural overlay, is an overlay over the A-1 & A-2 zoning districts and short term rental is listed under administrative permit, under the rural overlay.

Mr. Spies: Hotels would not be allowed?

Mrs. Lambert: Hotels are not allowed under the RO Rural Overlay.

Mr. Daly: New regulation adopted for Short Term Rental. Applicant submitted application form for short term rental. There are some nuisance issues with the site. Do not see how if the Board overrules the staff decisions would do anything. As soon as permit comes back, if there is an event and a nuisance, it would then be suspended, and would take a year to allow to reapply. It feels like there is rectification beyond what the Board do, which is not to judicate the nuisance but more to review.

Mrs. Thomas: The short term agreement states that it sleeps 16 people and that there are 5 rooms.

Mrs. Couvillon: Refers to previous discussion regarding permit issued and then revoked, want to clarify to the Board that the letter sent by Mrs. Cook was an approval for the applicant to seek an occupational license from the Sheriff's office. The Sheriff's office requires that a letter be issued by the Department of Planning & Development to apply for an occupational license and the short term rental regulation requires an occupational license to apply for the short term rental permit. It was not the granting of a permit for Short term rental, it was just the approval to seek an occupational license.

Motion by Mr. Blache and seconded by Mr. Swindell to the deny the request and uphold the decision of Parish official

MOTION CARRIES UNANIMOUSLY

10- BOA CASE NO. 2022-2825-BOA

Request by applicant in an I-2 Industrial Zoning District for waivers of the required western and southern planting buffers and required number of Class A & Class B trees and to reduce the minimum required width of a two way driveway from 24 feet to 18 feet.

The property is located: North end of Marion Lane, Mandeville, Louisiana

Applicant: Magnolia Water Utility Operating Company, LLC - Josiah Cox

Representative: Voelkel McWilliams Construction, LLC – Paysse McWilliams

(Mrs. Lambert read the staff report into the record...)

Paysse McWilliams: Existing site of a sewage treatment facility located within Alamosa Industrial Park. Requesting to add building which would include storage, warehouse and office. There is an existing fence on the site, and it is already cleared. Providing the required buffers would require to remove the fence and clear further to get to the setbacks to create the planting buffers. The objective is for the site to remain as existing since it is already hidden. Existing driveway to access the facility. The existing and new facility will not be for public use, it is only for the employees of Magnolia Water. Improvements will be done to the existing driveway/access. Planning to install a 24 foot concrete apron to facilitate the access to the site. Widening the existing driveway will create more visibility to the treatment facility.

Motion by Daly and seconded by Mr. Spies to approve the variances as requested.

MOTION CARRIES UNANIMOUSLY

11- BOA CASE NO. 2022-2826-BOA

Request by applicant in an A-4 Single Family Residential Zoning District to increase the maximum allowable length of an accessory structure from 50 feet to 60 feet

The property is located: 41473 Herwig Bluff Road Slidell, Louisiana

Applicant & Representative: Mark L. Moreau

(Mrs. Lambert read the staff report into the record...)

Mark L. Moreau: Accessory building is needed for storage. Applied for permit and found out that the proposed building exceeds the maximum allowable square footage.

John McDonald: Neighbor living at 41580 Herwig Bluff Road Slidell. Not oppose to the request. Would like to have more information regarding the request. Saw yellow sign and would like to know the use of the building. Why does the building need to be 50 foot long and where is it going to be located on the property? If variance is granted is it only for the proposed building shown on the attached plan. Concerned about red clay brought to the site and directly abutting his property line.

Mrs. Lambert: Proposed building is an accessory building. Cannot confirm what will be stored in the building. It cannot be used for commercial purpose. It will have to be the same plans attached to the application form and it will have to sit on the property, as shown on the site plan.

John McDonald: What is an acceptable accessory use to an A-4 Zoning?

Mrs. Lambert: Accessory building is accessory to the main residence. Property owner can store his personal belongings.

Mrs. Couvillon: Conditions and stipulations can be added by the Board as part of the motion.

Mark L. Moreau: Storage building will be for trailer, boat and other belongings. Brought red clay fill on the property for the building and will be spread out. Nothing to be build along the property line and/or where the clay was dropped on the property.

Mr. Swindell: Do you know if any other abutting property owners have any objection to the request?

Mark Moreau: I did not contact other adjacent property owners.

Mr. Spies: Mr. Moreau and Mr. McDonald should exchange information to contact each other.

Mr. Blache: Ask Mr. McDonald if he agrees with the proposed location of the accessory building.

John McDonald: After reviewing site plan, no objection.

Motion by Mr. Spies and seconded by to Mr. Blache to approve the variance as requested.

MOTION CARRIES UNANIMOUSLY

12- BOA CASE NO. 2022-2829-BOA

Request by applicant in a HC-3 Highway Commercial Zoning District for an after the fact variance request to allow for the replacement of trees required to be preserved within the buffers, with the required number of Class A & Class B trees

The property is located: 69008 Hwy 190 Service Road, Covington, Louisiana

Applicant & Representative: Brookwood – 190 Covington, LLC

(Mrs. Lambert read the staff report into the record...)

Robert Piper: Developer of the project. Caught between demolition contractor and site work contractor, which accepted responsibility for taking down trees tagged. Revised landscape plan submitted to replace all the trees to bring back into compliance with appropriate species, size, caliper and spacing. Crape Myrtle replaced with same species in the front.

Motion by Mr. Blache and seconded by Mr. Daly to approved the variances as requested according to plan submitted.

MOTION CARRIES UNANIMOUSLY

13- BOA CASE NO. 2022-2831-BOA

Request by applicant in an A-3 Suburban Zoning District to reduce the required rear yard setback from 30 feet to 6 feet to add a staircase and a balcony to an existing single family residence.

The property is located: 115 Holly Street, Mandeville, Louisiana

Applicant & Representative: Robert H. Berning III

(Mrs. Lambert read the staff report into the record...)

Jeff Shoen: Representative for the property owner. Previous 4 steps staircase protruded within 10 setback in the rear of structure. Proposed a 4 foot wide balcony and staircase wrap around the structure. No grounding of proposed staircase in the 10 setback area. Refer to 3rd page of staff report, which is a survey. Focus on structure located lot 32-D1B and on the northerly an easterly side of the structure. It appears to be 10 feet from the property line. Also want to address nearest abutting neighbor to the north. Structure 1700 square feet, approximately 100 years old built at grade. Affected by Hurricane Ida, bring 7 feet of water. Elevated main home facing the lake and also the structure in question. Obtained building permit to meet FEMA requirements BFE of 11 feet. Construction almost completed. Raising of the home did not focus on exit located on the east side /door on the east side of the property. Door was previously accessed from 4 foot step, located within the 10 foot setback. Exist door is approximately 11 feet in the air. Door gives access to a bedroom. In the event of a fire in the center of the home, it would cause a problem unless if jumping. Architect suggested installing balcony that would wrap around the structure and have staircase that would touch the ground but in the middle of the structure, not within the 10 foot setback area. In support of variance request, balcony protrude only 4 feet in the air within the 10 foot setback area. Refer to photographs in packet submitted. Existing A/C supported in air space. Other attachments in packets, look at No. 2. Email sent by abutting neighbor to the north, no objection to the requested variance. No 3 sketch showing balcony and staircase. No 4 provide copy of the regulation regarding UDC Sec. 130-2074. (2) A roof, gutter, eave, fixed awning, marquee or canopy, attached to a building but having no other support, may project no more than five feet into a required front, side or rear yard, if a minimum distance of two feet remains open to the sky between the farthest projection and the lot lines. Code envision possibility structure going into air space. No. 5 is a letter from architect review of life safety issue, door is needed. Request a 4 foot variance to allow for needed door, balcony and staircase air space within 10 foot setback.

Salem David: Son of abutting property owner to the east. Father sent letter expressing concern. Existing house is only 10 feet from the property line. House was raised quickly without consulting with abutting property owner. House could have been moved further into the property which would have avoided request for variance. Variance not necessary. No hardship presented. Alluded to potential fire and need for the door to exit. Bedroom has multiple windows. Other doors granting access to the bedroom in question. The rear of their property is side of abutting neighbor. There are already 2 existing exits and the bedroom windows. If owner wants to have exit from bedroom, other options possible that do not infringe into the setbacks. Abutting residence is historical home built in 1940. Will affect the value of the property. Provide other options to have direct access to

the bedroom. It is encroaching 4 feet into the setback even if it up in the air. It used to be a small staircase low to the ground, now it has been extended as a balcony much longer.

Jeff Shoen: There has been discussion with abutting neighbor. Homeowner experience 7 feet of water. Obtain permits to elevate the house. Intrusion into the air space, can see the landing on the drawing. Existing greenery, abutting neighbor's house is approximately 100 feet from elevated house. The code allows for some structure within the air space. If no door or structure would have been present on that side it would be a totally different situation. Door has been in place for 100 years. Stairs have more than likely been replaced. Want to make sure that exit is there for anyone who needs to exit bedroom. Existing door should be used and should not have to be relocated. It is not a sitting balcony, it is only to have access to the staircase. There could be a fire and access to other doors may not be possible, confirmed by architect and fire code. Previous staircase was grand fathered. Opportunity to minimize disturbance. Staircase is not intruding into the 10 foot setback. Hardship has been presented and solutions and Board has reason to support solutions. Ask to grant the variance.

Salem David: Should have contacted abutting property owner and should have move the residence into the property instead of only moving up 11 feet. Door may not have been in the original plan. Emergency egress can be provided from windows. No hardship presented.

Mr. Blache: Refer to sketch provided potential sitting area on the balcony, did you consider stopping the balcony just past the door, at the 1st piling instead of a wrap-around deck?

Jeff Shoen: It is not large enough to be a sitting area. Only 4 foot wide. Setback to have access to the bathroom around/water tank.

Mr. Blache: No objection since there is already a platform for the AC. I would like to see a natural screening.

Jeff Shoen: Can continue the bamboo planting that is currently in the front along the property, up to the northeast corner of the property.

Mr. Blache: I do not like the wrap around balcony. Should be only for access to the utility.

Mr. Daly: Was there any consideration to move the door to the north side of the structure?

Jeff Shoen: No real consideration. Cost prohibitive due to the location of plumbing and bathroom.

Mr. Daly: Ask questions regarding configuration of the residence and location of existing windows.

Mr. Berning: The bathroom is in the corner.

Mr. Daly: Yes, where the water tank is located. What is located next to the large windows?

Mr. Berning: It is the Bedroom.

Mr. Shoen: It is not impossible but not practical since there has always been an access on the east side with steps. No reason to reconfigure the location of the door.

Mr. Swindell: Oversight when the house was elevated. Why not moving the door to inside wall? It appears that some options have not been presented. Not sure that there is a case that the door is the same as when it was at ground level. Living next door, concerned that someone may place chair on balcony and look over the abutting property. Not a concern when house was on the ground level. Other options considered?

Jeff Shoen: Suggested that vegetation/screening could be planted. Not expecting any opposition to the requested variance. There is one structure, the one to be built, 40 feet away from the residence. If the door is moved to the north, it will be in plane view to the future abutting residence to the north. Looking at the neighboring property to the east, most of the time will be spent to the south of the house. Door should remain as a functional manner but also need to consider hardship related to life safety issues.

Motion by Mr. Spies and seconded by Mr. Daly to approve the variances as requested subject to planting a bamboo buffer from the existing buffer, along the east side of the property line, up to the northern corner of the property.

MOTION CARRIES UNANIMOUSLY

OLD BUSINESS

Mrs. Thomas: Explained that she had a conversation with Chairman Tom Ballantine regarding the right for the Chairman to make a motion. According to Roberts Rules, the Chairman can make a motion and second due to the small size of the Board. It should not be done frequently because It gives an impression of partiality.

Mrs. Couvillon: Board has to apply Roberts Rules and open meeting laws. AG opinion states that Chair should not make motions but if Chair wants to make motion they can temporarily give their Chair position to another member of the Board to make a motion on the case.

Mr. Daly: There has been only a few times when no motion was made. I supposed it would be the time when the Chair could make a motion.

NEW BUSINESS

Mr. Blache: Ask for an update regarding the resolution from the Board to increase the fees for after the fact requests.

Mrs. Couvillon: It is on the June Council Agenda for final vote.

Mr. Blache: Feels that it is best to denial after the fact requests. Increase in fees should reduce the number of after the fact requests.

Mrs. Couvillon: Important that all Board members speak in the microphone as well as the speakers in the audience, since the meeting is being recorded and broadcast. Some cases may be appealed to the 22nd JDC and the recording is the most important record that the judge will consider.

ADJOURNMENT: Mrs. Thomas, VICE-CHAIRMAN

MOTION CARRIED UNANIMOUSLY

MR. TOM BALLANTINE, CHAIRMAN
ST. TAMMANY PARISH BOARD OF ADJUSTMENTS

Disclaimer: These minutes are intended to represent an overview of the meeting and general representation of the testimony given; and therefore, does not constitute verbatim testimony or a transcription of the proceedings.

**ST. TAMMANY PARISH BOARD OF ADJUSTMENT
STAFF ANALYSIS REPORT**

Case File Number:	BOA Case No. 2022-2817-BOA
2 nd Hearing Date:	06/07/2022
Initial Hearing Date:	05/03/2022
Date of Report:	05/31/2022

GENERAL INFORMATION

Applicant & Representative:	Impastato Cellars, LLC – Mica Impastato
Location of Property:	240 Highway 22 E, Madisonville, Louisiana
Zoning of Property:	HC-2 Highway Commercial Zoning District.
Variance(s) Requested:	Waiver of required street planting buffer.

OVERVIEW

Request by applicant for a variance to waive the required street planting buffer to provide additional parking spaces.

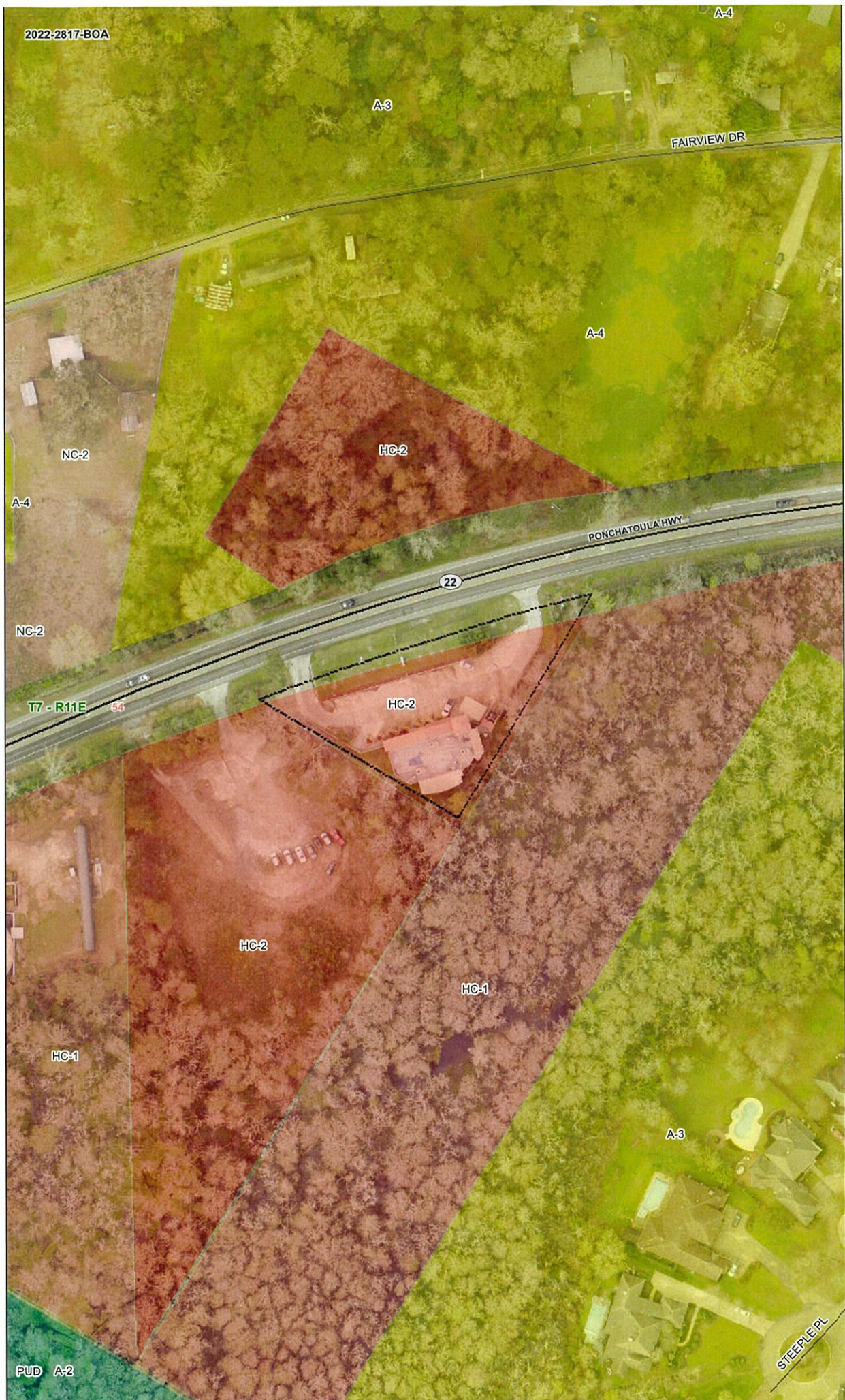
STAFF COMMENTS

As per the Unified Development Code Sec.130-1976 (a) (1) and (f) (1) a. A street planting area shall be provided along the street or road along which a property abuts and a minimum of 1 Class A & 1 Class B trees shall be provided every 30 feet and a minimum of 1 shrub shall be provided every 10 feet.

The objective of the request is to eliminate the required street planting area and required number of trees and shrubs to provide 8 additional parking spaces for the customers dining at the restaurant. While the minimum required number of parking spaces is provided on the site, there is no objection to the request considering that the additional spaces will prevent parking within the highway right of way, which causes safety concerns for the pedestrians and vehicles. The configuration of the property prevents the addition of parking spaces elsewhere within the site.

Should the Board be in favor of the request, it should be subject to:

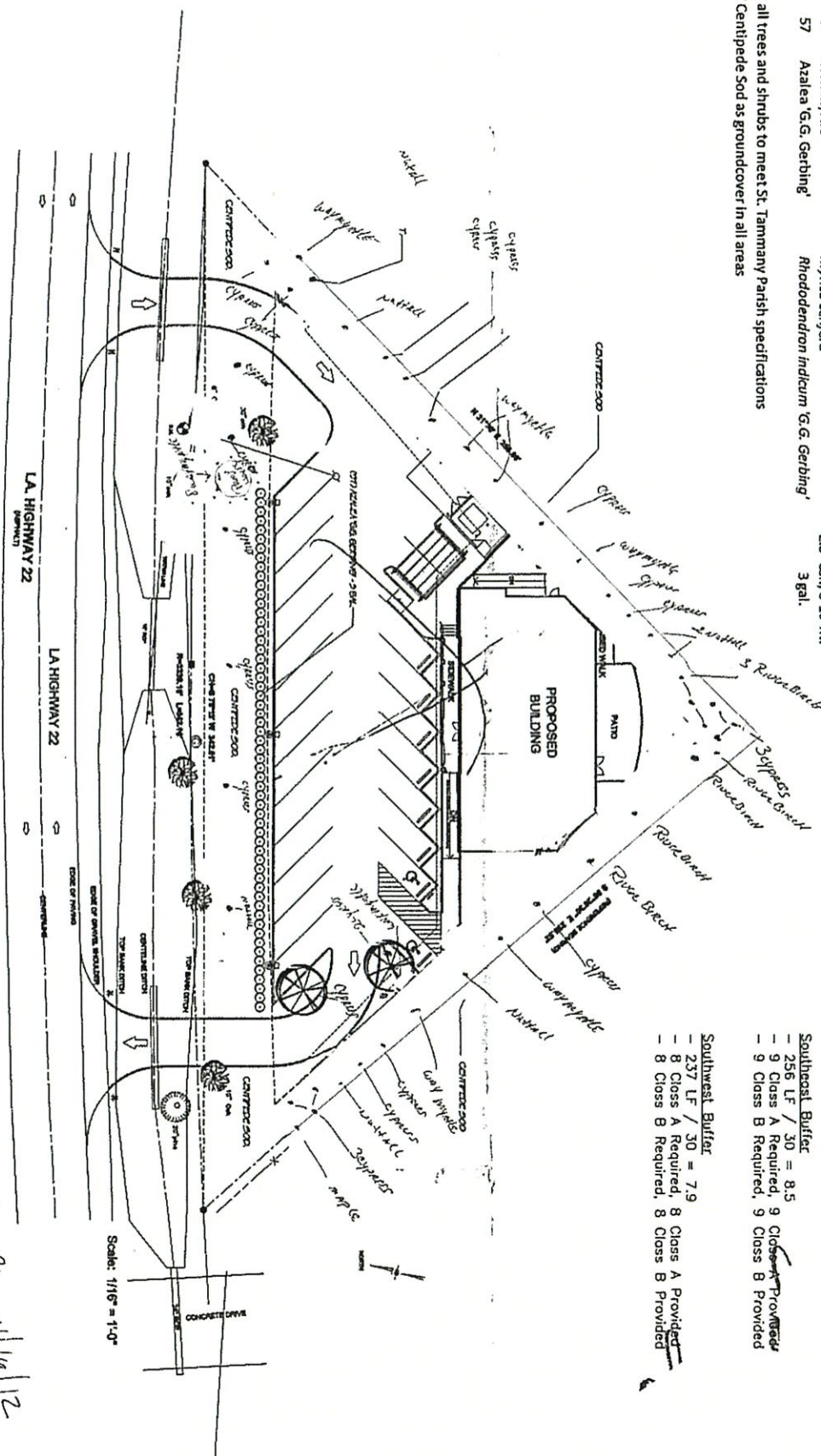
- Providing a revised landscape plan showing the required number of shrubs and species (minimum of 35 shrubs). Shrubs shall be planted before completion of the project.
- Payment to the tree bank for the required 12 Class A & 12 Class B trees.
- Submit revised site plan showing the correct orientation of the circulation/arrows.
- Apply for a site work permit.



PLANT LIST:

QTY.	COMMON NAME	LATIN NAME	SIZE
9	Bald Cypress	<i>Toxodium distichum</i>	2.5" cal., 10-12' ht.
10	Red Swamp Maple	<i>Acer rubrum var. drummondii</i>	2.5" cal., 10-12' ht.
11	River Birch	<i>Betula nigra</i>	2.5" cal., 8-10' ht.
7	Wax Myrtle	<i>Myrica cerifera</i>	2.5" cal., 8-10' ht.
57	Azalea G.G. Gerbing ¹	<i>Rhododendron indicum</i> G.G. Gerbing ¹	3 gal.

* all trees and shrubs to meet St. Tammany Parish specifications
 * Centipede Sod as groundcover in all areas



- North Street Buffer
 - 342 LF / 30 = 11.4
 - 12 Class A Required
 - 12 Class B Required
 - 24 Tree Credits Preserved
 - 35 Shrubs Required, 57 Provided as Parking Screen
- Southwest Buffer
 - 256 LF / 30 = 8.5
 - 9 Class A Required, 9 Class B Provided
 - 9 Class B Required, 9 Class B Provided
- Southwest Buffer
 - 237 LF / 30 = 7.9
 - 8 Class A Required, 8 Class A Provided
 - 8 Class B Required, 8 Class B Provided

EDDIE LEWIS @ F. W. R. W. L. 985-966-2205 cell
 12-2012
 11/16/12

IMPASTATO'S CELLARS

LOUISIANA LANDSCAPE





		URBAN SYSTEMS Inc. 2000 Tulane Avenue, Suite 200 New Orleans, Louisiana 70112 504.523.5511		DESIGNED BY: NKS CHECKED BY: - DRAWN BY: KP CHECKED BY: NKS APPROVED BY: NKS DATE: MARCH 2022		JOB No. 2021-013 SCALE: 1" = 40' SHEET NUMBER 1	
IMPASATO CELLARS ST. ST. TAMMANY PARISH, LOUISIANA		CONCEPTUAL PLAN - EAST ENTRANCE					

**ST. TAMMANY PARISH BOARD OF ADJUSTMENT
STAFF ANALYSIS REPORT**

Case File Number:	BOA Case No. 2022-2819-BOA
2 nd Hearing Date:	06/07/2022
Initial Hearing Date:	05/03/2022
Date of Report:	05/31/2022

GENERAL INFORMATION

Applicant & Representative:	Lee Robinson and John Martinez
Location of Property:	515 & 519 Brewster Road, Madisonville, Louisiana
Zoning of Property:	A-3 Suburban Zoning District.
Variance(s) Requested:	Reduce required no-cut buffers

OVERVIEW

Request by applicant for an after the fact request to reduce the required 50 foot no cut buffer on the west side of the property and replant with a new vegetative buffer.

STAFF COMMENTS

As per the Unified Development Code Sec. 130-2250. (b) (2) A minimum uncut buffer of 50 buffer feet in depth shall be required adjacent to residential zoning district.

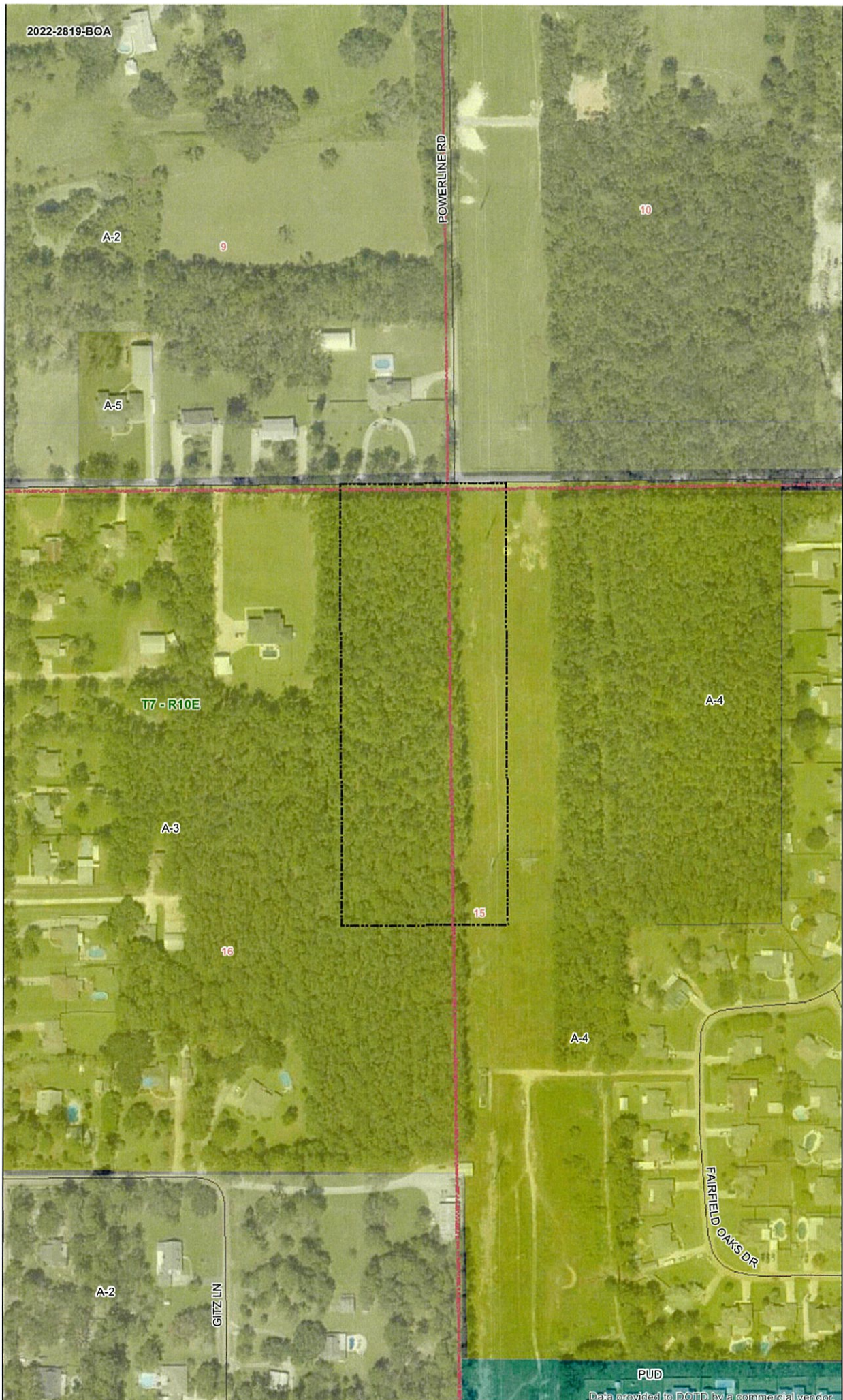
The after the fact request is to allow for the replanting of the inadvertently removed 50 foot required no cut buffer on the western sides of Parcels A-1 & A-2. The proposed replanting consists of a vegetative buffer/bamboo only along the western side of Parcel A-2. No replanting is proposed along the common property line between Parcels A-1 & A-2 to allow for both driveways to Parcels A-1 & A-2 to be located along the common property line, resulting in the creation of only one larger access driveway from Brewster Road.

Note that the following information, which results in the reduction of the total acreage of both parcels, should be taken into consideration:

- No construction is permitted within the 100 foot Powerline Right of way located along the eastern side of the parcels (see attached survey).
- A pond, crossing the middle property line, is proposed to be provided meet the drainage requirements.

Should the Board be in favor of the request, as proposed, to replant a row of bamboo along the western property line, it should be subject to the following:

- Submit a landscape plan showing the proposed replanting and impose a timeline to complete the replanting of the bamboo (before occupancy is granted).



Narrative for Case 2022-2819-BOA

When John Martinez and Lee Robinson purchased this property, we started off with consulting the Planning and Development Dept on steps to resubdivide the property on 11/19/20. With the provided info, we applied for a resub and got approval from the Zoning Committee on 2/9/21. We also reached out to the surrounding neighbors and provided our contact info to them to ensure they had a way to reach us throughout the development.

We received a land clearing permit on 10/20/21. During the clearing of the property, there was a misunderstanding and the buffer along the western edge of parcel A-1 & A-2 was inadvertently removed when our contractor was clearing for the driveway. After discussing with the Planning Dept as well as our neighbor (James Ellis), we all came to an agreement that the situation could be resolved by planting a vegetative bamboo buffer (living fence) to rectify the inadvertent removal of the buffer.

On 11/9/21, we appeared before the BOA committee for a variance to install a pond between parcels A-1 & A-2 and it was approved. We received the pond permit on 12/7/21.

Regarding the removal of the buffer, we are asking the BOA committee for approval to plant the Bamboo along the western side of the parcels.

Note: On the Eastern edge of both parcels, there is a 100' right of way that cannot be utilized.

Thank you for your consideration.



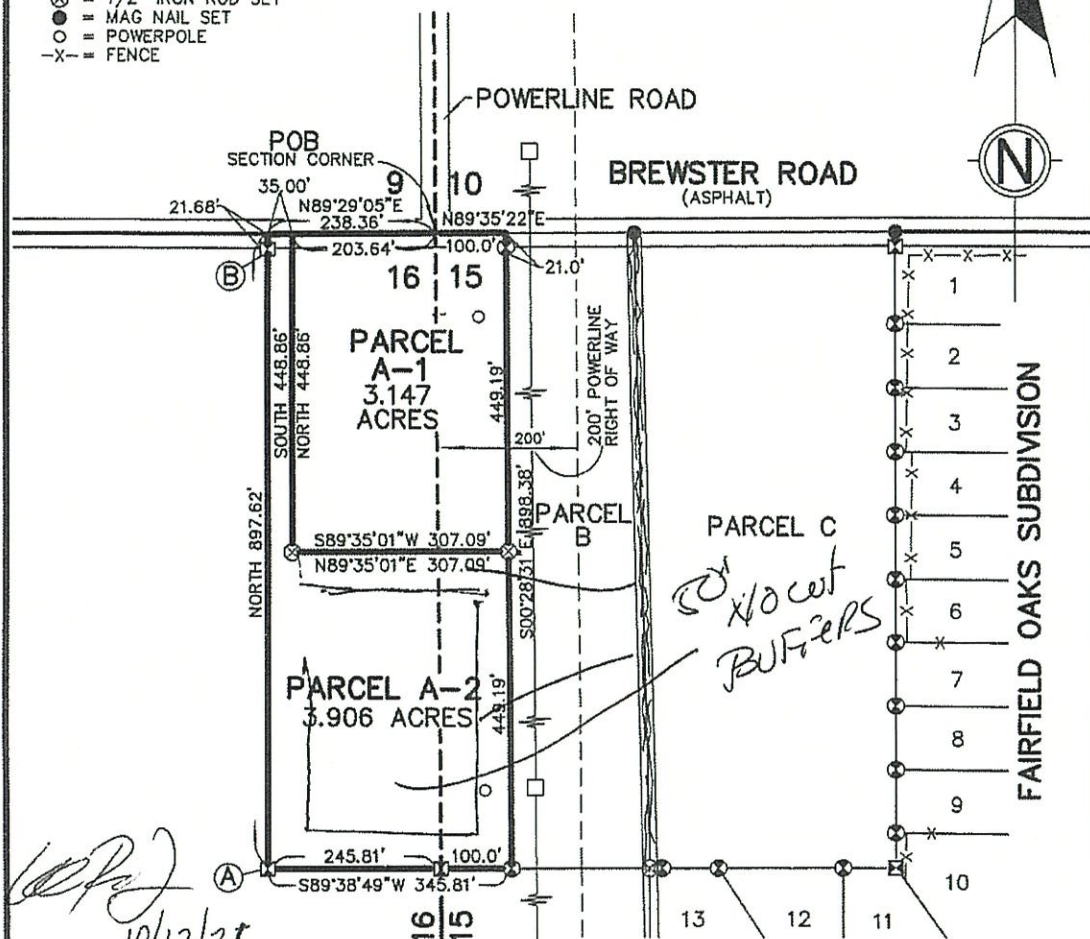
Lee Robinson



John Martinez

- LEGEND**
- ☒ = 1-1/2" SQUARE BAR FOUND
 - ⊗ = 1/2" IRON ROD FOUND
 - ⊗ = 1/2" IRON ROD SET
 - = MAG NAIL SET
 - = POWERPOLE
 - X- = FENCE

REFERENCE BEARING:
Square Bar A to Square Bar B
North
(per Reference Survey)



NOTES:

1. Front Yard Setback shall begin at the southern edge of the parish asphalt right of way.
2. This property is located in Flood Zone C, per F.E.M.A. Map No. 225205 0205 C, dated October 17, 1989.

REFERENCE SURVEY:

Survey for Astrid Koppenol by John G. Cummings, Surveyor, dated May 14, 2019, Job No. 18286-A, filed St. Tammany Parish Clerk of Court Map No. 5869F.

THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND/OR RESTRICTIONS HAVE BEEN SHOWN HEREON. ANY SERVITUDES AND/OR RESTRICTIONS SHOWN ON THIS PLAT ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION AND/OR INFORMATION FURNISHED THE UNDERSIGNED. A TITLE OR PUBLIC RECORD SEARCH FOR SUCH INFORMATION WAS NOT MADE BY THE UNDERSIGNED IN COMPILING DATA FOR THIS SURVEY.

APPROVAL:

CHAIRMAN OF THE PARISH PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

SECRETARY OF THE PARISH PLANNING COMMISSION

CLERK OF COURT Amy White, Deputy Clerk

2-25-2021
DATE FILED

5993D
FILE NO.

(985) 892-1549

John G. Cummings and Associates
PROFESSIONAL LAND SURVEYORS

FAX (985) 892-9250

503 N. JEFFERSON AVENUE

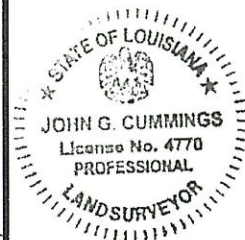
COVINGTON, LA 70433

PLAT PREPARED FOR: **Ervin & Karen Robinson and John & Jennifer Martinez**

SHOWING A SURVEY OF: AMENDED MINOR SUBDIVISION OF 7.053 ACRES BEING PARCEL A INTO PARCELS A-1 & A-2, LOCATED IN SECTIONS 15 & 16, TOWNSHIP 7 SOUTH, RANGE 10 EAST, ST. TAMMANY PARISH, LOUISIANA.

THIS PLAT REPRESENTS A PHYSICAL SURVEY MADE ON THE GROUND BY ME, OR THOSE UNDER MY DIRECTION, AND IS IN ACCORDANCE WITH THE APPLICABLE STANDARDS OF PRACTICE AND BEARS A CLASS C SURVEY.

PROFESSIONAL LAND SURVEYOR



SCALE: 1" = 200'

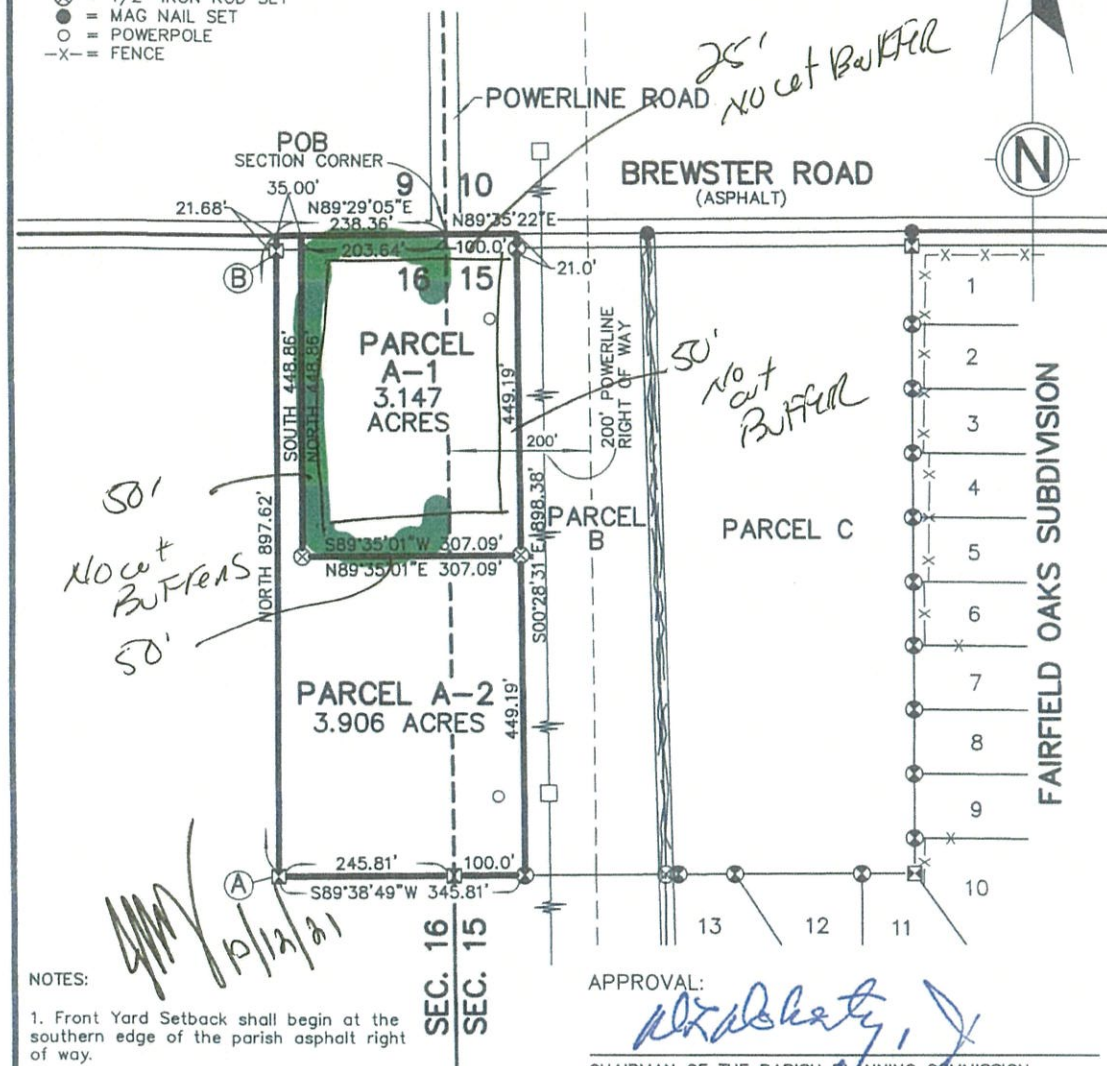
JOB NO. 18286-A1-DS

DATE: 12/22/2020

REVISED:

- LEGEND**
- ☒ = 1-1/2" SQUARE BAR FOUND
 - ⊙ = 1/2" IRON ROD FOUND
 - ⊗ = 1/2" IRON ROD SET
 - = MAG NAIL SET
 - = POWERPOLE
 - X- = FENCE

REFERENCE BEARING:
Square Bar A to Square Bar B
North
(per Reference Survey)



NOTES:

1. Front Yard Setback shall begin at the southern edge of the parish asphalt right of way.
2. This property is located in Flood Zone C, per F.E.M.A. Map No. 225205 0205 C, dated October 17, 1989.

REFERENCE SURVEY:

Survey for Astrid Koppenol by John G. Cummings, Surveyor, dated May 14, 2019, Job No. 18286-A, filed St. Tammany Parish Clerk of Court Map No. 5869F.

THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND/OR RESTRICTIONS HAVE BEEN SHOWN HEREON. ANY SERVITUDES AND/OR RESTRICTIONS SHOWN ON THIS PLAT ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION AND/OR INFORMATION FURNISHED THE UNDERSIGNED. A TITLE OR PUBLIC RECORD SEARCH FOR SUCH INFORMATION WAS NOT MADE BY THE UNDERSIGNED IN COMPILING DATA FOR THIS SURVEY.

APPROVAL:

CHAIRMAN OF THE PARISH PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

SECRETARY OF THE PARISH PLANNING COMMISSION

CLERK OF COURT Amy White, Deputy Clerk

DATE FILED

FILE NO.

(985) 892-1549

John G. Cummings and Associates
PROFESSIONAL LAND SURVEYORS

FAX (985) 892-9250

503 N. JEFFERSON AVENUE

COVINGTON, LA 70433

PLAT PREPARED FOR: **Ervin & Karen Robinson and John & Jennifer Martinez**

SHOWING A SURVEY OF: AMENDED MINOR SUBDIVISION OF 7.053 ACRES BEING PARCEL A INTO PARCELS A-1 & A-2, LOCATED IN SECTIONS 15 & 16, TOWNSHIP 7 SOUTH, RANGE 10 EAST, ST. TAMMANY PARISH, LOUISIANA.

THIS PLAT REPRESENTS A PHYSICAL SURVEY MADE ON THE GROUND BY ME, OR THOSE UNDER MY DIRECTION, AND IS IN ACCORDANCE WITH THE APPLICABLE STANDARDS OF PRACTICE AND BEARS A CLASS C SURVEY.

PROFESSIONAL LAND SURVEYOR



SCALE: 1" = 200'

JOB NO. 18286-A1-DS

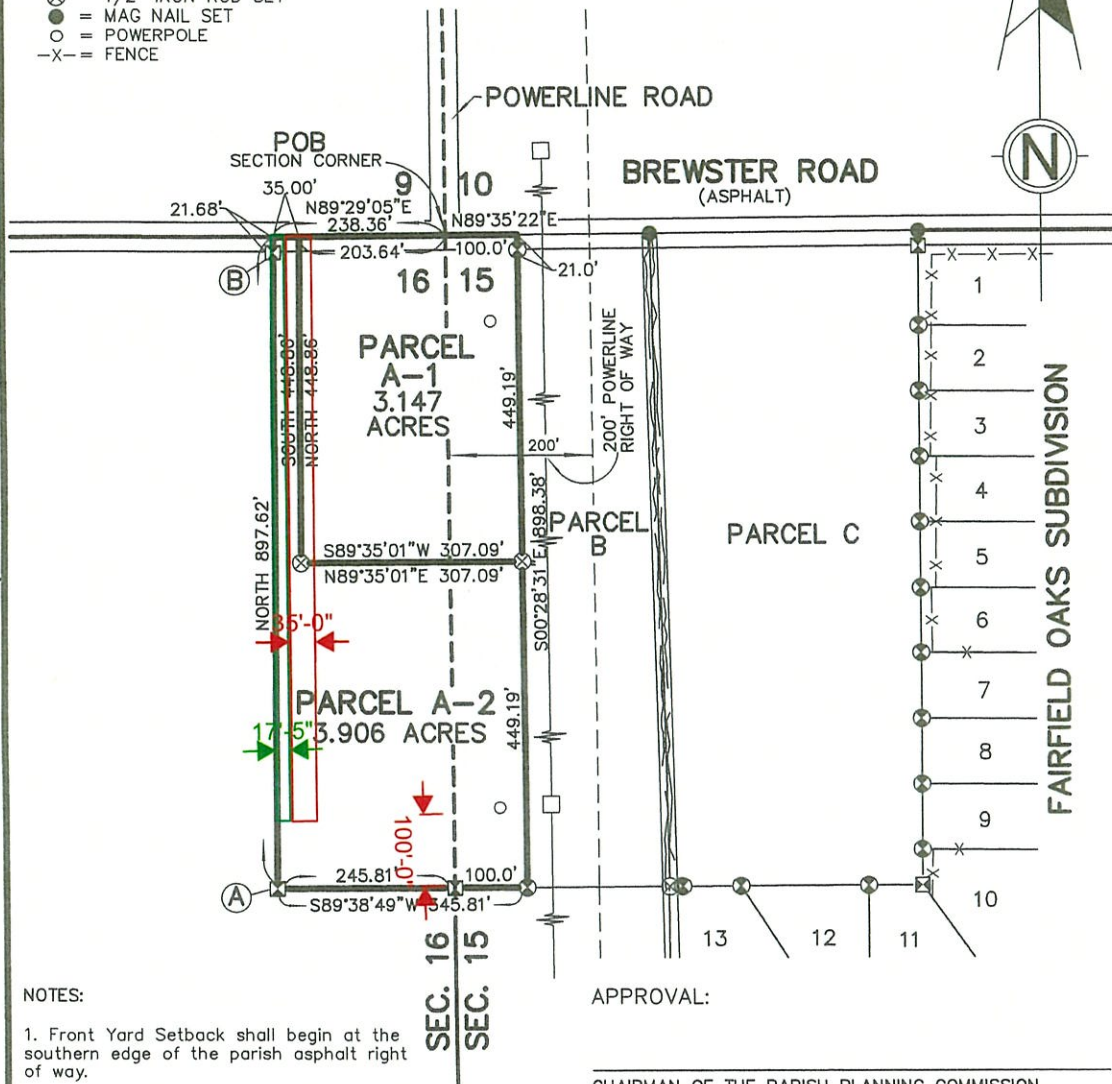
DATE: 12/22/2020

REVISED:

LEGEND

- ☒ = 1-1/2" SQUARE BAR FOUND
- ⊗ = 1/2" IRON ROD FOUND
- ⊗ = 1/2" IRON ROD SET
- = MAG NAIL SET
- = POWERPOLE
- X- = FENCE

REFERENCE BEARING:
Square Bar A to Square Bar B
North
(per Reference Survey)



NOTES:

1. Front Yard Setback shall begin at the southern edge of the parish asphalt right of way.

2. This property is located in Flood Zone C, per F.E.M.A. Map No. 225205 0205 C, dated October 17, 1989.

REFERENCE SURVEY:

Survey for Astrid Koppenol by John G. Cummings, Surveyor, dated May 14, 2019, Job No. 18286-A, filed St. Tammany Parish Clerk of Court Map No. 5869F.

THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND/OR RESTRICTIONS HAVE BEEN SHOWN HEREON. ANY SERVITUDES AND/OR RESTRICTIONS SHOWN ON THIS PLAT ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION AND/OR INFORMATION FURNISHED THE UNDERSIGNED. A TITLE OR PUBLIC RECORD SEARCH FOR SUCH INFORMATION WAS NOT MADE BY THE UNDERSIGNED IN COMPILING DATA FOR THIS SURVEY.

APPROVAL:

CHAIRMAN OF THE PARISH PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

SECRETARY OF THE PARISH PLANNING COMMISSION

CLERK OF COURT

DATE FILED

FILE NO.

(985) 892-1549

John G. Cummings and Associates
PROFESSIONAL LAND SURVEYORS

FAX (985) 892-9250

503 N. JEFFERSON AVENUE

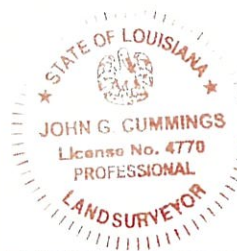
COVINGTON, LA 70433

PLAT PREPARED FOR: **Ervin & Karen Robinson and John & Jennifer Martinez**

SHOWING A SURVEY OF: AMENDED MINOR SUBDIVISION OF 7.053 ACRES BEING PARCEL A INTO PARCELS A-1 & A-2, LOCATED IN SECTIONS 15 & 16, TOWNSHIP 7 SOUTH, RANGE 10 EAST, ST. TAMMANY PARISH, LOUISIANA.

THIS PLAT REPRESENTS A PHYSICAL SURVEY MADE ON THE GROUND BY ME, OR THOSE UNDER MY DIRECTION, AND IS IN ACCORDANCE WITH THE APPLICABLE STANDARDS OF PRACTICE AND BEARS A CLASS C SURVEY.

PROFESSIONAL LAND SURVEYOR

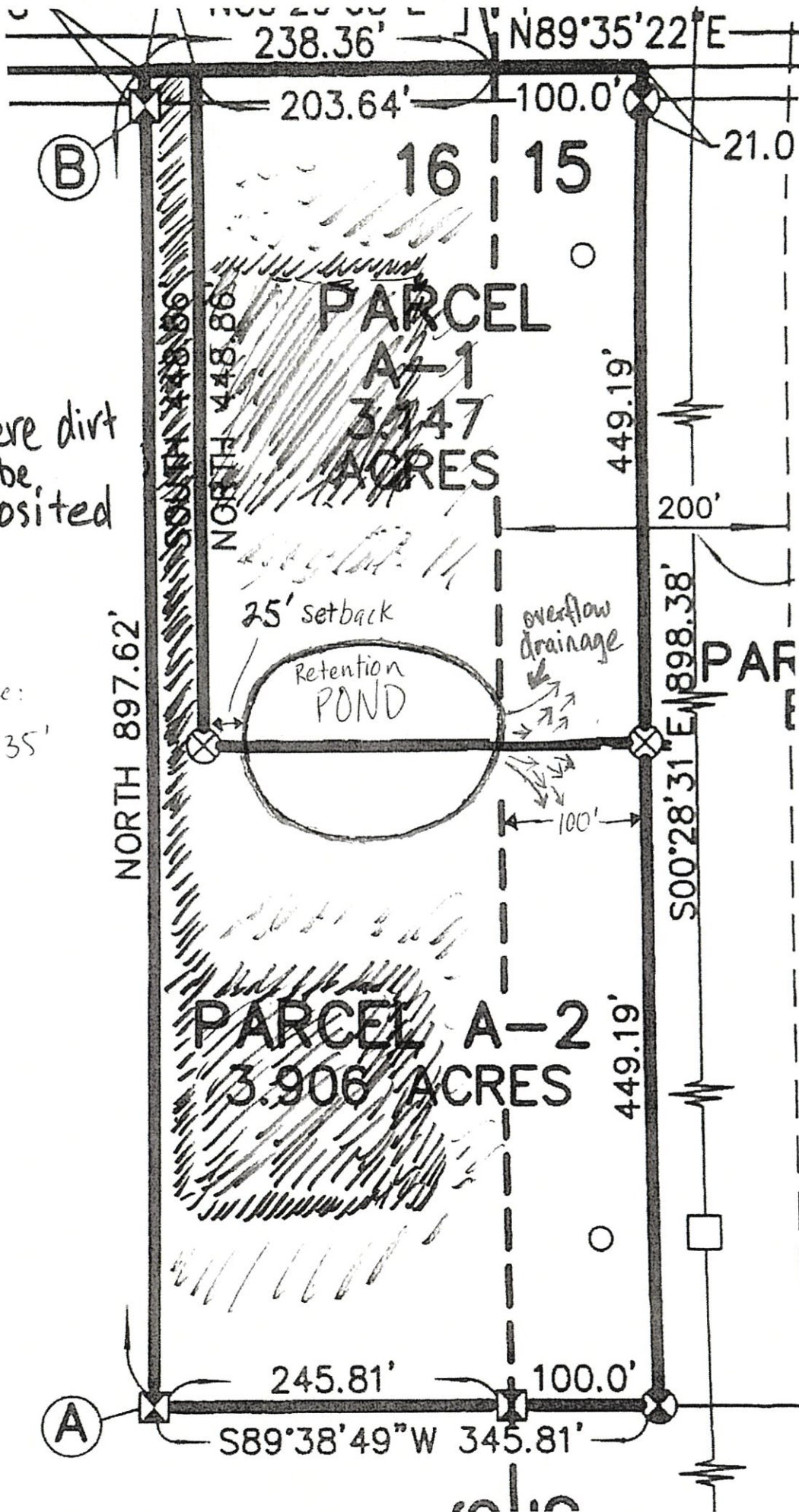
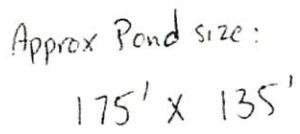


SCALE: 1" = 200'

JOB NO. 18286-A1-DS

DATE: 12/22/2020

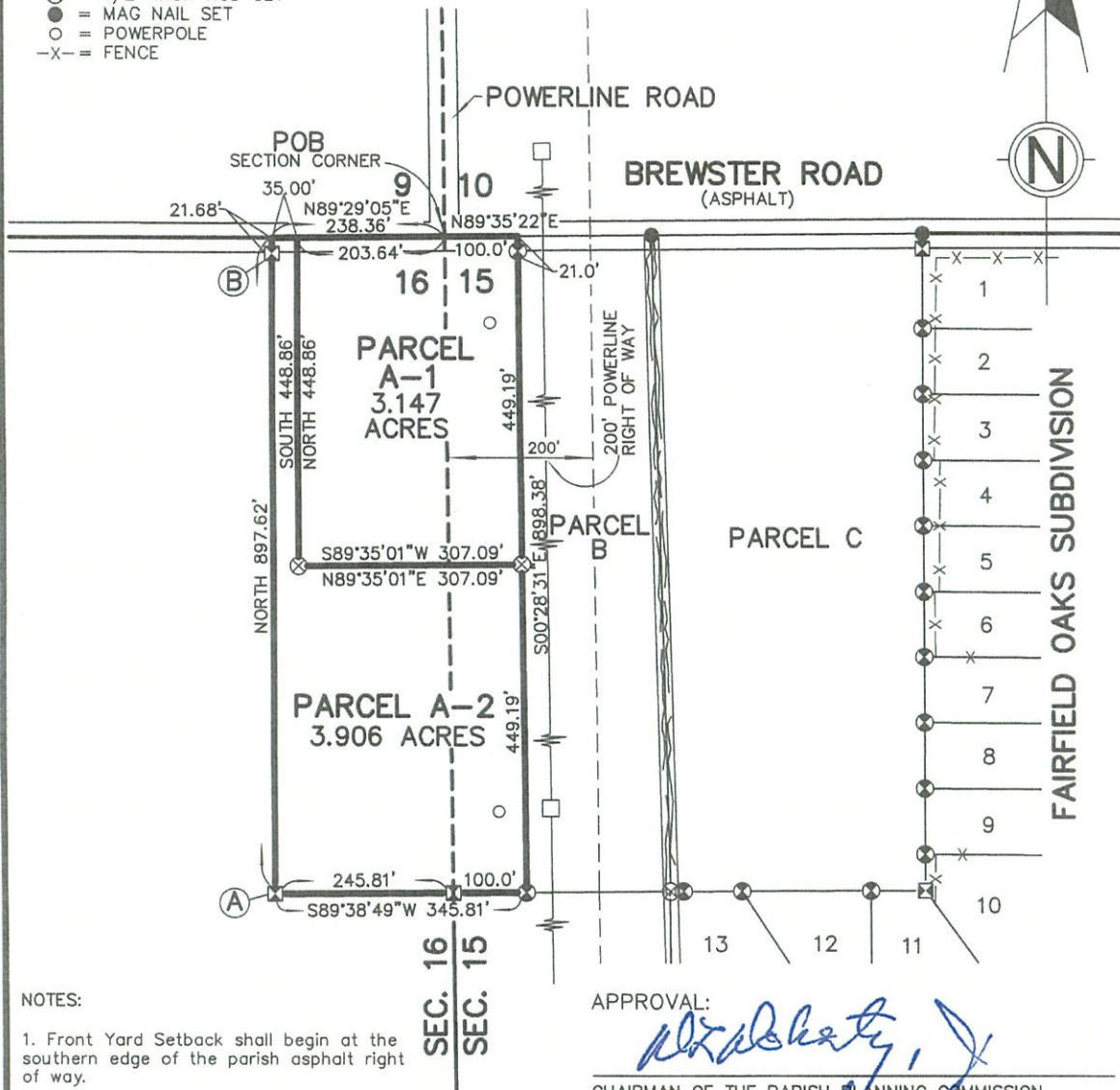
REVISED:



LEGEND

- ⊠ = 1-1/2" SQUARE BAR FOUND
- ⊗ = 1/2" IRON ROD FOUND
- ⊗ = 1/2" IRON ROD SET
- = MAG NAIL SET
- = POWERPOLE
- X- = FENCE

REFERENCE BEARING:
Square Bar A to Square Bar B
North
(per Reference Survey)



NOTES:

1. Front Yard Setback shall begin at the southern edge of the parish asphalt right of way.
2. This property is located in Flood Zone C, per F.E.M.A. Map No. 225205 0205 C, dated October 17, 1989.

REFERENCE SURVEY:

Survey for Astrid Koppenol by John G. Cummings, Surveyor, dated May 14, 2019, Job No. 18286-A, filed St. Tammany Parish Clerk of Court Map No. 5869F.

THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND/OR RESTRICTIONS HAVE BEEN SHOWN HEREON. ANY SERVITUDES AND/OR RESTRICTIONS SHOWN ON THIS PLAT ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION AND/OR INFORMATION FURNISHED THE UNDERSIGNED. A TITLE OR PUBLIC RECORD SEARCH FOR SUCH INFORMATION WAS NOT MADE BY THE UNDERSIGNED IN COMPILING DATA FOR THIS SURVEY.

APPROVAL:

CHAIRMAN OF THE PARISH PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

SECRETARY OF THE PARISH PLANNING COMMISSION

CLERK OF COURT Amy White, Deputy Clerk

DATE FILED

FILE NO.

(985) 892-1549

John G. Cummings and Associates

FAX (985) 892-9250

503 N. JEFFERSON AVENUE

PROFESSIONAL LAND SURVEYORS

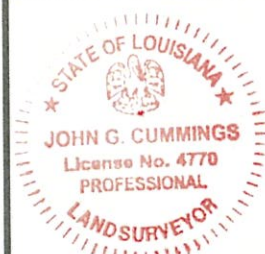
COVINGTON, LA 70433

PLAT PREPARED FOR: **Ervin & Karen Robinson and John & Jennifer Martinez**

SHOWING A SURVEY OF: AMENDED MINOR SUBDIVISION OF 7.053 ACRES BEING PARCEL A INTO PARCELS A-1 & A-2, LOCATED IN SECTIONS 15 & 16, TOWNSHIP 7 SOUTH, RANGE 10 EAST, ST. TAMMANY PARISH, LOUISIANA.

THIS PLAT REPRESENTS A PHYSICAL SURVEY MADE ON THE GROUND BY ME, OR THOSE UNDER MY DIRECTION, AND IS IN ACCORDANCE WITH THE APPLICABLE STANDARDS OF PRACTICE AND BEARS A CLASS C SURVEY.

PROFESSIONAL LAND SURVEYOR



SCALE: 1" = 200'

JOB NO.

18286-A1-DS

DATE:

12/22/2020

REVISED:



Jonathan S. Forester
forester@rllaw.com

1100 Poydras Street, Suite 1100
New Orleans, LA 70163

(504) 581-3300
Fax: (504) 581-3310

May 3, 2022

VIA EMAIL: Hlambert@stpgov.org

St. Tammany Parish Board of Adjustment
Attn: Helen Lambert
21454 Koop Drive, Suite 1B
Mandeville, LA 70471

**RE: Supplemental Letter of No Support/Objection to After-the-Fact Variance
Request by Lee Robinson and John Martinez (BOA Case No. 2022-2819-
BOA)
Our File: 000275-220062**

Dear St. Tammany Parish Board of Adjustment,

Please let this letter serve as a supplement to our position regarding the St. Tammany Board of Adjustment's power to grant variances or appeals, to address the five pertinent factors, which warrant the denial of the requested variance.

As an overview, Mr. Ellis is the neighboring property owner to Mr. Robertson and Mr. Martinez. Robertson and Martinez have cut down over 50 feet over trees in a no cut buffer zone adjacent to Mr. Ellis' property even though they were fully aware they were not supposed to cut these trees. They submitted a proposal to replace these trees. The proposal is to plant a row of bamboo in place of 50 feet of trees. This proposal is not an adequate solution. They misrepresented to the board that Mr. Ellis agreed to this proposal. This is simply not true.

Mr. Ellis believes the bamboo would be an inadequate solution and requests Mr. Robertson and Mr. Martinez hire a landscape architect as required for an original clearing permit under Ch. 130 Article VII, Div. 2.

- 1. The variance should not be granted because the granting of the variance would just be a self-imposed request.**

Neighbors provide no explanation as to why they want to provide only one row of bamboo as a replacement for the buffer zone. There is no explanation as to utility or benefit to the city. It is only because this is their preference- likely due to the relatively inexpensive nature of bamboo.

- 2. The variance should not be granted in the event Mr. Martinez and Mr. Robinson claim it is a financial hardship.**

Although, Mr. Martinez and Mr. Robinson have not yet made any assertions as to why this variance is requested, in the event they claim it is more economical to plant a row of bamboo, this factor should weigh in favor of denying the variance.

- 3. The variance/appeal request does not present a practical difficulty or unnecessary hardship.**

The Board can also consider if a financial hardship would occur if the variance was not granted. The appeal does not mention any financial hardships which would be present if this variance was not granted. Therefore, this factor also weighs in the denial of the variance.

- 4. The variance should not be granted because the granting of the variance poses an adverse effect on the adjacent neighbor's property.**

The testimony of Mr. Ellis makes clear that this will have an adverse effect on his property. He has documented the noise from the construction work and dust which have occurred due to the illegal cutting of the trees. He has provided photos of the clearing which provides no buffer. Without an appropriate barrier, he will be forced to deal with these nuisances. The bamboo will not provide the same coverage as the 50 feet of trees.

The board should compel Mr. Martinez and Mr. Robinson to provide proof they complied with the Pond Variance as the drainage can negatively affect his property as well.

- 5. The variance should not be granted as it establishes a dangerous precedent.**

Mr. Martinez and Mr. Robinson were aware of the no cut buffer zone and proceeded to cut the trees anyway. Allowing this after-the-fact variance is endorsing reckless behavior by residents. If a property owner can illegally cut trees without correcting their action, then other residents will be encouraged to do the same.

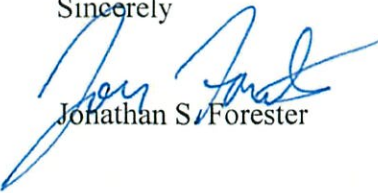
Their violations were misdemeanors Sec. 130-2447. This violation is considered so serious that it provides not discretionary, but mandatory penalties: "[a]ny property owner or contractor in violation of these ordinances shall be guilty of a misdemeanor. Granting the variance would be a tacit endorsement of a misdemeanor.

Their actions are part of a pattern in which they are not being held to the same standards as other residents (illegal burning, illegal clearing and the pond variance). This is also a dangerous

St. Tammany Parish Board of Adjustment
Attn: Helen Lambert
May 3, 2022
Page 3

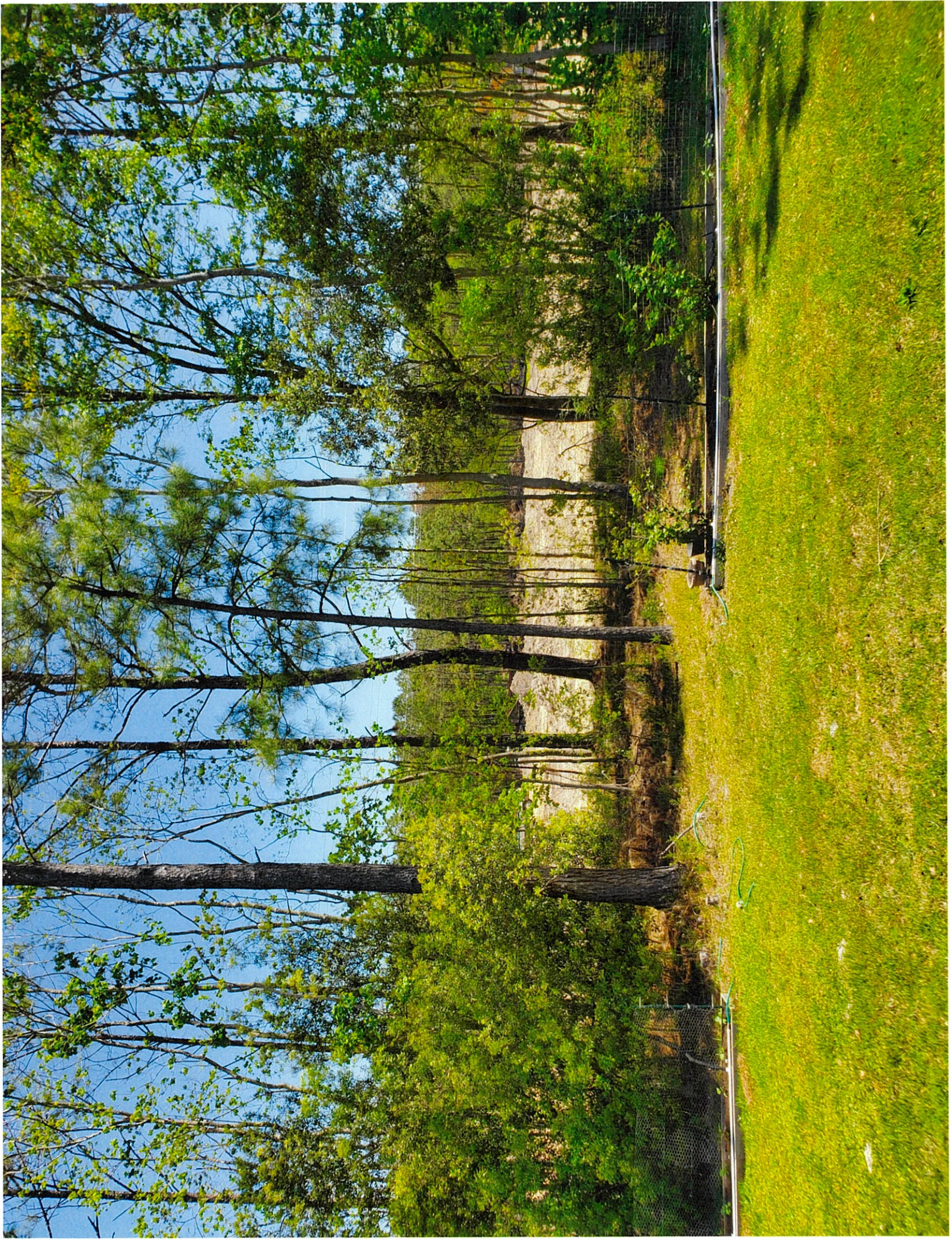
precedent. They should be held accountable to the same extent as other residents.

Sincerely



Jonathan S. Forester

JSF/jw



Untitled Map

Write a description for your map.

Legend

Tony's Vinyl Siding

Brewster Rd

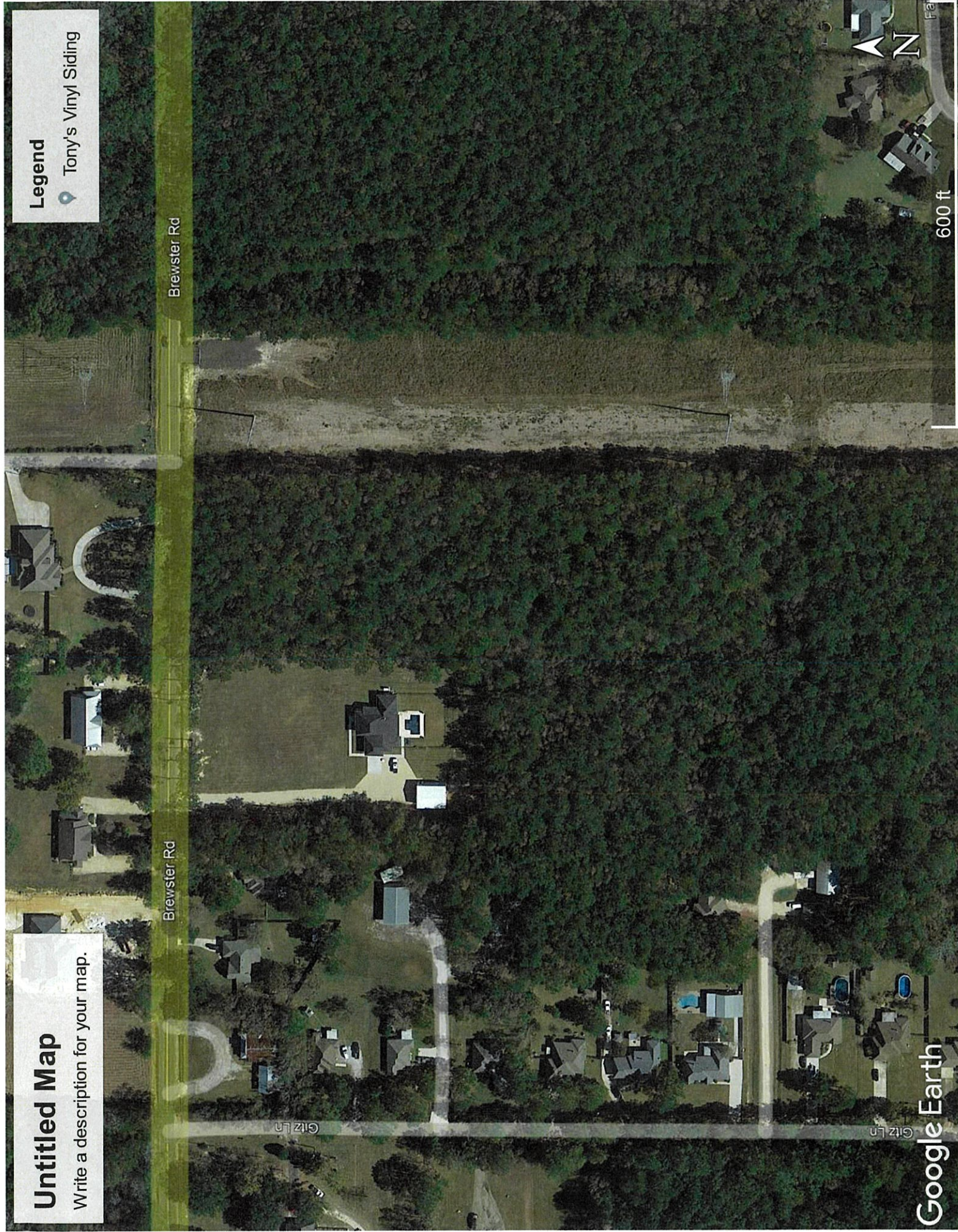
Brewster Rd

Giz Ln

Giz Ln

Google Earth

600 ft



Untitled Map

Write a description for your map.

Legend

Tony's Vinyl Siding

Brewster Rd

Brewster Rd

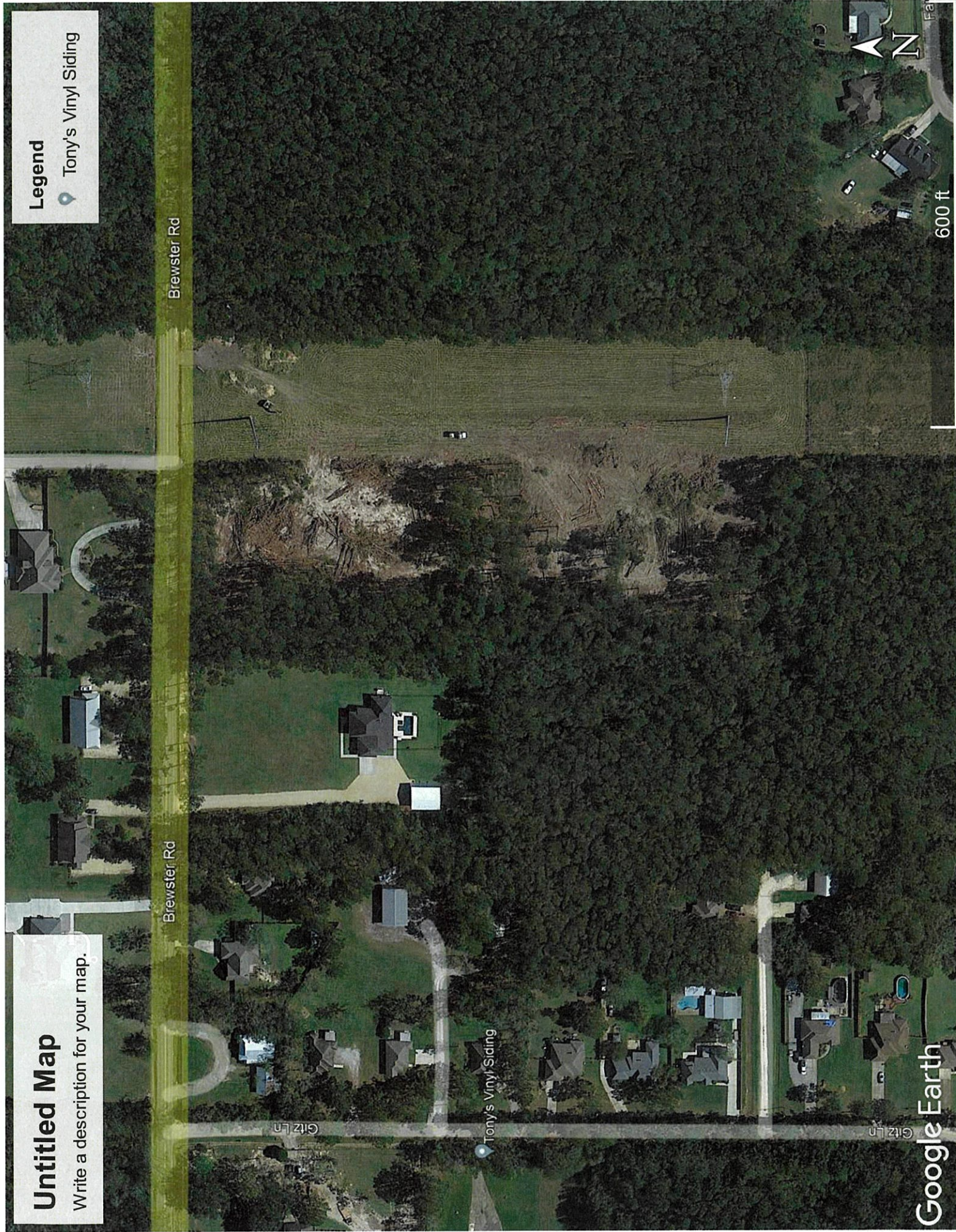
Gitz Ln

Tony's Vinyl Siding

Gitz Ln

Google Earth

600 ft



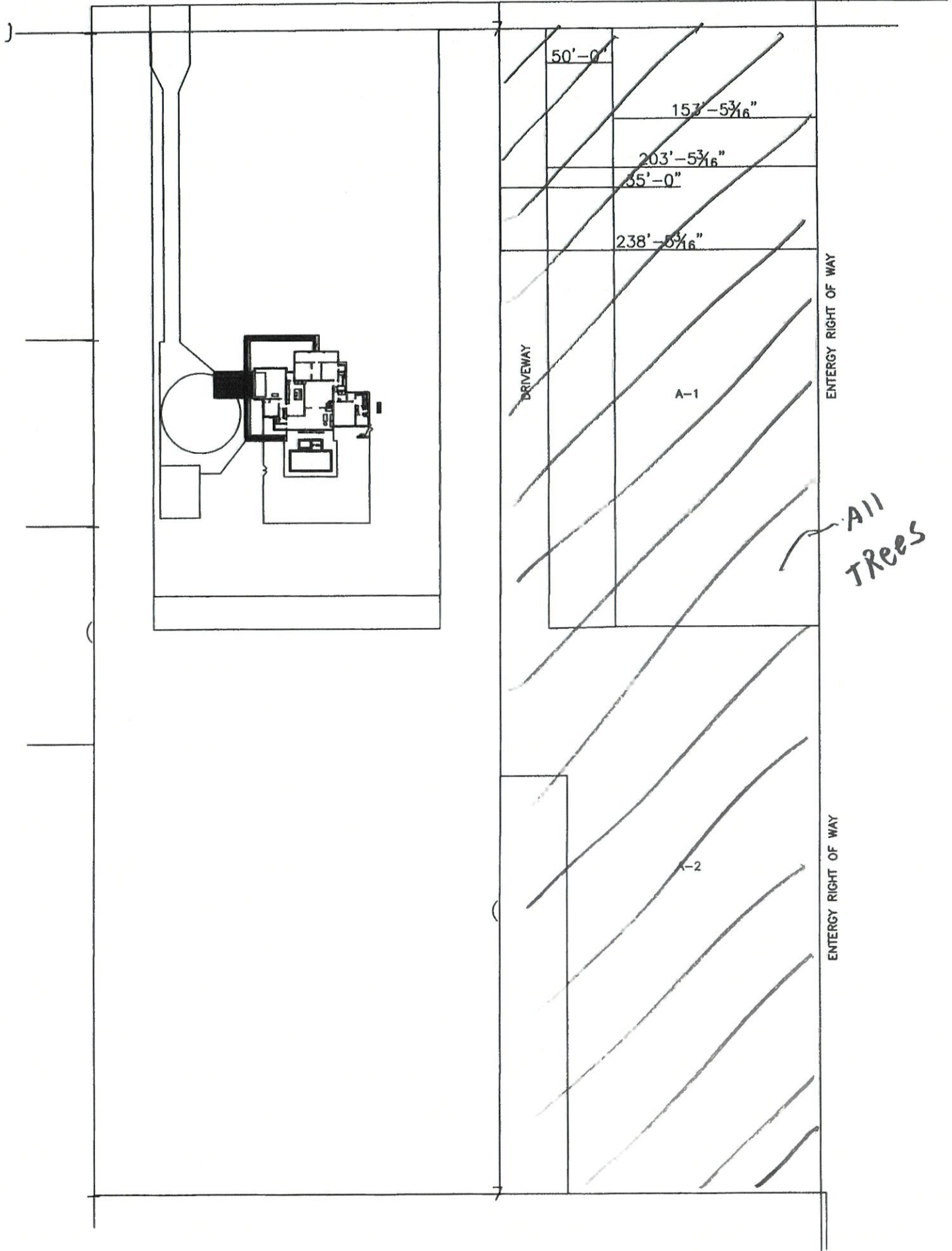








STARTED WITH



50'-0"

153'-5 $\frac{3}{16}$ "

203'-5 $\frac{3}{16}$ "

35'-0"

238'-5 $\frac{3}{16}$ "

DRIVEWAY

A-1

50'

25'

~ R&P

A-2

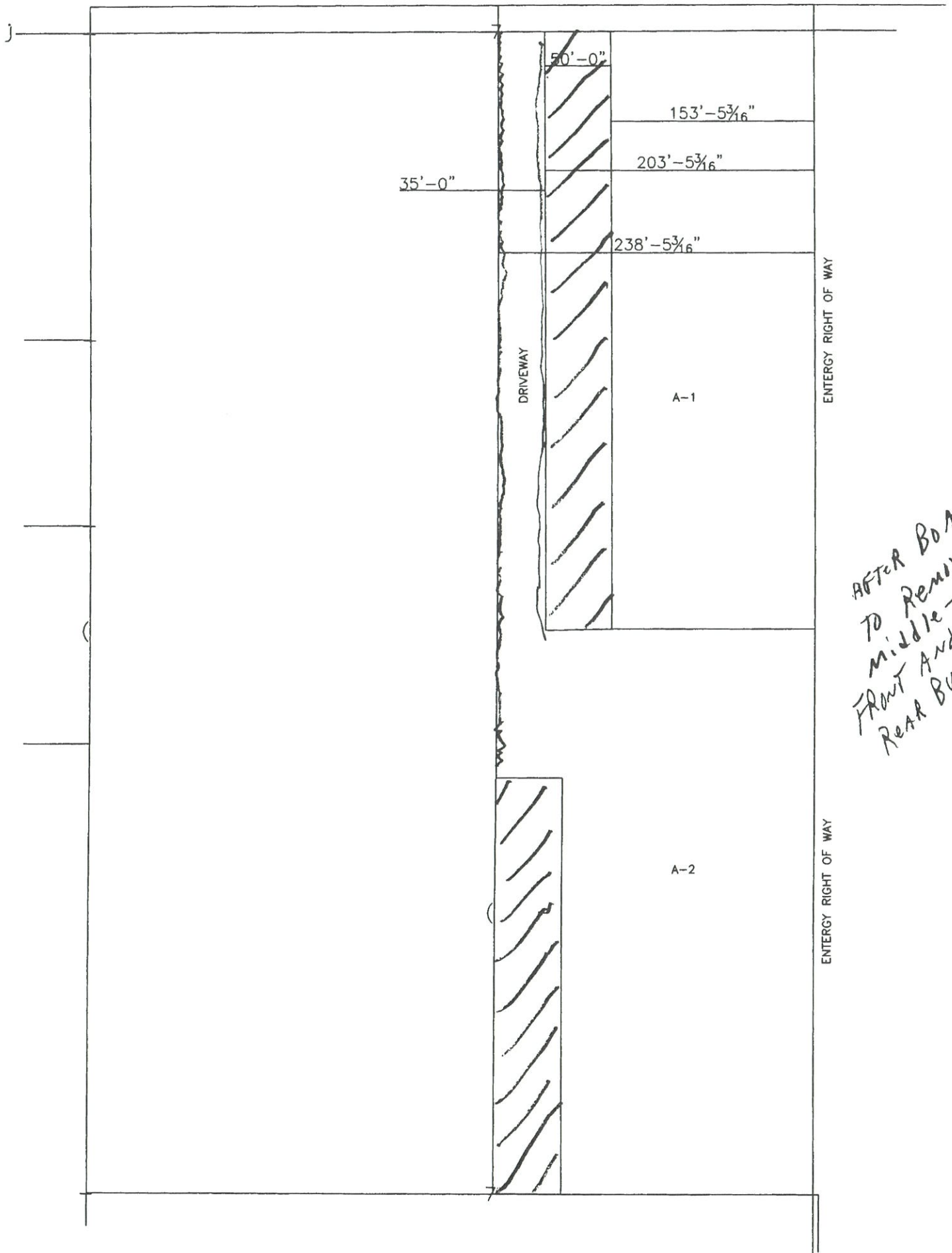
ENTERY RIGHT OF WAY

ENTERY RIGHT OF WAY

ENERGY RIGHT OF WAY

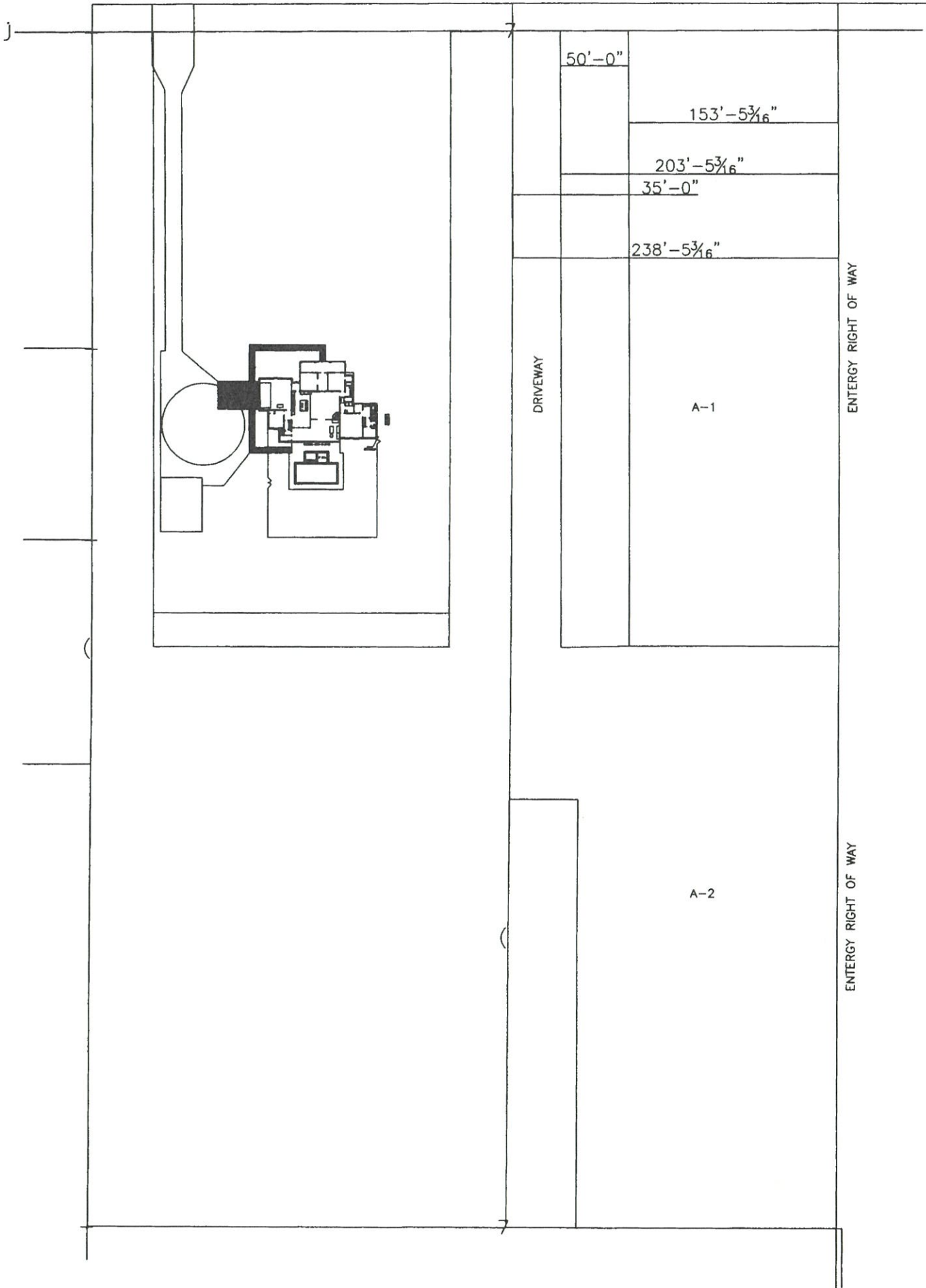
✓ RPP L N.

Should be w/ Pond VARIANCE



AFTER BOA
TO REMOVE
MIDDLE-
FRONT AND
REAR BUFFER

is Now



**ST. TAMMANY PARISH BOARD OF ADJUSTMENT
STAFF ANALYSIS REPORT**

Case File Number:	BOA Case No. 2022-2859-BOA
Initial Hearing Date:	06/07/2022
Date of Report:	05/31/2022

GENERAL INFORMATION

Applicant & Representative:	Kayjos Properties Investments, LLC - Erick & Susana Rodriguez
Location of Property:	69177 4 th Avenue, Covington, Louisiana
Zoning of Property:	A-2 Suburban Zoning District.
Variance(s) Requested:	Reduce the required front yard setback from 25 feet to 11 feet and the required rear yard setback from 12 feet to 11' – 11.5".

OVERVIEW

Request by applicant in an A-4 Single Family Residential Zoning District to reduce the required front yard setback from 25 feet to 11 feet and the required rear yard setback from 12 feet to 11' – 11.5" to allow for the construction of a single family residence.

STAFF COMMENTS

As per the Unified Development Code Sec 130-2191 (1) Front yard setback: 25 feet. (2) Rear yard setback. a. *Standard requirement.* Twenty percent of lot depth or 25 feet, whichever is the lesser.

The objective of the request is to allow for the construction of a single family residence. While the property is only 60 feet in depth, it does not prevent the construction of a single family residence on the property.

2022-2859-BOA

A-4

16A

SOUTH ST

4TH AV

DORIS ST

A-2

A-1

A-2

A-3

Farm 19

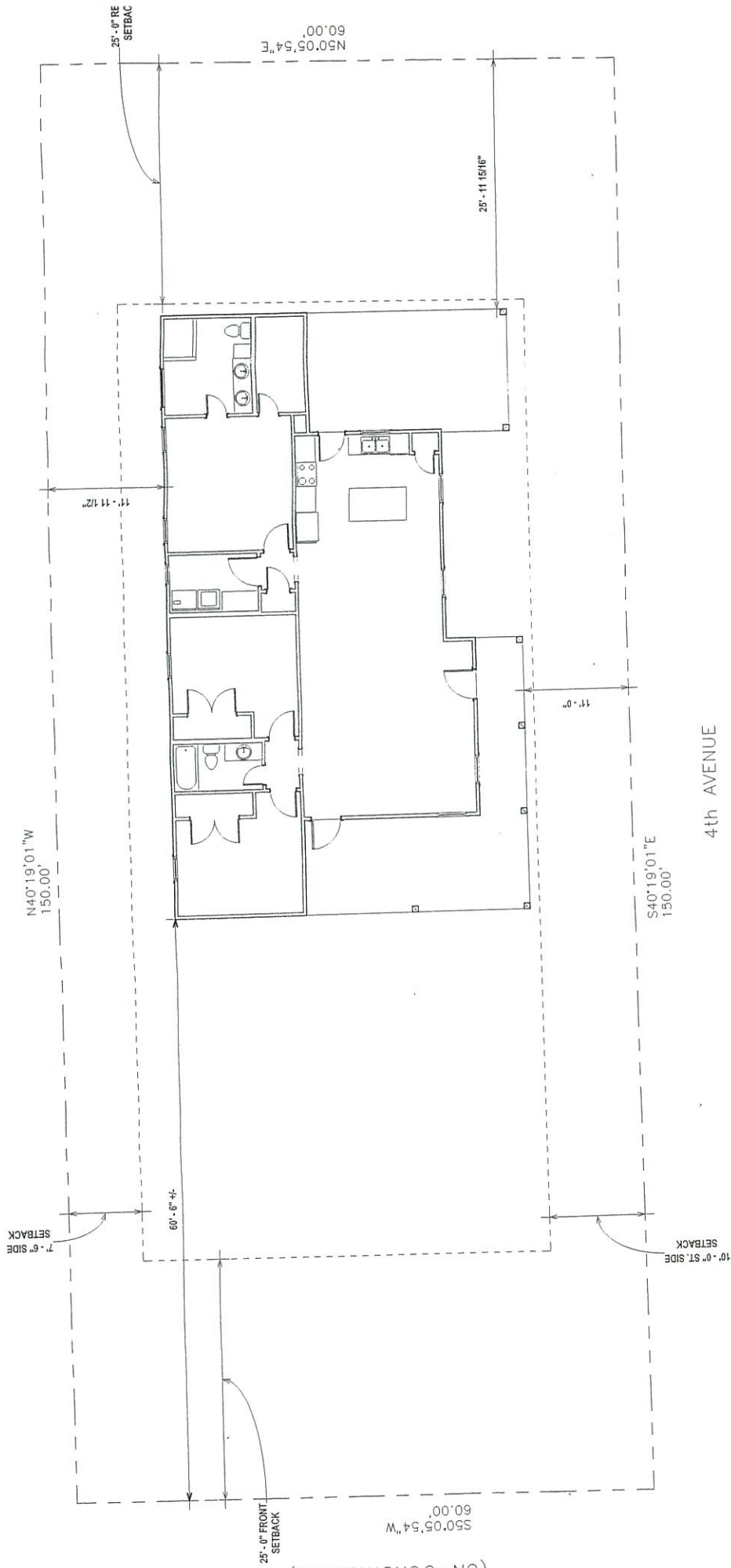
Farm 15 (Pt)

Farm 15

Farm 22 (Pt)

Farm 20

This architectural floor plan depicts a residential unit with a total footprint of 63'-2 1/2" by 21'-0". The layout includes a central living area (18'-0" x 15'-0") with a fireplace and a large window, a kitchen (15'-0" x 10'-9") with a double sink (DW), a refrigerator (REF.), and a range, and a dining area (15'-0" x 10'-9"). The unit features two bedrooms: a master bedroom (13'-0" x 10'-0") with an en-suite bathroom and a walk-in closet (W), and a second bedroom (13'-0" x 10'-0") with a walk-in closet (D). A central hallway (10'-0" wide) provides access to the bedrooms, bathroom, and linen closet. The unit also includes a main bathroom (5'-7 1/2" x 4'-3") and a linen closet (LINEN). The overall dimensions are 63'-2 1/2" by 21'-0".



(UN-CONSIGNED)



61

63

SQUARE

41

LOT 68
9,000 SQ. FT.
LOT 66

62

64

88

4TH AVENUE
(A.K.A. 4TH STREET) (ASPHALT)
REFERENCE BEARINGS40°19'01"E
150.0'

30'

S50°05'54"W 60.0'

50'

DORIS STREET
(NOT CONSTRUCTED)
(FORMERLY DORE STREET)

APPROVAL:

DIRECTOR/DEPARTMENT OF ENGINEERING

SECRETARY/PARISH PLANNING COMMISSION

CLERK OF COURT

DATE FILED

FILE NO.

NOTES:

1. This property is located in Flood Zone C, per F.E.M.A. Map No. 225205 0240 E, dated August 16, 1995.
2. Building Setback Lines must be determined by the St. Tammany Parish Planning Department.

THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND/OR RESTRICTIONS HAVE BEEN SHOWN HEREON. ANY SERVITUDES AND/OR RESTRICTIONS SHOWN ON THIS PLAT ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION AND/OR INFORMATION FURNISHED THE UNDERSIGNED. A TITLE OR PUBLIC RECORD SEARCH FOR SUCH INFORMATION WAS NOT MADE BY THE UNDERSIGNED IN COMPILING DATA FOR THIS SURVEY.

REFERENCE SURVEY:

Plat of Helenburg Lots and Farms by Preston Herdon, Civil Engineer, dated May 15, 1914, filed in the St. Tammany Parish Clerk of Court Map File No. 107A.

LEGEND

⊙ = 1/2" IRON ROD SET

(985) 892-1549

John G. Cummings and Associates
PROFESSIONAL LAND SURVEYORS

FAX (985) 892-9250

503 N. JEFFERSON AVENUE

COVINGTON, LA 70433

PLAT PREPARED FOR:

KAYJOS PROPERTIES INVESTMENTS, LLC

SHOWING A SURVEY OF:

RESUBDIVISION OF LOTS 66 & 68 INTO LOT 68-A,
SQUARE 41, HELENBURG LOTS AND FARMS, LOCATED
IN SECTION 14, TOWNSHIP 7 SOUTH, RANGE 11 EAST,
ST. TAMMANY PARISH, LOUISIANA.

THIS PLAT REPRESENTS A PHYSICAL SURVEY MADE ON
THE GROUND BY ME, OR THOSE UNDER MY DIRECTION,
AND IS IN ACCORDANCE WITH THE APPLICABLE
STANDARDS OF PRACTICE AND BEARS A CLASS C
SURVEY.

PROFESSIONAL LAND SURVEYOR



SCALE:

1" = 30'

JOB NO.

21161

DATE:

08/05/2021

REVISED:

**ST. TAMMANY PARISH BOARD OF ADJUSTMENT
STAFF ANALYSIS REPORT**

Case File Number:	BOA Case No. 2022-2860-BOA
Initial Hearing Date:	06/07/2022
Date of Report:	05/31/2022

GENERAL INFORMATION

Applicant & Representative:	Waterhole Fork Farms, LLC -Mary Ann Fritscher
Location of Property:	81160 Katie Lane, Bush, Louisiana
Zoning of Property:	A-1 Suburban Zoning District.
Variance(s) Requested:	reduce the required roadway no cut buffers from 25 feet to 18 feet and the required sides and rear no cut buffers from 50 feet to 36 feet

OVERVIEW

Request by applicant in an A-1 Suburban Zoning District to reduce the required roadway no cut buffers from 25 feet to 18 feet and the required sides and rear no cut buffers from 50 feet to 36 feet to allow for the placement of a fence.

STAFF COMMENTS

As per the Unified Development Code Sec. 130-2250. (b) (2) A minimum uncut buffer of 25 feet in depth along all roadways and a minimum uncut buffer of 50 feet in depth shall be required adjacent to residential zoning district.

The objective of the request is to allow for the installation of a fence along the property lines for security purposes and to keep trespassers and other animals off the property. There is no compelling reason to support the request since the property is approximately 31 acres and there is sufficient space to maintain the buffers and install a fence.

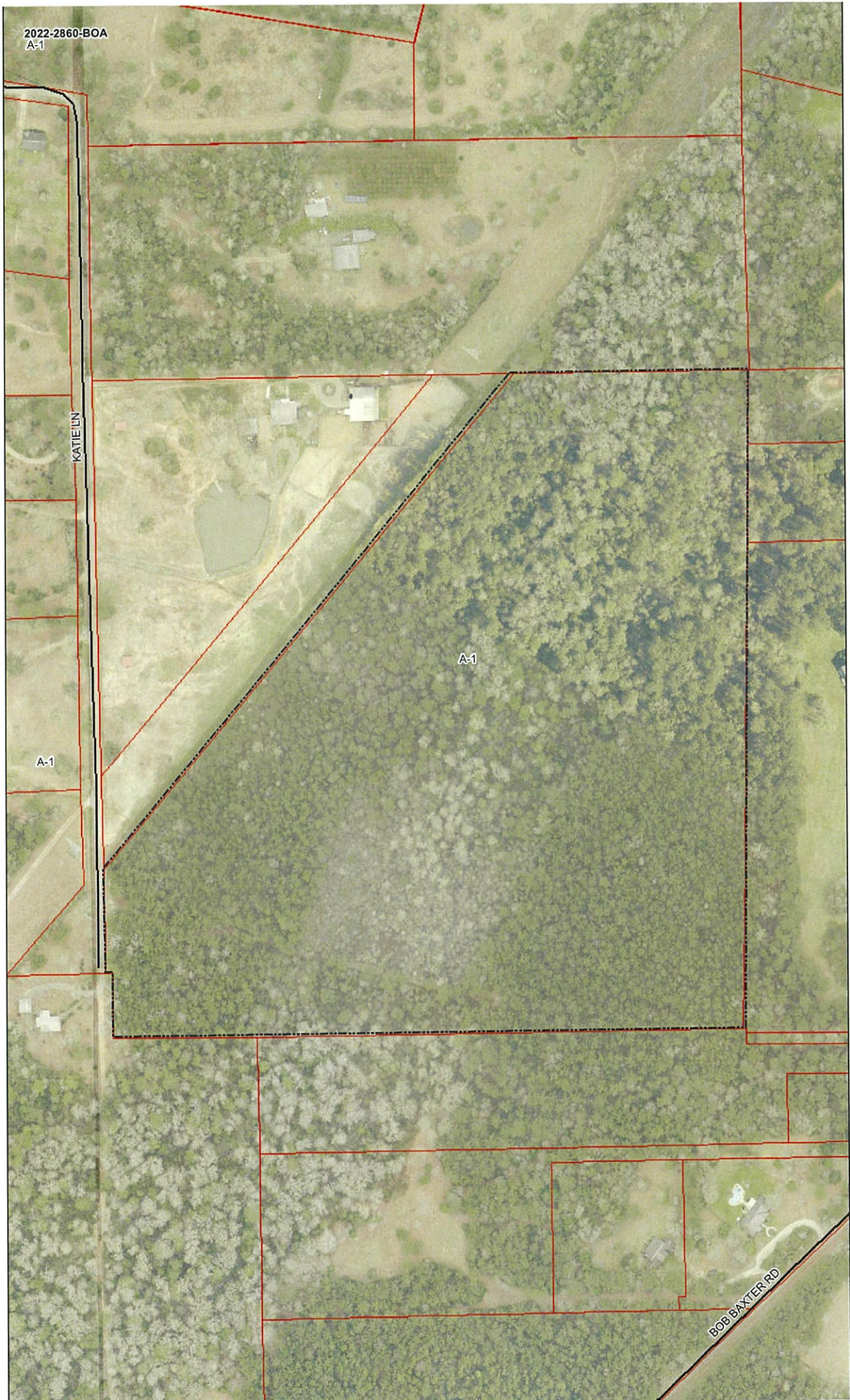
2022-2860-BOA
A-1

KATIE LN

A-1

A-1

BOB BAXTER RD



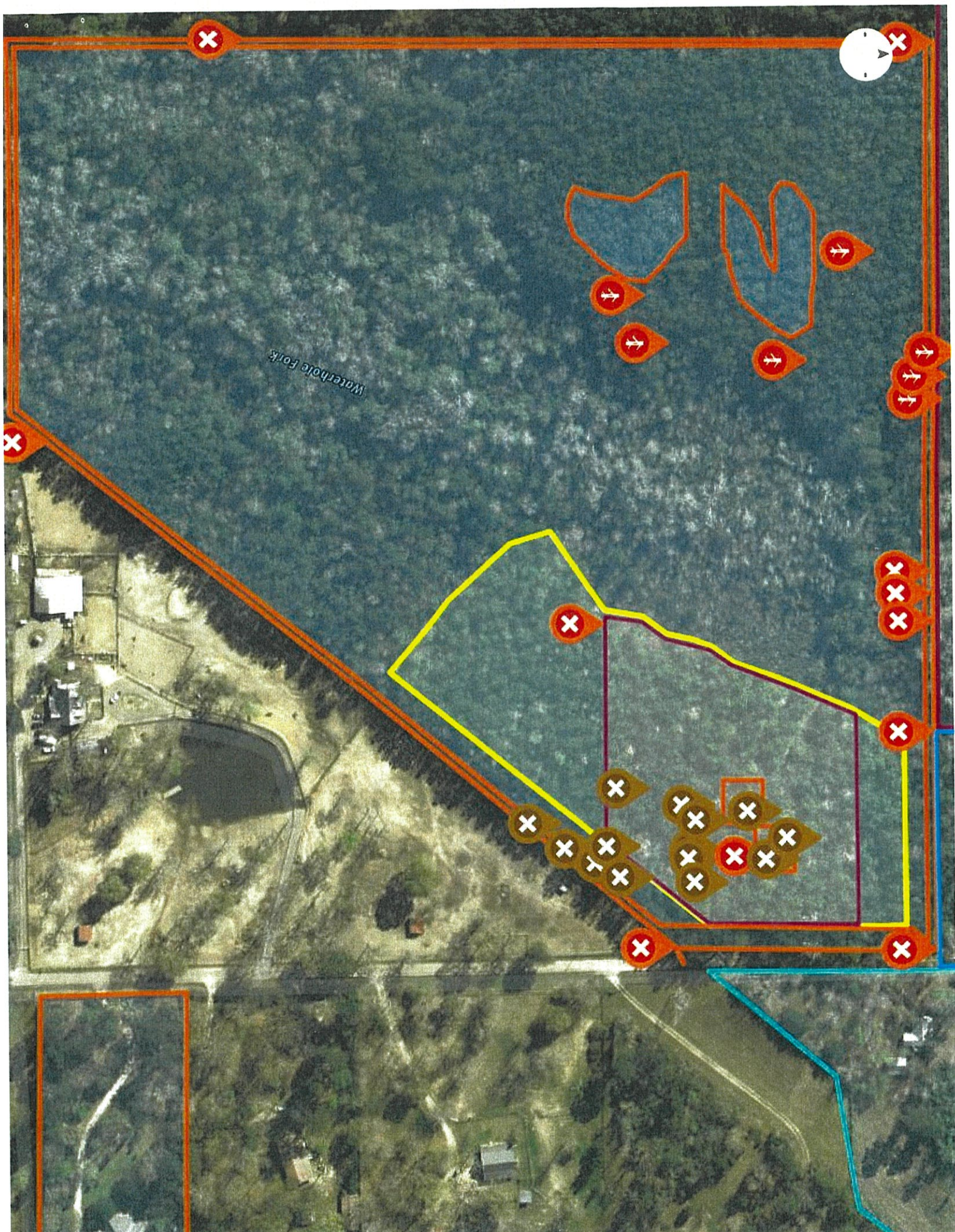
Waterhole Fork Farms, LLC

Supplemental Schedule No. 1

Our request is to obtain a variance for the front, both sides, and rear setbacks to be able to install fencing and maintain it on our property border lines to establish our property lines for security purposes; specifically, to keep trespassers and hunters off, and prevent the neighbors' horses and dogs from entering the property.

The front setback reduction: We wish to reduce the front setback from twenty-five feet to eighteen feet to allow seven feet for the fencing and maintenance of the fenced border.

Sides and rear setback reduction: We wish to reduce the setback from fifty feet to thirty-six feet to allow fourteen feet to get the equipment in for the fencing and maintenance of the fenced borders.



**ST. TAMMANY PARISH BOARD OF ADJUSTMENT
STAFF ANALYSIS REPORT**

Case File Number:	BOA Case No. 2022-2873-BOA
Initial Hearing Date:	06/07/2022
Date of Report:	05/31/2022

GENERAL INFORMATION

Applicant & Representative:	Jefferey Rathburn
Location of Property:	13483 Riverlake Drive, Covington, Louisiana
Zoning of Property:	A-4 Single Family Residential Zoning District.
Variance(s) Requested:	Reduce the required rear yard setback from 22 feet to 20 feet

OVERVIEW

Request by applicant in an A-4 Single Family Residential Zoning District to reduce the required rear yard setback from 22 feet to 20 feet to allow for the construction of a single family residence.

STAFF COMMENTS

As per the Unified Development Code Sec. 130-509 (b) (4) *Rear yard*. There shall be a rear yard having a depth of not less than 25 feet, plus one additional foot for every one foot in building height over 20 feet above base flood elevation.

The objective of the request is to allow for the construction of a single family residence. While the property is only 110 feet in depth, it does not prevent the construction of a single family residence on the property.



2022-2873-BOA
23A

22A

21A

20A

79A

80A

19A

81A

18A

82A

17A

83A

16A

84A

15A

RIVERLAKE DR

85A

14A

Tract A5B

86A

13A

12A

ROW

87A

11A

(Please state on the following lines below your specific request for a variance/appeal:)

SEEKING A VARIANCE OF 2 FEET OF SET-BACK. LOT IS 110' LONG, AND
SET-BACK REQUIREMENT IS 22 FEET. WE ARE REQUESTING TO BE ALLOWED
A 20' SET-BACK WHICH WILL EQUAL ALL OF OUR NEIGHBORS' SET-BACK


SIGNATURE OF OWNER/APPLICANT

04/29/2022
DATE OF APPLICATION

DEPARTMENT OF PLANNING & DEVELOPMENT
P.O. BOX 628 | COVINGTON, LOUISIANA | 70434 | PLANNING@STPGOV.ORG | 985-898-2529
WWW.STPGOV.ORG



Homeowners Association of Lake Ramsey, Inc.

April 29, 2022

To: St. Tammany Board of Adjustment

Dear members of the St. Tammany Board of Adjustment:

Please be advised that the Lake Ramsey Homeowners Association has no objection to the Rathburns' variance application, which would move the backyard, ordinance required, set-back of 22' to a 20' set-back.

Respectfully,

Lake Ramsey Homeowners' Association

BY : Architectural Control Committee, Chair

Maria T. Baronich
HOA Board of Directors

To: St. Tammany Board of Adjustment

Date: 5/1/2022

Dear members of the St. Tammany Board of Adjustment:

Please be advised that we have no objection to the Rathburns' variance application, which would move the backyard, ordinance required, set-back of 22' to a 20' set-back. We live next door to their lot.

Respectfully,

Hector Gutierrez Linda Gutierrez

HECTOR Gutierrez Linda Gutierrez (print name)

13493 Riverlake Dr. (address)
Covington, LA 70435

**ST. TAMMANY PARISH BOARD OF ADJUSTMENT
STAFF ANALYSIS REPORT**

Case File Number:	BOA Case No. 2022-2874-BOA
Initial Hearing Date:	06/07/2022
Date of Report:	05/31/2022

GENERAL INFORMATION

Applicant & Representative:	Lateisha Foster
Location of Property:	26383 Edwards Street, Slidell, Louisiana
Zoning of Property:	A-4A Single Family Residential Zoning District.
Variance(s) Requested:	reduce the required front yard setback and rear yard setback

OVERVIEW

Request by applicant in an A-4A Single Family Residential Zoning District to reduce the required front yard setback from 25 feet to 10 feet and on the required rear yard setback from 20 feet to 10 feet to allow for the placement of a manufactured home.

STAFF COMMENTS

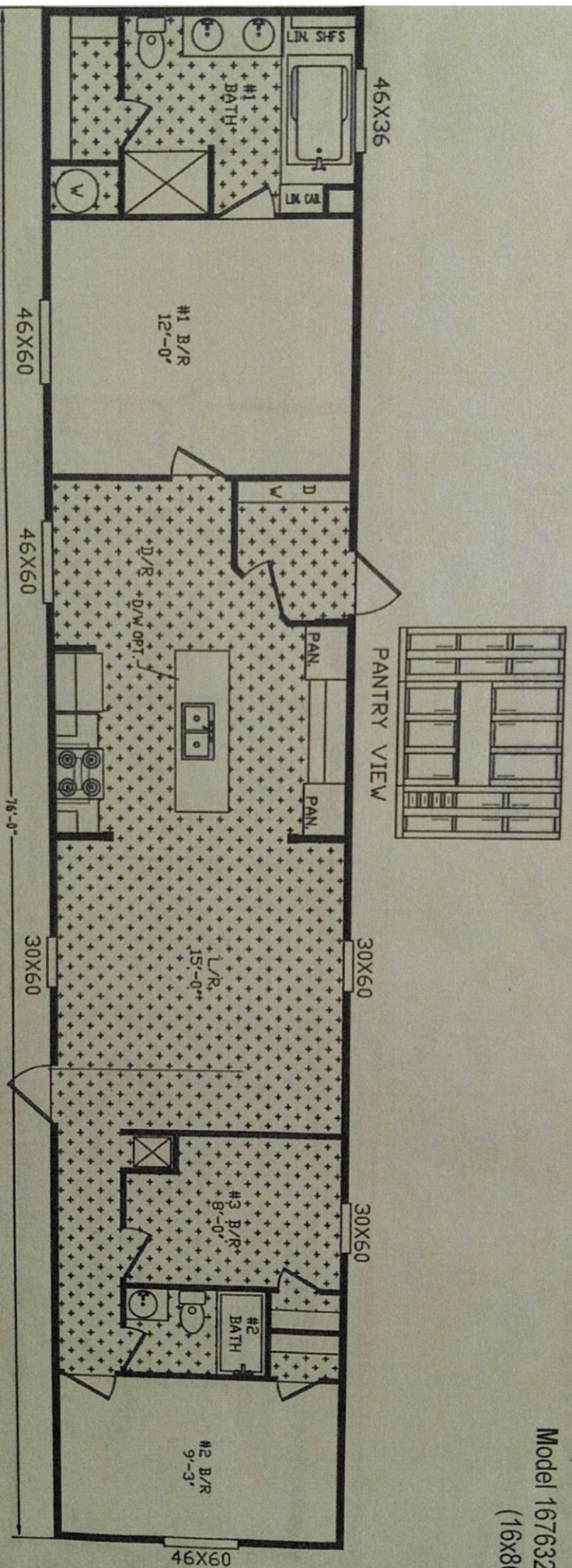
As per the Unified Development Code Sec 130-2191 (1) Front yard setback: 25 feet. (2) Rear yard setback. a. *Standard requirement*. Twenty percent of lot depth or 25 feet, whichever is the lesser.

The objective of the request is to allow for the placement of an 80 foot long manufactured home on the property. While the property is only 25 foot wide and 100 foot in depth, it does not prevent the placement of a smaller manufactured home that would allow to meet or more closely meet the required setbacks.



Richmond

(16x80)



3 BEDROOMS | 2 BATHROOMS | 1,140 SQUARE FEET

Yes! It's Included	Optional
<p>Delivery</p> <p>Set up</p> <p>Air Conditioning</p>	<p>Foundation</p> <p>Dirt or Slab</p> <p>Electric Hook Up</p> <p>Cover Hook up</p>

Town & Country

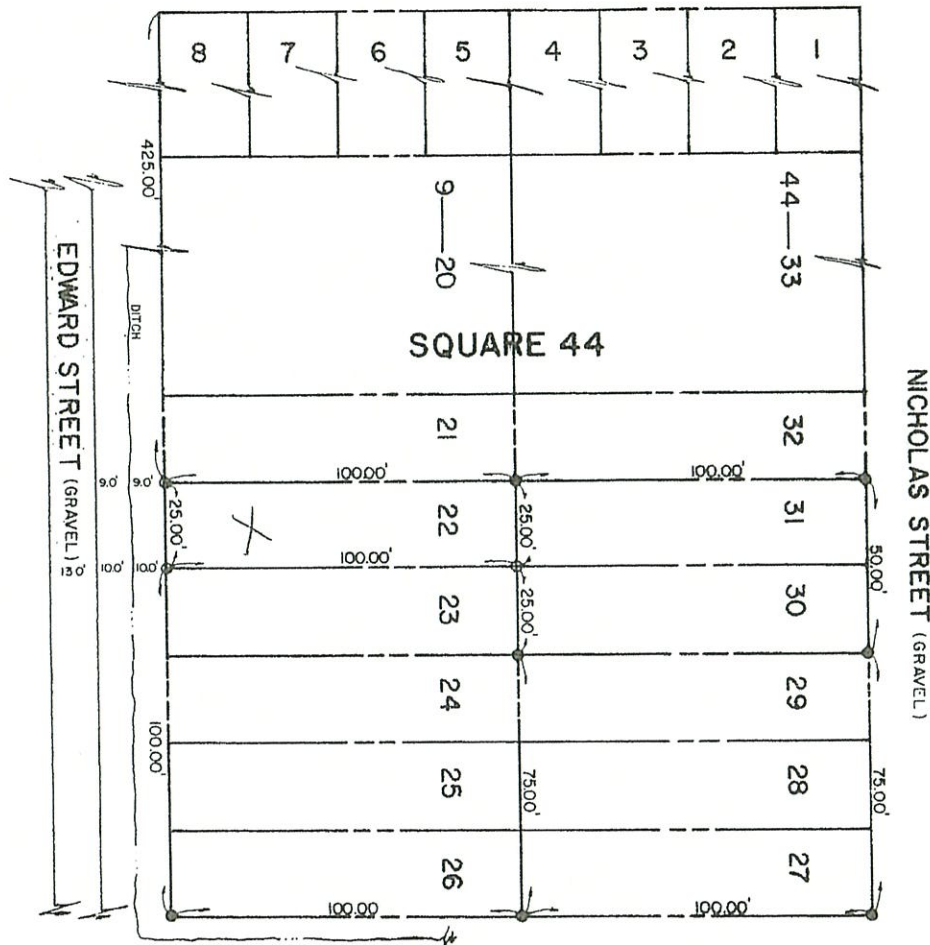
NOTE: ACCORDING TO H.U.D. F.I.A. FLOOD HAZARD BOUNDARY MAP H-01-76,
THIS PROPERTY IS:

NOT IN A FLOOD PRONE AREA.

X IS LOCATED IN FLOOD ZONE "C"



AUGUST AVENUE (GRAVEL)



RICHARD AVENUE (GRAVEL)

● IRON FOUND
○ IRON SET

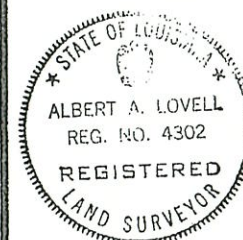
SCALE: 1"=40'

MAP SHOWING SURVEY OF LOT NO. **22, SQUARE 44**

SUBDIVISION **WEST ADD'N TO MORGAN**

**LOCATED IN SEC. 28, T8S-R14E, G.L.D., NEAR
SLIDELL, ST. TAMMANY PARISH, LOUISIANA.**

FOR **VERNELL McKINNIA**



TO ALL PARTIES INTERESTED IN TITLE TO PREMISES SURVEYED:

I HEREBY CERTIFY THAT THE ABOVE SHOWN SURVEY WAS ACTUALLY MADE ON THE GROUND, AS PER RECORD DESCRIPTION, AND IS CORRECT, AND THAT THERE ARE NO ENCROACHMENTS EITHER WAY ACROSS PROPERTY LINES.

SLIDELL, LOUISIANA

DATE: **NOVEMBER 10, 1978**
JOB NO. 81317

Albert A. Lovell
ALBERT A. LOVELL & ASSOCS., INC.
CONSULTING ENGINEERS

late Dave Foster

May 17, 2021
Pamela C. Parker
Slidell, LA 70458

To whom it may concern
I, Pamela Parker, do not
object to Dave Foster
Placing her 16 x 80 mobile
home next to my dwelling.

I welcome the efficiency,
as well as, the community!

Thank you for your
discretionary consideration concerning
this matter. ~~Very truly yours~~ ~~Pamela C. Parker~~

Sincerely
Pamela C. Parker
61051 Richard Road
Slidell LA 70458

Lateisha Kade

Barbra Sylve

I barbra have no objections
to ms Lateisha putting her
16x80 mobile home on her
property. I also have a 16x80
on my property my property
goes 25 by 100 feet my set
backs are 10 feet front 10
feet back. I see no problem
with this

Barbra Sylve
36271 Edward Street
Slidell, LA

I have no objections to
Latisha putting a 16x80 trailer
on her property

Flonetta Freyer
36286 Edward St
Slidell LA

Latisha Freyer

**ST. TAMMANY PARISH BOARD OF ADJUSTMENT
STAFF ANALYSIS REPORT**

Case File Number:	BOA Case No. 2022-2889-BOA
Initial Hearing Date:	06/07/2022
Date of Report:	05/31/2022

GENERAL INFORMATION

Applicant & Representative:	David & Ramona Wildt
Location of Property:	538 Solitude Way, Covington, Louisiana
Zoning of Property:	Zoning District.
Variance(s) Requested:	Reduce the required rear yard setback from 30 to 10 feet

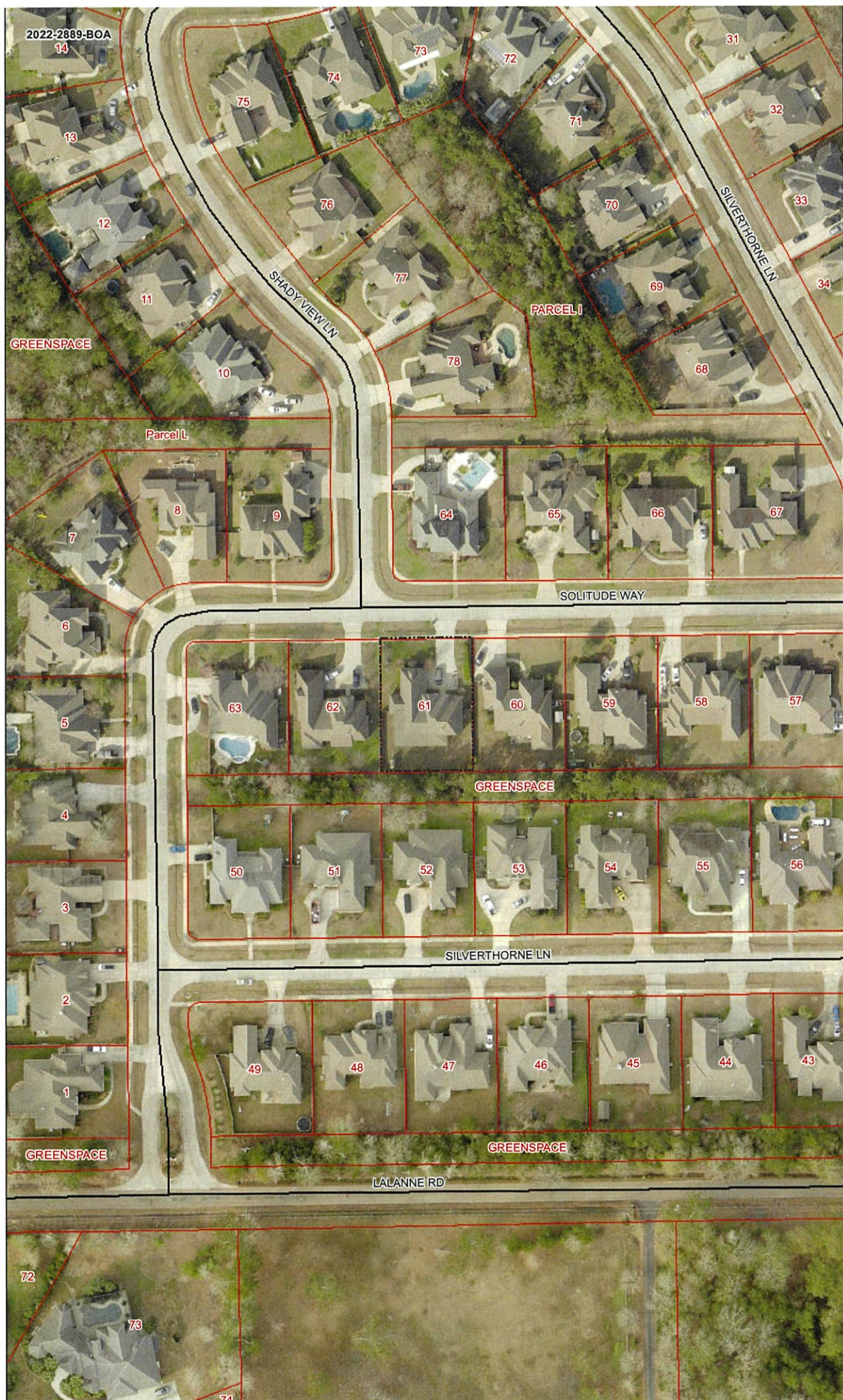
OVERVIEW

Request by applicant in a PUD Planned Unit Development Overlay to reduce the required rear yard setback from 30 feet to 10 feet.

STAFF COMMENTS

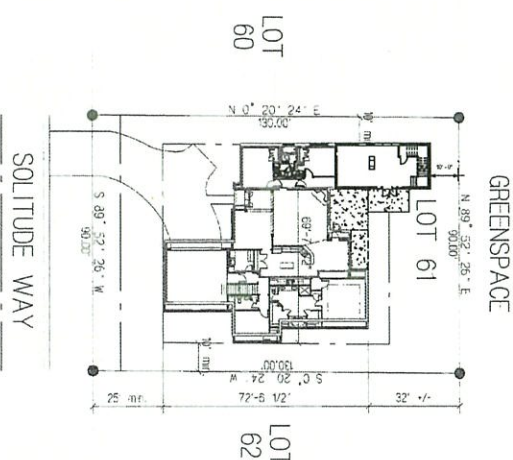
As per the Southdown Subdivision Planned Unit Development Overlay regulation the rear yard setback of a minimum of 30 feet in depth.

The objective of the request is to allow for an approximately 24 foot addition to an existing single family residence. The addition will consist of a game room, staircase and 2 bedrooms on the 2nd floor. The requested variance is a personal preference rather than a property hardship.



538 SOLITUDE WAY

SHEET INDEX	
Sheet Name	Sheet Number
SITE PLAN & CODE REFERENCES	A1.0
FIRST LEVEL FLOOR PLAN	A1.2
ELECTRICAL PLAN	A2.0
EXTERIOR ELEVATIONS	A3.0
HIGH WIND CONSTRUCTION DETAILS	A3.4

[illegible][illegible][illegible]

1. DISCOUNTED TO PRESENT VALUE.
2. THE BOLD TWO SPEED USED IN THIS DESIGN IS 100 MPH.
3. ROOF PITCHES OF 7:12 OR FLATTER MUST COMPLY TO THE SOUTHERN BUILDING CODES CONCERNING MINIMUM ALLOWABLE FOR HAILSTONE IMPACT (SEE MINIMUM CONSTRUCTION (SBIF) 19).
4. ROOF PITCHES OF 8:12 OR GREATER MUST CONFORM TO ASCE 7.
5. WOOD STRUCTURAL PANELS WITH A MINIMUM THICKNESS OF 5/8" AND A MINIMUM GRAIN OF 16 FEET TO 1 INCH ARE REQUIRED FOR ALL ROOF AREAS EXCEPT WHERE THE GRAIN IS 12 INCHES TO 1 INCH TO COVER GABLE ENDWALLS WITH ATTACHED ROOFING. ATTACHMENTS SHALL BE PROVIDED IN ACCORDANCE WITH NAILING TABLE 2.12.2 OF SMALL DISCOUNT (1) BUILT. THE COMPONENTS AND MATERIALS USED DETERMINED IN ACCORDANCE WITH THE MINIMUM ALLOWABLE BUILDING CODE.

RENO./ADDIT. TO WILDT
538 SOLITUDE WAY
ST. TAMMANY PARISH, LA

DIAMOND DESIGN
Residential Planners
Covington, Louisiana
985-809-8033

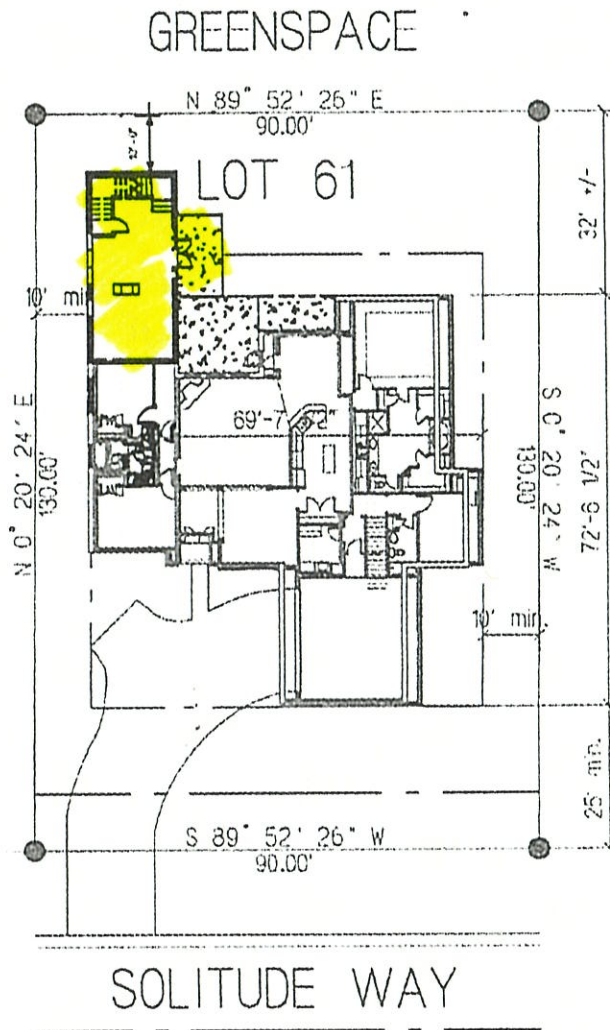
A1 PLOT PLAN

A1.0

III, >8 TO 10 FT, OPENINGS: L3x4 1/2x1/2;
IV, >10 TO 10FT, OPENINGS: L7x4 1/2x1/2;
V, >10 TO 12FT, OPENINGS: L8x4 1/2x1/2;
VI, >12 TO 16FT, OPENINGS: L9x4 1/2x5/8
G. UNLESS SHOWN OTHERWISE, ALL BOLTS SHALL HAVE AT LEAST 8" D.
H. ALL BOLTS SHALL BE ASTM A307 HD.
I. METAL ROOFING (IF APPLICABLE) SHALL BE
J. THIS DWG & GOVERNING BUILDING CODE SHALL BE USED.
K. ALL PLATES SHALL BE ASTM A36 (IF APPLICABLE).
L. ALL STEEL PIPES SHALL BE ASTM A106 (IF APPLICABLE).

A. ALL WOOD FRAMING, FABRICATION CODES AND THESE NOTES AND NO
I. NATIONAL DESIGN SPECIFICAT
II. PLYWOOD DESIGN SPECIFICAT
III. PRESSURE TREATED WOOD H
IV. AMERICAN INSTITUTE OF TIME
B. LUMBER SHALL BE SOUTHERN YEL
C. ENGINEERED BEAMS/OISTS SHA
BEAMS/BUILT UP BEAMS WITH A MI
OF BEAMS SUBJECT TO UPLIFT LOA
BEAMS 5 1/4" WIDE CAN BE MADE U
D. ALL WOOD CONNECTIONS SHALL E
FASTENING SCHEDULE OF THE GO'
FASTENERS BE PROVIDED FOR A CONT
CONNECTORS ARE IN ADDITION TO
TIES, AND SEATS SHALL BE SIMPSC
INSTALLED WITH THE MAXIMUM NU
RECOMMENDATIONS AND SPECIFIC
E. HEADINGS FOR OPENINGS IN INT E
THAN 4' 0" CLEAR OPENING SHALL I
SHALL BE 2:2:1 FOR A MAXIMUM C
PLANS.
F. PER TABLE 602.3(5) OF THE 2015 IRI
NOT EXCEEDING 10 FEET IN UNSUF
ALL WALL OVER 10' IN HEIGHT SH
REQUIREMENTS.
G. RAFTERS SHALL BE 2x6 MIN., SPAC
BRACING ON LOAD BEARING WALL
OR BEAMS.
H. ALL CLG. THAT FALLS UNDER LOA

LOT
62

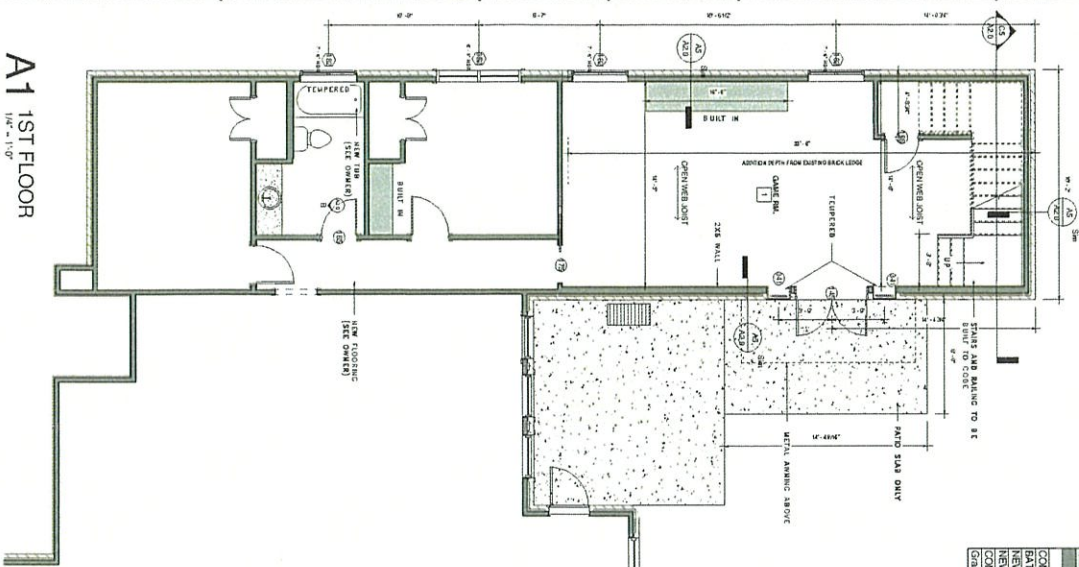


A1 PLOT PLAN
1" = 20'-0"

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS, THE CONTRACTOR MUST CHECK ALL DETAILS FOR ACCURACY OR BE RESPONSIBLE FOR THE CONSTRUCTION OF THE WORK SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE WORK SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE WORK SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE WORK SHOWN.

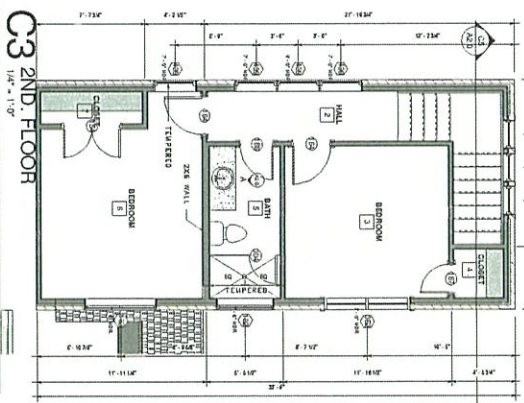
GENERAL NOTES:
-ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES OF THE STATE OF MISSISSIPPI.
-ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES OF THE STATE OF MISSISSIPPI.
-ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES OF THE STATE OF MISSISSIPPI.

TO ANYONE WORKING ON THESE PLANS, IF THERE IS AN INCONSISTENCY AND YOU DO NOT CALL BEFORE MOVING FORWARD, YOU ARE THEN RESPONSIBLE FOR ANY DISCREPANCY.



A1 1ST FLOOR
1/4" = 1'-0"

SQ. FOOTAGE	
CONDITION	AREA
CONDITIONED	124 SF
BATHROOM RENOVATION	545 SF
NEW ADDITION 1ST FLOOR	450 SF
NEW ADDITION 2ND FLOOR	1115 SF
CONDITIONED	1115 SF

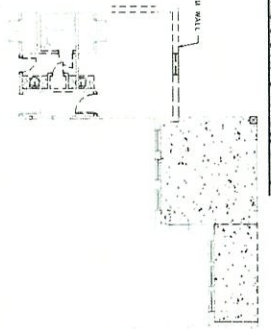


C3 2ND FLOOR
1/4" = 1'-0"

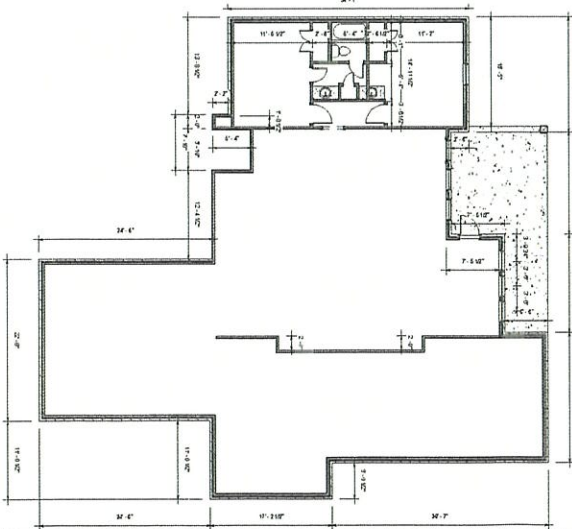
Room	Area	Description	Count
124	4'-0" x 1'-0"	SEE ELEVATIONS	4
133	8'-0" x 1'-0"	SEE ELEVATIONS	1
135	8'-0" x 1'-0"	SEE ELEVATIONS	2
136	8'-0" x 1'-0"	SEE ELEVATIONS	2
137	8'-0" x 1'-0"	SEE ELEVATIONS	4

Room	Area	Description	Count
124	4'-0" x 1'-0"	SEE ELEVATIONS	4
133	8'-0" x 1'-0"	SEE ELEVATIONS	1
135	8'-0" x 1'-0"	SEE ELEVATIONS	2
136	8'-0" x 1'-0"	SEE ELEVATIONS	2
137	8'-0" x 1'-0"	SEE ELEVATIONS	4

Room	Area	Description	Count
124	4'-0" x 1'-0"	SEE ELEVATIONS	4
133	8'-0" x 1'-0"	SEE ELEVATIONS	1
135	8'-0" x 1'-0"	SEE ELEVATIONS	2
136	8'-0" x 1'-0"	SEE ELEVATIONS	2
137	8'-0" x 1'-0"	SEE ELEVATIONS	4



C5 1ST FLOOR - DEMO
1/8" = 1'-0"



A5 1ST FLOOR - EXISTING
1/8" = 1'-0"

RENO./ADDIT. TO WILDT
538 SOLITUDE WAY
ST. TAMMANY PARISH, LA

DIAMOND DESIGN
Residential Planners
Covington, Louisiana
985-809-8023

PROJECT
NO. 114
DATE
2/20/2022

SHEET
A1.2
OF

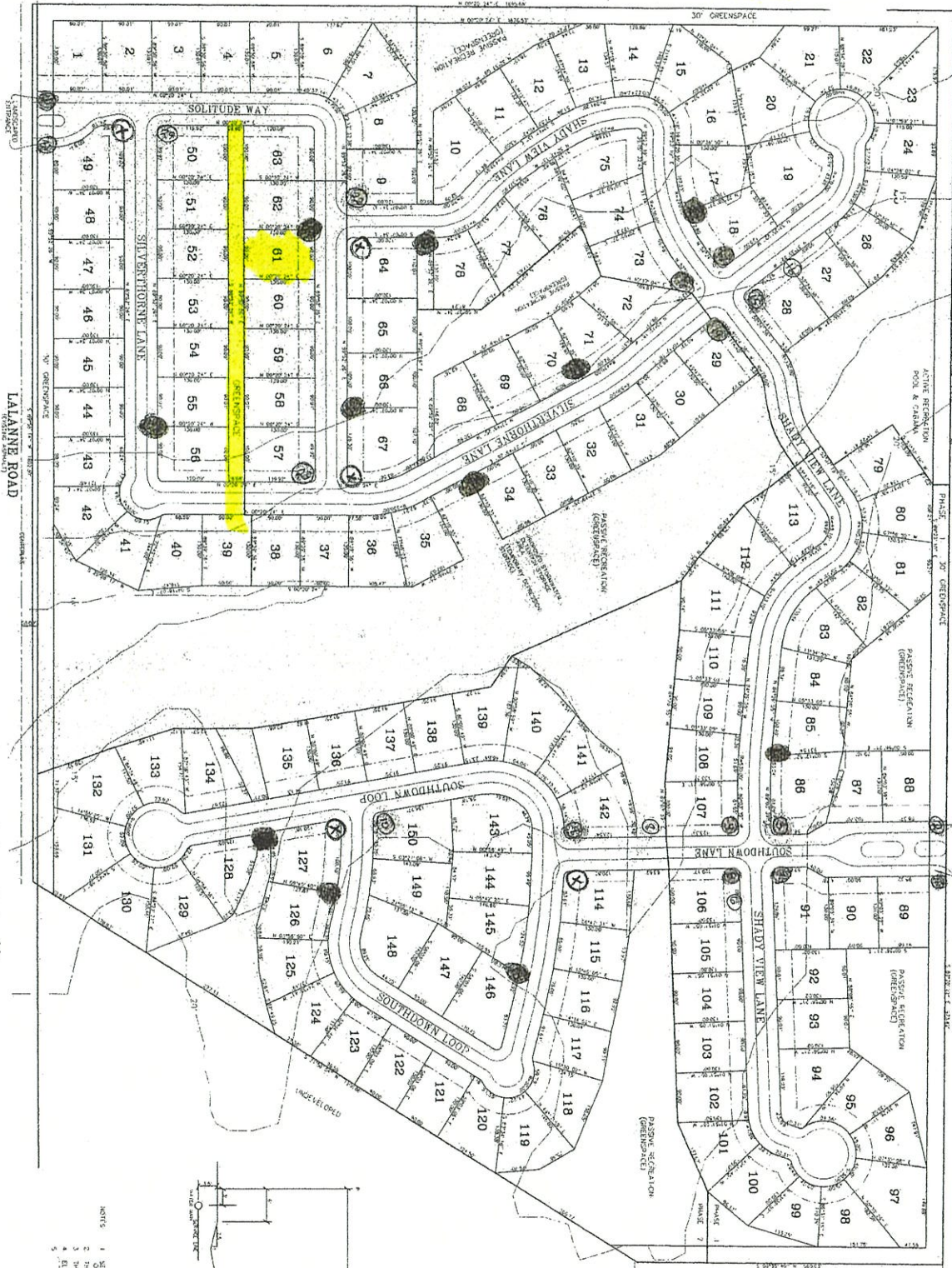
PROJECT
NO. 114
DATE
2/20/2022

*OUR home is the highlighted Lot, #61, and backs to greenspace

BREAKDOWN

NO. OF LOTS	COMPLETION
36	10/02
37	7/03
27	7/04
24	1/05
27	12/05

AREA 56,719 ACRES
AREA 22,934 ACRES
AREA 79,653 ACRES
AREA 71%
AREA 29%
HEIGHT 35 ABOVE BASE FLOOR SLAY
13 LOTS/ACRE
RINDING ON LOADING AREAS
FOR INDUSTRIAL USES



SOUTHDOWN

SECTION 41, T-7-S, R-10-E
ST. TAMMANY PARISH, LA.

11/2/09
Please return back to Kelli, i.e. please do not throw away. Thank you KES

- STOP SIGN ONLY (6)
- DOUBLE STREET STOP SIGN COMBO (7)
- SPEED LIMIT SIGN (11)
- DOUBLE STREET ONLY (2) (Kensel & Lalanne Rd)
- NO OUTLET (3), NO OUTLET TO CALHOUN (4)
- Boobie Sheet Sign eliminated due to Comb (5)

CONCEPTUAL PLAN

SOUTHDOWN
SECTION 41, T-7-S, R-10-E
ST. TAMMANY PARISH, LA.

KELLY J. MCHUGH &
CIVIL ENGINEERS & LAND
845 CALVEZ ST. SUITE 201
METairie, LA 70002

DATE: 11/2/09
SCALE: 1" = 100'

NOTES:
1. SIGNAGE & WATER SERVICES TO BE PROVIDED BY SOUTHWEST LA WATER & SEWER DISTRICT.
2. THIS PROPERTY IS BOUNDED NEIGHBORHOOD.
3. ELEVATIONS SHOWN HEREIN ARE REFERENCED TO M.S.L.
4. INDICATES UTILITIES.

TYPICAL STREET SECTION

LEGEND

- 1. STOP SIGN ONLY (6)
- 2. DOUBLE STREET STOP SIGN COMBO (7)
- 3. SPEED LIMIT SIGN (11)
- 4. DOUBLE STREET ONLY (2) (Kensel & Lalanne Rd)
- 5. NO OUTLET (3), NO OUTLET TO CALHOUN (4)
- 6. Boobie Sheet Sign eliminated due to Comb (5)

NOTES

1. SIGNAGE & WATER SERVICES TO BE PROVIDED BY SOUTHWEST LA WATER & SEWER DISTRICT.
2. THIS PROPERTY IS BOUNDED NEIGHBORHOOD.
3. ELEVATIONS SHOWN HEREIN ARE REFERENCED TO M.S.L.
4. INDICATES UTILITIES.

CONCEPTUAL PLAN

SOUTHDOWN
SECTION 41, T-7-S, R-10-E
ST. TAMMANY PARISH, LA.

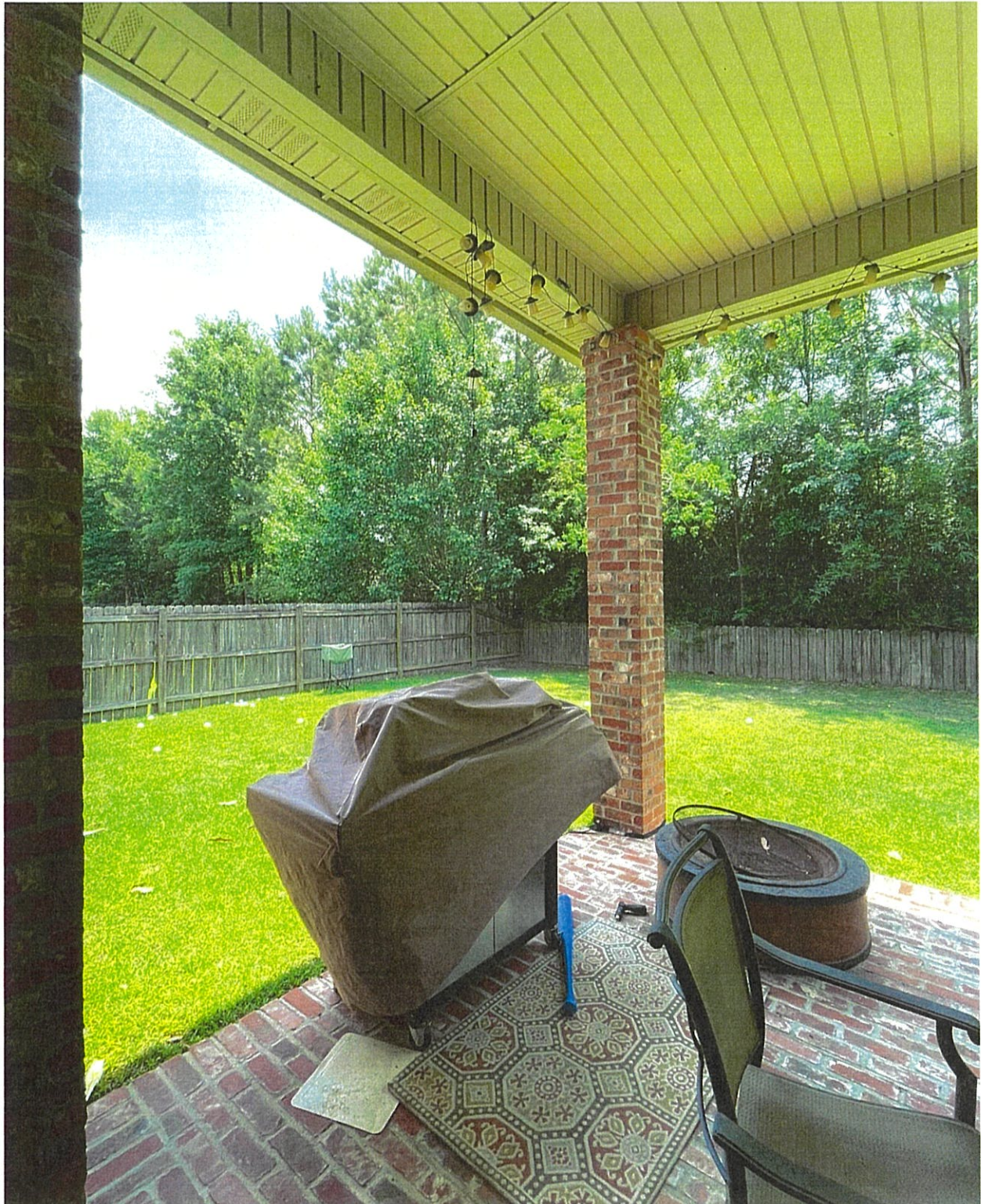
KELLY J. MCHUGH &
CIVIL ENGINEERS & LAND
845 CALVEZ ST. SUITE 201
METairie, LA 70002

DATE: 11/2/09
SCALE: 1" = 100'

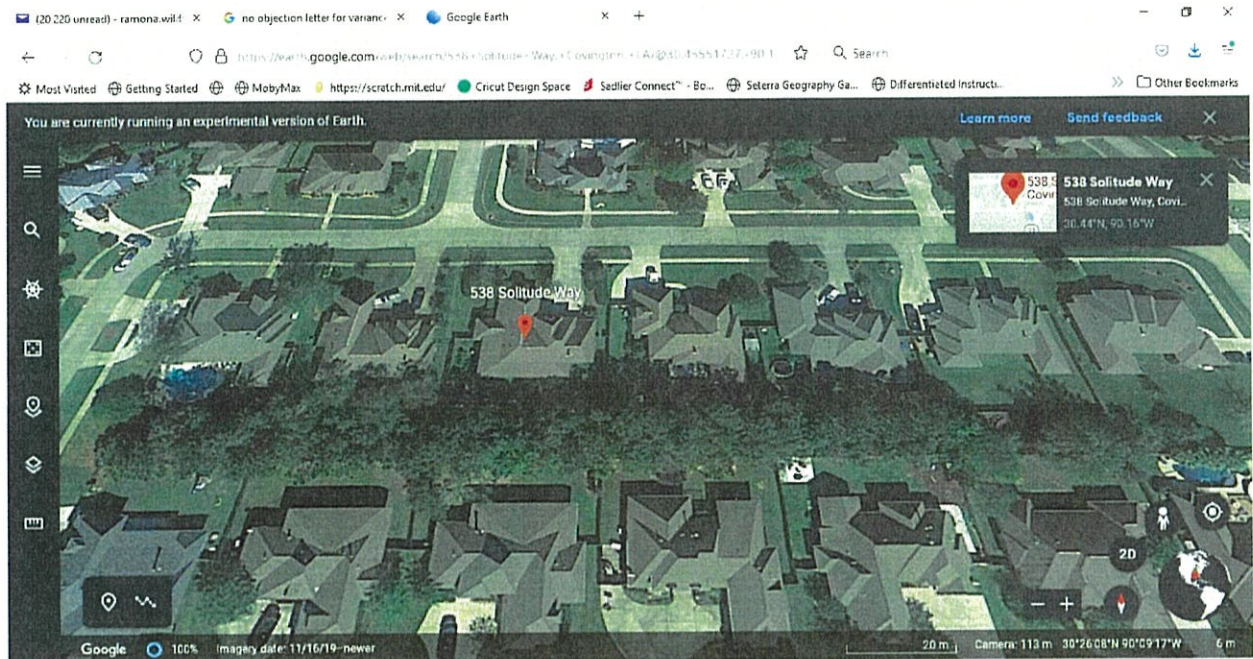
NOTES:
1. SIGNAGE & WATER SERVICES TO BE PROVIDED BY SOUTHWEST LA WATER & SEWER DISTRICT.
2. THIS PROPERTY IS BOUNDED NEIGHBORHOOD.
3. ELEVATIONS SHOWN HEREIN ARE REFERENCED TO M.S.L.
4. INDICATES UTILITIES.



Our property backs to designated green space. We have no backyard neighbors.



The proposed addition will connect to our existing back porch, and maintain a 10ft set back from our neighboring side property line, and will extend to 10ft from our rear property line.



Illustrates that our home backs to green space.

LETTER OF NO OBJECTION

Subject: Wildt, 538 Solitude Way – Letter of No Objection

Dear Neighboring Property Owner:

David and Ramona Wildt, the current owner of the above-referenced property, will be submitting a Variance Adjustment Application to St. Tammany Parish Department of Planning and Development for review. This application request is for:

We are looking to put an addition on the back of our home to better accommodate our family's living needs. In order to build an appropriate structure, we are asking for approval to reduce the rear property setbacks to 10 feet from the rear property line. We have already received approval from our HOA, but want to be considerate of our neighbors, as well.

If you have no objection to this application request, please affix your signature, date, printed name and address below. Thank you for your time and attention to this matter.

Sharon Wayne

Signature(s)

5-8-2022

Date

Sharon Wayne

Printed Name(s)

534 Solitude

Covington

Address

LETTER OF NO OBJECTION

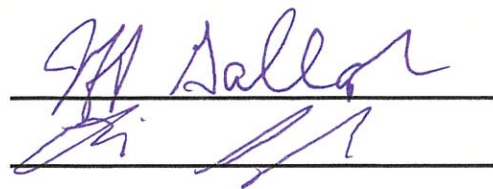
Subject: Wildt, 538 Solitude Way – Letter of No Objection

Dear Neighboring Property Owner:

David and Ramona Wildt, the current owner of the above-referenced property, will be submitting a Variance Adjustment Application to St. Tammany Parish Department of Planning and Development for review. This application request is for:

We are looking to put an addition on the back of our home to better accommodate our family's living needs. In order to build an appropriate structure, we are asking for approval to reduce the rear property setbacks to 10 feet from the rear property line. We have already received approval from our HOA, but want to be considerate of our neighbors, as well.

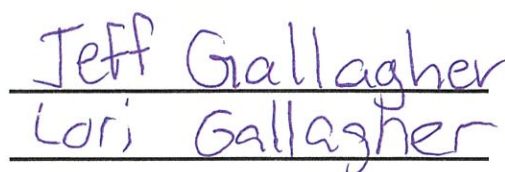
If you have no objection to this application request, please affix your signature, date, printed name and address below. Thank you for your time and attention to this matter.



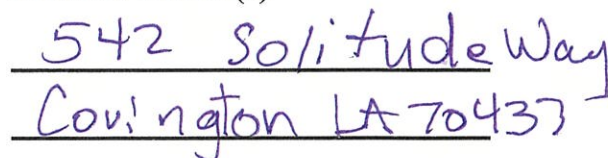
Signature(s)



Date



Printed Name(s)



Address

Southdown POA

(HOA NAME REQUIRED)

Architectural Control Committee

Request for Home & Lot improvements

RETURN REQUEST FORM AND REQUIRED MATERIALS TO:

Southdown POA

ATTN: ACC

PO Box 87234

Baton Rouge, LA 70879

Fax: 225-286-7546

Email: info@magnoliabr.com

**A SKETCH OF YOUR REQUEST MUST ACCOMPANY ALL
REQUESTS REGARDLESS OF THE TYPE.**

OWNER'S NAME: Ramona and David Wildt

ADDRESS: 538 Solitude Way

LOT NUMBER: 61 **EMAIL ADDRESS:** Ramona.Wildt@yahoo.com

CONTACT NUMBER: 985-788-2142 (CELL) (WORK) (HOME)

Please indicate and fully describe the improvement(s) which you propose (check all that apply):

- | | | |
|---|--|--|
| <input checked="" type="checkbox"/> Structure Addition (attached) | <input type="checkbox"/> Structure Addition (non attached) | <input type="checkbox"/> Fence or Wall |
| <input checked="" type="checkbox"/> Windows | <input checked="" type="checkbox"/> Exterior Doors | <input type="checkbox"/> Exterior Railings |
| <input type="checkbox"/> Garage Door | <input checked="" type="checkbox"/> Porch or Deck | <input type="checkbox"/> Bulkhead |
| <input type="checkbox"/> Mailbox | <input type="checkbox"/> Satellite Dish | <input type="checkbox"/> Awning |
| <input type="checkbox"/> Hardscape (sidewalk, pathways) | <input checked="" type="checkbox"/> Roof or Shingles | <input type="checkbox"/> Gutter |
| <input type="checkbox"/> Landscape | <input type="checkbox"/> Exterior Painting | <input type="checkbox"/> Pool or Spa |
| <input type="checkbox"/> Other _____ | | |

Describe in detail the scope of this request to include specific dimensions:

We are looking to make a two story addition onto the back of our home that will include a bonus room, two bedrooms and an additional bedroom with a patio

If you are painting or staining, you **MUST** include paint/stain sample and brand/manufacturer. Please give particular consideration to the color of the brick when making your paint selection.

Siding Color: _____

Front Door Color: _____

Garage Door Color: _____

Shingle Color: match existing

Other Material: _____

Name: Justin Cadis / INTREPID BUILDERS

Phone: _____

A SKETCH OF YOUR REQUEST MUST ACCOMPANY ALL REQUESTS REGARDLESS OF THE TYPE.

1. I (we) are the legal owner(s) of the above described property.
2. The work, if approved, will be done promptly and properly by appropriately licensed contractors if necessary.

Revised 1.9.2019

3. I (we) accept and acknowledge that the responsibility for maintaining, upkeep, etc. of the improvement/change shall solely be mine (ours), successors, assigns and subsequent property owners.
4. All work and the consequences thereof are solely at our risk and expense. We understand and hold the association, board of directors, and Magnolia Management harmless on account of any consequences resulting from this approval, if granted.
5. Certain changes may affect the site plan, final survey or Certificate of Occupancy at my (our) unit and the Consequences thereof are solely at my (our) risk.
6. No representation by the association, board of directors, or Magnolia Management, either expressed or implied, is assumed hereby.
7. I (we) will obtain all necessary permits from the parish, city, and/or state government office as required by law.
8. No construction or alteration of any type shall take place in any Southdown greenspace or common area.
9. All construction debris shall be disposed of properly. No construction debris, project materials or by-product shall be deposited in any Southdown greenspace or common area before, during or after the construction project.

I (we) have read and agree to all of the conditions listed above, and I (we) agree to abide by the decision of the architectural control committee.

Signature: _____

Date: _____

For ACC use only

Date Received: _____ Receiving Member's Name: _____

☐

Approved

☐

Denied

☐

Conditionally Approved

ACC Signatures:

Date: _____

Date: _____

Date: _____

Comments or contingencies from ACC:

MI Magnoliabr Info Add keywords

Home

Compose

Back Reply Reply All Forward Archive Move Delete Spam



- Inbox 999+
- Unread
- Starred
- Drafts 129
- Sent
- Archive
- Spam
- Trash
- ^ Less
- Views Show
- Folders Hide
- + New Folder
- 2017 Baseball
- CHOP
- Darby 17
- Davis 3
- Gap
- Godiva 7
- House Search I... 1
- HTLS
- Hulafrog
- MYB Soccer
- Notes
- Progress
- Progressive
- Receipts - Orde... 2
- Regan 1
- Saved 14
- Solitude
- Southdown H... 77
- Synced Messa... 13
- Target - Job Pr...
- > Trash

Re: ACC Approval Request

Yahoo/Saved



Magnolia Management <info@ma> Fri, Apr 15 at 12:34 PM
To: Ramona Wildt

Hi Ramona,

Your ACC request has been approved as presented. You may begin the work at your convenience.

Sincerely,

Anna Bolen

Assistant Manager



Magnolia Management Services

Post Office Box 87234

Baton Rouge, LA 70879

Office: (225) 286-7546

Text: (225) 286-7546

Fax: (225) 286-7546

www.magnoliabr.com

On Tue, Apr 12, 2022 at 9:31 PM Ramona Wildt
<ramona.wildt@yahoo.com> wrote:

Hi Daniel,

Hope all is well!!

I am attaching my completed ACC form as well as the plans for our home addition. Please reach out if any further information is needed. Also, if you could please let me know an approximate timeline for when I can expect a response, I'd appreciate it!

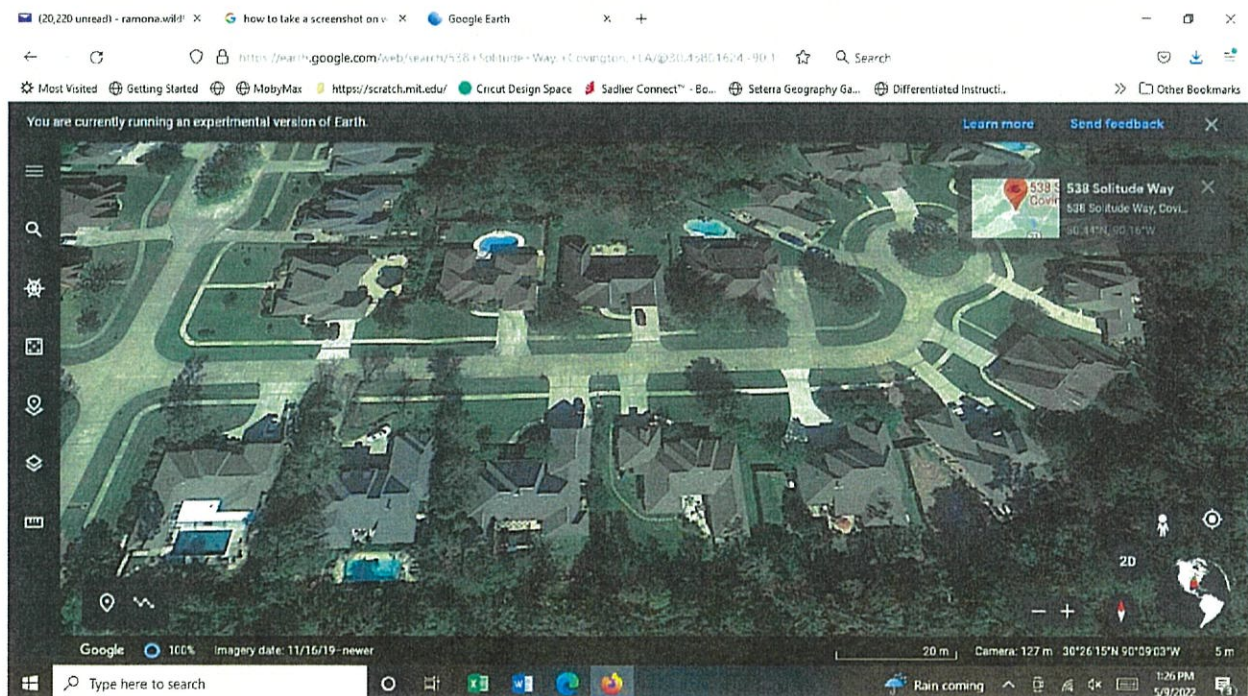
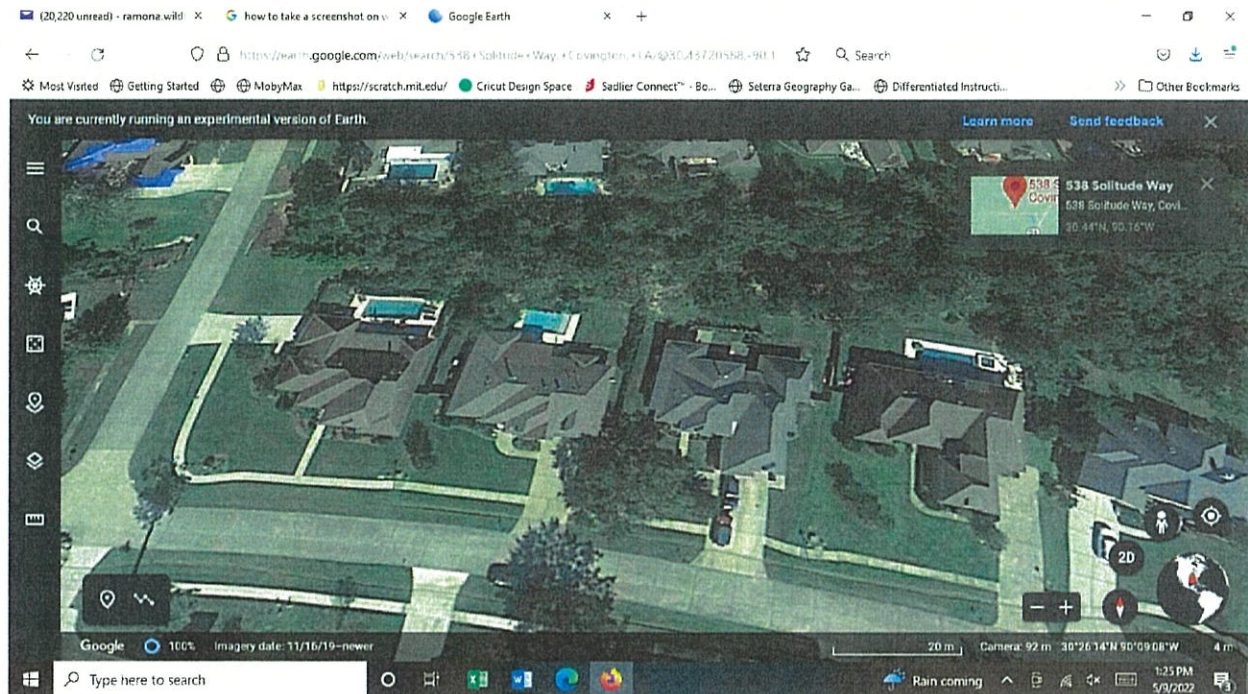
Thanks,

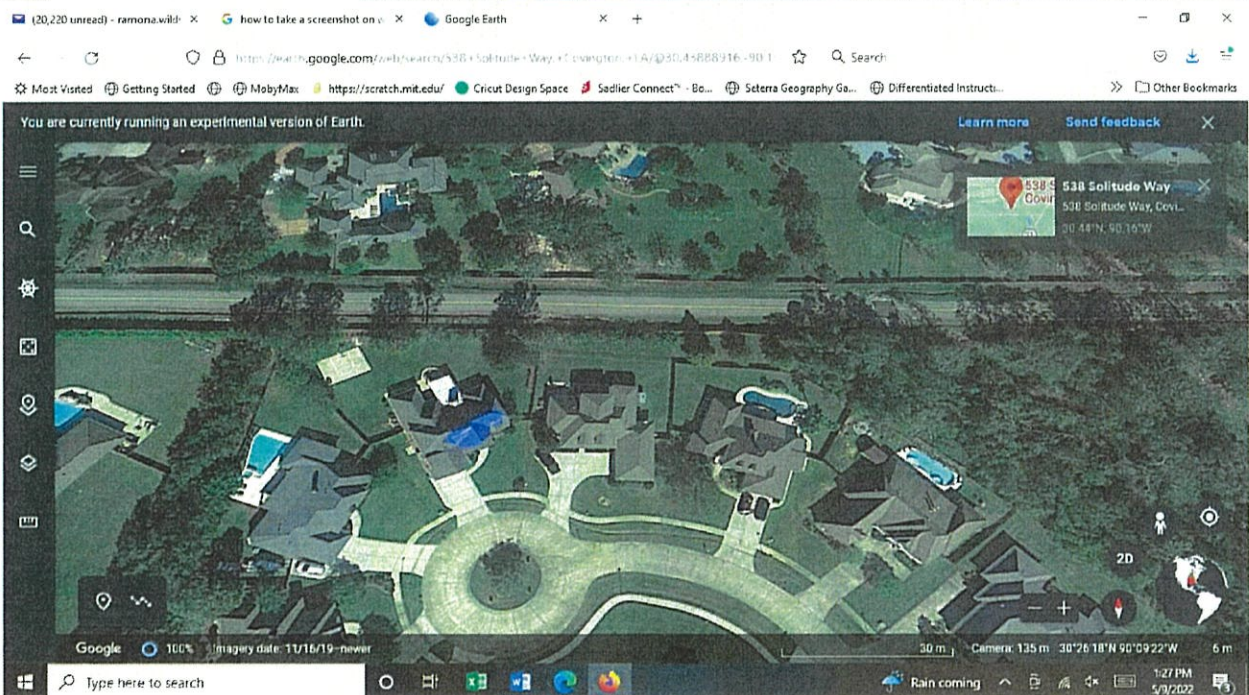
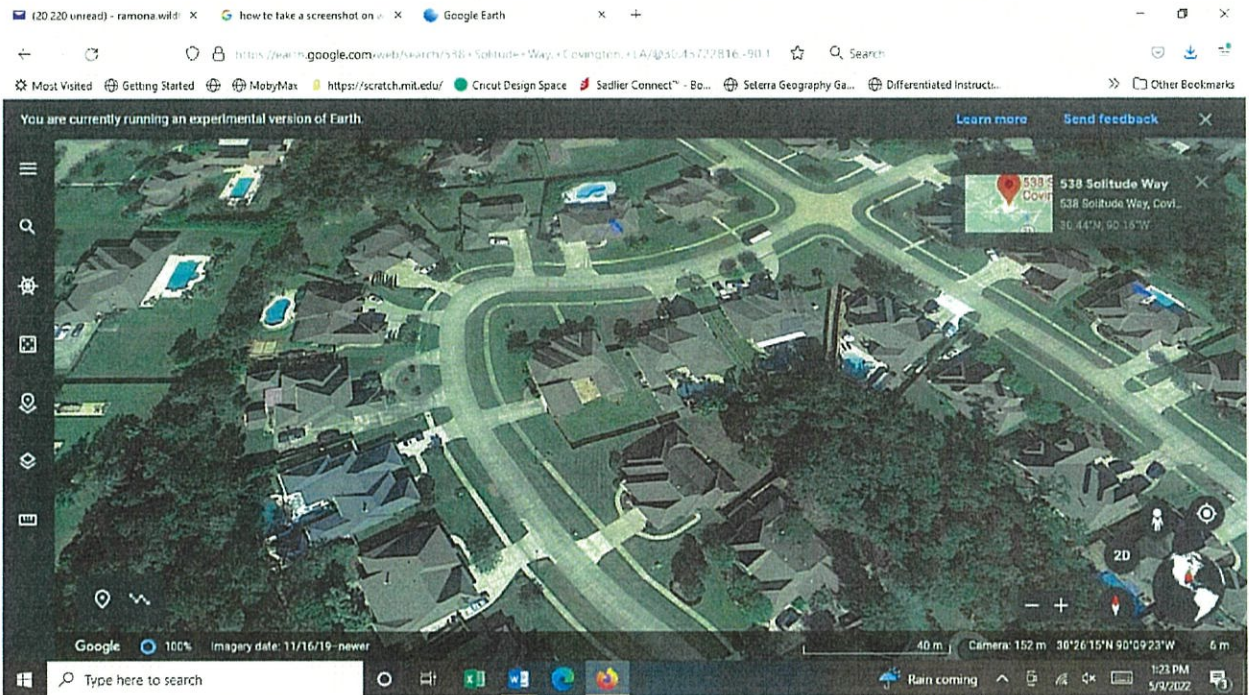
Ramona Wildt

Sent from my iPhone



Illustrates that many homes in our subdivision have built structures and pools with setbacks from the rear property line less than the designated HOA guidelines of 30'.





**ST. TAMMANY PARISH BOARD OF ADJUSTMENT
STAFF ANALYSIS REPORT**

Case File Number:	BOA Case No. 2022-2890-BOA
Initial Hearing Date:	06/07/2022
Date of Report:	05/31/2022

GENERAL INFORMATION

Applicant & Representative:	Keith Luminais
Location of Property:	194 Rucker Road, Madisonville, Louisiana
Zoning of Property:	A-1A Suburban Zoning District.
Variance(s) Requested:	a waiver of the western side 50 foot no cut buffer and to selectively cut the southern 50 foot and 25 foot no cut buffer

OVERVIEW

Request by applicant in an A-1A Suburban Zoning District for a waiver of the western side 50 foot no cut buffer and to selectively cut the southern 50 foot and 25 foot no cut buffer and allow for replanting.

STAFF COMMENTS

As per the Unified Development Code Sec. 130-2250. (b) (2) A minimum uncut buffer of 25 feet in depth along all roadways and a minimum uncut buffer of 50 feet in depth shall be required adjacent to residential zoning district.

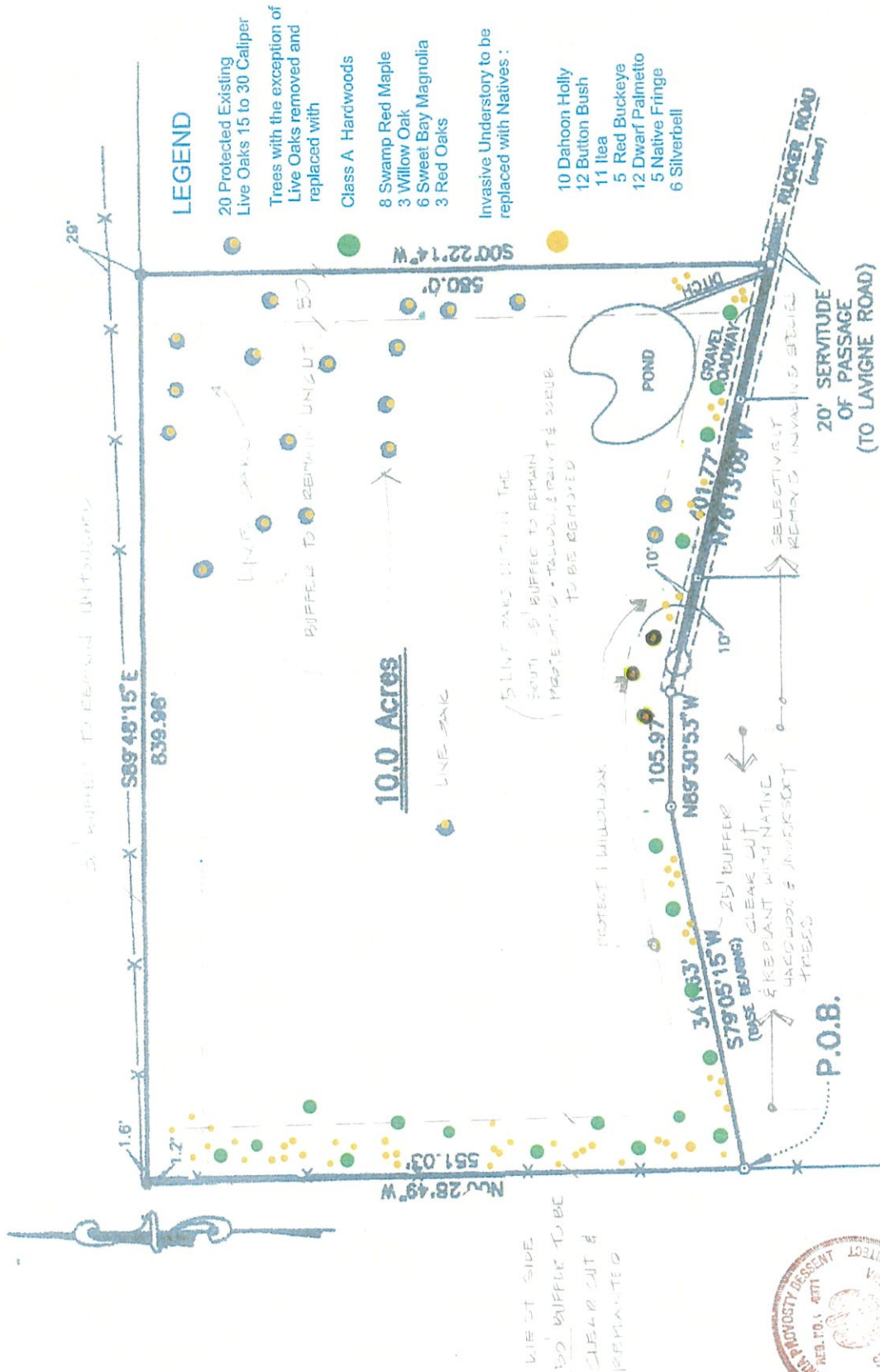
The objective of the request is to allow for the clear cutting of the 50 foot western no cut buffer and to clear cut and selectively cut the invasive species of trees within the southern no cut buffer. While no hardship has been demonstrated to be in favor the requested variances, a detail replanting plan has been submitted showing the trees to be protected and proposed native trees to be replanted.

Should the Board be in favor of the requested variances, it should be subject to:

- Impose a timeline/date to complete the replanting of the trees and require inspection by Parish Landscape Architect.

2022-2890-BOA





Relative Scale 1" = 100'



STAFF ANALYSIS REPORT

Case File Number:	BOA Case No. 2022-2904-BOA
Initial Hearing Date:	06/07/2022
Date of Report:	05/31/2022

GENERAL INFORMATION

Applicant & Representative:	Randy J. Hess
Location of Property:	501 Belle Pointe Loop, Madisonville, Louisiana
Zoning of Property:	A-4 Single Family Residential Zoning District.
Variance(s) Requested:	reduction of the required rear yard setback from 25 feet to 18 feet

OVERVIEW

Request by applicant in an A-4 Single Family Residential Zoning District for a reduction of the required rear yard setback from 25 feet to 18 feet.

STAFF COMMENTS

As per the Unified Development Code Sec. 130-509 (b) (4) *Rear yard*. There shall be a rear yard having a depth of not less than 25 feet, plus one additional foot for every one foot in building height over 20 feet above base flood elevation.

The objective of the request is to allow for an approximately 20 foot addition to an existing single family residence. The addition will consist of an attached covered outdoor patio and kitchen. The requested variance is a personal preference rather than a property hardship.



May 6, 2022

To the Board of Adjustments,

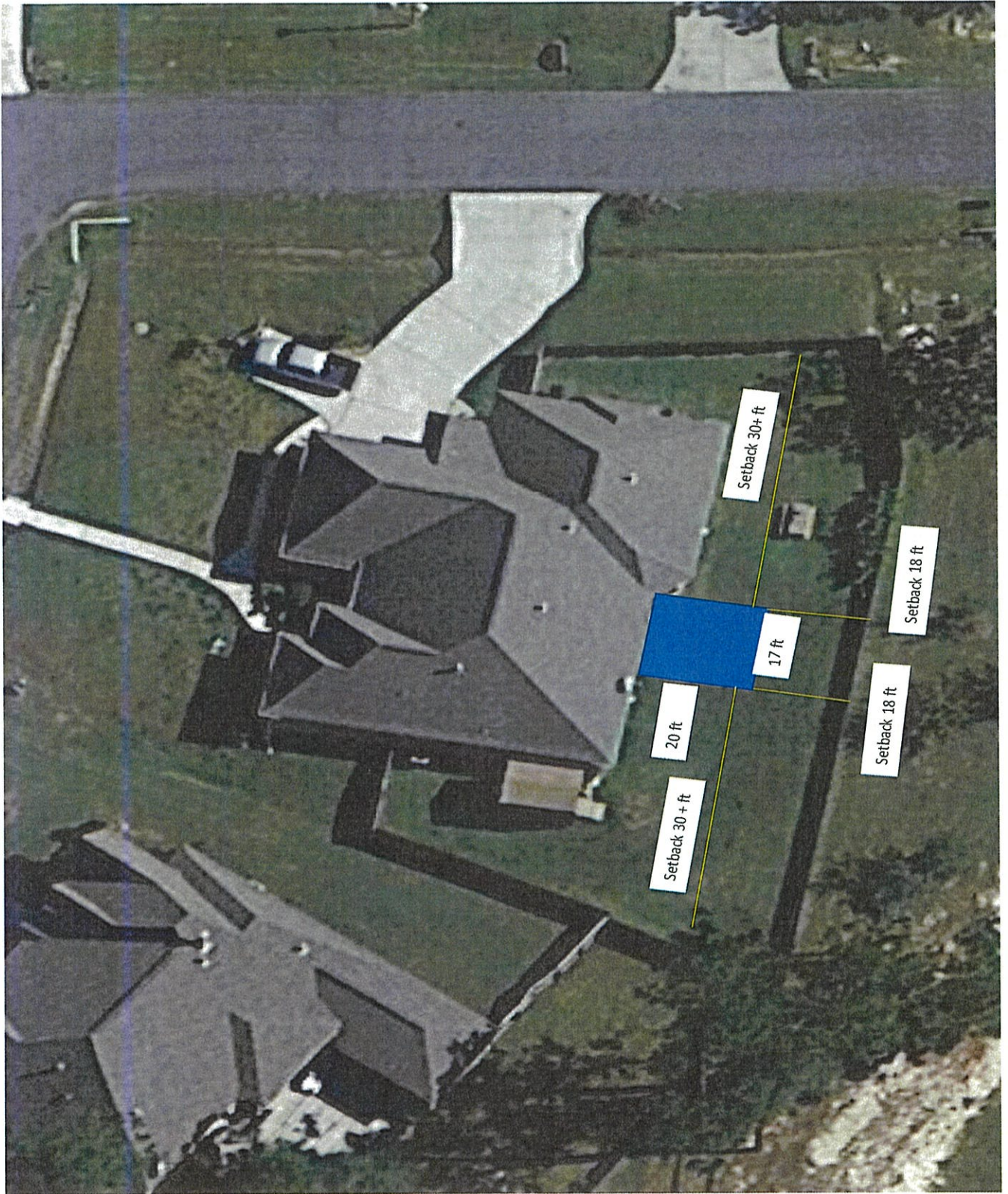
My name is Randy Hess and I live at 501 Belle Pointe Loop which is in Belle Pointe Subdivision in Madisonville, La. 70447. I am requesting a variance on the rear setback of 7 feet reducing the parish required setback of 25 feet to 18 feet. I am asking for this variance to add a patio extension with an open-air outdoor kitchen.

As you can see on the pictures submitted my entire house is not 30 feet from the property line as noted in the survey. Therefore, I am choosing to locate my patio extension in the location noted in the pictures, because I have an extra 5 feet to use decreasing the variance I would need to ask for, and it makes the most sense with the layout of my house. This patio extension will be tied into my existing roofline with a hip roof which will be shingles. Everything used as far as materials will match my existing house. The reason for tying in the patio extension is because my house is the first house you see when you get to our neighborhood pond. I want my patio extension to look like it came with the house and not diminish it with something that looks like an afterthought. I have gotten approval from my HOA and have submitted an approval letter with my packet. I have also received approval letters from my neighbor across the street and the neighbor adjacent to my property on West side stating they are fully aware of my plans and my request for a variance which are also submitted with the packet.

As stated above my yard backs up to very large retention pond which has a fountain right behind my house. There are no neighbors across the pond with that area being dedicated green space. There are also large trees on the other side of the pond which create a buffer. This variance is of no detriment to any of my neighbors. I feel this addition will make my house and the neighborhood look better. I feel like there is still ample space between my addition and the back property line which has a 4-foot picket fence. I appreciate your consideration on this matter and hope to get your approval.

Respectfully

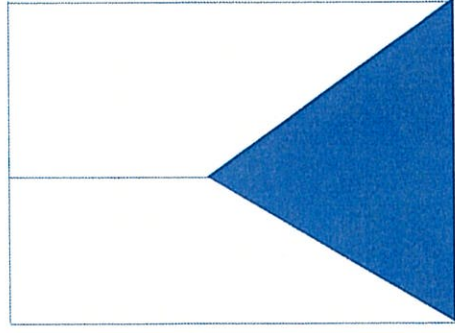

Randy Hess



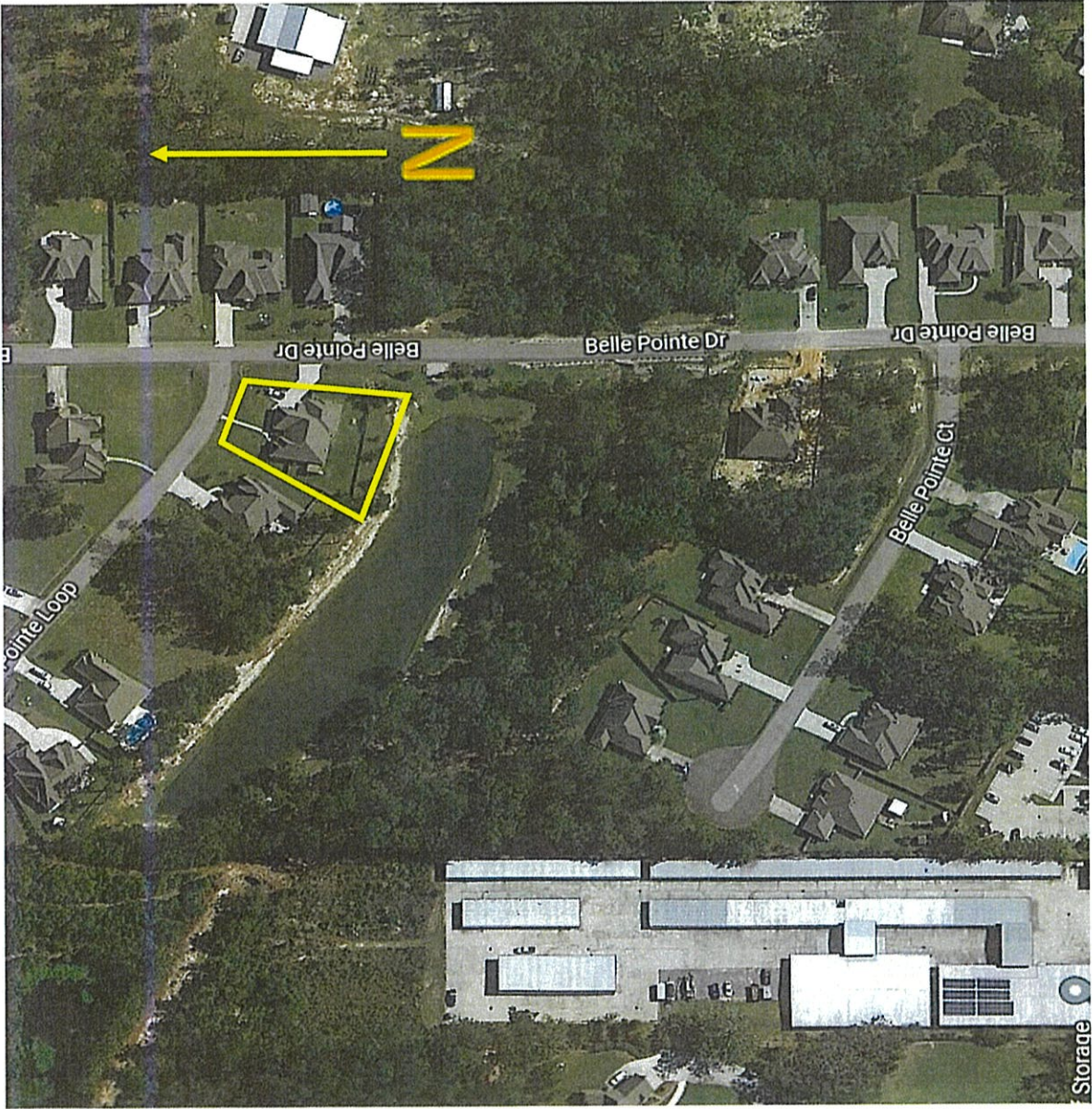
Roof lay out will be 17x20

- Roof will be tied into house at existing roof line and be a hip roof
- Shingles will match house

Existing House side



Pond Side



REAR OF HOUSE
POTS WILL GO HERE
IF APPROVED



Looking From West to East at Rear
of House



Looking South from near of my house.





May 5, 2022

Randy & Candace Hess
501 Belle Pointe Loop
Madisonville, LA 70447

Re: Variance – 501 Belle Pointe Loop

Dear Mr. & Mrs. Hess:

An architectural request for a patio was submitted by you on April 6, 2022 and approved by the Architectural Control Committee (ACC) on April 8, 2022. The patio extends into the 25' setback by 8'. Therefore, on behalf of the ACC, this letter will serve as a variance for the submitted and approved patio plans.

Sincerely,

A handwritten signature in blue ink that reads "Susan Fink".

Susan Fink
Association Manager for Belle Pointe HOA

May 3, 2022

To whom it may concern,

505 Belle Pointe
Loop
NDS

I, Nancy Stein live at 400 Belle Pointe Drive which is located directly across the street from 501 Belle Pointe Loop. I am aware of the patio addition that my neighbor Randy Hess is doing at 501 Belle Pointe Loop. I am also aware that a variance issued from the parish is necessary to proceed. I have been told the parish standard setback is 25 feet and a variance of 7 feet is being requested allowing 18 feet in rear to property line. I have no reservations or issues with this request.

Respectfully,

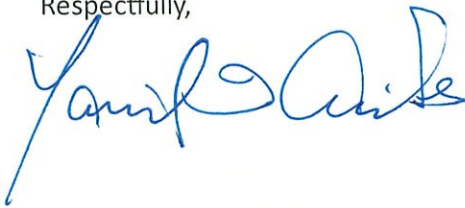
Nancy D Stein

May 3, 2022

To whom it may concern,

I, Yamil I Aviles live at 400 Belle Pointe Drive which is located directly across the street from 501 Belle Pointe Loop. I am aware of the patio addition that my neighbor Randy Hess is doing at 501 Belle Pointe Loop. I am also aware that a variance issued from the parish is necessary to proceed. I have been told the parish standard setback is 25 feet and a variance of 7 feet is being requested allowing 18 feet in rear to property line. I have no reservations or issues with this request.

Respectfully,

A handwritten signature in blue ink, appearing to read "Yamil I Aviles". The signature is written in a cursive, flowing style with a long, sweeping underline that extends to the left.

8:26



mail.yahoo.com



St. Tammany Permit Requirement Requires Attention



no-reply@mygovernmentonline.org

To vincat2020@yahoo.com

May 2 at 8:30 AM

Notification from MyGovernmentOnline.org

*To see the details of this message, log on to the customer portal
at MyGovernmentOnline.org*

Project 2022-2893 requires your attention

St. Tammany Parish Permitting has reviewed a
Planning Approval requirement for Project 2022-
2893 at 501 BELLE POINT LP MADISONVILLE
LA 70447 on . After review, some items require
your attention.

Jurisdiction Logo

The following noted we entered at the time the
requirement was complete :
The following comments were provided at the time
the requirement was completed:
UNABLE TO APPROVE REAR SETBACK MUST
BE NO LESS THAN 25FT.



Delete



Move to



Forward



Reply



More