

AGENDA
ST. TAMMANY PARISH ZONING COMMISSION MEETING
6:00 P.M. – TUESDAY, FEBRUARY 1, 2022
ST. TAMMANY PARISH ADMINISTRATIVE COMPLEX, COUNCIL CHAMBERS
KOOP DRIVE OFF OF HIGHWAY 59
MANDEVILLE, LOUISIANA

NOTE: This meeting will be open to the public. Seating may be restricted due to COVID19 capacity guidelines. Attendees will be required to wear a face mask or covering before entering the Chamber.

A livestream will be available for viewing on regular broadcast channels (Charter Channel 710; U-verse Channel 99) or on the Parish website: www.stpgov.org. The livestream will begin at 6:00 PM on Tuesday, February 1, 2022.

ROLL CALL

CALL TO ORDER

ANNOUNCEMENTS

- **Please silence all phones and electronic devices**
- **Appeals**
- **Speaker Cards**
- **Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal**
- **Please exit the building**

INVOCATION

PLEDGE OF ALLEGIANCE

ELECTION OF OFFICERS

APPROVAL OF THE JANUARY 4, 2022 MINUTES

POSTPONING OF CASES

PUBLIC HEARINGS

APPEARERS

ZONING CHANGE REQUEST CASES - APPLICATIONS FOR A PROPOSED CHANGE OF ZONING DISTRICT OR AMENDMENTS TO THE LAND USE ORDINANCE REQUIRING REVIEW & RECOMMENDATION OF APPROVAL BY THE ZONING COMMISSION BEFORE ACTION BY THE PARISH COUNCIL ARE AS FOLLOWS:

1. 2021-2218-ZC

Existing Zoning: A-2 (Suburban District)
Proposed Zoning: I-2 (Industrial District)
Location: Parcel located on the west side of Compass Way North, South, and East and the west of the Alamosa Park Subdivision being 27.2941 acres; Mandeville; S24, T7S, R11E; Ward 4, District 5
Acres: 27.2941 acres
Petitioner: Jones Fussell, L.L.P. - Jeffery Schoen
Owner: Alamosa Holdings, LLC and Abiquiu Holdings, LLC
Margery Hanisee
Council District: 5

POSTPONED FROM JANUARY 4, 2022 MEETING

2. 2021-2634-ZC

Existing Zoning: A-3 (Suburban District), A-4 (Single-Family Residential District), and NC-1 (Professional Office District)
Proposed Zoning: A-4A (Single-Family Residential District)
Location: Parcel located on the north side of Helenbirg Road, east of Highway 190 Service Road; Covington; S14 & S15, T7S, R11E; Ward 3, District 5
Acres: 10 acres
Petitioner: Jeffrey Schoen
Owner: Succession of Warren Joseph Salles, Jr. - Joseph Salles
Council District: 5

POSTPONED FROM JANUARY 4, 2022 MEETING

AGENDA
ST. TAMMANY PARISH ZONING COMMISSION MEETING
6:00 P.M. – TUESDAY, FEBRUARY 1, 2022
ST. TAMMANY PARISH ADMINISTRATIVE COMPLEX, COUNCIL CHAMBERS
KOOP DRIVE OFF OF HIGHWAY 59
MANDEVILLE, LOUISIANA

3. 2021-2635-ZC

Existing Zoning:

Proposed Zoning:

Location:

Acres:

Petitioner:

Owner:

Council District:

NC-1 (Professional Office District) and NC-4 (Neighborhood Institutional District)

HC-3 (Highway Commercial District)

Parcel located at the end of Highway 190 Service Road, north of Interstate 12, and south of Helenbirg Road; Covington; S15 & S22, T7S, R11E; Ward 3, District 5

6 acres

Gulf States Construction Services, INC. - Mike Saucier

Three Dogs Run LLC - Ronald Stossell, MKMHB, LLC – Marilyn Stoessell Seifert, Alfred Lloyd Stoessell Revocable Trust, Trustee: Pamela B. Stoessell, Joan Prieto Doolittle, Robert T. Doolittle, Jr., Benjamin Doolitte, Golden Properties, LLC - Lauren B. Golden, Golden Properties, LLC - Molloy C. Golden, Ernest Prieto, Marie Elise Prieto, PTP Properties, LLC - Don Scot Prieto, Calla Isabel Prieto, PTP Properties, LLC – Carrie Prieto Segrave, PTP Properties, LLC – Kent Jackson, PTP Properties, LLC – Janet Ruth Jackson, Succession of Clay Carl Prieto represented by Roslyn Fillippello Prieto, Independent Executrix, MMH 2020 Trust and Estate of Margery M Hanisee, by James Miles Hanisee, Trustee and Executor, David M. Moore Living Trust and the Succession of David M. Moore, by Paul D. Rees, Trustee and Executor

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POSTPONED FROM JANAURY 4, 2022 MEETING
4. 2021-2644-ZC

Existing Zoning:

Proposed Zoning:

Location:

Acres:

Petitioner:

Owner:

Council District:

A-4 (Single-Family Residential District)

A-5 (Two-Family Residential District)

Parcel located on the east side of Highway 437, south of Tammany Ave; Covington; S11, T6S, R11E; Ward 3, District 2

.33 acres

Ray Poche

Ray Poche

2
5. 2021-2652-ZC

Existing Zoning:

Proposed Zoning:

Location:

Acres:

Petitioner:

Owner:

Council District:

A-1 (Suburban District)

PF-1 (Public Facilities District)

Parcel located on the northeast side of Isaac Road, southwest of Prosper Drive; Lacombe; S43, T8S, R13E; Ward 7, District 7

.971 acres

Forest Kennedy

Forest and Tamara Kennedy

7
6. 2021-2660-ZC

Existing Zoning:

Proposed Zoning:

Location:

Acres:

Petitioner:

Owner:

Council District:

A-3 (Suburban District)

A-5 (Two-Family Residential District)

Parcel located on the north side of Richardson Drive, east of Tranquility Drive, Lacombe; S34, T8S, R13E; Ward 9, District 11

2 acres

Brandt Matzke

Brandt Matzke

11
7. 2021-2662-ZC

Existing Zoning:

Proposed Zoning:

Location:

Acres:

Petitioner:

Owner:

Council District:

A-3 (Suburban District)

PF-1 (Public Facilities District)

Parcel located on the east side of Louisiana Highway 1090, north of Crowes Landing Road; Pearl River; S13 & S18, T8S, R14E & R15E; Ward 8, District 9

5.03 acres

Keller Williams – Jeff Lindsay

Presbytery of South Louisiana – Barry Chance

9

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MANDEVILLE, LOUISIANA

8. ZC83-07-076A

Major Amendment to the PUD Planned Unit Development Overlay
Location: Subdivision located on the south side of Louisiana Highway 433, west of US Highway 90, and north of Lake Pontchartrain; Slidell; S37, T10S, R15E; Ward 8, District 13
Acres: 187.028 acres
Petitioner: Shelby LaSalle
Owner: Succession of Frederick J. Sigur – Frederick Sigur, Jr.
Council District: 13

9. ZC03-11-073

Major Amendment to the PUD Planned Unit Development Overlay
Location: Subdivision located on the east side of Louisiana Highway 21 and the north side of Pine Crest Drive; Covington; S41, T7S, R10E; Ward 1, District 1
Acres: 65.679 acres
Petitioner: Ryan Patrick
Owner: Natchez Trace Property Owners Association, Inc. – Ryan Patrick
Council District: 1

10. 2020-1801-ZC

Major Amendment to the PUD Planned Unit Development Overlay
Location: Subdivision located on the east side of Louisiana Highway 21 and on the south side of Pine Crest Drive; Covington; S41, T7S, R10E; Ward 1, District 1
Acres: 221.172 acres
Petitioner: Charles Barnett
Owner: TCE Properties, LLC
Council District: 1

NEW BUSINESS

OLD BUSINESS

ADJOURNMENT

**MINUTES OF THE ZONING COMMISSION MEETING
FOR JANUARY 4, 2022**

ROLL CALL Absent were Seeger, Fitzmorris and Randolph

CALL TO ORDER

ANNOUNCEMENTS

- **Please silence all phones and electronic devices**
- **Appeals**
- **Speaker Cards**
- **Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal**
- **Please exit the building**

INVOCATION Crawford

PLEDGE OF ALLEGIANCE Willie

ELECTION OF OFFICERS

Barcelona made a motion to elect Doherty for Chairman, second by Crawford

YEA: Ress, McInnis, Willie, Doherty, Barcelona, Crawford, Smail, and Truxilo

NAY:

ABSTAIN:

Crawford made a motion to elect Fitzmorris for Vice Chairman, second by Barcelona

YEA: Ress, McInnis, Willie, Doherty, Barcelona, Crawford, Smail, and Truxilo

NAY:

ABSTAIN:

Doherty elected Crawford for Parliamentarian

APPROVAL OF THE DECEMBER 7, 2021 MINUTES

Crawford made a motion to approve, second by Barcelona

YEA: Ress, McInnis, Willie, Doherty, Barcelona, Crawford, Smail and Truxillo

NAY:

ABSTAIN:

POSTPONING OF CASES

1. 2021-2218-ZC

Existing Zoning: A-2 (Suburban District)
Proposed Zoning: I-2 (Industrial District)
Location: Parcel located on the west side of Compass Way North, South, and East and the west of the Alamosa Park Subdivision being 27.2941 acres; Mandeville; S24, T7S, R11E; Ward 4, District 5
Acres: 27.2941 acres
Petitioner: Jones Fussell, L.L.P. - Jeffery Schoen
Owner: Alamosa Holdings, LLC and Abiquiu Holdings, LLC
Margery Hanisee
Council District: 5

POSTPONED FROM AUGUST 3, 2021 MEETING

Jeff Schoen came to the podium

Crawford made a motion to postpone for month, second by Barcelona

YEA: Ress, McInnis, Willie, Doherty, Barcelona, Crawford, Smail and Truxillo

NAY:

ABSTAIN:

ZONING CHANGE REQUEST CASES:

Case 2021-2643-ZC was moved up

2. 2021-2643-ZC

Existing Zoning: A-4 (Single-Family Residential District)
Proposed Zoning: NC-4 (Neighborhood Institutional District)
Location: Parcels located on the north side of Eden Isles Drive, west of Marina Drive, being Lots 74, 75, and 76, Unit 3, Eden Isles Subdivision; S28, T9S, R14E; Ward 9, District 12
Acres: .77 acres
Petitioner: Hang Troung
Owner: Paul Pham
Council District: 12

Paul Pham came to the podium

Tina Dynn, Gary Ritch and Emily Knox spoke in favor of this request

Tyra Cortez, Lee Longstreet, Naomi Hass and others spoke against this request

Crawford made a motion to deny, second by Ress

YEA: Ress, McInnis, Willie, Doherty, Barcelona, Crawford, Smail and Truxillo

NAY:

ABSTAIN:

3. 2021-2613-ZC

Existing Zoning: A-1 (Suburban District), RO (Rural Overlay) and MHO (Manufactured Housing Overlay)
Proposed Zoning: PF-1 (Public Facilities District)
Location: Parcel located on the east side of Louisiana Highway 1129, south of Jan Smith Road; Covington; S2, T5S, R11E; Ward 2, District 6
Acres: 25 acres
Petitioner: St. Tammany Parish - Bridget Lavigne
Owner: St. Tammany Parish - Bridget Lavigne
Council District: 6

Bridget Lavigne came to the podium

Barcelona made a motion to approve, second by Willie

YEA: Ress, McInnis, Willie, Doherty, Barcelona, Crawford, Smail and Truxillo

NAY:

ABSTAIN:

4. 2021-2614-ZC

Existing Zoning: A-2 (Suburban District)
Proposed Zoning: A-2 (Suburban District) and RO (Rural Overlay)
Location: Parcel located on the east side of Morning Star Drive, north of Running Bear Drive; Lacombe; S23, T8S, R12E; Ward 7, District 7
Acres: 20 acres
Petitioner: Ray Edgecombe Jr.
Owner: Ray Edgecombe Jr.
Council District: 7

Ray Edgecombe came to the podium

Crawford made a motion to approve, second by Barcelona

YEA: Ress, McInnis, Willie, Doherty, Barcelona, Crawford, Smail and Truxillo

NAY:

ABSTAIN:

5. 2021-2628-ZC

Existing Zoning: A-4 (Single-Family Residential District)
Proposed Zoning: A-4 (Single-Family Residential District) and MHO (Manufactured Housing Overlay)
Location: Parcel located on the west side of Evergreen Lane, north of Fairview Drive, and east of Sunset Drive; Slidell; S4, T9S, R14E; Ward 9, District 11
Acres: .29 acres
Petitioner: Melvin and Mikki Alonso
Owner: Melvin and Mikki Alonso
Council District: 11

Mikki Alonso came to the podium

Crawford made a motion to approve, second by Barcelona

YEA: Ress, McInnis, Willie, Doherty, Barcelona, Crawford, Smail and Truxillo

NAY:

ABSTAIN:

6. 2021-2629-ZC

Existing Zoning:	A-3 (Suburban District)
Proposed Zoning:	A-3 (Suburban District) and MHO (Manufactured Housing Overlay)
Location:	Parcel located on the south side of Washington Street, east of 22nd Street; being Lots 1, 2, and 3, Square 160, Lacombe Park Subdivision; S40, T8S, R12E; Ward 7, District 7
Acres:	.516 acres
Petitioner:	Francisco Avila
Owner:	Francisco Avila
Council District:	7

Francisco Avila came to the podium

Jamie Lindsay spoke in favor of the request

Crawford made a motion to approve, second by Willie

YEA: Ress, McInnis, Willie, Doherty, Barcelona, Crawford, Smail and Truxillo

NAY:

ABSTAIN:

7. 2021-2634-ZC

Existing Zoning:	A-3 (Suburban District), A-4 (Single-Family Residential District), and NC-1 (Professional Office District)
Proposed Zoning:	A-4A (Single-Family Residential District)
Location:	Parcel located on the north side of Helenbirg Road, east of Highway 190 Service Road; Covington; S14 & S15, T7S, R11E; Ward 3, District 5
Acres:	10 acres
Petitioner:	Jeffrey Schoen
Owner:	Succession of Warren Joseph Salles, Jr. - Joseph Salles
Council District:	5

Jeff Schoen came to the podium representing Mr. Salles

Antronette Taylor, Charles LaRose, and Randall Turner spoke against this request

McInnis made a motion to postpone, second by Willie

YEA: Ress, McInnis, Willie, Crawford, Smail and Truxillo

NAY: Doherty and Barcelona

ABSTAIN:

8. 2021-2635-ZC -

Existing Zoning: NC-1 (Professional Office District) and NC-4 (Neighborhood Institutional District)

Proposed Zoning: HC-3 (Highway Commercial District)

Location: Parcel located at the end of Highway 190 Service Road, north of Interstate 12, and south of Helenbirg Road; Covington; S15 & S22, T7S, R11E; Ward 3, District 5

Acres: 6 acres

Petitioner: Gulf States Construction Services, INC. - Mike Saucier

Owner: Three Dogs Run LLC - Ronald Stossell, MKMHB, LLC – Marilyn Stoessell Seifert, Alfred Lloyd Stoessell Revocable Trust, Trustee: Pamela B. Stoessell, Joan Prieto Doolittle, Robert T. Doolittle, Jr., Benjamin Doolittle, Golden Properties, LLC - Lauren B. Golden, Golden Properties, LLC - Molloy C. Golden, Ernest Prieto, Marie Elise Prieto, PTP Properties, LLC - Don Scot Prieto, Calla Isabel Prieto, PTP Properties, LLC – Carrie Prieto Segrave, PTP Properties, LLC – Kent Jackson, PTP Properties, LLC – Janet Ruth Jackson, Succession of Clay Carl Prieto represented by Roslyn Fillippello Prieto, Independent Executrix, MMH 2020 Trust and Estate of Margery M Hanisee, by James Miles Hanisee, Trustee and Executor, David M. Moore Living Trust and the Succession of David M. Moore, by Paul D. Rees, Trustee and Executor

Council District: 5

Willie made a motion to postpone for 1 month, second by Barcelona

YEA: Ress, McInnis, Willie, Doherty, Barcelona, Crawford, Smail and Truxillo

NAY:

ABSTAIN:

9. 2021-2638-ZC

Existing Zoning: A-4 (Single-Family Residential District)

Proposed Zoning: A-4A (Single-Family Residential District)

Location: Parcel located on the north and west sides of Deforest Drive, east of Mardi Street; being Lot 101A, Three Rivers Heights Subdivision; S10, T7S, R10E; Ward 1, District 1

Acres: .41 acres

Petitioner: Christine Aparicio

Owner: Aparicio Enterprise, LLC - Christine Aparicio

Council District: 1

Christine Aparicio came to the podium

Vince Hebert spoke in favor of the request

Allison Tyrney spoke against this request

Smail made a motion to approve, second by Truxillo

YEA: Ress, McInnis, Willie, Doherty, Barcelona, Crawford, Smail and Truxillo

NAY:

ABSTAIN:

10. 2021-2640-ZC

Existing Zoning:	A-3 (Suburban District)
Proposed Zoning:	A-3 (Suburban District) and MHO (Manufactured Housing Overlay)
Location:	Parcel located on the south side of Spruce Lane, west of Kay Drive; Lacombe S33, T8S, R13E; Ward 7, District 11
Acres:	2.15 acres
Petitioner:	Paul Bartholomew
Owner:	Paul Bartholomew
Council District:	11

Paul Bartholomew came to the podium

Cheryl Godwin spoke in favor of this request

Glenn Ruiz spoke against this request

Crawford made a motion to approve, second by Barcelona

YEA: Ress, McInnis, Willie, Doherty, Barcelona, Crawford, Smail and Truxillo

NAY:

ABSTAIN:

ZONING STAFF REPORT

Date: January 25, 2022
Case No.: 2021-2218-ZC
Posted: January 21, 2022

Meeting Date: February 1, 2022
Prior Determination: Postponed – March 2, 2021
Prior Determination: Postponed – April 6, 2021
Prior Determination: Postponed – May 4, 2021
Prior Determination: Postponed until August 3, 2021
Prior Determination: Postponed until January 4, 2022
Prior Determination: Postponed until February 1, 2022
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: Jones Fussell, L.L.P. - Jeffery Schoen
OWNER: Alamosa Holdings, LLC and Abiquiu Holdings, LLC – Margery Hanisee
REQUESTED CHANGE: From A-2 Suburban District to I-2 Industrial District

LOCATION: Parcel located on the west side of Compass Way North, South, and East and the west of the Alamosa Park Subdivision being 27.2941 acres; Mandeville

SIZE: 27.2941 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: No current access **Road Surface:** No current Access **Condition:** No current access

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Undeveloped	A-2 Suburban District
South	Undeveloped	A-2 Suburban District
East	Industrial	I-2 Industrial District
West	Residential	A-2 Suburban District

EXISTING LAND USE:

Existing development: No **Multi occupancy development:** No

COMPREHENSIVE PLAN:

Planned Districts - Coordinated development on several parcels, usually at a higher density – but not in all cases - than other parcels in the proximity, planned in an integrated fashion as single units including residential, commercial and possibly other (institutional, recreational, *e.g.*) uses, as well as the supporting infrastructure and public services they will require (*See “Small Area Plans,” below*). Generally, such developments improve environmental qualities, preserve natural environments, provide for open space and recreational uses, and for residential as well as commercial uses, and are equipped with central utility systems and efficient and effective internal and external transportation access in multiple modes.

Single Family Residential – Conservation - These planned districts would include clustered single-family residential uses, at a density – within the overall tract – which is similar to that of adjoining residential uses, and conservation areas, following a Small Area Plan, and providing for balance, compatibility and integration of uses and all supporting infrastructure. Such individual Planned Residential – Conservation developments should aim to achieve contiguity among adjoining conservation areas in adjacent developments.

STAFF COMMENTS:

The petitioner is requesting to change the zoning classification from A-2 Suburban District to I-2 Industrial District. The site is located on the west side of Compass Way North, South, and East and west of the Alamosa Park Subdivision being 27.2941 acres, Mandeville. The 2025 Future Land Use Plan designates the site to be developed with residential uses that aim to achieve contiguity among adjoining conservation areas in adjacent developments.

The subject site is part of a 36-acre tract of land located west of the existing Alamosa Park Subdivision which is currently zoned I-2. The applicant is requesting to rezone a 27.294- acre portion of the site to I-2 Industrial District to add to the adjacent industrial park. The subject property is flanked by undeveloped property zoned A-2 to the north and south, and a residential neighborhood to the west. The purpose of the I-2 Industrial District is to provide for the location of industrial uses in areas that minimize conflict with nearby residential uses. It should be noted that a portion of the 36-acre tract that measures 9.11-acres and is 300 ft. deep has been omitted from the request where it abuts the residential subdivision, thereby acting as a buffer between industrial and residential uses (see attached sketch).

Case No.: 2021-2218-ZC

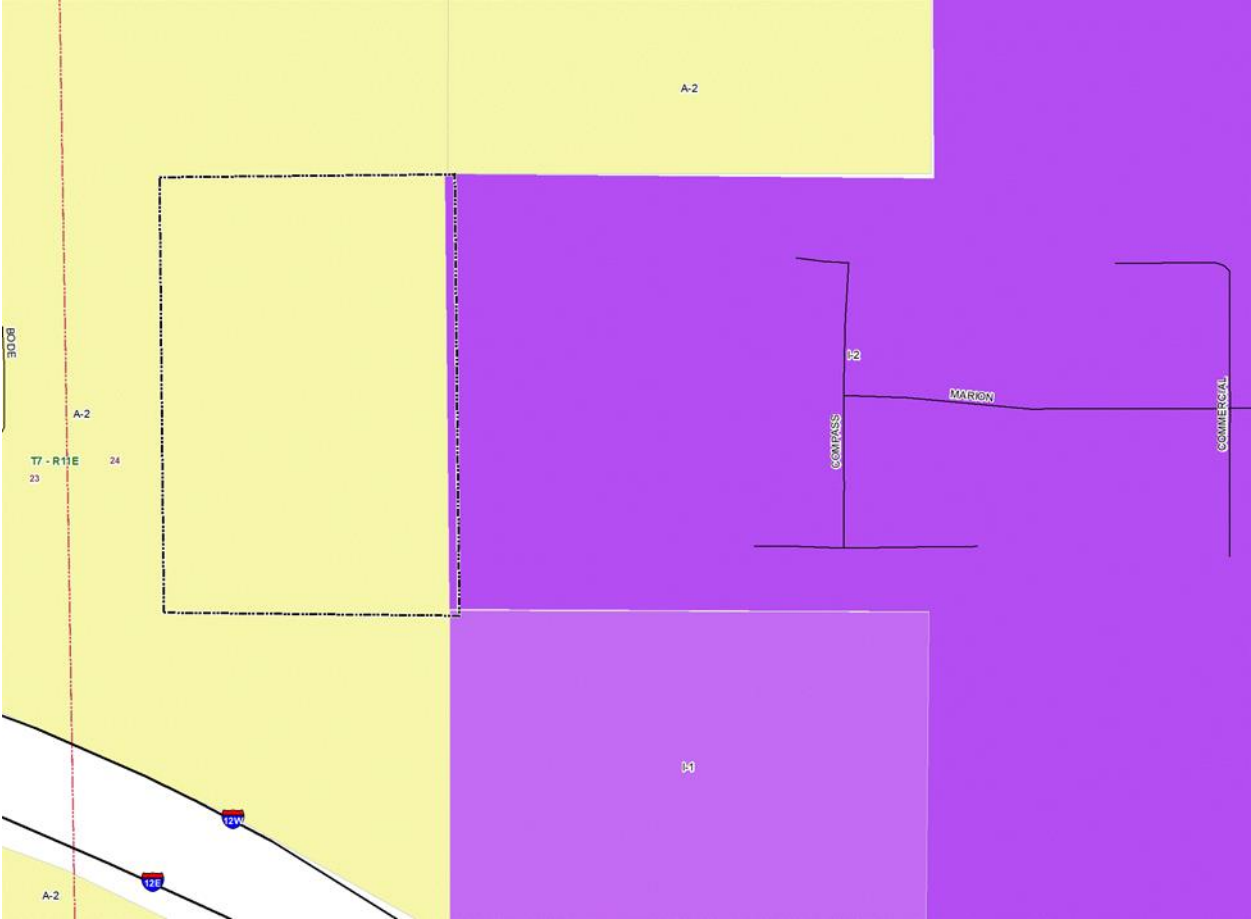
PETITIONER: Jones Fussell, L.L.P. - Jeffery Schoen

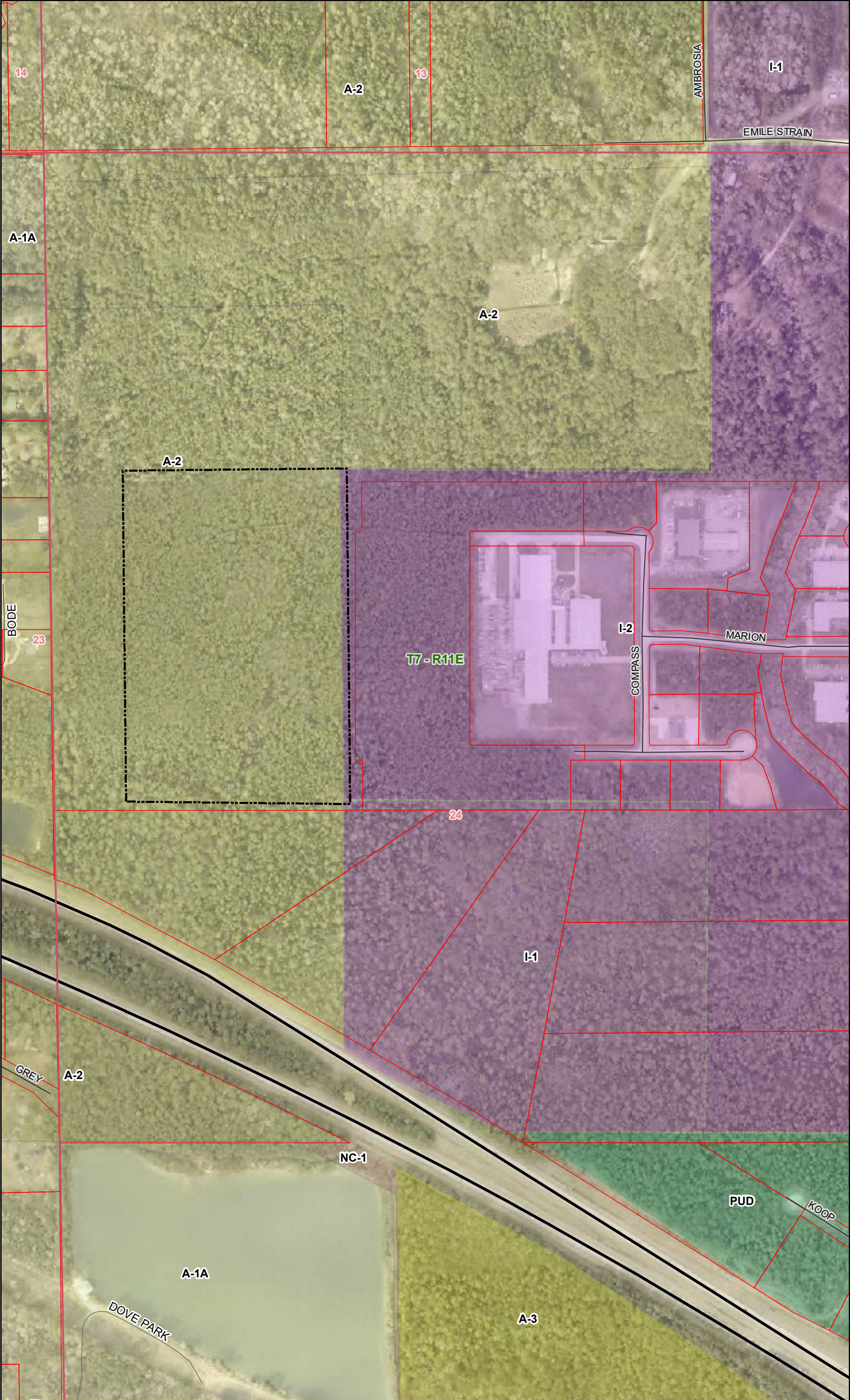
OWNER: Alamosa Holdings, LLC and Abiquiu Holdings, LLC – Margery Hanisee

REQUESTED CHANGE: From A-2 Suburban District to I-2 Industrial District

LOCATION: Parcel located on the west side of Compass Way North, South, and East and the west of the Alamosa Park Subdivision being 27.2941 acres; Mandeville

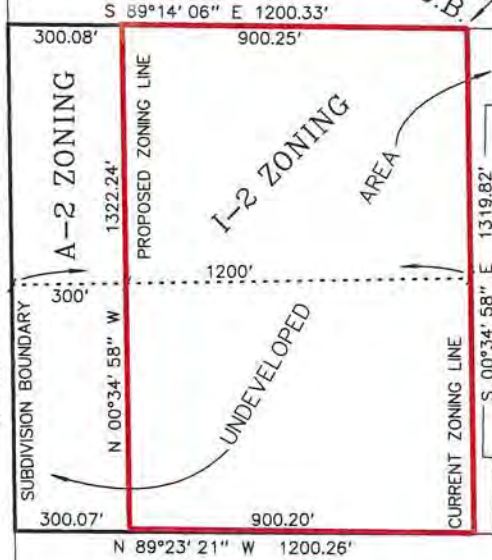
SIZE: 27.2941





THELMA ESTATES

N 00°34' 58" W 1323.05'



THIS POINT IS REPORTED TO BE
S 00°10' 22" W 1318.99';
THENCE N 89°29' 04" W 1335.62';
THENCE N 89°26' 16" W 1337.44';
THENCE N 89°14' 06" W 1465.86';
FROM THE NORTHEAST CORNER OF SECTION 24,
TOWNSHIP-7-SOUTH, RANGE-11-EAST,

RURAL UNDEVELOPED



RURAL UNDEVELOPED

2021-2218-ZC

Subject Property

L.A. HWY 59

SKETCH OF A ZONING LINE REVISION
ALAMOSA PARK, ST. TAMMANY PARISH, LA.

SCALE:	1" = 500'	DATE:	10-08-20
DRAWN:	DRJ	JOB NO.:	15-282
REVISED:			

KELLY J. McHUGH & ASSOC., INC.
CIVIL ENGINEERS & LAND SURVEYORS
845 GALVEZ ST., MANDEVILLE, LA. 626-5611

ZONING STAFF REPORT

Date: January 25, 2022
Case No.: 2021-2634-ZC
Posted: January 21, 2022

Meeting Date: February 1, 2022
Prior Determination: Postponed until February 1, 2022
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: Jeffrey Schoen
OWNER: Succession of Warren Joseph Salles, Jr. - Joseph Salles
REQUESTED CHANGE: From A-3 Suburban District, A-4 Single-Family Residential District, and NC-1 Professional Office District to A-4A Single-Family Residential District
LOCATION: Parcel located on the north side of Helenbirg Road, east of Highway 190 Service Road; Covington
SIZE: 10 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: Unopened Parish Right of Way

Road Surface: N/A

Condition: N/A

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Residential	A-4 Single-Family Residential District
South	Residential	NC-1 Professional Office District
East	Residential	A-4 Single-Family Residential District and NC-1 Professional Office District
West	Undeveloped	NC-1 Professional Office District

EXISTING LAND USE:

Existing development: No

Multi occupancy development: No

COMPREHENSIVE PLAN:

Planned Districts - Coordinated development on several parcels, usually at a higher density – but not in all cases - than other parcels in the proximity, planned in an integrated fashion as single units including residential, commercial and possibly other (institutional, recreational, e.g.) uses, as well as the supporting infrastructure and public services they will require (See “Small Area Plans,” below). Generally, such developments improve environmental qualities, preserve natural environments, provide for open space and recreational uses, and for residential as well as commercial uses, and are equipped with central utility systems and efficient and effective internal and external transportation access in multiple modes.

Residential Infill – New residential uses developed on undeveloped tracts within existing residential districts that are compatible with, or improve upon, those existing uses. Such uses may be allowed a greater density of use, in exchange for public benefits that would be provided.

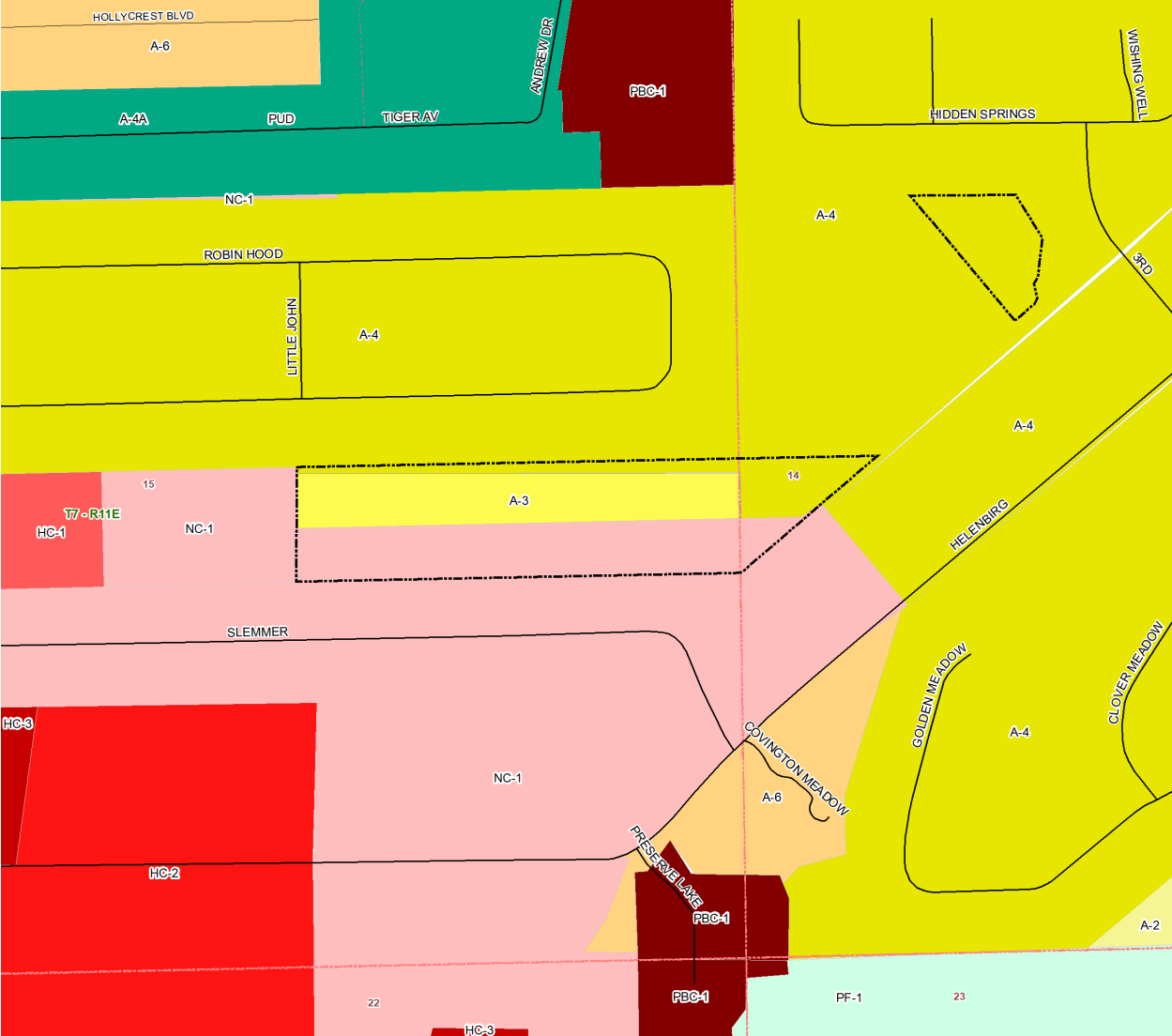
STAFF COMMENTS:

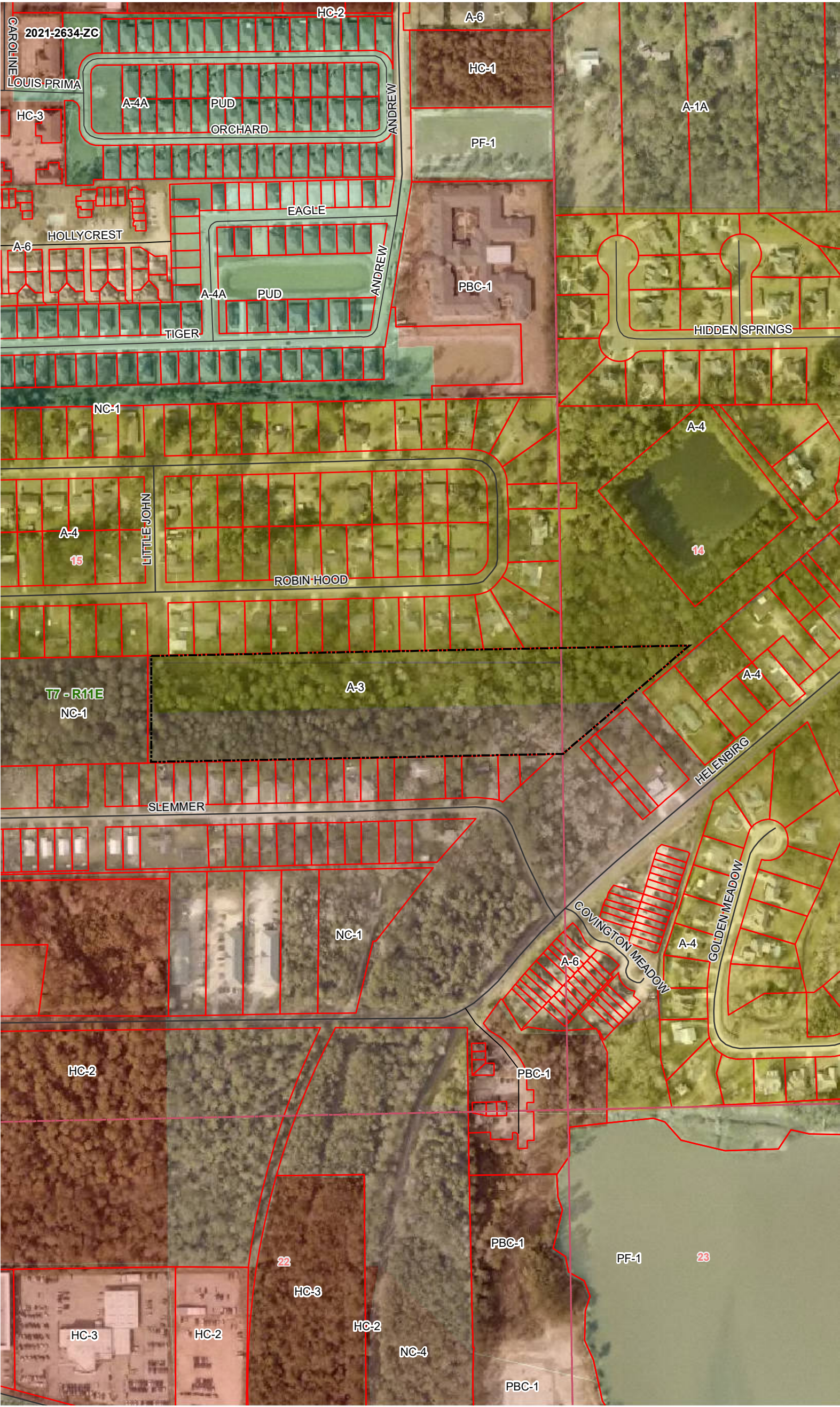
The petitioner is requesting to change the zoning classification from A-3 Suburban District, A-4 Single-Family Residential District, and NC-1 Professional Office District to A-4A Single-Family Residential District. The site is located on the north side of Helenbirg Road, east of Highway 190 Service Road; Covington. The 2025 Future Land Use Plan designates the site to be developed with residential uses on undeveloped tracts that are compatible with existing surrounding uses.

The subject property is currently undeveloped and abuts residential uses to the north, east, and south and undeveloped commercially zoned property to the west. The purpose of the requested A-4A Single-Family Residential District is to provide single-family dwellings in a setting of moderate urban density. A change in zoning will increase the allowable density where the property is currently zoned to accommodate residential uses but decrease the allowable intensity where the property is currently zoned to accommodate commercial uses (see Table 1).

Table 1: Zoning Classifications			
	Max Density	Min. Lot Width	Permitted Uses
<u>Current Zoning:</u> A-3 Suburban District	21,780 sq. ft. (2 units per acre)	100 ft.	One single-family dwelling; Private garages and accessory structures; Garage Apartments or guest homes under 1,000 sq. ft.; Community central water treatment, well, and storage facilities; Household agriculture
<u>Current Zoning:</u> A-4 Single Family Residential District	10,890 sq. ft. (4 units per acre)	90 ft.	One single-family dwelling; Private garages and accessory structures; Garage Apartments or guest homes under 1,000 sq. ft.; Community central water treatment, well, and storage facilities; Household agriculture
<u>Current Zoning:</u> NC-1 Professional Office District	N/A	60 ft.	Law office; Architectural Office; Accountant Office; Real Estate Office; Insurance Office; Business Office; Daytime Doctor, Dentist, and Chiropractor Office; Veterinary Clinics Without Outdoor Kennels; Other Professional Office; One Single-Family Dwelling; Garage Apartments or guest homes under 1,000 sq. ft.;
<u>Proposed Zoning:</u> A-4A Single-Family Residential District	7,260 sq. ft. <u>(6 units per acre)</u> 60 units	60 ft.	One single-family dwelling; Private garages and accessory structures; Garage Apartments or guest homes under 1,000 sq. ft.; Community central water treatment, well, and storage facilities; Household agriculture

Case No.: 2021-2634-ZC
PETITIONER: Jeffrey Schoen
OWNER: Succession of Warren Joseph Salles, Jr. - Joseph Salles
REQUESTED CHANGE: From A-3 Suburban District, A-4 Single-Family Residential District, and NC-1 Professional Office District to A-4A Single-Family Residential District
LOCATION: Parcel located on the north side of Helenbirg Road, east of Highway 190 Service Road; Covington
SIZE: 10 acres





- NOTES
1.

THIS PLAN IS FOR CONCEPTUAL PLANNING PURPOSES ONLY AND SHALL NOT BE USED FOR PERMITTING OR CONSTRUCTION PURPOSES.
2.

SURVEY INFORMATION SHOWN IS FROM A BOUNDARY SURVEY PREPARED BY EDWARD J. MURPHY.
3.

SUBJECT PROPERTY IS LOCATED IN SECTION 14 AND 15, TOWNSHIP 15 SOUTH, RANGE 11 EAST IN ST. TAMMANY PARISH.
4.

PROPOSED SUBDIVISION LAYOUT IS BASED ON ST. TAMMANY PARISH A-4A(D) SINGLE-FAMILY RESIDENTIAL ZONING.
5.

DETENTION POND SIZE SHOWN IS ESTIMATED BASED ON THE AREA OF THE SITE DRAINING TO THE PONDS. EXACT POND SIZE MAY CHANGE DURING PREPARATION OF THE DRAINAGE STUDY.

SITE ANALYSIS

TOTAL AREA	+/-9.88 ACRES
TOTAL LOTS	35
6 LOTS/ACRE MAXIMUM DENSITY	3.54 UNITS/ACRE
LENGTH OF ROADS 60 R.O.W. / 20' ROADWAY	1,580 LN FT
OPEN SPACE	1.11 ACRES (11.2%)



ZONING STAFF REPORT

Date: January 25, 2022
Case No.: 2021-2635-ZC
Posted: January 21, 2022

Meeting Date: February 1, 2022
Prior Determination: Postponed until February 1, 2022
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: Gulf States Construction Services, INC. - Mike Saucier
OWNER: Three Dogs Run LLC - Ronald Stoessell, MKMHB, LLC – Marilyn Stoessell Seifert, Alfred Lloyd Stoessell Revocable Trust, Trustee: Pamela B. Stoessell, Joan Prieto Doolittle, Robert T. Doolittle, Jr., Benjamin Doolittle, Golden Properties, LLC - Lauren B. Golden, Golden Properties, LLC - Molloy C. Golden, Ernest Prieto, Marie Elise Prieto, PTP Properties, LLC - Don Scot Prieto, Calla Isabel Prieto, PTP Properties, LLC – Carrie Prieto Segrave, PTP Properties, LLC – Kent Jackson, PTP Properties, LLC – Janet Ruth Jackson, Succession of Clay Carl Prieto represented by Roslyn Fillippello Prieto, Independent Executrix, MMH 2020 Trust and Estate of Margery M Hanisee, by James Miles Hanisee, Trustee and Executor, David M. Moore Living Trust and the Succession of David M. Moore, by Paul D. Rees, Trustee and Executor
REQUESTED CHANGE: From NC-1 Professional Office District and NC-4 Neighborhood Institutional District to HC-3 Highway Commercial District
LOCATION: Parcel located at the end of Highway 190 Service Road, north of Interstate 12, and south of Helenbirg Road; Covington
SIZE: 6 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: Parish

Road Surface: 2 Lane Asphalt

Condition: Good

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Undeveloped	NC-1 Professional Office District
South	Interstate 12	N/A
East	Medical	PBC-1 Planned Business District
West	Commercial	HC-3 Highway Commercial District

EXISTING LAND USE:

Existing development: No

Multi occupancy development: No

COMPREHENSIVE PLAN:

Planned Districts - Coordinated development on several parcels, usually at a higher density – but not in all cases - than other parcels in the proximity, planned in an integrated fashion as single units including residential, commercial and possibly other (institutional, recreational, e.g.) uses, as well as the supporting infrastructure and public services they will require (See “Small Area Plans,” below). Generally, such developments improve environmental qualities, preserve natural environments, provide for open space and recreational uses, and for residential as well as commercial uses, and are equipped with central utility systems and efficient and effective internal and external transportation access in multiple modes.

Commercial Infill – New commercial uses developed on undeveloped tracts within existing commercial districts that are compatible with, or improve upon, those existing uses. Such uses may be allowed a greater density of use, in exchange for public benefits that would be provided.

STAFF COMMENTS:

The petitioner is requesting to change the zoning classification from NC-1 Professional Office District and NC-4 Neighborhood Institutional District to HC-3 Highway Commercial District. The site is located at the end of Highway 190 Service Road, north of Interstate 12, and south of Helenbirg Road; Covington. The 2025 Future Land Use Plan designates the site to be developed as a Planned District with new commercial uses on undeveloped tracts within existing commercial districts.

The subject site is a 6-acre undeveloped tract of property located along the Highway 190 Service Road. The property is flanked by medical and commercial uses and zoning classifications of various intensity, including HC-3 Highway Commercial District. The purpose of the existing NC-1 Professional Office District is to provide for the location of small professional offices in close proximity to residential development. The purpose of the existing NC-4 Neighborhood Institutional District is to provide for the location of uses which provide a service at the neighborhood level but could result in a large influx of customers or clientele at a specific time. The purpose of the requested HC-3 Highway Commercial District is to provide for the location of large-scale, heavy commercial retail, office, and service uses with primary access being collectors or arterial roadways. A change in zoning will allow for more intense commercial uses to be located on a property that is flanked by existing commercial and medical uses, undeveloped land to the north and Interstate 12 to the south.

Table 1: Zoning Classifications			
	Max Hight	Max Building Size	Permitted Uses
<u>Current Zoning:</u> NC-1 Professional Office District	35 ft.	5,000 sq. ft.	Law office; Architectural Office; Accountant Office; Real Estate Office; Insurance Office; Business Office; Daytime Doctor, Dentist, and Chiropractor Office; Veterinary Clinics Without Outdoor Kennels; Other Professional Office; One Single-Family Dwelling; Garage Apartments or guest homes under 1,000 sq. ft.;
<u>Current Zoning:</u> NC-4 Neighborhood Institutional District	35 ft.	12,500 sq. ft.	All uses permitted in the NC-3 District; Dance studios; Music studios; Aerobic/weight loss studios; Educational learning centers; Churches, temples, synagogues, and mosques; Religious educational facilities; Clubs and lodges; Fraternal and religious institutions; Child day care centers; Nursery Schools
<u>Proposed Zoning:</u> HC-3 Highway Commercial District	60 ft.	250,000 sq. ft.	All uses permitted in the HC-2 District; Automotive service stations, centers, and sales; Indoor recreation establishments; Drive-in movie theaters; Storage facilities associated with insurance companies or related offices for wrecked and impounded vehicles; Commercial recreation; Lodging greater than 100 rooms; Nightclubs, bars, and lounges; Entertainment which typically consists of live performances; Bus, truck or other transportation terminals; Outdoor retail sales and storage yards; Portable storage containers used for storage; Outdoor display area of pre-assembled buildings, pools, and playground equipment; Crematorium; Cemeteries

Case No.: 2021-2635-ZC

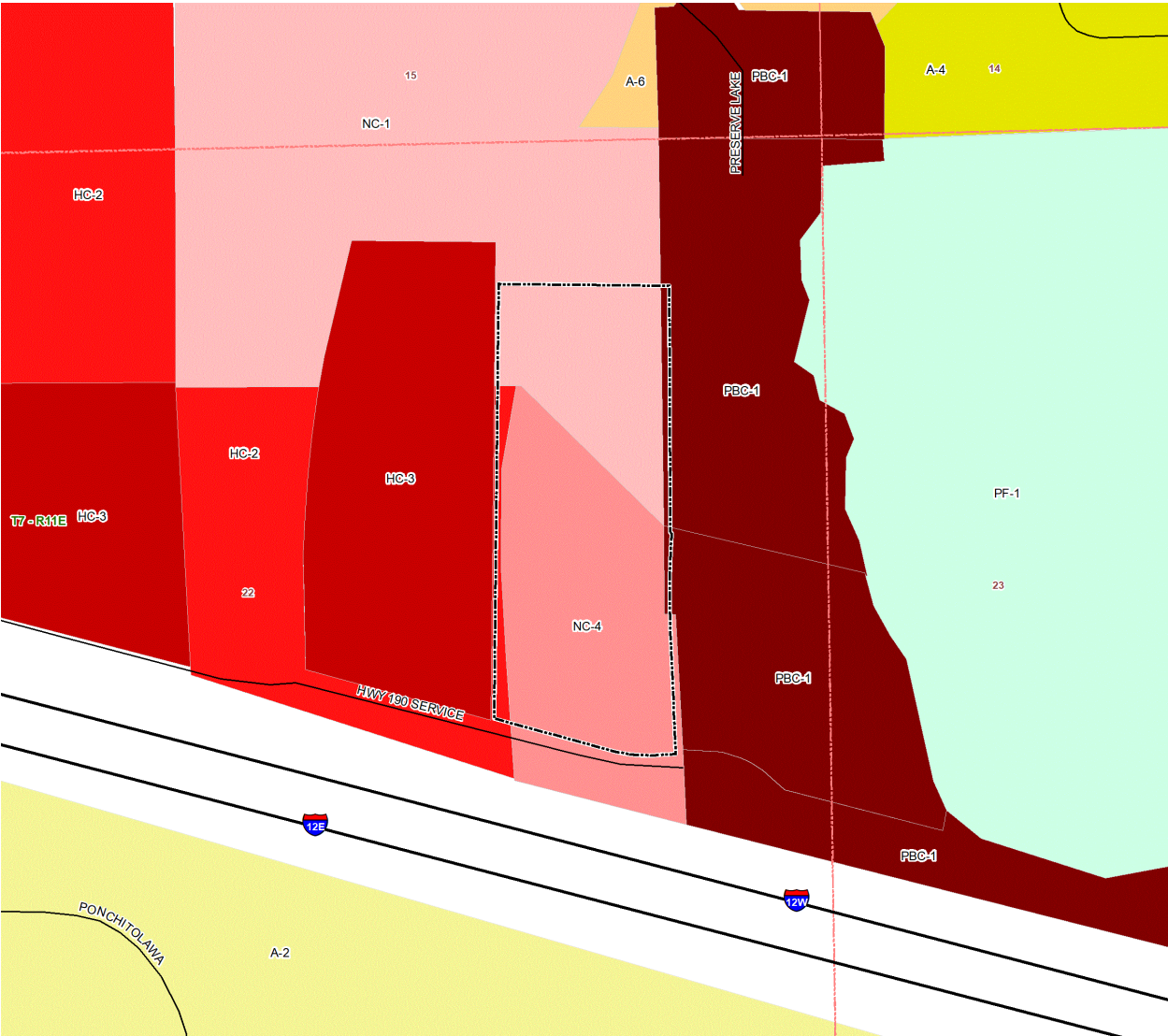
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OWNER: Three Dogs Run LLC - Ronald Stossell, MKMHB, LLC – Marilyn Stoessell Seifert, Alfred Lloyd Stoessell Revocable Trust, Trustee: Pamela B. Stoessell, Joan Prieto Doolittle, Robert T. Doolittle, Jr., Benjamin Doolitte, Golden Properties, LLC - Lauren B. Golden, Golden Properties, LLC - Molloy C. Golden, Ernest Prieto, Marie Elise Prieto, PTP Properties, LLC - Don Scot Prieto, Calla Isabel Prieto, PTP Properties, LLC – Carrie Prieto Segrave, PTP Properties, LLC – Kent Jackson, PTP Properties, LLC – Janet Ruth Jackson, Succession of Clay Carl Prieto represented by Roslyn Fillippello Prieto, Independent Executrix, MMH 2020 Trust and Estate of Margery M Hanisee, by James Miles Hanisee, Trustee and Executor, David M. Moore Living Trust and the Succession of David M. Moore, by Paul D. Rees, Trustee and Executor

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SIZE: 6 acres



2021-2635-ZC

HELENBURG

A-6

15

A-6

PBC-1

14

A-4

PRESERVE LAKE

NC-1

HC-3

T7-R11E

22

NC-4

PBC-1

PF-1

23

PBC-1

HC-2

HWY 190 SERVICE

PBC-1

A-2

RESUBDIVISION OF
PORTIONS OF LOTS 44-52 SQUARE 1;
LOTS 46-52, PORTIONS OF LOTS 36-45 SQUARE 2;
LOTS 1-68, 70, 72, PORTIONS OF LOTS 69, 71, 73, 74, 76 AND
78 SQUARE 3;
LOTS 1-14, 15, 17, 19, 21, 23, 25, 27, 29, 31, 33, 35, 37,
39, 41, 43, 45, 47, 49, 51, 53 AND 55, PORTIONS OF LOTS 16,
18, 20, 22, 24, 26, 28, 30, 32, 34, 36, 38, 40, 42, 44, 46,
48, 50, 52 AND 54, 56-59, 61, 63, 65, 67, 69, 71, 73 AND 75
SQUARE 4;
PORTION FORMER BIRG BLVD. RIGHT OF WAY;
PORTION FORMER FIRST AVE. RIGHT OF WAY;
INTO LOTS 1A, 2A, 3A, AND 4A
THE BIRG SUBDIVISION
SOUTHERN DIVISION
SECTIONS 15 AND 22 T7S-R11E
ST. TAMMANY PARISH
LOUISIANA

NOTE: 2A IS DESIGNATED AS PASSIVE SELECT CUT GREEN SPACE / NO BUILD AREA &
4A IS DESIGNATED AS PASSIVE SELECT CUT GREEN SPACE/ NO BUILD AREA/
RESTRICTED FOR EXISTING BILLBOARD USE ONLY

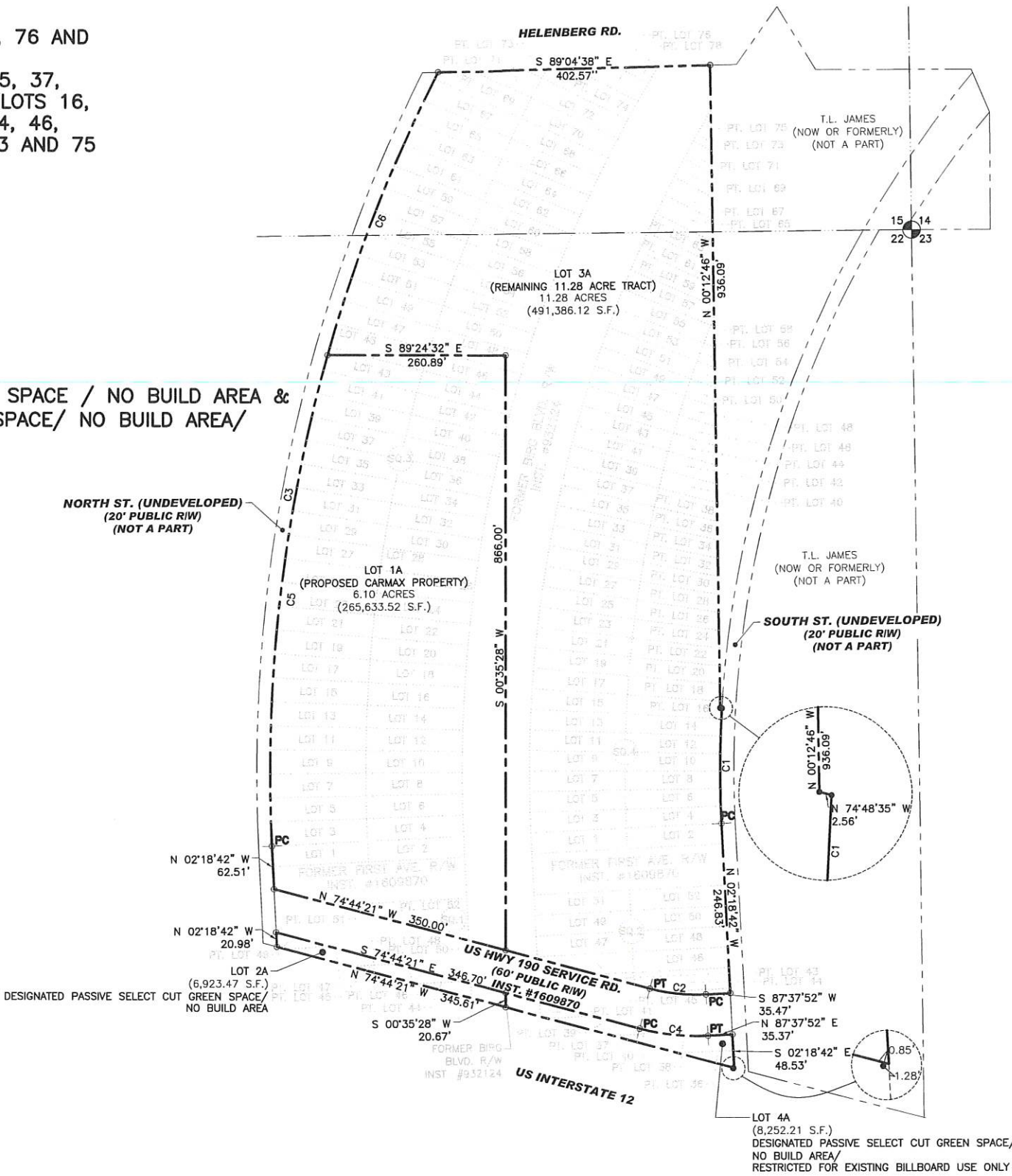
LEGEND	
	EXIST. SECTION LINE
	EXIST. BOUNDARY LINE
	DENOTES IRON ROD FOUND
	DENOTES 1/2" IRON ROD SET

NOTES:

1. THE LOCATIONS OF UNDERGROUND AND OTHER NONVISIBLE UTILITIES SHOWN HEREON HAVE BEEN PLOTTED BASED UPON DATA EITHER FURNISHED BY THE AGENCIES CONTROLLING SUCH DATA AND/OR OBTAINED FROM RECORDS MADE AVAILABLE TO US BY THE AGENCIES CONTROLLING SUCH RECORDS. WHERE FOUND, THE SURFACE FEATURES OF UTILITIES ARE SHOWN. THE ACTUAL NONVISIBLE LOCATIONS MAY VARY FROM THOSE SHOWN HEREON. EACH AGENCY SHOULD BE CONTACTED RELATIVE TO THE PRECISE LOCATION OF ITS UNDERGROUND INSTALLATIONS PRIOR TO ANY RELIANCE UPON THE ACCURACY OF SUCH LOCATIONS SHOWN HEREON. PRIOR TO EXCAVATION AND DIGGING CALL LA. ONE CALL (1-800-272-3020).
2. THIS IS A CLASS B BOUNDARY SURVEY.
3. NO TITLE RESEARCH OR UTILITY SERVITUDE RESEARCH WAS PERFORMED BY THE SURVEYOR.
4. AS PER FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 225205 0240 E, EFFECTIVE DATE AUGUST 16, 1995, THE SITE IS IN ZONES A6, B AND C. (A6 ELEVATION=12.0)
5. THE SURVEY SHOWN HEREON IS MADE IN ACCORDANCE TO THE MINIMUM STANDARDS FOR THE PROPERTY BOUNDARY SURVEYS AS ADOPTED BY THE LOUISIANA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.
6. BEARINGS SHOWN ARE BASED ON REFERENCE PLAT NO. 1.

REFERENCE PLATS:

1. EXHIBIT PREPARED BY KELLY J. MCHUGH & ASSOCIATES, INC ENTITLED "PROPOSAL TO EXTEND I-12 SERVICE ROAD", DATED MAY 10, 2006. AS CONTAINED IN INSTRUMENT #1609870 ST. TAMMANY PARISH CLERK OF COURT.
2. SURVEY BY KELLY J. MCHUGH & ASSOCIATES, INC ENTITLED "2.989 ACRES & 3.793 ACRES, SECTIONS 14, 15, 22 & 23, T-7-S, R-11-E, ST. TAMMANY PARISH, LOUISIANA", DATED MARCH 10, 2008. FILED AS MAP 4653A ST. TAMMANY PARISH CLERK OF COURT.
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CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	167.57'	1580.08'	6°04'34"	S 00°53'15" W	167.49'
C2	83.23'	270.00'	17°39'42"	S 84°09'41" E	82.90'
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APPROVAL:

A RESUBDIVISION OF PORTIONS OF LOTS 42-44 SQUARE 1;
LOTS 46-52, PORTIONS OF LOTS 36-39, 41-45 SQUARE 2;
LOTS 1-68, 70, 72, PORTIONS OF LOTS 69, 71, 73, 74, 76 AND 78 SQUARE 3;
LOTS 1-14, 15, 17, 19, 21, 23, 25, 27, 29, 31, 33, 35, 37, 39, 41, 43, 45, 47, 49, 51, 53 AND
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LOUISIANA.

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

SECRETARY/PARISH PLANNING COMMISSION

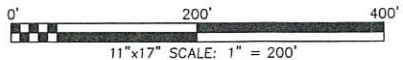
CLERK OF COURT

DATE FILLED

FILE NO.



LINFIELD, HUNTER & JUNIUS, INC.
PROFESSIONAL ENGINEERS, ARCHITECTS,
LANDSCAPE ARCHITECTS AND SURVEYORS
3608 18th Street, Suite 200
Metairie, Louisiana 70002



NATHAN J. JUNIUS, P.E., P.L.S.

DATE OF PLAT: AUGUST 22, 2017

LH&J JOB No. 17-047

(504) 833-5300

RESUBDIVISION OF
PORTIONS OF LOTS 44-52 SQUARE 1;
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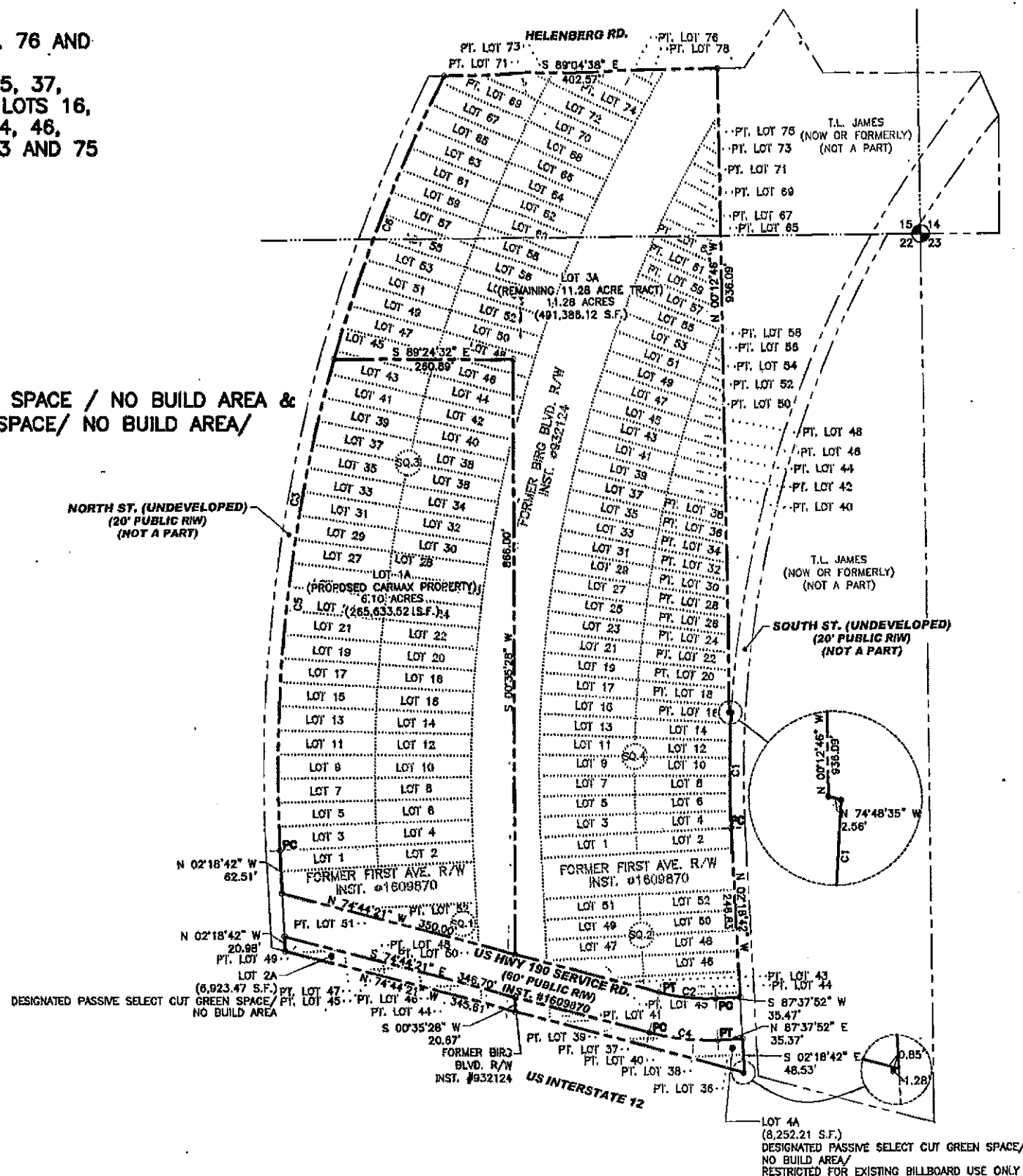
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LOTS 46-52, PORTIONS OF LOTS 36-39, 41-45 SQUARE 2;
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LOTS 1-14, 15, 17, 19, 21, 23, 25, 27, 29, 31, 33, 35, 37, 39, 41, 43, 45, 47, 48, 51, 53 AND
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LOUISIANA.

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

SECRETARY/PARISH PLANNING COMMISSION

CLERK OF COURT

Shana Hess, Deputy Clerk

02-07-2018

5707C

DATE FILED

FILE NO.



LINFIELD, HUNTER & JUNIUS, INC.
PROFESSIONAL ENGINEERS, ARCHITECTS,
LANDSCAPE ARCHITECTS AND SURVEYORS
3608 18th Street, Suite 200
Metairie, Louisiana 70002

0' 200' 400'
11"x17" SCALE: 1" = 200'

NATHAN J. JUNIUS, P.E., P.L.S.
DATE OF PLAT: AUGUST 22, 2017
LH&J JOB No. 17-047
(504) 833-5300

ZONING STAFF REPORT

Date: January 25, 2022
Case No.: 2021-2644-ZC
Posted: January 13, 2022

Meeting Date: February 1, 2022
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: Ray Poche
OWNER: Ray Poche
REQUESTED CHANGE: From A-4 Single-Family Residential District to A-5 Two-Family Residential District
LOCATION: Parcel located on the east side of Highway 437, south of Tammany Ave; Covington; S11, T6S, R11E; Ward 3, District 2
SIZE: .33 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Louisiana Highway 437 -

Type: State

Road Surface: 2 Lane Asphalt

Condition: Good

Louisiana Highway 437 -

Type: Parish

Road Surface: 2 Lane Asphalt

Condition: Good

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Undeveloped	A-4 Single-Family Residential District
South	Undeveloped	A-4 Single-Family Residential District
East	Residential	A-4 Single-Family Residential District
West	Undeveloped and Commercial	A-1 Suburban District and NC-4 Neighborhood Institutional District

EXISTING LAND USE:

Existing development: No

Multi occupancy development: No

COMPREHENSIVE PLAN:

Residential Infill – New residential uses developed on undeveloped tracts within existing residential districts that are compatible with, or improve upon, those existing uses. Such uses may be allowed a greater density of use, in exchange for public benefits that would be provided.

STAFF COMMENTS:

The petitioner is requesting to change the zoning classification from A-4 Single-Family Residential District to A-5 Two-Family Residential District. The site is located on the east side of Highway 437, south of Tammany Ave; Covington. The 2025 Future Land Use plan designates the site to be developed with residential uses on undeveloped tracts that are compatible with adjacent existing residential dwellings.

The subject property is currently undeveloped and is adjacent to residential dwellings to the east, undeveloped land to the north and the south and commercial uses to the west, across from LA 437. The purpose of the existing A-4 Single-Family Residential District is to allow for single-family residences on quarter-acre lot sizes. The purpose of the requested A-5 Two-Family Residential District is to allow for one single-family dwelling or two-family dwellings at a maximum net density of eight dwelling units per acre. A change in zoning will allow for a higher density than what is currently permitted within the existing neighborhood to the east.

Table 1: Zoning Classifications					
	Max Density	Min. Lot Width	Front Yard	Side Yard	Rear Yard
Current Zoning: A-4 Single Family Residential District	10,890 sq. ft. (4 units per acre) 1 unit	90 ft.	30 ft.	10 ft.	25 ft.
Proposed Zoning: A-5 Two-Family District	5,445 sq. ft. (8 units per acre) 2 Duplexes + 1 Single Family Dwelling	75 ft.	40 ft.	10 ft.	25 ft.

Case No.: 2021-2644-ZC

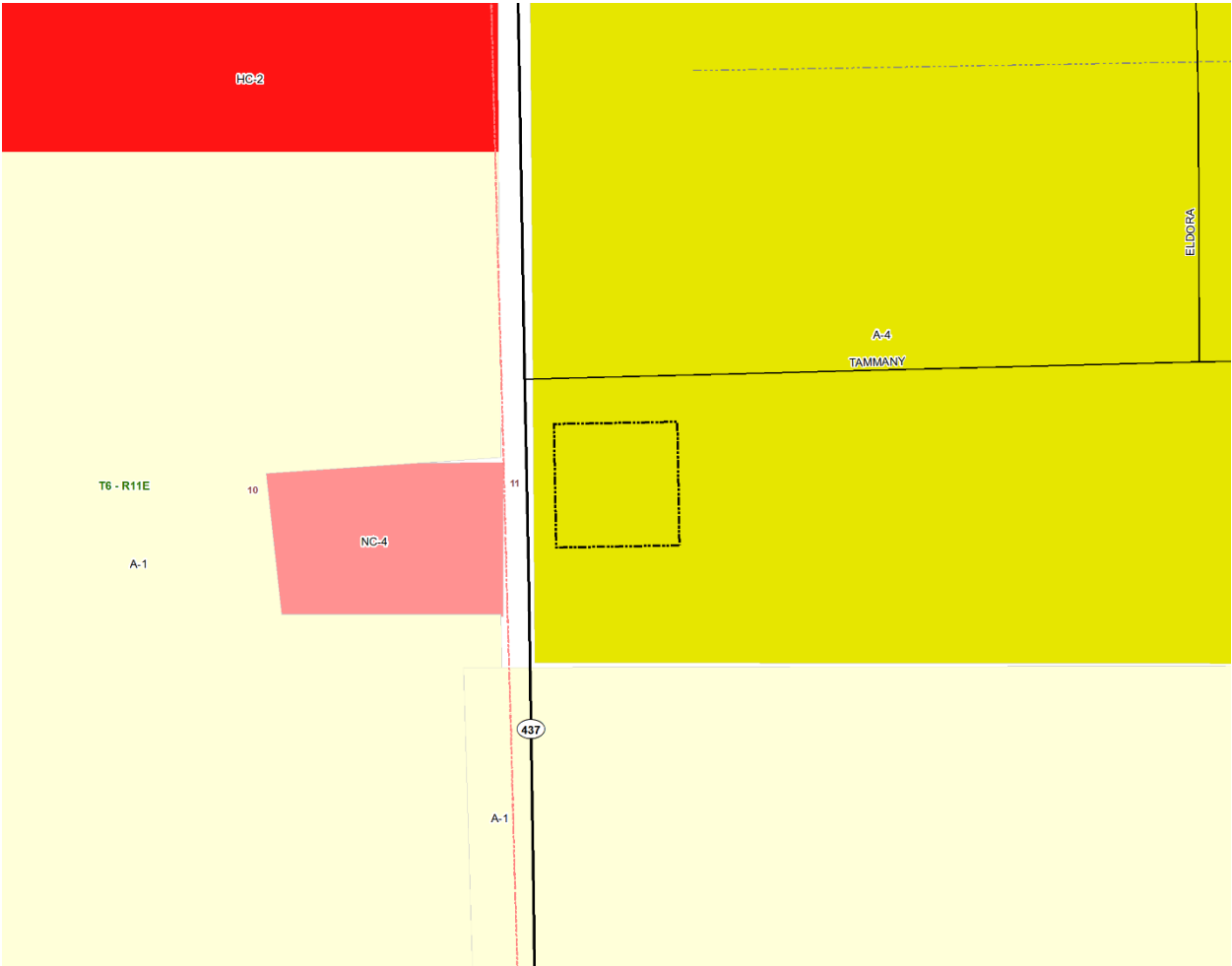
PETITIONER: Ray Poche

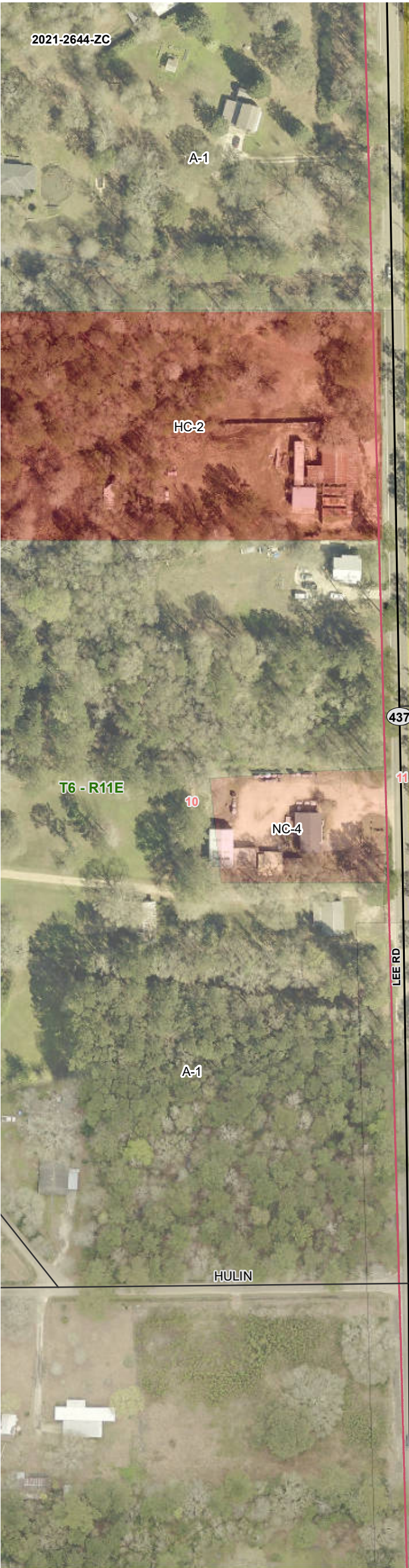
OWNER: Ray Poche

REQUESTED CHANGE: From A-4 Single-Family Residential District to A-5 Two Family Residential District

LOCATION: Parcel located on the east side of Highway 437, south of Tammany Ave; Covington; S11, T6S, R11E; Ward 3, District 2

SIZE: .33 acres





FINAL APPROVAL

DIR. DEPT. OF ENGINEERING

SECRETARY PLANNING COMM.

CLERK OF COURT

DATE

FILE NO.

A Resubdivision of Lots 25, 26, 27 & 28, into
Lot 26-A, Square 16, Tammany Terrace
S/D, Section 11, T-6-S, R-11-E, St. Tammany
Parish, Louisiana

Reference: A Resub Map by John Cummings in
File #3391F, Clerk of Courts Office

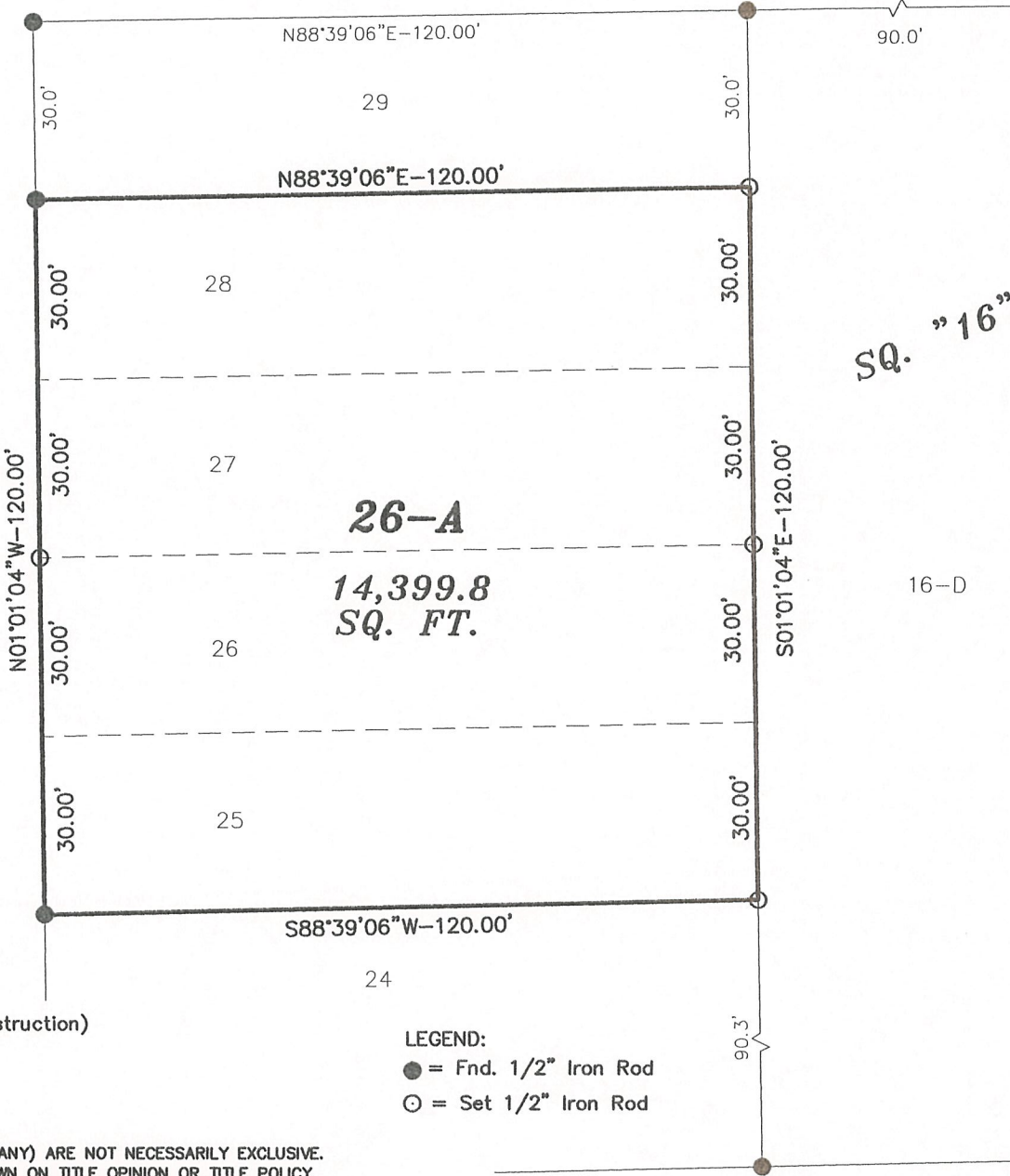
Bearings refer to the Louisiana State Plane Coordinate
System (1702 La. South) and was observed by GPS

An overhead powerline runs along the Westerly
Boundary Line of Subject Properties



Tammany Avenue

La. Hwy. 437
(Lee Road)



(Must verify prior to Construction)
Building Setbacks
Front:
Side:
Rear:
Side Street:

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE.
SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY
WILL BE ADDED HERETO UPON REQUEST AS THE UNDERSIGNED HAS
PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS
MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED
PEDESTALS.

THIS MAP IS IN ACCORDANCE WITH THE STANDARD DETAILED
REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A C SURVEY
AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46:LXI.

LEGEND:

- = Fnd. 1/2" Iron Rod
- = Set 1/2" Iron Rod

Sterling Avenue

(Not Constructed)

MAP PREPARED FOR

RAY J. POCHÉ

SHOWN A SURVEY MADE OF PROPERTY LOCATED IN

LOTS 25, 26, 27 & 28, SQUARE 16, TAMMANY TERRACE
S/D, ST. TAMMANY PARISH, LOUISIANA

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED.
SIGNATURE AND STAMPED SEAL MUST BE IN RED OR THIS PLAT IS NOT A TRUE COPY.

LAND SURVEYING LLC

518 N. Columbia Street, Covington, LA 70433
(985) 892-6277 office (985) 898-0355 fax
landsurveyingllc@gmail.com

STATE OF LOUISIANA
BRUCE M. BUTLER, III
LOUISIANA PROFESSIONAL LAND SURVEYOR
LICENSE NO. 4894
11/5/2021

SCALE:

1" = 30'

DATE:

10-7-2020

NUMBER:

20072A

ZONING STAFF REPORT

Date: January 25, 2022
Case No.: 2021-2652-ZC
Posted: January 21, 2022

Meeting Date: February 1, 2022
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: Forest Kennedy
OWNER: Forest and Tamara Kennedy
REQUESTED CHANGE: From A-1 Suburban District to PF-1 Public Facilities District
LOCATION: Parcel located on the northeast side of Isaac Road, southwest of Prosper Drive; Lacombe; S43, T8S, R13E; Ward 7, District 7
SIZE: .971 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: Parish

Road Surface: 2 Lane Asphalt

Condition: Good

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Undeveloped	A-3 Suburban District
South	Civic	PF-2 Public Facilities District
East	Residential	A-3 Suburban District
West	Residential	A-3 Suburban District

EXISTING LAND USE:

Existing development: Yes

Multi occupancy development: No

COMPREHENSIVE PLAN:

Planned Districts - Coordinated development on several parcels, usually at a higher density – but not in all cases - than other parcels in the proximity, planned in an integrated fashion as single units including residential, commercial and possibly other (institutional, recreational, e.g.) uses, as well as the supporting infrastructure and public services they will require (See “Small Area Plans,” below). Generally, such developments improve environmental qualities, preserve natural environments, provide for open space and recreational uses, and for residential as well as commercial uses, and are equipped with central utility systems and efficient and effective internal and external transportation access in multiple modes.

Single Family Residential – Conservation - These planned districts would include clustered single-family residential uses, at a density – within the overall tract – which is similar to that of adjoining residential uses, and conservation areas, following a Small Area Plan, and providing for balance, compatibility and integration of uses and all supporting infrastructure. Such individual Planned Residential – Conservation developments should aim to achieve contiguity among adjoining conservation areas in adjacent developments.

STAFF COMMENTS:

The petitioner is requesting to change the zoning classification from A-1 Suburban District to PF-1 Public Facilities District. The site is located on the northeast side of Isaac Road, southwest of Prosper Drive; Lacombe. The 2025 Future Land Use plan designates the site to be developed as a Planned District with single-family residential and conservation uses.

The subject site is currently comprised of an existing cemetery and is flanked by undeveloped property and the Southeast Louisiana National Wildlife Refuge to the south. The purpose of the existing A-1 Suburban District is to allow for single-family residential uses on 5-acre tracts of land. The purpose of the requested PF-1 Public Facilities District is to provide for the location of governmental and institutional uses to the public. A change in use will bring the existing cemetery into compliance with the correct zoning classification.

Case No.: 2021-2652-ZC

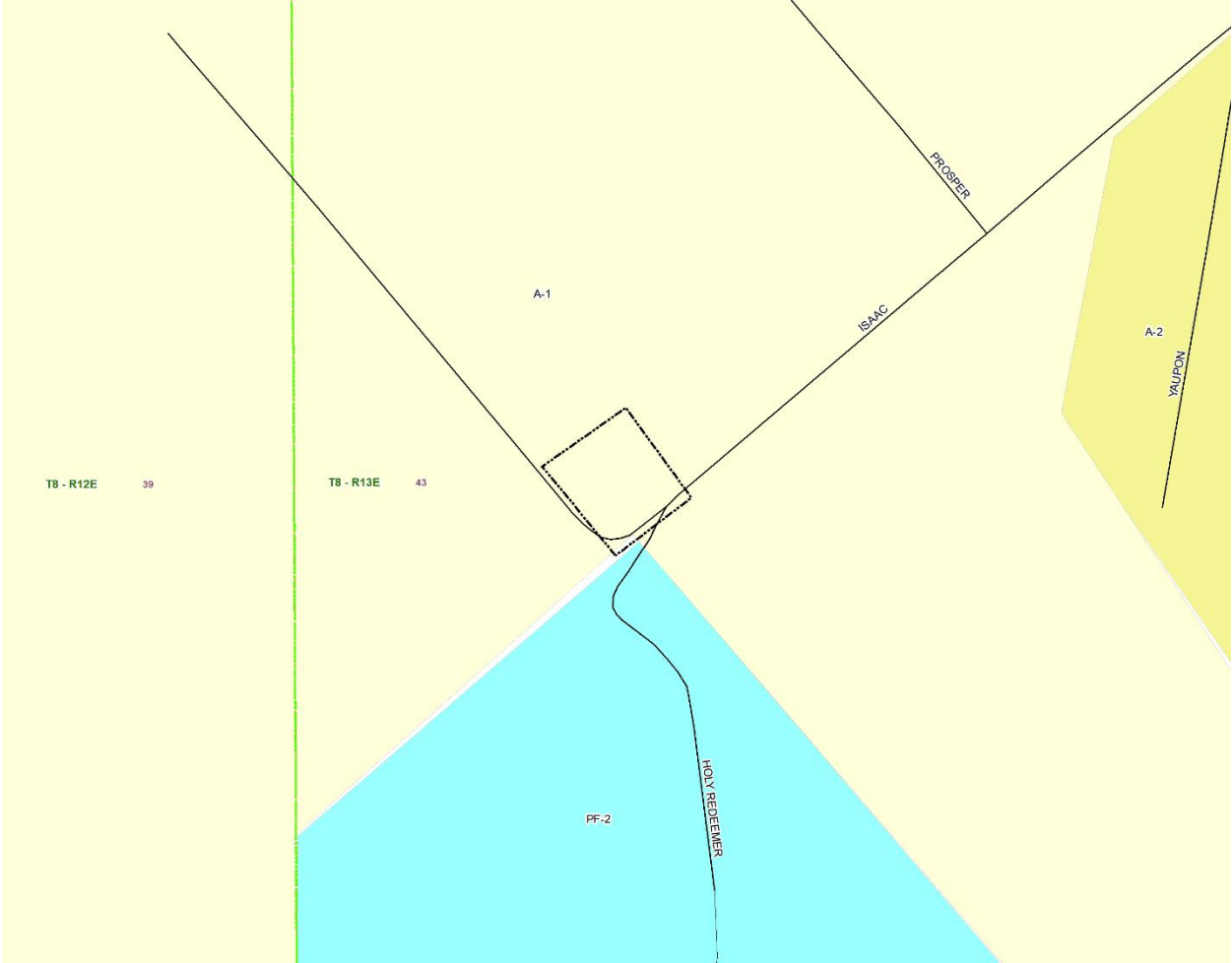
PETITIONER: Forest Kennedy

OWNER: Forest and Tamara Kennedy

REQUESTED CHANGE: From A-1 Suburban District to PF-1 Public Facilities District

LOCATION: Parcel located on the northeast side of Isaac Road, southwest of Prosper Drive; Lacombe; S43, T8S, R13E; Ward 7, District 7

SIZE: .971 acres



PROSPER

A-1

ISAAC

T8 - R13E

43

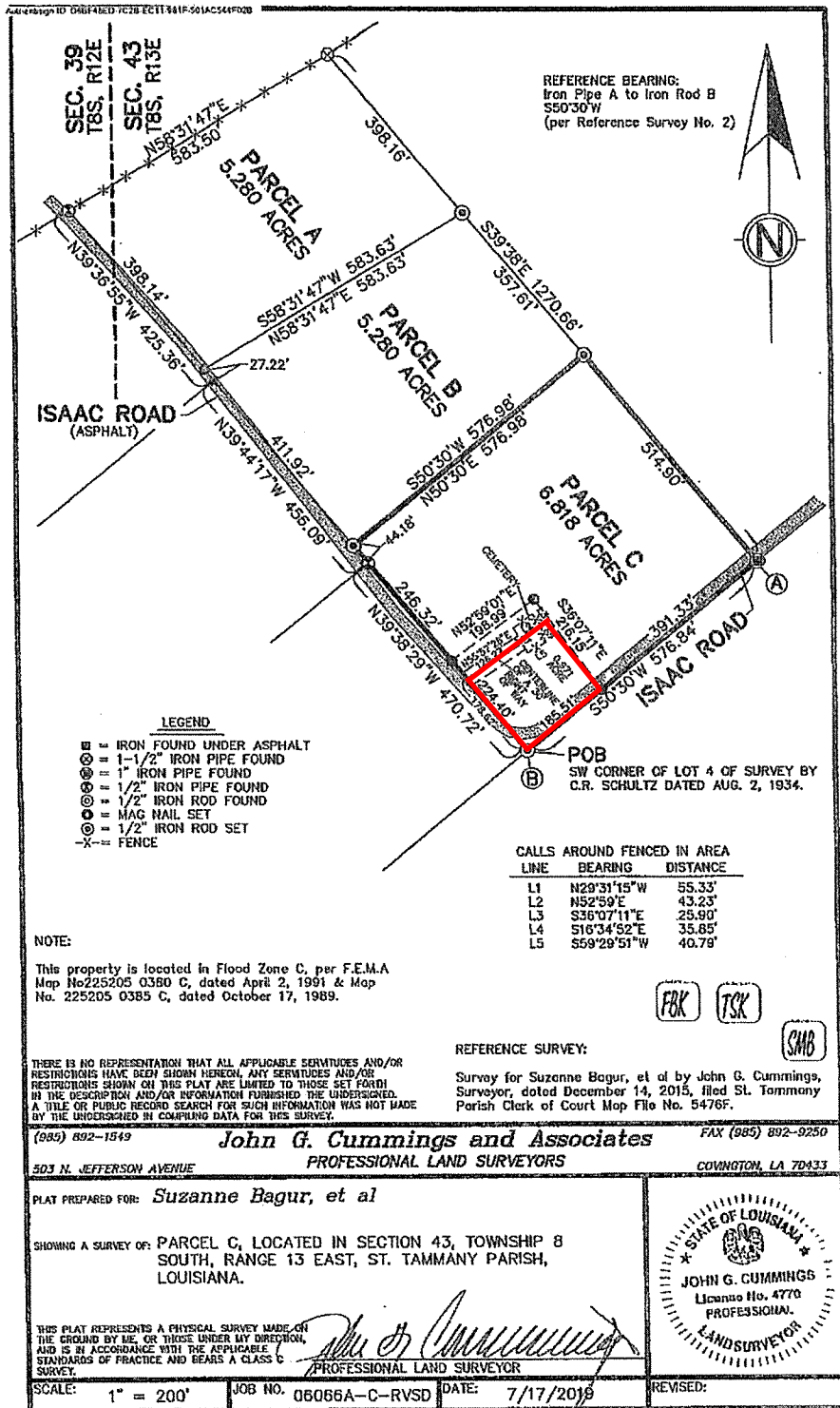
PF-2

HOLY REDEEMER



2021-2652-ZC

Subject Property



ZONING STAFF REPORT

Date: January 25, 2022
Case No.: 2021-2660-ZC
Posted: January 11, 2022

Meeting Date: February 1, 2022
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: Brandt Matzke

OWNER: Brandt Matzke

REQUESTED CHANGE: From A-3 Suburban District to A-5 Two-Family Residential District

LOCATION: Parcel located on the north side of Richardson Drive, east of Tranquility Drive, Lacombe; S34, T8S, R13E; Ward 9, District 11

SIZE: 2 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: Parish **Road Surface:** 2 Lane Asphalt **Condition:** Fair

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Undeveloped	A-3 Suburban District
South	Residential	A-3 Suburban District
East	Residential	A-3 Suburban District
West	Residential	A-3 Suburban District

EXISTING LAND USE:

Existing development: No **Multi occupancy development:** No

COMPREHENSIVE PLAN:

Residential - Areas that provide for dwelling units. Such areas may vary in site design, structure design, and in the density of units per acre. Certain areas such as “village or town residential” may include mixed uses and would have the highest number of units per acre, while “Rural residential” would have the lowest number of units per acre, and may include agricultural or open space uses as well. In between these two types of residential areas would be varying levels of single-family detached dwellings, multi-family attached residential, and planned subdivisions for manufactured homes.

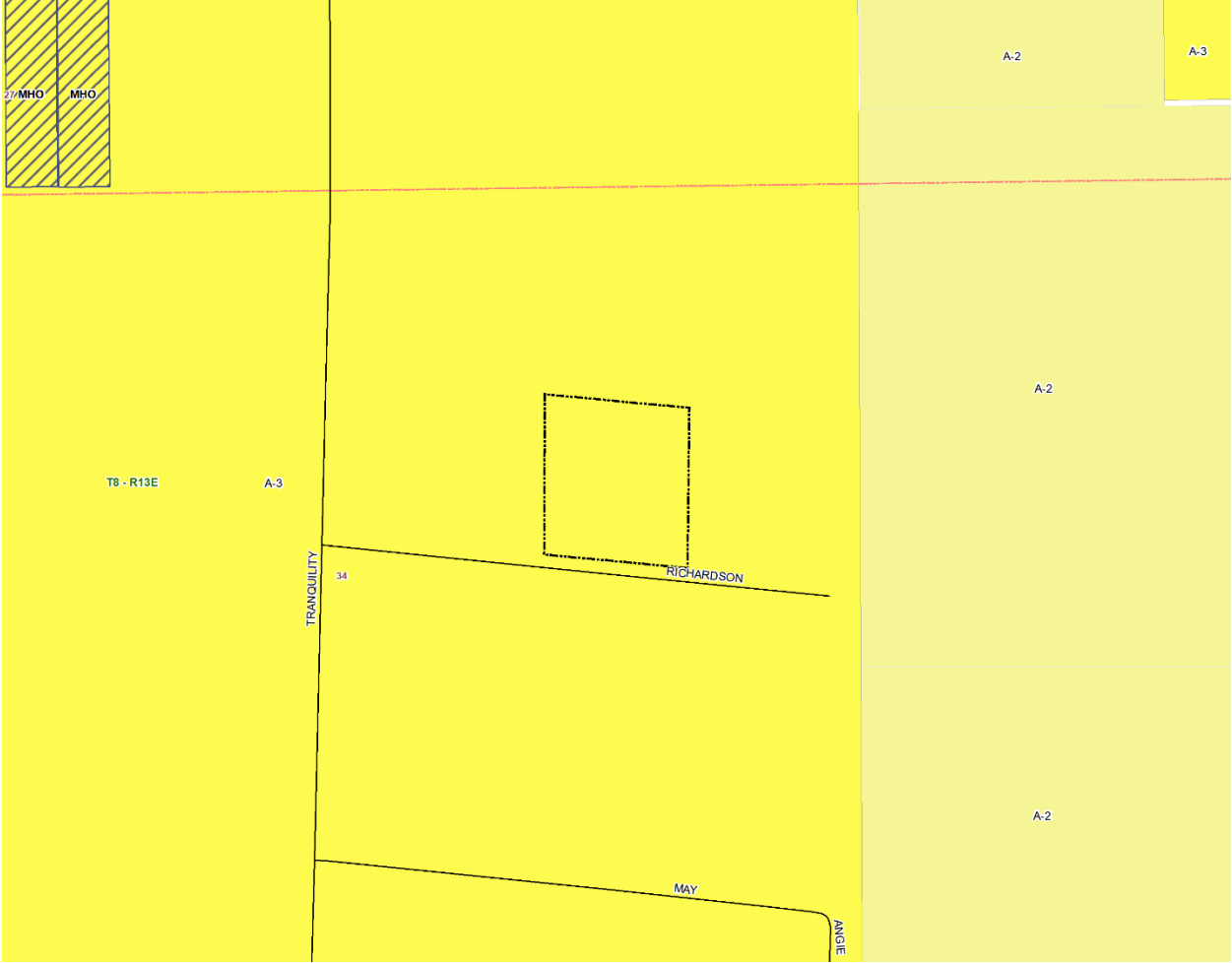
STAFF COMMENTS:

The petitioner is requesting to change the zoning classification from A-3 Suburban District to A-5 Two-Family Residential District. The site is located on the north side of Richardson Drive, east of Tranquility Drive, Lacombe. The 2025 Future Land Use Plan designates the site to be developed with residential dwellings that vary in site design and density.

The subject site is currently undeveloped and is flanked by undeveloped property and single-family residential uses zoned A-3 Suburban District. The purpose of the current A-3 Suburban District is to allow for single-family residential uses on half-acre lot sizes. The purpose of the requested A-5 Two-Family Residential District is to allow for one single-family dwelling or two-family dwellings at a maximum net density of eight dwelling units per acre. A change in zoning will allow two-family residential dwellings in an area that is flanked by the A-3 Suburban District zoning classification.

Table 1: Zoning Classifications					
	Max Density	Min. Lot Width	Front Yard	Side Yard	Rear Yard
Current Zoning: A-3 Suburban District	21,780 sq. ft. (2 units per acre) 4 units	100 ft.	30 ft.	10 ft.	25 ft.
Proposed Zoning: A-5 Two-Family District	5,445 sq. ft. (8 units per acre) 8 Duplexes	75 ft.	40 ft.	10 ft.	25 ft.

Case No.: 2021-2660-ZC
PETITIONER: Brandt Matzke
OWNER: Brandt Matzke
REQUESTED CHANGE: From A-3 Suburban District to A-5 Two-Family Residential District
LOCATION: Parcel located on the north side of Richardson Drive, east of Tranquility Drive,
Lacombe; S34, T8S, R13E; Ward 9, District 11
SIZE: 2 acres





2021-2660-ZC

CYPRESS

27

A-2

A-3

T8 - R13E

34

RICHARDSON

MAY

ANGIE

LYDIA

NC-4

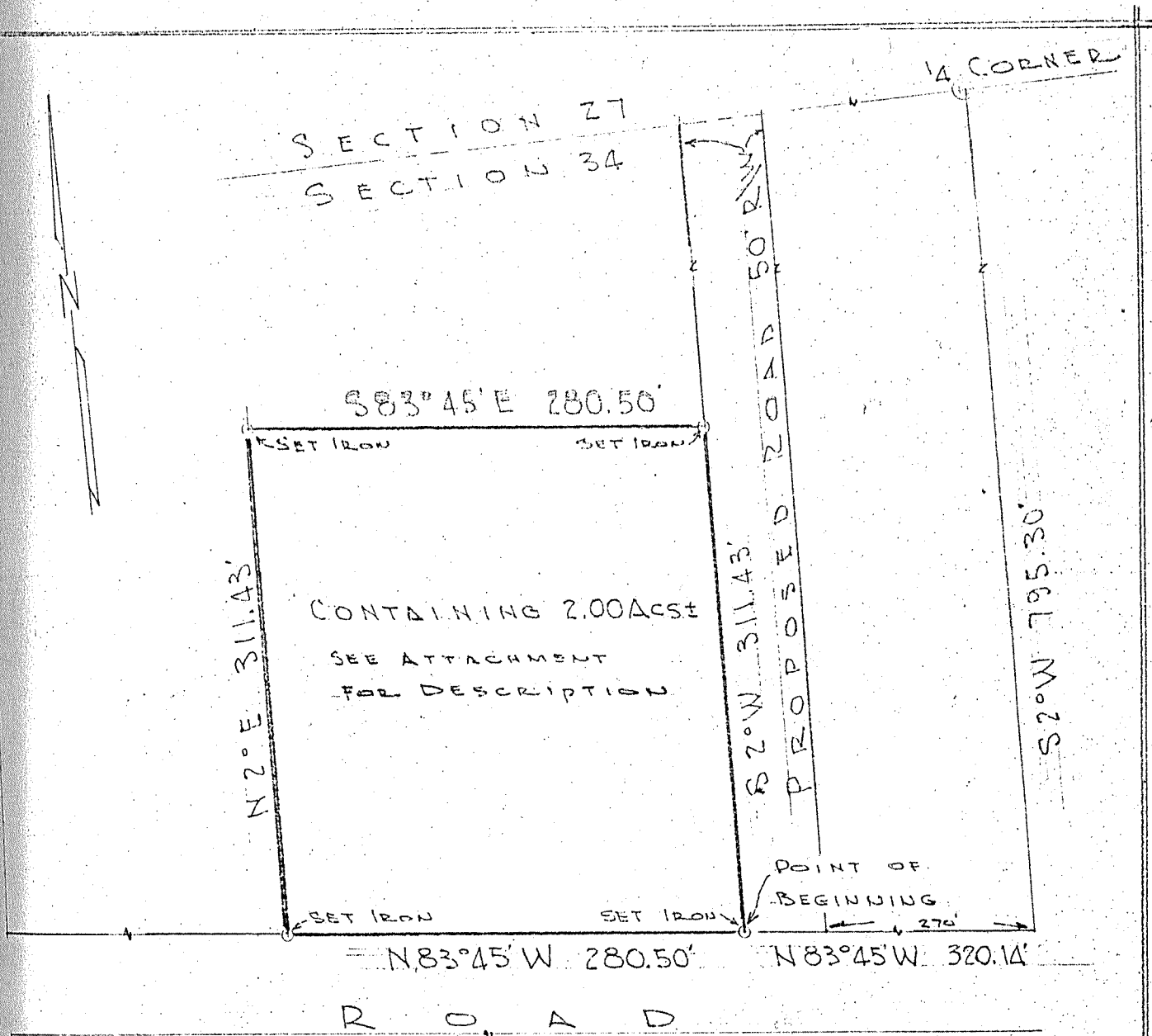
HC-2

HC-2

NC-4

HC-1

TRANQUILITY

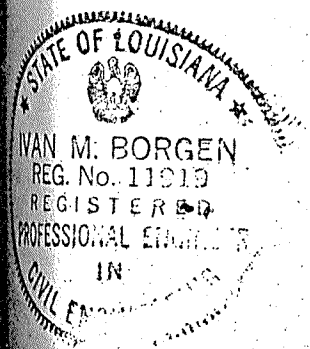


SURVEY MAP

A CERTAIN PARCEL OF LAND SITUATED IN SEC 34-T8S-R13E

ST. TAMMANY PARISH, LOUISIANA

FOR
PENNY PITTMAN



SURVEY No: 1972
DATE: FEB. 1, 1974
REV:

THIS SURVEY IS CERTIFIED
TRUE AND CORRECT BY

Ivan M. Borgen
IVAN M. BORGES
NO. 686

SCALE: 1" = 100'

ZONING STAFF REPORT

Date: January 25, 2022
Case No.: 2021-2662-ZC
Posted: January 11, 2022

Meeting Date: February 1, 2022
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: Keller Willaims – Jeff Lindsay
OWNER: Presbytery of South Louisiana – Barry Chance
REQUESTED CHANGE: From A-3 Suburban District to PF-1 Public Facilities District
LOCATION: Parcel located on the east side of Louisiana Highway 1090, north of Crowes Landing Road; Pearl River; S13 & S18, T8S, R14E & R15E; Ward 8, District 9
SIZE: 5.03 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: State **Road Surface:** 2 Lane Asphalt **Condition:** Good

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Undeveloped	NC-4 Neighborhood Institutional District
South	Residential	A-3 Suburban District
East	Undeveloped	A-3 Suburban District
West	Louisiana Highway 1090 and Interstate 59	A-3 Suburban District

EXISTING LAND USE:

Existing development: No **Multi occupancy development:** No

COMPREHENSIVE PLAN:

Commercial - Sales outlets for goods and services. Several levels or forms of commercial structures include: limited or specialty; neighborhood service centers; generous “highway commercial” uses; offices; public uses; planned mixed commercial and residential centers, and the traditional village or town central business district.

Residential Infill – New residential uses developed on undeveloped tracts within existing residential districts that are compatible with, or improve upon, those existing uses. Such uses may be allowed a greater density of use, in exchange for public benefits that would be provided.

STAFF COMMENTS:

The petitioner is requesting to change the zoning classification from A-3 Suburban District to PF-1 Public Facilities District. The site is located on the east side of Louisiana Highway 1090, north of Crowes Landing Road; Pearl River. The 2025 Future Land Use Plan designates the site to be developed with commercial uses at various intensities and residential infill development.

The subject property is developed with an existing church which is located on a parcel which is currently zoned A-3 Suburban District. The site is adjacent to undeveloped property zoned NC-4 Neighborhood Institutional District to the north, undeveloped property zoned to accommodate residential uses to the east, and a residential neighborhood to the south. A change in zoning will allow for the existing religious institution to come into compliance with the correct zoning classification.

Case No.: 2021-2662-ZC

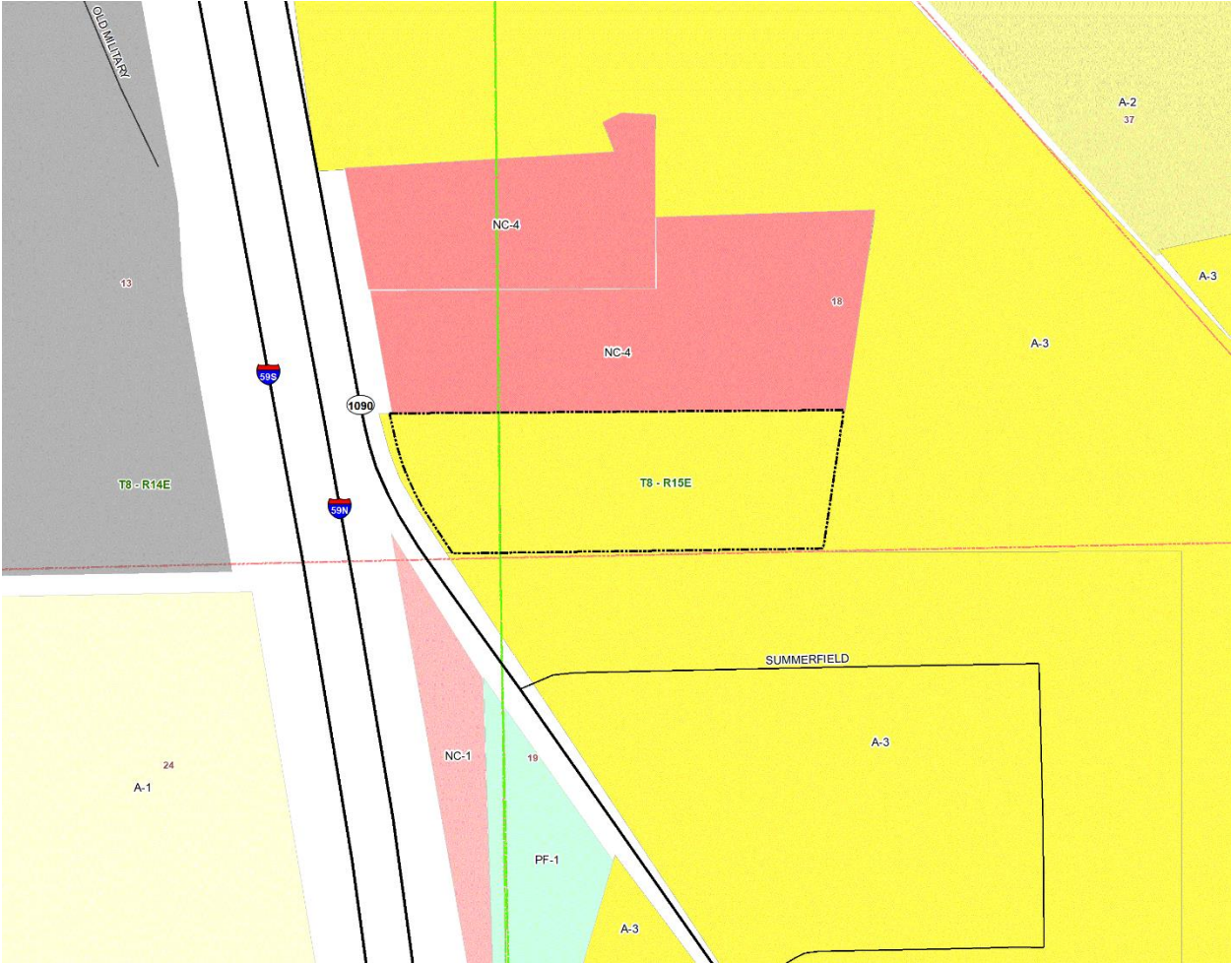
PETITIONER: Keller Willaims – Jeff Lindsay

OWNER: Presbytery of South Louisiana – Barry Chance

REQUESTED CHANGE: From A-3 Suburban District to PF-1 Public Facilities District

LOCATION: Parcel located on the east side of Louisiana Highway 1090, north of Crowes Landing Road; Pearl River; S13 & S18, T8S, R14E & R15E; Ward 8, District 9

SIZE: 5.03 acres



2021-2662-ZC

OLD MILITARY 13

1090

MILITARY RD

A-2

37

A-3

18

NC-4

NC-4

T8 - R14E

T8 - R15E

SUMMERFIELD

NC-1

A-3

PF-1

19

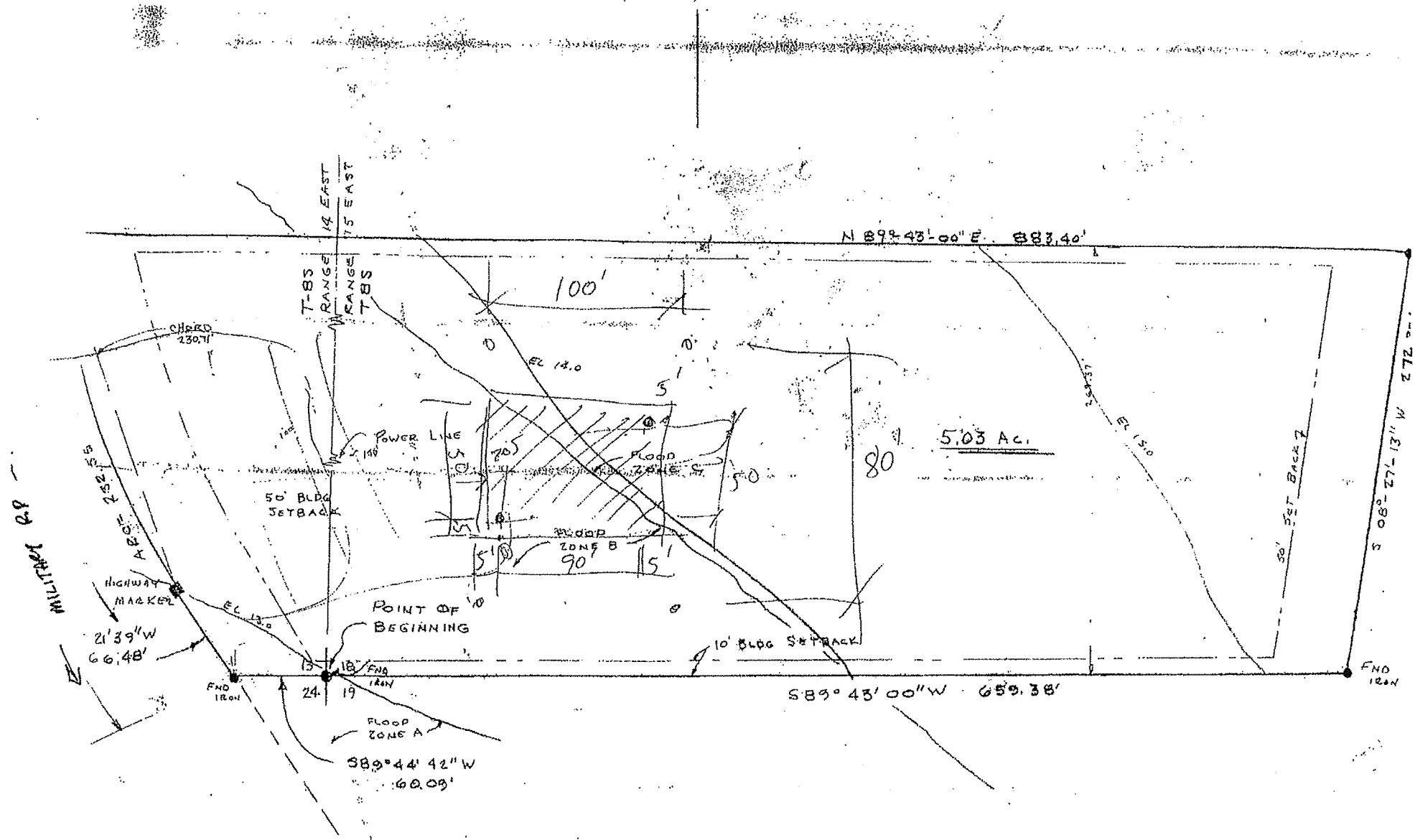
24

A-1

CROWES LANDING

A-3

A-3



ZONING STAFF REPORT

Date: January 25, 2022
Case No.: ZC83-07-076A
Posted: January 20, 2022

Meeting Date: February 1, 2022
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: Shelby LaSalle

OWNER: Succession of Frederick J. Sigur – Frederick Sigur, Jr.

REQUESTED CHANGE: Major Amendment to the PUD Rigolets Estates Phase 3 Planned Unit Development

LOCATION: Subdivision located on the south side of Louisiana Highway 433, west of US Highway 90, and north of Lake Pontchartrain; Slidell; S37, T10S, R15E; Ward 8, District 13

SIZE: 187.028 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: State **Road Surface:** 2 Lane Asphalt **Condition:** Fair

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Undeveloped	A-1 Suburban District
South	Lake Pontchartrain	N/A
East	Residential and Commercial	A-4 Single-Family Residential District and CBF-1 Community Based Facilities District
West	Treasure Isle Subdivision	PUD Planned Unit Development Overlay

EXISTING LAND USE:

Existing development: Yes **Multi occupancy development:** Yes

COMPREHENSIVE PLAN:

Residential - Areas that provide for dwelling units. Such areas may vary in site design, structure design, and in the density of units per acre. Certain areas such as “village or town residential” may include mixed uses and would have the highest number of units per acre, while “Rural residential” would have the lowest number of units per acre, and may include agricultural or open space uses as well. In between these two types of residential areas would be varying levels of single-family detached dwellings, multi-family attached residential, and planned subdivisions for manufactured homes.

Residential Infill – New residential uses developed on undeveloped tracts within existing residential districts that are compatible with, or improve upon, those existing uses. Such uses may be allowed a greater density of use, in exchange for public benefits that would be provided.

STAFF COMMENTS:

The petitioner is requesting to a Major Amendment to the Rigoletes Estates Phase 3 Planned Unit Development. The site is located on the south side of Louisiana Highway 433, west of US Highway 90, and north of Lake Pontchartrain. Slidell. The 2025 Future Land Use Plan designates the site to be developed with residential uses that vary in site design and density which are compatible with surrounding residential uses.

The original Rigoletes Estates Planned Unit Development was approved in 1983 Per Council Ordinance No. 83-682. Phase 3 of the Rigoletes Estates PUD contains four sections including the “Single-Family Homes”, the “Waterfront Villa Homes”, the “Marina Commercial” area, and the “Single-Family Resort Home Community”.

The current request is to alter the “Single-Family Homes” site to decrease the average lot size by 10 sq. ft., add 24 new single-family residential home sites, and add greenspace around the streets to create roadway buffers and additional amenities. The proposed PUD layout exceeds the greenspace requirements by 37% and meets active and passive recreation requirements by proposing the amenities found in Table #2.

Staff recommends the petitioner add the following required information to the PUD plan prior to approval:

- 1. Restrictive covenants
- 2. A dedication statement for roadways and greenspace
- 3. Location and/or source of water and sewer facilities
- 4. Max height of buildings for the single-family home site and the single-family resort home community site

Table #1: Single Family Homes (112.77 Acres) Parcels P1 and P13						
	Min. Lot Size	Average Lot Size	Max. # of Lots	Land Acreage	Waterway/Greenspace Acreage	Total Acreage
<u>Existing</u> Rigolets Estates PUD	16,746.94 sq. ft.	42,653.10 sq. ft.	147	78.41 acres	34.36 acres	112.77 acres
<u>Proposed</u> Rigolets Estates PUD	16,756.94	42,653.10 sq. ft.	171	76.68 acres	35.20 acres	111.88 acres

Table # 2: Amenity Areas		
Amenity Area	Acreage	Permitted Amenities
A-1	.91 Acres	Community Pool, Slide or Cabana, 2-5-Year-Old Play Area, Fitness Stations, Multi-Purpose Pathway
A-2	.51 Acres	Promenade Deck and Viewing Area, Restrooms, Utility Building, Golf Cart Parking, Multi-Purpose Pathway
A-3	1.34 Acres	Clubhouse and Parking Area, Fitness Stations, 5-12-Year-Old Play Area, Pavilion and Picnic Areas, Kayak Launch, Fishing Dock, Multi-Purpose Pathway
A-4	.77 Acres	Bar and Grill and Restrooms, Community Pool, Slide or Cabana, Grand Lawn with Seating, Retail Fish and Bait Shop, Golf Cart Parking, Multi-Purpose Pathway, Promenade Deck and Viewing Platform

Case No.: ZC83-07-076A

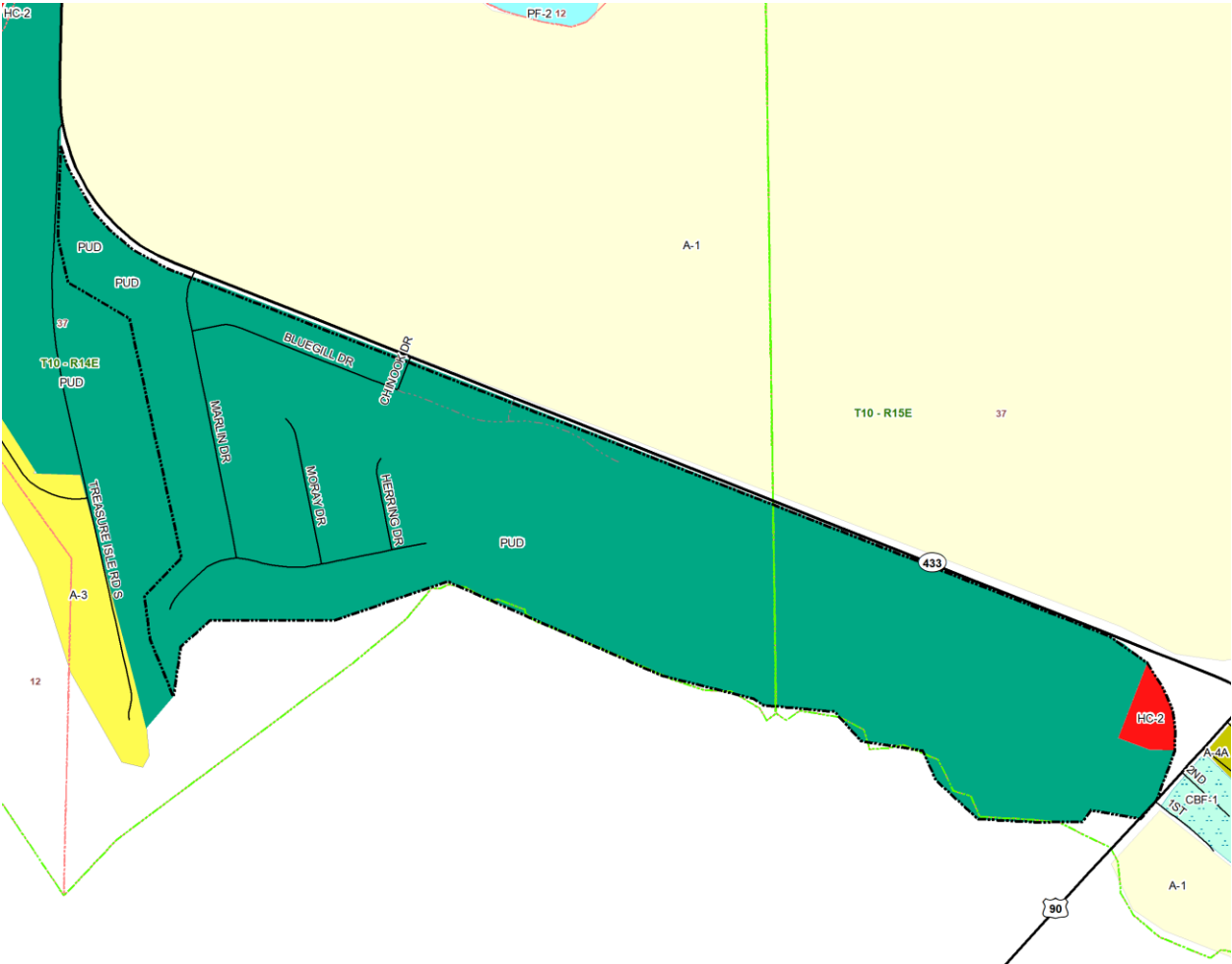
PETITIONER: Shelby LaSalle

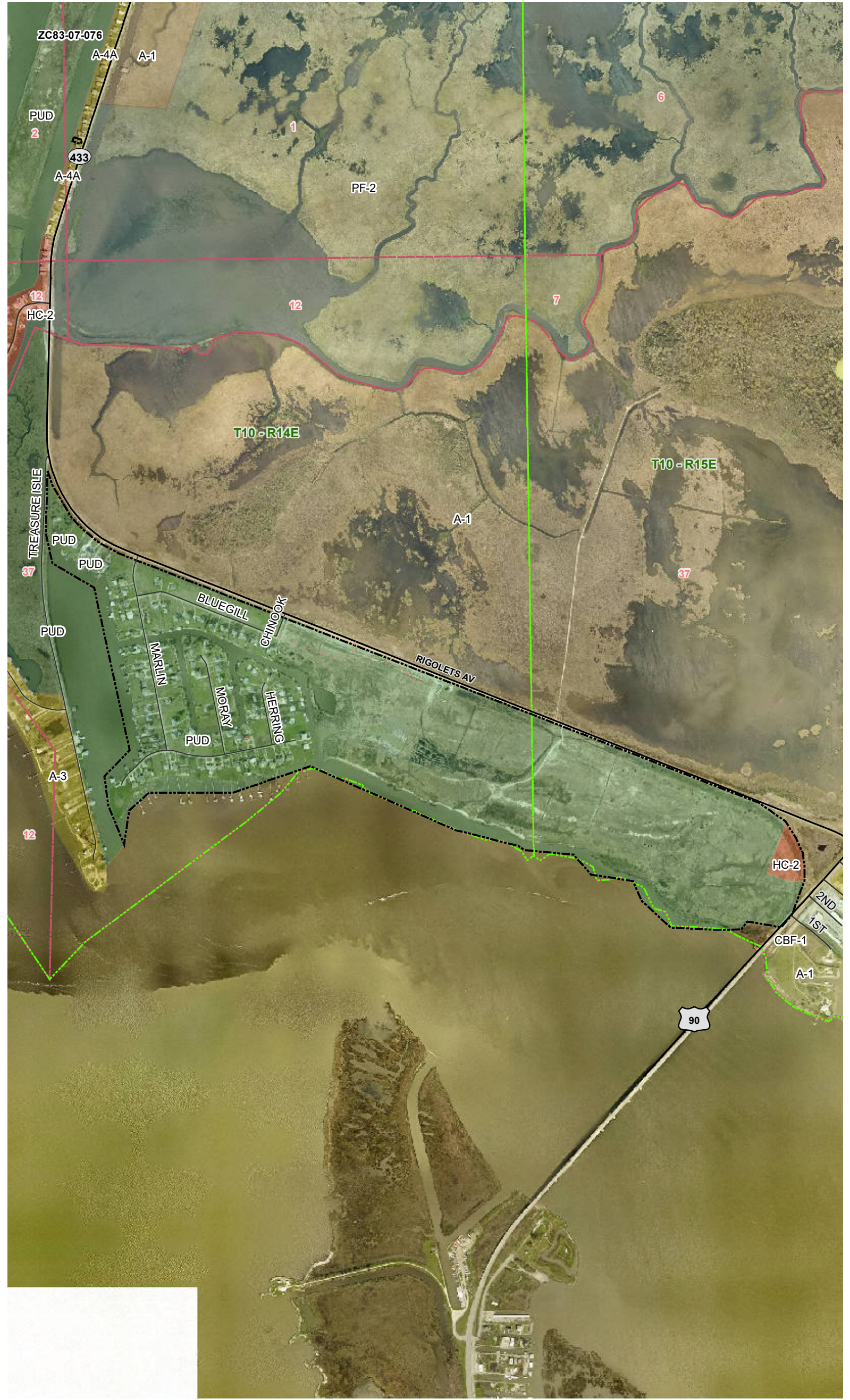
OWNER: Succession of Frederick J. Sigur – Frederick Sigur, Jr.

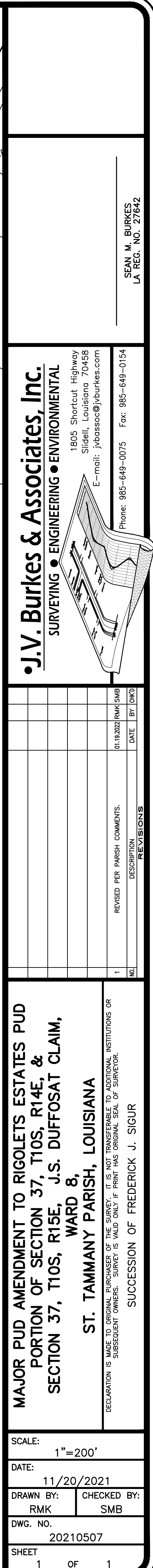
REQUESTED CHANGE: Major Amendment to the PUD Rigolets Estates Phase 3 Planned Unit Development

LOCATION: Subdivision located on the south side of Louisiana Highway 433, west of US Highway 90,
and north of Lake Pontchartrain; Slidell; S37, T10S, R15E; Ward 8, District 13

SIZE: 187.028 acres







ZONING STAFF REPORT

Date: January 25, 2022
Case No.: ZC03-11-073
Posted: January 20, 2022

Meeting Date: February 1, 2022
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: Ryan Patrick

OWNER: Natchez Trace Property Owners Association, Inc. – Ryan Patrick

REQUESTED CHANGE: Major Amendment to the PUD Natchez Trace – Phase 1 Planned Unit Development

LOCATION: Subdivision located on the east side of Louisiana Highway 21 and the north side of Pine Crest Drive; Covington; S41, T7S, R10E; Ward 1, District 1

SIZE: 65.679 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: State **Road Surface:** 3 Lane Asphalt **Condition:** Good

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	School	ED-1 Primary Education District; ED-2 Higher Education District; MD-1 Medical Residential District
South	Tchefuncta Club Estates	A-1 Suburban District; A-2 Suburban District; CBF-1 Community Based Facilities District; PUD Planned Unit Development
West	Undeveloped	NC-1 Professional Office District and NC-4 Neighborhood Institutional District
East	Tchefuncta Club Estates	A-2 Suburban District; CBF-1 Community Based Facilities District; PUD Planned Unit Development

EXISTING LAND USE:

Existing development: Yes **Multi occupancy development:** Yes

COMPREHENSIVE PLAN:

Planned Districts - Coordinated development on several parcels, usually at a higher density – but not in all cases - than other parcels in the proximity, planned in an integrated fashion as single units including residential, commercial and possibly other (institutional, recreational, e.g.) uses, as well as the supporting infrastructure and public services they will require (See “Small Area Plans,” below). Generally, such developments improve environmental qualities, preserve natural environments, provide for open space and recreational uses, and for residential as well as commercial uses, and are equipped with central utility systems and efficient and effective internal and external transportation access in multiple modes.

Single Family Residential – Conservation - These planned districts would include clustered single-family residential uses, at a density – within the overall tract – which is similar to that of adjoining residential uses, and conservation areas, following a Small Area Plan, and providing for balance, compatibility and integration of uses and all supporting infrastructure. Such individual Planned Residential – Conservation developments should aim to achieve contiguity among adjoining conservation areas in adjacent developments.

STAFF COMMENTS:

The petitioner is requesting a Major Amendment to the Natchez Trace - Phase 1 Planned Unit Development. The site is located on the east side of Louisiana Highway 21 and the north side of Pine Crest Drive; Covington. The 2025 Future Land Use Plan designates the site to be developed with residential uses which are compatible with surrounding residential development and conservation areas.

The Natchez Trace PUD was approved in 2004 by Council Ordinance No. 04-0823. Phase 1 of the Natchez Trace PUD was recorded in 2006 and contains 65.679 acres with 72 single-family residential lots and 11.78 acres of greenspace. The purpose of the request is to transfer 1,588.8 sq. ft. of greenspace within Phase 1 of the Natchez Trace PUD to Phase 3 of the adjacent Tchefuncta Club Estates PUD. The reason for the request is to erect an entrance monument sign for the Tchefuncta Club Estates Planned Unit Development.

Case No.: ZC03-11-073

PETITIONER: Ryan Patrick

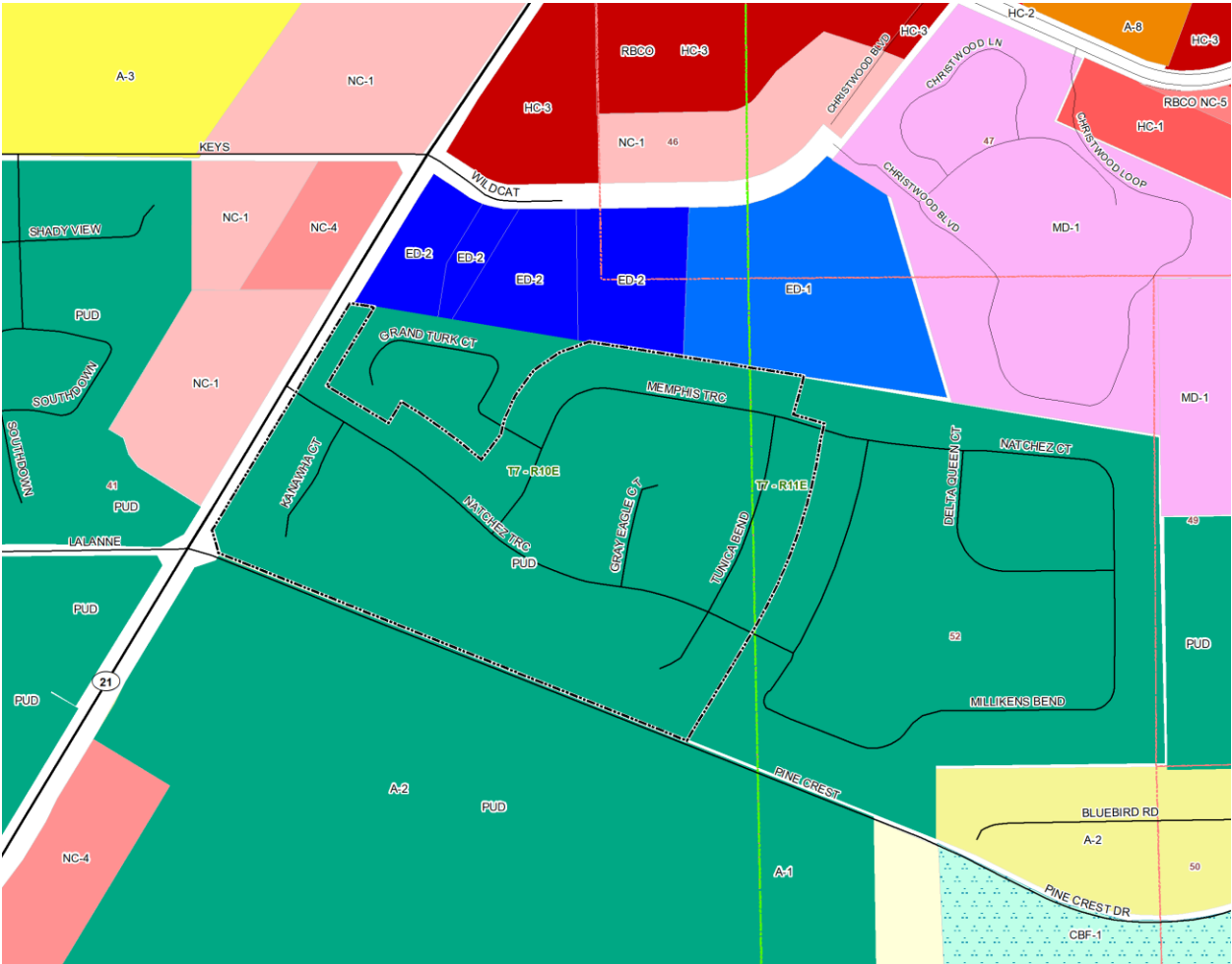
OWNER: Natchez Trace Property Owners Association, Inc. – Ryan Patrick

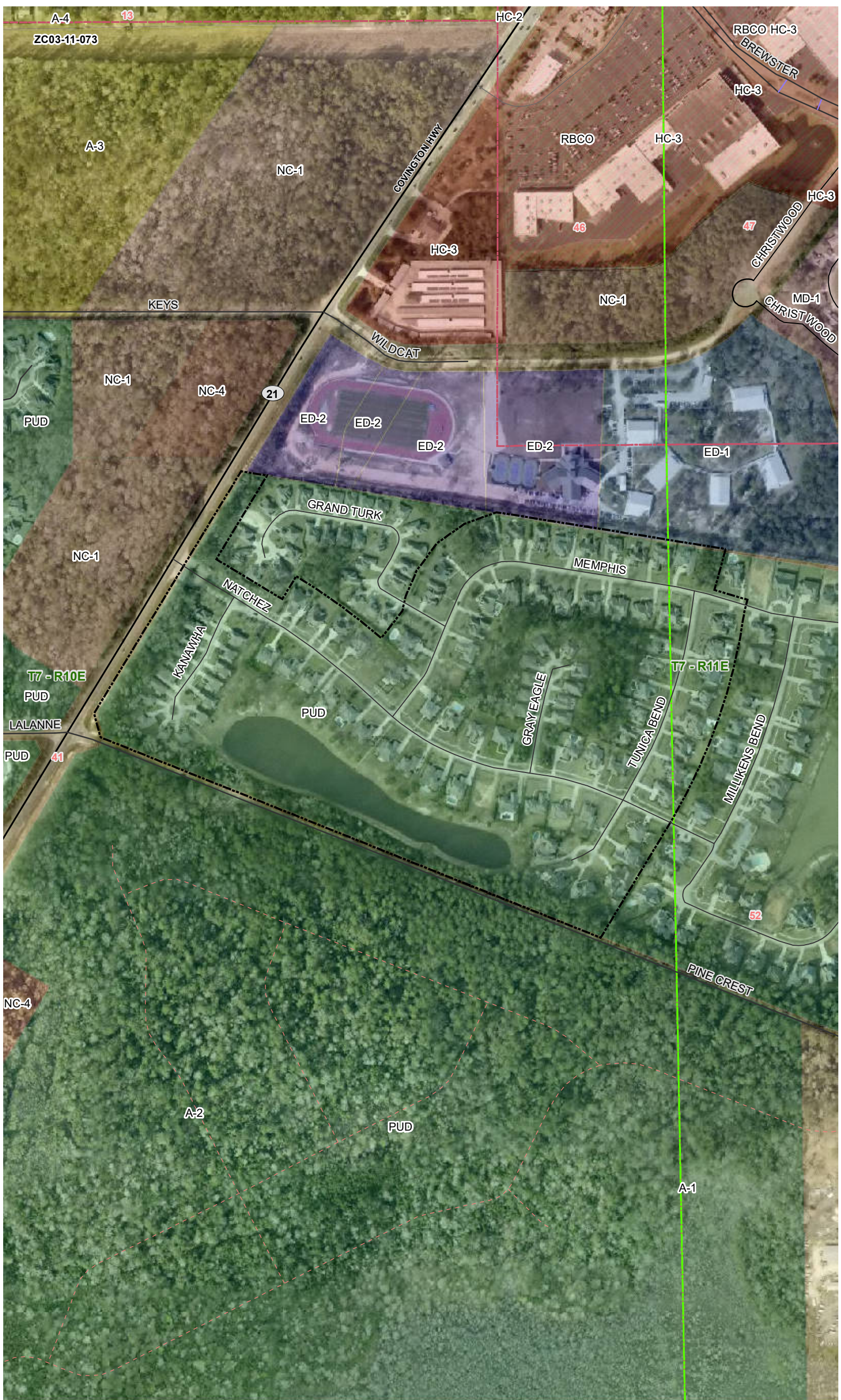
REQUESTED CHANGE: Major Amendment to the PUD Natchez Trace – Phase 1 Planned Unit Development

LOCATION: Subdivision located on the east side of Louisiana Highway 21 and the north side of

Pine Crest Drive; Covington; S41, T7S, R10E; Ward 1, District 1

SIZE: 65.679 acres

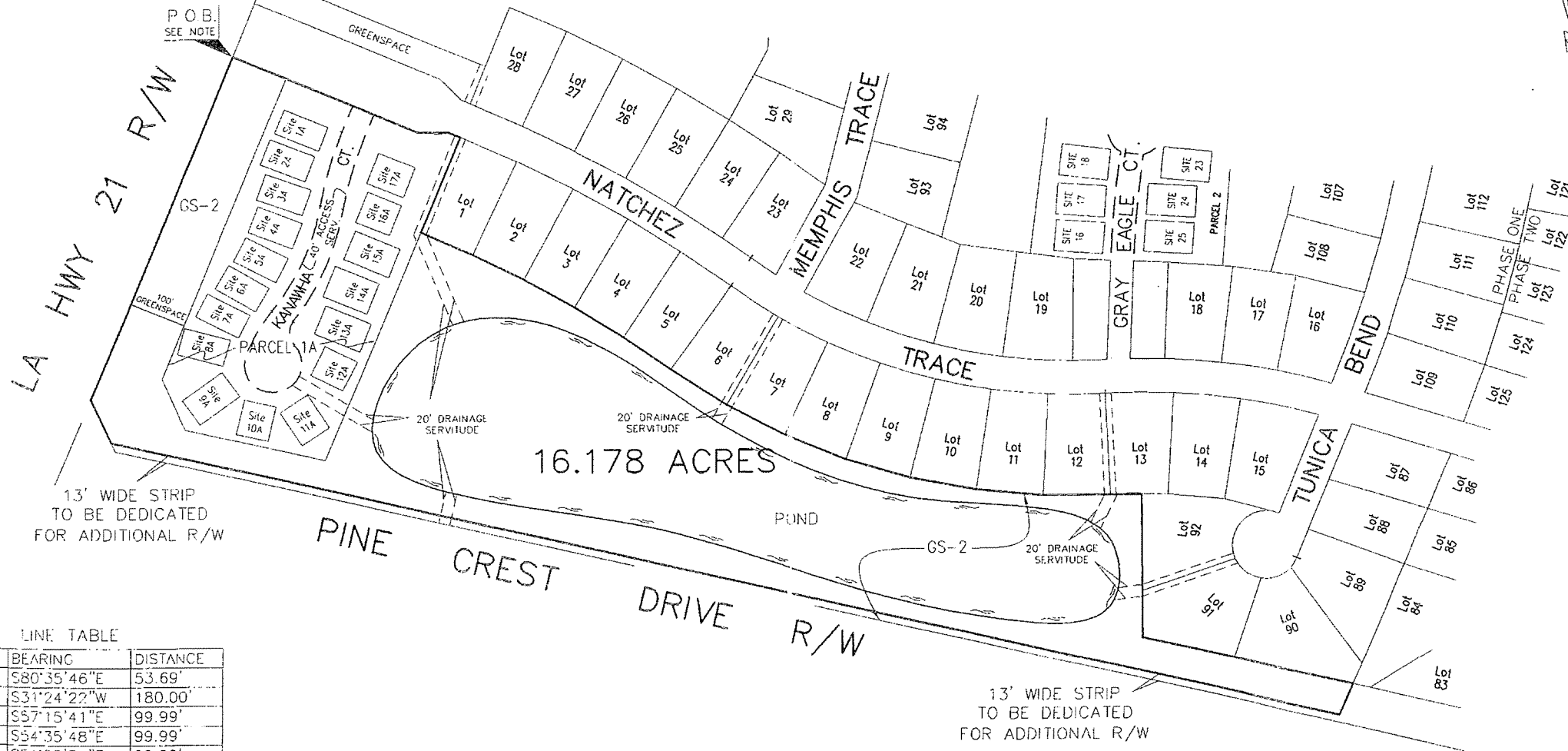
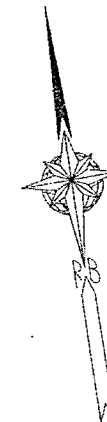




NOTE:
P.O.B. IS REPORTED TO BE S00°39'14"E,
687.10', N80°53'16"W, 35698.55',
53116'40"W, 509.26' FROM THE CORNER
COMMON TO SECTIONS 47, 49 & 52,
TOWNSHIP 7 SOUTH-RANGE 11 EAST, ST
TAMMANY PARISH, LOUISIANA

Sketch of
PARCEL 1A & A PORTION OF PARCEL GS-2
SITUATED IN NATCHEZ TRACE * PHASE ONE
ST. TAMMANY PARISH, LOUISIANA
FOR
LONESOME DEVELOPMENT
NATCHEZ TRACE HOMEOWNER'S ASSOCIATION, INC.

ZC03-11-073



LINE TABLE

LINE	BEARING	DISTANCE
L1	S80°35'46"E	53.69'
L2	S31°24'22"W	180.00'
L3	S57°15'41"E	99.99'
L4	S54°35'48"E	99.99'
L5	S51°55'54"E	99.99'
L6	S49°16'00"E	99.99'
L7	S46°36'07"E	99.99'
L8	S48°03'03"E	117.43'
L9	S55°36'48"E	117.43'
L10	S59°10'34"E	117.43'
L11	S62°44'20"E	117.43'
L12	S70°18'05"E	117.43'
L13	S75°51'51"E	117.43'
L14	S81°25'37"E	117.43'
L15	S81°18'52"E	54.21'
L16	S31°10'26"W	59.62'

□ DENOTES GREENSPACE
TO BE TRANSFERRED

THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY

NOT A BOUNDARY SURVEY

Randall W. Brown, P.L.S.
Professional Land Surveyor
LA Registration No. 04586

Randall W. Brown & Associates, Inc.
Professional Land Surveyors
Geodetic • Forensic • Consultants
228 W. Causeway Approach, Mandeville, LA 70448
(985) 624-5368 FAX (985) 624-5309
E-MAIL: info@brownsurvevs.com

Date: JANUARY 30, 2012
Survey No. 12043
Project No. .
Scale: 1"=200'±
Drawn By: BRC
Revised:

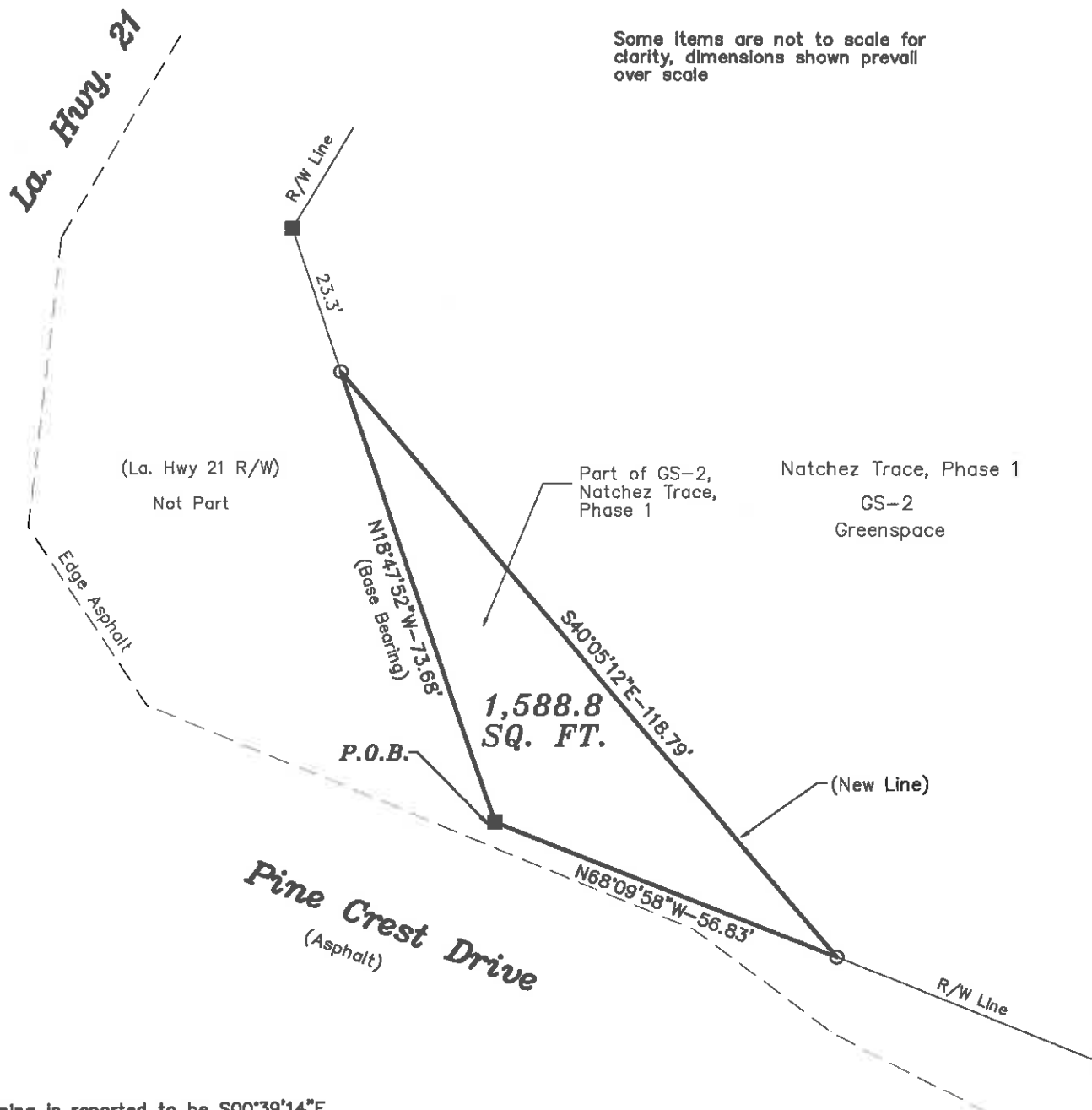
ZC03-11-073



Reference Survey
1. Survey prepared by Randall W. Brown & Associates, Inc. of Natchez Trace Phase One, Map File No. 4287 Clerk of Courts Office
2. Survey prepared by Randall W. Brown & Associates, Inc. Dated Feb. 19, 1998 revised May 5, 2005 Survey No. 05255
3. Survey Map by this Firm, Dated 5-1-2013, #15911 (Based Bearings)

Reference calls not shown

Some items are not to scale for clarity, dimensions shown prevail over scale



Point of Beginning is reported to be S00°39'14"E, 687.10'; N80°53'16"W, 3568.56'; S31°16'36"W, 1157.12'; S15°32'15"E, 101.58' from the NE Corner of Section 52, T7S R11E, St. Tammany Parish, Louisiana

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS.

THIS MAP IS IN ACCORDANCE WITH THE STANDARD DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A "D" SURVEY AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46:1X1.

LEGEND:

■ = Fnd. Conc. Hwy. Mon.

⊙ = Set 1/2" Iron Rod

(Must verify prior to Construction)

Building Setbacks

Front:

Side:

Rear:

Side Street:

MAP PREPARED FOR **TCHEFUNCTA CLUB ESTATES, INC.**

Part of GS-2 (Greenspace), Natchez Trace Phase 1, Section 41,
T-7-S, R-10-E, St. Tammany Parish, Louisiana

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED:
SIGNATURE AND STAMPED SEAL MUST BE IN RED OR THIS PLAT IS NOT A TRUE COPY.

LAND SURVEYING LLC

518 N. Columbia Street, Covington, LA 70433
(985) 892-6277 office (985) 898-0355 fax
landsurveyingllc@gmail.com

CERTIFIED CORRECT

BRUCE M. BUTLER, III
LOUISIANA PROFESSIONAL LAND SURVEYOR
LICENSE NO. 4804

SCALE:

$$1^{\circ} = 25'$$

DATE: _____

10-28-2021

NUMBER: 20587

ZONING STAFF REPORT

Date: January 25, 2022
Case No.: 2020-1801-ZC
Posted: January 20, 2022

Meeting Date: February 1, 2022
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: Charles Bernett
OWNER: TCE Properties, LLC
REQUESTED CHANGE: Major Amendment to the Tchefuncta Club Estates – Phase 3 Planned Unit Development
LOCATION: Subdivision located on the east side of Louisiana Highway 21 and on the south side of Pine Crest Drive; Covington; S41, T7S, R10E; Ward 1, District
SIZE: 221.172 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: State **Road Surface:** 3 Lane Asphalt **Condition:** Good

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Natchez Trace PUD	PUD Planned Unit Development Overlay
South	Brady Island PUD, Undeveloped Property; Tchefuncte River	PUD Planned Unit Development Overlay and A-1 Suburban District
West	The Arbor Walk	PUD Planned Unit Development Overlay
East	Tchefuncte River	N/A

EXISTING LAND USE:

Existing development: Yes **Multi occupancy development:** Yes

COMPREHENSIVE PLAN:

Planned Districts - Coordinated development on several parcels, usually at a higher density – but not in all cases - than other parcels in the proximity, planned in an integrated fashion as single units including residential, commercial and possibly other (institutional, recreational, e.g.) uses, as well as the supporting infrastructure and public services they will require (See “Small Area Plans,” below). Generally, such developments improve environmental qualities, preserve natural environments, provide for open space and recreational uses, and for residential as well as commercial uses, and are equipped with central utility systems and efficient and effective internal and external transportation access in multiple modes.

Single Family Residential – Conservation - These planned districts would include clustered single-family residential uses, at a density – within the overall tract – which is similar to that of adjoining residential uses, and conservation areas, following a Small Area Plan, and providing for balance, compatibility and integration of uses and all supporting infrastructure. Such individual Planned Residential – Conservation developments should aim to achieve contiguity among adjoining conservation areas in adjacent developments.

STAFF COMMENTS:

The petitioner is requesting to a Major Amendment to the Tchefuncta Club Estates – Phase 3 Planned Unit Development. The site is located on the east side of Louisiana Highway 21 and the south side of Pine Crest Drive; Covington. The 2025 Future Land Use Plan designates the site to be developed with residential uses which are compatible with surrounding residential development and conservation areas.

Phase 3 of the Tchefuncta Club Estates PUD was approved in 2020 through Council Ordinance No. 20-4351 and consists of 221.172 acres. Phase 3-A which consists of 143.755 acres has a Final recorded plat on file and 77.417 acres of Tract FD-1 is undeveloped. The purpose of the request is to transfer 1,588.8 sq. ft. of greenspace currently within the adjacent Phase 1 of the Natchez Trace PUD to Phase 3 of the Tchefuncta Club Estates PUD. The reason for the request is to erect an entrance monument sign for the Tchefuncta Club Estates Planned Unit Development.

Per Sec. 130-2022, residential subdivision entrance signs are permitted a maximum size of 48 sq. ft. in sign area per side to be located on each side of the entrance to approved residential subdivisions. The current request for a Major Amendment to the PUD will allow for two-75 sq. ft. columns to be located along either side of Pinecrest Drive which will be attached to two brick retaining walls with plantings. The brick monument columns are shown to display a roughly 10 ft. bronze plaque on either side of Pinecrest Drive and the brick retaining walls will display a 20’3” sq. ft. cast-stone sign. All sight triangle and sight distance lines required by the Parish appear to be adhered to.

Case No.: 2020-1801-ZC

PETITIONER: Charles Bennett

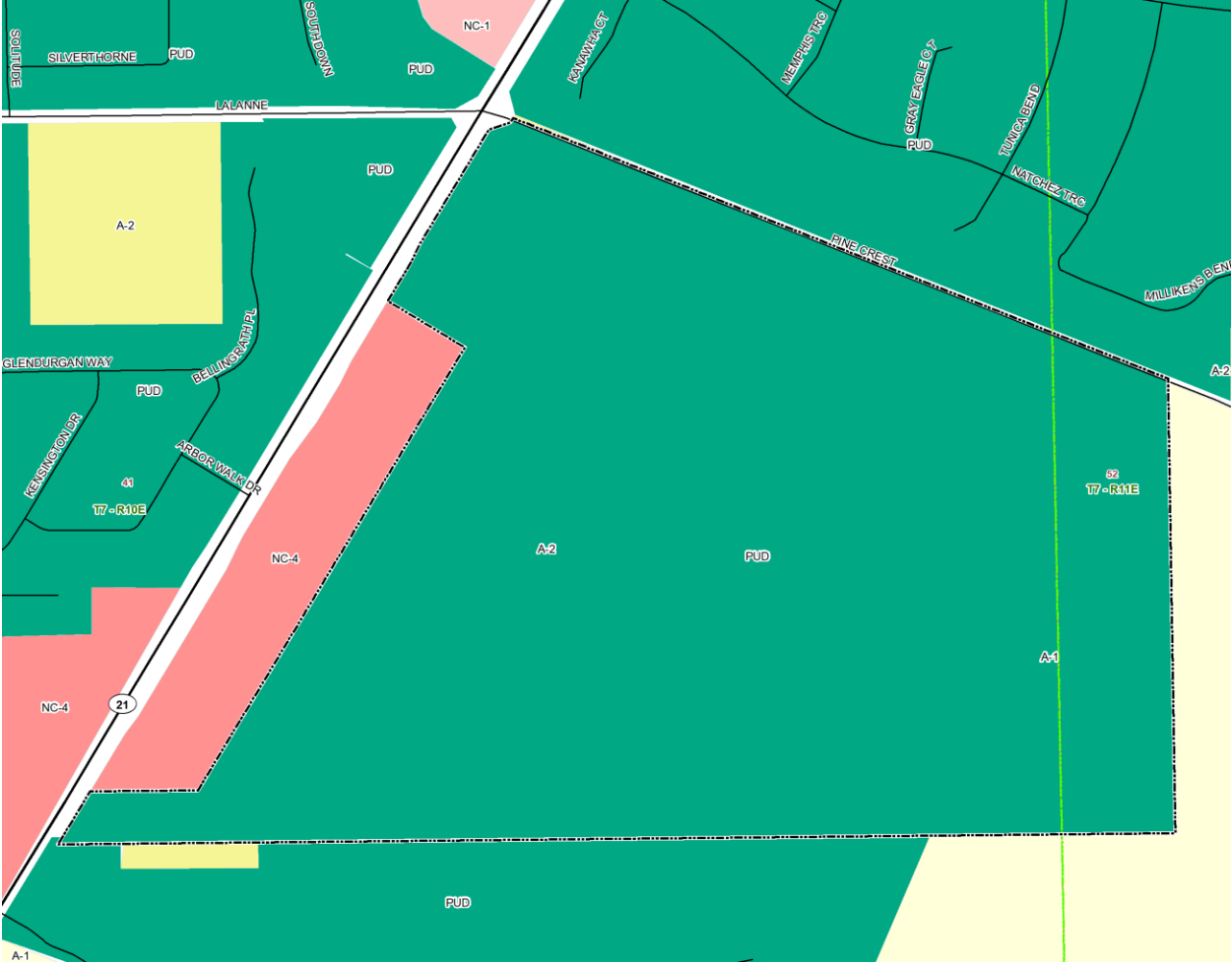
OWNER: TCE Properties, LLC

REQUESTED CHANGE: Major Amendment to the Tchefuncta Club Estates – Phase 3 Planned Unit Development

LOCATION: Subdivision located on the east side of Louisiana Highway 21 and on the south

side of Pine Crest Drive; Covington; S41, T7S, R10E; Ward 1, District

SIZE: 221.172 acres



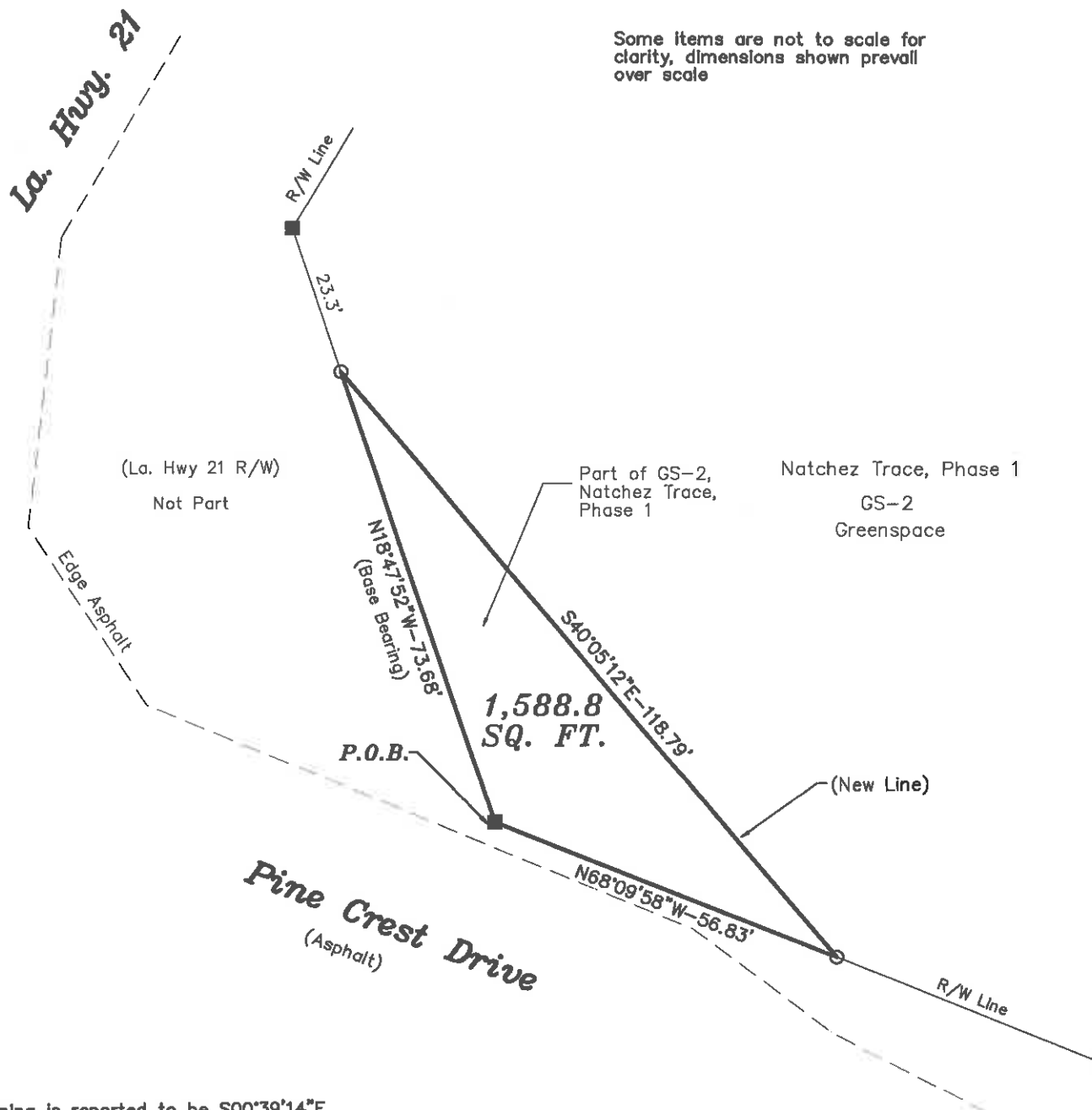
2020-1801-ZC

Reference Survey

Reference Survey
1. Survey prepared by Randall W. Brown & Associates, Inc. of Natchez Trace Phase One, Map File No. 4287 Clerk of Courts Office
2. Survey prepared by Randall W. Brown & Associates, Inc. Dated Feb. 19, 1998 revised May 5, 2005 Survey No. 05255
3. Survey Map by this Firm, Dated 5-1-2013, #15911 (Based Bearings)

Reference calls not shown

Some items are not to scale for clarity, dimensions shown prevail over scale



Point of Beginning is reported to be S00°39'14"E, 687.10'; N80°53'16"W, 3568.56'; S31°16'36"W, 1157.12'; S15°32'15"E, 101.58' from the NE Corner of Section 52, T7S R11E, St. Tammany Parish, Louisiana

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS.

THIS MAP IS IN ACCORDANCE WITH THE STANDARD DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A "D" SURVEY AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46:1X1.

LEGEND:

- = Fnd. Conc. Hwy. Mon.
⊙ = Set 1/2" Iron Rod

(Must verify prior to Construction)
Building Setbacks
 Front:
 Side:
 Rear:
 Side Street:

MAP PREPARED FOR **TCHEFUNCTA CLUB ESTATES, INC.**

SHOWN A SURVEY MADE OF PROPERTY LOCATED IN Part of GS-2 (Greenspace), Natchez Trace Phase 1, Section 41,
T-7-S, R-10-E, St. Tammany Parish, Louisiana

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BRUCE M. BUTLER, III
LOUISIANA PROFESSIONAL LAND SURVEYOR
LICENSE NO. 1804

SCALE:

$$1'' = 25'$$

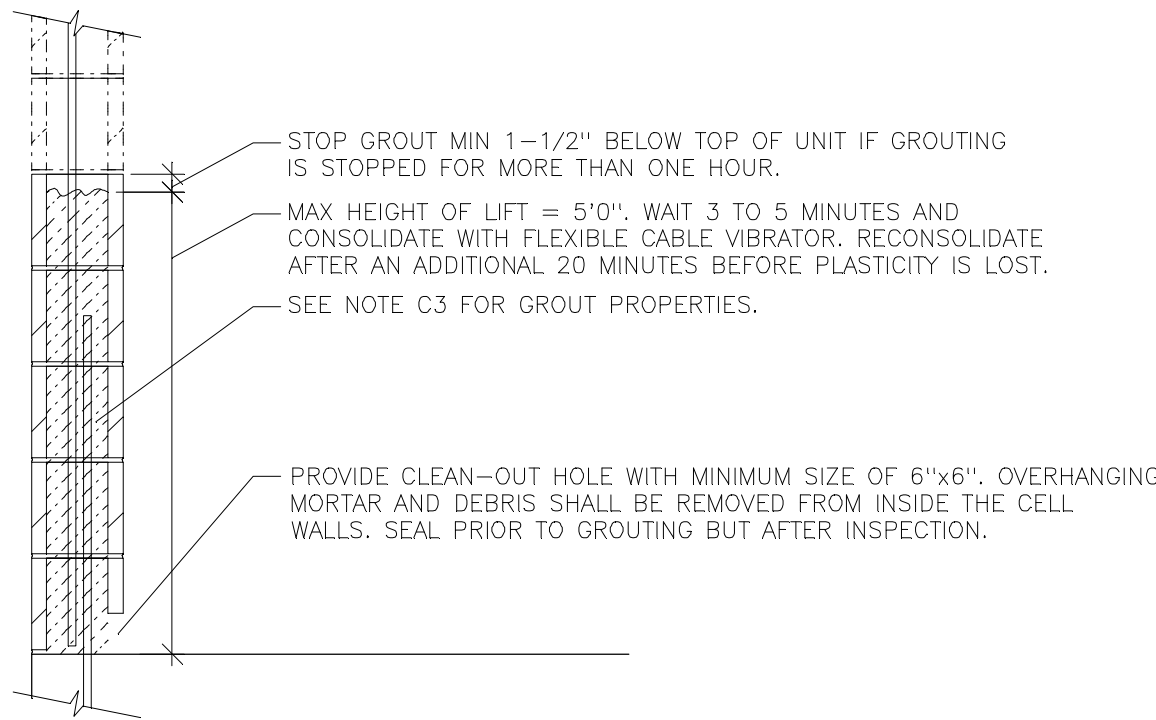
DATE:

10-28-2021

NUMBER: 20587

MASONRY:

- M1. MASONRY CONSTRUCTION SHALL CONFORM TO ACI BUILDING CODE REQUIREMENTS FOR CONCRETE MASONRY STRUCTURES (ACI 530-LATEST EDITION), SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530-LATEST EDITION) ASTM C476, ASTM C1019, AND NCMA TEK 107.
- M2. CONCRETE BLOCKS SHALL CONFORM TO ASTM C-90. (f'm = 1500 PSI) (1900 PSI ON THE NET AREA)
- M3. MORTAR SHALL COMPLY WITH ASTM C270, TYPE M (COMPRESSIVE STRENGTH = 2500 PSI SITE TESTED MORTAR CUBES SHALL ACHIEVE A MINIMUM OF 80% OF THE DESIGN COMPRESSIVE STRENGTH)
- M4. BLOCK SHALL NOT BE MOISTENED BEFORE GROUTING.
- M5. ALL MASONRY CROSS WEBS SHALL BE FULLY BEDDED IN MORTAR AROUND CELLS TO BE GROUTED.
- M6. REINFORCE WALLS WITH LADDER TYPE (ASTM 1-82, #9 GAGE WIRE) DEFORMED REINFORCEMENT EQUAL TO DURO-WALL IN BED JOINTS AT 16" OC UNO, MEASURED VERTICALLY. PLACE PER MFR INSTRUCTIONS. LAP ALL HORIZONTAL JOINT REINFORCING 6" MIN.
- M7. VERTICAL REINFORCING MUST BE CENTERED IN THE CAVITY AND SHALL HAVE A MINIMUM CLEARANCE OF 1/2" TO INSIDE FACE. VERTICAL BAR LAP = 48 X BAR DIAMETER. VERTICAL REINFORCEMENT IN WALLS SHALL BE SECURED AND LATERSALLY SUPPORTED AGAINST DISPLACEMENT AT INTERVALS NOT EXCEEDING 192X (BAR DIAMETER) OR 10 FT (WHICHEVER IS LESS) WHENEVER A CLEANOUT IS REQUIRED. SEE GROUTING DETAIL NOTE FOR CLEANOUT REQUIREMENTS.

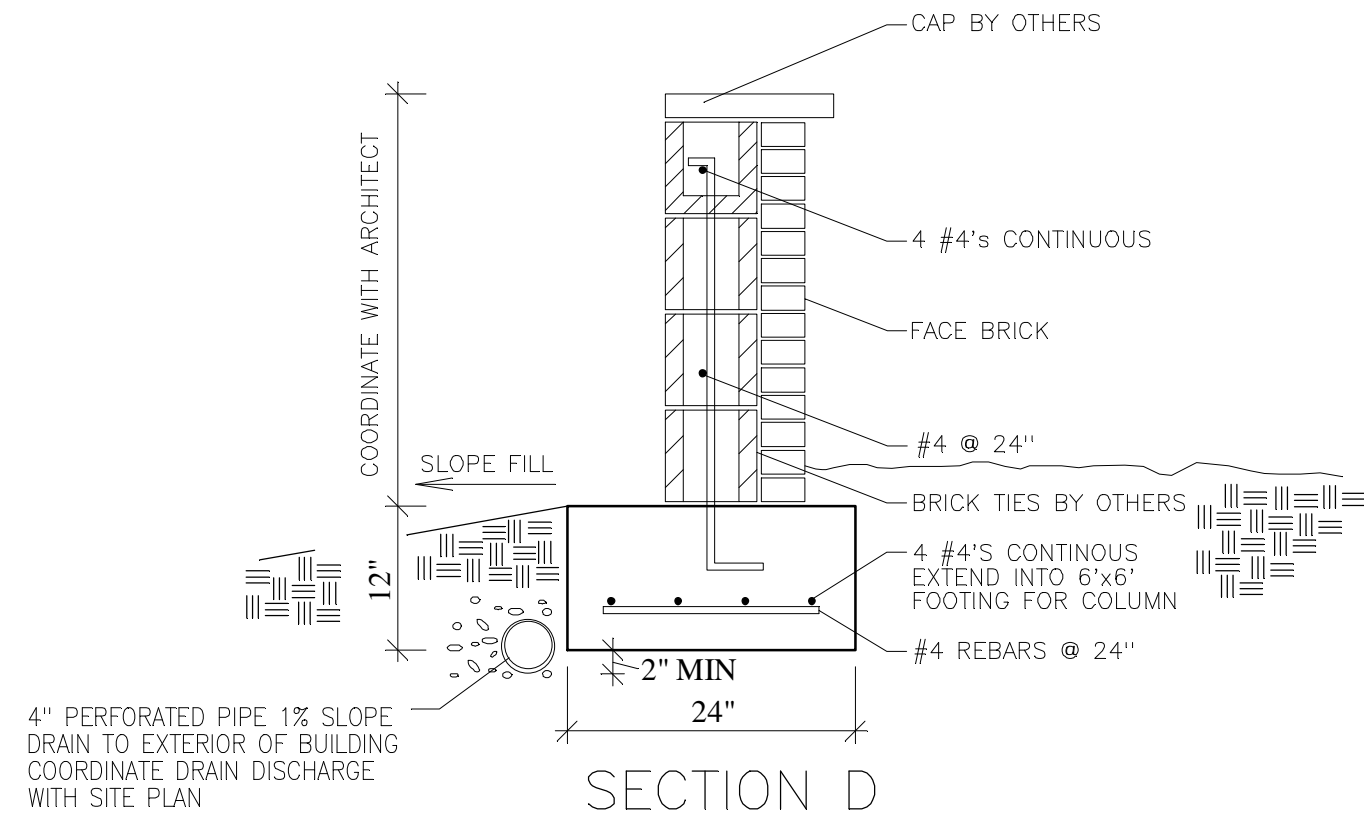
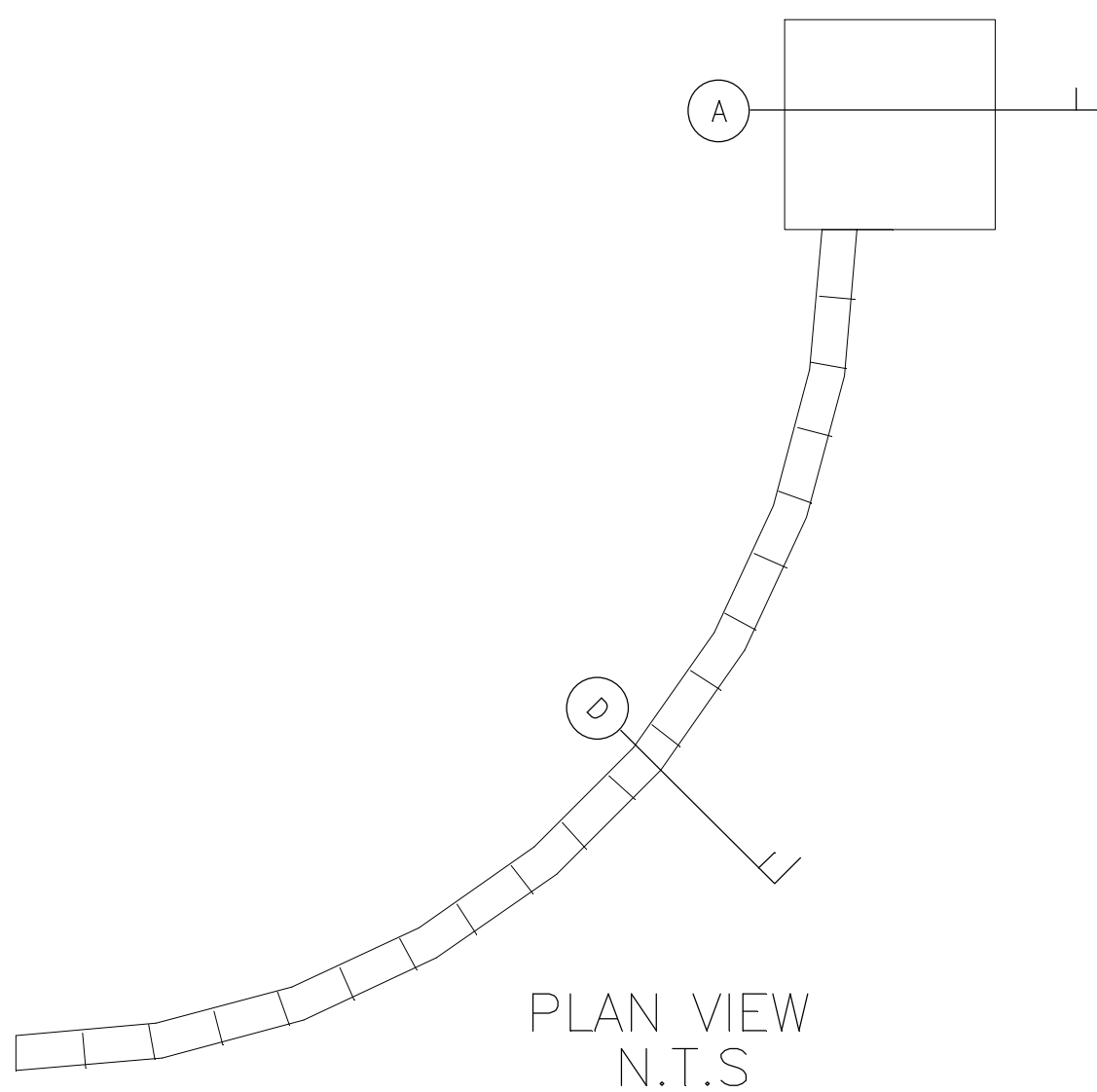
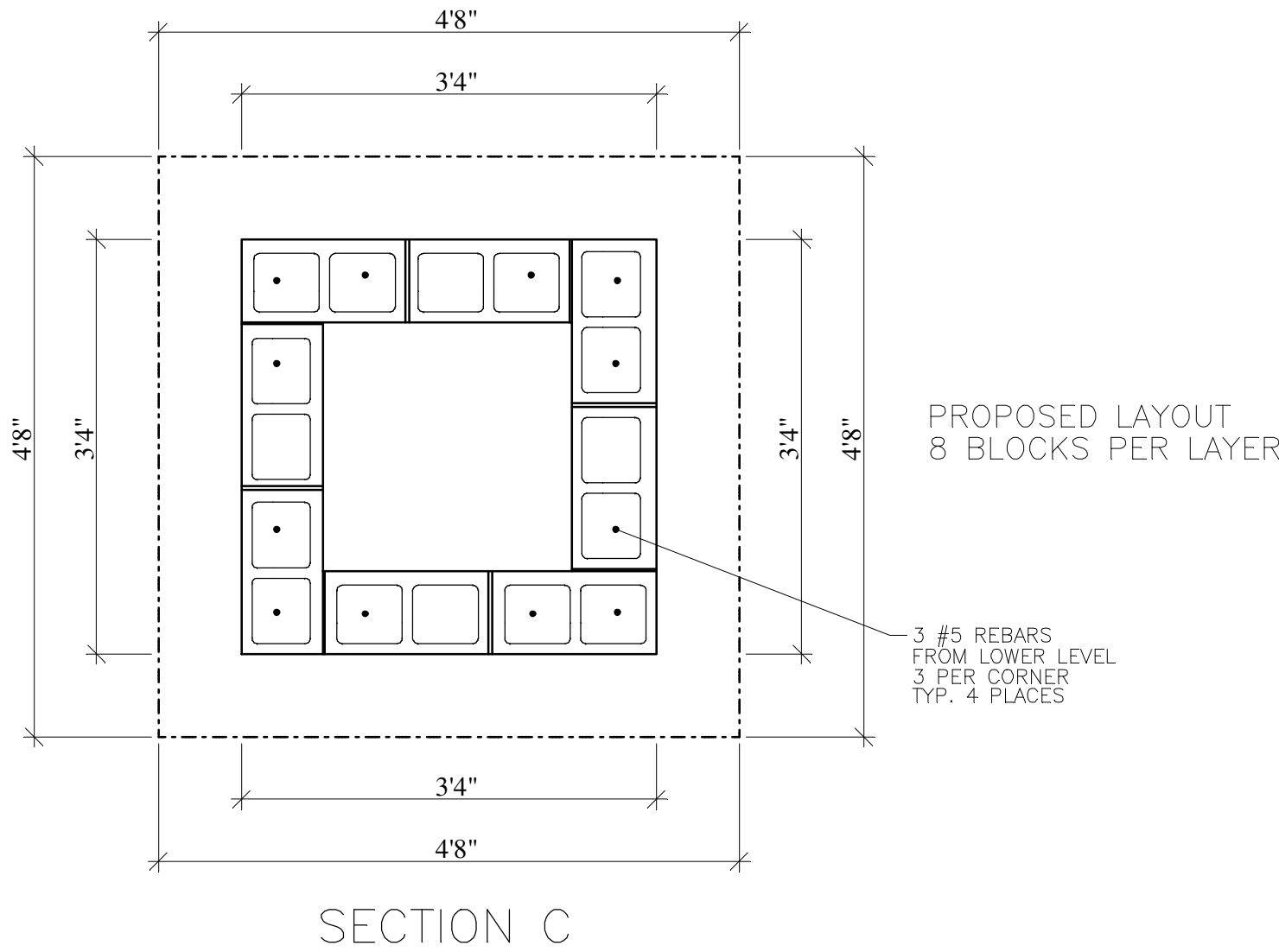
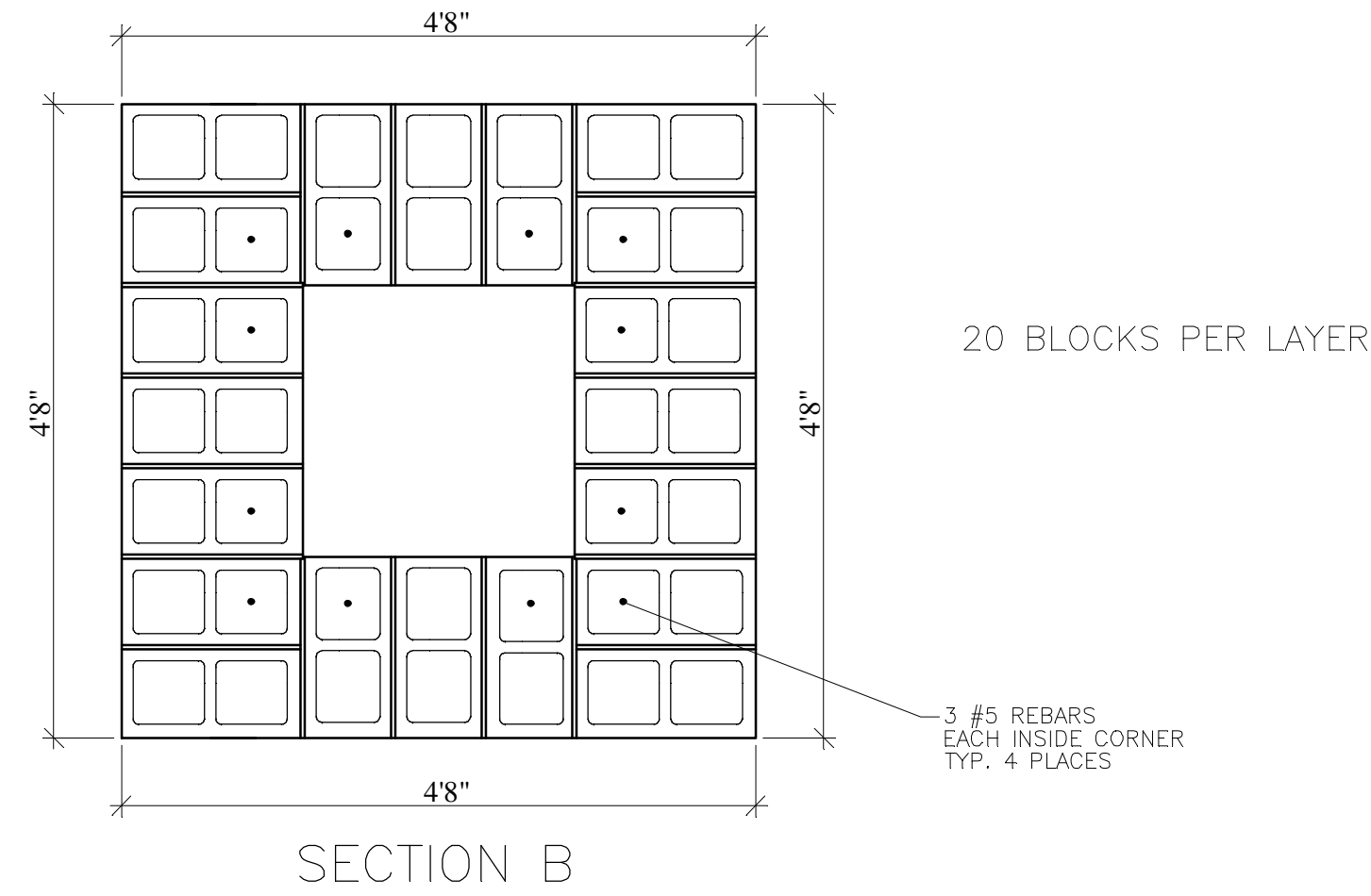
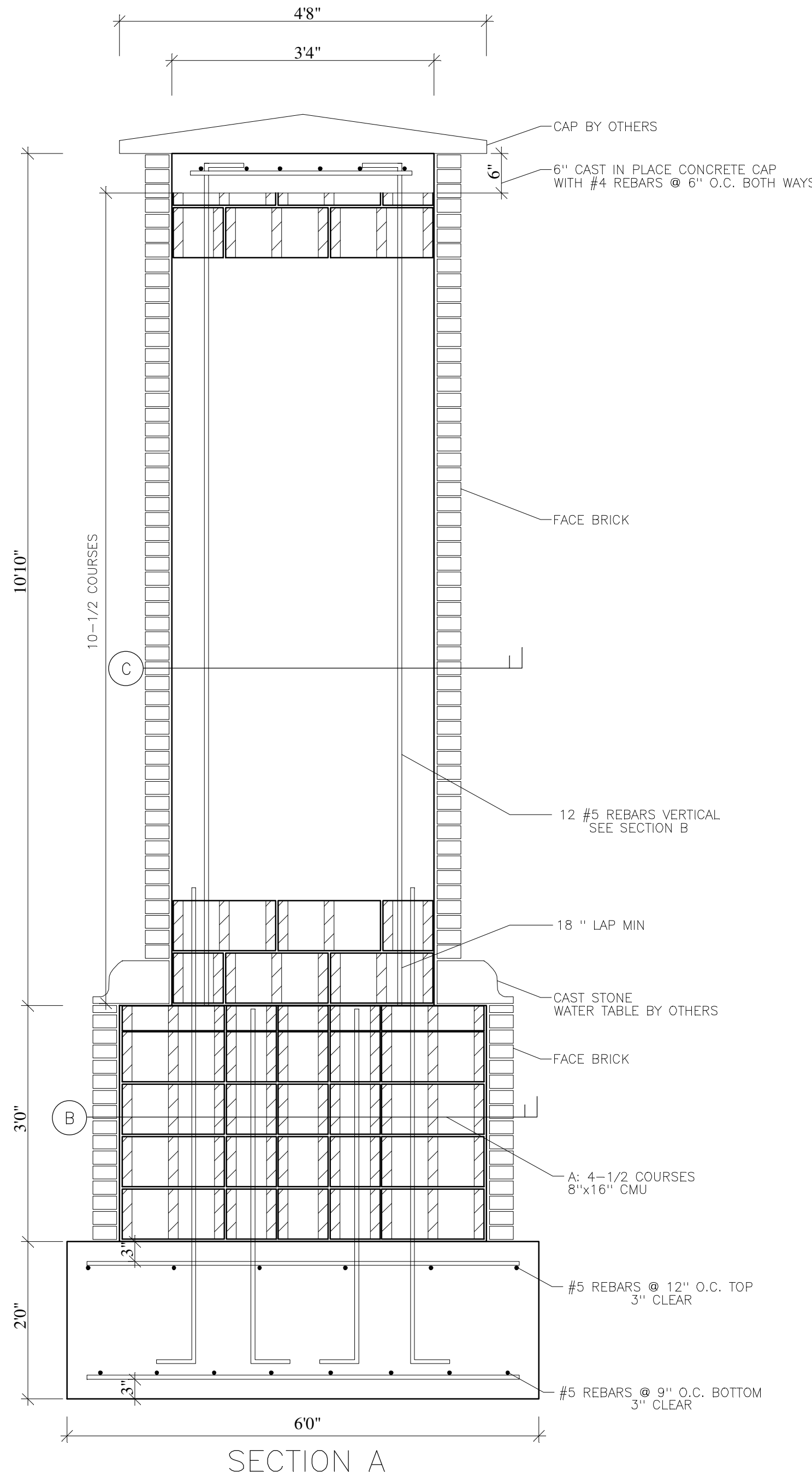


NOTES:

1. DO NOT GROUT UNTIL MORTAR HAS SET SUFFICIENTLY TO WITHSTAND THE PRESSURE OF THE GROUT. WAIT NOT LESS THAN 24 HOURS.
2. WAIT A MINIMUM OF 40 MINUTES BEFORE PLACING NEW GROUT ON A PREVIOUS LIFT.
3. MAXIMUM WALL HEIGHT FROM TOP OF PREVIOUS GROUT POURS LAID UP AT ONE TIME SHALL BE 60" MAX.
4. THE MINIMUM CONTINUOUS UNOBSTRUCTED CLEAR AREA IN CELL TO RECEIVE GROUT MUST BE NOT LESS THAN 3"x3". MORTAR FINS MUST BE REMOVED AS BLOCK PLACEMENT PROCEEDS. MORTAR DROPPINGS MUST BE KEPT OUT OF CELLS WHICH ARE TO BE GROUTED.
- M8. GROUT PLACEMENT STOPPED FOR (1) HOUR OR MORE SHOULD BE STOPPED 1 1/2" BELOW THE TOP OF THE MASONRY UNIT TO PROVIDE A KEY FOR SUBSEQUENT GROUTING.
- M9. SEE FOUNDATION PLANS AND WALL SCHEDULE FOR ALL VERTICAL REINFORCING. TYPICAL VERTICAL REINFORCING SIZE AND SPACING SHALL BE ABOVE AND BELOW ALL WALL OPENINGS.
- M10. TEMPORARY BRACING AND SHORING OF WALLS TO PROVIDE MIN. BRACING OF 25 PSF REQUIRED DURING CONSTRUCTION TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
- M11. MASONRY CONSTRUCTION MATERIALS AND INSPECTIONS SHALL CONFORM TO ALL REQUIREMENTS OF "SPECIFICATIONS FOR MASONRY STRUCTURES (ACI-ASCE 530.1)" EXCEPT AS MODIFIED BY THE REQUIREMENTS OF THESE DOCUMENTS.
- M12. PROVIDE FILLED PRECAST U-LINTELS AS MANUFACTURED BY CAST-CRETE OR APPROVED EQUAL WITH (1) #5 CONT AT ALL OPENINGS WHERE OPENINGS ARE LESS THAN 3'0". LINTELS LINTELS SHALL HAVE MINIMUM UNFILLED CAPACITY OF 400 lb/lf AND BEAR 8" EACH END ON A GROUT FILLED CELL U.N.O.
- M13. STOPPING AND RESUMING WORK: RACK BACK 1/2-UNIT LENGTH IN EACH COURSE. DO NOT TOOTH. CLEAN EXPOSED SURFACES OF SET MASONRY WET UNITS LIGHTLY (IF REQD) AND REMOVE LOOSE MASONRY UNITS AND MORTAR PRIOR TO LAYING FRESH MASONRY.
- M14. REINFORCE MASONRY OPENINGS GREATER THAN 1'-0" WIDE, WITH HORIZONTAL JT REINF PLACED IN (2) HORIZONTAL JOINTS APPROXIMATELY 8" APART, IMMEDIATELY ABOVE THE LINTEL AND IMMEDIATELY BELOW THE SILL. EXTEND REINFORCING A MINIMUM OF 2'-0" BEYOND JAMBS OF THE OPENING EXCEPT AT CONTROL JOINTS. SEE PLAN FOR ADDITIONAL REQUIREMENTS.
- M15. DO NOT APPLY UNIFORM LOADS TO MASONRY WALLS FOR (3) DAYS.
- M16. DO NOT APPLY CONCENTRATED LOADS TO MASONRY WALLS FOR (7) DAYS.
- M17. EXTEND ALL VERTICAL WALL REINFORCEMENT THRU SLAB & GROUT SPACE IN SLEEVED OPENING.
- M18. SPACING FOR CONTROL JOINTS, TYPICALLY AT COLUMN FACES. 3 X WALL HEIGHT = SPACING IN FT (NOT TO EXCEED 50'-0") VERTICAL CONTROL JOINTS SHALL BE PLACED SUCH THAT THE RATIO OF JOINT SPACING (L) DIVIDED BY WALL HEIGHT (H) DOES NOT EXCEED 3.0. IN NO CASE SHALL SPACING EXCEED 50 FEET. CONTROL JOINTS SHALL BE CONSTRUCTED USING SASH BLOCKS AND DURO-O-WALL PREFORMED REGULAR RAPID CONTROL JOINT (OR EQUAL OF EXTRUDED RUBBER). WALL REINFORCING SHALL BE DISCONTINUOUS AT JOINTS. VERTICAL JOINTS SHALL BE LOCATED AS FOLLOWS:
A. CHANGES IN WALL HEIGHT.
B. AT CONSTRUCTION JOINTS IN FOUNDATION, IN ROOF AND IN FLOORS.
C. AT CHASES AND RECESSES FOR PIPING, COLUMNS, FIXTURES, ETC.
D. AT ABUTMENT OF WALL AND COLUMNS.
E. AT RETURN ANGLES IN "L", "T" AND "U" SHAPED STRUCTURES.
F. AT ONE OR BOTH SIDES OF WALL OPENING.
- M20. JOB SITE MIXING OF GROUT SHALL NOT BE PERMITTED. TESTING SHALL CONFORM TO ASTM C1019. SEE TEST MOLD DETAIL BELOW. SEE SCHEDULE UNDER CONCRETE NOTES FOR COMPRESSIVE STRENGTH AND SLUMP REQUIREMENTS.
- GROUT TEST PRISM (4) 8x8x16 CMU BLOCKS REQUIRED
- PROVIDE 3x3x1-5/8" WOOD BLOCK AT BOTTOM
- COVER UNITS USING ABSORPTIVE PAPER TOWELLING WITH TAPE
- M21. MASONRY COMPONENTS SHALL BE STAINLESS STEEL AS MANUFACTURED BY H.B.
- M22. CONTRACTOR SHALL PROVIDE MOISTURE PROTECTION OF WALL DURING INCLEMENT WEATHER.

SPECIFICATIONS – SLAB ON GRADE REINFORCED CONCRETE

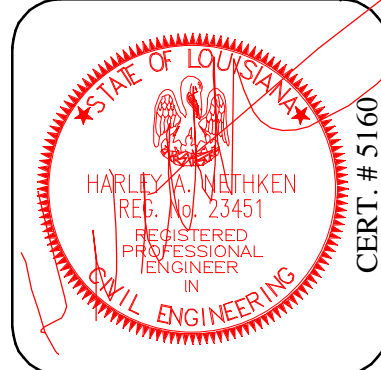
1. This plan is to be only for the location below:
**TCHEFUNCTA CLUB ESTATES
ST. TAMMANY PARISH, LOUISIANA**
2. The concrete mix should yield a minimum compressive strength of 3000 p.s.i. (u.n.o.) at 28 days. Concrete design mix shall be in accordance with ACI-318 (latest version). No chlorides shall be allowed.
3. All conventional reinforcing steel shall meet ASTM-A615 (Grade 60). Reinforcing steel shall be detailed and accessories provided in accordance with the latest "ACI Manual of Standard Practice for Detailing Reinforced Concrete Structures".
4. All splices shall be Class B as per 2008 ACI 318-08.
5. Reinforcement shall have 3" cover in the grade beam bottoms, 2" cover in the beam sides and top, 1 1/2" cover in the slab top and bottoms, unless noted otherwise.
6. 1 layer polyethylene vapor barrier shall be placed under all concrete.
7. Pre installed rebar shall be secured to prevent both vertical and horizontal movement during concrete placement. Wet set dowels are permitted.
8. Concrete shall be well consolidated.
9. The contractor shall verify all drops, off-sets, brick ledges, and block outs and Architectural plans and notify the Engineer of any discrepancies that may exist.
10. The contractor shall be responsible for coordination of the structural drawings with all other drawings. Grade beam sizes may vary by -10%, 420%.
11. Alteration to or deviation from the information shown on this sheet without the written advance approval will void designer's responsibility.
12. This plan is for grade beam location only. Refer to Architectural plans for setting forms.
13. All subgrade fill shall be select granular material compacted to 95% STD Procter density in a maximum of 6" lifts.
14. A minimum of 4" of concrete will be maintained throughout the entire slab.
15. All runoff water must be carried away from the slab to prevent saturation of the sub-base.
16. All trees within close proximity shall be removed to prevent the roots from extending under the slab.
17. Remove a minimum of 12" of existing soil and all unstable silt prior to placing any fill.
18. No field supervision provided unless otherwise noted.
19. Exterior footing will have a minimum of 12" embedment below finished grade.
- 20.



NOTE:

- 1: BRICK MASON TO SELECT AND COORDINATE FACE BRICK TIES AS REQUIRED
- 2: BRICK MASON TO COORDINATE EXPANSION JOINTS IN SIGNAGE

THIS PLAN IS ONLY VALID ONE YEAR FROM DATE ON PLAN



ACADIAN STRUCTURAL SOLUTIONS, INC.
57362 ALLEN RD, SLIDELL, LA. 70461
PHONE (985) 641-5794 FAX (985) 641-1239
PLANS@ACADIANSS.COM

TCHEFUNCTA CLUB ESTATES
PINE CREST DRIVE, LOUISIANA
BRADLEY DESIGN CONSTRUCTION
MADISONVILLE, LOUISIANA

SCALE: 3/4" = 1'-0"
DATE: 12 JAN 22
DRAWN BY: CHL
CHKD BY: HN
ASS PROJECT #: 141-22

REVISIONS	DATE

SHEET
PT-1
OF
PT-1

GENERAL NOTES:

The Contractor shall visit and examine the project site to familiarize himself with all conditions and to verify locations, dimensions, and sizes called for in the work.

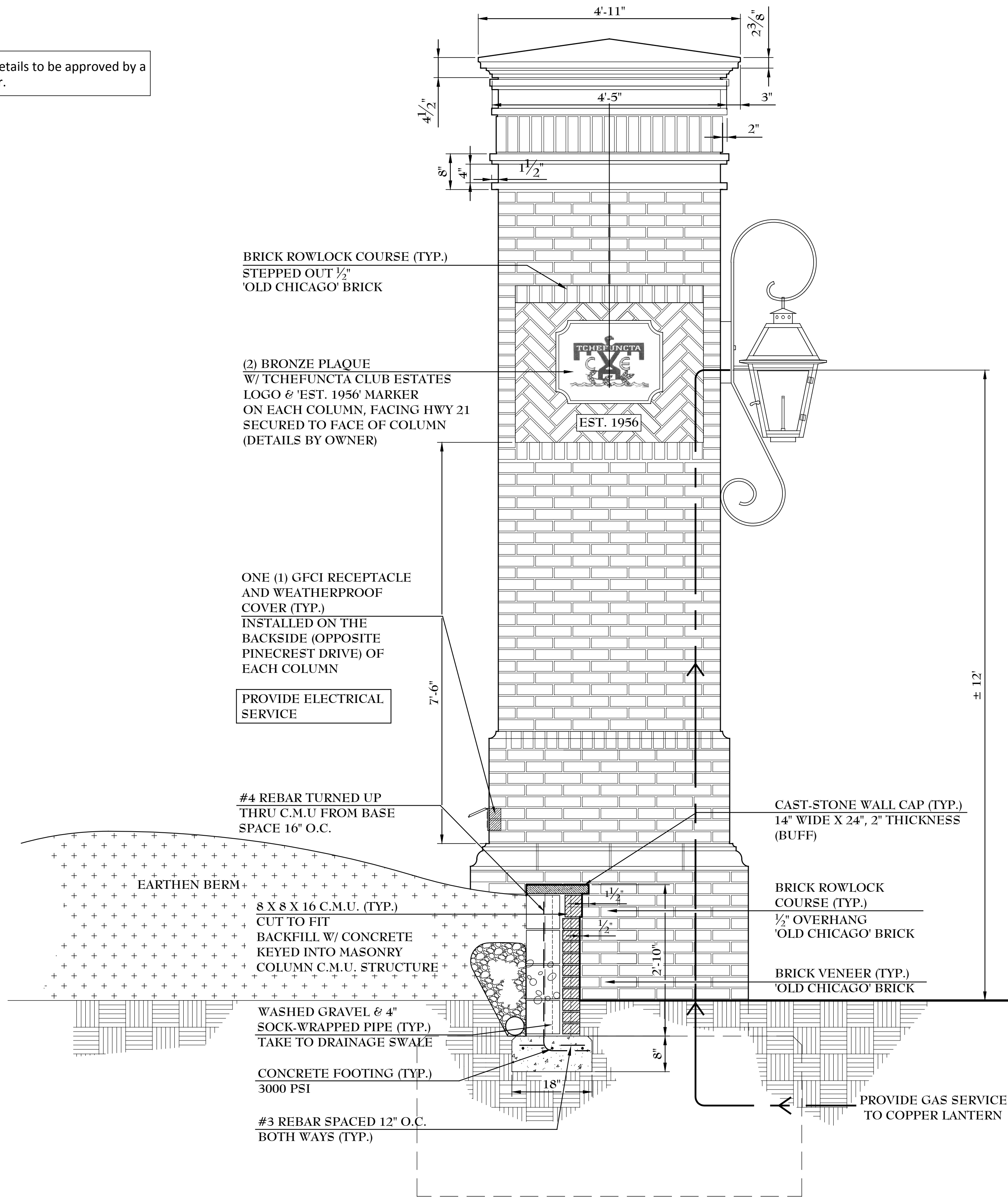
The Contractor shall carefully check all conditions as required, keeping in mind the intent of the Drawings as for alignment, patterns, and design.

The Contractor shall notify the Landscape Architect of verified conditions that do not appear to conform to the intent of the Drawings.

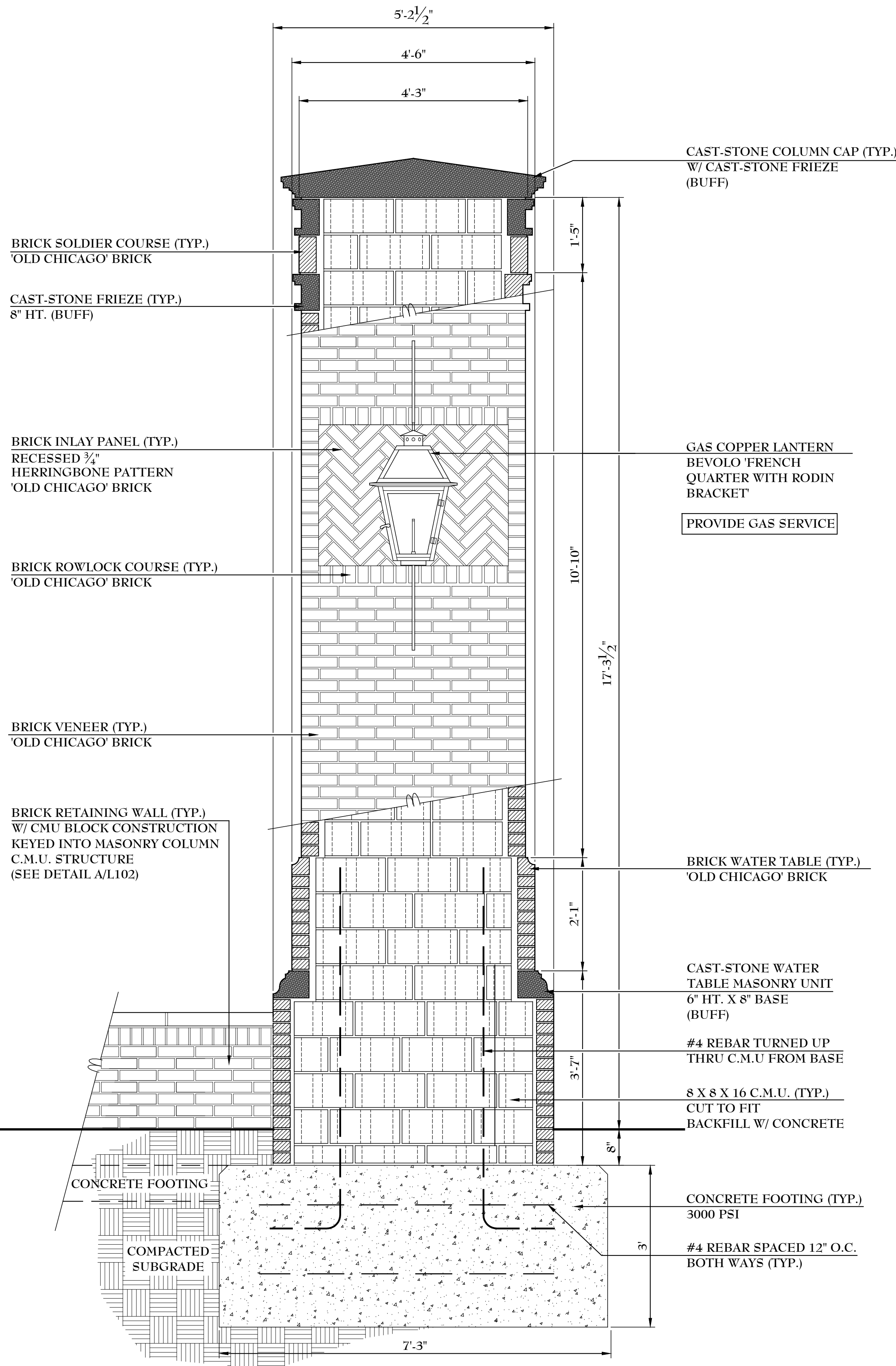
All Foundation & Framing Details to be approved by a Licensed Structural Engineer.



2020-1801-ZC



A
2.1
BRICK COLUMN & RETAINING WALL
SCALE: 3/4" = 1'-0"



B
2.1
BRICK MONUMENT COLUMN DETAIL
SCALE: 3/4" = 1'-0"

L 2.1

DRAWING BY: PATRICK M
10.16.2015

REVISED:
04.28.2017

TCHEFUNCTA CLUB ESTATES ENT.

PINE CREST DRIVE
ST. TAMMANY PARISH, LOUISIANA

DALY • SUBLETTE
LANDSCAPE ARCHITECTS

WWW.DALYSUBLETTE.COM
504-832-9775

+ MAINTENANCE + DESIGN + CONSTRUCTION

DETAILS

GENERAL NOTES:

The Contractor shall visit and examine the project site to familiarize himself with all conditions and to verify locations, dimensions, and sizes called for in the work.

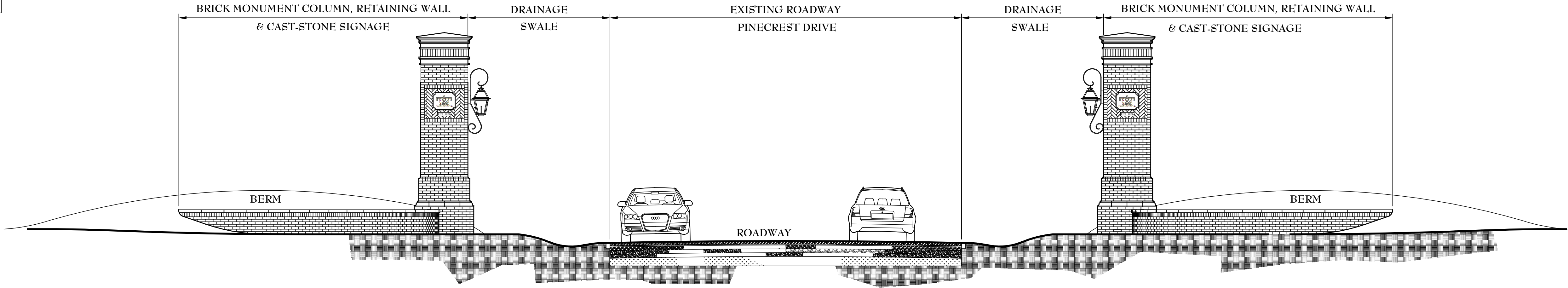
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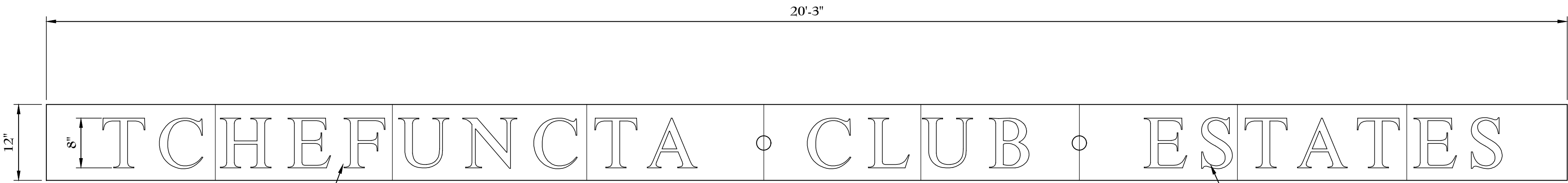
All Foundation & Framing Details to be approved by a Licensed Structural Engineer.



2020-1801-ZC



A
2.2 ENTRANCE ELEVATION
SCALE: 3/16" = 1'-0"



CAST-STONE ENGRAVED SIGNAGE
ON RADIUS (SEE LAYOUT PLAN)
IN 9 SEGMENTS (BUFF)
3" THICKNESS (TYP.)

8" TALL ENGRAVED LETTERS (TYP.)
RECESSED 1/2"
FONT TO BE SELECTED PRIOR TO
CONSTRUCTION

B
2.2 CAST-STONE SIGNAGE
SCALE: 1" = 1'-0"

TCHEFUNCTA CLUB ESTATES ENT.

PINE CREST DRIVE
ST. TAMMANY PARISH, LOUISIANA

DALY • SUBLETTE
LANDSCAPE ARCHITECTS

WWW.DALYSUBLETTE.COM

504-832-9775

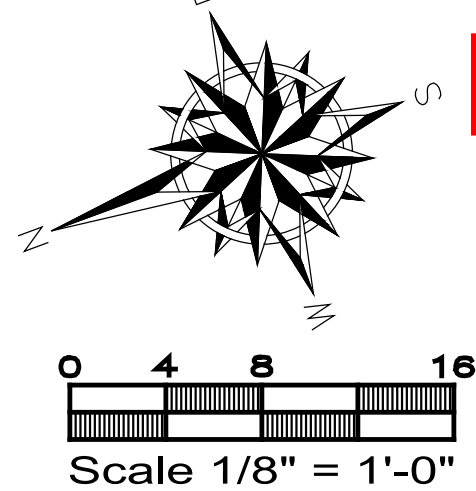
+ MAINTENANCE + DESIGN + CONSTRUCTION

REVISÉ: 04.28.2017

DRAWING BY: PATRICK M
10.16.2015

L 2.2

DETAILS



1" IRRIGATION MAINLINE
PUNCH THROUGH EXISTING ROAD IN ORDER
TO CONNECT TO OTHER SIDE OF ENTRANCE

1" IRRIGATION PRESSURE CONTROL VALE
LOCATION TO BE DETERMINED PRIOR TO INSTALLATION
BASED ON AVAILABLE WATER SOURCE ON SITE

IRRIGATION CONTROLLER & RAIN SENSOR
LOCATION TO BE DETERMINED PRIOR TO INSTALLATION
PROVIDE ENERGY SOURCE

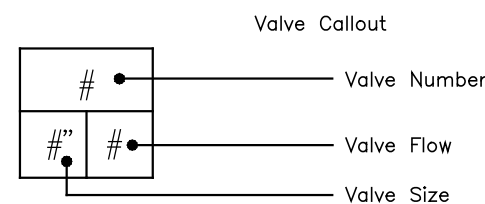
5
1" 7.72
4
1" 12.2
3
1" 12.9
2
1" 13.4
1
1" 12.0

PINECREST DRIVE

CENTER OF EXISTING
ASPHALT ROADWAY

LOUISIANA HIGHWAY 21

IRRIGATION SCHEDULE			
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	Rain Bird 1806 8 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	6	30
	Rain Bird 1806 10 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	1	30
	Rain Bird 1806 12 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	7	30
	Rain Bird 1806 15 Series MPR Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	27	30
	Rain Bird 1812 8 Series MPR Shrub Spray 12.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	5	30
	Rain Bird 1812 10 Series MPR Shrub Spray 12.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	12	30
	Rain Bird 1812 12 Series MPR Shrub Spray 12.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	9	30
	Rain Bird 1812 15 Series MPR Shrub Spray 12.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet.	10	30
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
	Rain Bird DV Electric Remote Control Valve, Standard Configuration. Plastic residential in 3/4" or 1".	10	
	Febco 765 1" Pressure Vacuum Breaker, brass with ball valve SOV. Install 12" (305MM) above highest downstream outlet and the highest point in the downstream piping.	1	
	Rain Bird ESP8LXMEF with (01) ESPLXMSM4 12 Station Commercial Controller. Mounted on a Plastic Wall Mount. Flow Sensing and Water Management Capabilities.	1	
	Rain Bird RSD-BEX Rain Sensor, with metal latching bracket, extension wire.	1	
	Irrigation Lateral Line: PVC Class 200 SDR 21 PVC Class 200 irrigation pipe. Only lateral transition pipe sizes 1 1/4" and above are indicated on the plan, with all others being 1" in size.	1,195 l.f.	
	Irrigation Mainline: PVC Class 200 SDR 21 PVC Class 200 irrigation pipe.	312.0 l.f.	



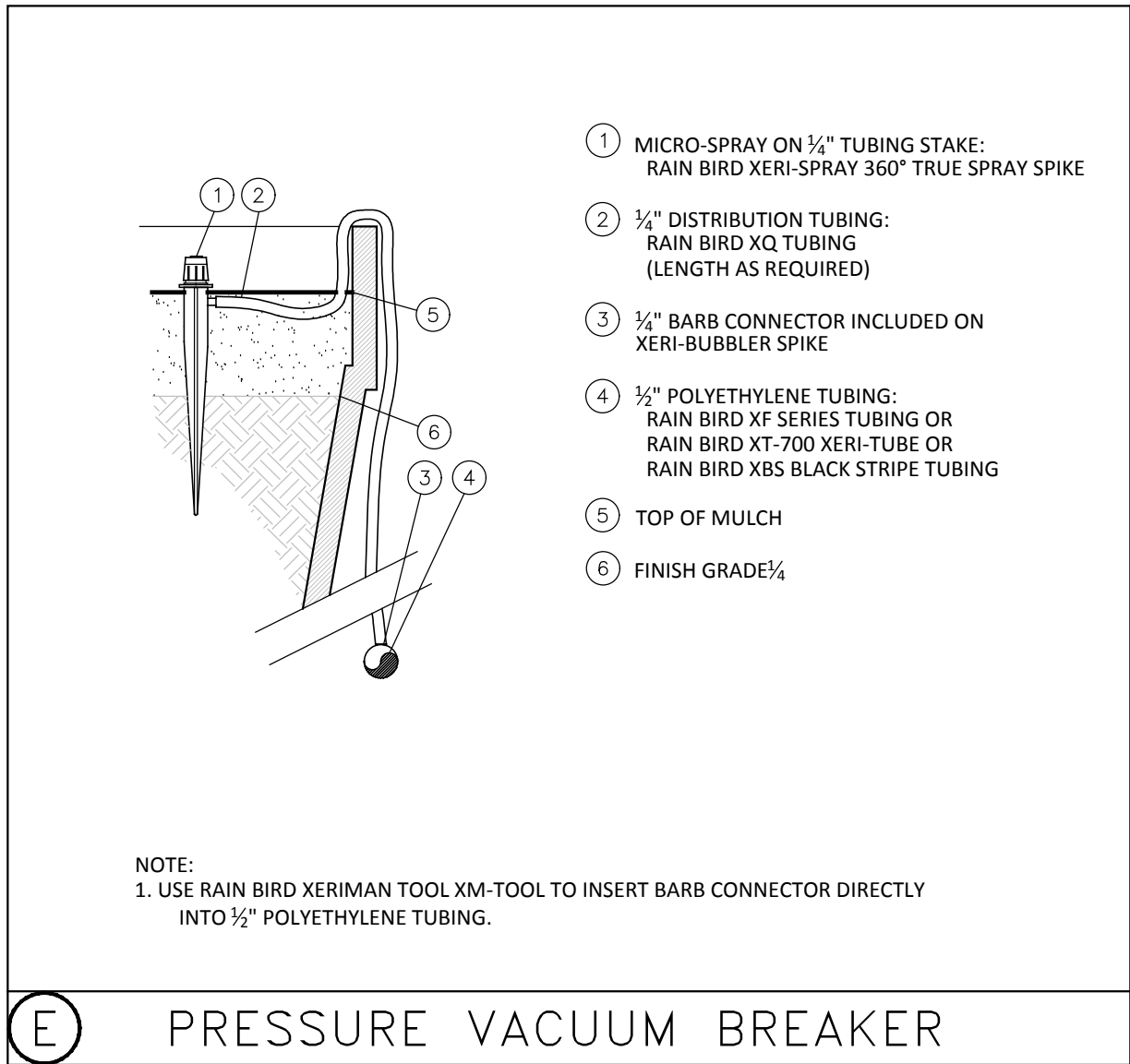
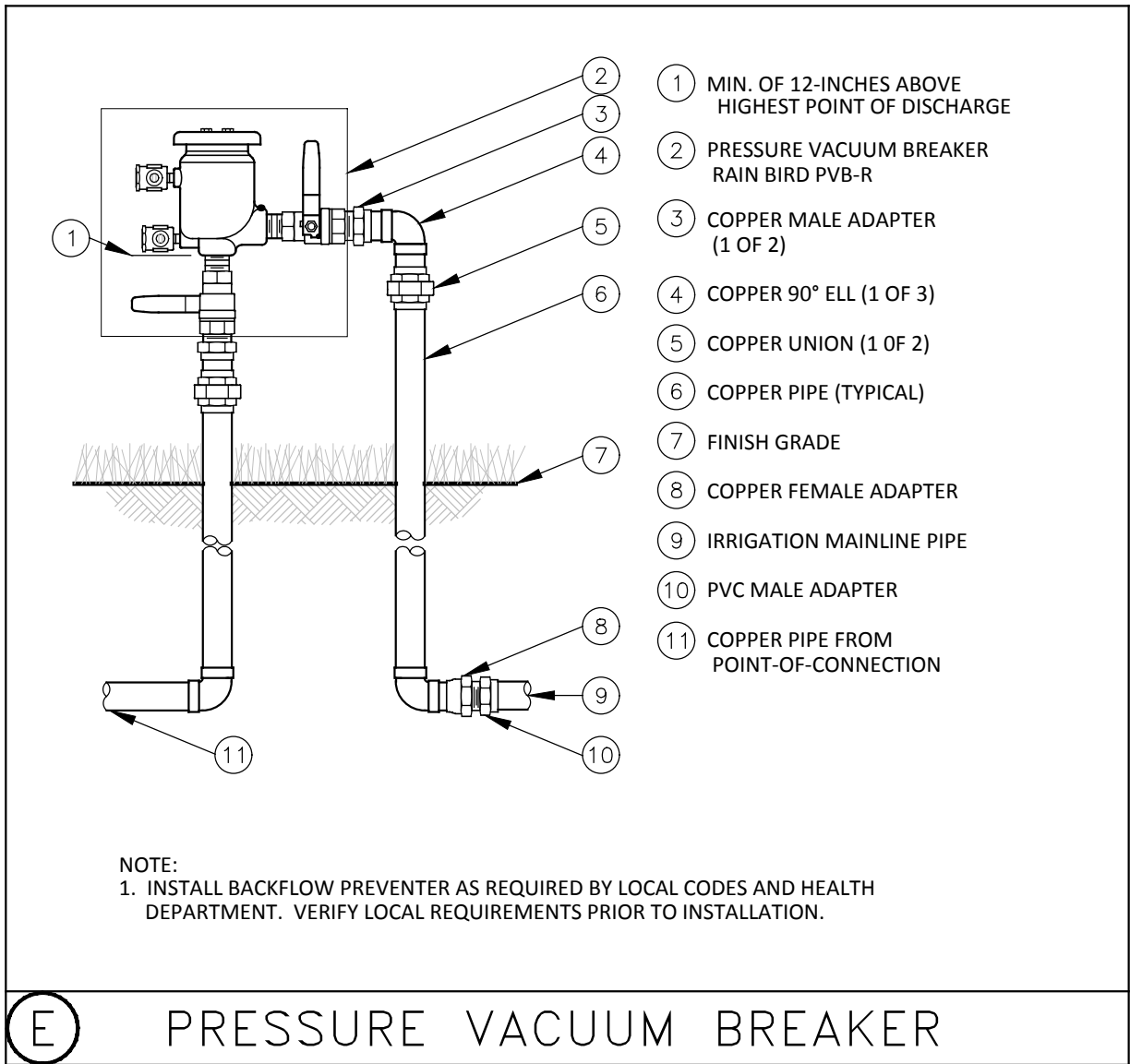
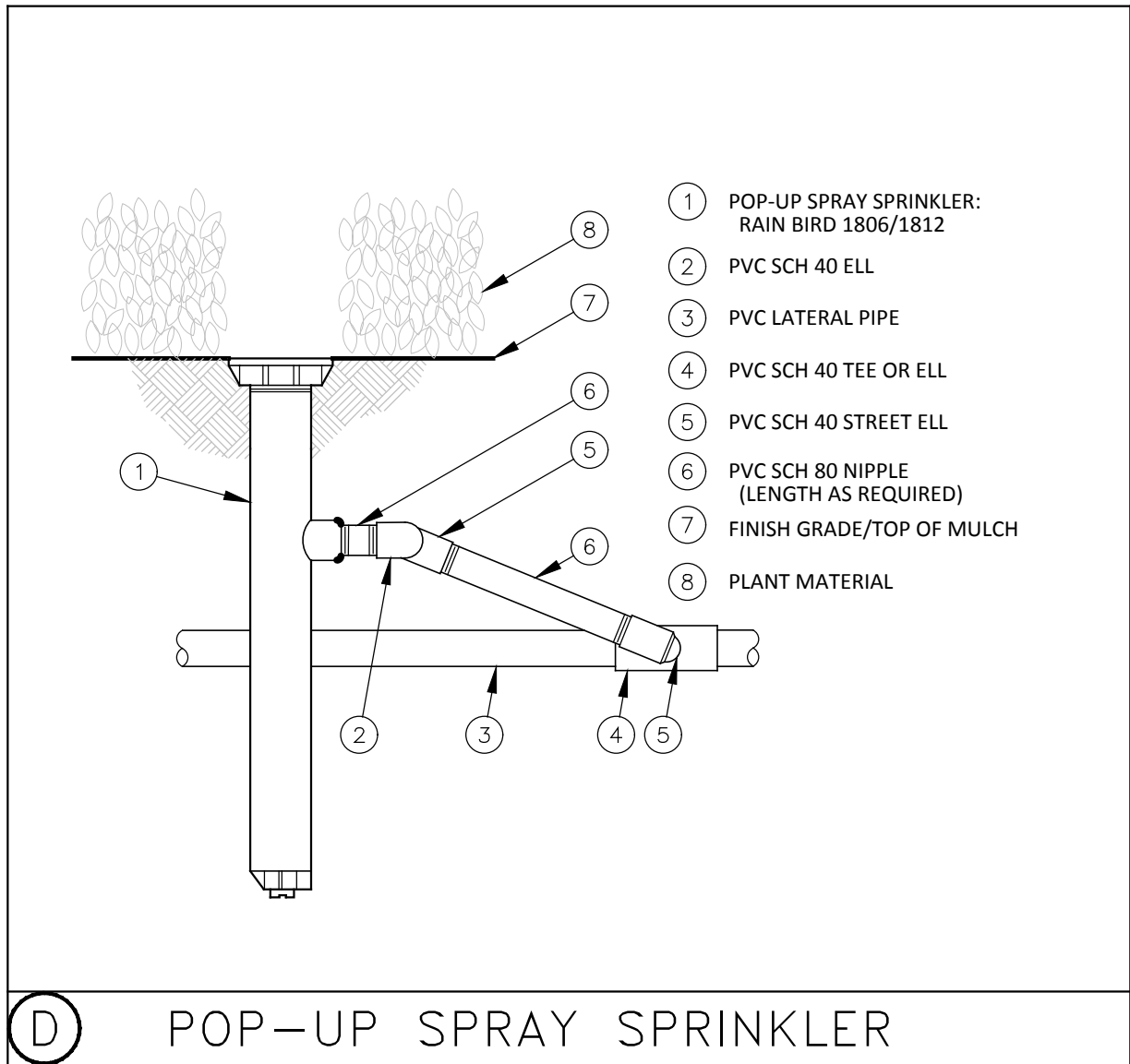
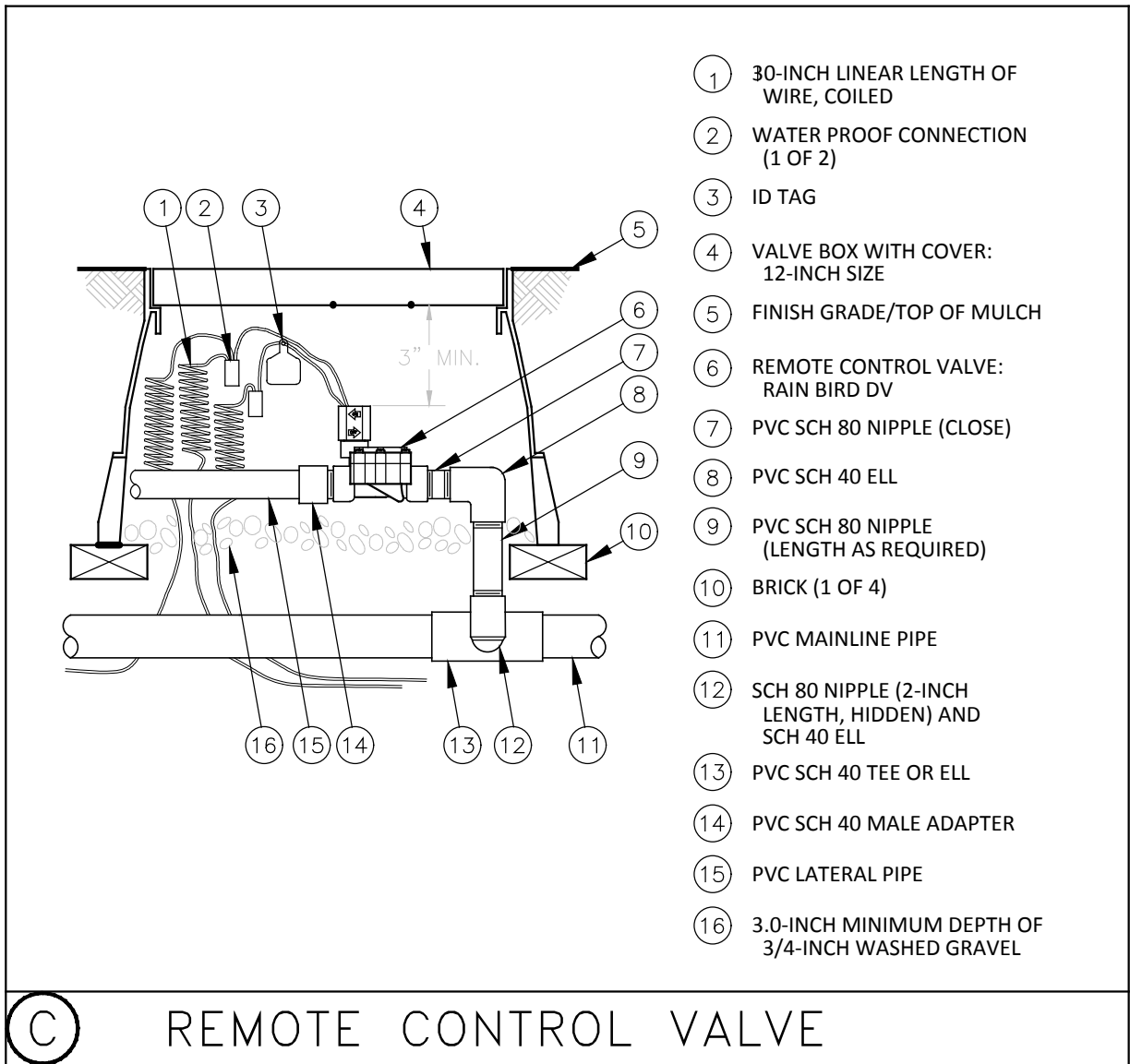
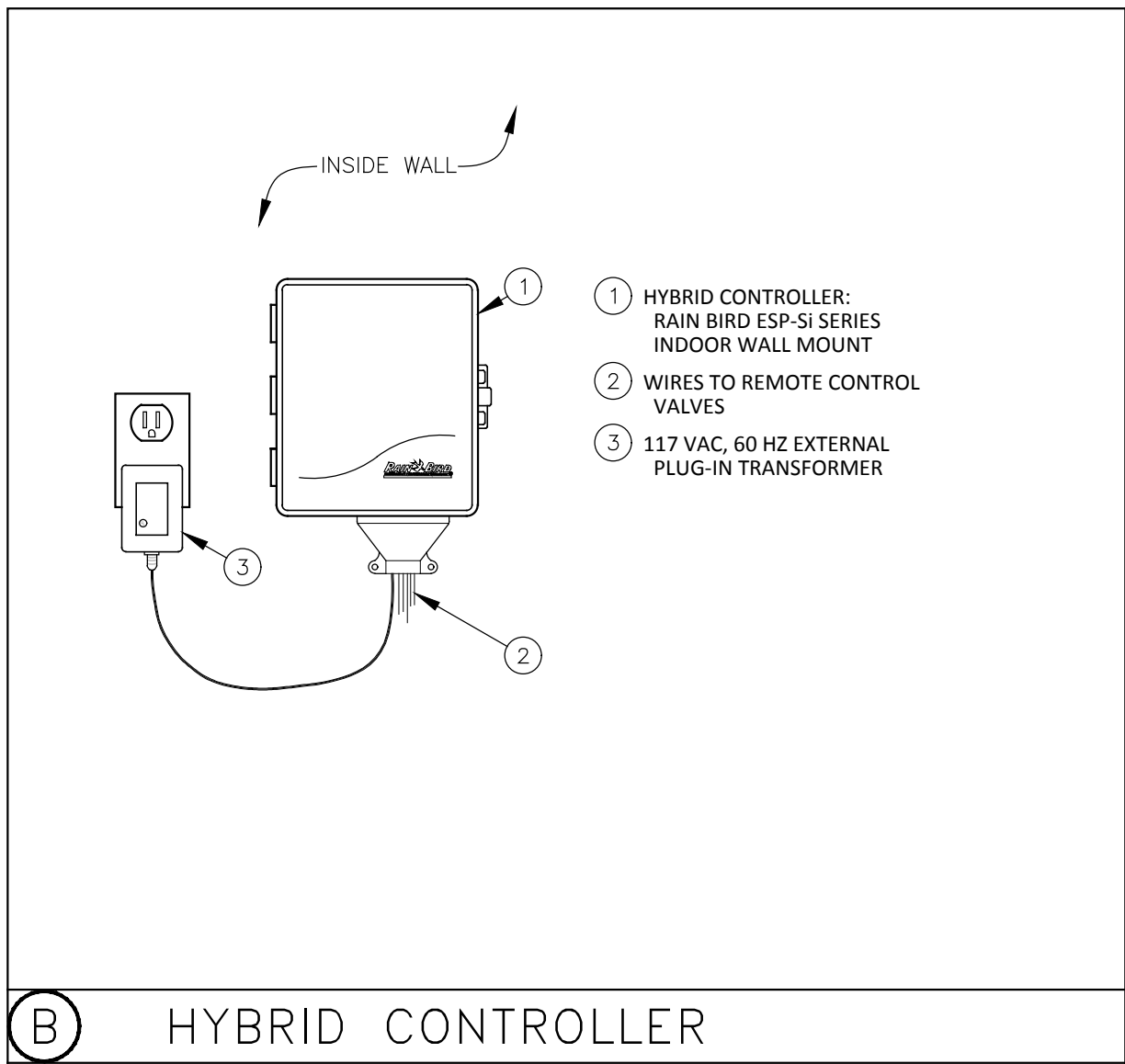
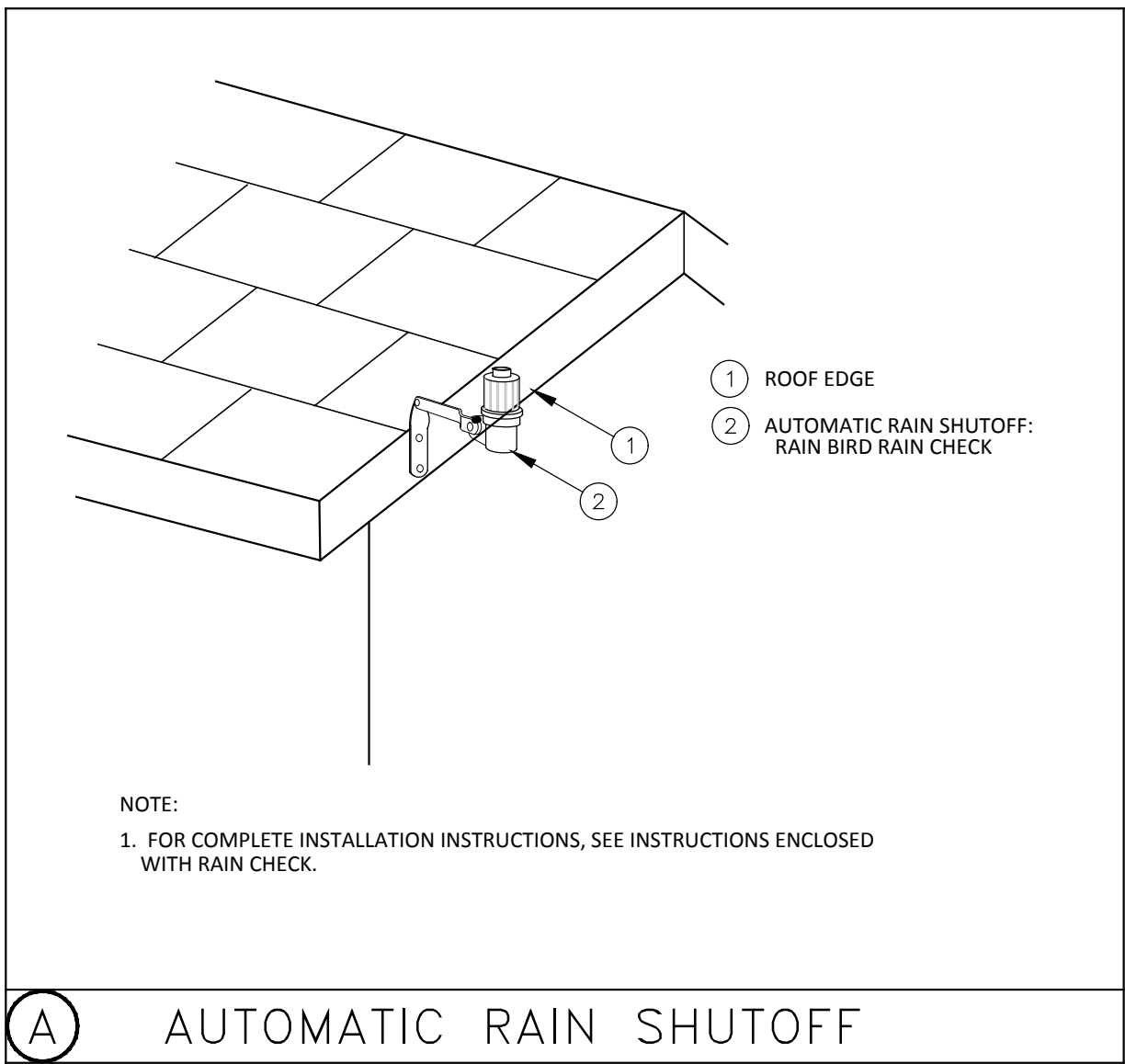
FLOW TOTALS	
Shrub Spray:	49.3
Turf Spray:	64.1
Total:	113.4 GPM

IRRIGATION DETAILS LOCATED ON L 3.2

10
1" 7.72
9
1" 11.0
8
1" 12.6
7
1" 12.8
6
1" 11.8

IRRIGATION GENERAL NOTES:

1. DRAWING IS DIAGRAMMATIC.
2. THE CONTROLLER LOCATION SHALL BE DETERMINED BY THE OWNER AT THE TIME OF INSTALLATION.
3. THE CONTARCTOR SHALL VERIFY ALL MATERIAL QUANTITIES PRIOR TO BIDDING.
4. THE INSTALLING CONTRACTOR SHALL LOCATE ANY UNDERGROUND UTILITIES PRIOR TO ANY TRENCHING AND SHALL USE ALL NECESSARY PRECAUTIONS REQUIRED TO PREVENT DAMAGING ANY UNDERGROUND UTILITIES.
5. THE INSTALLING CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF SLEEVES AND CONDUIT ON SITE.
6. ALL CONTROL WIRING SHALL BE UL/UF 14 GA. FOR DIRECT BURIAL. ALL SPLICES SHALL BE MADE IN VALVE OR SPLICE BOXES ONLY, USING WATERPROOF CONNECTORS.
7. THE CONTRACTOR SHALL REFER TO THE LANDSCAPE DRAWINGS FOR TREE AND LARGE SHRUB LOCATIONS.
8. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THE PLANS PRIOR TO COMMENCEMENT OF WORK.
9. ALL IRRIGATION INSTALLATION SHALL CONFIRM TO LOCAL CODES AND REGULATIONS; THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICABLE FEES AND PERMITS.
10. IRRIGATION LINES AND EQUIPMENT SHOWN OUTSIDE THE PROPERTY LINES, LANDSCAPE AREAS, AND/OR SLEEVES IS DONE SO FOR CLARITY ONLY.
11. THE IRRIGATION SYSTEM MAXIMUM DEMAND IS 14.94 GPM@ 30 PSI, THE INSTALLING CONTRACTOR IS TO VERIFY THE STATIC PRESSURE AT THE TIME THESYSTEM IS TO OPERATE. IF THE STATIC PRESSURE IS FOUND TO BE BELOW THE SPECIFIED LIMITS A CENTRIFUGAL PUMP MAY HAVE TO BE INSTALLED TO BRINGTHE OPERATING PRESSURE UP.
12. ALL ROTOR AND SPRAY HEADS ARE TO BE INSTALLED USING SWING PIPE AND SWING FITTINGS.
13. SPRAY HEADS IN TURF AREAS ARE TO BE 6" POP-UPS, SPRAY HEADS LOCATED IN SHRUB BEDS ARE TO BE 6" OR 12" POP-UPS DEPENDING ON THE PLANT HEIGHTS IN THAT AREA.
14. ALL VALVES ARE TO BE INSTALLED IN APPROPRIATELY SIZED PLASTIC VALVE BOXES. THE BOX IS TO BE MARKED WITH ITS CORRESPONDING STATION NUMBER.
15. ALL SLEEVES ARE TO BE SCH. 40 PVC PIPE AND ARE TO BE A MIN. 2x THE DIAMETER OF THE PIPE THAT THEY ENSLEEVE.
16. THE BACK FLOW PREVENTER IS TO BE INSTALLED AS PER LOCAL CODES AND REGULATIONS.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL MATERIAL QUANTITIES.



2020-1801-ZC

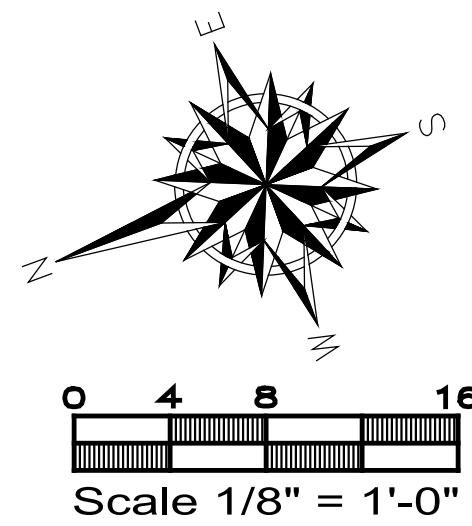
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+ MAINTENANCE + DESIGN + CONSTRUCTION

DRAWING BY: PATRICK M
08.16.19
REVISED:

L 3.2

IRRIGATION DETAILS



PLANT SCHEDULE & DETAILS LOCATED ON L 4.2

2020-1801-ZC

L 4.1

DRAWING BY: PATRICK M
08.16.2019
REVISED:
04.28.2017

PLANTING PLAN

TCHEFUNCTA CLUB ESTATES

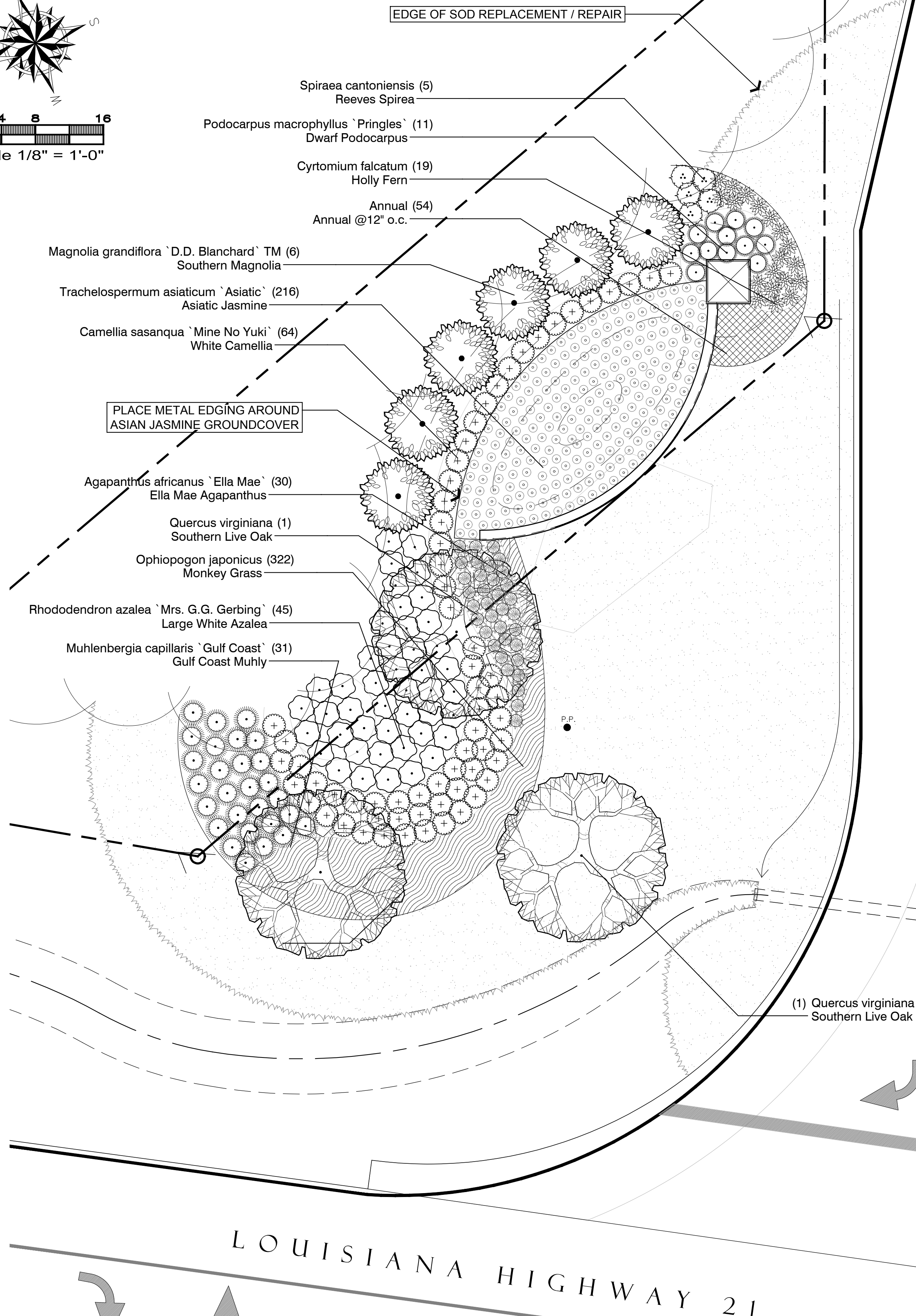
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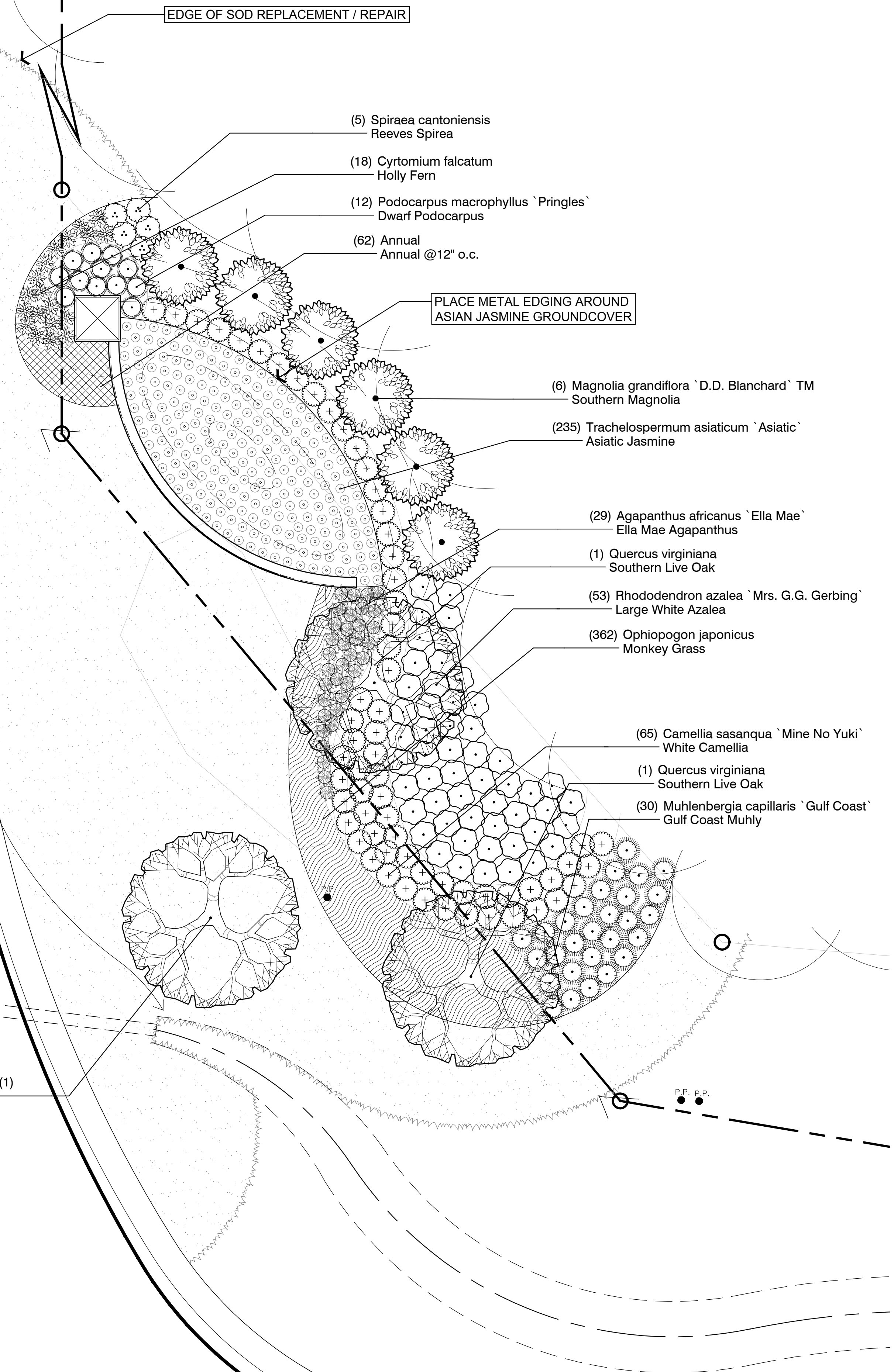


+ MAINTENANCE + DESIGN + CONSTRUCTION



PINECREST DRIVE

CENTER OF EXISTING
ASPHALT ROADWAY



NOTES

PRUNE AS DIRECTED BY LANDSCAPE ARCHITECT. DO NOT CUT LEADER.

DUCKBILL TREE SUPPORT SYSTEM MODEL # 88-DTS-00 INCLUDES (3) EARTH ANCHORS, 15' OF GALVANIZED AIRCRAFT CABLE COATED WITH BRIGHT ORANGE COATING, A TURN-BUCKLE, (3) PROTECTIVE TREE COLLARS AND (6) 3/16" CABLE CLAMPS.

DRIVE ANCHOR TO A DEPTH TO PROVIDE SUBSTANTIAL SUPPORT

SYNTHETIC WEBBED PALM TREE COLLAR BY 'DUCKBILL' TREE SUPPORT SYSTEMS OR ARCH. APPR. EQ. (30" LONG MIN.)

1/8" CABLE CLAMP (TYP.)

TEMP. EYE & EYE TYPE TURNBUCKLE, ZINC PLATED, 3/8" THREAD DIA., W/ 3" TAKE UP MIN. (TYP.)

NO. 12 GAUGE GALVANIZED GUY WIRE, DOUBLED AND TWISTED TIGHT.

3" MULCH LAYER

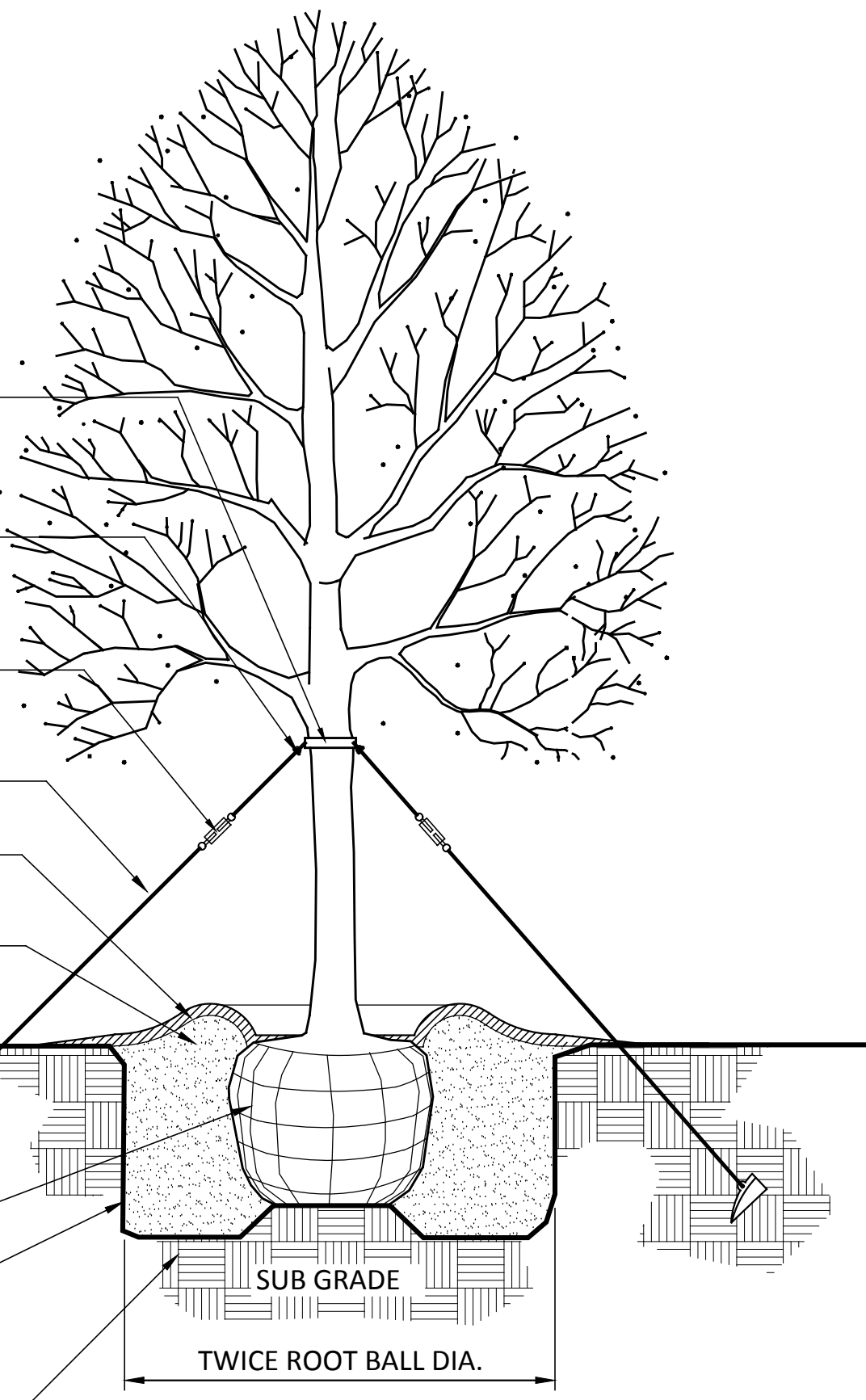
4" SAUCER RIM SLOPED GRADUALLY TO FINISHED GRADE

MODEL #88 'DUCKBILL' EARTH ANCHOR OR ARCH. APPROVED EQUAL (TYP.)
DRIVE TO A DEPTH TO PROVIDE SUBSTANTIAL SUPPORT

BACKFILL AND PLANTING MIX PER SPECS.

SCARIFY SIDES OF PIT

LOOSEN SUBSOIL AT BOTTOM OF PIT 6" MINIMUM.



A
L 4.2

SINGLE TRUNK TREE DETAIL (3" CAL. OR GREATER)

NO SCALE

REMOVE ALL TAGS, ETC. AFTER PLANTING

3" MULCH LAYER

BACKFILL AND PLANTING BED MIX PER SPECS TILLED IN 2 LIFTS

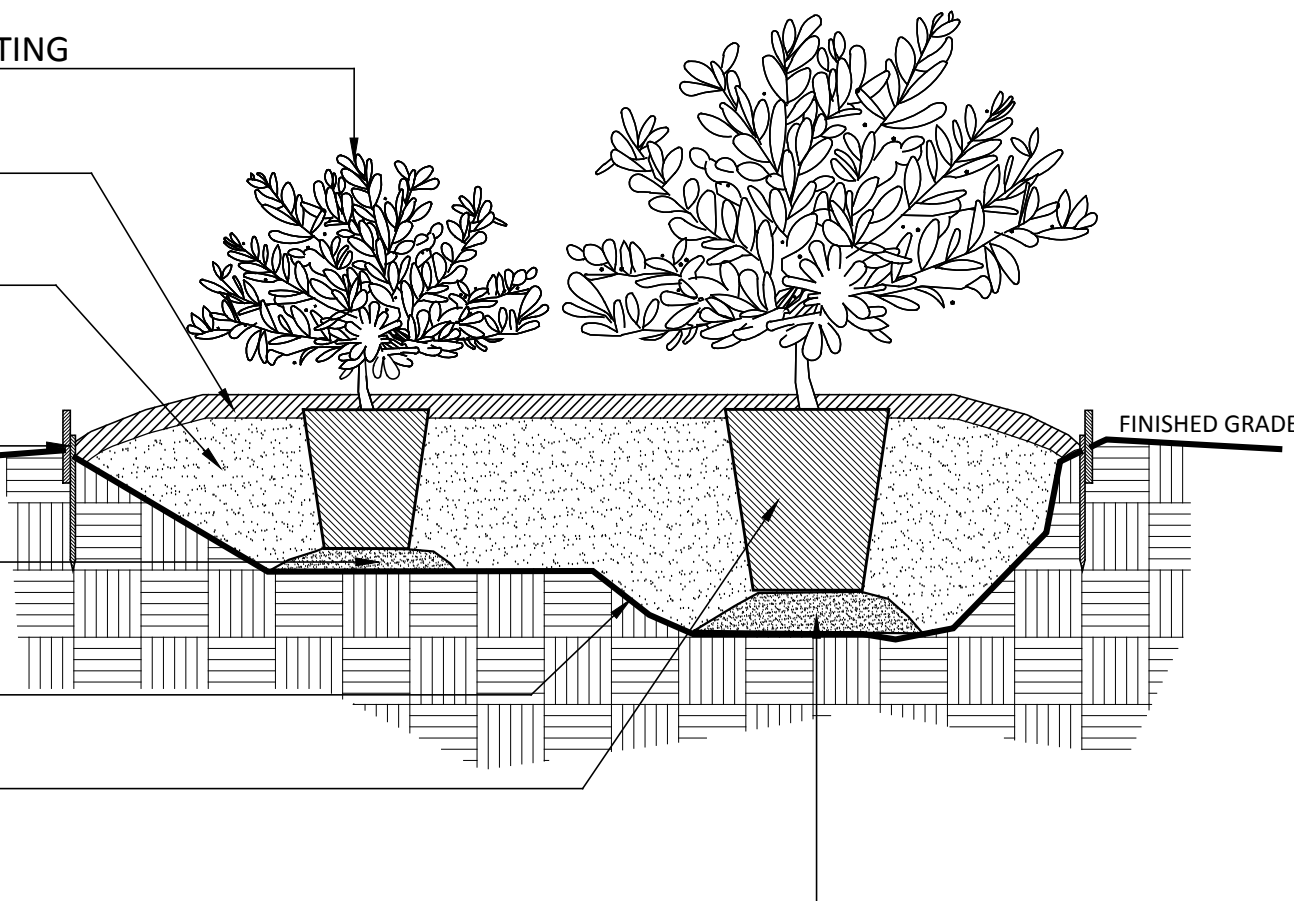
1/8" x 4" STEEL EDGING SET 1" ABOVE GRADE, CUT @ 45° ANGLE ABUTTING PAVING, SMOOTH TO TOUCH

LOOSEN SUBSOIL AT BOTTOM OF PIT 6" MINIMUM.

PREPARE DEPTH OF SHRUB BED PER SIZE OF SHRUB. SEE SPECS.

SCRUB ROOTBALL (TYP.)

COMPACT PLANTING MIX INTO MOUND UNDERNEATH EACH SHRUB



B
L 4.2

SHRUB BED DETAIL

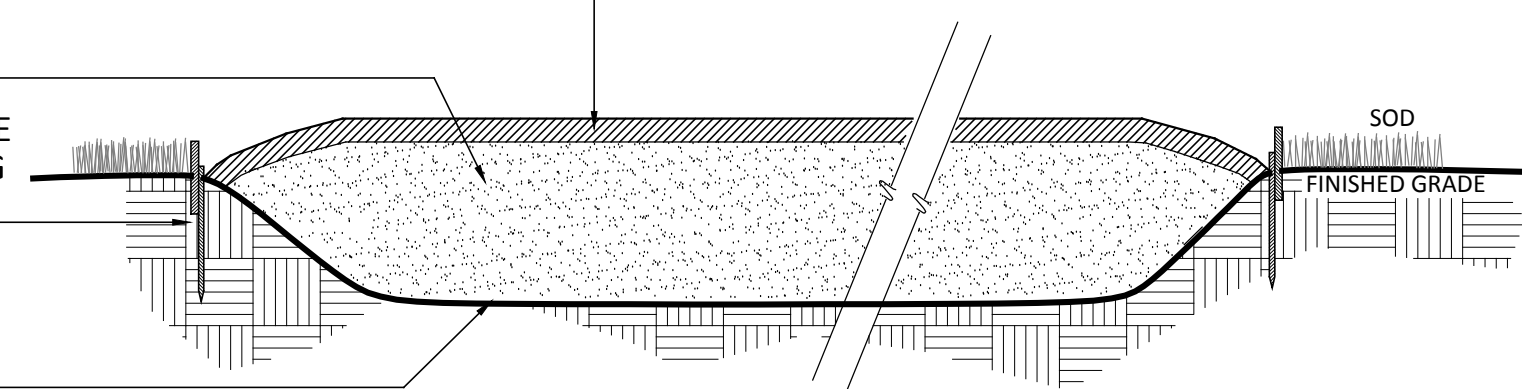
NO SCALE

3" MULCH LAYER

PLANTING BED MIX PER SPECS. TILLED IN 2 LIFTS

1/8" x 4" STEEL EDGING SET 1" ABOVE GRADE, CUT @ 45° ANGLE ABUTTING PAVING, SMOOTH TO TOUCH



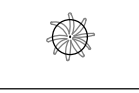
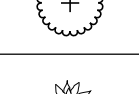
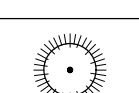
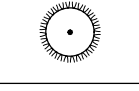
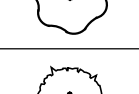
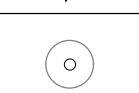

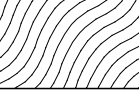

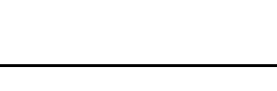

LOOSEN SUBSOIL AT BOTTOM OF PIT 6" MINIMUM.

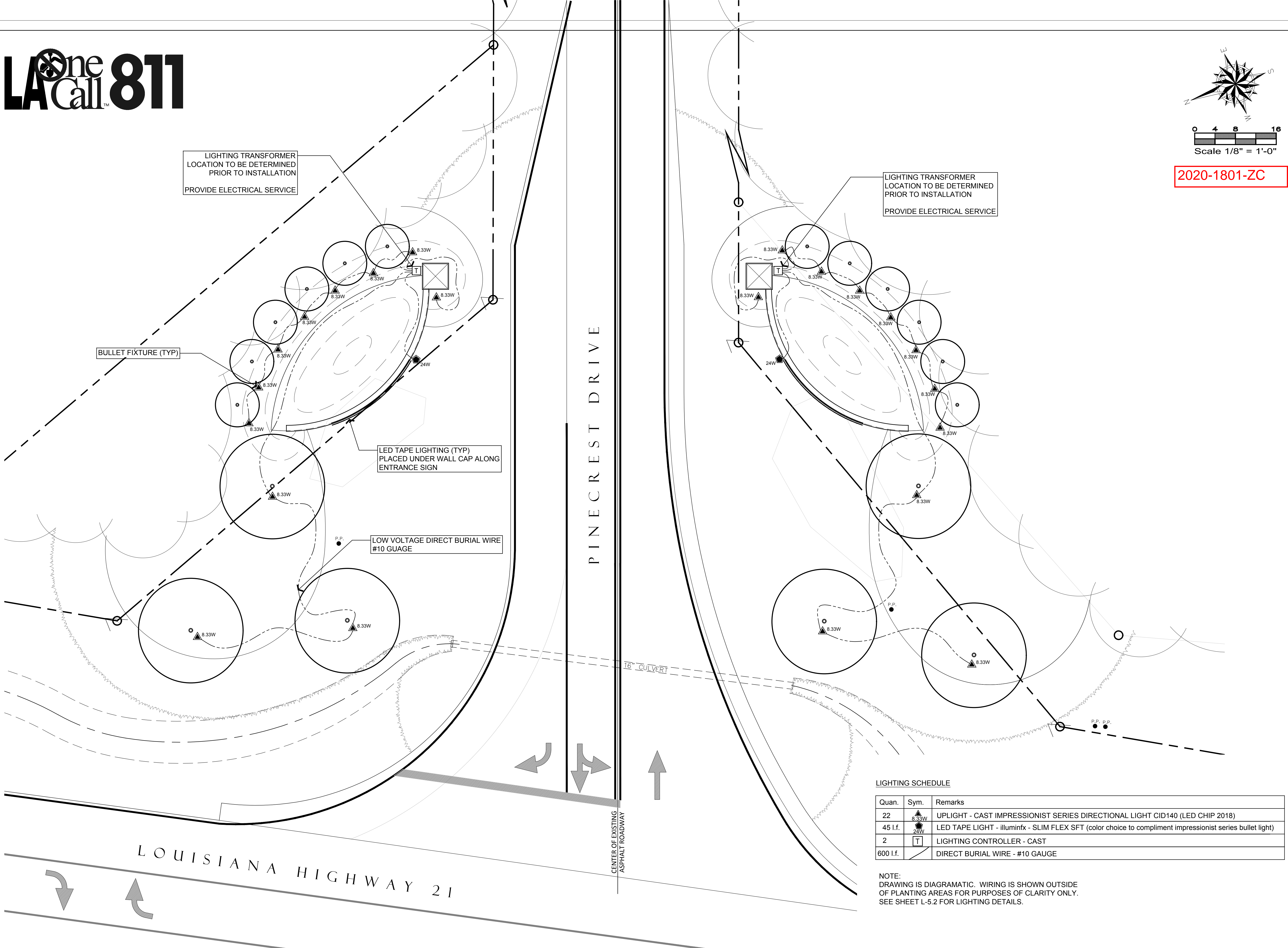


C
L 4.2

PLANTING BED DETAIL

NO SCALE

PLANT SCHEDULE				
TREES	QTY	BOTANICAL / COMMON NAME	CONT	
	12	Magnolia grandiflora 'D.D. Blanchard' TM / Southern Magnolia Full / Low-Branching, Specimen, 6" Cal., 15' Ht, 6' Spd., Fully Rooted, Full & Balanced Canopy	100 gal	
	6	Quercus virginiana / Southern Live Oak 20' Ht., 8' Spd., Specimen, Fully Rooted, Full & Balanced Canopy	300 gal	
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	
	70	Agapanthus africanus 'Ella Mae' / Ella Mae Agapanthus 24" Ht., 24" Spd., Fully Rooted, Full Foliage	3 gal	
	129	Camellia sasanqua 'Mine No Yuki' / White Camellia 24"-30" Ht., 20"-24" Spd., Fully Rooted, Full Foliage	7 gal	
	38	Cyrtomium falcatum / Holly Fern 18" Ht., 18" Spd., Fully Rooted, Full Foliage	3 gal	
	56	Muhlenbergia capillaris 'Gulf Coast' / Gulf Coast Muhly 2' - 3' HT., 30" SPD., Fully Rooted, Full Foliage	3 gal	
	24	Podocarpus macrophyllus 'Pringles' / Dwarf Podocarpus 24" Ht. 20"-24" Spd., Fully Rooted, Full Foliage	7 gal	
	98	Rhododendron azalea 'Mrs. G.G. Gerbing' / Large White Azalea 24" Ht., 24" Spd., Fully Rooted, Full Foliage	7 gal	
	10	Spiraea cantoniensis / Reeves Spirea Fully Rooted, Full Foliage	3 gal	
	468	Trachelospermum asiaticum 'Asiatic' / Asiatic Jasmine Fully Rooted, Full Foliage	1 gal	
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT	
	124	Annual / Annual @12" o.c.	4"pot	
	684	Ophiopogon japonicus / Monkey Grass 12" o.c., Fully Rooted, Full Foliage	4"pot	
SOD/SEED	QTY	BOTANICAL / COMMON NAME	CONT	
	7,127 sf	Zoysia x 'Palisades' / Palisades Zoysia	sod	



2020-1801-ZC

LIGHTING TRANSFORMER
LOCATION TO BE DETERMINED
PRIOR TO INSTALLATION
PROVIDE ELECTRICAL SERVICE

LIGHTING TRANSFORMER
LOCATION TO BE DETERMINED
PRIOR TO INSTALLATION
PROVIDE ELECTRICAL SERVICE

BULLET FIXTURE (TYP)

LED TAPE LIGHTING (TYP)
PLACED UNDER WALL CAP ALONG
ENTRANCE SIGN

LOW VOLTAGE DIRECT BURIAL WIRE
#10 GAUGE

PINECREST DRIVE

CENTER OF EXISTING
ASPHALT ROADWAY

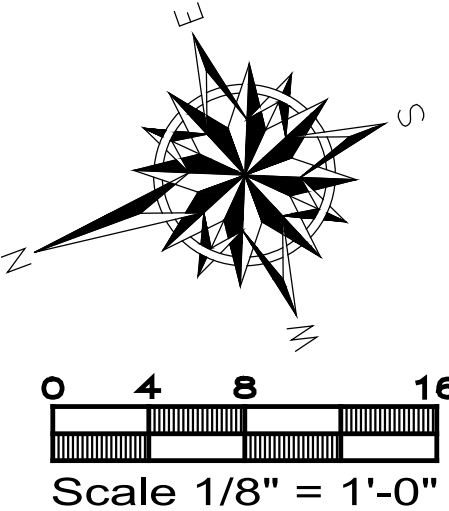
16" CULVERT

LOUISIANA HIGHWAY 21

LIGHTING SCHEDULE

Quan.	Sym.	Remarks
22		UPLIGHT - CAST IMPRESSIONIST SERIES DIRECTIONAL LIGHT CID140 (LED CHIP 2018)
45 l.f.		LED TAPE LIGHT - illuminfx - SLIM FLEX SFT (color choice to compliment impressionist series bullet light)
2		LIGHTING CONTROLLER - CAST
600 l.f.		DIRECT BURIAL WIRE - #10 GAUGE

NOTE:
DRAWING IS DIAGRAMATIC. WIRING IS SHOWN OUTSIDE
OF PLANTING AREAS FOR PURPOSES OF CLARITY ONLY.
SEE SHEET L-5.2 FOR LIGHTING DETAILS.



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PINE CREST DRIVE
ST. TAMMANY PARISH, LOUISIANA

REVISD: 04.28.2017
DRAWING BY: PATRICK M
08.16.2019

LIGHTING PLAN

L 5.1



FIELD REPAIRABLE BREAKERS, TERMINALS,
TIMER AND PHOTOCCELL.



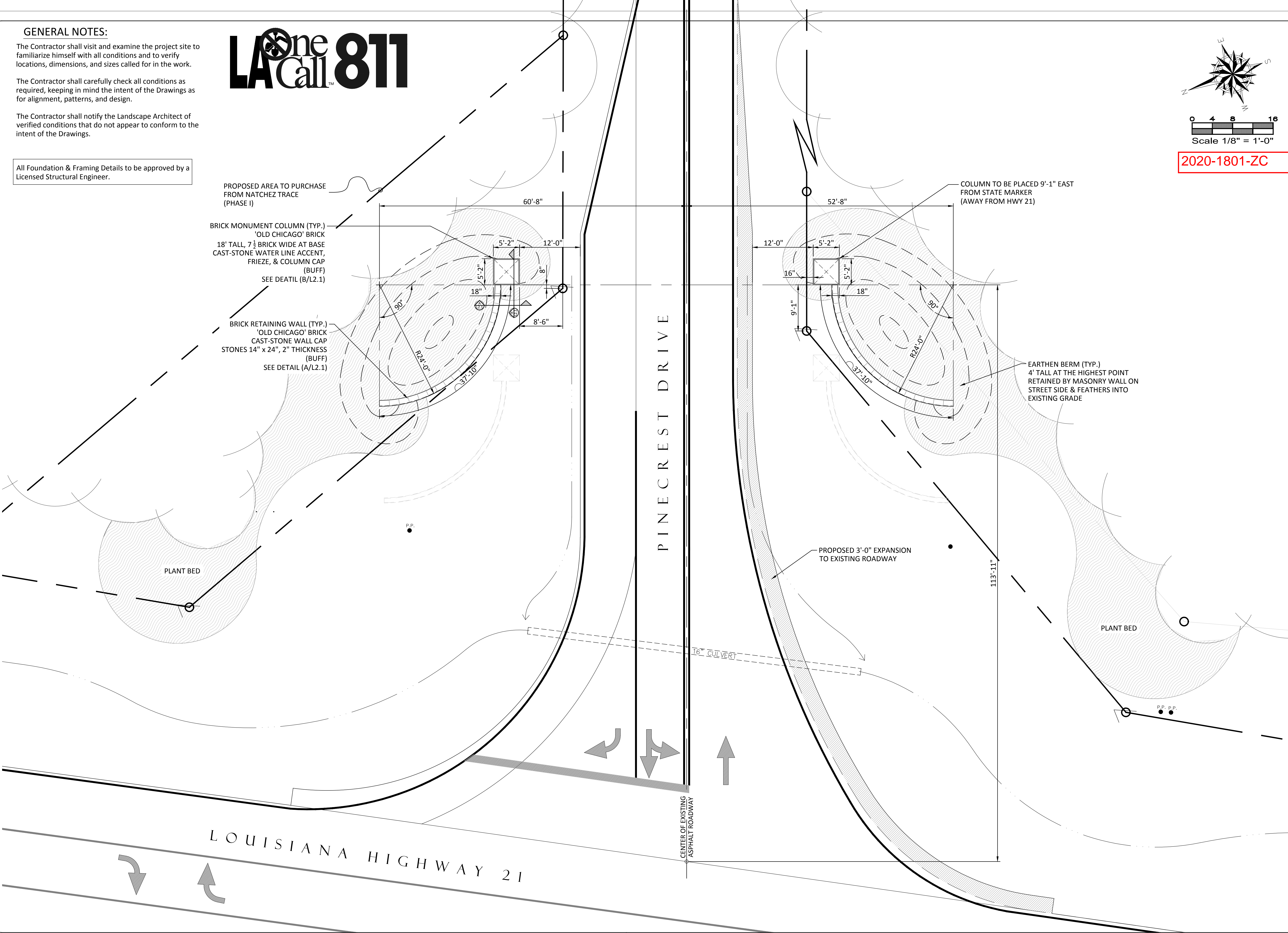
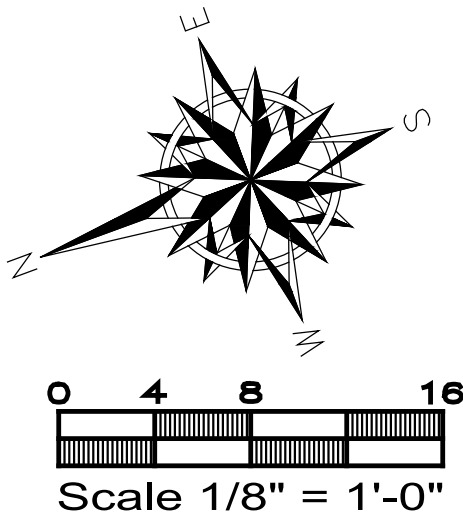
GENERAL NOTES:

The Contractor shall visit and examine the project site to familiarize himself with all conditions and to verify locations, dimensions, and sizes called for in the work.

The Contractor shall carefully check all conditions as required, keeping in mind the intent of the Drawings as for alignment, patterns, and design.

The Contractor shall notify the Landscape Architect of verified conditions that do not appear to conform to the intent of the Drawings.

All Foundation & Framing Details to be approved by a Licensed Structural Engineer.



L 1.0

DRAWING BY: PATRICK M
10.16.2015

REVISED:
04.28.2017

TCHEFUNCTA CLUB ESTATES ENT.

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