

**AGENDA**  
**ST. TAMMANY PARISH PLANNING COMMISSION MEETING**  
**6:00 PM - TUESDAY, APRIL 12, 2022**  
**ST. TAMMANY PARISH GOVERNMENT COMPLEX**  
**PARISH COUNCIL CHAMBERS**  
**21490 KOOP DRIVE, MANDEVILLE, LOUISIANA**

A livestream will be available for viewing on regular broadcast channels (Charter Channel 710; U-verse Channel 99) or on the Parish website: [www.stpgov.org](http://www.stpgov.org). The livestream will begin at 6:00 PM on Tuesday, April 12, 2022.

**ROLL CALL**

**PUBLIC ANNOUNCEMENTS**

- Please silence all phones and electronic devices
- Appeals
- Speaker Cards
- Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal
- Please exit the building

**INVOCATION AND PLEDGE OF ALLEGIANCE**

**APPROVAL OF THE MARCH 8, 2022 MEETING MINUTES**

**REQUEST FOR POSTPONEMENTS**

**ENTERING PARISH RIGHT-OF-WAY, SERVITUDES, EASEMENTS & TAMMANY TRACE**

- 1- **Request to Enter the Parish Right-of-Way for Henry Clay Street (Town of Mandeville UNINCORPORATED) for the purpose of gaining access to the property.**  
Debtor: Dilso Caetano Goncalves  
Parish Council District Representative: Hon. Maureen O'Brien  
General Location: The property is located at the west end of Henry Clay Street, west of Coffee Street, north of LA Highway 190 and south of Interstate 12, Mandeville, Louisiana. Ward 4, District 10.
- 2- **Request to Enter the Parish Right-of-Way for Delta Street and Eldora Avenue (Tammany Terrace Subdivision) for the purpose of gaining access to the property.**  
Debtor: Tammany Terrace, LLC  
Parish Council District Representative: Hon. David Fitzgerald  
General Location: The property is located at the south of Walden Street, east of LA Highway 437, north of LA Highway 190 and north of Interstate 12, Covington, Louisiana. Ward 3, District 2.
- 3- **Request to Enter the Parish Right-of-Way for Fairview Drive (Woodland Park Subdivision) for the purpose of gaining access to the property.**  
Debtor: Mr. Patrick DeLoach  
Parish Council District Representative: Hon. Kirk Drumm  
General Location: The property is located at the east end of Fairview Drive, north of LA Highway 190 and south of Interstate 12, Slidell, Louisiana. Ward 9, District 11.

**MINOR SUBDIVISION REVIEW****4- 2022-2775-MSP**

A minor subdivision of 13.52 acres into Parcels A & B

Owners & Representatives: Casey Revere and Justin & Ashley Revere

Parish Council District Representative: Hon. Martha Cazaubon

General Location: The parcel is located on the north side of LA Highway 40, west of Anthony Road, Folsom, Louisiana. Ward 2, District 3

**5- 2022-2781-MSP**

A minor subdivision of 16.36 acres into Parcels A & B

Owners & Representatives: Kimberly H. Jarrell, Kevin Henderson, Keith Henderson

Parish Council District Representative: Hon. Martha Cazaubon

General Location: The parcel is located at the southeast end of Henderson Road, south of Gottschalk Road, Covington, Louisiana. Ward 1, District 3

**6- 2022-2786-MSP**

A minor subdivision of Lot B into lots B-1, B-2 & B-3

Owners & Representatives: Keith R. and Jane H. Campo

Parish Council District Representative: Hon. Thomas J. "T.J." Smith

General Location: The parcel is located on the south side of Robert Road, west of Katie & Val Lane, Pearl River, Louisiana. Ward 8, District 14

**7- 2022-2791-MSP**

A minor subdivision of Parcel EE into Parcels EE-1, EE-2, EE-3, EE-4

Owners & Representatives: Gillis E & Jamie Cure

Parish Council District Representative: Hon. Michael Lorino, Jr.

General Location: The parcel is located on the south side of Brewster Road, east and west of Cure Lane, Madisonville, Louisiana. Ward 1, District 4

**8- 2022-2796-MSP**

A minor subdivision of 8.59 acres of land into Lots M-1 and M-2

Owners & Representatives: Walter Morton

Parish Council District Representative: Hon. David R. Fitzgerald

General Location: The parcel is located on the north side of Amanda Drive, east of US Highway 25, Covington, Louisiana. Ward 3, District 2

**RESUBDIVISION REVIEW****9- 2022-2770-MRP**

Resubdivision of lots 36-A, 37-A & 38-A into lots 36-A1 & 38-A1 Lakeshore Estates Marina Villa

Owner & Representative: Daniel J and Ann Sharon DeBlanc

Surveyor: J.V. Burkes & Associates, Inc.

Parish Council District Representative: Hon. Jake A. Airey

General Location: The property is located on the east side of Marina Villa North, north of Marina Villa Blvd, Slidell, Louisiana. Ward 9, District 13

**10- 2022-2773-MRP**

Resubdivision of lot 16A1 into lots C1, C2 & 16A2 Money Hill Plantation

Owner & Representative: Money Hill Plantation, LLC – Mary Goodyear Dossett

Surveyor: J.V. Burkes & Associates, Inc.

Parish Council District Representative: Hon. Cheryl Tanner

General Location: The property is located at the southeast corner of LA Highway 21 & Money Hill Parkway, Abita Springs, Louisiana. Ward 5, District 6

**11- 2022-2782-MRP**

Resubdivision of lots 165 & 166 into lot 165-A Whippoorwill Grove on Money Hill Phase 3

Owner & Representative: Michael and Edna Brooks

Surveyor: Nobles & Associates, LLC.

Parish Council District Representative: Hon. Cheryl Tanner

General Location: The property is located on the north side of Turkey Ridge Road, east of Blue Heron Drive, Bush, Louisiana. Ward 5, District 6

**12- 2022-2785-MRP**

Resubdivision of lots 122A & 123A into lot 123A-1 Lakeshore Est. Phase 1A-1

Owner & Representative: Michael & Maureen Perkins

Surveyor: J.V. Burkes & Associates, Inc.

Parish Council District Representative: Hon. Jake A. Airey

General Location: The property is located on the north side of Lakeshore Blvd, east of Lakeshore Blvd. South, Slidell, Louisiana. Ward 9, District 13

**PETITIONS/REQUESTS****13- PET-2022-04-001**

Request to build on a buildable substandard lot of record pursuant to Section 125-84 Contiguous Lot Rule, of Chapter 125 Subdivision Regulations, located on the north side of Edward Street, east of August Avenue, being lot 22, Square 44, West Addition to Morgan Subdivision, Slidell, Louisiana. Ward 9, District 14

Owner/Portioner/Representative: Lateisha Foster

Parish Council District Representative: Thomas J. Smith

**TENTATIVE SUBDIVISION REVIEW****14- 2022-2753-TP**

River Park Trails Subdivision (formerly River Park Estates Subdivision, Phase 3)

Developer/Owner: River Park Estates, LLC

Engineer/Surveyor: Deep South Design Group, LLC

Parish Council District Representative: Hon. Martha Cazaubon

General Location: The property is located on the north side of M. P. Planche Road, west of LA Highway 25, Covington, Louisiana. Ward 3, District 3

**POSTPONED AT THE MARCH 8, 2022 MEETING**

**PRELIMINARY SUBDIVISION REVIEW****15- 2021-2568-PP**

Bonterra Subdivision, Phases 2 & 3

Developer/Owner: Lynn Levy Land Co., LLC

Engineer/Surveyor: J.V. Burkes & Associates, Inc.

Parish Council District Representative: Hon. Michael Smith

General Location: The property is located on the east & west sides of North Military Road/LA Highway 1090, north of Interstate 12, Slidell, Louisiana. Ward 8, District 9

**POSTPONED FROM OCTOBER 12, 2021, NOVEMBER 9, 2021, DECEMBER 14, 2021, JANUARY 11, 2022, THE FEBRUARY 8, 2022 MEETING AND THE MARCH 8, 2022 MEETING**

**16- 2022-2798-PP**

River Club, Phase 3

Developer/Owner: River Club Development, LLC

Engineer/Surveyor: Kelly McHugh & Associates, LLC

Parish Council District Representative: Hon. Marty Dean

General Location: The property is located along Ox Bow Court, north of Delta Lane, south of Brewster Road, west of the Tchefuncte River, south of Interstate-12, Covington, Louisiana. Ward 1, District 1

**FINAL SUBDIVISION REVIEW****17- 2022-2749-FP**

Lakeshore Villages, Phase 6A

Developer/Owner: D.R. Horton, Inc. - Gulf Coast

Engineer/Surveyor: Duplantis Design Group, PC

Parish Council District Representative: Hon. Jake Airey

General Location: The property is located north of Oak Harbor Blvd., west of LA Highway 433, east of Interstate-10, Slidell, Louisiana. Ward 9, District 13

**POSTPONED AT THE MARCH 8, 2022 MEETING**

**18- 2022-2755-FP**

River Park Estates, Phase 2

Developer/Owner: River Park Estates, LLC

Engineer/Surveyor: Deep South Design Group, LLC

Parish Council District Representative: Hon. Martha Cazaubon

General Location: The property is located on the north side of M. P. Planche Road, west of LA Highway 25, Covington, Louisiana. Ward 3, District 3

**POSTPONED AT THE MARCH 8, 2022 MEETING**

**19- 2022-2792-FP**

Tribute at Tamanend, Phase 1

Developer/Owner: D.R. Horton, Inc. - Gulf Coast

Engineer/Surveyor: Duplantis Design Group, PC

Parish Council District Representative: Hon. Kirk Drumm

General Location: The property is located on the east side of LA Highway 434 and north of Interstate-12, Lacombe, Louisiana. Ward 7, District 11



**20- 2022-2794-FP**

Southern Oaks, Phase 2

Developer/Owner: Yanin, LLC

Engineer: Kyle Associates, LLC

Parish Council District Representative: Hon. Michael Lorino, Jr.

General Location: The property is located on the west of Trapagnier Road, south side of LA Highway 22, south of Interstate-12, Covington, Louisiana. Ward 1, District 4

**21- 2022-2795-FP**

Bonterra, Phase 1-A

Developer/Owner: Lynn Levy Land Co., LLC

Engineer/Surveyor: J.V. Burkes & Associates, Inc.

Parish Council District Representative: Hon. Michael Smith

General Location: The property is located on the east & west sides of North Military Road/LA Highway 1090, north of Interstate 12, Slidell, Louisiana. Ward 8, District 9

**22- 2022-2797-FP**

Guste Island Estates, Parcel I

Developer/Owner: McInt, Inc.

Engineer: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon. Michael Lorino

General Location: The property is located south of LA Highway 22 at Guste Island Road, east of LA Highway 1085, south of Interstate-12, west of Town of Madisonville, Louisiana. Ward 1, District 4

**OLD BUSINESS****23- 2021-2326-MSP**

A minor subdivision of Parcels A, B & C into Parcels A-1, B-1 & C-1

Owners & Representatives: Michael W. Wittich, Kathryn Gayle Wittich, Brian Yaniga, Alicia Graham Jordan

Parish Council District Representative: Hon. David R. Fitzgerald

General Location: The parcel is located on the east side of LA Highway 25, north of Airport Road, south of Wylie Jenkins Road, Covington, Louisiana. Ward 3, District 2

**24- 2021-2398-PP**

Alexander Ridge, Phase 4

Developer/Owner: Savannahs Community, LLC

Engineer: Kyle Associates, LLC

Parish Council District Representative: Hon. David Fitzgerald

General Location: East of LA Highway 1081, South of Smith Road, Covington, Louisiana. Ward 3, District 2

**Developer is requesting modifications to the Preliminary Plat approved at the June 8, 2021 meeting**

**ENTERING PARISH RIGHT-OF-WAY, SERVITUDES, EASEMENTS & TAMMANY TRACE****25- Request to Enter the Parish Right of Way for Eddins Place for the purpose of installing utilities (Northwood Village Subdivision) (Resolution No. 21-009).**

Debtor: Mangano Properties, LLC

Parish Council District: Hon. Chris Canulette

General Location: The property is located north of Brownswitch Road, west of LA Highway 1091, within Northwood Village Subdivision, Slidell, Ward 8, District 8

**Developer requesting an extension of time to submit the required documentation and to complete the work**

**26- 2020-2012-PP**

Lakeshore Villages, Phase 11

Developer/Owner: D.R. Horton, Inc. - Gulf Coast

Engineer/Surveyor: Duplantis Design Group, PC

Parish Council District Representative: Hon. Jake Airey

General Location: The property is located north of Oak Harbor Blvd., west of LA Highway 433, east of Interstate-10, Slidell, Louisiana. Ward 9, District 13

**Developer is requesting modifications to the Preliminary Plat approved at the September 8, 2020 meeting**

**27- Entering the Parish R.O.W.**

Request to Enter the Parish Right of Way for Ozone Street, Town of Mandeville Subdivision for the purpose of extending the street and installing drainage features (Resolution No 19-105).

Debtor: SMS Holdings, LLC

Parish Council District: Hon. James Davis

General Location: The property is located on the north side of Joans Street, east of Soult Street, Mandeville, Louisiana. Ward 4, District 7

**Developer's Engineer is requesting a waiver for "Fee in Lieu of Detention"**

**NEW BUSINESS****ADJOURNMENT**

**MINUTES**  
**ST. TAMMANY PARISH PLANNING COMMISSION MEETING**  
**6:00 PM - TUESDAY, MARCH 8, 2022**  
**ST. TAMMANY PARISH GOVERNMENT COMPLEX**  
**PARISH COUNCIL CHAMBERS**  
**21490 KOOP DRIVE, MANDEVILLE, LOUISIANA**

**ROLL CALL**

Present: Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph

Absent: Seeger and Truxillo

Staff: Ross Liner, Helen Lambert, Erin Cook, Ted Reynolds and Daniel Hill

**PUBLIC ANNOUNCEMENTS**

- Please silence all phones and electronic devices
- Appeals
- Speaker Cards
- Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal
- Please exit the building

**INVOCATION AND PLEDGE OF ALLEGIANCE**

**INVOCATION** – Randolph

**PLEDGE OF ALLEGIANCE** – Willie

**APPROVAL OF FEBRUARY 8, 2022 MINUTES**

**Fitzmorris moved to approve, second by Crawford**

**Yea:** Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph

**Nay:** N/A

**Abstain:** N/A

**REQUEST FOR POSTPONEMENTS**

**ENTERING PARISH RIGHT-OF-WAY, SERVITUDES, EASEMENTS & TAMMANY TRACE**

**REVOCATION REVIEW**

**1. REV22-03-002**

The revocation of an unopened portion of 7<sup>th</sup> Avenue, located west of Bravo Street, east of Echo Street between Square 61 and Square 78 in the Alexiusville Subdivision (as delineated on Map #171B), south of the City of Covington, Louisiana, Ward 3, District 5.

Applicant: Bevolo Gas & Electric Lights, LLC

Parish Council District Representative: Hon. Rykert O. Toledano, Jr.

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: None

Opposition: None

**Fitzmorris moved to approve, second by Barcelona.**

**Yea:** Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph

**Nay:** N/A

**Abstain:** N/A

**1. REV22-03-003**

The revocation of an unopened portion of 8<sup>th</sup> Avenue, located west of Bravo Street, east of Echo Street between Square 78 and Square 85 in the Alexiusville Subdivision (as delineated on Map #171B), south of the City of Covington, Louisiana, Ward 3, District 5.

Applicant: Bevolo Gas & Electric Lights, LLC

Parish Council District Representative: Hon. Rykert O. Toledano, Jr.

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: None

Opposition: None

**Fitzmorris moved to approve, second by Barcelona.**

**Yea:** Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph

**Nay:** N/A

**Abstain:** N/A

**2. REV22-03-004**

The revocation of an unopened and unnamed portion Right of Way, located north of LA Highway 1088, west of Forest Brook Boulevard that abuts the south side of Plot 13 and Plot 15 in the Landcaster Subdivision, Ward 4, District 5

Applicant: Donald Jenkins

Parish Council District Representative: Hon. Rykert O. Toledano, Jr.

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: None

Opposition: None

**Fitzmorris moved to approve, second by Barcelona.**

**Yea:** Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph

**Nay:** N/A

**Abstain:** N/A

**MINOR SUBDIVISION REVIEW**

**3. 2021-2690-MSP**

A minor subdivision of Parcels A-1 & A-4 into Parcels, A-1-A, A-1-B, A-1-C, A-4-A

Owner & Representative: JDM Development LLC – David R. Harvey, Sr. and Matthew James & Jessica Organ

Parish Council District Representative: Hon. Rykert O. Toledano, Jr.

General Location: The parcels are located on the east side of Riverside Drive, Covington, Louisiana. Ward 3, District 5

**POSTPONED FROM JANUARY 11, 2022 MEETING**

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: None

Opposition: None

**Barcelona moved to approve with waiver, second by Fitzmorris.**

**Yea:** Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph

**Nay:** N/A

**Abstain:** N/A

**4. 2022-2729-MSP**

A minor subdivision of Lot 2A into lots 2B & 2C

Owner: Estate of Warren J. Salles Jr. – W. Joseph Salles, III – Executor

Representative: Jeffrey Shoen

Parish Council District Representative: Hon. Rykert O. Toledano, Jr.

General Location: The parcel is located on the east side of US Highway 190 Service Road, south of Helenbirg Road, Covington, Louisiana. Ward 3, District 5

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: None

Opposition: None

**McInnis moved to approve with waivers, second by Fitzmorris.**

**Yea:** Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph

**Nay:** N/A

**Abstain:** N/A

**5. 2022-2740-MSP**

A minor subdivision of Lot A5 into Lots A5-1 & A5-2

Owner & Representative: Charles J. & Nancy B. Baird

Parish Council District Representative: Hon. David R. Fitzgerald

General Location: The parcel is located on the north side of Johnsen Road, east of LA Highway 437, Covington, Louisiana. Ward 3, District 2

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: None

Opposition: None

**Willie moved to approve with waivers, second by Randolph.**

**Yea:** Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph

**Nay:** N/A

**Abstain:** N/A

**6. 2022-2743-MSP**

A minor subdivision of 15.37 acres into Parcels A & B

Owner & Representative: Charles R. & Deborah Allen

Parish Council District Representative: Hon. Martha Cazaubon

General Location: The parcel is located at the northeast corner of Booth Road and Jessica Lane, Folsom, Louisiana. Ward 2, District 3

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: None

Opposition: None

**Ress moved to approve with waivers, second by Crawford.**

**Yea:** Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph

**Nay:** N/A

**Abstain:** N/A

**7. 2022-2746-MSP WITHDRAWN**

A minor subdivision of 129.77 acres into lots 1, 2, 3, 5 & 6

Owner & Representative: Laurel Gray Farms, LLC - Greg & Laurette Jacob

Parish Council District Representative: Hon. Martha Cazaubon

General Location: The parcel is located on the west side of Faucheux Road, south of Travis Core Road, Folsom, Louisiana. Ward 2, District 3

**8. 2022-2751-MSP**

A minor subdivision of 12B-1, 11A, 11B & 12A into lots 12B-1A, 12A-1 & 11A-1

Owner: Healthcare Rentals II, LLC & R4 Holdings, LLC - Jared Caruso-Riecke

Representative: Paul J. Mayronne

Parish Council District Representative: Hon. Marty Dean

General Location: The parcel is located on the west side of LA Highway 1085, north of Maison du Lac Blvd, Covington, Louisiana. Ward 1, District 1

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: None

Opposition: None

**Randolph moved to approve, second by Fitzmorris.**

**Yea:** Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph

**Nay:** N/A

**Abstain:** N/A

**RESUBDIVISION REVIEW**

**9. 2022-2758-MRP**

Resubdivision of lots 122 & 123 into lot 122A, The Bluffs Phase 5A

Owner & Representative: Dale & Kelli Busbee

Surveyor: J.V. Burkes & Associates, Inc.

Parish Council District Representative: Hon. Mike M. Smith

General Location: The property is located at the end of Star Ance Court, south of Arbor View, Slidell, Louisiana. Ward 8, District 9

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: None

Opposition: None

**Smail moved to approve, second by Barcelona.**

**Yea:** Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph

**Nay:** N/A

**Abstain:** N/A

**TENTATIVE SUBDIVISION REVIEW**

**10. 2022-2753-TP**

River Park Trails Subdivision (formerly River Park Estates Subdivision, Phase 3)

Developer/Owner: River Park Estates, LLC

Engineer/Surveyor: Deep South Design Group, LLC

Parish Council District Representative: Hon. Martha Cazaubon

General Location: The property is located on the north side of M. P. Planche Road, west of LA Highway 25, Covington, Louisiana. Ward 3, District 3

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: None

Opposition: None

**Fitzmorris moved to postpone for one month, second by Crawford .**

**Yea:** Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph

**Nay:** N/A

**Abstain:** N/A

## **PRELIMINARY SUBDIVISION REVIEW**

### **11. 2021-2568-PP**

Bonterra Subdivision, Phases 2 & 3

Developer/Owner: Lynn Levy Land Co., LLC

Engineer/Surveyor: J.V. Burkes & Associates, Inc.

Parish Council District Representative: Hon. Michael Smith

General Location: The property is located on the east & west sides of North Military Road/LA Highway 1090, north of Interstate 12, Slidell, Louisiana. Ward 8, District 9

**POSTPONED FROM OCTOBER 12, 2021, NOVEMBER 9, 2021, DECEMBER 14, 2021, JANUARY 11, 2022 AND THE FEBRUARY 8, 2022 MEETINGS**

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: None

Opposition: None

**Fitzmorris moved to postpone for one month, second by Randolph.**

**Yea:** Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph

**Nay:** N/A

**Abstain:** N/A

## **FINAL SUBDIVISION REVIEW**

### **12. 2021-2686-FP**

Simpson Farms Subdivision, Phase 2

Developer/Owner: Pruden Creek Partners, LLC

Engineer/Surveyor: Kelly McHugh and Associates, Inc.

Parish Council District Representative: Hon. Martha Cazaubon

General Location: The property is located on the north side of Penn Mill Road, across from Pruden Road, Covington, Louisiana. Ward 3, District 3

**POSTPONED FROM JANUARY 11, 2022 AND THE FEBRUARY 8, 2022 MEETING**

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: None

Opposition: None

**Willie moved to approve, second by Fitzmorris.**

**Yea:** Ress, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph

**Nay:** N/A

**Abstain:** McInnis

### **13. 2022-2749-FP**

Lakeshore Villages, Phase 6A

Developer/Owner: D.R. Horton, Inc. - Gulf Coast

Engineer/Surveyor: Duplantis Design Group, PC

Parish Council District Representative: Hon. Jake Airey

General Location: The property is located north of Oak Harbor Blvd., west of LA Highway 433, east of Interstate-10, Slidell, Louisiana. Ward 9, District 13

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: None

Opposition: None

**Smail moved to postpone, second by Willie.**

**Yea:** Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph

**Nay:** N/A

**Abstain:** N/A

**14. 2022-2755-FP**

River Park Estates, Phase 2

Developer/Owner: River Park Estates, LLC

Engineer/Surveyor: Deep South Design Group, LLC

Parish Council District Representative: Hon. Martha Cazaubon

General Location: The property is located on the north side of M. P. Planche Road, west of LA Highway 25, Covington, Louisiana. Ward 3, District 3

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: None

Opposition: None

**Willie moved to postpone for one month, second by Randolph.**

**Yea:** Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph

**Nay:** N/A

**Abstain:** N/A

**OLD BUSINESS**

15. Request to Enter the Parish Right-of-Way for the north side of Little Creek Road for the purpose of installing subsurface drainage from Commerce Boulevard to Dream Team Drive.

Debtor: Church of the King (**Resolution No. 20-007**)

Parish Council District Representative: Hon. Rykert Toledano

General Location: The property is located on the north side of Little Creek Road, east of LA Highway 59 and north of Interstate 12, Mandeville, Louisiana. Ward 4, District 5.

***Developer requesting an extension of time to provide required documentation and complete the work***

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: None

Opposition: None

**Fitzmorris moved to approve, second by Crawford.**

**Yea:** Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph

**Nay:** N/A

**Abstain:** N/A

**NEW BUSINESS**

16. A request was made to open the agenda for three off the floor cases.

**Fitzmorris moved to approve, second by Crawford.**

**Yea:** Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph

**Nay:** N/A

**Abstain:** N/A

17. **19-105** – Resolution to Enter the Parish Right of Way, specifically the unopened portion of Ozone Street, north of Joans Street, Town of Mandeville (unincorporated) subdivision, for the purpose of gaining access to property.

Debtor: SMS Holdings, LLC

Parish Council District Rep: James J. Davis

**Developer requesting an extension of time to provide required documentation and complete the work.**



**Resolution 19-105**

Randolph made a motion to grant a 1-year extension, second by Crawford.

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: None

Opposition: None

**Yea:** Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph

**Nay:** N/A

**Abstain:** N/A

18. **20-126** – Resolution to Enter the Parish Right of Way, specifically the unopened portion of Rapatel Street, on the south side of Armand Street and north of the Nelson Street Right of way, east of Soult Street; Town of Mandeville (unincorporated) subdivision, for the purpose of gaining access to property.

Debtor: SMS Holdings, LLC

Parish Council District Rep: James J. Davis

**Developer requesting an extension of time to provide required documentation and complete the work.**

**Resolution 10-126**

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: None

Opposition: None

**Yea:** Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph

**Nay:** N/A

**Abstain:** N/A

19. **20-123** – Resolution to Enter the Parish Right of Way, specifically the unopened portion of Ozone Street, on the south side of Armand Street and north of the Nelson Street Right of way, east of Soult Street; Town of Mandeville (unincorporated) subdivision, for the purpose of gaining access to property.

Debtor: SMS Holdings, LLC

Parish Council District Rep: James J. Davis

**Developer requesting an extension of time to provide required documentation and complete the work.**

**Resolution 20-123**

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: None

Opposition: None

**Yea:** Ress, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph

**Nay:** N/A

**Abstain:** N/A

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**ENTERING THE PARISH  
RIGHTS-OF-WAY,  
SERVITUDES AND  
EASEMENTS**

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ST. TAMMANY PARISH PLANNING COMMISSION

RESOLUTION

RESOLUTION PLANNING COMMISSION SERIES NO. \_\_\_\_\_

**TITLE: A RESOLUTION AUTHORIZING DILSO CAETANO GONCALVES, TO ENTER PARISH RIGHT-OF-WAY.**

**SUB-TITLE: A RESOLUTION GRANTING PERMISSION TO DILSO CAETANO GONCALVES, 230 SANTOS STREET, MANDEVILLE, LA 70448 OR ASSIGNEES TO ENTER THE PARISH RIGHT-OF-WAY, SPECIFICALLY THE UNOPENED PORTION OF HENRY CLAY STREET, TOWN OF MANDEVILLE (UNINCORPORATED) SUBDIVISION, FOR THE PURPOSE OF GAINING ACCESS TO PROPERTY. WARD 4, DISTRICT 10.**

NOW, THEREFORE, BE IT RESOLVED, by the St. Tammany Parish Planning Commission that it hereby grants permission to the aforementioned petitioner to enter Parish right-of-way for the aforementioned purposes, subject to the following conditions:

1. That the improvements that will be undertaken will be at the sole expense of the petitioner.
2. That the petitioner agrees to accept full responsibility, financial and all other, for the damage and /or relocation of utilities currently located within Parish right-of-way.
3. That the petitioner shall submit plans prepared by a licensed engineer to the Department of Engineering for review and approval. The drainage and road design with soil borings must meet the **ASPHALT** road standards as established under the “Subdivision Regulatory Ordinance.” The Parish’s engineer may require additional off-site work to minimize the potential impact of the proposed construction with special emphasis regarding drainage. The plans must include sewerage and water systems, where applicable. Upon approval of plans and specifications by the Director of Engineering, the petitioner must notify the Department of Engineering prior to the commencement of any activity.
4. Any developer/applicant proposing to develop lots within a “dormant subdivision” or “subdivision of record” must submit for review and approval of the Parish Engineer a drainage plan that meets the detention requirements of St. Tammany Parish Code of Ordinances, Part II “Land Development Code,” Chapter 125 “Subdivision Regulations,”. Where applicable, such developer/applicant shall be entitled to claim a credit toward drainage impact fees due the Parish under the authority of the St. Tammany Parish Code of Ordinances, Chapter 2, Article XVII “Parish Fees,” Division 3 “Development,” Subdivision V “Mandatory Impact Fees” and, where applicable, shall be entitled to claim credit/reimbursement from any drainage impact fees that have been paid into the “Drainage Impact Fee Escrow Account” by the owner or owners of lots that are not owned by the developer/applicant but would be receiving the benefits of said storage requirements.
5. That should the petitioner commence work thereon, petitioner by such act acquiesces and acknowledges thereby that he will hold this Parish, its officials, agents, servants, and employees free and harmless from any liability or responsibility whatsoever in connection with the construction of the project. Petitioner will provide copy of Liability Insurance Policy, including the naming of the Parish as an insured party. The insurance will remain in effect until the Parish takes over the maintenance.

6. That nothing herein shall be construed as a revocation of the dedication of the aforementioned right of way.
7. That no maintenance nor financial nor material nor assistance shall be provided by the Parish for the project nor the maintenance thereof, except for the inspection of the plans and specifications by the Department of Engineering to insure the construction complies with Parish specifications.
8. That the petitioner post a Performance Obligation in the amount of \$4,000.00 for a period of one (1) year.
9. That the petitioner agrees to post a Warranty Obligation upon completion of the project in the amount of \$2,200.00 for a period of two (2) years.
10. That the petitioner and any assignees submit a Hold Harmless Agreement in connection with the construction of the project and utilization of the access by (an) individual (s) until the time that the access is upgraded to Parish standards and accepted into the Parish's Selective Road Maintenance System.
11. That the petitioner and any assignees agrees to provide maintenance for this access at his/her own expense until such time as the Parish agrees to accept this portion of right of way into the Parish's Selective Road Maintenance System.
12. Petitioner acknowledges and accepts full responsibility for the installation and maintenance of drainage, specifically from the on-site mechanical sewerage treatment plants, on the public right of way he/she seeks permission to enter.
13. That the petitioner agrees to provide the Parish with the necessary drainage and utility servitude along the roadways being constructed.
14. That the petitioner shall submit a copy of the current owner's deed.
15. That the petitioner shall produce proof that the right of way is dedicated to the Parish.
16. That the petitioner shall produce from the U.S. Army Corps of Engineers either: a written statement that the road is not in a wetland area, within the meaning of Section 404 of the Federal "Clean Water Act" or a Section 404 Permit under the Federal "Clean Water Act" authorizing the opening of the portion of the right of way in question.
17. That the petitioner shall submit a site plan of Petitioner's property and the unopened right of way.
18. Permission is valid for the issuance of building permits according to current zoning only, issued to AS INDICATED ABOVE, WARD 4 DISTRICT 10.
19. That the petitioner submit as-built drawings certifying that road is constructed within the Parish right of way.
20. That the petitioner submit all documentation required within ONE (1) year from date of adoption, additionally petitioner has two (2) years to complete all work on this project, if not completed within two (2) years, approval of this work will be voided and petitioner will be required to reapply for permission.

THIS RESOLUTION HAVING BEEN SUBMITTED TO A VOTE, THE VOTE THEREON WAS AS FOLLOWS:

MOVED FOR ADOPTION BY \_\_\_\_\_, SECONDED BY \_\_\_\_\_; A VOTE THEREON RESULTED IN THE FOLLOWING:

YEA:

NAY:

ABSTAIN:

ABSENT:

AND THIS RESOLUTION WAS DECLARED DULY ADOPTED ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_, AT A REGULAR MEETING OF THE PLANNING COMMISSION, A QUORUM OF THE MEMBERS BEING PRESENT.

\_\_\_\_\_  
DAVID DOHERTY, JR., CHAIRMAN  
ST. TAMMANY PARISH PLANNING COMMISSION

ATTEST:

\_\_\_\_\_  
ROSS P. LINER, AICP, PTP, CFM, SECRETARY  
ST. TAMMANY PARISH PLANNING COMMISSION

February 17, 2022

Dilso Caetano Goncalves  
230 Santos st, Mandeville 70448  
[dilsogoncalves@hotmail.com](mailto:dilsogoncalves@hotmail.com)  
504 701 8139

To:  
St. Tammany Parish Planning Commission

This letter is to acquire permission to enter the right of way extending a road way in front of the property located at 2322 HENRY CLAY ST, LOT 53A SQUARE 232A MANDEVILLE 70448. This extension will provide the property's owner, Mr. Dilso Caetano Goncalves access to his property.

The proposed asphalt road way to be built is 99.85 to 13.68 according to the Proposed Roadway Design.

AuthentiSIGN  
*Dilso C. Goncalves*  
02/23/2022 11:25:44 AM CST

02/23/2022

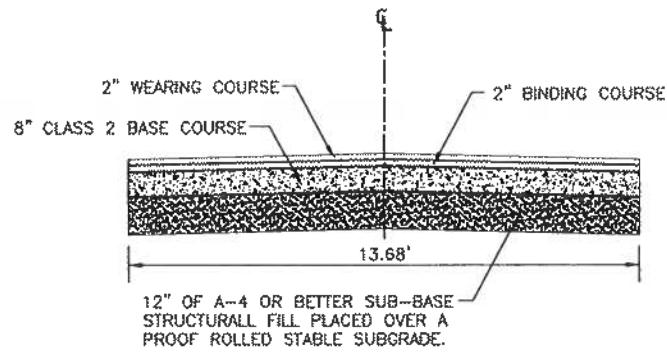
---

Dilso Caetano Goncalves  
504 701 8139



Enter R.O.W. Project  
PLANS  
RECEIVED  
02/18/2022  
DEVELOPMENT  
ENGINEERING

ENGINEERING  
REVIEW COPY

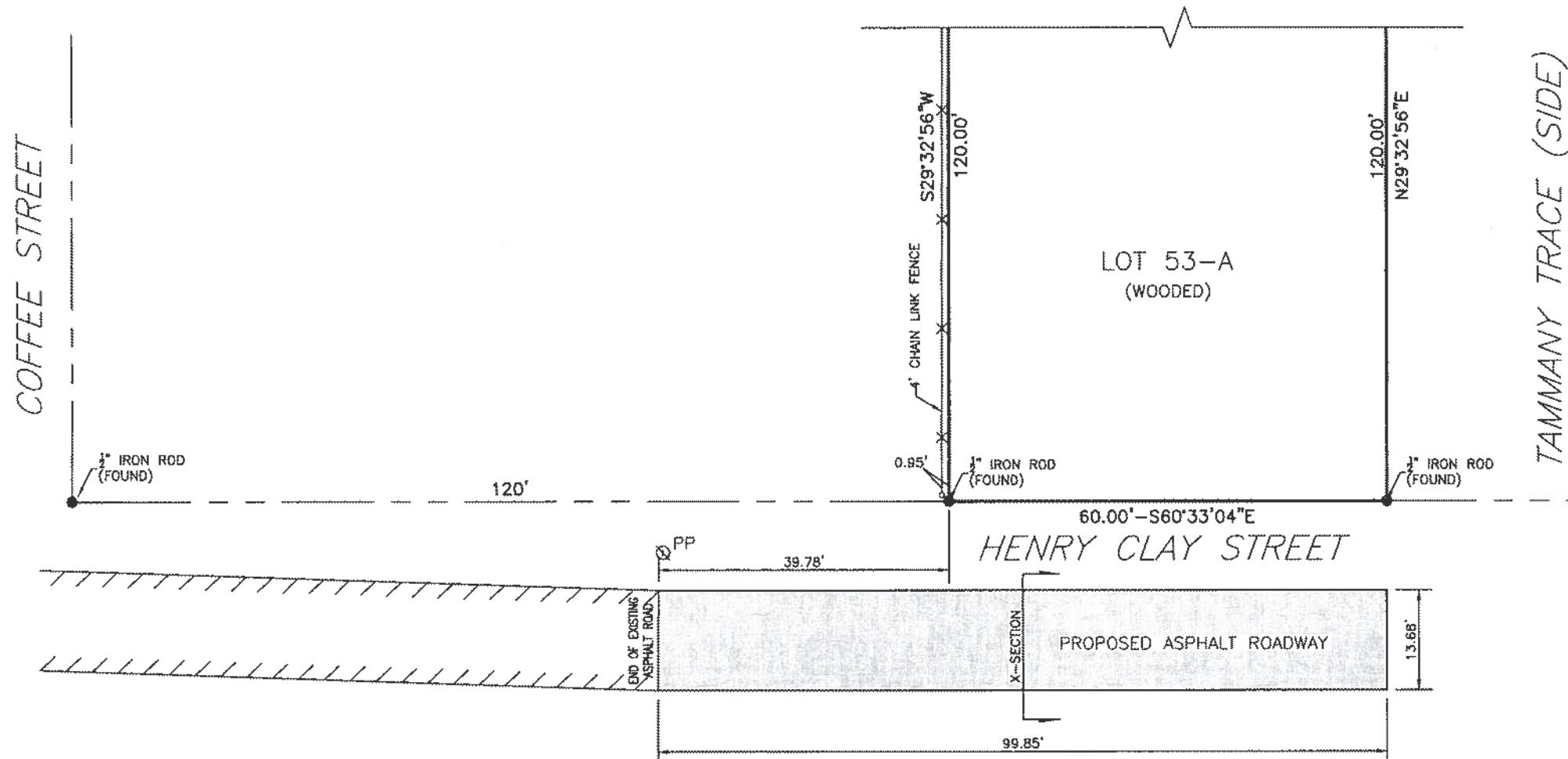


X-SECTION  
SCALE: 1" = 5.0'

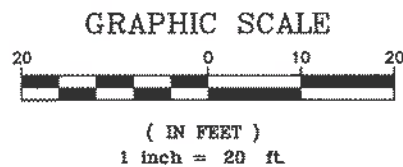
One  
Call before  
you dig.  
1-800-972-6080

NOTE:

1. CONTRACTOR SHALL VERIFY EXACT LOCATION OF UTILITIES PRIOR TO START OF CONSTRUCTION. SHOULD CONFLICT EXIST, CONTRACTOR SHALL CONTACT PROJECT ENGINEER FOR RESOLUTION.



PLAN  
SCALE: 1" = 20'



PROPOSED ROADWAY  
DESIGN

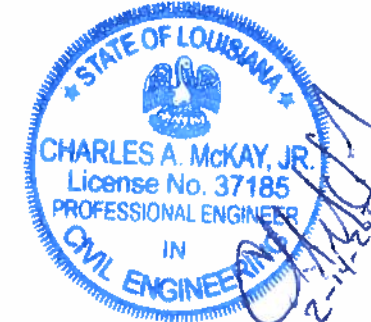
**McKay & Associates, L.L.C.**  
ENGINEERING ~ LAND SURVEYING  
7216 W. Judge Perez Drive, Arabi, LA 70032 (504) 509-7603

REV.	DATE	REVISED	DRAWN

McKay & Associates, L.L.C.  
7216 W. Judge Perez Drive  
Arabi, La. 70032  
ph. (504) 509-7603

NOTES

1. ROADWAY MATERIALS SHALL BE FROM APPROVED SOURCES IN ACCORDANCE WITH THE LOUISIANA STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES (LSSRB), LATEST EDITION.
2. MINIMUM ROADWAY SECTIONS FOR LIGHTLY TRAVELED SUBDIVISION STREETS SHALL CONSIST OF THE FOLLOWING:
  - 3.1. FLEXIBLE PAVEMENT.
    - 3.1.1. FOUR INCHES OF ASPHALTIC CONCRETE UNDERLAIN BY EIGHT INCHES OF CLASS II BASE OVER A MINIMUM OF 12 INCHES OF A-4 OR BETTER SUB-BASE STRUCTURAL FILL PLACED OVER A PROOF ROLLED STABLE SUBGRADE.
    - 3.1.2. AN ALTERNATIVE TO THE AGGREGATE BASE AND SUB-BASE, TEN INCHES OF THE SUBGRADE OR FILL MAY BE TREATED WITH CEMENT. OTHERWISE, STRUCTURAL FILL MAY BE PLACED AND TREATED WITH CEMENT. THE APPROPRIATE PERCENT OF CEMENT SHALL BE DETERMINED BY AN APPROVED TESTING LABORATORY AND APPROVED BY THE PARISH DEPARTMENT OF ENGINEERING.



OWNER

DILSO GONCALVES

LOCATION

LOT 53-A, SQUARE 232A  
TOWN OF MANDEVILLE  
ST. TAMMANY PARISH,  
LA

SCALE SHEET NUMBER

AS SHOWN

DATE

2/14/2022

JOB NO.

21-617a

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ST. TAMMANY PARISH PLANNING COMMISSION

RESOLUTION

RESOLUTION PLANNING COMMISSION SERIES NO. \_\_\_\_\_

**TITLE: A RESOLUTION AUTHORIZING TAMMANY TERRACE, LLC, TO ENTER PARISH RIGHT-OF-WAY.**

**SUB-TITLE: A RESOLUTION GRANTING PERMISSION TO TAMMANY TERRACE, LLC C/O MR. ERIC P. SEALS, MANAGER, 454 RUTHERFORD, COVINGTON, LA 70433 OR ASSIGNEES TO ENTER PARISH RIGHT-OF-WAY, SPECIFICALLY THE UNOPENED PORTION OF DELTA STREET AND ELDORA AVENUE, TAMMANY TERRACE SUBDIVISION, FOR THE PURPOSE OF GAINING ACCESS TO PROPERTY. WARD 3, DISTRICT 2.**

NOW, THEREFORE, BE IT RESOLVED, by the St. Tammany Parish Planning Commission that it hereby grants permission to the aforementioned petitioner to enter Parish right-of-way for the aforementioned purposes, subject to the following conditions:

1. That the improvements that will be undertaken will be at the sole expense of the petitioner.
2. That the petitioner agrees to accept full responsibility, financial and all other, for the damage and /or relocation of utilities currently located within Parish right-of-way.
3. That the petitioner shall submit plans prepared by a licensed engineer to the Department of Engineering for review and approval. The drainage and road design with soil borings must meet the **ASPHALT** road standards as established under the “Subdivision Regulatory Ordinance.” The Parish’s engineer may require additional off-site work to minimize the potential impact of the proposed construction with special emphasis regarding drainage. The plans must include sewerage and water systems, where applicable. Upon approval of plans and specifications by the Director of Engineering, the petitioner must notify the Department of Engineering prior to the commencement of any activity.
4. Any developer/applicant proposing to develop lots within a “dormant subdivision” or “subdivision of record” must submit for review and approval of the Parish Engineer a drainage plan that meets the detention requirements of St. Tammany Parish Code of Ordinances, Part II “Land Development Code,” Chapter 125 “Subdivision Regulations,”. Where applicable, such developer/applicant shall be entitled to claim a credit toward drainage impact fees due the Parish under the authority of the St. Tammany Parish Code of Ordinances, Chapter 2, Article XVII “Parish Fees,” Division 3 “Development,” Subdivision V “Mandatory Impact Fees” and, where applicable, shall be entitled to claim credit/reimbursement from any drainage impact fees that have been paid into the “Drainage Impact Fee Escrow Account” by the owner or owners of lots that are not owned by the developer/applicant but would be receiving the benefits of said storage requirements.
5. That should the petitioner commence work thereon, petitioner by such act acquiesces and acknowledges thereby that he will hold this Parish, its officials, agents, servants, and employees free and harmless from any liability or responsibility whatsoever in connection with the construction of the project. Petitioner will provide copy of Liability Insurance Policy, including the naming of the Parish as an insured party. The insurance will remain in effect until the Parish takes over the maintenance.

6. That nothing herein shall be construed as a revocation of the dedication of the aforementioned right of way.
7. That no maintenance nor financial nor material nor assistance shall be provided by the Parish for the project nor the maintenance thereof, except for the inspection of the plans and specifications by the Department of Engineering to insure the construction complies with Parish specifications.
8. That the petitioner post a Performance Obligation in the amount of \$111,320.00 for a period of one (1) year.
9. That the petitioner agrees to post a Warranty Obligation upon completion of the project in the amount of \$61,226.00 for a period of two (2) years.
10. That the petitioner and any assignees submit a Hold Harmless Agreement in connection with the construction of the project and utilization of the access by (an) individual (s) until the time that the access is upgraded to Parish standards and accepted into the Parish's Selective Road Maintenance System.
11. That the petitioner and any assignees agrees to provide maintenance for this access at his/her own expense until such time as the Parish agrees to accept this portion of right of way into the Parish's Selective Road Maintenance System.
12. Petitioner acknowledges and accepts full responsibility for the installation and maintenance of drainage, specifically from the on-site mechanical sewerage treatment plants, on the public right of way he/she seeks permission to enter, if applicable.
13. That the petitioner agrees to provide the Parish with the necessary drainage and utility servitude along the roadways being constructed.
14. That the petitioner shall submit a copy of the current owner's deed.
15. That the petitioner shall produce proof that the right of way is dedicated to the Parish.
16. That the petitioner shall produce from the U.S. Army Corps of Engineers either: a written statement that the road is not in a wetland area, within the meaning of Section 404 of the Federal "Clean Water Act" or a Section 404 Permit under the Federal "Clean Water Act" authorizing the opening of the portion of the right of way in question.
17. That the petitioner shall submit a site plan of Petitioner's property and the unopened right of way.
18. Permission is valid for the issuance of building permits according to current zoning only, issued to AS INDICATED ABOVE, WARD 3 DISTRICT 2.
19. That the petitioner submit as-built drawings certifying that road is constructed within the Parish right of way.
20. That the petitioner submit all documentation required within ONE (1) year from date of adoption, additionally petitioner has two (2) years to complete all work on this project, if not completed within two (2) years, approval of this work will be voided and petitioner will be required to reapply for permission.

THIS RESOLUTION HAVING BEEN SUBMITTED TO A VOTE, THE VOTE THEREON WAS AS FOLLOWS:

MOVED FOR ADOPTION BY \_\_\_\_\_, SECONDED BY \_\_\_\_\_; A VOTE THEREON RESULTED IN THE FOLLOWING:

YEA:

NAY:

ABSTAIN:

ABSENT:

AND THIS RESOLUTION WAS DECLARED DULY ADOPTED ON THE 12TH DAY OF APRIL, 2022, AT A REGULAR MEETING OF THE PLANNING COMMISSION, A QUORUM OF THE MEMBERS BEING PRESENT.

\_\_\_\_\_  
DAVID DOHERTY, JR., CHAIRMAN  
ST. TAMMANY PARISH PLANNING COMMISSION

ATTEST:

\_\_\_\_\_  
ROSS P. LINER, AICP, PTP, CFM, SECRETARY  
ST. TAMMANY PARISH PLANNING COMMISSION

WILLIAM J. JONES, JR.  
JEFFREY D. SCHOEN  
JOHN R. WALKER  
MARGARET H. KERN  
CALVIN P. BRASSEAU  
THOMAS H. HUVAL  
PAUL J. MAYRONNE  
BAILEY DIRMANN MORSE  
ANDREW J. WALKER

**JONES FUSSELL, L.L.P.**

ATTORNEYS AT LAW

NORTHLAKE CORPORATE PARK, SUITE 103  
1001 SERVICE ROAD EAST, HIGHWAY 190

P.O. BOX 1810  
COVINGTON, LOUISIANA 70434-1810

TELEPHONE (985) 892-4801  
FAX (985) 892-4925

HOWARD R. FUSSELL  
(1937-2015)

Enter R.O.W. Project  
PLANS  
RECEIVED  
03/09/2022  
DEVELOPMENT  
ENGINEERING

**ENGINEERING  
REVIEW COPY**

March 8, 2022

**VIA HAND DELIVERY**

St. Tammany Parish Planning Department  
c/o Helen Lambert, Assistant Director  
P.O. Box 628  
Covington, Louisiana 70434

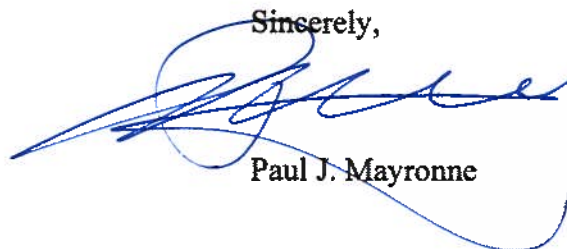
**Re: Request to Enter Right-of-Way**

Dear Helen:

Please find enclosed a letter from my client, Tammany Terrace, LLC, requesting permission to enter certain rights-of-way within Tammany Terrace Subdivision, for the purpose of gaining access to property. In accordance with Mr. Seal's letter, we would ask that this matter be placed on the St. Tammany Parish Planning Commission's next available agenda.

If you or the Department of Engineering should you have any questions regarding our request, or need any additional information, please do not hesitate to contact me.

Sincerely,



Paul J. Mayronne

PJM/amh  
Enclosure

## **Tammany Terrace, LLC**

1736 Ox Bow Lane  
Covington, LA 70433

March 8, 2022

St. Tammany Parish Department of Development  
c/o Helen Lambert, Assistant Director  
21490 Koop Drive  
Mandeville, Louisiana 70471

**Re: Request to Enter Right-of-Way**

Dear Helen:


Please allow this letter to serve as the request by Tammany Terrace, LLC to enter portions of the following parish rights-of-way, situated in Tammany Terrace Subdivision: Delta Street and Eldora Avenue, south of Tammany Avenue. The purpose of this request is to allow Tammany Terrace, LLC access to its properties, located along the aforementioned rights-of-way.

Thank you for processing our request. We would ask that this matter be placed on the St. Tammany Parish Planning Commission's next available agenda.

Should you have any questions regarding the foregoing, or need any additional information, please contact our representative, Mr. Paul J. Mayronne.

Sincerely,

**TAMMANY TERRACE, LLC**

By: 

Eric P. Seals, Manager





# SITE LAYOUT PLAN

SCALE: 1" = 100'

PLANS FOR

TAMMANY TERRACE, LA. HWY. 437  
SECTION 11, TOWNSHIP 6 SOUTH, RANGE 11 EAST  
ST. TAMMANY, LOUISIANA

SITE  
LAYOUT 2  
PLAN

04-069

Dwn.	Chk.
RSB	LUC
Date	Rev.
04-20-05	

Sheet 2

CEI COOPER ENGINEERING, INC.

Civil Engineering • Planning • Environmental  
P.O. Box 1870 Covington, Louisiana 70434 (985) 845-8155

THESE DRAWINGS ARE THE SOLE PROPERTY OF COOPER ENGINEERING, INC. AND ARE ISSUED AS INSTRUMENTS OF SERVICE. THESE DRAWINGS SHALL NOT BE COPIED, REPRODUCED OR USED IN ANY MANNER THAN WAS ORIGINALLY INTENDED WITHOUT WRITTEN CONSENT OF COOPER ENGINEERING, INC.



ST. TAMMANY PARISH PLANNING COMMISSION

RESOLUTION

RESOLUTION PLANNING COMMISSION SERIES NO. \_\_\_\_\_

**TITLE: A RESOLUTION AUTHORIZING MR. PATRICK DELOACH, TO ENTER PARISH RIGHT-OF-WAY.**

**SUB-TITLE: A RESOLUTION GRANTING PERMISSION TO MR. PATRICK DELOACH; 1037 ST. JOSEPH STREET, SLIDELL, LA 70460 OR ASSIGNEES TO ENTER PARISH RIGHT-OF-WAY, SPECIFICALLY THE UNOPENED PORTION OF FAIRVIEW DRIVE, EAST OF EDGEWOOD DRIVE, WOODLAND PARK SUBDIVISION, FOR THE PURPOSE OF GAINING ACCESS TO PROPERTY. WARD 9, DISTRICT 11.**

NOW, THEREFORE, BE IT RESOLVED, by the St. Tammany Parish Planning Commission that it hereby grants permission to the aforementioned petitioner to enter Parish right-of-way for the aforementioned purposes, subject to the following conditions:

1. That the improvements that will be undertaken will be at the sole expense of the petitioner.
2. That the petitioner agrees to accept full responsibility, financial and all other, for the damage and /or relocation of utilities currently located within Parish right-of-way.
3. That the petitioner shall submit plans prepared by a licensed engineer to the Department of Engineering for review and approval. The drainage and road design with soil borings must meet the **ASPHALT** road standards as established under the “Subdivision Regulatory Ordinance.” The Parish’s engineer may require additional off-site work to minimize the potential impact of the proposed construction with special emphasis regarding drainage. The plans must include sewerage and water systems, where applicable. Upon approval of plans and specifications by the Director of Engineering, the petitioner must notify the Department of Engineering prior to the commencement of any activity.
4. Any developer/applicant proposing to develop lots within a “dormant subdivision” or “subdivision of record” must submit for review and approval of the Parish Engineer a drainage plan that meets the detention requirements of St. Tammany Parish Code of Ordinances, Part II “Land Development Code,” Chapter 125 “Subdivision Regulations,”. Where applicable, such developer/applicant shall be entitled to claim a credit toward drainage impact fees due the Parish under the authority of the St. Tammany Parish Code of Ordinances, Chapter 2, Article XVII “Parish Fees,” Division 3 “Development,” Subdivision V “Mandatory Impact Fees” and, where applicable, shall be entitled to claim credit/reimbursement from any drainage impact fees that have been paid into the “Drainage Impact Fee Escrow Account” by the owner or owners of lots that are not owned by the developer/applicant but would be receiving the benefits of said storage requirements.
5. That should the petitioner commence work thereon, petitioner by such act acquiesces and acknowledges thereby that he will hold this Parish, its officials, agents, servants, and employees free and harmless from any liability or responsibility whatsoever in connection with the construction of the project. Petitioner will provide copy of Liability Insurance Policy, including the naming of the Parish as an insured party. The insurance will remain in effect until the Parish takes over the maintenance.

6. That nothing herein shall be construed as a revocation of the dedication of the aforementioned right of way.
7. That no maintenance nor financial nor material nor assistance shall be provided by the Parish for the project nor the maintenance thereof, except for the inspection of the plans and specifications by the Department of Engineering to insure the construction complies with Parish specifications.
8. That the petitioner post a Performance Obligation in the amount of \$5,520.00 for a period of one (1) year.
9. That the petitioner agrees to post a Warranty Obligation upon completion of the project in the amount of \$3,036.00 for a period of two (2) years.
10. That the petitioner and any assignees submit a Hold Harmless Agreement in connection with the construction of the project and utilization of the access by (an) individual (s) until the time that the access is upgraded to Parish standards and accepted into the Parish's Selective Road Maintenance System.
11. That the petitioner and any assignees agrees to provide maintenance for this access at his/her own expense until such time as the Parish agrees to accept this portion of right of way into the Parish's Selective Road Maintenance System.
12. That the petitioner agrees to provide the Parish with the necessary drainage and utility servitude along the roadways being constructed.
13. That the petitioner shall submit a copy of the current owner's deed.
14. That the petitioner shall produce proof that the right of way is dedicated to the Parish.
15. That the petitioner shall produce from the U.S. Army Corps of Engineers either: a written statement that the road is not in a wetland area, within the meaning of Section 404 of the Federal "Clean Water Act" or a Section 404 Permit under the Federal "Clean Water Act" authorizing the opening of the portion of the right of way in question.
16. That the petitioner shall submit a site plan of Petitioner's property and the unopened right of way.
17. Permission is valid for the issuance of building permits according to current zoning only, issued to AS INDICATED ABOVE, WARD 9 DISTRICT 11.
18. That the petitioner submit as-built drawings certifying that road is constructed within the Parish right of way.
19. That the petitioner submit all documentation required within ONE (1) year from date of adoption, additionally petitioner has two (2) years to complete all work on this project, if not completed within two (2) years, approval of this work will be voided and petitioner will be required to reapply for permission.

(DRAFT DATE APRIL 5, 2022)

RESOLUTION P.C. NO. \_\_\_\_\_

PAGE NO. 3 OF 3

THIS RESOLUTION HAVING BEEN SUBMITTED TO A VOTE, THE VOTE THEREON WAS AS FOLLOWS:

MOVED FOR ADOPTION BY \_\_\_\_\_, SECONDED BY \_\_\_\_\_; A VOTE THEREON RESULTED IN THE FOLLOWING:

YEA:

NAY:

ABSTAIN:

ABSENT:

AND THIS RESOLUTION WAS DECLARED DULY ADOPTED ON THE 12TH DAY OF APRIL, 2022, AT A REGULAR MEETING OF THE PLANNING COMMISSION, A QUORUM OF THE MEMBERS BEING PRESENT.

\_\_\_\_\_  
DAVID DOHERTY, JR., CHAIRMAN  
ST. TAMMANY PARISH PLANNING COMMISSION

ATTEST:

\_\_\_\_\_  
ROSS P. LINER, AICP, PTP, CFM, SECRETARY  
ST. TAMMANY PARISH PLANNING COMMISSION

Dear Members of the St. Tammany Parish Planning Commission:

I hope this petition finds you well. My name is Patrick DeLoach. I currently reside at 1037 St. Joseph Street in Slidell. I recently acquired a 21-acre parcel of land that has access points at Gause Blvd and Jackson Road. It is my intent to construct my future home on the side of the pond farthest from Gause Blvd. However, at the access by Jackson Road, Cleco and Koch each have parallel easements that I am not allowed to place permanent construction on (including a driveway). They also have a gate at the end of Jackson Road that prevents access to my property via vehicle. The access from Gause Blvd has a large ditch in front of it and has 0.73 acres of USACE jurisdictional wetlands. I may attempt to subdivide this front portion of the property in the future and do not wish to construct access to my future home from this point.

I am submitting this petition today to ask The Planning Commission to grant me the Right of Way at Fairview Drive to access my property from this point.

I measured Fairview Drive at nineteen feet wide. If granted your permission, my plan is to extend the construction of Fairview Drive to the other side of Edgewood Drive, to match the current width. To match Fairview Drives' current construction, I intend to use asphalt pavement unless otherwise suggested or instructed by this committee. It will extend approximately 138 feet, to the start of my property line.

Sincerely,

Patrick DeLoach

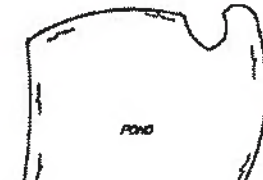
19' x 138'  
asphalt street  
to be constructed

**FAIRVIEW DR.**  
(NOT EXIST.)

EDGEWOOD DRIVE

WOODLAND PARK

21.146 ACRES



JACKSON RD.

U.S. HIGHWAY 190

NOTE: BEARINGS SHOWN REFER TO THE LOUISIANA STATE PLANE COORDINATE SYSTEM (LOUISIANA SOUTH 1702).

PETERBORO SURVEY, A SURVEY BY JOHN BONNEAU DATED 1/23/91, SURVEY NO. 97571.

P.O.B. IS REPORTED TO BE SOUTH 871.7 FEET EAST 1838.3' FROM THE NE CORNER OF THE NW 1/4 OF THE NW 1/4 OF SECTION 4, T-9-S, R-14-E, GREENSBURG LAND DISTRICT, ST. TAMMANY PARISH, LOUISIANA.

1000' X 17' AS FE = 17'

20' ROW TO ROCK PIPELINE CO. (INST. #1119458)

1000' X 17' AS FE = 17'

30' ROW TO ELEC. CORP. (INST. #1135718)

50' X 100' ROW TO ROCK PIPELINE CO. (INST. #1119458)

Find. 1/2" Iron Rod

N89°08'58"W  
52.07'  
(N88°44'05"W  
51.31'-REF.)

500' X 37'02" W 342.89'  
(S88°34'33" W 341.45'-REF.)

Find. 3/4" Iron Pipe

Find. 3/8" Iron Rod

(186.84'-REF.)  
185.72'

(191.45'-REF.)  
191.93'

N88°45'25"W  
(N88°18'06"W-REF.)

N89°34'18"W  
(N89°28'22"W-REF.)

(354.83'-REF.)  
354.83'

N70°48'40"W  
(N70°22'11"W-REF.)

(S88°02'01"-REF.)  
S81°29'28"E 288.26'

Find. 1/2" Iron Rod

Find. 1/2" Iron Rod

(S88°02'01"-REF.)  
S81°29'28"E 288.26'

N70°59'03"W  
(N70°28'34"E-REF.)

Find. 1/2" Iron Rod

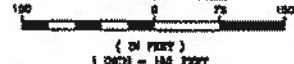
Find. 1/2" Iron Pipe

(S88°02'01"-REF.)  
S81°29'28"E 288.26'

N70°59'03"W  
(N70°28'34"E-REF.)

Find. 1/2" Iron Rod

GRAPHIC SCALE



BUILDING SETBACKS  
Front Setback \_\_\_\_\_  
Side Setback \_\_\_\_\_  
Rear Setback \_\_\_\_\_

ADJACENT U.S. HIGHWAY 190

I CERTIFY THAT THIS PLAN DOES REPRESENT AN ACTUAL CORRELATED SURVEY AND THAT TO THE BEST OF MY KNOWLEDGE NO ENCROACHMENTS EXIST OTHER THAN THOSE SHOWN ON THE PROPERTY LINES, EXCEPT AS SHOWN.

PROPERTY IS SURVEYED IN ACCORDANCE WITH THE LOUISIANA STANDARD OF PRACTICE FOR PROPERTY SURVEYS FOR A CLASS "B" SURVEY. BEARINGS ARE BASED ON SECOND BEARING LINES NOTED ON SERVICE.

ENCUMBRANCES SHOWN HEREON ARE NOT NECESSARILY EXCLUSIVE. ENCUMBRANCES OF RECORD AS SHOWN ON TITLE COPIES OR TITLE POLICY WILL BE ADDED HEREON UPON REQUEST, AS SURVEYOR HAS NOT PERFORMED ANY TITLE SEARCH OR ABSTRACT.

DATE: 7/24/19  
BY: JDL  
CHECKED BY: SMB  
SCALE: 1" = 150'

DRAWING NO. 20190434  
DATE 7/24/19

**J.V. Burkes & Associates, Inc.**

SURVEYING ENGINEERING & ENVIRONMENTAL  
1805 Shortcut Highway  
Slidell, Louisiana 70458  
E-mail: jvb@jvburkes.com  
Phone: 855-618-0075 Fax: 855-618-0154

DRAWN BY: JDL  
CHECKED BY: SMB  
SCALE: 1" = 150'

REVISED:

DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL OF SURVEYOR.

A SURVEY MAP OF A 21.146 ACRE PARCEL OF LAND IN SECTION 4, T-9-S, R-14-E, GREENSBURG LAND DISTRICT, ST. TAMMANY PARISH, LOUISIANA



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# **MINOR SUBDIVISIONS**

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*(As of April 5, 2022)*  
*Meeting Date: April 12, 2022*

In order to approve the waivers a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 - Subdivision Regulations.







FINAL APPROVAL

CHAIRMAN OF PLANNING COMMISSION

DIR. DEPT. OF ENGINEERING

SECRETARY PLANNING COMM.

CLERK OF COURT

DATE

FILE NO.

A Minor Subdivision of a 13.52 Acre Parcel of Land, into Parcel A & B, in Sections 17 & 18, T-5-S, R-10-E, St. Tammany Parish, Louisiana

Reference:  
1. Survey prepared by John G. Cummings & Assoc. dated 10-21-2019 Job #19220 (Base Bearing)  
2. Survey prepared by Fred L. Tilley & Assoc. dated 9-24-1993 Survey #33-38

LEGEND:

- = Fnd. 1/2" Iron Pipe
- = Fnd. 1/2" Iron Rod
- = Fnd. Fence Post
- = Set 1/2" Iron Rod

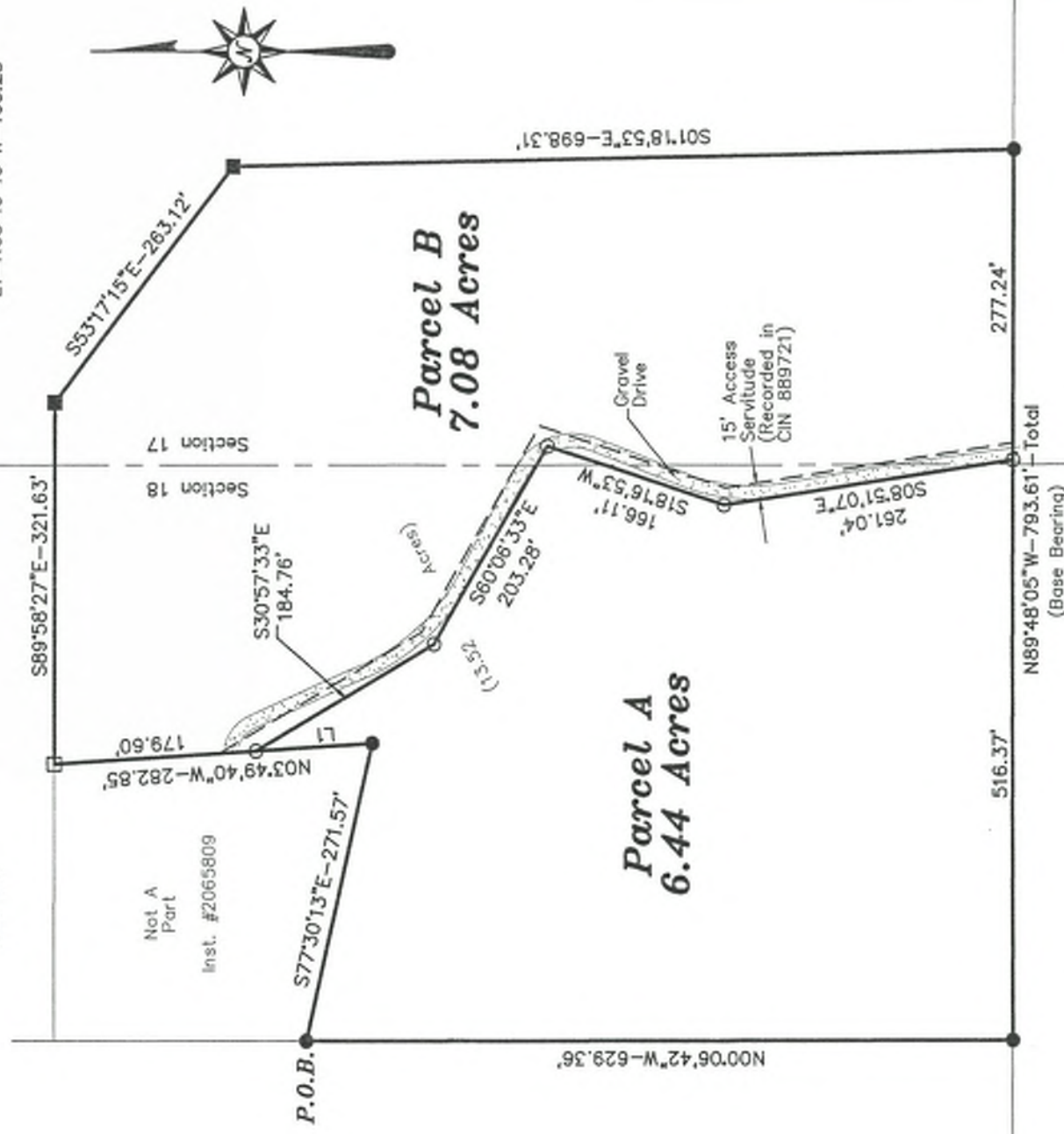
Reference calls not shown

Note: Fences and Improvements are not shown on this survey

Building Setback Lines must be verified prior to any construction

Line Table:

L1=N03°49'40"W-103.25'



SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HEREON UPON REQUEST AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS.

THIS MAP IS IN ACCORDANCE WITH THE STANDARD DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A "D" SURVEY AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46:LX1.

La. Hwy. 40

P.O.B. is reported to be S00°05'E, 558.0'; West, 205.3'; South, 463.15'; West, 204.5'; S89°53'58\"W, 107.6'; S00°01'56\"E, 774.4'; S00°01'56\"E, 224.07' from the Section Corner common to Sections 7, 8, 17 & 18 T-5-S, R-10-E, St. Tammany Parish, Louisiana

MAP PREPARED FOR **Casey R. Revere and Justin and Ashley H. Revere**

SHOWN A SURVEY MADE OF PROPERTY LOCATED IN Sections 17 & 18 Township 5 South Range 10 East, St. Tammany Parish, Louisiana

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED. SIGNATURE AND STAMPED SEAL MUST BE IN RED OR THIS PLAY IS NOT A TRUE COPY.

**LAND SURVEYING LLC**  
518 N. Columbia Street, Covington, LA 70433  
(985) 892-6277 office (985) 898-0955 fax  
landsurveyingllc@gmail.com

*Don Butler* 12-21-2021  
DON BUTLER III  
PROFESSIONAL LAND SURVEYOR  
LOUISIANA LICENSE NO. 4884

SCALE: 1" = 150'

DATE: 12-2-2021

NUMBER: 20619

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*(As of April 5, 2022)*  
***Meeting Date: April 12, 2022***

In order to approve the waivers a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 - Subdivision Regulations.



2022-2781-MSP

HOOVER

HENDERSON

T6 - R10E

18



FINAL APPROVAL

CHAIRMAN OF PLANNING COMMISSION

DIR. DEPT. OF ENGINEERING

SECRETARY PLANNING COMM.

CLERK OF COURT

DATE FILE NO.

Reference:  
 1) A Survey Map by Lowell E. Cummings Dated 7-14-1971, for Thomas M. Brown  
 2) A Survey Map by H.C. Sanders, Dated 11-22-1976, #ST-76-374  
 3) A Survey Map by John Cummings, Dated 4-18-2001, #0211A  
 4) A Survey Map by Kelly McHugh, Dated 7-14-1998, #98-210  
 5) A Survey Map by Jeron Fitzmorris, Dated 5-10-1985, in Inst. #583408 Clerks Office  
 6) A Survey Map by Jeron Fitzmorris, Dated 6-29-1982, in Inst. #493720 Clerks Office  
 (Base Bearings)

Reference calls not shown

The P.O.B. is described as being S31°51'W-631.76'; S00°22'W-1320.0' from the 1/4 Section Corner common to Sections 7 & 18, T-6-S, R-10-E, St. Tammany Parish, La. (as per Ref 6)

Note: Powerlines along Henderson Road are not shown

Marlane Barlow  
 Inst. #1793860

(Base Bearing)  
 N89°45'00"E-330.00'

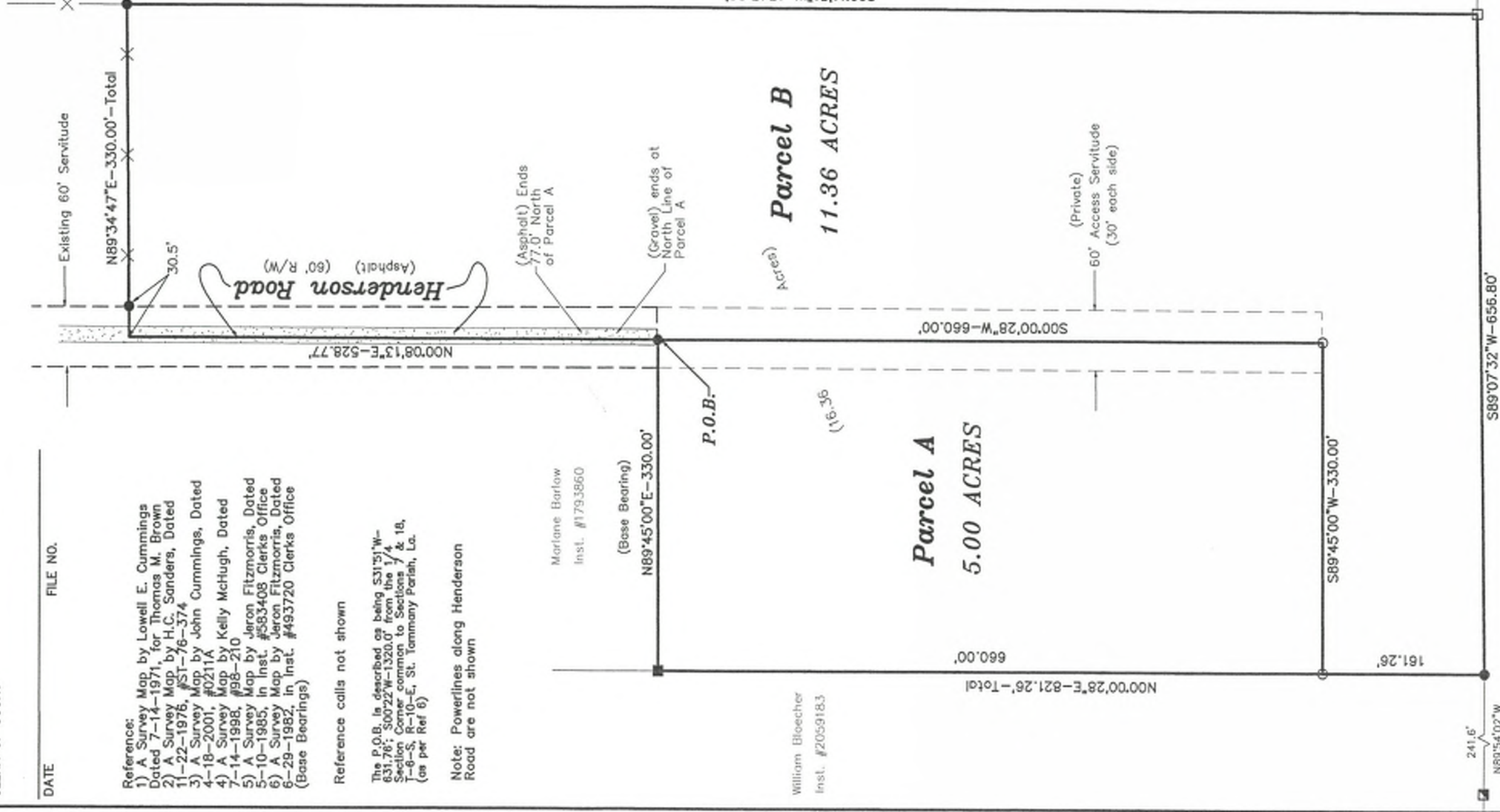
P.O.B.

William Bloecher  
 Inst. #2059183

**Parcel A**  
 5.00 ACRES

**Parcel B**  
 11.36 ACRES

A Minor Subdivision of a 16.36 Acre Parcel of Land, into Parcel A & B, in Section 18, T-6-S, R-10-E, St. Tammany Parish, Louisiana



LEGEND:  
 ● = Fnd. 1/2" Iron Rod  
 □ = Fnd. 1" Iron Pipe  
 □ = Fnd. 3/4" Triangle Iron Rod  
 ■ = Fnd. 5/8" Iron Rod  
 ○ = Set 1/2" Iron Rod  
 —X— = Fence

(Must verify prior to Construction)  
 Building Setbacks:  
 Front:  
 Side:  
 Rear:  
 Side Street:

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE OR TITLE POLICY WILL BE ADDED HEREON UPON REQUEST. AS THE UNDERSIGNED HAS MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS, THIS MAP IS IN ACCORDANCE WITH THE STANDARD DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A "D" SURVEY AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 48:101. THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED.

BRUCE M. BUTLER III  
 LA. PROFESSIONAL LAND SURVEYOR  
 LIC. NO. 4894

Newella Smith Jr.  
 COB 1340/843 & 844

Land Surveying, LLC  
 518 N. Columbia Street  
 Covington, LA 70433  
 (985) 892-6271 office (985) 898-0355 fax

MAP PREPARED FOR  
 KIMBERLY JARRELL & KEVIN HENDERSON

SCALE: 1" = 120'  
 DATE: 12-20-2021  
 DRAWN BY: JWG

SECTION 18, T-6-S, R-10-E, ST. TAMMANY PARISH, LOUISIANA  
 SURVEY NUMBER  
 20625

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## MINOR SUBDIVISION STAFF ANALYSIS REPORT

(As of April 5, 2022)

Meeting Date: April 12, 2022

CASE NO.: 2022-2786-MSP

Owners & Representative: Keith R. and Jane H. Campo

ENGINEER/SURVEYOR: J.V. Burkes & Associates, Inc.

SECTION: 24

TOWNSHIP: 8 South

RANGE: 14 East

WARD: 8

PARISH COUNCIL DISTRICT: 14

TYPE OF DEVELOPMENT:   X   SUBURBAN (Residential acreage between 1-5 acres)  
       RURAL (Low density residential 5 acres or more)  
       OTHER (PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: Located on the south side of Robert Road, west of Katie & Val Lane, Pearl River, Louisiana.

SURROUNDING LAND USES: Residential & Undeveloped

TOTAL ACRES IN DEVELOPMENT: 3.539 acres

NUMBER OF LOTS/PARCELS: 3.539 acres (Lot B) into lots B-1, B-2, & B-3

ZONING: A-3 Suburban District

### STAFF COMMENTARY:

#### Department of Planning & Development and Department of Engineering

The applicant is requesting to create three (3) lots B1, B2 & B3. The minor subdivision request requires a public hearing due to:

- The minor subdivision of the three lots is proposed to be access from a proposed 35 foot access drive, requiring approval from the Planning Commission.
- Lot B was previously part of a minor subdivision approved in October 2021 (2021-2553-MSP).
- Requesting a waiver to construct the 35' access servitude and the required drainage prior to building permit being issued on lots B2 & B3 instead of prior to plats being recorded. Add the following note to the survey: BUILDING PERMITS CANNOT BE FILED ON LOTS B2 & B3 UNTIL THE DRAINAGE AND ROAD HAS BEEN COMPLETED IN ACCORDANCE WITH THE MINOR SUBDIVISION ORDINANCE.
- Allowing construction of the private drive up to Lot B-3, since Lot C is not part of the minor subdivision.

The request shall be subject to the above and below comments:

1. Correct survey as follow: Lot B1, Lot B2, ~~Lot B2~~ Lot B3.
2. As per 911 Communication District, survey shall be amended as follow: ~~Robert Road (a.k.a. Louisiana Highway 1091)~~ HWY 1091 AKA ROBERT RD
3. Add previous minor subdivision file reference number 6057A to the survey
4. Provide recordation information for the 35 foot access servitude.

5. Confirm that the calculation for the area of lots B-1, B-2 & B-3 is exclusive of the proposed private drive.
6. Reduce the length of the 35 foot access servitude to extend up to lot B3 since Lot C is not included in the minor subdivision.
7. Submit plans of proposed private drive to the Department of Engineering for review and approval.
8. The private drive is subject to Section 125-189 - Minimum construction standards for a private drive (listed below):
  - a. Perpetual servitude of access with a minimum width of 35 feet.
  - b. Driving surface of 20 feet in width with two-foot shoulders on each side of the drive and 5½ feet on each side of the shoulder devoted to ditching/drainage and or utilities.
  - c. Drive shall be constructed with suitable compacted subbase materials and overlaid with an aggregate material (i.e., shell, gravel, limestone, three-course treatment, asphalt, concrete, etc.) that is acceptable to the Department of Engineering.
  - d. Ditch or ditches shall be constructed on either one or both sides of a drive in accordance to standard practices adopted by the Department of Engineering in order to provide adequate drainage.
  - e. Plans for the construction of the private drive and drainage submitted to the Department of Engineering for review and approval prior to the initiation of work.
  - f. Final inspection of the work performed by the Department of Engineering, after the private drive has been constructed and drainage improvements made.
  - g. Once the private drive has been constructed and all drainage improvements completed and approved by the Department of Engineering, then, and only then can the minor subdivision be recorded for public record in the clerk of court's office and the lots sold or donated.

In order to approve the waivers a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 - Subdivision Regulations.





2022-2786-MSP

J BARY

ABNEY FARM

ABNEY

RED ROOSTER

1091

T3-R14E

24

ROBERT RD

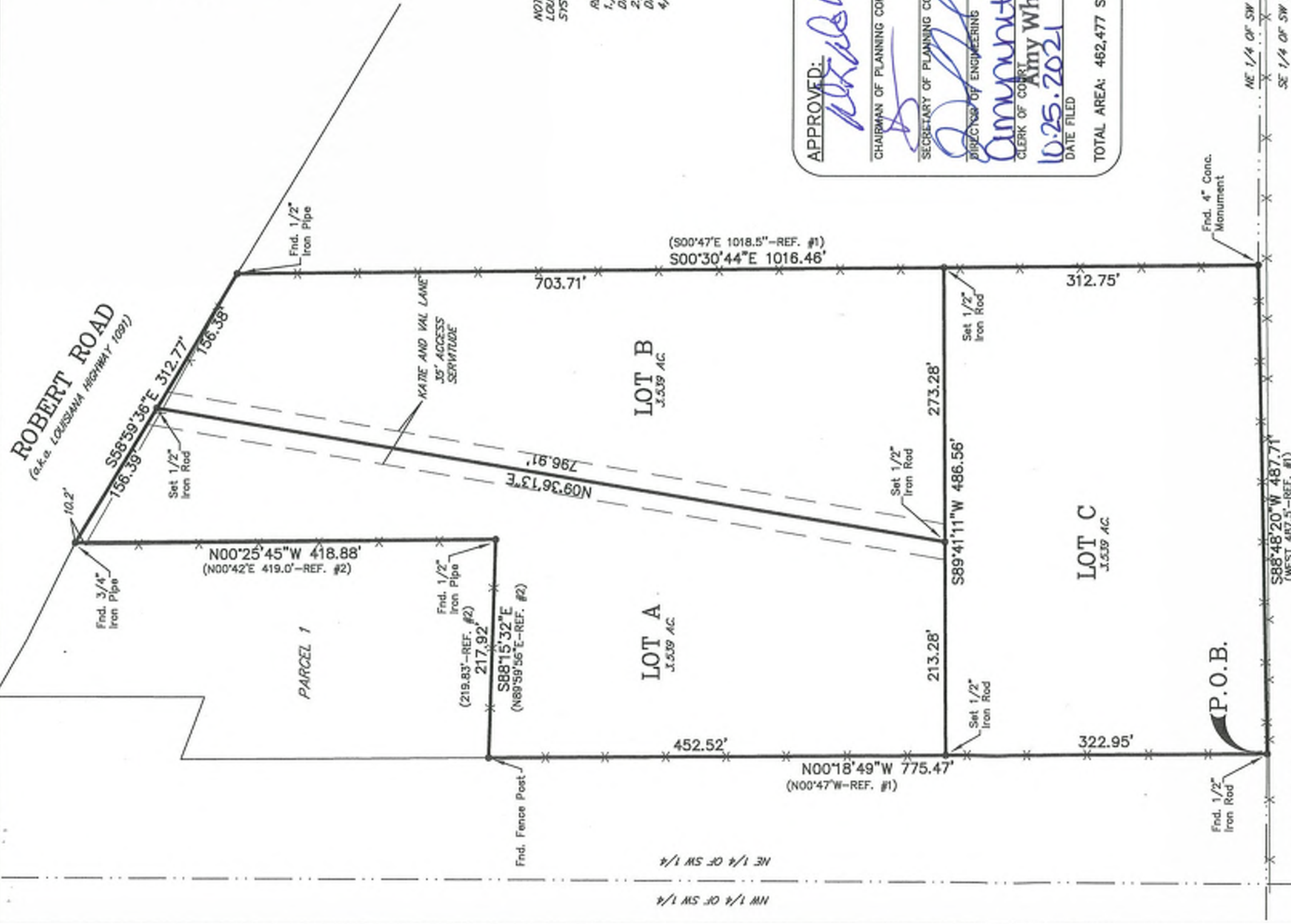
SEITTER







ROBERT ROAD  
(a.k.a. LOUISIANA HIGHWAY 1091)



NOTE: BEARINGS REFER TO THE  
LOUISIANA STATE PLANE COORDINATE  
SYSTEM (L.A. SOUTH 1702).

REFERENCE SURVEYS:  
1.) A SURVEY BY IVAN BORDEN  
DATED 1/19/72  
2.) A SURVEY BY IVAN BORDEN  
DATED 7/21/83, LAST REMISED  
4/14/84, SURVEY NO. 34306/38621.

APPROVED: *[Signature]*  
CHAIRMAN OF PLANNING COMMISSION  
DATE  
SECRETARY OF PLANNING COMMISSION  
DATE  
DIRECTOR OF ENGINEERING  
DATE  
CLERK OF COURT  
Amy White, Deputy Clerk  
10-25-2021  
FILE NO. 60571A  
TOTAL AREA: 452,477 SQ. FT. OR 10.617 ACRES

GRAPHIC SCALE  
(IN FEET)  
1 INCH = 120 FEET

BUILDING SETBACKS  
(Verify Prior to Construction)  
Front Setback.....  
Side Setback.....  
Rear Setback.....

FLRM. No. 225205.0430 D  
FLRM. Date 4/21/99  
ZONING C B.F.E. N/A  
\* Verify prior to construction with  
Local Governing Body.

DRAWN BY: JDL  
CHECKED BY: RMK

SCALE: 1" = 120'

J.V. Burkes & Associates, Inc.

ENGINEERING • ENVIRONMENTAL  
1805 Shortcut Highway  
Slidell, Louisiana 70458  
E-mail: jvbassoc@jvburkes.com  
Phone: 985-849-0075 Fax: 985-849-0154

DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE  
SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS  
OR SUBSEQUENT OWNERS. SURVEY IS VALID ONLY IF PRINT HAS  
ORIGINAL SEAL OF SURVEYOR.

A MINOR SUBDIVISION MAP OF A  
10.617 ACRE PARCEL INTO LOT A,  
LOT B AND LOT C SITUATED IN  
SECTION 24, T-8-S, R-14-E,  
GREENSBURG LAND DISTRICT  
ST. TAMMANY PARISH, LOUISIANA  
CERTIFIED  
TO: THE ESTATE OF CATHERINE LAMBERT



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(As of April 5, 2022)  
Meeting Date: April 12, 2022

1. Indicate on survey that Parcels E-4-A, E-4-B, E-5-A & E-5-B are not a part.
2. Confirm that the calculation for the area of parcels EE-1, EE-2, EE-3 & EE-4 is exclusive of the proposed private drive.
3. Submit plans of proposed private drive to the Department of Engineering for review and approval.
4. The private drive is subject to Section 125-189 - Minimum construction standards for a private drive (listed below):
  - a. Perpetual servitude of access with a minimum width of 35 feet.
  - b. Driving surface of 20 feet in width with two-foot shoulders on each side of the drive and 5½ feet on each side of the shoulder devoted to ditching/drainage and or utilities.
  - c. Drive shall be constructed with suitable compacted subbase materials and overlaid with an aggregate material (i.e., shell, gravel, limestone, three-course treatment, asphalt, concrete, etc.) that is acceptable to the Department of Engineering.

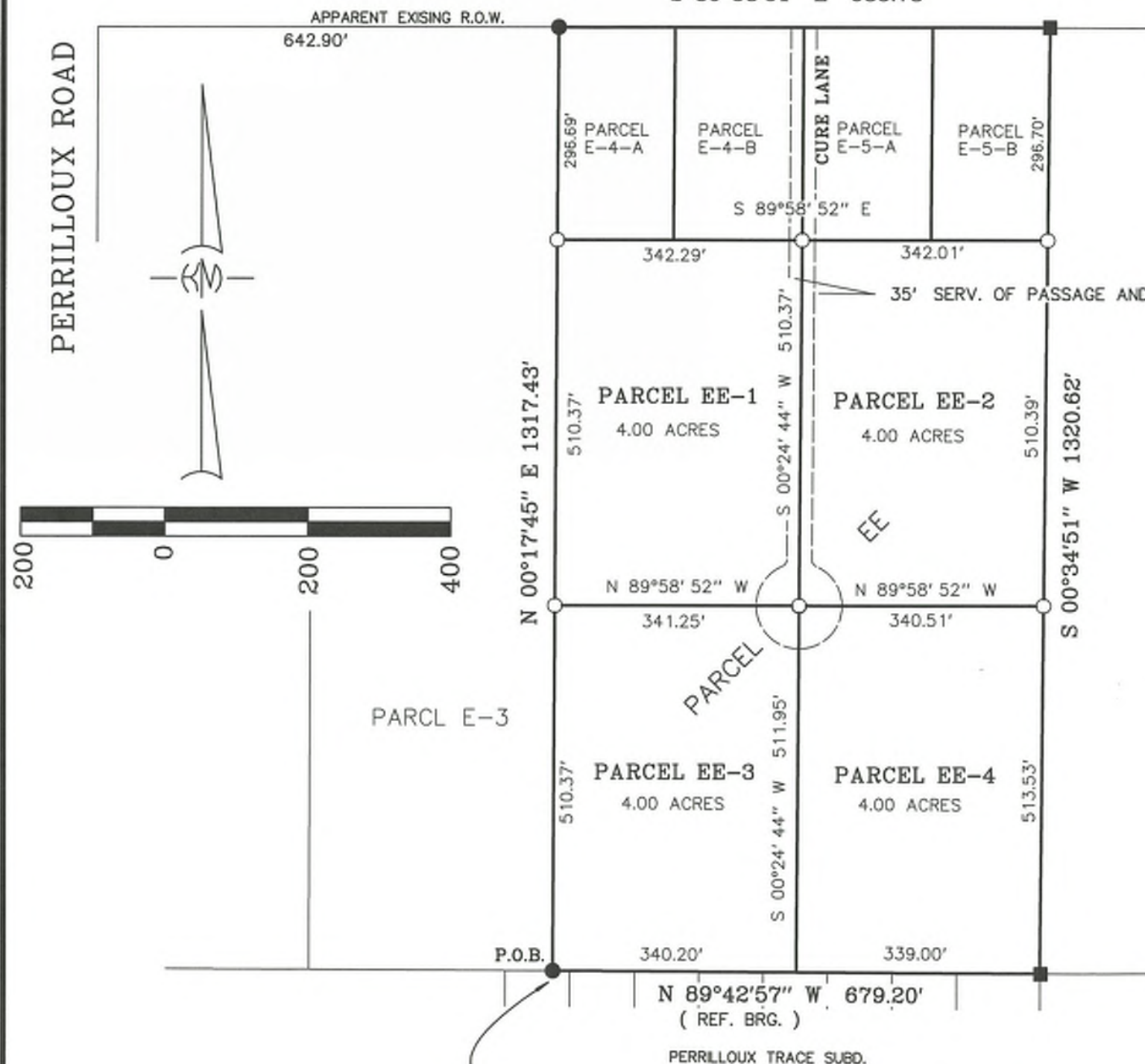
- d. Ditch or ditches shall be constructed on either one or both sides of a drive in accordance to standard practices adopted by the Department of Engineering in order to provide adequate drainage.
- e. Plans for the construction of the private drive and drainage submitted to the Department of Engineering for review and approval prior to the initiation of work.
- f. Final inspection of the work performed by the Department of Engineering, after the private drive has been constructed and drainage improvements made.
- g. Once the private drive has been constructed and all drainage improvements completed and approved by the Department of Engineering, then, and only then can the minor subdivision be recorded for public record in the clerk of court's office and the lots sold or donated.







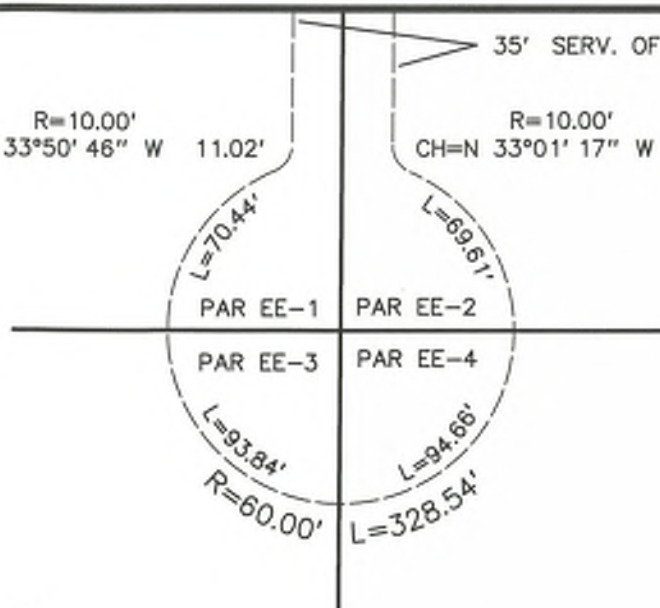
PERRILLOUX ROAD



THE P.O.B IS REPORTED TO BE SOUTH 1334.52, THENCE S 89°42'57" E 660.57' FROM THE 1/4 CORNER COMMON TO SECTIONS 9 & 16, T-7-S, R-10-E, ST. TAMMANY PARISH, LA.

R=10.00'  
CH=S 33°50'46" W 11.02'

R=10.00'  
CH=N 33°01'17" W 11.02'



CUL-DE-SAC DETAIL  
(NOT TO SCALE)

NOTE:  
OWNER OR CONTRACTOR IS RESPONSIBLE  
FOR VERIFYING BUILDING SETBACKS & SERVITUDES  
BEFORE CONSTRUCTION BEGINS.

NO SETBACKS OR SERVITUDES SHOWN HEREON.

-- LEGEND --

- = 1/2" IRON ROD FOUND
- = 1/2" IRON ROD SET
- = 1/2" IRON PIPE FOUND

THIS PROPERTY IS LOCATED IN FLOOD  
ZONE C ; BASE FLOOD ELEV. N/A ; F.I.R.M.  
PANEL NO. 225205 0205 C ; REV. 10-17-1989

NOTE: SERVITUDES SHOWN HEREON ARE NOT NECESSARILY  
EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE  
OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON  
REQUEST, AS SURVEYOR HAS NOT PERFORMED ANY TITLE  
SEARCH OR ABSTRACT.



KELLY J. McHUGH, REG. NO. 4443  
CERTIFIED CORRECT AND IN ACCORDANCE WITH A PHYSICAL  
SURVEY MADE ON THE GROUND AND COMPLYING WITH THE  
CURRENT APPLICABLE STANDARDS OF PRACTICE FOR A CLASS  
"C" SURVEY. RED STAMP SIGNIFIES CORRECT PLAT.

03-03-22

APPROVAL:

CHAIRMAN PARISH PLANNING COMMISSION

SECRETARY PARISH PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

DATE FILED FILE NO.

CLERK OF COURT

REFERENCE: A RE-SUBDIVISION PLAT BY THIS FIR,  
INC., FILED FOR RECORD 02-02-2022, MAP FILE NO. 6082D

An Amendment to An Existing MINOR SUBDIVISION:  
PARCEL EE INTO  
PARCELS EE-1, EE-2, EE-3, EE-4,  
SECTION 16, T-7-S, R-10-E  
GREENSBURG LAND DISTRICT,  
ST. TAMMANY PARISH, LA.

PREPARED FOR:

JAMIE & GILLIS CURE

KELLY J. McHUGH & ASSOC., INC.  
CIVIL ENGINEERS & LAND SURVEYORS  
845 GALVEZ ST., MANDEVILLE, LA. 626-5611

SCALE: 1" = 200' DATE: 03-03-22  
DRAWN: MDM JOB NO.: 21-045 PAR EE  
REVISED:

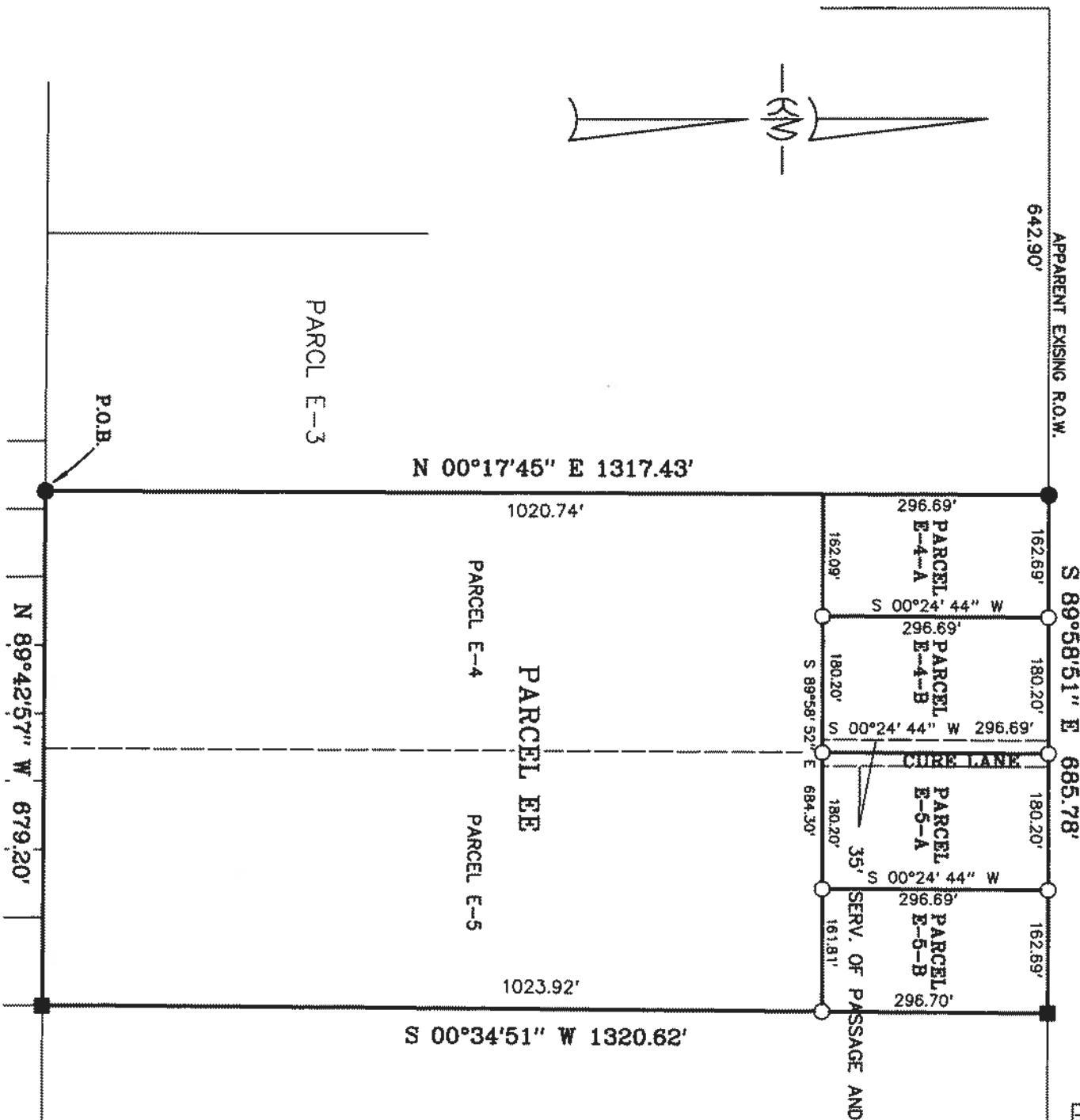




PERRILLOUX ROAD

BREWSTER ROAD (ASPHALT)

PARCEL E-4-A	1.10 ACRES	48179 SQ. FT.
PARCEL E-4-B	1.23 ACRES	53463 SQ. FT.
PARCEL E-5-A	1.23 ACRES	53463 SQ. FT.
PARCEL E-5-B	1.11 ACRES	48138 SQ. FT.
PARCEL EE	16.00 ACRES	696960 SQ. FT.



PERRILLOUX TRACE SUBD.

( REF. BRG. )

THE P.O.B IS REPORTED TO BE SOUTH 1334.52, THENCE S 89°42'57" E 660.57', FROM THE 1/4 CORNER COMMON TO SECTIONS 9 & 16, T-7-S, R-10-E, ST. TAMMANY PARISH, LA.

NOTE:  
OWNER OR CONTRACTOR IS RESPONSIBLE  
FOR VERIFYING BUILDING SETBACKS & SERVITUDES  
BEFORE CONSTRUCTION BEGINS.

NO SETBACKS OR SERVITUDES SHOWN HEREON.

- LEGEND --
- = 1/2" IRON ROD FOUND
  - = 1/2" IRON ROD SET
  - = 1/2" IRON PIPE FOUND

THIS PROPERTY IS LOCATED IN FLOOD  
ZONE C ; BASE FLOOD ELEV. N/A ; F.I.R.M.  
PANEL NO. 225205 0205 C ; REV. 10-17-1989

NOTE: SERVITUDES SHOWN HEREON ARE NOT NECESSARILY  
EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE  
OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON  
REQUEST. AS SURVEYOR HAS NOT PERFORMED ANY TITLE  
SEARCH OR ABSTRACT.



KELLY J. MCHUGH REG. NO. 4443

01-06-22

CERTIFIED CORRECT AND IN ACCORDANCE WITH A PHYSICAL  
SURVEY MADE ON THE GROUND AND COMPLYING WITH THE  
CURRENT APPLICABLE STANDARDS OF PRACTICE FOR A CLASS  
"C" SURVEY. RED STAMP SIGNIFIES CORRECT PLAT.

APPROVAL:

CHAIRMAN PARISH PLANNING COMMISSION

SECRETARY PARISH PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

DATE FILED FILE NO.

CLERK OF COURT

Heather Tenorio, Deputy Clerk

REFERENCE: A RE-SUBDIVISION PLAT BY LAND SURVEYING  
INC., FILED FOR RECORD 07-29-2019, MAP FILE NO. 5853B

MINOR SUBDIVISION OF:

PARCELS E-4 & E-5 INTO  
PARCELS EE, E-4-A, E-4-B, E-5-A, E-5-B  
SECTION 16, T-7-S, R-10-E  
GREENSBURG LAND DISTRICT,  
ST. TAMMANY PARISH, LA.

PREPARED FOR:

JAMIE & GILLIS CURE

KELLY J. MCHUGH & ASSOC., INC.

CIVIL ENGINEERS & LAND SURVEYORS  
845 GALVEZ ST., MANDEVILLE, LA. 70481-5611

SCALE: 1" = 200'  
DRAWN: MDM DATE: 12-15-21  
REVISED: JOB NO.: 21-045

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## MINOR SUBDIVISION STAFF ANALYSIS REPORT

(As of April 5, 2022)

Meeting Date: April 12, 2022

CASE NO.: 2022-2796-MSP

Owners & Representative: Walter Morton

ENGINEER/SURVEYOR: Kelly J. McHugh, Kelly J. McHugh & Assoc., Inc.

SECTION: 17

TOWNSHIP: 6 South

RANGE: 11 East

WARD: 3

PARISH COUNCIL DISTRICT: 2

TYPE OF DEVELOPMENT: ☐ SUBURBAN (Residential acreage between 1-5 acres)  
☒ RURAL (Low density residential 5 acres or more)  
☐ OTHER (PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: Located on the north side of Amanda Drive, east of US Highway 25, Covington, Louisiana.

SURROUNDING LAND USES: Commercial, Industrial, Residential & Undeveloped

TOTAL ACRES IN DEVELOPMENT: 8.59 acres

NUMBER OF LOTS/PARCELS: 8.59 acres of land into lots M-1 & M-2

ZONING: NC-1 Neighborhood Commercial & NC-2 Neighborhood Commercial Zoning Districts

### STAFF COMMENTARY:

#### Department of Planning & Development and Department of Engineering

The applicant is requesting to create two (2) lots M-1 & M-2. The minor subdivision request requires a public hearing due to:

- The minor subdivision of the two lots is proposed to be access from an existing 60 foot private access drive of which 20.53 foot portion is part of the property, requiring approval from the Planning Commission.
- Requesting a waiver of Section 125-189 minimum construction standard for a private drive.

The request shall be subject to the above and below comments:

1. As per 911 Communication District: remove "Amanda Drive" from the survey and only indicate 60 foot private R/W.
2. If the waiver is not granted. The private drive is subject to Section 125-189 - Minimum construction standards for a private drive (listed below):
  - a. Perpetual servitude of access with a minimum width of 35 feet.
  - b. Driving surface of 20 feet in width with two-foot shoulders on each side of the drive and 5½ feet on each side of the shoulder devoted to ditching/drainage and or utilities.
  - c. Drive shall be constructed with suitable compacted subbase materials and overlaid with an aggregate material (i.e., shell, gravel, limestone, three-course treatment, asphalt, concrete, etc.) that is acceptable to the Department of Engineering.

- d. Ditch or ditches shall be constructed on either one or both sides of a drive in accordance to standard practices adopted by the Department of Engineering in order to provide adequate drainage.
- e. Plans for the construction of the private drive and drainage submitted to the Department of Engineering for review and approval prior to the initiation of work.
- f. Final inspection of the work performed by the Department of Engineering, after the private drive has been constructed and drainage improvements made.
- g. Once the private drive has been constructed and all drainage improvements completed and approved by the Department of Engineering, then, and only then can the minor subdivision be recorded for public record in the clerk of court's office and the lots sold or donated.

In order to approve the waivers a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 - Subdivision Regulations.





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ST GERTRUDE

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T6 - R11E

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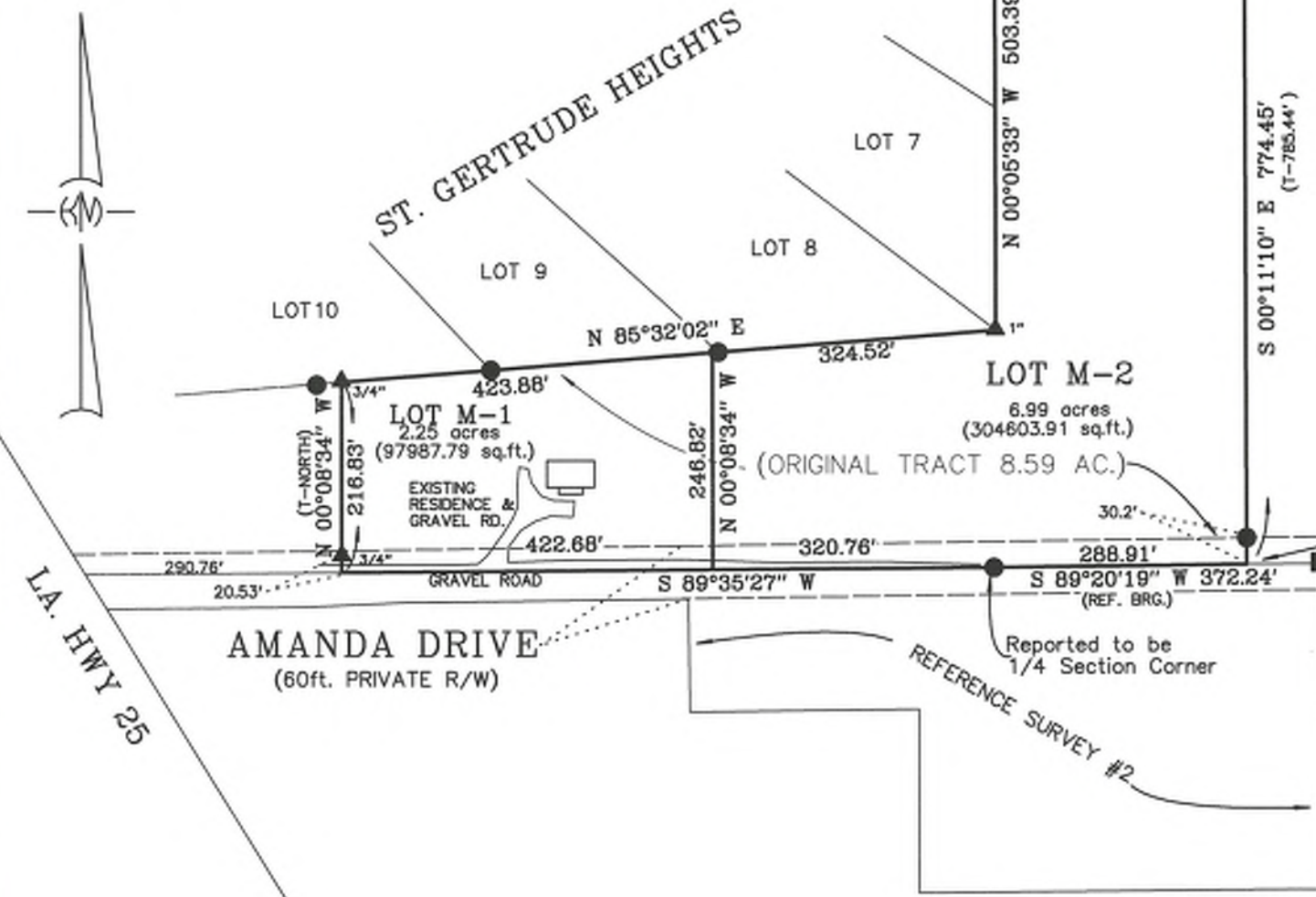
3

5



# LEGEND:

- = 1/2" IRON ROD FOUND
- = CONCRETE MONUMENT FND.
- ▲ = IRON PIPE FOUND (SIZE NOTED)



## REFERENCE SURVEYS

1. PLAT OF A PREVIOUS SURVEY  
BY THIS FIRM DATED 10-04-1993  
JOB NO. 93-475
2. PLAT OF A SURVEY BY  
JAMES J. JONES & ASSOC., INC.  
DATED 07-01-2010, JOB NO. 10-39-1  
FROM WHICH REFERENCE BEARING WAS TAKEN

## APPROVAL:

CHAIRMAN PARISH PLANNING COMMISSION

SECRETARY PARISH PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

DATE FILED FILE NO.

CLERK OF COURT

The Point of Beginning is reported to be South 89°15' West a distance of 2347.08 feet from the Section Corner common to Sections 16, 17, 20, & 21 Township-6-South, Range-11-East

NOTE:  
NO ATTEMPT HAS BEEN MADE BY KELLY McHUGH & ASSOC., INC. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT.



CERTIFIED TO BE IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND AND COMPLYING WITH THE CURRENT APPLICABLE STANDARDS OF PRACTICE FOR A CLASS "C" SURVEY. RED STAMP SIGNIFIES CERTIFIED PLAT.

PREPARED FOR:

WALTER MORTON

KELLY J. McHUGH & ASSOC., INC.  
CIVIL ENGINEERS & LAND SURVEYORS  
845 GALVEZ ST., MANDEVILLE, LA. 70401-5611

A RESUBDIVISION OF A PREVIOUSLY UN-NAMED PARCEL OF LAND BEING 8.59 ACRES AND A PORTION OF 60ft. ACCESS SERVITUDE (1.12 AC.) INTO LOTS M-1 AND M-2, ALL LOCATED IN SECTION 17, TOWNSHIP-6-SOUTH, RANGE-11-EAST, G.L.D. ST. TAMMANY PARISH, LOUISIANA.

SCALE: 1" = 200' DATE: 03-30-22  
DRAWN: DRJ JOB NO.: 22-080  
REVISED:



# **RESUBDIVISION REVIEW**

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**RESUBDIVISION STAFF ANALYSIS REPORT**

*(As of April 5, 2022)*

*Meeting Date: April 12, 2022*

CASE FILE NO: 2022-2770-MRP

NAME OF SUBDIVISION: Lakeshore Estates

LOTS BEING DIVIDED: Lots 36-A, 37-A & 38-A into Lots 36-A1 & 38-A1

SECTION: 34

WARD: 9

TOWNSHIP: 9 South

PARISH COUNCIL DISTRICT: 13

RANGE: 14 East

PROPERTY LOCATION: The property is located on the east side of Marina Villa North, north of Marina Villa Blvd, Slidell, Louisiana.

ZONING: PUD Planned Unit Development

PROPERTY OWNER: Daniel J. & Ann Sharon DeBlanc

**STAFF COMMENTARY:**

**Department of Planning & Development and Department of Engineering**

The owner is requesting to create two (2) lots – 36-A1 & 38-A1. The public hearing is required considering that:

- As stated in the restrictive covenants of the approved plat, no lots shall be further resubdivided without approval from the Planning Commission.

The request shall be subject to the above and below comments:

1. Provide the signature line for the chairman of the Planning Commission.
2. Provide note on the survey indicating the previous map file number for Lot 36-A.

PARCEL 4 (PT)

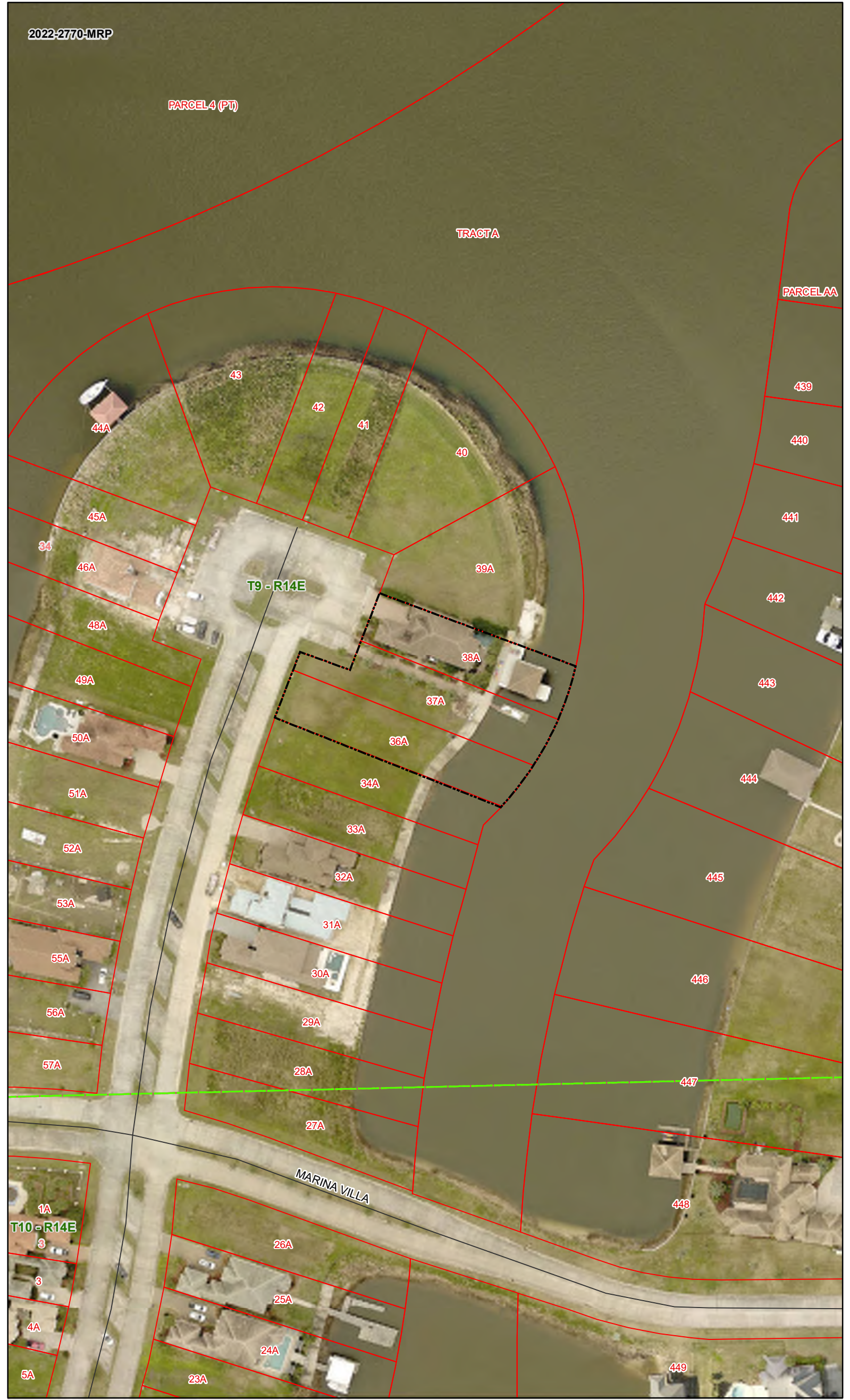
TRACTA

PARCEL AA

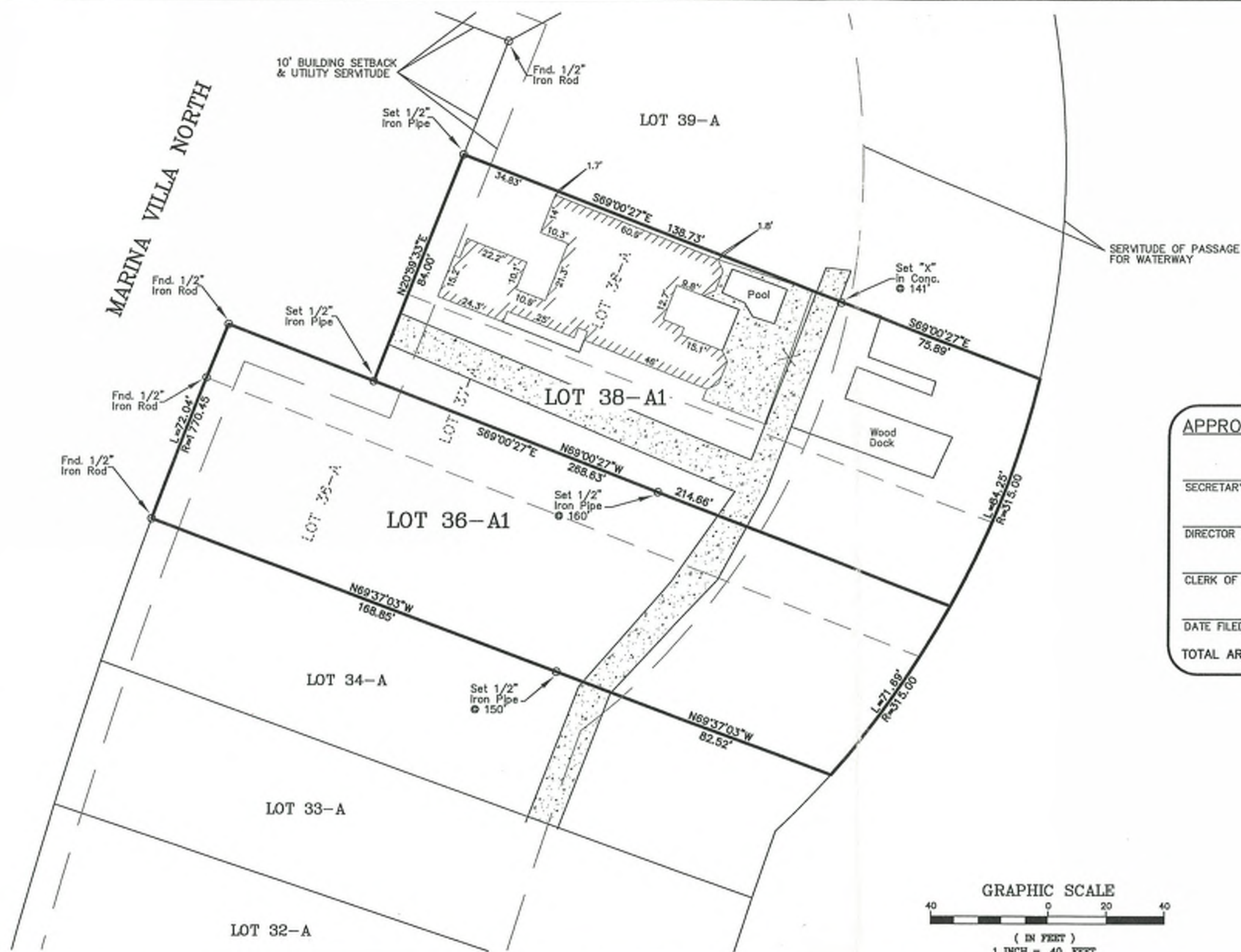
T9 - R14E

T10 - R14E

MARINA VILLA







APPROVED:

SECRETARY OF PLANNING COMMISSION DATE

DIRECTOR OF ENGINEERING DATE

CLERK OF COURT DATE

DATE FILED FILE NO.

TOTAL AREA: 36,670 SQ. FT. OR 0.84 ACRES

SCALE: 1" = 40'

DATE: 5/21/13

DRAWN BY: JDL CHECKED BY: SMB

DWG. NO: 20130213

SHEET 1 OF 1

I certify that this plat does represent an actual ground survey and that to the best of my knowledge no encroachments exist either way across any of the property lines, except as shown. Encumbrances shown hereon are not necessarily exclusive. Encumbrances of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.

I have consulted the Flood Insurance Rate Maps and found this property is in a Special Flood Hazard Area.

F.I.R.M.: 225205 0535 D  
DATE: 11/8/05  
ZONE: AE  
B.F.E. = 13'

\* Verify prior to construction with local governing body.

**A RESUBDIVISION MAP OF LOTS 36-A, 37-A & 38-A INTO LOTS 36-A1 & LOT 38-A1, LAKESHORE EST., MARINA VILLA, SEC. 34, T-9-S, R-14-E, ST. TAMMANY PARISH, LOUISIANA**

Declaration is made to original purchaser of the survey. It is not transferable to additional institutions or subsequent owners. Survey is valid only if print has original seal of surveyor. Property is surveyed in accordance with the Louisiana "Minimum Standards for Property Boundary Surveys" for a Class C survey. Bearings are based on record bearings unless noted otherwise.

DAN DEBLANC

**J.V. Burkes & Associates, Inc.**

SURVEYING ENGINEERING • ENVIRONMENTAL



1805 Shortcut Highway  
Slidell, Louisiana 70458  
E-mail: jvbassoc@jvburkes.com

Phone: 985-649-0075 Fax: 985-649-0154  
Mississippi Phone: 228-435-5800





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## RESUBDIVISION STAFF ANALYSIS REPORT

*(As of April 5, 2022)*

*Meeting Date: April 12, 2022*

CASE FILE NO: 2022-2773-MRP

NAME OF SUBDIVISION: Money Hill Plantation

LOTS BEING DIVIDED: Lot 16A1 into Lots C1, C2 & 16A2

SECTION: 23 & 26

WARD: 5

TOWNSHIP: 5 South

PARISH COUNCIL DISTRICT: 6

RANGE: 12 East

PROPERTY LOCATION: The property is located at the southeast corner of LA Highway 21 & Money Hill Parkway, Abita Springs, Louisiana

ZONING: HC-2 Highway Commercial District & A-2 Suburban District

PROPERTY OWNER: Money Hill Plantation, LLC

### **STAFF COMMENTARY:**

#### **Department of Planning & Development and Department of Engineering**

The owner is requesting to create three (3) lots – C1, C2 & 16A2. The public hearing is required considering that:

- As stated in the restrictive covenants of the approved plat, no lots shall be further resubdivided without approval from the Planning Commission.

The request shall be subject to the above and below comments:

1. Indicate on the survey the boundaries of Lot 16A1.
2. Survey should read as follow: A resubdivision of Lot 16A1 into lots ~~C1, C2 & 16A2~~ **16A1-1, 16A1-2 & 16A1-3.**





2022-2773-MRP



2022-2773-MRP



2022-2773-MRP



# APPROVED:

CHAIRMAN OF PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_

SECRETARY OF PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_

DIRECTOR OF ENGINEERING \_\_\_\_\_ DATE \_\_\_\_\_

CLERK OF COURT \_\_\_\_\_ DATE \_\_\_\_\_

DATE FILED \_\_\_\_\_ FILE NO. \_\_\_\_\_

TOTAL AREA: 731,111 SQ. FT. OR 16.784 ACRES

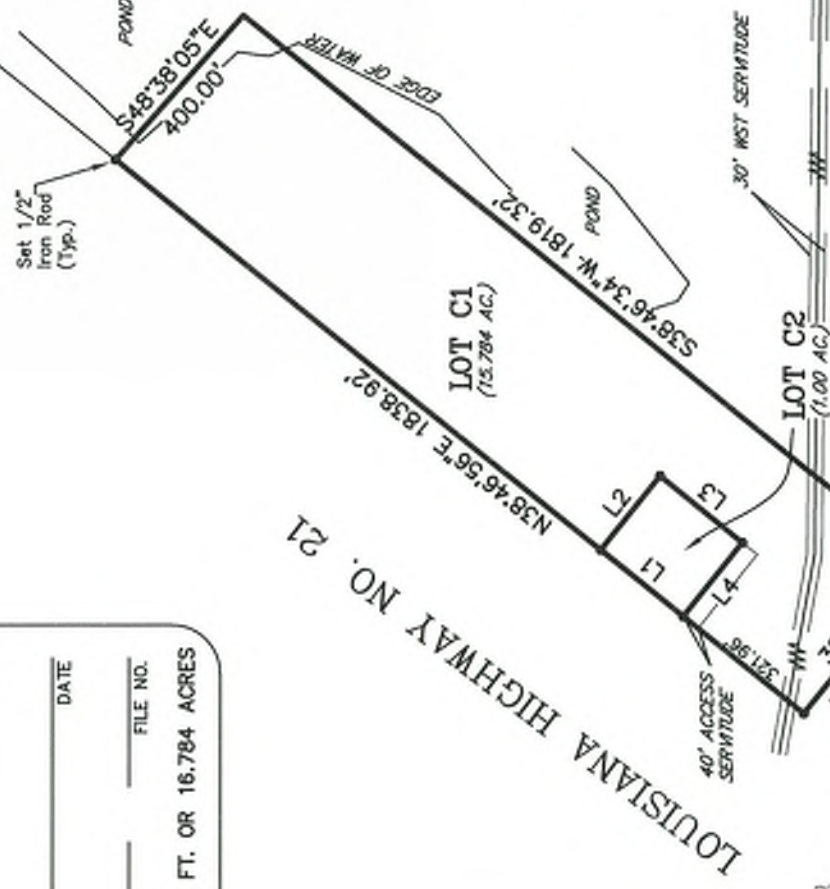
Line Table		
Line #	Length	Direction
L1	221.00'	N38°46'56"E
L2	196.92'	S51°13'04"E
L3	221.00'	S38°46'56"W
L4	196.92'	N51°13'04"W

NOTE: BEARINGS REFER TO THE LOUISIANA  
STATE PLANE COORDINATE SYSTEM  
(LOUISIANA SOUTH 1702).

## REFERENCE:

- 1.) A MINOR SUBDIVISION MAP BY JOHN E. BONNEAU DATED 5/31/13, SURVEY NO. 2013 071, FILED FOR RECORD 9/24/13, MAP FILE NO. 52088.
- 2.) A MINOR SUBDIVISION MAP BY THIS FIRM DATED 12/18/13, SURVEY NO. 20130580, FILED FOR RECORD 1/16/14, MAP FILE NO. 52300.

P.O.B. IS N35°17'32"W 12,934.01' FROM THE SECTION CORNER COMMON TO SECTION 35, T-5-S, R-12-E, SECTION 1, T-6-S, R-12-E, SECTION 31, T-5-S, R-13-E AND SECTION 6, T-6-S, R-13-E, GREENSBURG LAND DISTRICT, ST. TAMMANY PARISH, LOUISIANA.



SECTION 23  
SECTION 26

MONEY HILL PARKWAY

- LEGEND
- 1/2" Iron Rod Set
  - 1/2" Iron Rod Found
  - ⊕ Cross
  - Fence
  - Power Line
  - ⊕ Power Pole

ADDRESS: LA. HWY. 21

I CERTIFY THAT THIS PLAT DOES REPRESENT AN ACTUAL GROUND SURVEY AND THAT TO THE BEST OF MY KNOWLEDGE NO ENCROACHMENTS EXIST EITHER WAY ACROSS ANY OF THE PROPERTY LINES, EXCEPT AS SHOWN.

PROPERTY IS SURVEYED IN ACCORDANCE WITH THE LOUISIANA STANDARDS OF PRACTICE FOR PROPERTY BOUNDARY SURVEYS FOR A CLASS C SURVEY. BEARINGS ARE BASED ON RECORD BEARINGS UNLESS NOTED OTHERWISE.

ENCUMBRANCES SHOWN HEREON ARE NOT NECESSARILY EXCLUSIVE. ENCUMBRANCES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST, AS SURVEYOR HAS NOT PERFORMED ANY TITLE SEARCH OR ABSTRACT.

BUILDING SETBACKS  
(\* Verify Prior to Construction)  
Front Setback.....  
Side Setback.....  
Rear Setback.....

DRAWING NO.

20210080

DATE

01/18/2022

REVISED:

**J.V. Burkes & Associates, Inc.**

SURVEYING

ENGINEERING • ENVIRONMENTAL

1805 Shortcut Highway  
Slidell, Louisiana 70458  
E-mail: jvbassoc@jvburkes.com

Phone: 985-649-0075 Fax: 985-649-0154

DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL OF SURVEYOR.

A RESUBDIVISION OF LOT 16A1 INTO  
LOTS C1, C2 AND 16A2, MONEY HILL PLANTATION  
LOCATED IN SECTIONS 23 & 26,  
T-5-S, R-12-E, GLD,  
ST. TAMMANY PARISH, LOUISIANA

CERTIFIED TO:  
MONEY HILL PLANTATION

DRAWN BY: JDL

CHECKED BY: DJP

SCALE:

1" = 400'



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## **RESUBDIVISION STAFF ANALYSIS REPORT**

*(As of April 5, 2022)*

*Meeting Date: April 12, 2022*

CASE FILE NO: 2022-2782-MRP

NAME OF SUBDIVISION: Whippoorwill Grove on Money Hill Phase 3

LOTS BEING DIVIDED: Lots 165 & 166 into lot 165-A

SECTION: 14

WARD: 5

TOWNSHIP: 5 South

PARISH COUNCIL DISTRICT: 6

RANGE: 12 East

PROPERTY LOCATION: The property is located on the north side of Turkey Ridge Road, east of Blue Heron Drive, Bush, Louisiana.

ZONING: A-2 Suburban District

PROPERTY OWNER: Michael & Edna Brooks

### **STAFF COMMENTARY:**

#### **Department of Planning & Development and Department of Engineering**

The owner is requesting to create one (1) lot – 165-A. The public hearing is required considering that:

- As stated in the restrictive covenants of the approved plat, no lots shall be further resubdivided without approval from the Planning Commission.









A RESUBDIVISION  
COMBINING LOTS 165 & 166  
INTO LOT 165-A  
IN WHIPPOORWILL GROVE  
ON MONEY HILL, PHASE 3

JULIA JUICE  
LOT 167

LOT 165-A  
4.43 ACRES

LOT LINE AS PER  
SUBDIVISION PLAT



10x12  
WOOD DECK

18.5'

GRAVEL DRIVE

SOFT FRONT SETBACK

TURKEY RIDGE ROAD

(60FT ROW) (ASPHALT)

SOFT FRONT SETBACK

1/2" IRF

P.O.B.

MONUMENT B

N: 769579.60  
E: 3710017.96

0.7'

(T: S 76°33'00" E 100.00')

S 76°02'32" E 100.01'

(T: N 63°03'39" E 230.00')

N 63°03'39" E 230.00'

25FT REAR SETBACK

25FT REAR SETBACK

20FT SIDE SETBACK

20FT SIDE SETBACK

1/2" IRF

1/2" IRF

1/2" IRF

1/2" IRF

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(T: S 36°04'30" E 419.77')  
S 36°04'30" E 419.77'

(T: N 48°03'00" E 212.00')

S 48°03'00" E 212.00'

1/2" IRF

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REFERENCE BEARING  
(T: N 12°25'43" W 540.37')  
N 12°25'43" W 540.37'

SILVIA HENRY  
LOT 164

MONUMENT B  
N: 769579.60  
E: 3710017.96

0.7'

(T: S 76°33'00" E 100.00')

S 76°02'32" E 100.01'

(T: N 63°03'39" E 230.00')

N 63°03'39" E 230.00'

25FT REAR SETBACK

25FT REAR SETBACK

20FT SIDE SETBACK

20FT SIDE SETBACK

1/2" IRF

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NOTES:

1. NO ATTEMPT HAS BEEN MADE BY NOBLES AND ASSOCIATES, LLC TO VERIFY THE CURRENT ENVIRONMENTAL CONDITIONS, PROPERTY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, RESTRICTIONS OR BURDENS ON THE PROPERTY OTHER THAN THAT FURNISHED BY THE CLIENT AND/OR HIS REPRESENTATIVE AND OTHER THAN THAT WHICH HAS BEEN OBSERVED IN THE PREPARATION OF THE SURVEY.

2. GOVERNING AUTHORITY SHOULD BE CONSULTED FOR SETBACK AND SERVITUDE REQUIREMENTS.

3. THE BASE FLOOD ELEVATION IS SUBJECT TO CHANGE AND THE CURRENT BASE FLOOD ELEVATION SHOULD BE VERIFIED BY THE APPROPRIATE AUTHORITY.

4. ADJOINING PROPERTY OWNERS PROVIDED BY PARISH TAX ASSESSOR'S OFFICE.

5. SEE REFERENCES FOR PARENT TRACT INFORMATION.

6. BEARINGS ARE BASED ON R.T.K. OBSERVATION UTILIZING LEICA SMARTNET -

GEOD 18, LA S 1702, NAD83(2011).

MONUMENT A

SPC LA S NORTHING: 769,679.60 FT

SPC LA S EASTING: 3,710,017.96 FT

CONVERGENCE: (+00' 40" 55.74")

SCALE FACTOR: 0.99998199

MONUMENT B

SPC LA S NORTHING: 769,151.89 FT

SPC LA S EASTING: 3,710,134.26 FT

CONVERGENCE: (+00' 40" 56.37")

SCALE FACTOR: 0.99998172

COMMITTEE FROM SW CORNER OF LOT 165,  
WHIPPOORWILL GROVE ON MONEY HILL, PHASE 3

CHAIRMAN OF PLANNING COMMISSION

SECRETARY OF PLANNING COMMISSION

DIRECTOR OF DEPT. OF ENGINEERING

CLERK OF COURT

MAP FILE NO.

DATE

REFERENCE:

• SUBDIVISION PLAT BY LAND SURVEYING INC

DATED 05/17/1993, MAP NO. 1137

• MICHAEL BROOKS CASH SALE INST. NO.2019234

LEGEND:

P.O.B. POINT OF BEGINNING

MONUMENT FOUND

MONUMENT SET

FENCE LINE

ADJACENT PROP LINE

ORIGINAL PROP LINE

BOUNDARY LINES

BUILDING LINES

R.O.W. LINES

0 40' 80' 160'

SCALE: 1" = 80'



GEORGE B. NOBLES  
REG. NO. 4896  
REGISTERED  
PROFESSIONAL  
SURVEYOR

PLAT PREPARED FOR: MICHAEL BROOKS

SHOWING A SURVEY OF: LOT 165-A (4.43 ACRES) LOCATED IN WHIPPOORWILL GROVE ON MONEY HILL, PHASE 3, SECTION 14, TOWNSHIP 05 SOUTH, RANGE 12 EAST, ST. HELENA MERIDIAN, ST. TAMMANY PARISH, LOUISIANA.

DATE:	02/25/2022	REVISED:		CPN:	2252050175C	BASE FLOOD:	
DRAWN BY:	SWL	JOB NO.	3680	FIRM DATE:	10/17/1989	SCALE:	1" = 80'
CHECKED BY:	GBN	SHEET SIZE:	8.5x14	FIRM ZONE:	C	FIELD DATE:	02/23/2022

THIS PLAT REPRESENTS A PHYSICAL SURVEY MADE ON THE GROUND OR UNDER IT BY THE SURVEYOR, IN ACCORDANCE WITH THE RELEVANT STANDARDS FOR PROFESSIONAL SURVEYS FOR A CLASS 2 SURVEY.

GEORGE B. NOBLES, L.A. REG. NO. 4896  
PROFESSIONAL LAND SURVEYOR, LOUISIANA  
RED STAMP SHOWS CORRECT PLAT



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## **RESUBDIVISION STAFF ANALYSIS REPORT**

*(As of April 5, 2022)*

*Meeting Date: April 12, 2022*

CASE FILE NO: 2022-2785-MRP

NAME OF SUBDIVISION: Lakeshore Estates Phase 1A-1

LOTS BEING DIVIDED: Lots 122A & 123A into lot 123A-1

SECTION: 3

WARD: 9

TOWNSHIP: 10 South

PARISH COUNCIL DISTRICT: 13

RANGE: 14 East

PROPERTY LOCATION: The property is located on the north side of Lakeshore Blvd, east of Lakeshore Blvd. South, Slidell, Louisiana.

ZONING: PUD Planned Unit Development

PROPERTY OWNER: Michael & Maureen Perkins

### **STAFF COMMENTARY:**

#### **Department of Planning & Development and Department of Engineering**

The owner is requesting to create one (1) lot – 123A-1. The public hearing is required considering that:

- As stated in the restrictive covenants of the approved plat, no lots shall be further resubdivided without approval from the Planning Commission.

The request shall be subject to the above and below comments:

1. Provide the signature line for the chairman of the Planning Commission.
2. Provide note on the survey indicating the previous map file number for Lot 122A.

T10 - R14E

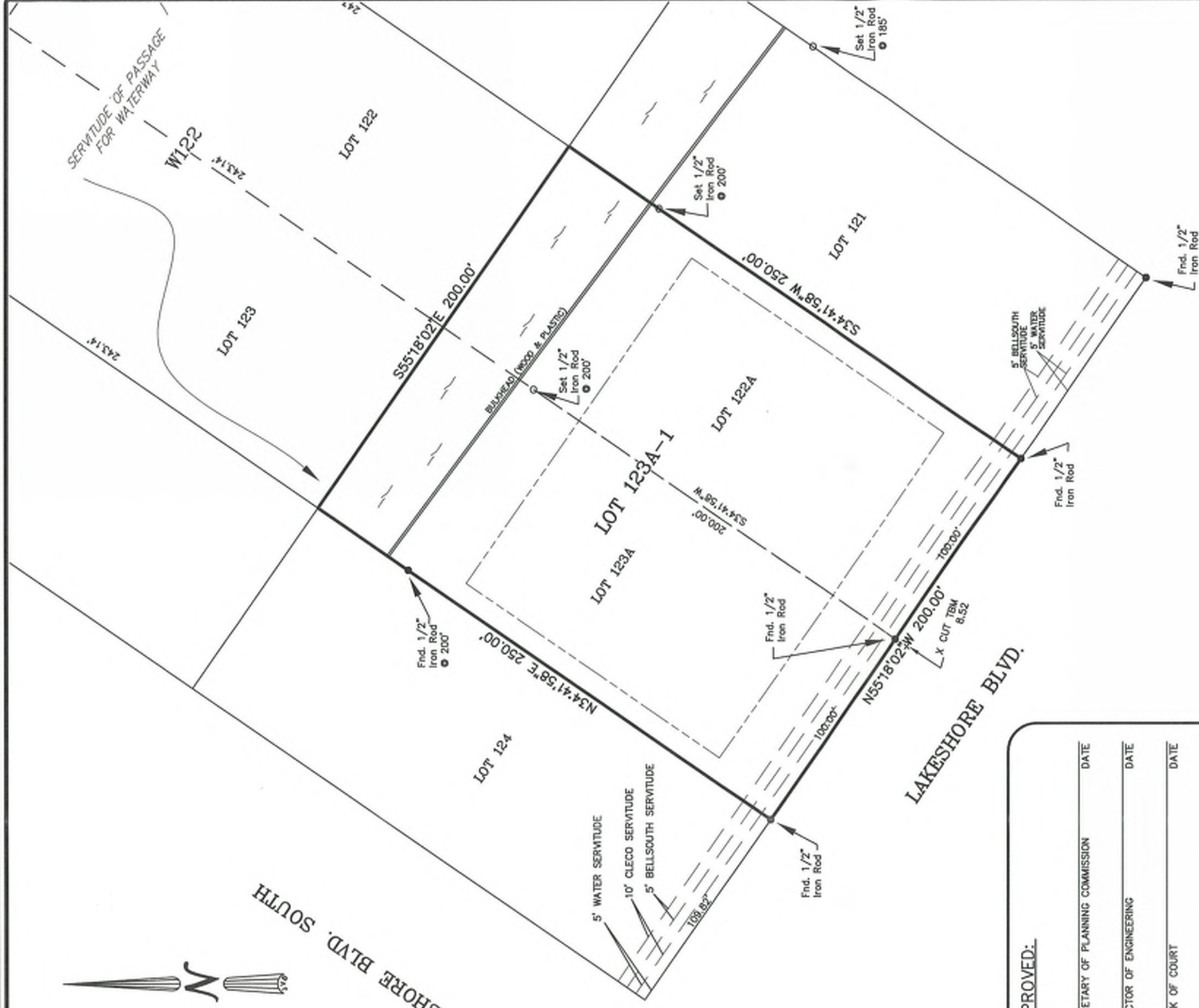
3

LAKESHORE





LAKESHORE BLVD. SOUTH



APPROVED:

SECRETARY OF PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_  
DIRECTOR OF ENGINEERING \_\_\_\_\_ DATE \_\_\_\_\_  
CLERK OF COURT \_\_\_\_\_ DATE \_\_\_\_\_  
DATE FILED \_\_\_\_\_ FILE NO. \_\_\_\_\_

TOTAL AREA: 50,000.00 SQ. FT. OR 1.148 ACRES



BUILDING SETBACKS  
(\* Verify Prior to Construction)  
Front Setback.....35'  
Side Setback.....10'  
Rear Setback.....25'

ADDRESS: LAKESHORE BLVD.

I CERTIFY THAT THIS PLAT DOES REPRESENT AN  
ACTUAL GROUND SURVEY AND THAT TO THE  
BEST OF MY KNOWLEDGE NO ENCROACHMENTS  
EXIST EITHER WAY ACROSS ANY OF THE  
PROPERTY LINES, EXCEPT AS SHOWN.

PROPERTY IS SURVEYED IN ACCORDANCE WITH THE  
LOUISIANA STANDARDS OF PRACTICE FOR PROPERTY  
BOUNDARY SURVEYS FOR A CLASS C SURVEY.  
BEARINGS ARE BASED ON RECORD BEARINGS UNLESS  
NOTED OTHERWISE.

ENCUMBRANCES SHOWN HEREON ARE NOT  
NECESSARILY EXCLUSIVE. ENCUMBRANCES OF RECORD  
AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE  
ADDED HERETO UPON REQUEST, AS SURVEYOR HAS  
NOT PERFORMED ANY TITLE SEARCH OR ABSTRACT.

FLP.M. No. 225205.0535 D  
FLP.M. Date 07/25/1997  
Z.N. AE B.F.E. 13  
\* Verify prior to construction with  
Local Governing Body.

DRAWING NO.

20210149

DATE:

03/25/2021

REVISD:

J.V. Burkes & Associates, Inc.  
SURVEYING



ENGINEERING • ENVIRONMENTAL  
1805 Shortcut Highway  
Slidell, Louisiana 70458  
E-mail: jvbassoc@jvburkes.com  
Phone: 985-649-0075 Fax: 985-649-0154

DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE  
SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS  
OR SUBSEQUENT OWNERS. SURVEY IS VALID ONLY IF PRINT HAS  
ORIGINAL SEAL OF SURVEYOR.

A RESUBDIVISION MAP FOR  
LOTS 123A & 122A INTO LOT 123A-1, LAKESHORE EST., PH. 1A-1  
IN SECTION 3, T-10-S, R-14-E,  
GREENSBURG LAND DISTRICT,  
ST. TAMMANY PARISH, LOUISIANA



CERTIFIED TO: MIKE AND MAUREEN PERKINS

SEAN M. BURKES  
LA REG. No. 4785

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# **PETITIONS AND REQUEST**



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**SUBSTANDARD LOT OF RECORD**  
**STAFF ANALYSIS REPORT**  
*(As of April 4, 2022)*  
*Meeting Date: April 12, 2021*

CASE FILE NO: PET-2022-04-001

PROPERTY DESCRIPTION: Parcel located on the north side of Edward Street, east of August Avenue, being lot 22, Square 44, West Addition to Morgan Subdivision, Slidell, Louisiana.

SECTION: 28 TOWNSHIP: 8 South RANGE: 14 East

WARD: 9 PARISH COUNCIL DISTRICT:14

LOT SIZE: 25' along Edward Street 100' deep – 2500 total of square feet.

ZONING: A-4 Single Family Residential District

PROPERTY OWNER: Lateisha Foster

**REASON FOR PUBLIC HEARING:**

Request to build on a buildable substandard lot of record pursuant to Section 125-84 Contiguous Lot Rule, of Chapter 125 Subdivision Regulations.

Per section 125-84 – Contiguous Lot Rule: Lots are required to meet the minimum lot width required under the zoning district or a minimum of 50 feet and the minimum lot size of 5000 square feet. The Planning Commission is responsible for reviewing requests for building on a buildable substandard lot of record.

In order for the Planning Commission to approve a request for building on a buildable substandard lot of record, the petitioner must provide proof that they do not currently own, and has not sold, nor has any predecessor in deed or title, sold any contiguous lots during the period following the initial adoption of the contiguous lot rule ordinance on January 20, 1994.

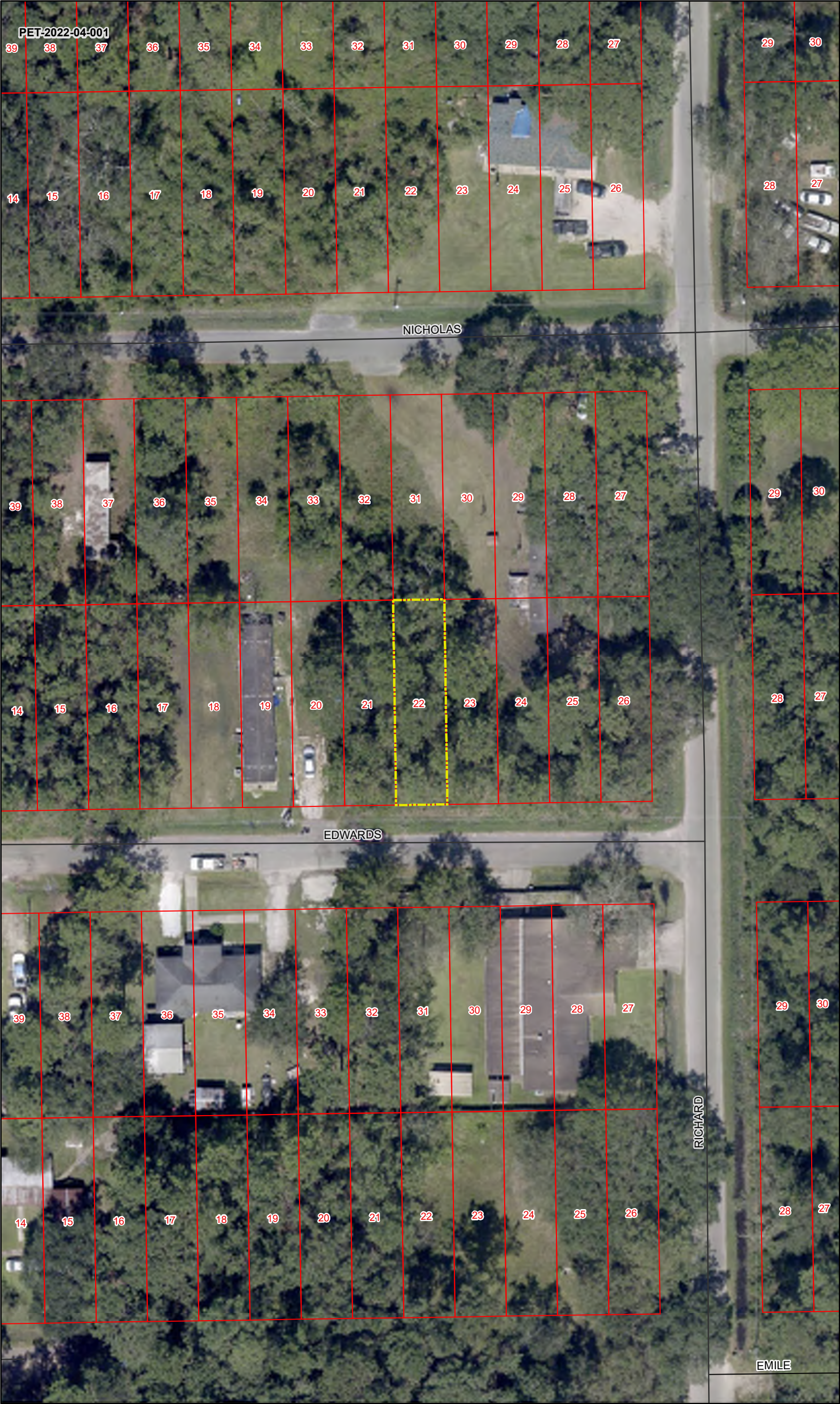
**STAFF COMMENTARY:**

**Department of Development – Planning & Engineering**

The petitioner is requesting to build on a 2500 square foot property having 25 foot road frontage along Edward Street and a depth of 100 feet.

Staff does not have any objection to the request as the petitioner had the opportunity to purchase a 2500 square foot lot without the option to acquire any adjacent property and based on the facts that the petitioner has satisfied the requisite requirements of proof as referenced to above.







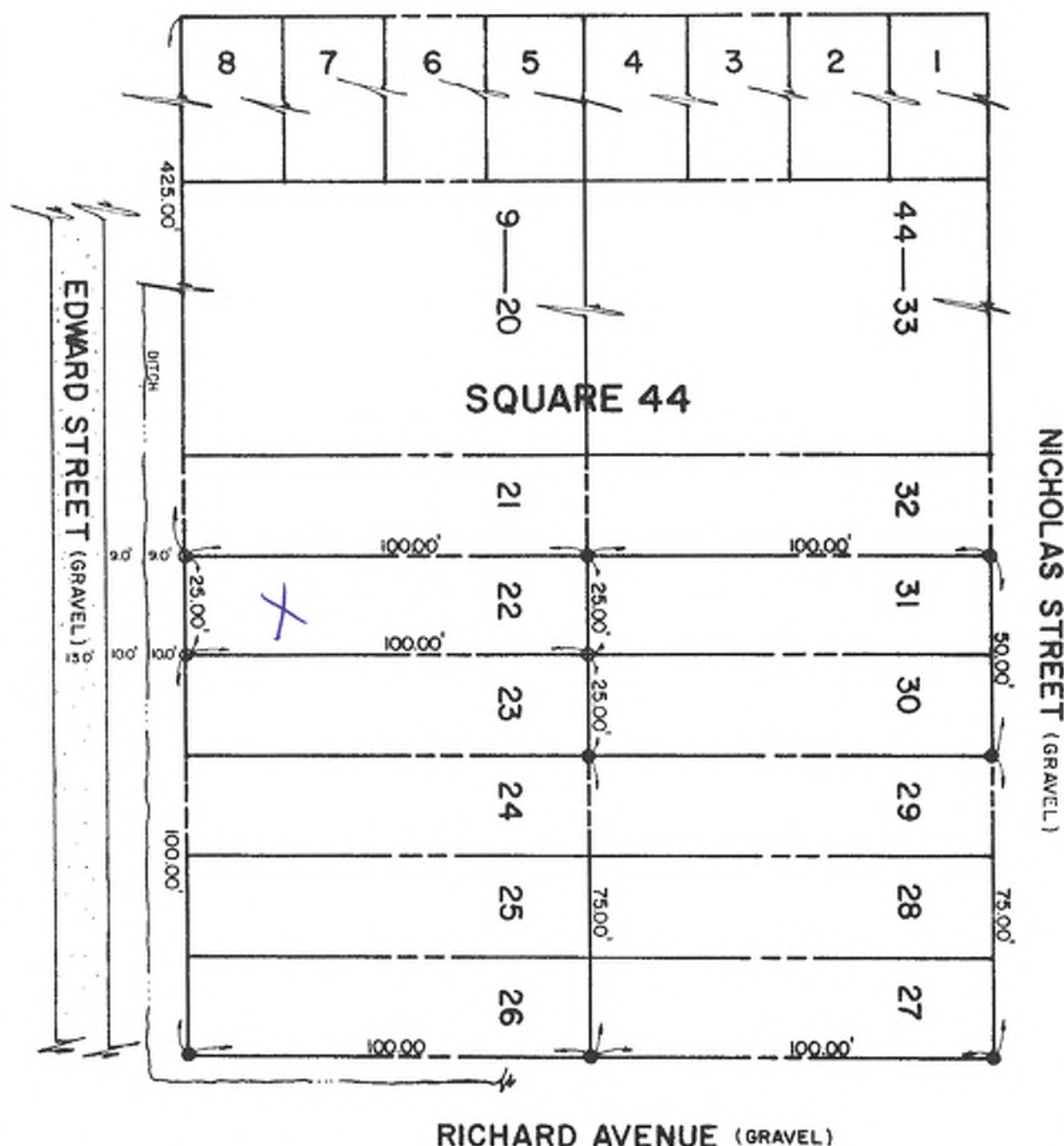
NOTE: ACCORDING TO H.U.D. F.I.A. FLOOD HAZARD BOUNDARY MAP H-01-76,  
THIS PROPERTY IS:

NOT IN A FLOOD PRONE AREA.

X IS LOCATED IN FLOOD ZONE "C"



AUGUST AVENUE (GRAVEL)



● IRON FOUND  
○ IRON SET

SCALE: 1"=40'

MAP SHOWING SURVEY OF LOT NO. 22, SQUARE 44

SUBDIVISION WEST ADD'N TO MORGAN

LOCATED IN SEC. 28, T8S-R14E, G. L. D., NEAR  
SLIDELL, ST. TAMMANY PARISH, LOUISIANA.

FOR VERNELL McKINNIA



TO ALL PARTIES INTERESTED IN TITLE TO PREMISES SURVEYED:

I HEREBY CERTIFY THAT THE ABOVE SHOWN SURVEY WAS ACTUALLY MADE ON THE GROUND, AS PER RECORD DESCRIPTION, AND IS CORRECT, AND THAT THERE ARE NO ENCROACHMENTS EITHER WAY ACROSS PROPERTY LINES.

SLIDELL, LOUISIANA

DATE: NOVEMBER 10, 1978

JOB NO. 81317

*Albert A. Lovell*  
ALBERT A. LOVELL & ASSOCS., INC.  
CONSULTING ENGINEERS

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# **TENTATIVE SUBDIVISION REVIEW**



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**TENTATIVE SUBDIVISION STAFF ANALYSIS REPORT**  
*(As of April 5, 2022)*

CASE NO.: 2022-2753-TP

PROPOSED SUBDIVISION NAME: River Park Trails Subdivision (formerly River Park Estates Subdivision, Phase 3)

DEVELOPER: River Park Estates, LLC  
22161 Marshall Road  
Mandeville, LA 70471

ENGINEER/SURVEYOR: Deep South Design Group, LLC  
P.O. Box 1122  
Mandeville, LA 70447

SECTION: 18                                      WARD: 3  
TOWNSHIP: 6 South                      PARISH COUNCIL DISTRICT: 3  
RANGE: 11 East

TYPE OF DEVELOPMENT:                      ☐ URBAN (Residential lots less than 1 acre)  
   ☐ SUBURBAN (Residential lots between 1-5 acres)  
   ☐ RURAL (Residential Farm Tract lots 5 acres plus)  
   ☒ OTHER (Multi family, commercial or industrial) **(PUD)**

GENERAL LOCATION:                      The property is located on the north and south side of M. P. Planche Road, west of LA Highway 25, Covington, Louisiana.

SURROUNDING LAND USES:                      North - Single Family Residential  
   South - Single Family Residential  
   East - Single Family Residential  
   West - Single Family Residential

TOTAL ACRES IN DEVELOPMENT: 134.733 Acres

NUMBER OF LOTS: 378 Lots                      TYPICAL LOT SIZE: 60' x 120'

SEWER AND WATER SYSTEMS: Central

PROPOSED ZONING: A4 & PUD

FLOOD ZONE DESIGNATION: "C" per the Effective FIRM Map  
: "A & C" per the Preliminary FIRM Map

## **STAFF COMMENTARY:**

This case was previously postponed at the March 8, 2022 Planning Commission Meeting. The Tentative Approval shall be subject to this project receiving approval for the required Major Amendment to the PUD, currently being heard at the April 5, 2022 Zoning Commission Meeting as well as the comments below.

### **Tentative Plat:**

1. Update the Tentative Plat to address all the previous plat markups and comments issued by email on February 18, 2022.

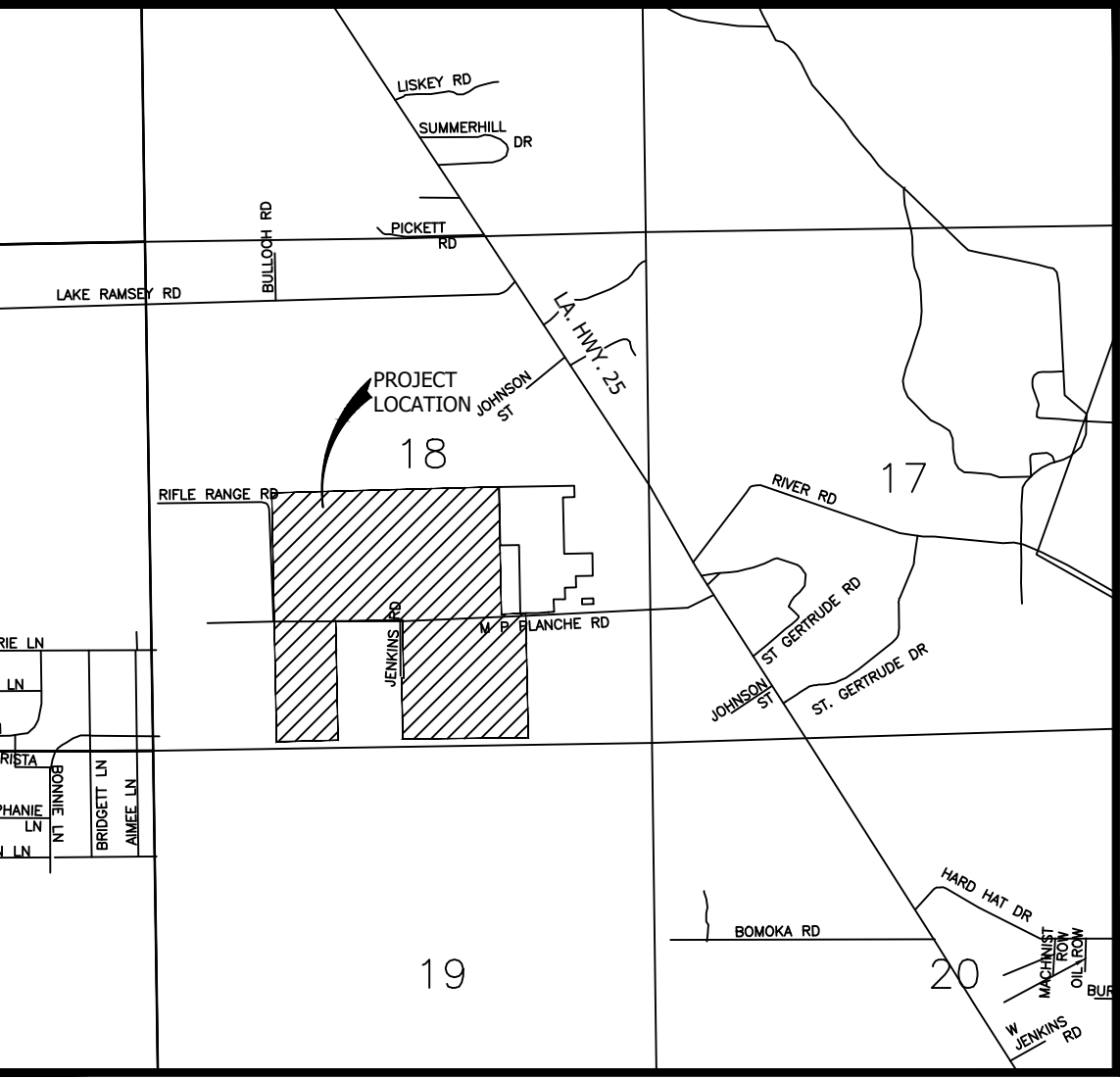
### **Informational Items**

Parish code requires that a land clearing permit be applied for and obtained through the Department of Planning prior to the developer receiving a work order in conjunction with the preliminary subdivision review process.

A Traffic Impact Analysis has been submitted for this development and is currently under review by LADOTD and St. Tammany Parish.

Revised drawings will not be accepted for review or placement in the packet prior to the April 12, 2022 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.





### VICINITY MAP

THE NUMBER OF LOTS/UNITS MAY BE ESTABLISHED IN ACCORDANCE WITH THE MAXIMUM NET DENSITY OF THE UNDERLYING ZONING CLASSIFICATION AS APPLIED TO THE FOLLOWING FORMULA:  
TOTAL AREA x 0.75 = MAXIMUM NET DENSITY (LOTS/UNIT)  
134.73 ACRES x 0.75 = 101.05 x 4 = 404 LOTS ALLOWED (A-4 UNDERLYING ZONING)  
TOTAL LOTS ALLOWED = 404 LOTS  
RECREATION:  
WITHIN THE GREENSPACE THERE SHALL BE ACTIVE AND PASSIVE RECREATION. ACTIVE RECREATION SHALL BE PLAYGROUND EQUIPMENT. PASSIVE RECREATION SHALL BE REMAINING GREENSPACE FOR ENJOYING THE NATURE AND WOODED AREAS.

GREENSPACE REQUIRED=134.73 x 25% = 33.68 ACRES

GREENSPACE PROVIDED @ 100% = 32.98 ACRES

GREENSPACE PROVIDED @ 50% = 13.22 ACRES

TOTAL PROVIDED = 46.20 ACRES

3.12 AC. ACTIVE (BASKETBALL COURT, WALKING PATH, PLAYGROUND & SPORTS PARK)  
29.86 AC. PASSIVE (REMAINING GREENSPACE)

INDICATES WETLANDS  
TOTAL WETLANDS=30.68 ACRES  
WETLANDS TO BE MITIGATED=4.84 ACRES

LOT WIDTH 98 LOTS  
50' - 60'  
LOT WIDTH 230 LOTS  
60' - 70'  
ESTATE SIZE 50 LOTS  
LOTS

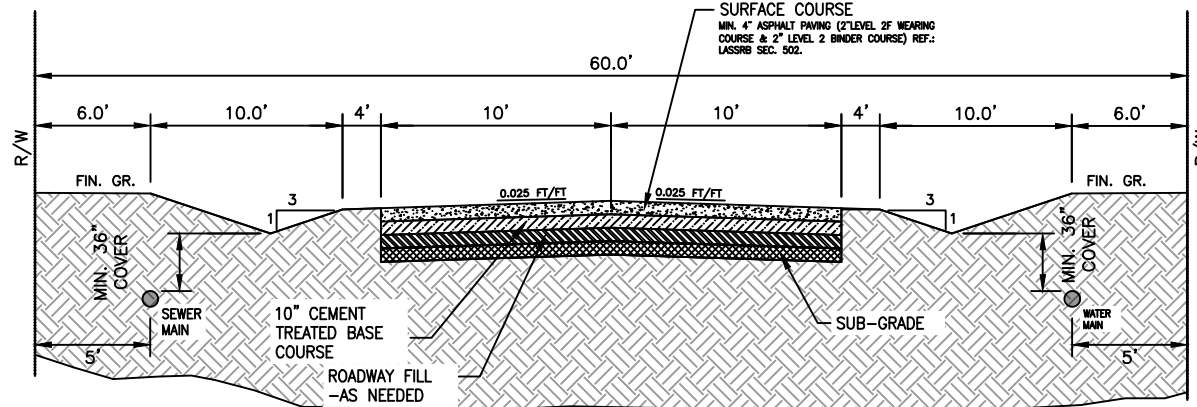
### Boundary Description : RIVER PARK TRAILS

A certain parcel of land situated in Section 18, Township 6 South, Range 11 East, St. Tammany Parish, Louisiana and more fully described as follows:

Commence at the Section corner common to Sections 17, 18, 19 & 20, Township 6 South, Range 11 East, and run North 89 Degrees 53 Minutes, 58 Seconds West for a distance of 1,020.29 Feet to the Point of Beginning;

From the Point of Beginning run South 89 Degrees 29 Minutes 32 Seconds West a distance of 1,335.34 Feet to a Point; Thence run North 01 Degrees 01 Minutes 19 Seconds West for a distance of 650.41 feet to a point; Thence run North 88 Degrees 58 Minutes 41 Seconds East for a distance of 20.18 feet to a point; Thence run North 00 Degrees 59 Minutes 29 Seconds West for a distance of 608.59 feet to a point; Thence run South 89 Degrees 43 Minutes 01 Seconds West for a distance of 708.52 feet to a point; Thence run South 01 Degrees 01 Minutes 32 Seconds East for a distance of 1,268.44 feet to a point; Thence run South 88 Degrees 32 Minutes 09 Seconds West for a distance of 653.07 feet to a point; Thence run North 01 Degrees 05 Minutes 37 Seconds West for a distance of 2,644.57 feet to a point; Thence run North 88 Degrees 28 Minutes 49 Seconds East for a distance of 2,416.17 feet to a point; Thence run South 01 Degrees 02 Minutes 13 Seconds East for a distance of 622.58 feet to a point; Thence run South 01 Degrees 01 Minutes 35 Seconds East for a distance of 730.09 feet to a point; Thence run North 87 Degrees 45 Minutes 52 Seconds East for a distance of 260.06 feet to a point; Thence run South 01 Degrees 09 Minutes 39 Seconds East for a distance of 1325.04 feet back to the Point of Beginning.

Containing 134.733 Acres or 5,868,977 square feet



TYPICAL ROADWAY SECTION

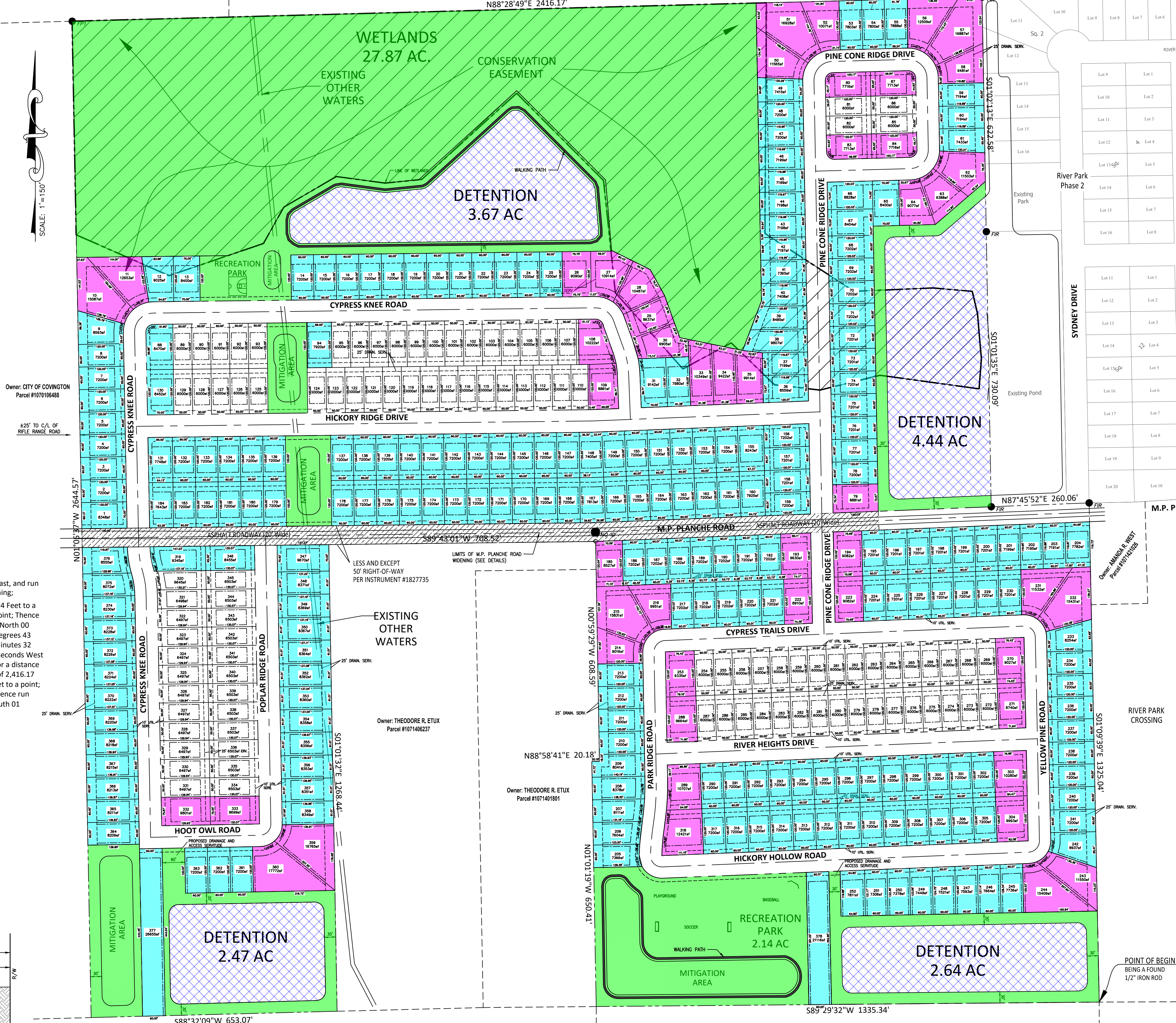
NOT TO SCALE

# PLANNED UNIT DEVELOPMENT (PUD) RIVER PARK TRAILS

Located in Section 18, Township 6 South,  
Range 11 East, St. Tammany Parish, Louisiana

Owner: RICHARD S. BLOSSMAN  
Parcel #1070131628

Owner: RESOURCE BANK  
Parcel #1071421019



TENTATIVE S/D PLANS  
RECEIVED  
2/11/2022  
DEVELOPMENT  
ENGINEERING

ENGINEERING  
REVIEW COPY

Owner: RUDY BOOTH  
Parcel #1070130516

### RESTRICTIVE COVENANTS

- NO BUILDING MAY BE OCCUPIED AND NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED BEFORE THE SEWERAGE AND WATER SYSTEMS ARE INSTALLED AND OPERABLE OR OTHERWISE CONNECTED TO A COMMUNITY (CENTRAL) SEWERAGE AND/OR WATER SYSTEM(S). ALL AS APPROVED BY THE DEPARTMENT OF ENVIRONMENTAL SERVICES OF ST. TAMMANY PARISH. WHENEVER A SUBDIVISION IS SERVED BY A COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY), NO PRIVATE WATER SUPPLY MAY BE DRILLED OR OTHERWISE CONSTRUCTED ON ANY LOT FOR THE PURPOSE OF SUPPLYING POTABLE WATER TO ANY BUILDING OR STRUCTURE, EXCEPT FOR THE PURPOSE OF IRRIGATION, AND IN NO EVENT SHALL THERE BE A PHYSICAL CONNECTION BETWEEN ANY SUCH SOURCE AND ANY ELEMENT OF THE COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY).
- BUILDING SETBACK REQUIREMENTS SHALL BE AS SHOWN ON THIS PLAT. FRONT-25', SIDE-5', SIDE STREET-10', REAR-25'. MAXIMUM HEIGHT FOR ALL STRUCTURES-35'
- NO NOXIOUS OR OFFENSIVE ACTIVITY SHALL BE CARRIED ON UPON ANY LOT, NOR SHALL ANYTHING BE DONE THEREON THAT MAY BE OR MAY BECOME A NUISANCE TO THE NEIGHBORHOOD, PARTICULARLY THE USE OF LOTS AS DUMPS OR FOR JUNK CAR STORAGE.
- DRIVEWAY CULVERT SIZE-SEE CHART
- DRIVEWAYS ON CORNER LOTS SHALL NOT BE LOCATED ANY CLOSER THAN SIXTY (60) FEET FROM THE CORNER OF SAID PROPERTY CLOSEST TO THE INTERSECTION AS MEASURED FROM THE CORNER OF THE PROPERTY WHERE THE SAID TWO STREET RIGHT-OF-WAYS INTERSECT. CORNER LOTS WHICH CANNOT MEET THIS REQUIREMENT SHALL BE SIDE LOADED.
- MOBILE HOMES WILL NOT BE PERMITTED TO OCCUPY LOTS IN THIS SUBDIVISION.
- NO LOT SHALL BE FURTHER SUBDIVIDED UNLESS OTHERWISE APPROVED BY ST. TAMMANY PARISH PLANNING COMMISSION.
- CONSTRUCTION OR IMPROVEMENTS OF ANY NATURE IS PROHIBITED WITHIN DRAINAGE EASEMENTS OR STREET RIGHTS-OF-WAY.
- THE FINISHED FLOOR ELEVATION SHALL BE A MINIMUM OF 12" (1 FOOT) ABOVE THE CROWN OF THE STREET IN FRONT OF LOT OR MEET THE FEMA FLOOD ZONE REQUIREMENTS, WHICHEVER IS GREATER.
- THE RESTRICTIVE COVENANTS RECITED ABOVE TOGETHER WITH THOSE RECORDED IN C.O.B. FOLD SHALL BE RECITED IN AND BE A PART OF EACH TITLE OR DEED.
- THE DRAINAGE AND STORM WATER DETENTION STORAGE AREAS AS SHOWN HEREON ARE TO BE MAINTAINED BY THE PARISH OF ST. TAMMANY.
- THE BASKETBALL COURT AND PLAYGROUND AREAS SHOWN HEREON ARE TO BE OWED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- EACH RESIDENCE OR ESTABLISHMENT WITHIN THE SUBDIVISION SHALL SUBSCRIBE AND BE SUBJECT TO THE WATER AND SEWERAGE SERVICES PROVIDED BY MAGNOLIA UTILITIES.
- IT SHALL BE PROHIBITED FOR ANY LOT WITHIN AN APPROVED SUBDIVISION TO HAVE REAR ACCESS VIA A DRIVEWAY TO OR FROM ANY STREET OR ROAD THAT IS NOT DEDICATED WITH THE BOUNDARIES OF THE APPROVED SUBDIVISION PLAT.
- THE FOREMENTIONED RESTRICTIONS SHALL BE RECITED IN EACH TITLE OR DEED IN ADDITION TO THE REQUIRED LISTING ON THE FINAL SUBDIVISION PLAT.

### DEDICATION

BE IT RESOLVED BY THE UNDERSIGNED OWNER(S) OF THE LAND AS SHOWN HEREON THAT HE DOES DECLARE THIS TO BE A TRUE AND ACCURATE PLAT OF

### RIVER PARK TRAILS

ALL STREET RIGHTS-OF-WAY, INCLUDING ALL TRAFFIC SIGNS, STREET SIGNS, POSTS AND RETENTION PONDS AS SHOWN HEREON ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER USE. EASEMENTS SHALL BE RESERVED FOR DRAINAGE AND UTILITIES AS INDICATED HEREON AND NO OBSTRUCTIONS OR IMPROVEMENTS WILL BE ALLOWED THAT WOULD PREVENT THEM FROM BEING USED FOR THEIR INTENDED PURPOSE.

OWNER:	DATE:
134.733 ACRES	378
AREA	NO. OF LOTS
60' X 120'	60'
AVG. LOT SIZE	LOT FRONTAGE
ASPHALT ROAD SURFACE	120
TOE/FUNCTE RIVER	LOT DEPTH
ULTIMATE SURFACE WATER DISPOSAL	STREET R.O.W.
	44' & PUD ZONING

### CERTIFICATION

THIS MAP IS CERTIFIED TO BE CORRECT AND IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED AND IS CERTIFIED TO CONFORM TO THE PROVISIONS OF THE STATE OF LOUISIANA RS: 33-5051 AND LAWS AND ORDINANCES OF THE PARISH OF ST. TAMMANY.

MICHAEL P. BLANCHARD  
Lo. Reg. Land Surveyor  
Reg. No. 4861  
ALEX E. WILLIAMS  
Lo. Reg. Civil Engineer  
Reg. No. 35169

### APPROVAL:

CHAIRMAN-ST. TAMMANY PARISH PLANNING COMMISSION  
SECRETARY-ST. TAMMANY PARISH PLANNING COMMISSION  
DIRECTOR-PARISH ENGINEERING  
CLERK OF COURT  
RIVER PARK CROSSING  
OWNER  
RIVER PARK ESTATES, LLC  
22161 MARSHALL ROAD, SUITE C  
MANDEVILLE, LA.

### "ADDITIONAL PUD APPROVAL REQUIREMENTS"

- WIDEN MP PLANCHE ROAD TO 24' WIDE FROM HWY. #25 TO THE 2ND ENTRANCE OF RIVER PARK CROSSING. MOVING TO THE WEST, WIDEN MP PLANCHE ROAD TO 20' WIDE.
- SOUTHBOUND RIGHT TURN LANE AT HWY. #25 AND MP PLANCHE ROAD TO BE CONSTRUCTED AS REQUIRED BY DOTD.
- IF ST. TAMMANY PARISH AND DOTD DEEM IT NECESSARY, CONSTRUCT AN ACCELERATION LANE SOUTHBOUND AT MP PLANCHE ROAD AND HWY #25.
- THE AREA DESIGNATED BY (22.95 ACRES) AT THE NORTH END OF THE PROJECT TO BE DESIGNATED AS A CONSERVATION EASEMENT.
- ONE (1) ADDITIONAL CLASS "A" TREE MIN. 2" CALIPER NOT LESS THAN 12' TALL MUST BE PLANTED ON EACH LOT PRIOR TO OCCUPANCY.

NOTE: DRAINAGE DETENTION SHALL BE WET PONDS LOCATED ON SITE. PONDS SHALL BE MAINTAINED BY ST. TAMMANY PARISH.

NOTE: CENTRAL SEWER & WATER SERVICE PROVIDED BY MAGNOLIA UTILITIES.

NOTE: ALL PVC PIPING SHALL CONFORM TO DOTD STANDARDS AND SPECIFICATIONS.

BENCHMARK -

NOTE: 1/2" IRON RODS TO BE SET AT ALL PROPERTY CORNERS.

NOTE: EACH LOT SHALL BE SUBJECT TO A 10' UTILITY, DRAINAGE & ACCESS EASEMENT ALONG THE STREET FRONTAGE.

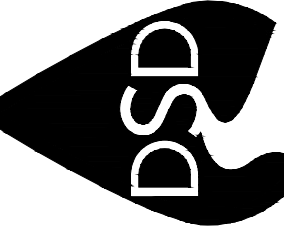
NOTE: ENTIRE DEVELOPMENT IS LOCATED IN FLOOD ZONE "C" AS PER F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 225205 0125 C, MAP REVISED OCTOBER 17, 1989. BASE FLOOD ELEVATION N/A.

DEEP SOUTH DESIGN GROUP

Civil/Environmental Engineering Firm

P.O. Box 1122 | Mandeville, LA 70447

Ph: 985-705-4696



CLIENT: RIVER PARK ESTATES, LLC

PROJECT DESCRIPTION:  
PLANNED UNIT DEVELOPMENT OF RIVER PARK TRAILS  
SITUATED IN SECTION 18, TOWNSHIP 6 SOUTH,  
RANGE 11 EAST, ST. TAMMANY PARISH, LOUISIANA

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REVISION NO:	
01.25.2021-Lot LAYOUT	
03.16.2021-AMENITIES	
03.22.2021-AMENITIES	
04.12.2021-STP COMMENTS	
02.09.2022-TENATIVE	
JOB NO:	14-231
DATE:	11.10.2020
DRAWN BY:	CAD
SCALE:	1" = 150'
COMPUTER FILE:	
SHEET	SD-1



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# **PRELIMINARY SUBDIVISION REVIEW**



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**PRELIMINARY SUBDIVISION STAFF ANALYSIS REPORT**  
*(As of April 5, 2022)*

CASE NO.: 2021-2568-PP

SUBDIVISION NAME: Bonterra Subdivision, Phases 2 & 3

DEVELOPER: Lynn Levy Land Co., LLC  
10604 Coursey Boulevard  
Baton Rouge, LA 70816

ENGINEER/SURVEYOR: J.V. Burkes & Associates, Inc.  
1805 Shortcut Highway  
Slidell, LA 70458

SECTION: 31  
TOWNSHIP: 8 South  
RANGE: 15 East

WARD: 8  
PARISH COUNCIL DISTRICT: 9

TYPE OF DEVELOPMENT:                    ☐ URBAN (Residential lots less than 1 acre)  
   ☐ SUBURBAN (Residential lots between 1-5 acres)  
   ☐ RURAL (Residential Farm Tract lots 5 acres plus)  
   ☒ OTHER (Multi family, commercial or industrial)(**PUD**)

GENERAL LOCATION: The property is located on the east & west sides of North Military Road/LA Highway 1090, north of Interstate-12, Slidell, Louisiana.

TOTAL ACRES IN DEVELOPMENT: Phase 2 - 16.072 Acres/Phase 3 - 18.907 Acres

NUMBER OF LOTS: Phase 2 - 69 Lots/Phase 3 - 80 Lots      AVERAGE LOT SIZE: Varies

SEWER AND WATER SYSTEMS: Central

PROPOSED OR EXISTING ZONING: A-4-A and A-1 with a PUD Overlay

FLOOD ZONE DESIGNATION: "C" & "A4"

PUD APPROVAL GRANTED: August 4, 2020

**STAFF COMMENTARY:**

**Department of Planning and Development**

This project was previously postponed at the October 12, 2021 Planning Commission meeting, the November 9, 2021 Planning Commission meeting, the December 14, 2021 Planning Commission meeting, the January 11, 2022 Planning Commission meeting, the February 8, 2022 Planning Commission meeting and the March 8, 2022 Planning Commission Meeting.

This phase of the development is currently under an active Cease and Desist Notification issued on Nov. 15, 2021 (Case #2021-CE-20609) related to land clearing within Phase 2 prior to Preliminary Approval and the issuance of a Work Order. Preliminary Approval as well as the issuance of a Work Order is needed before the active C&D can be rescinded.

The Preliminary plans and hydrologic study have been reviewed by this office and an inspection was made of the site on March 31, 2022.

Staff has no objection to the approval of the proposed preliminary subdivision request subject to the developer complying with all comments and no work order to be issued until all required items are satisfactorily completed and submitted.

**Informational Items:**

The developer is responsible for contacting the USPS Regional Growth Management Coordinator to verify the appropriate mail delivery location for this development.

No funded **Maintenance Obligation** for the subdivision connection is required since this subdivision is connecting to a state-maintained highway.

**Mandatory Developmental fees** will be required at Final Submittal in accordance with St. Tammany Code of Ordinances, Part II "Land Development Code," Chapter 125 "Subdivision Regulations," since no public hearing was held prior to January 1, 2005.

In response to a drainage concern raised by the neighboring property to the west, the developer and engineer for this project have agreed to install a 8" subsurface drainage line to the common property line (including a check valve) in order to allow the neighboring property to connect into the Bonterra Drainage System and provide a dedicated outfall for the existing pond.

Revised drawings will not be accepted for review or placement in the packet prior to the April 12, 2022 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.







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Staff has no objection to the approval of the proposed preliminary subdivision request subject to the developer complying with all comments and no work order to be issued until all required items are satisfactorily completed and submitted.

**General Comments:**

1. Provide the recorded copy of the fill credits transfer for Phase 2 and Phase 3 of River Club Subdivision.

**Informational Items:**

The developer is responsible for contacting the USPS Regional Growth Management Coordinator to verify the appropriate mail delivery location for this development.

No funded **Maintenance Obligation** is required since this is an extension of a private subdivision.

**Mandatory Developmental fees** will be required at Final Submittal in accordance with St. Tammany Code of Ordinances, Part II "Land Development Code," Chapter 125 "Subdivision Regulations," since no public hearing was held prior to January 1, 2005.

Revised drawings will not be accepted for review or placement in the packet prior to the April 12, 2022 Planning Commission meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.







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# **FINAL SUBDIVISION REVIEW**

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**FINAL SUBDIVISION STAFF ANALYSIS REPORT**  
*(As of April 5, 2021)*

CASE NO.: 2022-2749-FP

SUBDIVISION NAME: Lakeshore Villages, Phase 6A

DEVELOPER: D.R. Horton, Inc. - Gulf Coast  
7696 Vincent Road  
Denham Springs, LA 70726

ENGINEER/SURVEYOR: Duplantis Design Group, LLC  
16564 East Brewster Road; Suite 101  
Covington, LA 70433

SECTION: 35  
TOWNSHIP: 9 SOUTH  
RANGE: 14 EAST

WARD: 9  
PARISH COUNCIL DISTRICT: 13

TYPE OF DEVELOPMENT:                    ☐ URBAN (Residential lots less than 1 acre)  
   ☐ SUBURBAN (Residential lots between 1-5 acres)  
   ☐ RURAL (Residential Farm Tract lots 5 acres plus)  
   ☒ OTHER (Multi family, commercial or industrial) (PUD)

GENERAL LOCATION: The property is located north of Oak Harbor Blvd., west of LA Highway 433, east of Interstate-10, Slidell, Louisiana

TOTAL ACRES IN DEVELOPMENT: 88.983 Acres

NUMBER OF LOTS: 132 Lots                    AVERAGE LOT SIZE: 7,346 Square Feet

SEWER AND WATER SYSTEMS: Central

ZONING: PUD

FLOOD ZONE DESIGNATION: "AH" and "X" (*where shaded*)

**STAFF COMMENTARY:**

**Department of Planning and Development**

Periodic inspections have been made by this office during construction and the final inspection was made on March 31, 2022. The inspection disclosed that all of the asphalt roads are constructed, and the subsurface drainage is functioning.

Staff recommends postponement of this submittal due to the following uncompleted items that existed at the time of the final inspection and review. Planning Commission approval shall be subject to the following items being completed before plats are signed.



**General Comments:**

1. Drop Inlet filter socks need to be cleaned and maintained throughout this phase of Lakeshore Villages. (Typical Comment)
2. Install blue reflectors in the vicinity of all fire hydrants. (Typical Comment)
3. Straighten all leaning street name and traffic control signage throughout this phase of Lakeshore Villages. (Typical Comment)
4. The greenspace at the end of Spruce Key Lane needs to be vegetated. Install and maintain proper erosion control measures until vegetation is established.
5. The 20' drainage servitude area between Lots #1516 & #1517, and the 30' drainage servitude area at the rear of these lots needs to be vegetated. Install and maintain proper erosion control measures until vegetation is established.
6. Erosion issues observed at the rear of Lots #1506 - #1518. This area needs to be reestablished and stabilized/armored. Install and maintain proper erosion control measures until vegetation is established.
7. Erosion issues observed at the 20' drainage servitude and greenspace area north of Lot #1506. This area needs to be reestablished and stabilized/armored. Install and maintain proper erosion control measures until vegetation is established.
8. The rear of Lots #1224 - #1229, and Lots #1233 - #1240 need to be vegetated. Install and maintain proper erosion control measures until vegetation is established.
9. Erosion issues observed at the east side of the Delta Ridge Ave. cross culvert. This area needs to be reestablished and stabilized/armored. Install and maintain proper erosion control measures until vegetation is established.
10. Streets throughout this phase of Lakeshore Villages needs to be cleaned. (Typical Comment)

**Final Plat:**

11. Update the number of lots in the General Information Table to reflect the proposed 132 lots in this phase.

**Water & Sewer Plan:**

12. Provide a water and sewer capacity letter for this phase of Lakeshore Villages from Oak Harbor East Utilities.

**Informational Items:**

The developer is responsible for contacting the USPS Regional Growth Management Coordinator to verify the appropriate mail delivery location for this development.

Should the Planning Commission approve the request for Final Approval, a Warranty Obligation will be required for the infrastructure in the amount of 4,750 linear feet x \$22.00 per linear foot = \$104,500.00 for a period of two (2) years.

No Mandatory Development fees are required since a public hearing was held prior to January 1, 2005.

This subdivision **is** within the Urban Growth Boundary Line.

Revised drawings will not be accepted for review or placement in the packet prior to the April 12, 2022 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.

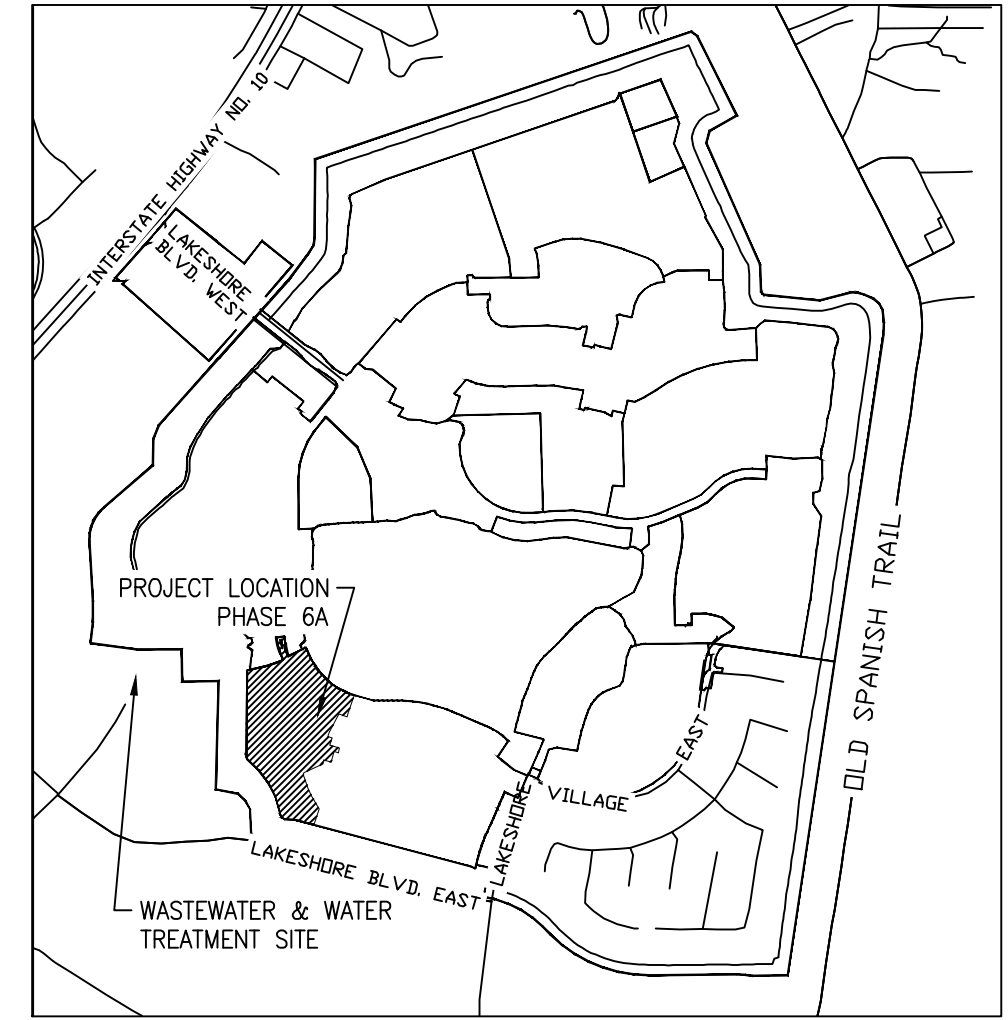


PLAT SHOWING FINAL SUBDIVISION  
OF  
LAKESHORE VILLAGES (PHASE 6A)

LOCATED IN SECTIONS 35  
TOWNSHIP 9 SOUTH - RANGE 14 EAST  
GREENSBURG LAND DISTRICT  
ST. TAMMANY PARISH, LOUISIANA

NOTES:  
MEASURED BEARINGS ARE BASED ON GRID NORTH, LOUISIANA  
STATE PLANE SOUTH ZONE (1702) NAD 83 AS DERIVED FROM  
THE LSU C4G RTK NETWORK (2020.5).

GENERAL INFORMATION	
CENTRAL SEWER SYSTEM	118 NUMBER OF LOTS
LAKE PONTCHARTRAIN ULTIMATE SURFACE WATER DISPOSAL	PUD PRESENT ZONING
6,980± S.F. AVERAGE LOT SIZE	ASPHALT ROAD SURFACE
CENTRAL WATER SYSTEM	50 FEET, 55 FEET RIGHT OF WAY WIDTHS
760'± MAX BLOCK LENGTH	4,838'± STREET LENGTH
28.191± ACRES TOTAL AREA OF DEVELOPMENT	18.91 ACRES TOTAL AREA OF LOTS
OFF-SITE LOCATION OF WATER & SEWER FACILITIES	45 FEET MAX BUILDING HEIGHT
FRONT: 20' (15' LOTS 1238-1241) REAR: 15' (50' ALONG CANAL/LAKE) SIDE: 5' (10' ALONG RIGHTS OF WAY) BUILDING SETBACKS	



VICINITY MAP

OPEN GREEN SPACE CALCULATIONS (PHASE 6)

OPEN/GREEN SPACE REQUIRED	
88.983 ACRES X 0.25 S.F. OPEN/GREEN SPACE	
22.246 ACRES REQUIRED (=969,035± S.F.)	
OPEN/GREEN SPACE REQUIRED 3,062 ACRES (PHASE 3A) 2,606 ACRES (PHASE 3B) 36,493 ACRES (PHASE 4A) 1,779 ACRES (PHASE 4B) 3,863 ACRES (PHASE 5) 22,246 ACRES (PHASE 6) 5,651 ACRES (PHASE 7) 16,449 ACRES (PHASE 8) 19,969 ACRES (PHASE 9) 8,798 ACRES (PHASE 10) 120,916 ACRES TOTAL OPEN/GREEN SPACE REQUIRED	OPEN/GREEN SPACE PROVIDED 3,318 ACRES (PHASE 3A) 0,770 ACRES (PHASE 3B) 439,779 ACRES (PHASE 4A) 1,289 ACRES (PHASE 4B) 0,657 ACRES (PHASE 5) 1,847 ACRES (PHASE 6) 5,777 ACRES (PHASE 7) 2,226 ACRES (PHASE 8) 6,040 ACRES (PHASE 9) 0,000 ACRES (PHASE 10) 461,703 ACRES TOTAL PROVIDED

DEDICATION:  
ALL STREET RIGHTS-OF-WAY SHOWN HEREON ARE NOT DEDICATED TO THE PARISH OF ST. TAMMANY BUT ARE DEDICATED TO THE PERPETUAL USE OF THE COMMUNITY DEVELOPMENT DISTRICT AND IS TO BE OWNED AND MAINTAINED BY THE COMMUNITY DEVELOPMENT DISTRICT. EASEMENTS SHALL BE RESERVED FOR DRAINAGE AND UTILITIES AS INDICATED HEREON AND NO OBSTRUCTIONS OR IMPROVEMENTS SHALL BE ALLOWED THAT WOULD PREVENT THEM FROM BEING USED FOR INTENDED USE. THE DEVELOPER OR HOMEOWNERS ASSOCIATION IS RESPONSIBLE FOR MAINTENANCE OF ALL GREEN SPACES, DRAINAGE SERVITUDES, STREET SIGNS, AND TRAFFIC CONTROL SIGNS.

- RESTRICTIVE COVENANTS:
- NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED BEFORE THE SEWERAGE AND WATER SYSTEMS ARE INSTALLED AND OPERABLE OR OTHERWISE CONNECTED TO A COMMUNITY (CENTRAL) SEWERAGE AND/OR WATER SYSTEMS, ALL AS APPROVED BY THE DEPARTMENT OF ENVIRONMENTAL SERVICES OF THE PARISH. WHENEVER A SUBDIVISION IS SERVED BY A COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY), NO PRIVATE WATER SUPPLY MAY BE DRILLED OR OTHERWISE CONSTRUCTED ON ANY LOT FOR THE PURPOSE OF SUPPLYING POTABLE WATER TO ANY BUILDING OR STRUCTURE, EXCEPT FOR THE PURPOSE OF IRRIGATION, AND IN NO EVENT SHALL THERE BE A PHYSICAL CONNECTION BETWEEN ANY SUCH SOURCE AND ANY ELEMENT OF THE COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY).
  - CONSTRUCTION OF ANY NATURE IS PROHIBITED IN DRAINAGE OR STREET EASEMENTS.
  - LOTS MAY NOT BE USED FOR THE STORAGE OF TRASH OR JUNK VEHICLES.
  - THIS SUBDIVISION IS LOCATED IN FLOOD ZONES AH AND ZONE X (SHADED) PER LETTER OF MAP REVISION, CASE NO. 19-08-0865P, EFFECTIVE DATE APRIL 16, 2020. THE MINIMUM FINISHED FLOOR ELEVATION OF ALL RESIDENTIAL HOMES SHALL MEET THE PROPOSED ELEVATION OF THE LATEST ADOPTED FIRM UNTIL A NEW FIRM IS PUBLISHED AND ADOPTED BY ST. TAMMANY PARISH OR ONE (1') FOOT ABOVE THE CROWN OF THE STREET WHICH EVER IS HIGHER.
  - NO LOT WILL BE FURTHER SUBDIVIDED WITHOUT APPROVAL OF THE PLANNING COMMISSION AND THE DEPARTMENT OF ENVIRONMENTAL SERVICES OF THE PARISH.
  - DRIVEWAYS ON CORNER LOTS SHALL NOT BE LOCATED ANY CLOSER THAN 60 FEET FROM A CORNER OF SAID PROPERTY CLOSEST TO THE INTERSECTION AS MEASURED FROM THE PROPERTY LINES ON THE CORNER OF THE PROPERTY WHERE THE SAID TWO STREET RIGHTS-OF-WAY INTERSECT, IF THERE ARE LOTS THAT DO NOT COMPLY WITH THIS AS FRONT-LOADED LOTS, THEY ARE TO BE SIDE-LOADED.
  - IT SHALL BE PROHIBITED FOR ANY LOT WITHIN AN APPROVED SUBDIVISION TO HAVE REAR ACCESS VIA A DRIVEWAY TO OR FROM ANY STREET OR ROAD THAT IS NOT DEDICATED WITHIN THE BOUNDARIES OF THE APPROVED SUBDIVISION PLAT.
  - THE HOME BUILDER IS RESPONSIBLE FOR THE CONSTRUCTION OF THE SIDEWALK ALONG THE LOTS.
  - THE RESIDENTS WITHIN PHASE 6 WILL HAVE THE RIGHT TO UTILIZE THE EXISTING CENTRAL LAKE LOCATING WITHIN THE LAKESHORE VILLAGES DEVELOPMENT FOR RECREATIONAL PURPOSE.
  - THE EXISTING STORMWATER DETENTION SYSTEM, INCLUDING THE CANALS, LAKES, AND PUMP STATION, ARE TO BE OWNED AND MAINTAINED BY THE COMMUNITY DEVELOPMENT DISTRICT.
  - THE AFORMENTIONED RESTRICTIONS SHALL BE REITED IN EACH TITLE OR DEED IN ADDITION TO THE REQUIRED LISTING ON THE FINAL SUBDIVISION PLAT.

APPROVALS:

CHAIRMAN - PARISH PLANNING COMMISSION

SECRETARY - PARISH PLANNING COMMISSION

DIRECTOR OF DEPARTMENT OF ENGINEERING

CLERK OF COURT

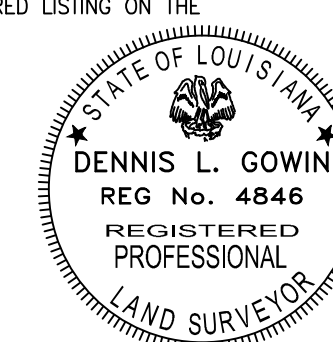
DATE FILED: \_\_\_\_\_ FILE NO. \_\_\_\_\_

(OWNER/OWNER REPRESENTATIVE)  
DR HORTON, INC. - GULF COAST  
7696 VINCENT ROAD  
DENHAM SPRINGS, LA 70726

Final Plans  
RECEIVED  
03/25/2022  
DEVELOPMENT  
ENGINEERING  
REVIEW COPY

I CERTIFY THAT THIS FINAL PLAT REPRESENTS AN ACTUAL GROUND SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND IS IN FULL COMPLIANCE WITH LA RS. 33:5051 AND THE REQUIREMENTS OF THE CURRENT LOUISIANA STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A CLASS "C" SURVEY.

DATE OF PLAT: 03/25/2022  
DENNIS L. GOWIN, P.L.S., LA REG. NO. 4846  
REGISTERED PROFESSIONAL LAND SURVEYOR



SCALE IN FEET  
100' 50' 0 100' 200' 300'

REVISION	BY
PARISH COMMENTS	
1 03/25/2022	BPV

DUPLANTIS DESIGN GROUP, PC  
SURVEY  
15564 Brewster Road, Suite 101  
Covington, LA 70433  
Phone: 985.249.6180 \ FAX: 985.249.6190  
1308 Camellia Blvd, Suite 200  
Lafayette, LA 70508  
WWW.ddgpc.com



SUBDIVISION OF LAKESHORE VILLAGES (PHASE 6A)  
SLIDELL, LOUISIANA  
ST. TAMMANY PARISH  
FOR:  
DR HORTON, INC. - GULF COAST

DRAWN  
BPV  
CHECKED  
DLG  
PROJECT NO.  
20-396  
FILE  
20-396 PHASE 6A FINAL  
REV1  
SHEET  
1-2





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**FINAL SUBDIVISION STAFF ANALYSIS REPORT**  
*(As of April 5, 2022)*

CASE NO.: 2022-2755-FP

SUBDIVISION NAME: River Park Estates, Phase 2

DEVELOPER: River Park Estates, LLC  
841 N. Collins, Suite 12  
Covington, LA 70433

ENGINEER/SURVEYOR: Deep South Design Group  
P.O. Box 1122  
Madisonville, LA 70447

SECTION: 18

WARD: 3

TOWNSHIP: 6 SOUTH

PARISH COUNCIL DISTRICT: 3

RANGE: 11 EAST

TYPE OF DEVELOPMENT:                    ☐ URBAN (Residential lots less than 1 acre)  
   ☐ SUBURBAN (Residential lots between 1-5 acres)  
   ☐ RURAL (Residential Farm Tract lots 5 acres plus)  
   ☒ OTHER (Multi family, commercial or industrial) (PUD)

GENERAL LOCATION: The property is located on the north side of M. P. Planche Road, west of LA Highway 25, Covington, Louisiana.

TOTAL ACRES IN DEVELOPMENT: 20.220 Acres

NUMBER OF LOTS: 79 Lots

AVERAGE LOT SIZE: Varies

SEWER AND WATER SYSTEMS: Central

ZONING: PUD

FLOOD ZONE DESIGNATION: "C"

**STAFF COMMENTARY:**

**Department of Planning and Development**

Periodic inspections have been made by this office during construction and the final inspection was made on March 31, 2022. The inspection disclosed that all of the asphalt roads are constructed and the roadside ditches and shoulders need to be regraded and vegetated.



The resubmittal and associated documentation for this case was not received by staff by the required deadline. As such, staff recommends postponement of this submittal due to the following uncompleted items that existed at the time of the final inspection and review. Planning Commission approval shall be subject to the following items being completed before plats are signed.

**General Comments:**

1. Provide roadway base and asphalt test results.
2. Provide utility trench bedding and backfill test results.
3. Reestablish the M.P. Planche Road shoulder near the roadway widening section.
4. Reestablish the pond weir outfall section.
5. Install blue reflectors in the vicinity of all fire hydrants. (Typical Comment)
6. Raise all low fire hydrants to provide the minimum require clearance. (Typical Comment)
7. Remove siltation from all drainage culverts. (Typical Comment)
8. Regrade the roadside ditches throughout this phase to provide positive flow. Roadside ditches should be properly vegetated once regraded and proper erosion control measures installed and maintained until vegetation is established. (Typical Comment)
9. Bring all roadside shoulders to final grade and properly vegetate. Install and maintain proper erosion control measures until vegetation is established. (Typical Comment)
10. The detention pond inflow ditches and pond banks need to be properly vegetated. Install and maintain proper erosion control measures until vegetation is established.
11. Add “All-Way Plaques” to the all-way stop intersections. (Typical Comment)
12. Correct detention pond bank issues occurring near the Catherine Drive & Sydney Drive intersection.
13. Repair the damaged pavement sections on Catherine Drive to the north of Lot #1.
14. Regrade the rear drainage swale behind Lots #1- #10 to the north of River Park Drive and properly vegetate. Install and maintain proper erosion control measure until vegetation is established.
15. Remove all siltation occurring in the detention pond. (Typical Comment)

**Final Plat:**

16. The Final Plat needs to be revised to include all missing information and correct all conflicts outlined in the Final Plat Markup Summary sent on 2/25/2022 and attached for reference.

**Paving & Drainage Plan:**

17. The As-Built Paving & Drainage Plan needs to be revised to include all missing information and correct all conflicts outlined in the As-Built Paving & Drainage Markup Summary sent on 2/25/2022 and attached for reference.

**Water & Sewer Plan:**

18. Provide a clear water test for this phase of River Park Estates.
19. Provide a Letter of Acceptance and Perpetual Maintenance for this phase of River Park Estates from Magnolia Utilities.
20. Provide a response to the previously issued March 31, 2021 water and sewer email regarding the status of this water and sewer system and its current capacity.

**Informational Items:**

The developer is responsible for contacting the USPS Regional Growth Management Coordinator to verify the appropriate mail delivery location for this development.

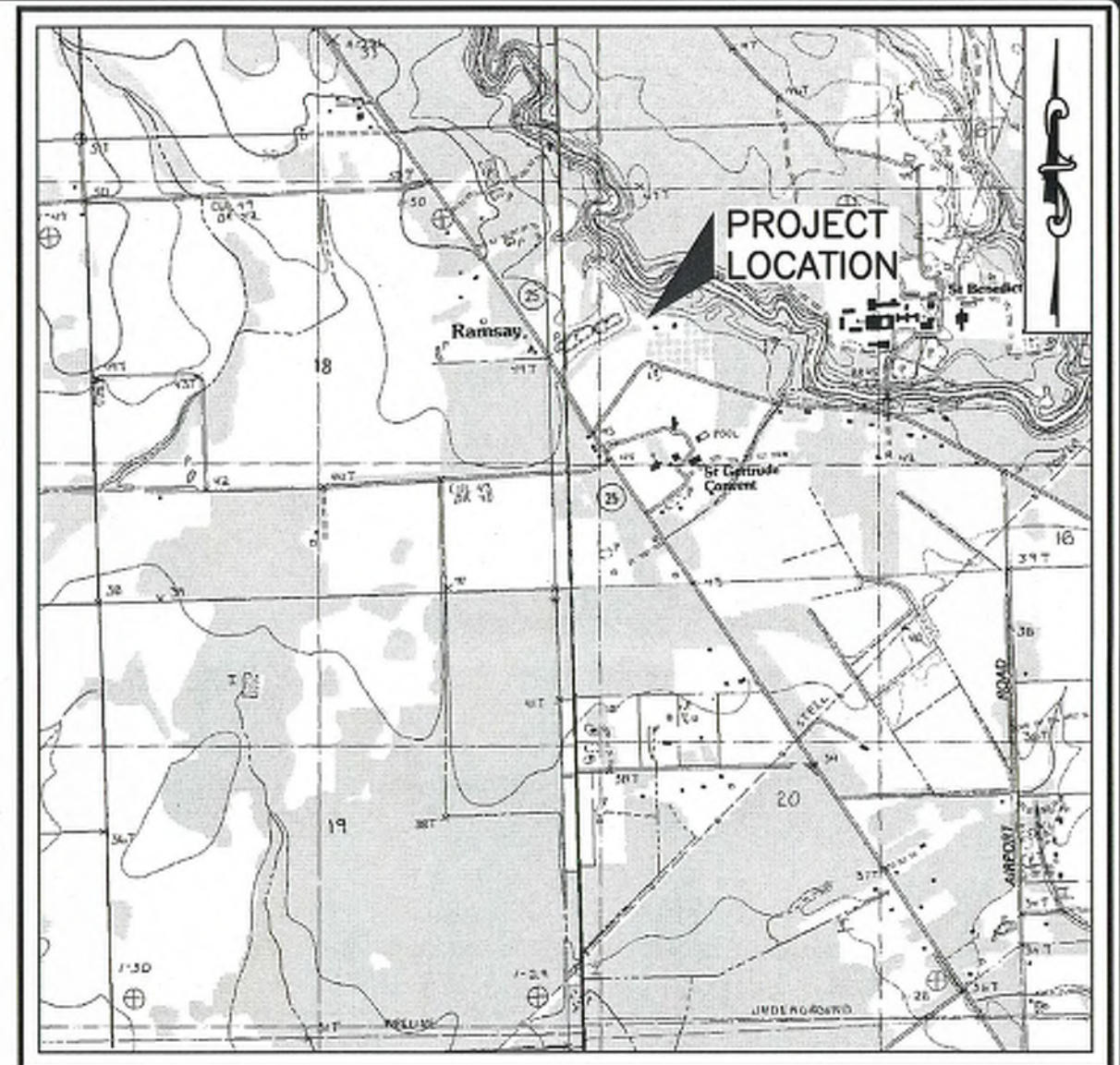
Additionally, should the Planning Commission approve the request for final approval, a Warranty Obligation will be required for the infrastructure in the amount of 3,900 linear feet x \$22.00 per linear foot for a total of \$85,800.00 for a period of two (2) years.

No Mandatory Development fees are required since a public hearing was held prior to January 1, 2005.

This subdivision is within the Urban Growth Boundary Line.

Revised drawings will not be accepted for review or placement in the packet prior to the April 12, 2022 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.





VICINITY MAP  
SCALE 1" = 2000'

GENERAL INFORMATION RIVER PARK PHASE 2	
RESIDENTIAL	79
LAND USE	NUMBER OF LOTS
OPEN DITCH	CENTRAL
DRAINAGE	SEWER
TBD	TBD
ELECTRIC	CABLE
FIRE	GARBAGE
TBD	CENTRAL
GAS	WATER SYSTEM
FRONT: 20', REAR: 20' SIDE: 5' (10' Side Streets)	
(LOTS 1-10, SQUARE 2) SIDE: 5'	
BUILDING SETBACKS	

- NOTES:
- Zoning: A-2 (Suburban)  
Setback lines shall be verified by the owner, developer and/or contractor prior to any construction, as an abstract has not been performed by the surveyor. Zoning and setbacks are subject to change and should be verified with the local authority's Zoning Department before any design or construction.
  - Reference Maps:  
A) River Park Estates, PH.1, a plat update to a portion of river park estates subdivision, Section 18, T-6-S, R-11-E, St. Tammany Parish, Louisiana.  
Prepared By: Kelly J. McHugh & Associates, Inc.  
Dated: January 26, 2017  
Entry# 5613
  - Base of Bearings:  
The bearings shown hereon are based on the Louisiana Coordinate System of 1983 South Zone - NAD 83 using GPS CAGN-RTN System accessed on October 10, 2021.  
(\*) Represents the Basis of Bearings. Distances shown are U.S. Survey feet.
  - Flood Note: The property hereon is located in Flood Zone "C" (Areas of minimal flooding) in accordance with FEMA Flood Insurance Rate Map Panel Number 225205 0125 C, dated October 17, 1989, for St. Tammany Parish, Louisiana.  
Base Flood Elevation is subject to change and should be verified with the local authority's Flood Plain Administrator before any design or construction.
  - Utilities: Acadia Land Surveying, L.L.C. made no attempt to locate visible utilities or evidence of buried utilities as part of this survey.
  - No attempt has been made by Acadia Land Surveying, L.L.C. to verify title, actual legal ownership, deed restrictions, servitudes, easements, rights-of-way or other burdens on the property, other than that furnished by the client or his representative. There is no representation that all applicable servitudes and restrictions are shown hereon. The surveyor has made no title search or public record search in compiling the data for this survey.
  - Acadia Land Surveying, L.L.C. has not and does not provide Delimitation of Jurisdictional Wetlands. Acadia Land Surveying, L.L.C. did not receive nor research the location of wetland areas as delineated by the appropriate authorities.
  - The words "Certify," "Certifies" or "Certification" as used hereon is understood to be an expression of professional opinion by the surveyor, based upon his best knowledge, information, and belief, as such, it does not constitute a guarantee nor a warranty, expressed or implied.

DEDICATION:  
ALL STREETS RIGHT-OF-WAYS AS SHOWN HEREON ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER USE. EASEMENTS SHALL BE RESERVED FOR DRAINAGE & UTILITIES AS INDICATED HEREON AND NO OBSTRUCTIONS OR IMPROVEMENTS SHALL BE ALLOWED THAT WOULD PREVENT THEM FROM BEING USED FOR THEIR INTENDED PURPOSE.

OWNER \_\_\_\_\_ DATE \_\_\_\_\_

Final Approval:

Director, Dept. of Engineering \_\_\_\_\_ DATE \_\_\_\_\_

Secretary, Planning Commission \_\_\_\_\_ DATE \_\_\_\_\_

CLERK OF COURT \_\_\_\_\_ RECORDED DATE \_\_\_\_\_ MAP FILE NUMBER \_\_\_\_\_

Final Plans  
RECEIVED  
02/11/2022  
DEVELOPMENT  
ENGINEERING

ENGINEERING  
REVIEW COPY

PLAT SHOWING PRELIMINARY PLAT  
OF  
RIVER PARK ESTATES  
PHASE 2  
LOCATED IN SECTION 18,  
TOWNSHIP 6 SOUTH - RANGE 11 EAST  
ST. TAMMANY PARISH, LOUISIANA

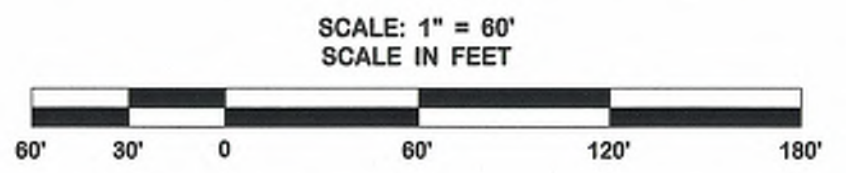
**ACADIA**  
LAND SURVEYING, LLC  
ALABAMA • LOUISIANA • MISSISSIPPI • TEXAS  
208 EAST 2ND STREET, THIBODAUX, LOUISIANA 70301  
Phone • (985) 449-0094 Fax • (985) 449-0085  
EMAIL • ACADIA@ACADIALANDSURVEYING.COM

DATE \_\_\_\_\_ CHECKED BY MFB \_\_\_\_\_ REVISION DESCRIPTION \_\_\_\_\_

FIELD WORK COMPLETED ON: DECEMBER 10, 2021 \_\_\_\_\_

LEGAL DESCRIPTION - RIVER PARK ESTATES PHASE 2  
A certain tract or parcel of land designated as the RIVER PARK ESTATES PHASE 2 containing 20,220 Acres or 880,778 sq. ft., located in Section 18, T6S - R11E, St. Tammany Parish, State of Louisiana, being more particularly described as follows:  
Commencing at the intersection of the of the common corner of Section 17, 18, 19, and 20, said point being the "POINT OF COMMENCEMENT" and labeled "P.O.C.",  
Then, North 01 degrees 11 minutes 38 seconds East a distance of 1,384.78 feet to a point;  
Then, South 87 degrees 46 minutes 08 seconds West a distance of 720.89 feet to a point, said point being the "POINT OF BEGINNING" and labeled "P.O.B.",  
Then, South 87 degrees 46 minutes 08 seconds West a distance of 60.01 feet to a point;  
Then, North 01 degrees 09 minutes 11 seconds West a distance of 132.89 feet to a point;  
Then, North 01 degrees 09 minutes 11 seconds West a distance of 120.00 feet to a point;  
Then, South 89 degrees 11 minutes 28 seconds East a distance of 120.00 feet to a point;  
Then, South 01 degrees 09 minutes 11 seconds East a distance of 120.00 feet to a point;  
Then, South 88 degrees 11 minutes 28 seconds West a distance of 120.00 feet to a point;  
Then, South 01 degrees 09 minutes 11 seconds East a distance of 138.65 feet to a point;  
Then, South 07 degrees 46 minutes 08 seconds East a distance of 360.10 feet to a point;  
Then, North 01 degrees 02 minutes 23 seconds West a distance of 729.80 feet to a point;  
Then, South 88 degrees 58 minutes 08 seconds West a distance of 199.88 feet to a point;  
Then, North 01 degrees 02 minutes 41 seconds West a distance of 622.45 feet to a point;  
Then, North 89 degrees 11 minutes 28 seconds East a distance of 800.14 feet to a point;  
Then, South 01 degrees 01 minutes 02 seconds East a distance of 120.00 feet to a point;  
Then, South 89 degrees 11 minutes 28 seconds West a distance of 122.87 feet to a point;  
Then, South 01 degrees 09 minutes 11 seconds East a distance of 600.00 feet to a point;  
Then, North 01 degrees 09 minutes 11 seconds East a distance of 300.00 feet to a point;  
Then, North 89 degrees 11 minutes 28 seconds East a distance of 120.00 feet to a point;  
Then, South 01 degrees 09 minutes 11 seconds East a distance of 60.00 feet to a point;  
Then, South 89 degrees 11 minutes 28 seconds West a distance of 120.00 feet to a point;  
Then, South 01 degrees 09 minutes 11 seconds East a distance of 71.20 feet to the "POINT OF BEGINNING".

CURVE TABLE				
CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING & DISTANCE
C1	187°22'27"	58.00'	189.68'	S 44°18'55" W - 115.76'



CERTIFICATION:  
This is to certify that this survey was done by me or under my direct supervision and control, that the survey was done on the ground and was done in accordance with the Standards of Practice for Boundary Surveys as set forth by the State of Louisiana, Board of Registration for Professional Engineers and Land Surveyors and that the accuracy specification and positional tolerances are in accordance with Class "C" surveys indicated in the above standards. I also certify there are no visible encroachments across any property lines except as shown.

Michael P. Blanchard, P.L.S.  
This survey plat is not valid without the raised or colored seal and signature of the Registered Land Surveyor.

Reg. No. 4861  
02/07/2022



LEGEND

FOUND PROPERTY CORNER (AS NOTED)	○
SET 5/8" IRON ROD (UNLESS NOTED OTHERWISE)	●
MUNICIPAL ADDRESS	17345



**FINAL SUBDIVISION STAFF ANALYSIS REPORT**  
*(As of April 5, 2022)*

CASE NO.: 2022-2792-FP

SUBDIVISION NAME: Tribute at Tamanend, Phase 1

DEVELOPER: D.R. Horton, Inc. - Gulf Coast  
7696 Vincent Road  
Denham Springs, LA 70726

ENGINEER/SURVEYOR: Duplantis Design Group, PC  
16564 East Brewster Road  
Covington, LA 70433

SECTION: 4  
TOWNSHIP: 8 SOUTH  
RANGE: 13 EAST

WARD: 7  
PARISH COUNCIL DISTRICT: 11

TYPE OF DEVELOPMENT: \_\_\_\_\_ URBAN (Residential lots less than 1 acre)  
\_\_\_\_\_ SUBURBAN (Residential lots between 1-5 acres)  
\_\_\_\_\_ RURAL (Residential Farm Tract lots 5 acres plus)  
\_\_\_\_\_ X OTHER (Multi family, commercial or industrial) (PUD)

GENERAL LOCATION: The property is located on the east side of LA Highway 434 and north of Interstate-12, Lacombe, Louisiana.

TOTAL ACRES IN DEVELOPMENT: 14.71 Acres

NUMBER OF LOTS: 67 Lots AVERAGE LOT SIZE: Varies

SEWER AND WATER SYSTEMS: Central

ZONING: PUD

FLOOD ZONE DESIGNATION: "C"

**STAFF COMMENTARY:**

**Department of Planning and Development**

Periodic inspections have been made by this office during construction and the final inspection was made on March 31, 2022. The inspection disclosed that all of the asphalt roads are constructed, and the subsurface drainage is functioning.

Staff recommends postponement of this submittal due to the following uncompleted items that existed at the time of the final inspection and review. Planning Commission approval shall be subject to the following items being completed before plats are signed.

**General Comments:**

1. Regrade the detention ponds and pond banks throughout this phase. Ponds should be properly vegetated once regraded and proper erosion control measures installed and maintained until vegetation is established. (Typical Comment)
2. The detention pond should have all siltation from stormwater run-off mucked out. (Typical Comment)
3. The utility bore pits under Tribute Drive (near Pond #1) need to be backfilled and regraded.
4. The greenspace area between Pond #1 and Eunio Way needs to be regraded so that Eunio Way can drain per the previously approved plans.
5. Install a speed limit sign on the north side of Eunio Way in accordance with the previously approved plans and update the as-built signage plan accordingly.
6. A street name sign needs to be added at the intersection of Legends Blvd and Rouquette Drive and update the as-built signage plan accordingly.
7. The inspection disclosed that the Sewer Lift Station that services this phase of Tribute at Tamanend was still under construction. This lift station needs to be completed, as-built and accepted by The Department of Utilities before the Final Plats can be recorded.
8. Drainage manhole structures #93 and #101 appeared to be graded over and could not be located in the field, regrade the associated areas or raise the drainage structures so the top of casting is at grade.
9. Provide an additional roadway density core for Tribute Dr. showing the minimum required pavement density of 92% has been achieved.
10. Provide roadway base test results for this phase of Tribute at Tamanend.
11. Provide utility trench bedding and backfill test results for this phase of Tribute at Tamanend.
12. Blue reflectors need to be installed in the vicinity of all fire hydrants. (Typical Comment)

**Final Plat:**

13. Revise the legal description and metes and bounds on the Final Plat to include the Future Amenity Site GS-1 and the associated detention ponds as a part of this phase of Tribute at Tamanend.
14. Update the number of lots in the information block to reflect "67 residential lots and 1 utility parcel" in lieu of 68 lots.

**Paving & Drainage Plan:**

15. Provide as-built information for the infrastructure downstream and up stream of the constructed detention pond.
16. Provide as-built plans for the Tamanend Mass Grading Project (MPN #2020-50375). The Ponds and associated drainage infrastructure needs to be in place prior to Final Subdivision Approval.
17. Provide as-built elevations at all property corners and add a legend.

**Water & Sewer Plan:**

18. Provide a clear water test for the newly constructed water lines within this phase of Tribute at Tamanend.
19. Provide a Letter of Acceptance and Perpetual Maintenance for this phase of Tribute at Tamanend from The Department of Utilities.

**Informational Items:**

The developer is responsible for contacting the USPS Regional Growth Management Coordinator to verify the appropriate mail delivery location for this development.

A Performance Obligation in the amount of \$30,000.00 (\$10,000.00 each x 3 cul-de-sacs) will be required to ensure the construction of the required permanent cul-de-sacs at the ends of Tribute Drive, Thurston Drive, and Rouquette Drive in the event the roadway is not extended with the future phases of Tribute at Tamanend.

Additionally, should the Planning Commission approve the request for final approval, a Warranty Obligation will be required for the infrastructure in the amount of 3,972 linear feet x \$22.00 per linear foot for a total of \$87,384.00 for a period of two (2) years.

Mandatory Developmental Fees are required as follows:

Road Impact Fee at \$1,077.00 per lot x 67 lots for a total of \$72,159.00

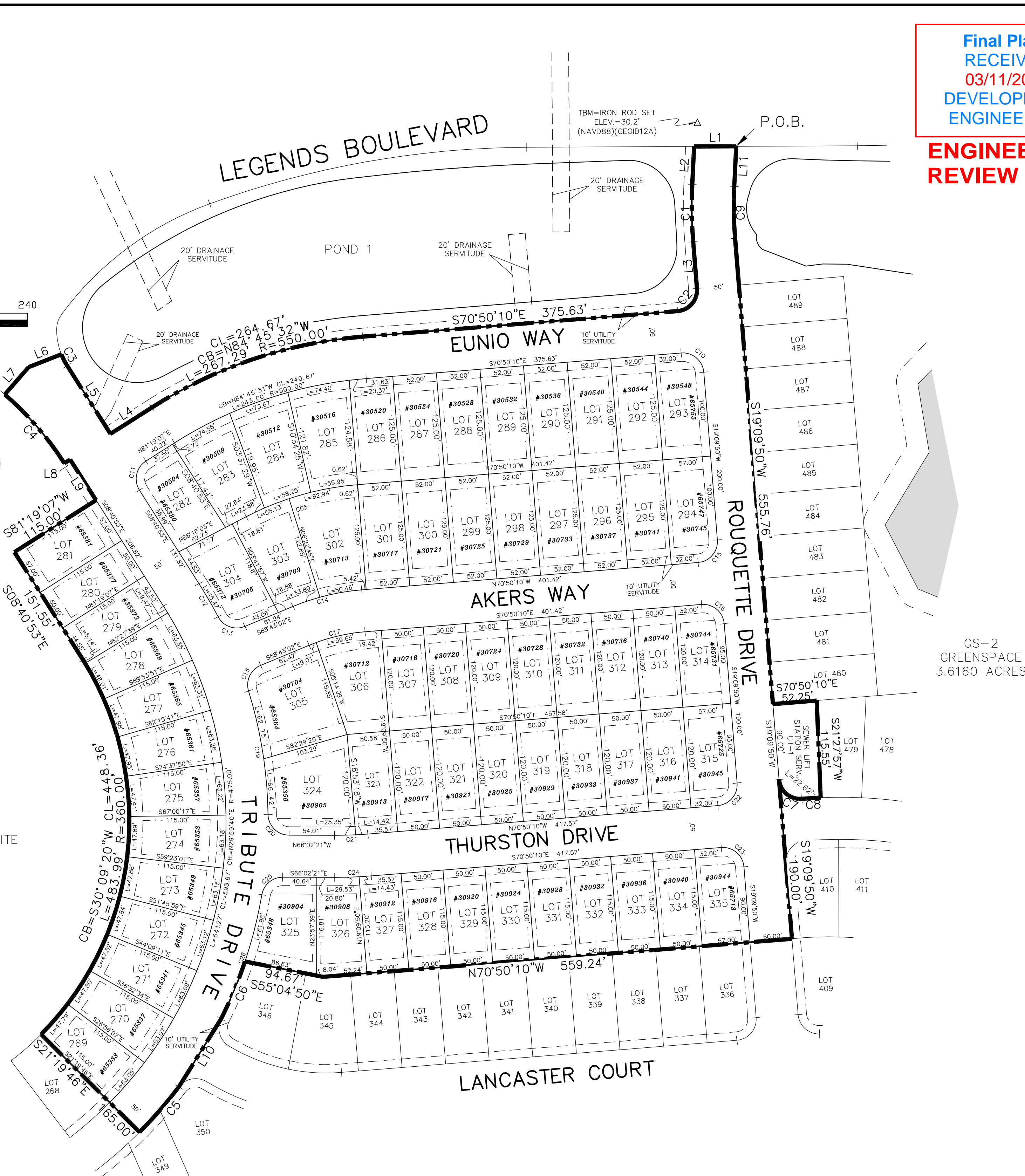
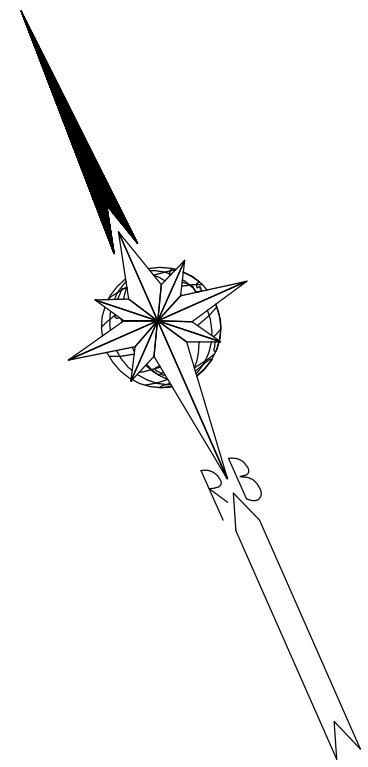
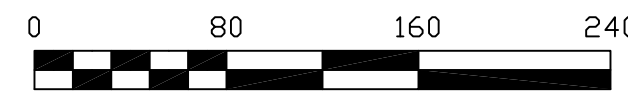
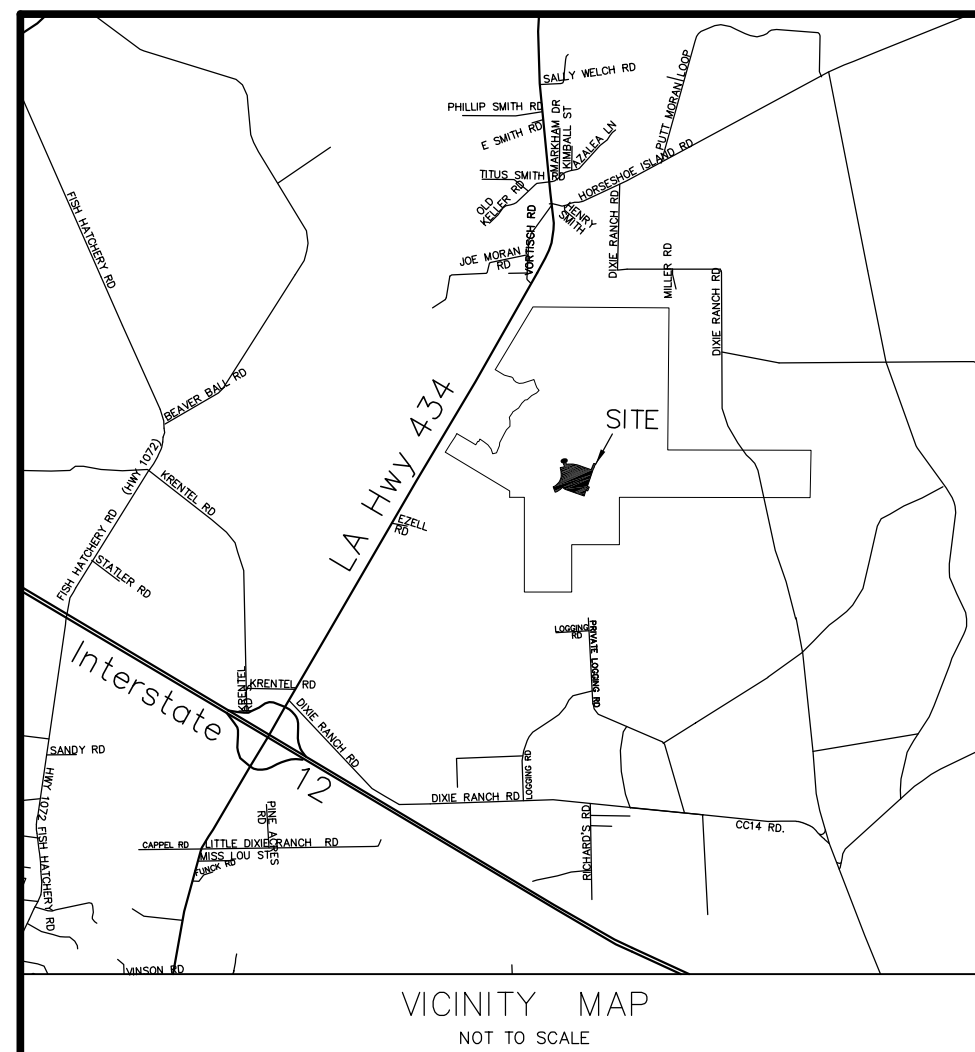
Drainage Impact Fee at \$1,114.00 per lot x 67 lots for a total of \$74,638.00

Fees are due before subdivision plats can be signed.

This subdivision **is** within the Urban Growth Boundary Line.

Revised drawings will not be accepted for review or placement in the packet prior to the April 12, 2022 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.





### PROPERTY DESCRIPTION

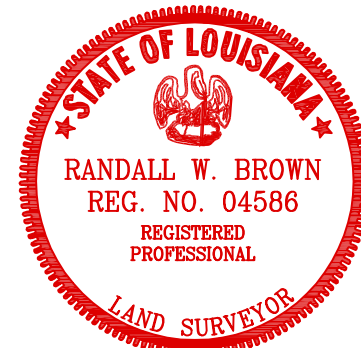
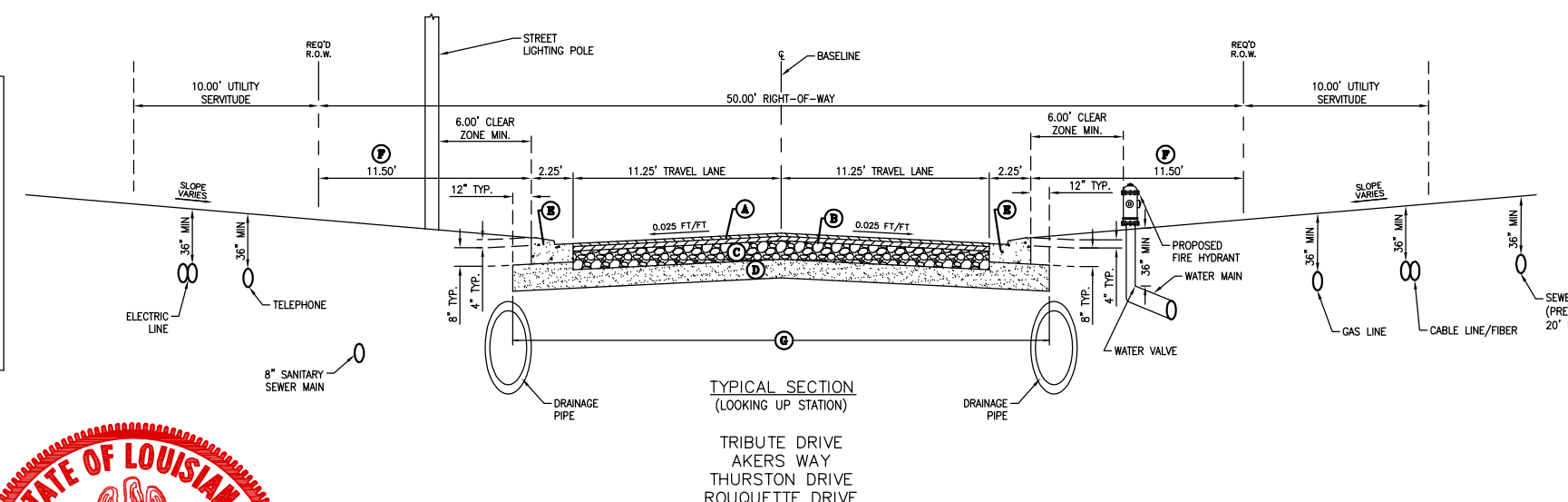
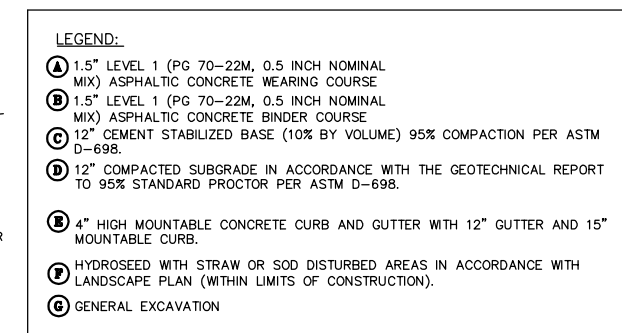
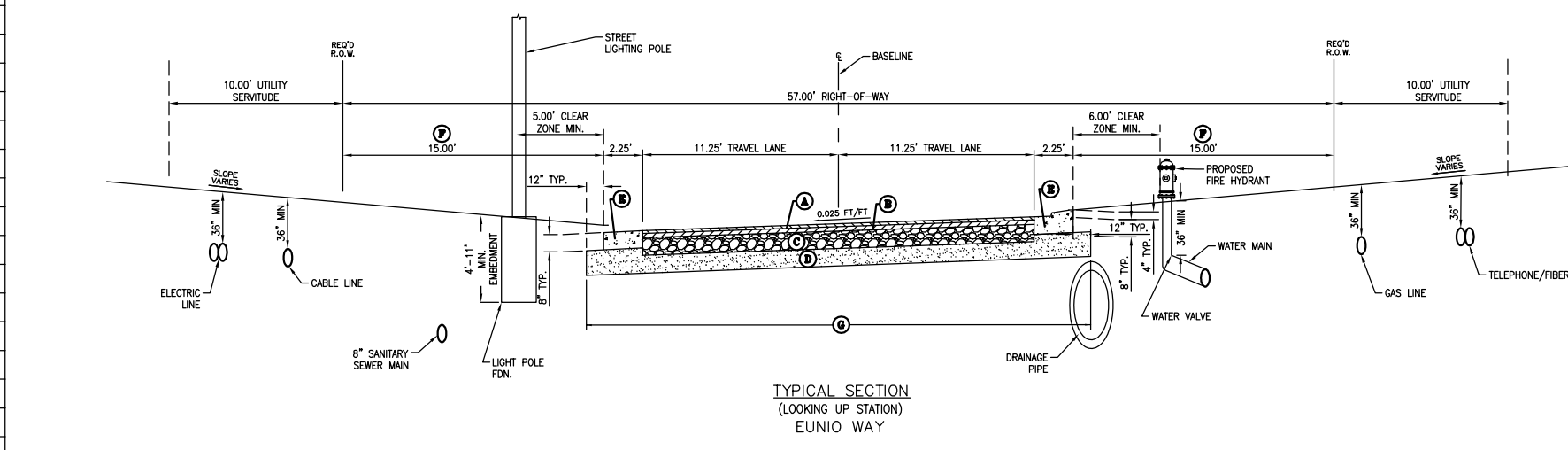
COMMENCING FROM THE SECTION CORNER COMMON TO SECTIONS 3, 4, 9 & 10, TOWNSHIP 8 SOUTH, RANGE 12 EAST, GO NORTH 25 DEGREES 29 MINUTES 53 SECONDS WEST A DISTANCE OF 1136.62' TO A POINT ON THE SOUTHERN RIGHT-OF-WAY LINE OF LEGENDS BOULEVARD ALSO THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING GO SOUTH 26 DEGREES 33 MINUTES 50 SECONDS WEST AN A DISTANCE OF 50.07 FEET; THENCE ALONG A CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 61.31 FEET, WITH A CHORD BEARING OF NORTH 25 DEGREES 29 MINUTES 53 SECONDS WEST AND A CHORD LENGTH OF 61.31 FEET; THENCE SOUTH 19 DEGREES 09 MINUTES 50 SECONDS WEST A DISTANCE OF 555.76 FEET; THENCE SOUTH 70 DEGREES 09 MINUTES 49 SECONDS WEST A DISTANCE OF 115.55 FEET; THENCE SOUTH 21 DEGREES 27 MINUTES 57 SECONDS WEST A DISTANCE OF 115.55 FEET; THENCE ALONG A CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 22.62 FEET, WITH A RADIUS OF 565.00 FEET, WITH A CHORD BEARING OF NORTH 19 DEGREES 40 MINUTES 51 SECONDS WEST, WITH A CHORD LENGTH OF 22.62 FEET; THENCE ALONG A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 39.27 FEET, WITH A RADIUS OF 25.00 FEET, WITH A CHORD BEARING OF NORTH 25 DEGREES 49 MINUTES 55 SECONDS WEST, WITH A CHORD LENGTH OF 35.35 FEET; THENCE SOUTH 19 DEGREES 09 MINUTES 50 SECONDS WEST A DISTANCE OF 55.76 FEET; THENCE NORTH 21 DEGREES 27 MINUTES 57 SECONDS WEST A DISTANCE OF 559.24 FEET; THENCE NORTH 55 DEGREES 04 MINUTES 50 SECONDS WEST A DISTANCE OF 94.67 FEET; THENCE ALONG A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 73.75 FEET, WITH A RADIUS OF 115.55 FEET, WITH A CHORD BEARING OF SOUTH 46 DEGREES 25 MINUTES 10 SECONDS WEST, WITH A CHORD LENGTH OF 73.75 FEET; THENCE SOUTH 55 DEGREES 39 MINUTES 49 SECONDS WEST A DISTANCE OF 95.46 FEET; THENCE ALONG A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 71.38 FEET, WITH A RADIUS OF 525.00 FEET, WITH A CHORD BEARING OF SOUTH 64 DEGREES 46 MINUTES 31 SECONDS WEST, WITH A CHORD LENGTH OF 71.33 FEET; THENCE NORTH 21 DEGREES 19 MINUTES 46 SECONDS WEST A DISTANCE OF 165.00 FEET; THENCE ALONG A CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 115.00 FEET, WITH A RADIUS OF 115.00 FEET, WITH A CHORD BEARING OF NORTH 30 DEGREES 09 MINUTES 20 SECONDS EAST, WITH A CHORD LENGTH OF 448.39 FEET; THENCE NORTH 08 DEGREES 40 MINUTES 53 SECONDS WEST A DISTANCE OF 151.55 FEET; THENCE ALONG A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 115.00 FEET, WITH A RADIUS OF 115.00 FEET, WITH A CHORD BEARING OF NORTH 17 DEGREES 04 MINUTES 28 SECONDS WEST, WITH A CHORD LENGTH OF 108.12 FEET; THENCE NORTH 64 DEGREES 44 MINUTES 49 SECONDS EAST A DISTANCE OF 42.90 FEET; THENCE SOUTH 87 DEGREES 43 MINUTES 13 SECONDS EAST A DISTANCE OF 15.25 FEET; THENCE ALONG A CURVE TURNING TO THE RIGHT WITH A CHORD BEARING OF SOUTH 03 DEGREES 15 MINUTES 47 SECONDS EAST, WITH A CHORD LENGTH OF 15.22 FEET; THENCE SOUTH 87 DEGREES 43 MINUTES 13 SECONDS EAST A DISTANCE OF 15.25 FEET; THENCE SOUTH 87 DEGREES 19 MINUTES 13 SECONDS EAST A DISTANCE OF 59.36 FEET; THENCE ALONG A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 267.29 FEET, WITH A RADIUS OF 550.00 FEET, WITH A CHORD BEARING OF NORTH 64 DEGREES 46 MINUTES 31 SECONDS WEST, WITH A CHORD LENGTH OF 264.67 FEET; THENCE SOUTH 70 DEGREES 50 MINUTES 10 SECONDS EAST A DISTANCE OF 375.63 FEET; THENCE ALONG A CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 39.27 FEET, WITH A RADIUS OF 25.00 FEET, WITH A CHORD BEARING OF NORTH 64 DEGREES 09 MINUTES 50 SECONDS EAST A DISTANCE OF 55.76 FEET; THENCE ALONG A CURVE TURNING TO THE RIGHT WITH AN ARC LENGTH OF 67.81 FEET, WITH A RADIUS OF 525.00 FEET, WITH A CHORD BEARING OF NORTH 21 DEGREES 19 MINUTES 46 SECONDS WEST, WITH A CHORD LENGTH OF 67.76 FEET; THENCE NORTH 26 DEGREES 33 MINUTES 50 SECONDS EAST A DISTANCE OF 45.49 FEET; THENCE SOUTH 66 DEGREES 27 MINUTES 38 SECONDS WEST A DISTANCE OF 50.07 FEET BACK TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 14.71 ACRES OF FLOOD PRONE OR LESS.

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S66°27'38"E	50.07'
L2	N26°33'50"E	45.49'
L3	N19°09'50"E	55.76'
L4	N81°19'13"E	58.36'
L5	S08°38'21"E	96.03'
L6	S87°43'13"E	41.96'
L7	N64°44'49"E	42.90'
L8	S81°06'15"W	8.14'
L9	N08°40'53"W	57.30'
L10	S55°39'49"W	95.46'
L11	S26°33'50"W	48.13'

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	525.00'	67.81'	67.76'	N22°51'50"E
C2	25.00'	39.27'	35.36'	N64°09'50"E
C3	80.00'	15.25'	15.22'	S03°10'47"E
C4	380.00'	108.48'	108.12'	N17°04'28"W
C5	525.00'	71.38'	71.33'	S64°46'31"W
C6	525.00'	73.81'	73.75'	S46°25'10"W
C7	25.00'	39.27'	35.36'	N28°19'55"W
C8	565.00'	22.62'	22.53'	N27°40'51"W
C9	475.00'	61.35'	61.31'	S22°51'50"W
C10	25.00'	39.27'	35.36'	N25°50'10"W
C11	25.00'	39.27'	35.36'	S36°19'07"W
C12	525.00'	45.47'	45.45'	S06°12'01"E
C13	25.00'	37.08'	33.78'	S46°13'25"E
C14	270.00'	84.26'	83.92'	S79°46'36"E
C15	25.00'	39.27'	35.36'	N64°09'50"E
C16	25.00'	39.27'	35.36'	N25°50'10"W
C17	220.00'	68.66'	68.38'	N79°46'36"W
C18	525.00'	36.90'	33.64'	S48°59'42"W
C19	19.17'	49.17'	31.405'	S14°50'49"W
C20	25.00'	38.84'	33.405'	S11°31'34"W
C21	475.00'	39.27'	39.76'	S68°26'16"E
C22	25.00'	39.27'	35.36'	N64°09'50"E
C23	25.00'	39.27'	35.36'	N25°50'10"W
C24	525.00'	43.95'	43.94'	N68°26'16"W
C25	25.00'	35.13'	32.31'	S73°42'15"W
C26	525.00'	155.77'	155.20'	S41°56'50"W



**Final Plans  
RECEIVED  
03/11/2022  
DEVELOPMENT  
ENGINEERING**

**ENGINEERING  
REVIEW COPY**

<p align="center"><b>FINAL PLAT of</b></p> <p align="center"><b>TRIBUTE AT TAMANEND * PHASE 1</b></p> <p align="center"><b>SECTION 4 – T8S – R13E</b></p> <p align="center"><b>ST. TAMMANY PARISH, LOUISIANA</b></p>			
14.71 ACRES	68	CENTRAL	PUD
AREA	NO. OF LOTS	SEWER SYSTEM	PRESENT ZONING
AS SHOWN	50'	CENTRAL	
AVG. LOT SIZE	RIGHT OF WAY WIDTH	WATER SYSTEM	
ASPHALT	3,972± L.F.	ONE	
ROAD SURFACE	STREET LENGTH	PHASE No.	
	BIG BRANCH BAYDU		
<p align="center">ULTIMATE SURFACE WATER DISPOSAL</p>			

## RESTRICTIVE COVENANTS

1) NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED BEFORE THE SEWERAGE AND WATER SYSTEMS ARE INSTALLED AND OPERABLE OR OTHERWISE CONNECTED TO A COMMUNITY (CENTRAL) SEWERAGE AND/OR WATER SUPPLY SYSTEM AS APPROVED BY THE DEPARTMENT OF ENVIRONMENTAL SERVICES OF ST. TAMMANY PARISH. WHENEVER A SUBDIVISION IS SERVED BY A COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY), NO PRIVATE WATER SUPPLY MAY BE DRILLED OR OTHERWISE CONSTRUCTED ON ANY LOT FOR THE PURPOSE OF SUPPLYING WATER TO ANY BUILDING OR STRUCTURE, EXCEPT FOR THE PURPOSE OF PROVIDING A PHYSICAL CONNECTION BETWEEN ANY SUCH SOURCE AND ANY ELEMENT OF THE COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY).

2) CONSTRUCTION OF ANY NATURE, INCLUDING FENCES, IS PROHIBITED IN DRAINAGE OR STREET EASEMENTS.

3) NO NOXIOUS OR OFFENSIVE ACTIVITY SHALL BE CARRIED ON UPON ANY LOT, NOR SHALL ANYTHING BE DONE THEREIN WHICH MAY NOT BECOME AN ANNOYANCE OR NUISANCE TO THE NEIGHBORHOOD, PARTICULARLY THE USE OF LOTS AS TRASH OR JUNK VEHICLE STORAGE.

4) NO LOT WILL BE FURTHER SUBDIVIDED WITHOUT THE APPROVAL OF THE ST. TAMMANY PLANNING COMMISSION AND APPROVED SUBDIVISION OF ENVIRONMENTAL SERVICES OF ST. TAMMANY PARISH.

5) IT SHALL BE PROHIBITED FOR ANY LOT WITHIN AN APPROVED SUBDIVISION TO HAVE REAR ACCESS VIA A DRIVEWAY TO OR FROM ANY STREET OR ROAD THAT IS NOT DEDICATED WITHIN THE BOUNDARIES OF THE APPROVED SUBDIVISION PLAT. (AMENDED PER ORD-12-2711, ADOPTED APRIL 5, 2012)

6) DRIVEWAYS FOR ALL CORNER LOTS ARE TO MAINTAIN A MINIMUM DURATION OF SIXTY (60) FEET TO THE CORNER OF SAID PROPERTY CLOSEST TO THE INTERSECTION AS MEASURED FROM THE PROPERTY LINES ON THE CORNER OF THE TRIANGULAR PLAT. WHERE TWO OR MORE DRIVEWAYS RIGHTS-OF-WAY INTERSECT, IF THERE ARE LOTS THAT DO NOT COMPLY WITH THIS AS FRONT-LOADED LOTS, THEY ARE TO BE SIDE-LOADED. DUE TO THE CONFIGURATION OF TRIANGULAR PLATS, WHERE TWO DRIVEWAYS ARE SIDE-LOADED WITH A MINIMUM DURATION OF 49.9', BETWEEN THE DRIVEWAY EDGE AND PROPERTY CORNER WHERE THE TWO STREET RIGHT-OF-WAY, INTERSECT.

7) SETBACKS FOR THE PROPOSED LOTS ARE AS FOLLOWS: FRONT = 20', SIDE = 5', REAR = 15' AND STREET = 10'. MAXIMUM BUILDING HEIGHT REQUIREMENT IS 35'.

8) MINIMUM BUILDING FINISHED FLOOR ELEVATION SHALL BE 12 INCHES ABOVE THE CENTERLINE OF THE STREET.

**DEDICATION**

ALL STREET RIGHTS-OF-WAYS AS SHOWN HEREON ARE NOT DEDICATED TO THE PARISH OF ST. TAMMANY BUT ARE DEDICATED TO THE PERPETUAL USE OF THE COMMUNITY DEVELOPMENT DISTRICT AND IS TO BE MAINTAINED BY SAID COMMUNITY DEVELOPMENT DISTRICT. THE COMMUNITY DEVELOPMENT DISTRICT WILL BE RESPONSIBLE FOR THE LIABILITY AND MAINTENANCE OF RECREATIONAL AMENITIES AND LANDSCAPE FUNDING. EASEMENTS SHALL BE RESERVED FOR DRAINAGE AND UTILITIES AS INDICATED HEREIN AND NO OBSTRUCTIONS OR IMPROVEMENTS SHALL BE ALLOWED THEREON TO PREVENT THE PROPER FLOW OF WATER. FOR INTENDED USE, THE DEVELOPER OR HOMEOWNERS ASSOCIATION IS RESPONSIBLE FOR MAINTENANCE OF ALL DRAINAGE, SEWER/UTILITY, STREET SIGNS, COMMON AREAS/ENCROACHMENTS WITHIN THIS PHASE AND TRAFFIC CONTROL SIGNS.

NOTES:

1. ALL IMPROVEMENTS NOT SHOWN HEREON.
2. THIS SURVEYOR DOES NOT, AND HAS NOT DETERMINED WETLANDS. THE WETLANDS SHOWN HEREON, IF ANY, WERE SUPPLIED BY THE OWNER OR THEIR ENGINEER.
3. MAINTENANCE NOTE: MAINTENANCE OF THE DRAINAGE, UTILITY & ACCESS (BUT NOT THE ROAD SURFACE AND IMPROVEMENTS) SERVICUTE WHICH LOCATIONS FROM LOUISIANA HIGHWAY 434 ACROSS PARCEL A TO PARCELS B AND THE "PARCEL A SERVICUTE" IS AND SHALL CONTINUE TO BE THE RESPONSIBILITY OF THE OWNER OF PARCEL A, OR ITS ASSIGNS, NOW AND AFTER THE ROADWAY AND ASSOCIATED INFRASTRUCTURE LOCATED WITHIN THE PARCEL A SERVICUTE IS DULY BECOMED TO THE STATE OF LOUISIANA AND ACCEPTED INTO THE ST. TAMMANY PARISH ROAD MAINTENANCE SYSTEM.
4. TAMANEND SUBDIVISION, PHASE 1, CASE NO. SD08-06-008 P-1 RECEIVED PRELIMINARY APPROVAL ON 2/11/14 AND IS ACTIVELY UNDER CONSTRUCTION.
5. THE GEOMETRIC DESIGN SHOWN HEREON WAS PROVIDED TO THIS SURVEYOR BY OTHERS.
6. TBM IS A 1/2" IRON ROD SET IN LEGENDS BOULEVARD, ELEVATION = 50.2' (GEOID 2011 NAVD83).
7. **431016** DENOTES MUNICIPAL ADDRESS
8. LOTS TO BE MONUMENTED WITH 1/2" REBAR.

APPROVAL

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CHAIRMAN PARISH PLANNING COMMISSION

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SECRETARY PARISH PLANNING COMMISSION

---

PARISH ENGINEER

---

DATE FILED	FILE NO.
CLERK OF COURT	

(Owner/Owner Representative)	Date
D.R. Horton, Inc. - Gulf Coast	
7696 Vincent Road	
Denham Springs, LA 70726	

TRIBUTE AT TAMANEND \* PHASE 1  
 SECTION 4 - T8S - R13E  
 ST. TAMMANY PARISH, LOUISIANA

REVISED DATE:

DRAWN BY:  
J.E.D./RJB  
CHECKED BY:  
RWB  
DATE:  
3-10-2022  
SCALE:  
1" = 80' ±  
SURVEY No.  
22156

SHEET



**FINAL SUBDIVISION STAFF ANALYSIS REPORT**  
*(As of April 5, 2022)*

CASE NO.: 2022-2794-FP

SUBDIVISION NAME: Southern Oaks Subdivision, Phase 2

DEVELOPER: Yanin, LLC  
13045 Seymour Meyers Boulevard; Suite 18  
Covington, LA 70443

ENGINEER/SURVEYOR:	Kyle Associates, LLC	Kelly McHugh and Associates
	638 Village Lane North	845 Galvez Street
	Mandeville, LA 70471	Mandeville, LA 70448

SECTION:	WARD: 1
TOWNSHIP: SOUTH	PARISH COUNCIL DISTRICT: 4
RANGE: EAST	

TYPE OF DEVELOPMENT:                    ☐ URBAN (Residential lots less than 1 acre)  
   ☐ SUBURBAN (Residential lots between 1-5 acres)  
   ☐ RURAL (Residential Farm Tract lots 5 acres plus)  
   ☒ OTHER (Multi family, commercial or industrial) (PUD)

GENERAL LOCATION: The property is located on the west of Trapagnier Road, south side of LA Highway 22, south of Interstate-12, Covington, Louisiana.

TOTAL ACRES IN DEVELOPMENT: 23.78 Acres

NUMBER OF LOTS: 35                    AVERAGE LOT SIZE: Varies

SEWER AND WATER SYSTEMS: Central

ZONING: PUD

FLOOD ZONE DESIGNATION: "C"

**STAFF COMMENTARY:**

**Department of Planning and Development**

Periodic inspections have been made by this office during construction and the final inspection was made on April 1, 2022. The inspection disclosed that all of the concrete roads are constructed, and road shoulders were constructed and the roadside ditches were functioning.

The following uncompleted items existed at the time of the final inspection and will be completed before the plats are signed:

**General Comment:**

1. Provide an updated recreational plat for this development that correlates to the required amenity timeline outlined in Restrictive Covenant #14.

**Final Plat:**

2. Include the maximum allowable building height of all primary structures with the building setback table.
3. Show the private drainage servitudes on the Final Plat between Lots #67 & #68, as well as between Lots #69 & #70. Modify the building setback lines on these lots accordingly to not conflict with the required drainage servitudes.
4. Revise the permanent structures note to reflect the following: "No Permanent Structures including driveways and fences shall be constructed within 20 ft of the top bank of a lateral ditch".
5. Add the following restrictive covenant: "#16. It shall be prohibited for any lot within an approved subdivision to have rear access via a driveway to or from any street or road that is not dedicated within the boundaries of the approved subdivision plat".

**Paving & Drainage Plan:**

6. The drainage as-builts in front of Lots #66-67 and through the private drainage servitude show the roadside ditch is not draining as designed. Regrade this area to provide drainage flow as originally designed or update the as-built plans accordingly to show positive flow.
7. Provide direction flow arrows of the drainage in GS-2-E behind lots #59 - #66.
8. Update the "Drainage Legend" to show as-built elevations and remove any old existing or proposed elevations.
9. Remove Note #2 from the as-built paving & drainage plan.

**Informational Items:**

The developer is responsible for contacting the USPS Regional Growth Management Coordinator to verify the appropriate mail delivery location for this development.

Additionally, should the Planning Commission approve the request for final approval, a Warranty Obligation will be required for the infrastructure in the amount of 1,500 linear feet x \$25.00 per linear foot for a total of \$37,500.00 for a period of two (2) years.

The staff recommends approval of the proposed final subdivision request subject to the developer complying with all comments and no plats to be signed until all items are satisfactorily completed.



Mandatory Developmental Fees are required as follows:

Road Impact Fee at \$1,077.00 per lot x 35 lots for a total of \$37,695.00.

Drainage Impact Fee at \$1,114.00 per lot x 35 lots for a total of \$38,990.00.

Fees are due before subdivision plats can be signed.

This subdivision **is** within the Urban Growth Boundary Line.

Revised drawings will not be accepted for review or placement in the packet prior to the April 12, 2022 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.







**FINAL SUBDIVISION STAFF ANALYSIS REPORT**  
*(As of April 5, 2022)*

CASE NO.: 2022-2795-FP

SUBDIVISION NAME: Bonterra Subdivision, Phase 1-A

DEVELOPER: Lynn Levy Land Co., LLC  
10604 Coursey Boulevard  
Baton Rouge, LA 70816

ENGINEER/SURVEYOR: J.V. Burkes & Associates, Inc.  
1805 Shortcut Highway  
Slidell, LA 70458

SECTION: 31

WARD: 8

TOWNSHIP: 8 SOUTH

PARISH COUNCIL DISTRICT: 9

RANGE: 15 EAST

TYPE OF DEVELOPMENT: \_\_\_\_\_ URBAN (Residential lots less than 1 acre)  
\_\_\_\_\_ SUBURBAN (Residential lots between 1-5 acres)  
\_\_\_\_\_ RURAL (Residential Farm Tract lots 5 acres plus)  
\_\_\_\_\_ X OTHER (Multi family, commercial or industrial) (PUD)

GENERAL LOCATION: The property is located on the east & west sides of North Military Road/LA Highway 1090, north of Interstate 12, Slidell, Louisiana.

TOTAL ACRES IN DEVELOPMENT: 25.250 Acres

NUMBER OF LOTS: 78 Lots      AVERAGE LOT SIZE: Varies

SEWER AND WATER SYSTEMS: Central

ZONING: A-4-A/PUD & A-1/PUD

FLOOD ZONE DESIGNATION: "C" & "A4"

**STAFF COMMENTARY:**

**Department of Planning and Development**

Periodic inspections have been made by this office during construction and the final inspection was made on March 31, 2022. The inspection disclosed that all of the asphalt roads are constructed, and the subsurface drainage is functioning.

Staff recommends postponement of this submittal due to the following uncompleted items that existed at the time of the final inspection and review. Planning Commission approval shall be subject to the following items being completed before plats are signed.

**General Comments:**

1. The cross-culverts under Hwy 1090 need to be exposed and cleaned out to provide positive flow.
2. The newly regraded drainage feature within this phase of Bonterra needs to be properly vegetated. Maintain existing erosion control measures until the vegetation is established. (Typical Comment)
3. Several roadway areas had siltation present at the time of inspection. Remove the siltation from the roadway and provide erosion control measures or regrade the lots to prevent further roadway siltation from occurring. (Typical Comment)
4. Vegetate detention pond top of bank and pond banks thought this phase of Bonterra. Install and maintain proper erosion control measures until vegetation is established. (Typical Comment)
5. Vegetate the Bonterra Blvd entrance median.
6. Clean debris from all catch basin openings. (Typical Comment)
7. Provide asphalt test results for Bonterra Blvd.

**Final Plat:**

8. The addresses for Lot #201 need to be corrected to show 60605 and 40472.
9. Show the location of the permanent benchmark within this phase of Bonterra.
10. Add the following call-out for the five (5) lots removed from Phase 1-A. "Lots excluded in Phase 1-A".
11. The legal description metes and bounds need to be updated to eliminate conflicts between the legal description and the plat call-outs. (See the markups and summary emailed on 4/5/2022 for exact conflict locations)
12. Add the following restrictive covenant: "#17. It shall be prohibited for any lot within an approved subdivision to have rear access via a driveway to or from any street or road that is not dedicated within the boundaries of the approved subdivision plat".
13. The Final Plat and As-Built Plans are required to be stamped, signed and dated by the professional land surveyor and professional engineer of record. (Typical Comment)
14. Update restrictive covenant #16 to include the reference C.O.B. # and Folio #.
15. Provide the required as-built signage plan for this phase of Bonterra.



**Paving & Drainage Plan:**

16. Provide as-built lot drainage directional arrows for all lots. (Typical Comment)
17. Provide as-built elevations for the excavation area between Cara Mae Street and Hwy 1090, include the existing invert elevations for the Military Road cross-culverts.
18. Provide as-built elevations for the excavation area behind Lots #178 - #188, including the detention pond area. Provide a note on the as-built plans or a letter stamped by the professional engineer of record certifying the detention pond has been constructed to meet the approved drainage study and volume requirements.
19. Provide as-built weir elevations to ensure the pond water surface elevation drops to 8ft per the submitted D.I.S.
20. Per the provided as-built elevations, there are several areas that appear to be flowing in the opposing direction from the design plans. Verify the as-built elevations are correct or update the as-built elevations to eliminate this conflict. (Typical Comment - See the markups and summary emailed on 4/5/2022 for exact conflict locations)
21. Provide as-built elevations at all lot corners. (Typical Comment)
22. Provide as-built street elevations on the as-built paving plan. (Typical Comment)

**Water & Sewer Plan:**

23. Provide as-built sewer line pipe material in the sewer legend.
24. Show as-built information for the sewer force main from the installed lift station at Culper Drive to the tie-in location at the existing manhole on the corner of N. Black Lake Ct. & Lake Village Blvd. (include as-built pipe size, material, lengths, etc.)
25. Provide as-built water line pipe material in the water legend.
26. Show as-built information for the water line from Bonterra Subdivision to the tie-in location at the existing waterline on the corner of N. Black Lake Ct. & Lake Village Blvd. (include as-built pipe size, material, lengths, etc.)
27. Label the as-built locations for all fire hydrants legibly on the water plan. (Typical Comment)
28. Provide a Letter of Acceptance and Perpetual Maintenance for this phase of Bonterra from U.I.L.

**Informational Items:**

The developer is responsible for contacting the USPS Regional Growth Management Coordinator to verify the appropriate mail delivery location for this development.

Additionally, should the Planning Commission approve the request for final approval, a Warranty Obligation will be required for the infrastructure in the amount of 3,160 linear feet x \$22.00 per linear foot for a total of \$69,520.00 for a period of two (2) years.

Mandatory Developmental Fees are required as follows:

Road Impact Fee at \$1,077.00 per lot x 78 lots for a total of \$84,006.00.

Drainage Impact Fee at \$1,114.00 per lot x 78 lots for a total of \$86,892.00.

Fees are due before subdivision plats can be signed.

This subdivision **is** within the Urban Growth Boundary Line.

Revised drawings will not be accepted for review or placement in the packet prior to the April 12, 2022 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.







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**FINAL SUBDIVISION STAFF ANALYSIS REPORT**  
*(As of April 5, 2022)*

CASE NO.: 2022-2797-FP

SUBDIVISION NAME: Guste Island Estates Subdivision, Parcel I

DEVELOPER: McINT, Inc.  
845 Galvez Street  
Mandeville, LA 70448

ENGINEER/SURVEYOR: Kelly J. McHugh & Associates, Inc.  
845 Galvez Street  
Mandeville, LA 70448

SECTION: 20 & 37

WARD: 1

TOWNSHIP: 7 SOUTH

PARISH COUNCIL DISTRICT: 4

RANGE: 10 EAST

TYPE OF DEVELOPMENT: \_\_\_\_\_ URBAN (Residential lots less than 1 acre)  
\_\_\_\_\_ SUBURBAN (Residential lots between 1-5 acres)  
\_\_\_\_\_ RURAL (Residential Farm Tract lots 5 acres plus)  
\_\_\_\_\_ X OTHER (Multi family, commercial or industrial) (PUD)

GENERAL LOCATION: The property is located south of LA Highway 22 at Guste Island Road, east of LA Highway 1085, south of Interstate-12, west of Town of Madisonville, Louisiana.

TOTAL ACRES IN DEVELOPMENT: 23.06 Acres

NUMBER OF LOTS: 77 Lots

AVERAGE LOT SIZE: 8,400 Square Feet

SEWER AND WATER SYSTEMS: Central

ZONING: PUD

FLOOD ZONE DESIGNATION: "C"

**STAFF COMMENTARY:**

**Department of Planning and Development**

Periodic inspections have been made by this office during construction and the final inspection was made on April 1, 2022. The inspection disclosed that all of the concrete roads are constructed, and road shoulders need to be constructed and the roadside ditches need final grading.

Staff recommends postponement of this submittal due to the following uncompleted items that existed at the time of the final inspection and review. Planning Commission approval shall be subject to the following items being completed before plats are signed.

**General Comments:**

1. Regrade the roadside ditches throughout this phase to provide positive flow. Roadside ditches should be properly vegetated once regraded and proper erosion control measures installed and maintained until vegetation is established. (Typical Comment)
2. Bring all roadside shoulders to final grade and properly vegetate. Install and maintain proper erosion control measures until vegetation is established. (Typical Comment)
3. Regrade both Parcel GS-I-2 and GS-I-4 to provide positive flow. Greenspaces should be properly vegetated once regraded and proper erosion control measures installed and maintained until vegetation is established. (Typical Comment)
4. Remove siltation from all drainage culverts. (Typical Comment)
5. Correct erosion issues occurring around the cross-culvert headwalls.

**Final Plat:**

6. The legal description metes and bounds need to be updated to eliminate conflicts between the legal description and the plat call-outs (Refer to markups sent on 4/4/2022 for exact conflict locations).
7. Include the maximum allowable building height of all primary structures with the building setback table.
8. Add the following restrictive covenant: “#13. It shall be prohibited for any lot within an approved subdivision to have rear access via a driveway to or from any street or road that is not dedicated within the boundaries of the approved subdivision plat”.

**Paving & Drainage Plan:**

9. Several lots with drainage arrows indicate positive flow from rear to front. However, the as-built lot corner elevations for these lots indicate positive flow from front to rear. Regrade lots and provide as-built lot corner elevations indicating positive flow from rear to front in accordance with the previously approved plans (Refer to markups sent on 4/4/2022 for exact conflict locations).
10. Revise cross-section A-A and B-B to show as-built information.

**Informational Items:**

The developer is responsible for contacting the USPS Regional Growth Management Coordinator to verify the appropriate mail delivery location for this development.



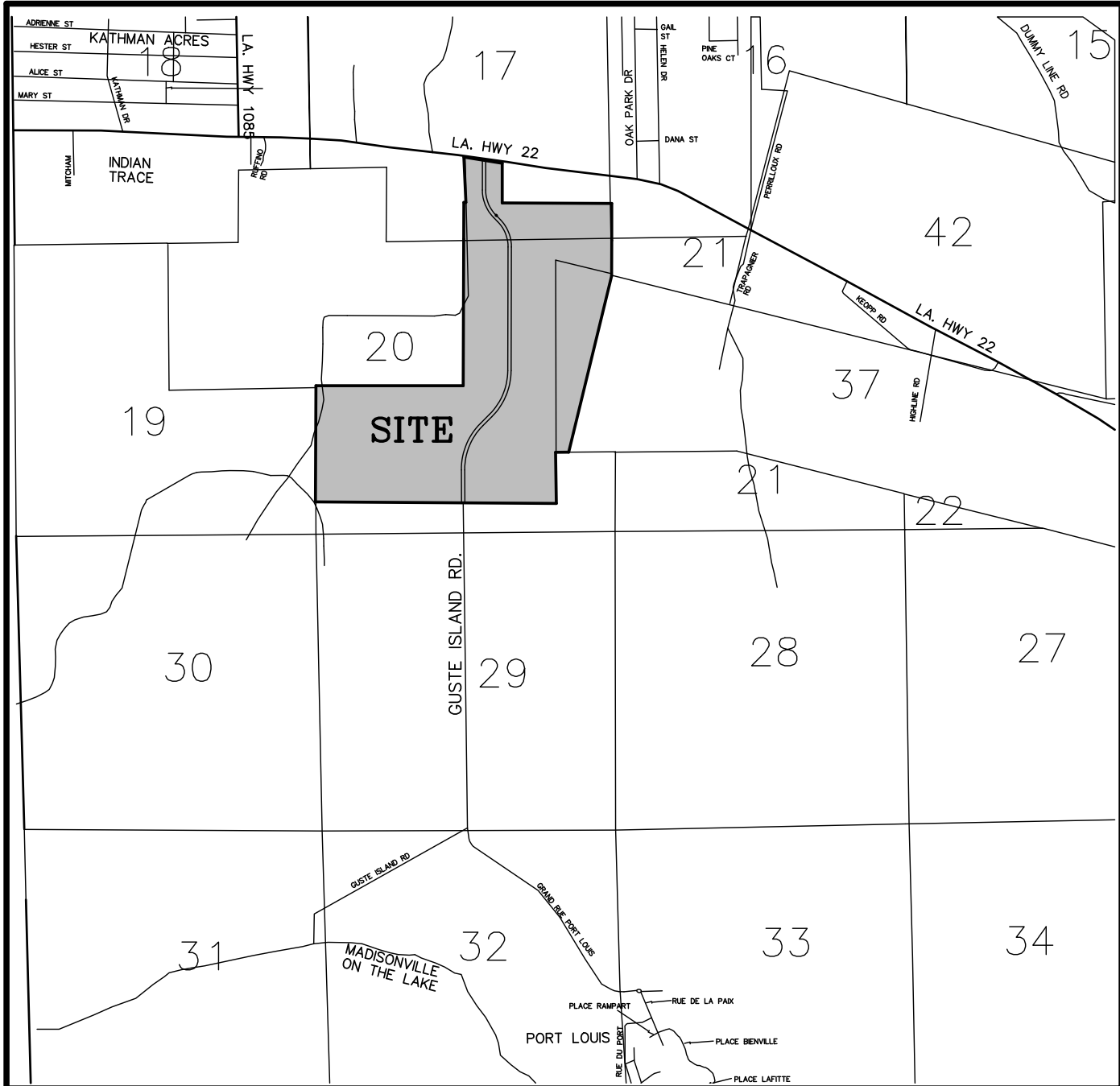
Additionally, should the Planning Commission approve the request for final approval, a Warranty Obligation will be required for the infrastructure in the amount of 3,125 linear feet x \$25.00 per linear foot for a total of \$78,125.00 for a period of two (2) years.

No Mandatory Development fees are required since a public hearing was held prior to January 1, 2005.

This subdivision **is** within the Urban Growth Boundary Line.

Revised drawings will not be accepted for review or placement in the packet prior to the April 12, 2022 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.





## VICINITY MAP

### LEGAL DESCRIPTION

A certain parcel of land situated in Sections 20 and 37, Township 7 South, Range 10 East, St. Tammany Parish, Louisiana and more fully described as follows:

Commence at the Quarter (1/4) Corner common to Sections 17 and 20, Township 7 South, Range 10 East and measure Thence North 00°16'45" East a distance of 859.14 feet to a point; Thence North 89°36'40" East a distance of 36.46 feet to a point; Thence North 71°12'15" East a distance of 363.00 feet to a point on a curve; Thence along a curve to the left having a radius of 644.06 feet, a delta of 35°49'18", an arc length of 402.67 feet, and a chord which bears South 26°42'52" East having a chord distance of 396.15 feet to a point on a line; Thence South 44°36'10" East a distance of 112.32 feet to a point on a curve; Thence along a curve to the right having a radius of 704.07 feet, a delta of 44°08'34", an arc length of 542.44 feet, and a chord which bears South 21°54'32" East having a chord distance of 529.12 feet to a point of tangency; Thence South 00°09'45" West a distance of 2,001.77 feet to a point; Thence South 89°50'15" East a distance of 960.00 feet to the POINT OF BEGINNING.

From the POINT OF BEGINNING measure

North 00°09'45" East a distance of 120.00 feet to a point;

Thence South 89°50'15" East a distance of 20.00 feet to a point;

Thence North 00°09'45" East a distance of 1259.80 feet to a point;

Thence North 35°10'15" East a distance of 25.03 feet to a point;

Thence South 74°10'26" East a distance of 507.75 feet to a point;

Thence North 15°49'34" East a distance of 120.00 feet to a point;

Thence South 74°10'26" East a distance of 39.57 feet to a point;

Thence North 15°41'52" East a distance of 180.00 feet to a point;

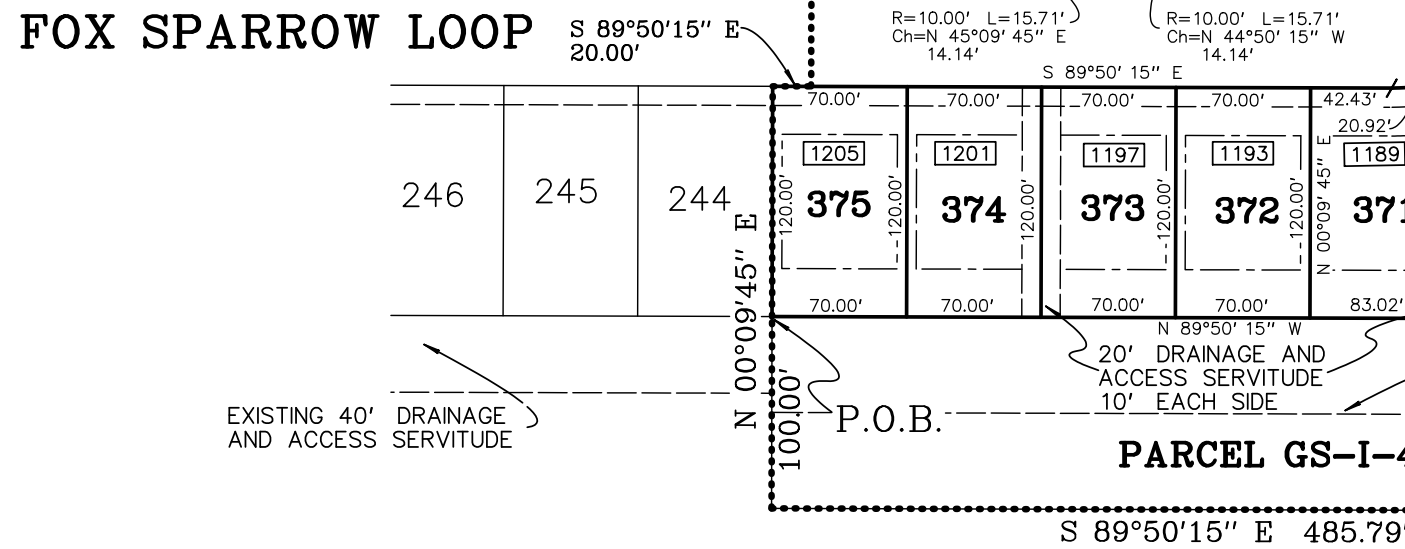
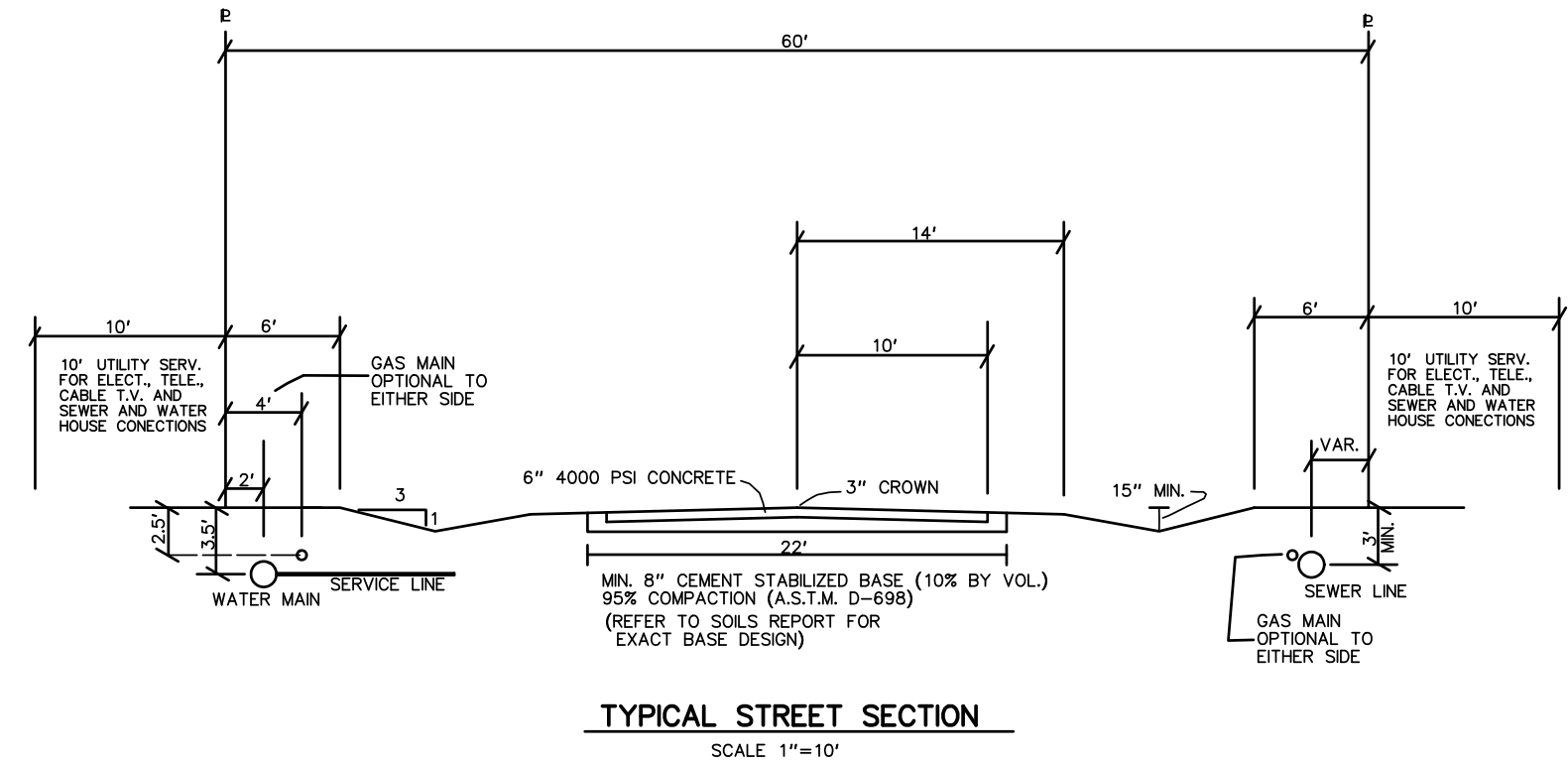
Thence South 74°10'26" East a distance of 207.24 feet to a point;

Thence South 74°13'55" East a distance of 75.76 feet to a point;

Thence South 15°28'39" West a distance of 1,622.83 feet to a point;

Thence North 89°50'15" West a distance of 485.79 feet to a point;

Thence North 00°09'45" East a distance of 100.00 feet to the POINT OF BEGINNING, and containing 1,004,321.42 square feet or 23.06 acre(s) of land, more or less.



- NOTES:
- THIS PROPERTY IS LOCATED IN FLOOD ZONE C.
  - REF: FIRM PANEL NO. 225209 0215 C, REVISED 04-02-91.
  - ALL LOT CORNERS MARKED WITH 1/2" IRON RODS.
  - 10000 = INDICATES MUNICIPAL ADDRESS.
  - = BENCHMARK-TOP OF SEWER MANHOLE ELEV. 13.95' (MSL NAVD 88 (GEOID 12A)).
  - NO PORTION OF THIS ROADWAY SHALL BE BELOW ELEVATION 6.0' (MSL).

**Final Plans  
RECEIVED  
03/11/2022  
DEVELOPMENT  
ENGINEERING  
ENGINEERING  
REVIEW COPY**

REVISIONS			
MARK	DATE	DESCRIPTION	BY
	10-23-18		
	11-26-18		
SERV.	12-12-18		
	01-10-22		
SCALE: 1" = 100'			
DATE: 10-09-18			
DRAWN: DRJ			
JOB NO.: 05-047			
CHECKED: KJM			
DWG. NO.: 05-047-PREL			

### MINIMUM RESTRICTIVE COVENANTS

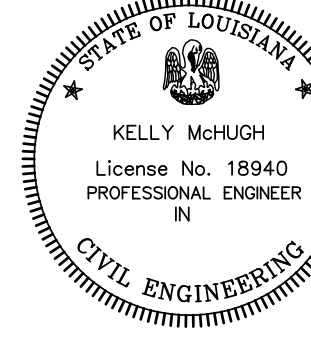
- EACH LOT WILL NOT HAVE MORE THAN ONE DWELLING.
- NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED BEFORE THE SEWERAGE AND WATER SYSTEMS ARE INSTALLED AND OPERABLE OR OTHERWISE CONNECTED TO A COMMUNITY (CENTRAL) SEWERAGE AND/OR WATER SYSTEM(S), ALL AS APPROVED BY THE ENVIRONMENTAL SERVICES DEPARTMENT OF ST. TAMMANY PARISH, WHENEVER A SUBDIVISION IS SERVED BY A COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY). NO PRIVATE WATER SUPPLY MAY BE DRILLED OR OTHERWISE CONSTRUCTED ON ANY LOT FOR THE PURPOSE OF SUPPLYING POTABLE WATER TO ANY BUILDING OR STRUCTURE, EXCEPT FOR THE PURPOSE OF IRRIGATION, AND IN NO EVENT SHALL THERE BE A PHYSICAL CONNECTION BETWEEN ANY SUCH SOURCE AND ANY ELEMENT OF THE COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY).
- BUILDING SETBACKS ARE: FRONT - 25', SIDE 5', REAR 25' AND SIDE STREET 15'.
- CONSTRUCTION OF ANY NATURE, INCLUDING FENCES, IS PROHIBITED IN PARISH DRAINAGE OR STREET EASEMENTS.
- NO NOXIOUS OR OFFENSIVE ACTIVITY SHALL BE CARRIED ON UPON ANY LOT, NOR SHALL ANYTHING BE DONE THERE ON WHICH MAY BE OR MAY BECOME AN ANNOYANCE OR NUISANCE TO THE NEIGHBORHOOD, PARTICULARLY THE USE OF LOTS AS DUMPS OR JUNK CAR STORAGE.
- THE MINIMUM ELEVATION FOR THE LOWEST FLOOR OF ALL RESIDENCES SHALL BE 12 INCHES ABOVE THE CROWN OF THE STREET.
- NO MOBILE HOMES WILL BE PERMITTED IN THIS SUBDIVISION.
- NO LOT WILL BE FURTHER RESUBDIVIDED WITHOUT THE PRIOR APPROVAL OF THE ST. TAMMANY PARISH PLANNING COMMISSION.
- THE MINIMUM RESTRICTIVE COVENANTS SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF ST. TAMMANY PARISH SUBDIVISION REGULATIONS. ADDITIONAL BUILDING RESTRICTIONS AND COVENANTS MAY BE RECORDED AT THE OFFICE OF THE CLERK OF COURT FOR ST. TAMMANY PARISH.
- DRIVEWAYS ON CORNER LOTS WHERE A DRIVEWAY IS TO BE ESTABLISHED ALONG THE WIDTH OR SMALLER DIMENSIONS OF THE LOT, SHALL NOT BE LOCATED ANY CLOSER THAN THIRTY-FIVE (35') FEET FROM THE CORNER OF THE PROPERTY CLOSEST TO THE INTERSECTION AS MEASURED FROM THE CORNER OF THE PROPERTY WHERE THE TWO STREET RIGHTS-OF-WAY INTERSECT. IN CASES WHERE A DRIVEWAY ON A CORNER LOT IS ESTABLISHED ALONG THE DEPTH OR LARGER DIMENSION OF A LOT LINE, THE SETBACK SHALL BE AT LEAST FIFTY (50') FEET FROM THE CORNER OF SAID PROPERTY CLOSEST TO THE INTERSECTION AS MEASURED FROM THE CORNER OF THE PROPERTY WHERE THE TWO STREET RIGHTS-OF-WAY INTERSECT.
- THE MAINTENANCE OF THE "GREEN SPACE" SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION.
- THE FOREMENTIONED RESTRICTIONS SHALL BE RECIED IN EACH TITLE OR DEED IN ADDITION TO THE REQUIRED LISTING ON THE FINAL SUBDIVISION PLAT. (AMENDED BY ORD. 94-2142, ADOPTED 12/15/94)

DEDICATION:

ALL STREET RIGHTS-OF-WAY AS SHOWN HEREON ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER USE. EASEMENTS SHALL BE RESERVED FOR DRAINAGE & UTILITIES AS INDICATED HEREON AND NO OBSTRUCTION OR IMPROVEMENTS SHALL BE ALLOWED THAT WOULD PREVENT THEM FROM BEING USED FOR THEIR INTENDED PURPOSES. ST. TAMMANY PARISH SHALL OWN AND MAINTAIN THE STREETS AND DRAINAGE CONDUITS. THE HOMEOWNERS ASSOCIATION FOR THIS DEVELOPMENT SHALL OWN AND MAINTAIN THE TRAFFIC CONTROL SIGNAGE AND MOUNTING POSTS.

OWNER DATE

THIS PLAN IS CERTIFIED TO CONFORM TO THE STATE OF LOUISIANA RS-33-5051 AND THE LAWS AND ORDINANCES OF ST. TAMMANY PARISH, AND CERTIFIED TO BE CORRECT AND IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED FOR A CLASS C SURVEY.



12-12-18  
LOUISIANA REGISTERED LAND SURVEYOR NO. 4443  
LOUISIANA REGISTERED CIVIL ENGINEER NO. 18940

EXISTING SEWER AND WATER FACILITIES  
AT GUSTE ISLAND ESTATES

23.06 AC.	77	3125'	CENTRAL
AREA	NO. OF LOTS	LENGTH OF STREETS	SEWER SYSTEM
8400 SQ. FT.	70'	60' / 20'	CENTRAL
AVG. LOT SIZE	LOT FRONTAGE	STREET WIDTH	WATER SYSTEM
CONCRETE	120'	P.L.D.	
ROAD SURFACE	LOT DEPTH	ZONING	

LAKE PONTCHARTRAIN  
ULTIMATE SURFACE WATER DISPOSAL

FOR:	APPROVAL:
McInt, LLC CORPORATION	CHAIRMAN PARISH PLANNING COMMISSION
GREG INTRAVIA OFFICER	SECRETARY PARISH PLANNING COMMISSION
	DIRECTOR OF THE DEPARTMENT OF ENGINEERING
845 GALVEZ ST. MANDEVILLE, LA. 70448	DATE FILED FILE NO.
ADDRESS	CLERK OF COURT

## FINAL PLAN

GUSTE ISLAND ESTATES, PARCEL I  
(THE OAKS)  
SECTION 20 & 37 T-7-S, R-10-E,  
GREENSBURG LAND DISTRICT,  
ST. TAMMANY PARISH, LOUISIANA.



# **OLD BUSINESS**

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## MINOR SUBDIVISION STAFF ANALYSIS REPORT

(As of April 4, 2022)

Meeting Date: April 12, 2022

CASE NO.: 2021-2326-MSP

OWNER/DEVELOPER: Michael W. Wittich & Kathryn Gayle Wittich

ENGINEER/SURVEYOR: Land Surveying LLC

SECTION: 20

TOWNSHIP: 6 South

RANGE: 11 East

WARD: 3

PARISH COUNCIL DISTRICT: 2

TYPE OF DEVELOPMENT:                           SUBURBAN (Residential acreage between 1-5 acres)  
          RURAL (Low density residential 5 acres or more)  
     X   OTHER (PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: Located on the east side of LA Highway 25, north of Airport Road, south of Wylie Jenkins Road, Covington, Louisiana

SURROUNDING LAND USES: Commercial, Residential & Undeveloped

TOTAL ACRES IN DEVELOPMENT: 5.85 acres

NUMBER OF LOTS/PARCELS: Parcels A, B & C into Parcels A-1, B-1 & C-1

ZONING: HC-2 Highway Commercial Zoning District

### STAFF COMMENTARY:

#### Department of Development – Planning & Engineering

The applicant is requesting to create three (3) parcels from parcels A, B & C. The minor subdivision request requires a public hearing due to:

- Parcels A, B & C were previously part of a minor subdivision approved in August 2018 (2018-1113-MSP).

The request shall be subject to the above and below comments:

1. Provide recordation information for the 35 access servitude from Parcel B to Parcel A shown on previously approved survey.
2. Reduce the length of the 35 foot access servitude from Hwy 25, through Parcel B-1, to Parcel A-1.



20

T6-R1E

25

45

REGINA COELI

PRIVETE



A Minor Subdivision of Parcel A, B & C  
into Parcel A-1, B-1 & C-1 in Section 20,  
T-6-S, R-11-E, St. Tammany Parish, Louisiana

FINAL APPROVAL

CHAIRMAN OF PLANNING COMMISSION

DIR. DEPT. OF ENGINEERING

SECRETARY PLANNING COMM.

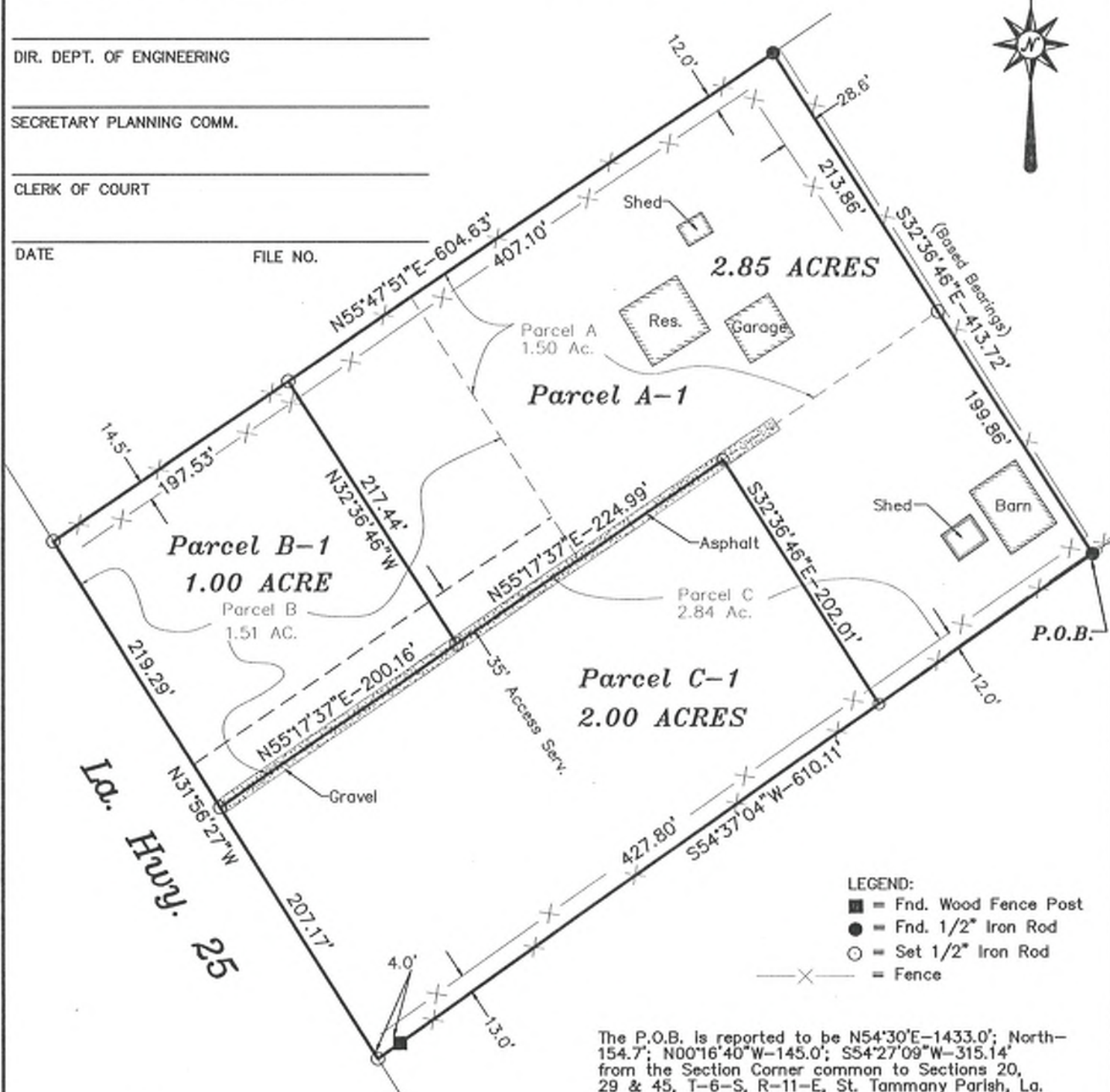
CLERK OF COURT

DATE FILE NO.

Reference:

1. Survey Map prepared by Land Surveying,  
Inc. dated 6-27-2000, Survey No. 89148  
(Based Bearings)  
2. Survey Map prepared by Land Surveying,  
LLC Map File No. 5774F, Clerk of Court  
Office, St. Tammany Parish, Louisiana

Reference calls not shown



(Must verify prior to Construction)  
Building Setbacks  
Front: \*\*  
Side: \*\*  
Rear: \*\*  
Side Street: \*\*

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS.

THIS MAP IS IN ACCORDANCE WITH THE STANDARD DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A "D" SURVEY AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46:XXI.

MAP PREPARED FOR **BRIAN YANIGA**

SHOWN A SURVEY MADE OF PROPERTY LOCATED IN SECTION 20, T-6-S, R-11-E, ST. TAMMANY PARISH, LOUISIANA

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED. SIGNATURE AND STAMPED SEAL MUST BE IN RED OR THIS PLAT IS NOT A TRUE COPY.

**LAND SURVEYING LLC**  
518 N. Columbia Street, Covington, LA 70433  
(985) 892-6277 office (985) 898-0355 fax  
landsurveyingllc@gmail.com

Revised: 8-15-2018 (Servitude) 2-18-2022 (Parcels)

**BRUCE M. BUTLER, III**  
LOUISIANA PROFESSIONAL LAND SURVEYOR  
LICENSE NO. 4894

SCALE: 1" = 100'

DATE: 2-25-2021

NUMBER: 20245



A Minor Subdivision of Parcel A and C into Parcel A-1 and C-1 in Section 20, T-6-S, R-11-E, St. Tammany Parish, Louisiana

FINAL APPROVAL

CHAIRMAN OF PLANNING COMMISSION

DIR. DEPT. OF ENGINEERING

SECRETARY PLANNING COMM.

CLERK OF COURT

DATE \_\_\_\_\_

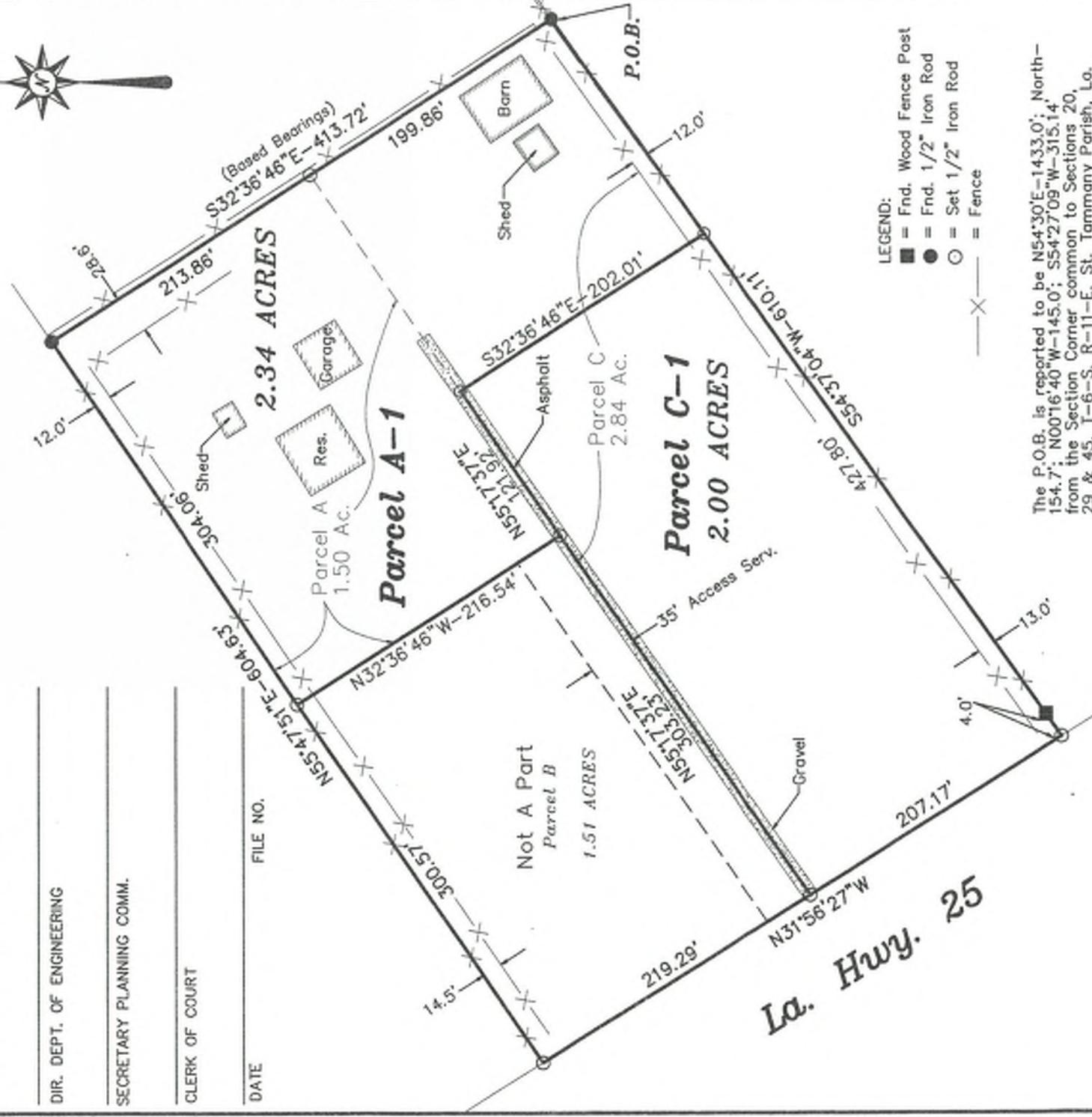
FILE NO.





### References:

Reference:  
1. Survey Map prepared by Land Surveying, Inc. dated 6-27-2000, Survey No. 89148 (Based Bearings)

2. Survey Map prepared by Land Surveying, LLC Map File No. 5774F, Clerk of Court office, St. Tammany Parish, Louisiana

Reference coils not shown



LEGEND:  
 = Fnd. Wood Fence Post  
 = Fnd. 1/2" Iron Rod  
 = Set 1/2" Iron Rod  
 = Fence

The P.O.B. is reported to be N54°30'E-1433.0'; North-154.7'; N00°16.40'W-145.0'; S54°27'09"W-315.14', from the Section Corner common to Sections 20, 29 & 45, T-6-S, R-11-E, St. Tammany Parish, La.

SERVICES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE. SERVICES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED DEEDS/STAIRS.

THIS MAP IS IN ACCORDANCE WITH THE STANDARD DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A "D" SURVEY AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46:191.

(Must verify prior to Construction)  
Building Setbacks  
Front: \*\*  
Side: \*\*  
Rear: \*\*  
Side Street: \*\*

**BRIAN YANIGA**  
MAP DESIGNER FOR

SECTION 4. CEMETERY MAP OF PROPERTY LOCATED IN SECTION 20. T-6-S. R-11-E. ST. TAMMANY PARISH, LOUISIANA

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY, MAIL  
SIGNATURE AND STAMPED SEAL MUST BE IN RED OR THIS P  
**LAND SURVEYING LLC**  
518 N. Columbia Street, Covington, LA 70433  
(985) 892-6271 office (985) 898-0355 fax  
landsurveyllc@gmail.com

Revised: 8-15-2018 (Servitude)

SCALE	1" = 100'
-------	-----------

DATE:

2-25-2021

NUMBER 20245

Terr3 Africa YankeeResult2-25-21



FINAL APPROVAL

CHAIRMAN OF PLANNING COMMISSION

DIR. DEPT. OF ENGINEERING

SECRETARY PLANNING COMM.

CLERK OF COURT

Pamela M. Tripp Deputy Clerk

08-28-2018

5774F

DATE

FILE NO.

LEGEND:

■ = Fnd. Wood Fence Post

● = Fnd. 1/2" Iron Rod

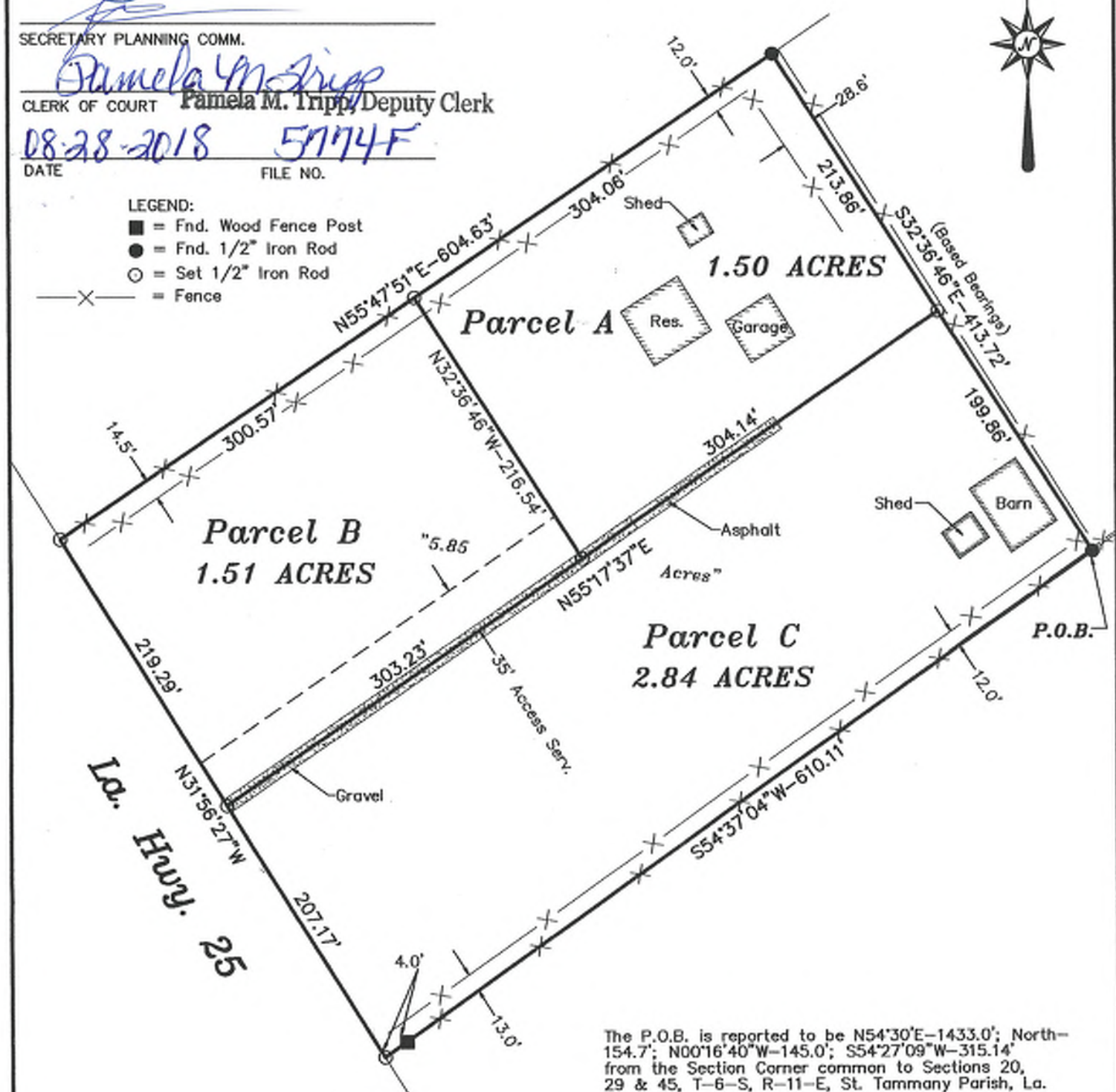
○ = Set 1/2" Iron Rod

—X— = Fence

A Minor Subdivision of a 5.85 Acre Parcel of Land, into Parcels A, B & C, Section 20, T-6-S, R-11-E, St. Tammany Parish, Louisiana

Reference: A Survey Map by Jeron Fitzmorris, Dated 6-27-2000, #8914B, (Based Bearings)

Reference calls not shown



The P.O.B. is reported to be N54°30'E-1433.0'; North-154.7'; N00°16'40"W-145.0'; S54°27'09"W-315.14' from the Section Corner common to Sections 20, 29 & 45, T-6-S, R-11-E, St. Tammany Parish, La.

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS.

THIS MAP IS IN ACCORDANCE WITH THE STANDARD DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A "D" SURVEY AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 48:1X1.

(Must verify prior to Construction)

Building Setbacks

Front: \*\*

Side: \*\*

Rear: \*\*

Side Street: \*\*

MAP PREPARED FOR

**BRIAN YANIGA**

SHOWN A SURVEY MADE OF PROPERTY LOCATED IN SECTION 20, T-6-S, R-11-E, ST. TAMMANY PARISH, LOUISIANA

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED: SIGNATURE AND STAMPED SEAL MUST BE IN RED OR THIS PLAT IS NOT A TRUE COPY. CERTIFIED CORRECT

**LAND SURVEYING LLC**

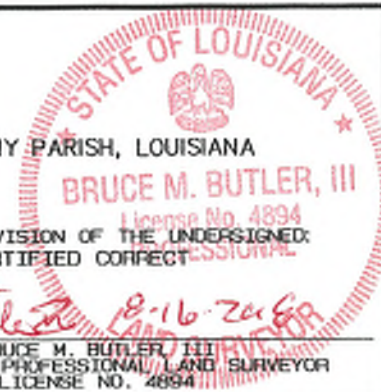
518 N. Columbia Street, Covington, LA 70433  
(985) 892-6277 office (985) 898-0355 fax  
landsur@bellsouth.net email

Revised: 8-15-2018 (Servitude)

SCALE: 1" = 100'

DATE: 5-20-2018

NUMBER 18771



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## ST. TAMMANY PARISH

MICHAEL B. COOPER  
PARISH PRESIDENT

April 5, 2022

St. Tammany Parish Planning Commission  
P.O. Box 628  
Covington, LA 70434

OLD BUSINESS

April 12, 2022 Agenda

Re: Alexander Ridge, Phase 4 – Preliminary Approval – Case No. 2021-2398-PP  
Preliminary Plan Modification Request

Honorable Commissioners,

The engineer of record for the above captioned project, Mr. James E. Powell, Jr., P.E., P.L.S. has requested approval for the proposed plan changes in accordance with the attached letter dated August 24, 2021 for the above referenced Preliminary Subdivision.

The Department of Engineering has reviewed this request and has no objection to the requested modifications.

Sincerely,



Daniel P. Hill, P.E.

Director, Department of Engineering

Enclosure: 1. Plan Modification Request Letter from Mr. Powell dated Aug. 24, 2021  
2. Alexander Ridge, Phase 4 Preliminary Plat dated March 28, 2022  
3. Alexander Ridge, Phase 4 Drainage Plan dated March 28, 2022

xc: Honorable Michael Cooper  
Honorable David Fitzgerald  
Mr. Theodore C. Reynolds, P.E.  
Mr. Ross Liner, AICP, PTP, CFM  
Ms. Helen Lambert

Mrs. Maria Robert, P.E.  
Mr. Chris Cloutet, P.E.  
Mr. Eddie Powell, P.E., P.L.S., Kyle Associates, LLC



August 24, 2021

Mrs. Helen Lambert  
Assistant Director  
Department of Planning & Development  
St. Tammany Parish Government  
21454 Koop Drive, Suite 1B  
Mandeville, LA 70471  
Email: [hlambert@stpgov.org](mailto:hlambert@stpgov.org)

RE: Alexander Ridge Phase 4 – Revised PUD  
St Tammany Parish, LA  
KA Project No. 19046

Dear Mrs. Lambert:

Please find attached an updated PUD plan for the referenced project for which we are requesting approval of the changes as a minor amendment to the previously approved PUD plan. The following are the changes that have been made to the previously-approved plan:

1. The typical section has been revised from a concrete pavement section with subsurface drainage within a 60-ft right-of-way to an asphalt pavement section with open-ditch drainage within an 80-ft right-of-way.
2. The amount of greenspace within the proposed development has been reduced from 103.57 acres to 100.08 acres which represents only a 3.37% decrease from the previously approved greenspace. This falls within the 5% threshold to be considered a minor amendment.
3. There is no change in the land use or density with this revised PUD plan.

Please provide your approval of this minor amendment to the PUD at your earliest convenience. Upon your approval, our office will update the construction drawings for review and approval by St. Tammany Parish.



If you have any additional questions or comments, do not hesitate to contact this office.

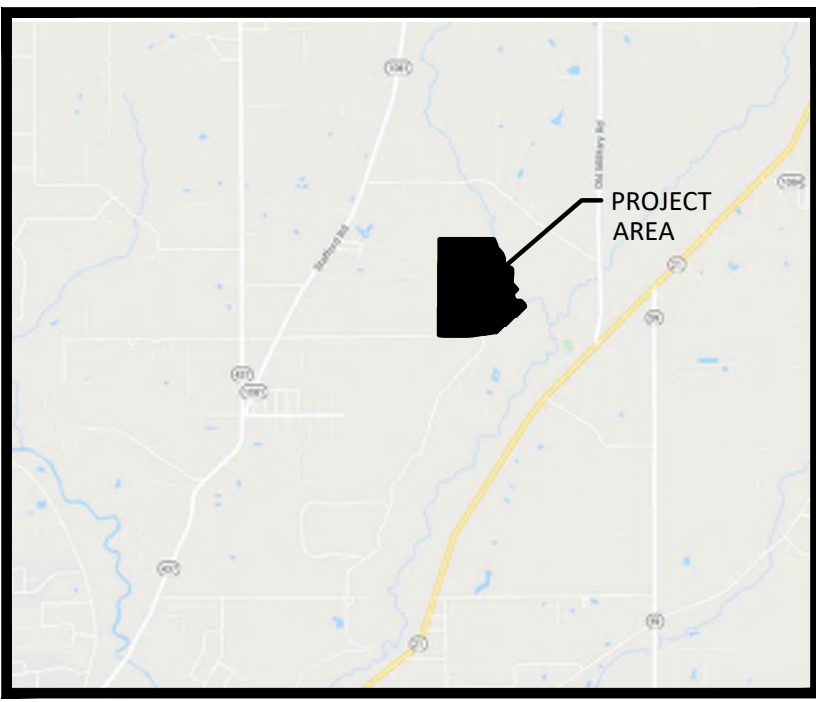
Sincerely,

A handwritten signature in blue ink, appearing to read 'JEP', with a long horizontal flourish extending to the right.

James E. Powell, Jr., P.E., P.L.S.  
Vice President – Engineering Operations  
Kyle Associates, LLC

attachment





VICINITY MAP  
NOT TO SCALE

SITE DATA CALCULATION		
141± AREA (ACRES)	141 NO. OF LOTS	C FLOOD ZONE (ALL PROPERTY)
55'± MIN LOT FRONTAGE (ALEXANDER RIDGE)	110' AVE LOT DEPTH (ALEXANDER RIDGE)	6,050 s.f.± LOT SIZE
6250 LF LENGTH OF STREETS	CONCRETE ROAD SURFACE	A2-A3 PUD ZONING
1 DENSITY PER ACRE	80' STREET R.O.W.	PRIVATE ROAD TYPE
35' MAX HEIGHT OF BLDG. (ABOVE BASE FLOOD)	N/A WETLANDS	
TERRA MARIAE WATER SYSTEM	TERRA MARIAE SEWER SYSTEM	
LAKE PONTCHARTRAIN ULTIMATE SURFACE WATER DISPOSAL		

TOTAL GREEN SPACE PROVIDED	
TOTAL ACRES IN DEVELOPMENT: 141 ACRES	
ACRES IN GREENSPACE: 96.55 ACRES (NOT INCLUDING PONDS)	
ACRES IN POND AREA: 7.06 ACRES (50% 3.53 ACRES)	
TOTAL ACRES IN GREENSPACE AND POND AREA: 100.08 ACRES	
TOTAL PERCENTAGE GREENSPACE (50% CREDIT FOR PONDS): 71%	
TOTAL PERCENTAGE OF LAND FOR ACTIVE GREENSPACE: 1% (1 ACRE)	
TOTAL PERCENTAGE OF LAND FOR PASSIVE GREENSPACE: 70% (99.08 ACRES)	
MIN. LOT SIZE FOR PHASES 4A, 4B, 4C, & 4D : 55' X 110'	
AVERAGE ACREAGE OF 4E: 1.91 ACRES	
BUILDING SETBACK LINES IN PHASE 4A, 4B, 4C, & 4D	
FRONT - 20'	
SIDE - 5'	
REAR - 5'	

RESTRICTIVE COVENANTS:

- EACH LOT WILL NOT HAVE MORE THAN ONE DWELLING.
- FRONT SETBACK WILL NOT BE LESS THAN 20 FEET FROM THE PROPERTY LINE. SIDE BUILDING SETBACK WILL NOT BE LESS THAN 5 FEET FROM THE SIDE OF THE PROPERTY LINE. REAR BUILDING SETBACK WILL NOT BE LESS THAN 5 FEET FROM THE REAR PROPERTY LINE.
- MINIMUM SETBACKS FOR ACCESSORY BUILDINGS SHALL BE 5 FEET FROM SIDE YARD & 5 FEET FROM REAR.
- NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED BEFORE THE SEWERAGE AND WATER SYSTEMS ARE INSTALLED AND OPERABLE OR OTHERWISE CONNECTED TO A COMMUNITY (CENTRAL) SEWERAGE AND/OR WATER SYSTEM(S), ALL AS APPROVED BY THE ST. TAMMANY PARISH DEPARTMENT OF ENVIRONMENTAL SERVICES. WHENEVER A SUBDIVISION IS SERVED BY A COMMUNITY (CENTRAL) WATER SYSTEM SUPPLY, NO PRIVATE WATER SUPPLY MAY BE DRILLED OR OTHERWISE CONSTRUCTED ON ANY LOT FOR THE PURPOSE OF SUPPLYING POTABLE WATER TO ANY BUILDING OR STRUCTURE, EXCEPT FOR THE PURPOSE OF IRRIGATION, AND IN NO EVENT SHALL THERE BE A PHYSICAL CONNECTION BETWEEN ANY SUCH SOURCE AND ANY ELEMENT OF THE COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY).
- NO NOXIOUS OR OTHERWISE ACTIVITY SHALL BE CARRIED ON UPON ANY LOT, NOR SHALL ANYTHING BE DONE THEREON WHICH MAY BE OR MAY BECOME AN ANNOYANCE OR NUISANCE TO THE NEIGHBORHOOD
- CONSTRUCTION OF ANY NATURE, INCLUDING FENCES, IS PROHIBITED IN DRAINAGE SERVITUDE'S AND STREET EASEMENT. ADDITIONAL RESTRICTIONS MAY RUN WITH EACH TITLE.
- NO MOBILE HOMES WILL BE PERMITTED IN THIS SUBDIVISION.
- NO LOT SHALL BE FURTHER SUBDIVIDED WITHOUT THE APPROVAL OF THE ST. TAMMANY PLANNING COMMISSION.
- THE HOMEOWNERS ASSOCIATION WILL BE RESPONSIBLE FOR MAINTAINING THE GREEN SPACE AREAS AND POND AREAS WITHIN THIS DEVELOPMENT.
- IN ADDITION TO THE FOREGOING MINIMUM RESTRICTIVE COVENANT RUNNING WITH AND REFERENCE SHALL BE MADE THERETO IN EACH TITLE. THIS PHASE SHALL COMPLY WITH THE DECLARATION AND COVENANTS FILED UNDER C.O.B. \_\_\_\_\_ FOLIO \_\_\_\_\_ RECORDED IN THE ST. TAMMANY PARISH CLERK OF COURT.
- THE MINIMUM ELEVATION FOR THE LOWEST FLOOR OF ALL RESIDENCES SHALL BE DETERMINED FROM THE LATEST REVISED FEMA FLOOD INSURANCE RATE MAPS. THIS SUBDIVISION IS IN FIRM COMMUNITY PANEL 225205 0150C, REV. 10-17-89 AND IS CLASSIFIED AS FLOOD ZONE "C" AND SHALL BE AT LEAST 12" ABOVE THE CENTERLINE OF STREET.
- LOTS MAY NOT BE USED FOR THE STORAGE OF TRASH OR JUNK VEHICLES.
- TELECOMMUNICATION CABINETS ARE PERMITTED TO BE LOCATED WITHIN THE GREENSPACE AND WATER & SEWER SITES (HOWEVER, THEY MAY NOT BE LOCATED INSIDE ANY ACCESS SERVITUDES).
- ACCESSORY BUILDINGS WITH A SIZE OF LESS THAN FIVE PERCENT OF THE AREA OF THE LOT ON WHICH THE MAIN BUILDING IS SITUATED MAY BE LOCATED FIVE FEET FROM THE NEAREST INTERIOR SIDE AND REAR LOT LINES. PROVIDED THE BUILDING LENGTH DOES NOT EXCEED 30 FEET, AND BUILDING HEIGHT DOES NOT EXCEED 19 FEET.

DESCRIPTION OF PROPERTY FOR A-4 PUD ZONING:

LOCATED IN SECTIONS 13, 14 AND 43 TOWNSHIP 6 SOUTH RANGE 11 EAST, ST. TAMMANY PARISH, LOUISIANA.

FROM THE SECTION CORNER COMMON TO SECTIONS 11, 12, 13 & 14 TOWNSHIP 6 SOUTH RANGE 11 EAST, ST. TAMMANY PARISH, LOUISIANA RUN SOUTH 00 DEGREES 32 MINUTES 35 SECONDS EAST, 1087.93 FEET TO THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING RUN SOUTH 00 DEGREES 32 MINUTES 35 SECONDS EAST, 1516.76 FEET TO A POINT; THENCE SOUTH 89 DEGREES 04 MINUTES 13 SECONDS WEST, 138.55 FEET TO A POINT; THENCE SOUTH 00 DEGREES 44 MINUTES 11 SECONDS EAST, 1322.75 FEET TO A POINT; THENCE NORTH 88 DEGREES 27 MINUTES 59 SECONDS EAST, 1086.16 FEET TO A POINT; THENCE NORTH 03 DEGREES 42 MINUTES 05 SECONDS WEST, 19.39 FEET TO A POINT; THENCE NORTH 86 DEGREES 17 MINUTES 55 SECONDS EAST, 60.00 FEET TO A POINT; THENCE SOUTH 03 DEGREES 42 MINUTES 05 SECONDS EAST, 98.31 FEET TO A POINT; THENCE SOUTH 65 DEGREES 37 MINUTES 13 SECONDS EAST, 1468.49 FEET MORE OR LESS TO THE APPROXIMATE CENTER OF THE LITTLE BOGUE FALAYA RIVER; THENCE RUN UPSTREAM ALONG SAID CENTER OF LITTLE BOGUE FALAYA RIVER 1970 FEET MORE OR LESS TO INTERSECT THE APPROXIMATE CENTER OF THE EAST FORK OF THE LITTLE BOGUE FALAYA RIVER; THENCE RUN UPSTREAM ALONG THE CENTER OF THE LITTLE BOGUE FALAYA RIVER 3570 FEET MORE OR LESS TO INTERSECT THE APPROXIMATE CENTER OF A DRAINAGE DITCH; THENCE RUN UPSTREAM ALONG THE CENTER OF THE DRAINAGE DITCH 1926 FEET MORE OR LESS BACK TO THE POINT OF BEGINNING.

THIS TRACT CONTAINS 141.00 ACRES AS PER MAP PREPARED BY LAND SURVEYING LLC, DATED NOVEMBER 19, 2019 DRAWING NO. 19550.

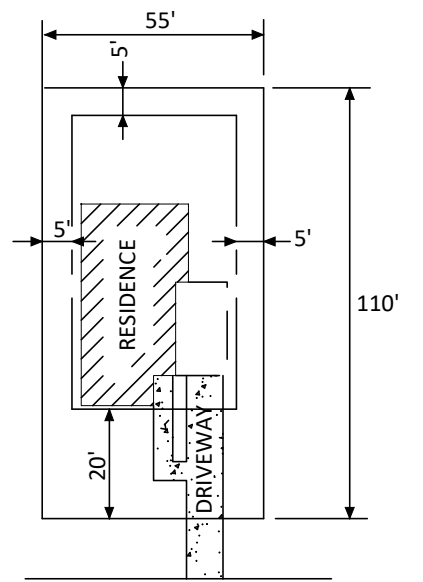
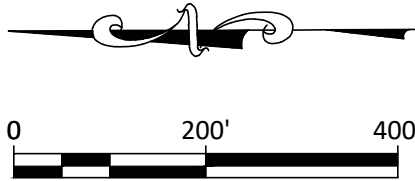
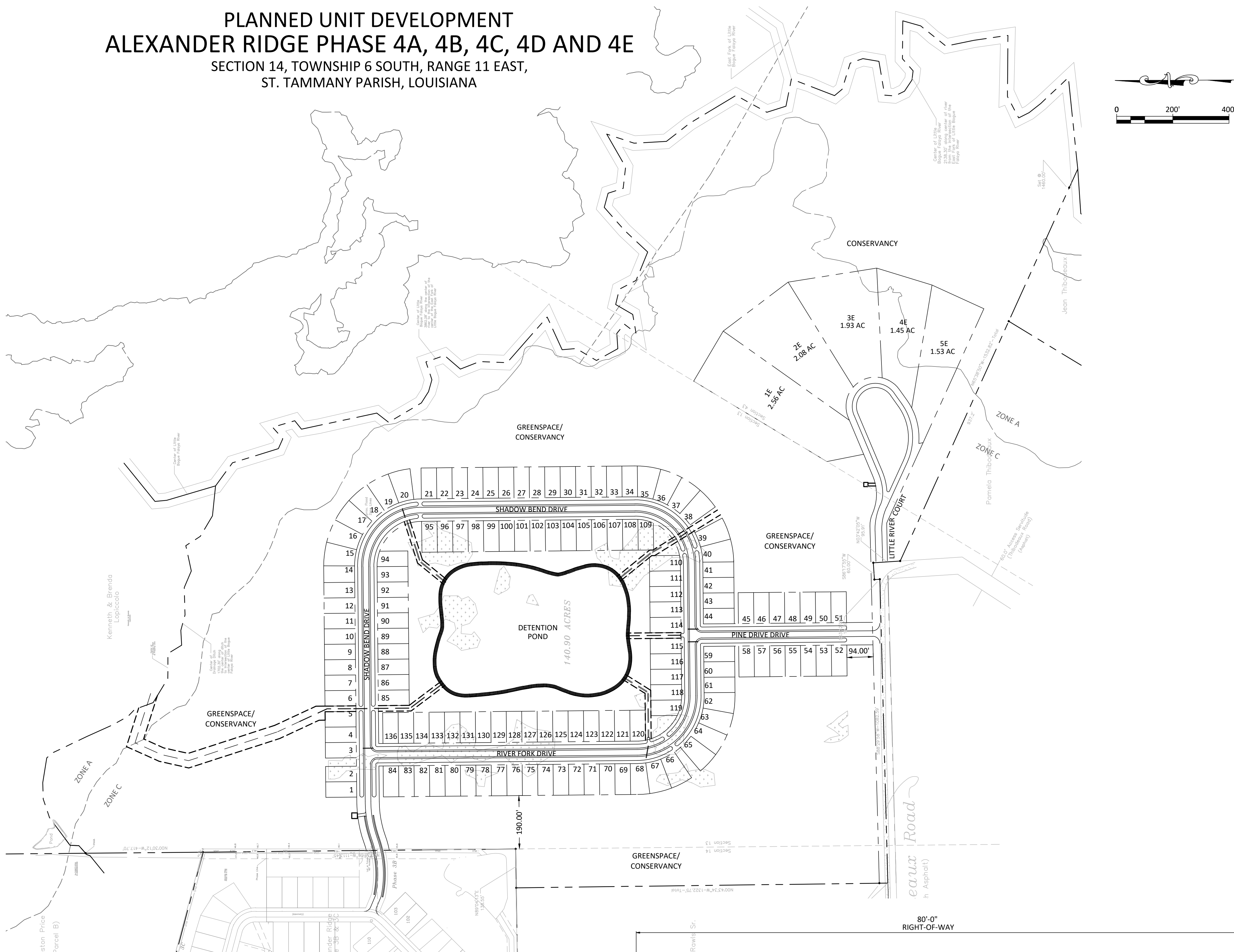
NOTE:

THE STREETS AND RIGHTS OF WAY SET FORTH HEREON ARE NOT DEDICATED TO THE PUBLIC, BUT ARE PRIVATE STREETS AND REPRESENT A PREDIAL SERVITUDE OF PASSAGE IN FAVOR OF EACH LOT OWNER IN ALEXANDER RIDGE. THE INDIVIDUAL HOME BUILDERS ARE RESPONSIBLE FOR GRADING THE LOTS TO DRAIN IN ACCORDANCE WITH THE AS-BUILT DRAINAGE PLAN.

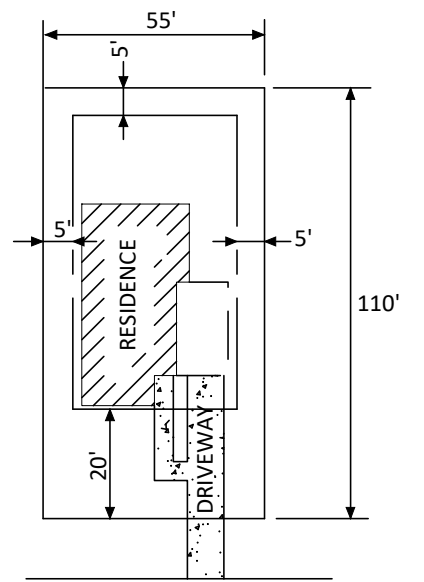
DEDICATION:

THE STREETS ARE NOT DEDICATED TO THE PUBLIC, BUT ARE PRIVATE STREETS. THESE PRIVATE STREETS ARE TO BE MAINTAINED BY ALEXANDER RIDGE HOMEOWNER ASSOCIATION, INC. OR ITS SUCCESSORS AND/OR ASSIGNS. THESE STREETS CANNOT BE ACCEPTED INTO THE PARISH OF TAMMANY ROAD MAINTENANCE SYSTEM UNTIL THEY MEET THE REQUIRED STREET AND ROAD SPECIFICATIONS AS SET FORTH IN THE LOUISIANA DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT MANUAL AS AMENDED OR SUBSEQUENT EDITIONS THERETO. SIGNAGE, DRAINAGE INFRASTRUCTURE, AND PONDS ARE TO BE PRIVATELY MAINTAINED.

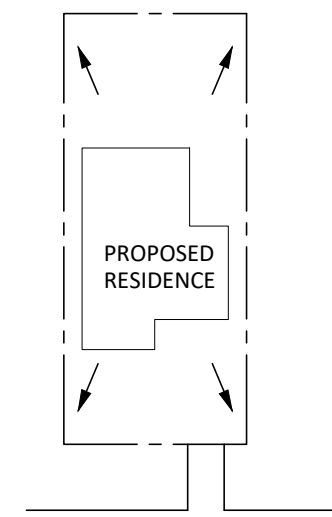
PLANNED UNIT DEVELOPMENT  
ALEXANDER RIDGE PHASE 4A, 4B, 4C, 4D AND 4E  
SECTION 14, TOWNSHIP 6 SOUTH, RANGE 11 EAST,  
ST. TAMMANY PARISH, LOUISIANA



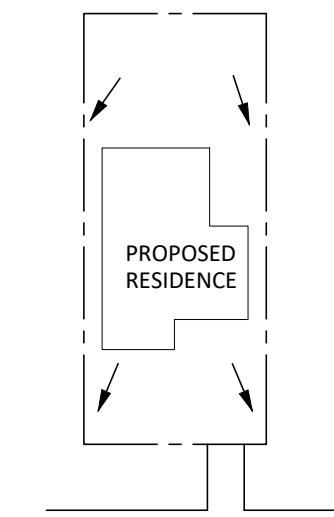
TYPICAL LOT LAYOUT  
PHASE 3H



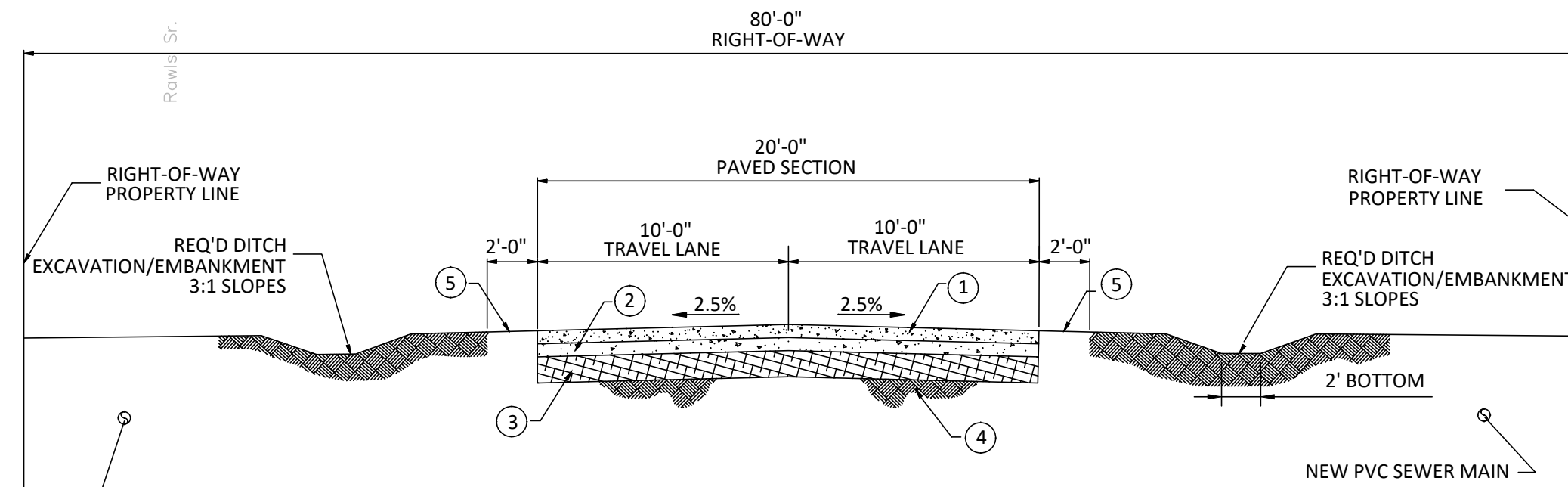
TYPICAL LOT LAYOUT  
PHASE 3E-3G



TYPICAL LOT DRAINAGE  
PERIMETER LOTS



TYPICAL LOT DRAINAGE  
INTERIOR LOTS



LEGEND:

- 2" HOT BITUMINOUS WEARING COURSE.
- 2" HOT BITUMINOUS BINDER COURSE.
- BASE COURSE  
6" COMPACTED LIME/FLYASH BASE.  
COMPACT TO 95% ASTM D1557 (MODIFIED PROCTOR).
- EXISTING BASE - REMOVE ALL ORGANICS AND PROOF ROLL ANY SOFT OR PUMPING AREAS SHALL BE EXCAVATED AND REMOVED TO A DEPTH OF NOT LESS THAN 2 FEET AND THE AREA WILL THEN BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL HAVING A PI OF LESS THAN OR EQUAL TO 6.
- 2'-0" TURF SHOULDER. (EACH SIDE)

NOTE:

FINAL ASPHALT ROADWAY DESIGN SHALL BE VERIFIED PENDING GEOTECHNICAL INVESTIGATION

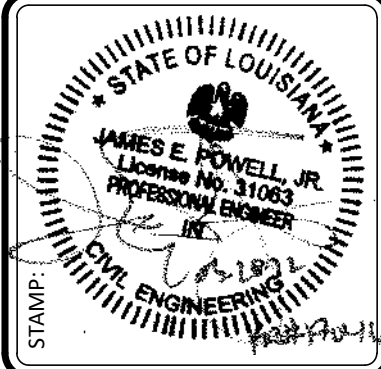
CADD FILE NAME:  
19046-PL-PUD.dwg

DESIGNED BY:	JEP
DRAWN BY:	MMW
CHECKED BY:	JEP
DATE:	12/16/2019
JOB NO.	19046

PLANNED UNIT DEVELOPMENT  
ALEXANDER RIDGE PHASE - 4A, 4B, 4C, 4D & 4E  
SECTION 14, TOWNSHIP 6 SOUTH, RANGE 11 EAST  
COVINGTON, ST. TAMMANY PARISH, LOUISIANA

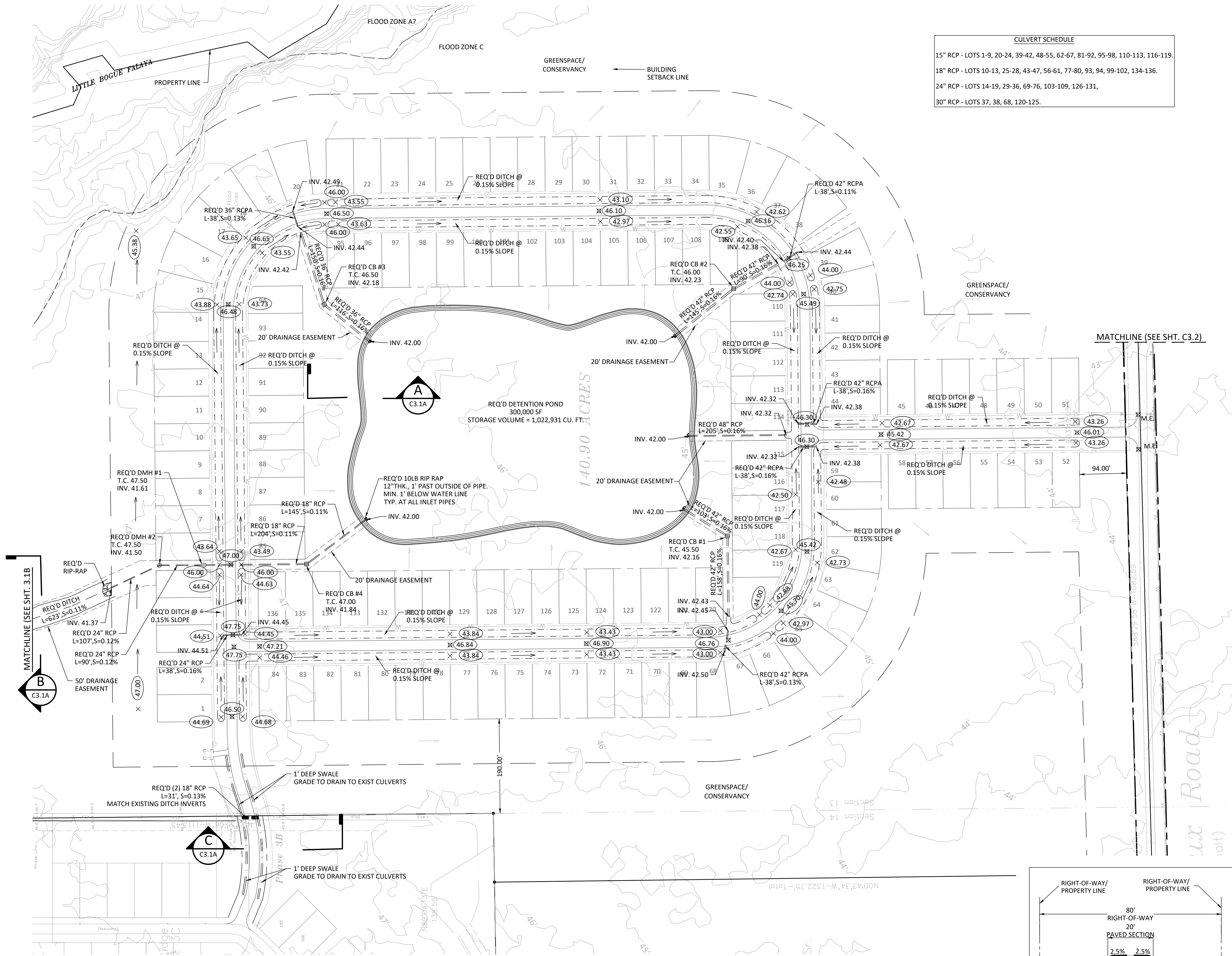
SITE PLAN

NO.	DATE:	REVISIONS
1	04/08/21	REVISED PLAN
2	08/24/21	REVISED PLAN
3	03/28/22	REVISED PER STP COMMENTS

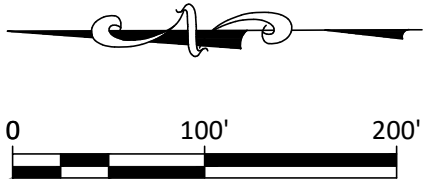


SHEET NO.



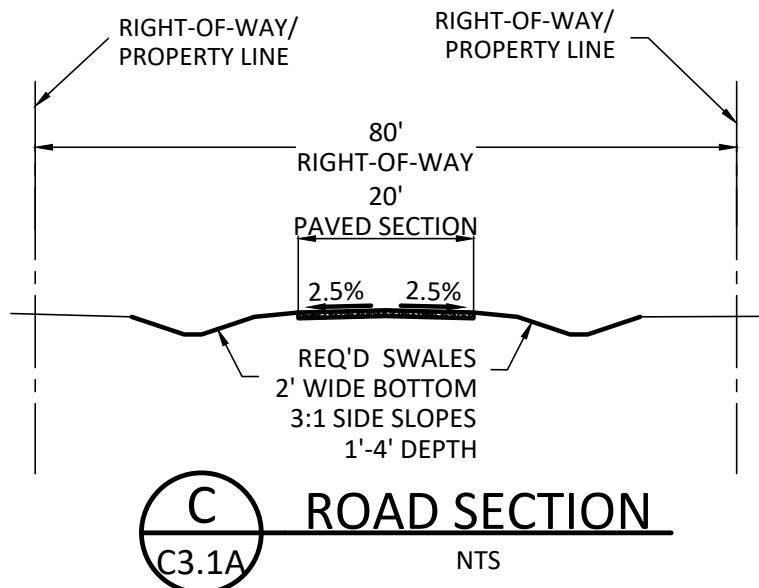


CULVERT SCHEDULE	
15" RCP	LOTS 1-9, 20-24, 39-42, 48-55, 62-67, 81-92, 95-98, 110-113, 116-119.
18" RCP	LOTS 10-13, 25-28, 43-47, 56-61, 77-80, 93, 94, 99-102, 134-136.
24" RCP	LOTS 14-19, 29-36, 69-76, 103-109, 126-131,
30" RCP	LOTS 37, 38, 68, 120-125.



LEGEND:	
---	PROPERTY LINE
---	100' BUFFER
---	SETBACK LINE
---	REQ'D DRAIN LINE
⊙	REQ'D DRAIN MANHOLE
■	REQ'D CATCH BASIN (CB-01)
→	FLOW ARROW
⊗ 47.00	FINISHED GRADE
⊗ M.E.	MATCH EXISTING GRADE
V.I.F.	VERIFY IN FIELD

NOTE:  
WATER SURFACE ELEVATIONS DURING  
STORM EVENTS AREA AS FOLLOWS:  
  
10 YR WSE = 44.76  
25 YR WSE = 45.01  
50 YR WSE = 45.04  
100 YR WSE = 45.10

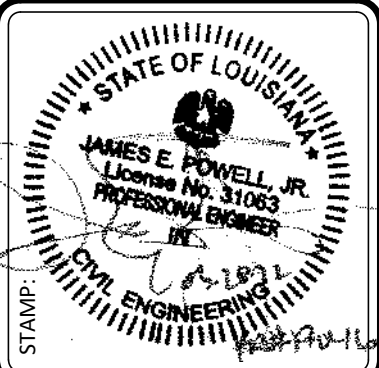


CADD FILE NAME: 19046-PL-GRADE.dwg	
DESIGNED BY: JEP	DRAWN BY: MMM
CHECKED BY: JEP	JOB NO. 19046
SCALE: (23x34) 1" = 100'	SCALE: (11x17) 1" = 200'
DATE: 05/14/21	

ALEXANDER RIDGE  
PHASE 4  
COVINGTON, LA  
ST. TAMMANY PARISH

OVERALL DRAINAGE PLAN

REVISIONS	
NO.	DATE
2	10.08.21
3	11.29.21
4	01.19.22
5	02.22.22
6	03.23.22
7	03.28.22



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## ST. TAMMANY PARISH

MICHAEL B. COOPER  
PARISH PRESIDENT

April 5, 2022

St. Tammany Parish Planning Commission  
P.O. Box 628  
Covington, LA 70434

OLD BUSINESS

April 12, 2022 Agenda

Re: Lakeshore Villages, Phase 11 – Preliminary Approval – Case No. 2020-2012-PP  
Preliminary Plan Modification Request

Honorable Commissioners,

The engineer of record for the above captioned project, Mr. Thomas Buckel, P.E has submitted a plan modification for the above referenced Preliminary Subdivision. The proposed change would eliminate ten (10) lots along the western section of Bellwick Bay Drive from the existing Lakeshore Villages, Phase 11 and established four (4) new lots at the intersection of Bellwick Bay Drive and Fulvetta Falls Road. This modification would result in a total net decrease of six (6) lots in this phase of Lakeshore Villages.

The Department of Engineering has reviewed this request and has no objection to the requested modifications.

Sincerely,



Daniel P. Hill, P.E.

Director, Department of Engineering

Enclosure: 1. Lakeshore Villages, Phase 11 Preliminary Plat with a stamp received date of March 17, 2022

xc: Honorable Michael Cooper  
Honorable David Fitzgerald  
Mr. Theodore C. Reynolds, P.E.  
Mr. Ross Liner, AICP, PTP, CFM  
Ms. Helen Lambert

Mrs. Maria Robert, P.E.  
Mr. Chris Cloutet, P.E.  
Mr. Thomas Buckel, P.E. – Duplantis Design Group, PC



PLAT SHOWING PRELIMINARY SUBDIVISION

OF

LAKESHORE VILLAGES (PHASE 11)

LOCATED IN SECTION 26  
TOWNSHIP 9 SOUTH - RANGE 14 EAST  
GREENSBURG LAND DISTRICT  
ST. TAMMANY PARISH, LOUISIANA

NOTES:  
MEASURED BEARINGS ARE BASED ON GRID NORTH, LOUISIANA  
STATE PLANE SOUTH ZONE (1703) NAD 83 AS DERIVED FROM  
THE LSU C4G RTK NETWORK (2020.5).

P.O.B. (POINT OF BEGINNING)  
P.O.C. (POINT OF COMMENCEMENT)

GENERAL INFORMATION	
CENTRAL SEWER SYSTEM	87 NUMBER OF LOTS
LAKE PONTCHARTRAIN ULTIMATE SURFACE WATER DISPOSAL	PUD PRESENT ZONING
7545.78± S.F. AVERAGE LOT SIZE	ASPHALT ROAD SURFACE
CENTRAL WATER SYSTEM	50 FEET (LOCAL) RIGHT OF WAY WIDTHS
1,190'± MAX BLOCK LENGTH	3,765'± STREET LENGTH
26.60± ACRES TOTAL AREA OF DEVELOPMENT	15.07 ACRES TOTAL AREA OF LOTS
OFF-SITE LOCATION OF WATER & SEWER FACILITIES	45 FEET MAX BUILDING HEIGHT
FRONT: 20' REAR: 15' (55' ALONG CANAL/LAKE) SIDE: 5' (10' ALONG RIGHT OF WAYS) BUILDING SETBACKS	

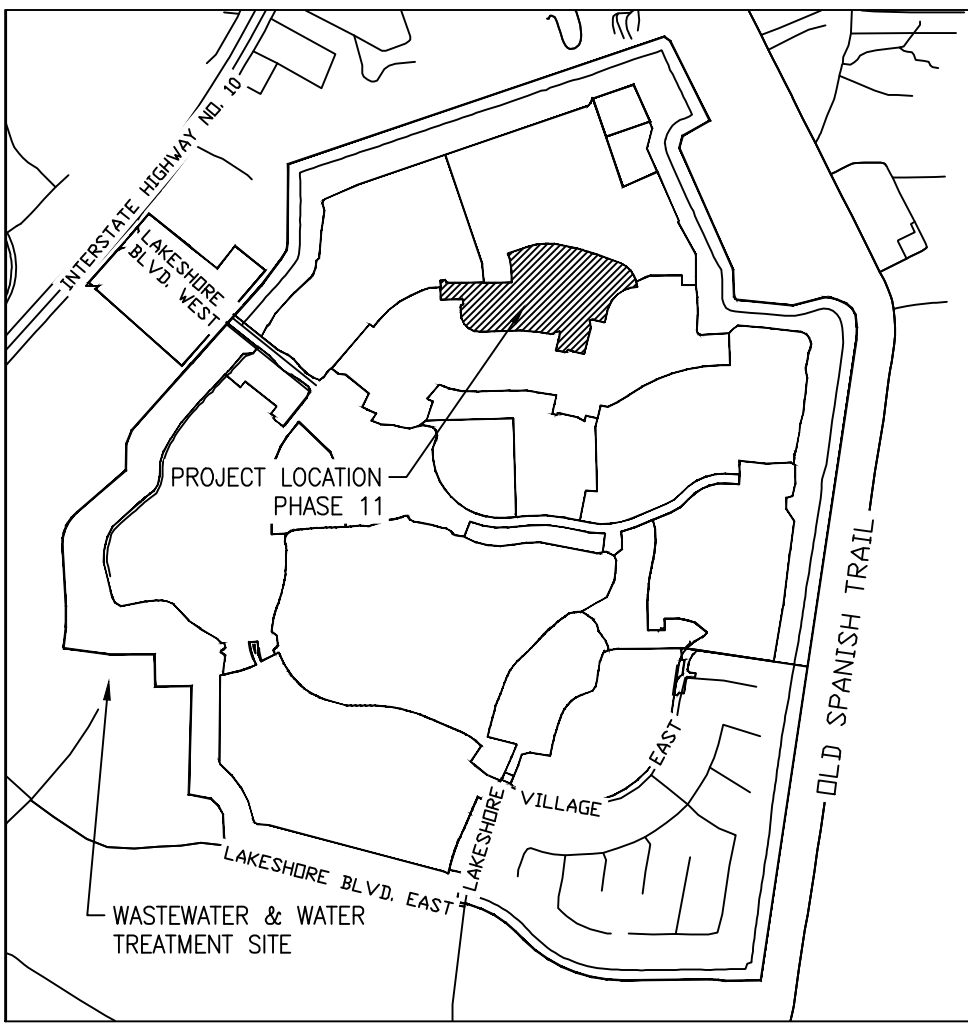
RESTRICTIVE COVENANTS:

1. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED BEFORE THE SEWERAGE AND WATER SYSTEMS ARE INSTALLED AND OPERABLE OR OTHERWISE CONNECTED TO A COMMUNITY (CENTRAL) SEWERAGE AND/OR WATER SYSTEMS, ALL AS APPROVED BY THE DEPARTMENT OF ENVIRONMENTAL SERVICES OF THE PARISH. WHENEVER A SUBDIVISION IS SERVED BY A COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY), NO PRIVATE WATER SUPPLY MAY BE DRILLED OR OTHERWISE CONSTRUCTED ON ANY LOT FOR THE PURPOSE OF SUPPLYING POTABLE WATER TO ANY BUILDING OR STRUCTURE, EXCEPT FOR THE PURPOSE OF IRRIGATION, AND IN NO EVENT SHALL THERE BE A PHYSICAL CONNECTION BETWEEN ANY SUCH SOURCE AND ANY ELEMENT OF THE COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY).
2. CONSTRUCTION OF ANY NATURE IS PROHIBITED IN DRAINAGE OR STREET EASEMENTS.
3. LOTS MAY NOT BE USED FOR THE STORAGE OF TRASH OR JUNK VEHICLES.
4. THIS SUBDIVISION IS LOCATED IN FLOOD ZONES AH AND ZONE X (SHADED) PER LETTER OF MAP REVISION, CASE NO. 19-06-08859, EFFECTIVE DATE APRIL 16, 2020. THE MINIMUM FINISHED FLOOR ELEVATION OF ALL RESIDENTIAL HOMES SHALL MEET THE PROPOSED ELEVATION OF THE LATEST ADOPTED FIRM UNTIL A NEW DFIRM IS PUBLISHED AND ADOPTED BY ST. TAMMANY PARISH OR ONE (1') FOOT ABOVE THE CROWN OF THE STREET WHICH EVER IS HIGHER.
5. NO LOT WILL BE FURTHER SUBDIVIDED WITHOUT APPROVAL OF THE PLANNING COMMISSION AND THE DEPARTMENT OF ENVIRONMENTAL SERVICES OF THE PARISH.
6. DRIVEWAYS ON CORNER LOTS SHALL NOT BE LOCATED ANY CLOSER THAN 60 FEET FROM A CORNER OF SAID PROPERTY CLOSEST TO THE INTERSECTION AS MEASURED FROM THE PROPERTY LINES ON THE CORNER OF THE PROPERTY WHERE THE SAID TWO STREET RIGHTS-OF-WAY INTERSECT. IF THERE ARE LOTS THAT DO NOT COMPLY WITH THIS AS FRONT-LOADED LOTS, THEY ARE TO BE SIDE-LOADED.
7. IT SHALL BE PROHIBITED FOR ANY LOT WITHIN AN APPROVED SUBDIVISION TO HAVE REAR ACCESS VIA A DRIVEWAY TO OR FROM ANY STREET OR ROAD THAT IS NOT DEDICATED WITHIN THE BOUNDARIES OF THE APPROVED SUBDIVISION PLAT.
8. THE HOME BUILDER IS RESPONSIBLE FOR THE CONSTRUCTION OF THE SIDEWALK ALONG THE LOTS.
9. THE RESIDENTS WITHIN PHASE 11 WILL HAVE THE RIGHT TO UTILIZE THE EXISTING CENTRAL LAKE LOCATING WITHIN THE LAKESHORE VILLAGES DEVELOPMENT FOR RECREATIONAL PURPOSE.
10. THE EXISTING STORMWATER DETENTION SYSTEM, INCLUDING THE CANALS, LAKES, AND PUMP STATION, ARE TO BE OWNED AND MAINTAINED BY THE COMMUNITY DEVELOPMENT DISTRICT.
11. THE AFOREMENTIONED RESTRICTIONS SHALL BE RECITED IN EACH TITLE OR DEED IN ADDITION TO THE REQUIRED LISTING ON THE FINAL SUBDIVISION PLAT.

ELEVATION NOTE:

ELEVATIONS SHOWN ARE NAVD 1988 (GEOID 128) AS DERIVED FROM GPS OBSERVATIONS USING THE LSU C4G NETWORK (2020.6).

SITE BENCHMARK: 5/8" IRON ROD SET ±1038' NORTH OF THE CENTER OF THE ROUNDABOUT AT THE INTERSECTION OF LAKESHORE VILLAGE ROAD AND NORTH RING ROAD DRIVE AND ±690' WEST OF THE THE COMMON CORNER OF LOT 2124 IN PHASE 9 AND LOT 2181 OF PHASE 11. (SEE DRAWING FOR LOCATION)  
ELEVATION: 0.42'



VICINITY MAP

OPEN GREEN SPACE CALCULATIONS (PHASE 11)

OPEN/GREEN SPACE REQUIRED	
26.600 ACRES X 0.25 S.F. OPEN/GREEN SPACE	
6.650 ACRES REQUIRED (=289,674± S.F.)	
OPEN/GREEN SPACE REQUIRED 3.062 ACRES (PHASE 3A) 2.606 ACRES (PHASE 3B) 36.493 ACRES (PHASE 4A) 1.779 ACRES (PHASE 4B) 3.983 ACRES (PHASE 5) 22.246 ACRES (PHASE 6) 5.651 ACRES (PHASE 7) 16.449 ACRES (PHASE 8) 20.285 ACRES (PHASE 9) 6.881 ACRES (PHASE 10) 6.650 ACRES (PHASE 11) 127.765 ACRES TOTAL OPEN/GREEN SPACE REQUIRED	OPEN/GREEN SPACE PROVIDED 3.318 ACRES (PHASE 3A) 0.770 ACRES (PHASE 3B) 439.779 ACRES (PHASE 4A) 1.289 ACRES (PHASE 4B) 0.657 ACRES (PHASE 5) 1.847 ACRES (PHASE 6) 5.777 ACRES (PHASE 7) 2.226 ACRES (PHASE 8) 6.040 ACRES (PHASE 9) 0.000 ACRES (PHASE 10) 4.792 ACRES (PHASE 11) 466.495 ACRES TOTAL PROVIDED

DEDICATION:

ALL STREET RIGHTS-OF-WAY SHOWN HEREON ARE NOT DEDICATED TO THE PARISH OF ST. TAMMANY BUT ARE DEDICATED TO THE PERPETUAL USE OF THE COMMUNITY DEVELOPMENT DISTRICT AND IS TO BE OWNED AND MAINTAINED BY THE COMMUNITY DEVELOPMENT DISTRICT. EASEMENTS SHALL BE RESERVED FOR DRAINAGE AND UTILITIES AS INDICATED HEREON AND NO OBSTRUCTIONS OR IMPROVEMENTS SHALL BE ALLOWED THAT WOULD PREVENT THEM FROM BEING USED FOR INTENDED USE. THE DEVELOPER OR HOMEOWNERS ASSOCIATION IS RESPONSIBLE FOR MAINTENANCE OF ALL GREEN SPACES, DRAINAGE SERVITUDES, STREET SIGNS, AND TRAFFIC CONTROL SIGNS.

APPROVALS:

CHAIRMAN - PARISH PLANNING COMMISSION

SECRETARY - PARISH PLANNING COMMISSION

DIRECTOR OF DEPARTMENT OF ENGINEERING

CLERK OF COURT

DATE FILED

FILE NO.

(OWNER/OWNER REPRESENTATIVE)  
DR HORTON, INC. - GULF COAST  
7696 VINCENT ROAD  
DENHAM SPRINGS, LA 70726



I CERTIFY THAT THIS PRELIMINARY PLAT REPRESENTS AN ACTUAL GROUND SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND IS NOT IN FULL COMPLIANCE WITH LA RS: 33:5051 AND THE REQUIREMENTS OF THE CURRENT LOUISIANA STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A CLASS "C" SURVEY, SINCE ALL CORNERS ARE NOT SET.

DATE OF PLAT: 03/16/2022

DENNIS L. GOWIN, P.L.S.: LA REG. NO. 4846  
REGISTERED PROFESSIONAL LAND SURVEYOR

SCALE IN FEET



REVISION	BY
1 PARISH COMMENTS	BPV
2 RENUMBER LOTS	BPV
3 REVISED TYPICAL ROAD SECTIONS	BPV

DUPLANTIS DESIGN GROUP, PC  
SURVEY  
15564 Brewster Road, Suite 101  
Covington, LA 70433  
Phone: 985.249.6180 \ FAX: 985.249.6190  
1308 Camellia Blvd, Suite 200  
Lafayette, LA 70508  
WWW.DDGP.CC



SUBDIVISION OF LAKESHORE VILLAGES (PHASE 11)  
SLIDELL, LOUISIANA  
ST. TAMMANY PARISH

FOR:  
DR HORTON, INC. - GULF COAST

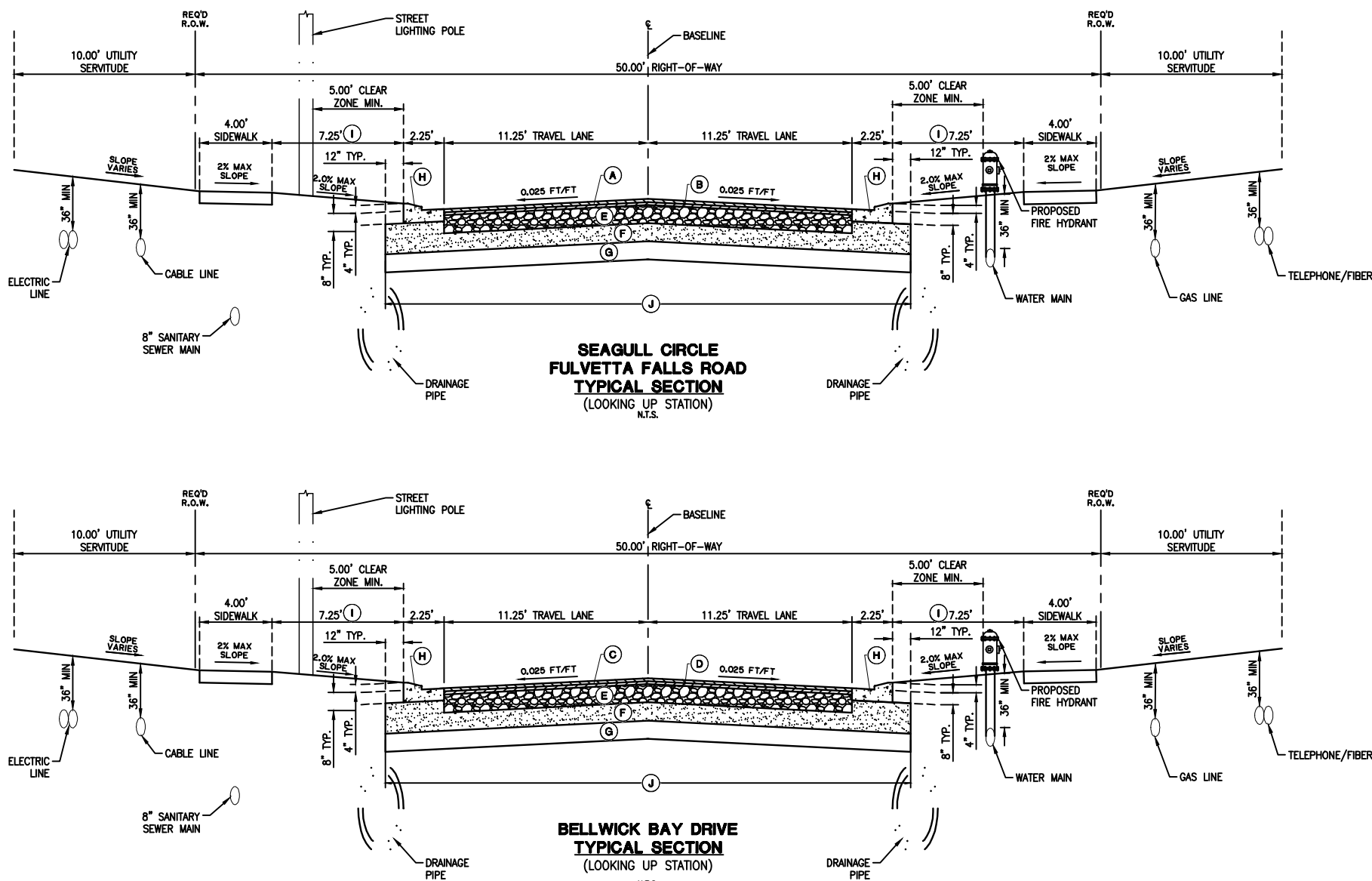
DRAWN BPV
CHECKED DLG
PROJECT NO. 20-397
FILE 20-397 PHASE 11 PRELIM REV3
SHEET 1-2



PLAT SHOWING PRELIMINARY SUBDIVISION

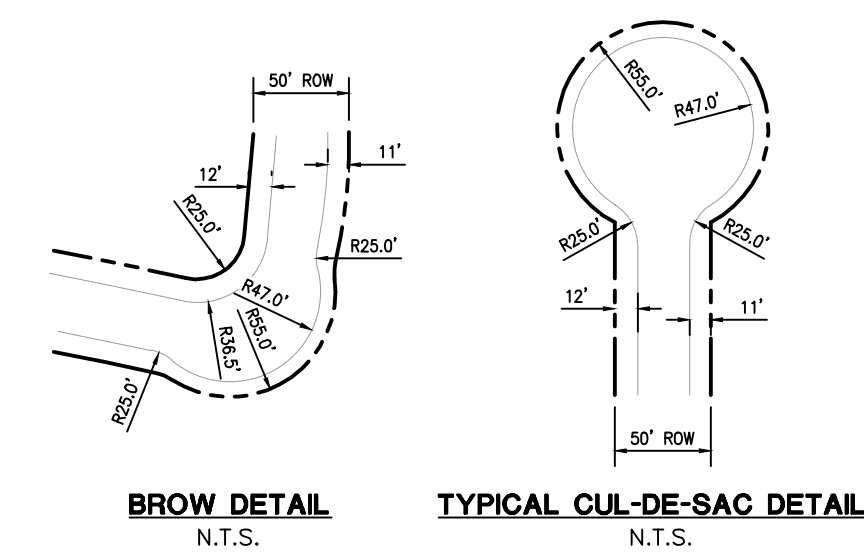
OF  
LAKESHORE VILLAGES (PHASE 11)

LOCATED IN SECTION 26  
TOWNSHIP 9 SOUTH - RANGE 14 EAST  
GREENSBURG LAND DISTRICT  
ST. TAMMANY PARISH, LOUISIANA



- LEGEND:**
- 1.5" LEVEL 1 (PG 70-22M, 0.5 INCH NOMINAL MIX) ASPHALTIC CONCRETE WEARING COURSE
  - 1.5" LEVEL 1 (PG 70-22M, 0.5 INCH NOMINAL MIX) ASPHALTIC CONCRETE BINDER COURSE
  - 2.0" LEVEL 1 (PG 70-22M, 0.5 INCH NOMINAL MIX) ASPHALTIC CONCRETE WEARING COURSE
  - 2.0" LEVEL 1 (PG 70-22M, 0.5 INCH NOMINAL MIX) ASPHALTIC CONCRETE BINDER COURSE
  - 12" CEMENT STABILIZED BASE (10% BY VOLUME) 95% COMPACTION PER ASTM D-698
  - 12" COMPACTED SUBGRADE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT TO 95% STANDARD PROCTOR PER ASTM D-698
  - PROOF ROLLED AND STABLE SUBGRADE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT
  - 4" HIGH MOUNTABLE CONCRETE CURB AND GUTTER WITH 12" GUTTER AND 15" MOUNTABLE CURB
  - HYDROSEED WITH STRAW OR SOD DISTURBED AREAS IN ACCORDANCE WITH LANDSCAPE PLAN (WITHIN LIMITS OF CONSTRUCTION).
  - GENERAL EXCAVATION

- NOTES:**
- ALL PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH LADOTD STANDARD SPECIFICATIONS 2006 EDITION AND/OR ST. TAMMANY PARISH SUBDIVISION REGULATION CHAPTER 125 SPECIFICATIONS; THE MORE STRINGENT STANDARD SHALL BE USED.
  - CONTRACTOR MAY UTILIZE 12" A-4 SUB-BASE IN LIEU OF SOIL CEMENT IN AREAS WHERE SOIL CEMENT CANNOT MEET PROJECT SPECIFICATIONS. A-4 SUB-BASE SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, ST. TAMMANY PARISH CODE OF ORDINANCES, AND SUB-SECTION 1003 OF THE LSSRB. THE BASE SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY NEAR THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D-698.
  - BASED ON THE GEOTECHNICAL REPORTS 19-0143 PREPARED BY PREMIER GEOTECH AND TESTING DATED OCTOBER 11, 2019 AS WELL AS PAVEMENT SECTION DESIGN RECOMMENDATION LETTERS DATED JANUARY 29, 2020, THE BASE AND SUBGRADE SHALL CONSIST OF LEAN CLAYS AND SANDY LEAN CLAYS (CL) OR CLAYEY SANDS (SC) HAVING THE FOLLOWING RECOMMENDED MATERIAL PROPERTIES AND PLOTS ABOVE THE "A-LINE" ON THE PLASTICITY CHART:
    - LIQUID LIMIT: 40 MAXIMUM
    - PLASTICITY INDEX: 20 MAXIMUM
    - INERT MATERIAL (NON-EXPANSIVE)
    - FREE OF ORGANICS
    - MAXIMUM PARTICLE SIZE: 2-INCHES
- EACH LIFT SHALL BE PLACED IN MAXIMUM LIFTS OF 8" OF LOOSE MATERIAL AND COMPACTED TO 95% STANDARD PROCTOR PER ASTM D-698.
- THIS MATERIAL MUST BE CERTIFIED AND APPROVED BY THE OWNER'S INDEPENDENT TESTING LABORATORY AND/OR THE GEOTECHNICAL ENGINEER OF RECORD PRIOR TO ITS USE.
- CONTRACTOR TO ENSURE ALL STREET LIGHT POLES AND FIRE HYDRANTS ARE LOCATED 5' MINIMUM BEHIND BACK OF CURB FOR LOCAL ROADS.



PARCEL CURVE DATA				
CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING & DISTANCE
C1	074°09'09"	320.00'	414.15'	S51°13'00"W - 385.84'
C2	085°51'56"	25.00'	37.47'	S57°04'24"W - 34.06'
C3	011°49'11"	355.00'	73.23'	N08°13'50"E - 73.10'
C4	011°28'38"	975.00'	195.31'	N85°43'57"W - 194.98'
C5	091°02'34"	200.00'	317.80'	N45°56'58"W - 285.41'
C6	027°23'14"	50.00'	23.90'	N76°18'23"E - 23.67'
C7	018°43'00"	395.00'	129.03'	N09°21'30"W - 128.46'
C8	025°40'19"	610.00'	273.32'	N84°07'09"E - 271.04'
C9	013°29'32"	1940.00'	456.84'	S76°17'55"E - 455.78'
C10	045°43'24"	245.00'	195.52'	S46°41'27"E - 190.37'
C20	032°51'26"	525.00'	301.07'	N02°17'17"W - 296.96'
C21	034°07'06"	125.00'	74.43'	N01°39'27"W - 73.34'
C22	091°58'34"	25.00'	40.13'	N61°23'23"E - 35.96'
C23	003°04'11"	1475.00'	79.02'	S71°05'15"E - 79.01'
C24	086°39'44"	25.00'	37.81'	S26°13'17"E - 34.31'
C25	032°51'26"	475.00'	272.40'	S02°17'17"E - 268.68'
C26	031°14'42"	50.00'	27.27'	N13°07'34"E - 26.93'
C27	007°28'40"	266.86'	34.83'	N05°56'58"W - 34.80'
C28	010°37'01"	293.26'	54.34'	N13°35'30"W - 54.26'
C29	006°56'43"	335.00'	40.61'	N15°14'39"W - 40.58'

PARCEL CURVE DATA				
CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING & DISTANCE
C30	034°07'06"	175.00'	104.21'	S01°39'27"E - 102.68'
C31	091°58'34"	25.00'	40.13'	S30°35'11"E - 35.96'
C32	013°25'32"	1475.00'	345.62'	S83°17'14"E - 344.83'
C33	071°36'55"	50.00'	62.50'	N47°34'45"W - 58.51'
C34	006°36'48"	1310.00'	151.21'	N86°41'36"W - 151.12'
C38	090°00'00"	25.00'	39.27'	S45°00'00"W - 35.36'
C39	020°21'51"	25.00'	8.89'	S10°10'55"E - 8.84'
C40	020°21'51"	25.00'	8.89'	S81°27'55"W - 8.84'
C41	071°17'00"	25.00'	31.10'	N35°38'30"E - 29.14'
C42	090°00'00"	25.00'	39.27'	N45°00'00"W - 35.36'
C43	025°33'50"	475.00'	211.93'	S84°03'55"W - 210.18'
C44	025°33'50"	525.00'	234.24'	S84°03'55"W - 232.30'
C45	010°23'28"	1815.00'	329.16'	N77°57'26"W - 328.71'
C46	013°36'01"	1765.00'	418.95'	N76°21'10"W - 417.97'
C47	017°40'32"	1645.00'	507.48'	N78°23'26"W - 505.47'
C48	020°26'51"	1525.00'	544.23'	S79°46'35"E - 541.35'
C49	045°43'24"	75.00'	59.85'	S46°41'27"E - 58.28'
C50	076°36'24"	25.00'	33.43'	S72°08'38"W - 30.89'
C51	081°20'52"	25.00'	35.49'	S16°50'41"W - 32.59'
C52	081°59'09"	25.00'	35.77'	N64°49'20"W - 32.80'

PARCEL CURVE DATA				
CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING & DISTANCE
C53	045°43'24"	125.00'	99.75'	N46°41'27"W - 97.13'
C54	003°12'33"	1815.00'	101.66'	N71°09'26"W - 101.65'
C55	003°27'56"	1350.00'	81.65'	N79°42'24"W - 81.64'
C57	112°00'42"	55.00'	107.52'	S35°38'30"W - 91.20'

LINE TABLE		
LINE	BEARING	LENGTH
L1	S80°42'11"W	39.85'
L2	S14°08'26"W	17.98'
L3	N87°40'45"W	46.16'
L4	S50°36'45"W	37.24'
L5	S86°14'29"W	23.79'
L6	N37°04'30"E	43.11'
L7	S01°42'25"E	59.20'
L8	N00°00'00"E	121.57'
L9	N72°00'26"W	47.25'
L10	N70°02'22"W	43.11'

LINE TABLE		
LINE	BEARING	LENGTH
L100	S15°24'06"W	28.11'
L102	N90°00'00"W	15.45'
L103	N71°17'00"E	26.24'
L105	N40°12'24"W	36.91'
L106	S71°17'00"W	16.32'
L107	S14°08'26"W	95.44'

DESCRIPTION PHASE 11:

THAT CERTAIN PIECE OR PARCEL OF LAND DESIGNATED AS LAKESHORE VILLAGES, PHASE 11, A SUBDIVISION OF A PORTION OF LOT A-1-A, LOCATED IN SECTION 26, TOWNSHIP 9 SOUTH, RANGE 14 EAST, GREENSBURG LAND DISTRICT, PARISH OF ST. TAMMANY, STATE OF LOUISIANA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A 1" ANGLE IRON FOUND AT THE CORNER COMMON TO SECTIONS 23, 24, 25 AND 26, SAID TOWNSHIP 9 SOUTH, RANGE 14 EAST, THENCE S02°45'29"W A DISTANCE OF 3983.78 FEET FOR A POINT OF BEGINNING; THENCE ALONG A CURVE TO THE LEFT AN ARC DISTANCE OF 414.15 FEET, SAID CURVE HAVING A RADIUS OF 320.00 FEET, AND A CHORD WITH A BEARING OF S51°13'00"W AND A LENGTH OF 385.84 FEET TO A POINT; THENCE S14°08'26"W A DISTANCE OF 127.68 FEET TO A POINT; THENCE N75°51'34"W A DISTANCE OF 117.95 FEET TO A POINT; THENCE S80°42'11"W A DISTANCE OF 39.85 FEET TO A POINT; THENCE S04°43'25"E A DISTANCE OF 91.27 FEET TO A POINT; THENCE S14°08'26"W A DISTANCE OF 259.78 FEET TO A POINT; THENCE N75°51'34"W A DISTANCE OF 175.00 FEET TO A POINT; THENCE S14°08'26"W A DISTANCE OF 17.98 FEET TO A POINT; THENCE ALONG A CURVE TO THE RIGHT AN ARC DISTANCE OF 37.47 FEET, SAID CURVE HAVING A RADIUS OF 25.00 FEET, AND A CHORD WITH A BEARING OF S57°04'24"W AND A LENGTH OF 34.06 FEET TO A POINT; THENCE N79°59'38"W A DISTANCE OF 97.05 FEET TO A POINT; THENCE N14°08'26"E A DISTANCE OF 127.37 FEET TO A POINT; THENCE ALONG A CURVE TO THE LEFT AN ARC DISTANCE OF 73.23 FEET, SAID CURVE HAVING A RADIUS OF 355.00 FEET, AND A CHORD WITH A BEARING OF N08°13'50"E AND A LENGTH OF 73.10 FEET TO A POINT; THENCE N87°40'45"W A DISTANCE OF 46.16 FEET TO A POINT; THENCE S50°36'45"W A DISTANCE OF 37.24 FEET TO A POINT; THENCE S80°42'29"W A DISTANCE OF 23.79 FEET TO A POINT; THENCE N79°59'38"W A DISTANCE OF 112.44 FEET TO A POINT; THENCE ALONG A CURVE TO THE LEFT AN ARC DISTANCE OF 195.31 FEET, SAID CURVE HAVING A RADIUS OF 975.00 FEET, AND A CHORD WITH A BEARING OF N85°43'57"W AND A LENGTH OF 194.98 FEET TO A POINT; THENCE S80°43'45"W A DISTANCE OF 425.09 FEET TO A POINT; THENCE ALONG A CURVE TO THE RIGHT AN ARC DISTANCE OF 317.80 FEET, SAID CURVE HAVING A RADIUS OF 200.00 FEET, AND A CHORD WITH A BEARING OF N45°56'58"W AND A LENGTH OF 285.41 FEET TO A POINT; THENCE N00°57'33"E A DISTANCE OF 60.01 FEET TO A POINT; THENCE N37°04'30"E A DISTANCE OF 43.11 FEET TO A POINT; THENCE ALONG A CURVE TO THE RIGHT AN ARC DISTANCE OF 23.90 FEET, SAID CURVE HAVING A RADIUS OF 50.00 FEET, AND A CHORD WITH A BEARING OF N76°18'23"E AND A LENGTH OF 23.67 FEET TO A POINT; THENCE N90°00'00"E A DISTANCE OF 414.83 FEET TO A POINT; THENCE N00°00'00"E A DISTANCE OF 215.00 FEET TO A POINT; THENCE N90°00'00"E A DISTANCE OF 65.17 FEET TO A POINT; THENCE N00°00'00"E A DISTANCE OF 121.57 FEET TO A POINT; THENCE ALONG A CURVE TO THE LEFT AN ARC DISTANCE OF 129.03 FEET, SAID CURVE HAVING A RADIUS OF 395.00 FEET, AND A CHORD WITH A BEARING OF N09°21'30"W AND A LENGTH OF 128.46 FEET TO A POINT; THENCE N18°43'00"W A DISTANCE OF 54.93 FEET TO A POINT; THENCE N71°17'00"E A DISTANCE OF 226.25 FEET TO A POINT; THENCE ALONG A CURVE TO THE RIGHT AN ARC DISTANCE OF 273.32 FEET, SAID CURVE HAVING A RADIUS OF 610.00 FEET, AND A CHORD WITH A BEARING OF N84°07'09"E AND A LENGTH OF 271.04 FEET TO A POINT; THENCE ALONG A CURVE TO THE RIGHT AN ARC DISTANCE OF 456.84 FEET, SAID CURVE HAVING A RADIUS OF 1940.00 FEET, AND A CHORD WITH A BEARING OF S76°17'55"E AND A LENGTH OF 455.78 FEET TO A POINT; THENCE S89°33'09"E A DISTANCE OF 265.58 FEET TO A POINT; THENCE ALONG A CURVE TO THE RIGHT AN ARC DISTANCE OF 195.52 FEET, SAID CURVE HAVING A RADIUS OF 245.00 FEET, AND A CHORD WITH A BEARING OF S46°41'27"E AND A LENGTH OF 190.37 FEET TO A POINT; THENCE S23°33'22"E A DISTANCE OF 62.21 FEET TO A POINT; THENCE S01°42'25"E A DISTANCE OF 59.20 FEET TO THE POINT OF BEGINNING

THE ABOVE DESCRIBED PARCEL CONTAINS 26.60 ACRES, AND IS SUBJECT TO ANY SERVITUDES OR RESTRICTIONS OF RECORD.

PRELIMINARY PLANS  
RECEIVED  
3/17/2022  
DEVELOPMENT  
ENGINEERING

ENGINEERING  
REVIEW COPY

NOTES:

- ZONING:  
THE SUBJECT PROPERTY IS PART OF LAKESHORE VILLAGE PUD "V" (PLANNED UNIT DEVELOPMENT), USE AREA LV-3 (SINGLE AND MULTI-FAMILY RESIDENTIAL).
- PLATTED BUILDING SETBACKS:  
FRONT: 20'  
REAR: 15' (55' ALONG LAKES)  
SIDE: 5' (10' ALONG STREET RIGHTS OF WAY)
- REFERENCES:  
A) PLAT SHOWING PRELIMINARY SUBDIVISION OF LAKESHORE VILLAGES (PHASE 9) LOCATED IN SECTIONS 25, 26, & 35, TOWNSHIP 9 SOUTH-RANGE 14 EAST GREENSBURG LAND DISTRICT ST. TAMMANY PARISH, LOUISIANA.
- FLOOD ZONE NOTE:  
SURVEYOR HAS CONSULTED THE FEMA FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR THIS LOCATION AND FOUND THAT THE SUBJECT PROPERTY IS IN A SPECIAL FLOOD HAZARD AREA:  
FLOOD ZONE: AH & "X" (SHADED)  
BASE FLOOD ELEVATION: -3'  
COMMUNITY PANEL NO. 225205 0535 D  
MAP REVISED: APRIL 16, 2020  
NOTES:  
MAP REVISION IS FROM LETTER OF MAP REVISION, CASE NO. 19-06-185P, EFFECTIVE DATE APRIL 16, 2020.  
CONTACT ST. TAMMANY PARISH FOR ANY ADDITIONAL ELEVATION REQUIREMENTS.
- WETLANDS:  
WETLANDS HAVE BEEN PERMITTED BY PERMIT NO. MWN 2002-1717, DATED MAY 7, 2004, MODIFIED JUNE 27, 2005 AND FEBRUARY 3, 2011.
- LANDFILL:  
SURVEYOR HAS NO KNOWLEDGE OF OR HAS OBSERVED ANY LANDFILLS ON THE SUBJECT PROPERTY.
- GREENSPACES:  
GREEN SPACES SHOWN ARE TO BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- UTILITY LOCATIONS:  
UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE UTILITY FEATURES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES, EXCEPT FOR ABOVE GROUND VISIBLE UTILITY FEATURES; NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES.
- TITLE:  
THE SERVITUDES AND RESTRICTIONS SHOWN HEREON ARE LIMITED TO THOSE SET FORTH IN THE INFORMATION PROVIDED TO US. THERE IS NO REPRESENTATION MADE BY THIS SURVEYOR THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN. TITLE WAS NOT RESEARCHED IN PREPARATION OF THIS SURVEY.

DEDICATION:

ALL STREET RIGHTS-OF-WAY SHOWN HEREON ARE NOT DEDICATED TO THE PARISH OF ST. TAMMANY BUT ARE DEDICATED TO THE PERPETUAL USE OF THE COMMUNITY DEVELOPMENT DISTRICT AND IS TO BE OWNED AND MAINTAINED BY THE COMMUNITY DEVELOPMENT DISTRICT. EASEMENTS SHALL BE RESERVED FOR DRAINAGE AND UTILITIES AS INDICATED HEREON AND NO OBSTRUCTIONS OR IMPROVEMENTS SHALL BE ALLOWED THAT WOULD PREVENT THEM FROM BEING USED FOR INTENDED USE. THE DEVELOPER OR HOMEOWNERS ASSOCIATION IS RESPONSIBLE FOR MAINTENANCE OF ALL GREEN SPACES, DRAINAGE SERVITUDES, STREET SIGNS, AND TRAFFIC CONTROL SIGNS.

APPROVALS:	
CLERK OF COURT	
DATE FILED	FILE NO.

(OWNER/OWNER REPRESENTATIVE)  
DR HORTON, INC. - GULF COAST  
7896 VINCENT ROAD  
DENHAM SPRINGS, LA 70726

I CERTIFY THAT THIS PRELIMINARY PLAT REPRESENTS AN ACTUAL GROUND SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND IS NOT IN FULL COMPLIANCE WITH LA RS- 33:5051 AND THE REQUIREMENTS OF THE CURRENT LOUISIANA STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A CLASS "C" SURVEY, SINCE ALL CORNERS ARE NOT SET.

DATE OF PLAT: 03/16/2022

DENNIS L. GOWIN, P.L.S.: LA REG. NO. 4846  
REGISTERED PROFESSIONAL LAND SURVEYOR



REVISION	BY
PARISH COMMENTS	
1 08/25/2020	BPV
RENUMBER LOTS	
2 02/14/2022	BPV
REVISED TYPICAL ROAD SECTIONS	
3 03/16/2022	BPV

DUPLANTIS DESIGN GROUP, P.C.  
SURVEY

15564 Brewster Road, Suite 101  
Covington, LA 70433  
Phone: 985.249.6180 \ FAX: 985.249.6190

1308 Camellia Blvd. Suite 200  
Lafayette, LA 70508  
WWW.ddgpc.com



SUBDIVISION OF LAKESHORE VILLAGES (PHASE 11)

SLIDELL, LOUISIANA  
ST. TAMMANY PARISH

FOR:  
DR HORTON, INC. - GULF COAST

DRAWN BPV
CHECKED DLG
PROJECT NO. 20-397
FILE 20-397 PHASE 11 PRELIM REV3
SHEET
2-2

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## ST. TAMMANY PARISH

MICHAEL B. COOPER  
PARISH PRESIDENT

April 5, 2022

St. Tammany Parish Planning Commission  
P.O. Box 628  
Covington, LA 70434

OLD BUSINESS

April 12, 2022 Agenda

Re: Ozone Street – Enter the Parish R.O.W. – Res. No. 19-105  
Fee in Lieu of Detention

Honorable Commissioners,

The engineer of record for the above captioned project, Mr. James E. Powell, Jr., P.E., P.L.S. has requested a waiver of the fee in lieu of detention requirement for the above referenced Enter the Right-of-Way project that was previously approved at the Special rescheduled October 8, 2019 Planning Commission meeting in accordance with Ordinance Section 125-197 (e)(3).

The Department of Engineering has reviewed this request and has no objection to the requested waiver since the project is within the lower 2/3 of the Bayou Castine drainage basin and meets the requirements set forth in the above referenced Ordinance Section.

Therefore, upon approval of the requested waiver the following fee will need to be paid to St. Tammany Parish prior to the issuance of an Unlimited Work Order for Res. No. 19-105.

- 1.11 Acres x \$2,000.00/acre (for A4 Zoning) for a total amount owed of \$2,220.00.

Sincerely,

A handwritten signature in blue ink, appearing to read "D. Hill", is written over the typed name "Daniel P. Hill, P.E.".

Daniel P. Hill, P.E.

Director, Department of Engineering

Enclosure: 1. Fee in Lieu of Detention Waiver Request Letter from Mr. Powell dated Jan. 26, 2021  
2. Ozone Street Drainage Plan dated Jan. 11, 2021

xc: Honorable Michael Cooper  
Honorable James J. Davis  
Mr. Theodore C. Reynolds, P.E.  
Mr. Ross Liner, AICP, PTP, CFM  
Ms. Helen Lambert

Mrs. Maria Robert, P.E.  
Mr. Chris Cloutet, P.E.  
Mr. Eddie Powell, P.E., P.L.S., Kyle Associates, LLC



January 26, 2021

Mr. Jay Watson, P.E.  
Parish Engineer  
Department of Engineering  
St. Tammany Parish Government  
Email: [jwatson@stpgov.org](mailto:jwatson@stpgov.org)

**RE: Detention Waiver Request  
Enter the Parish ROW – Ozone Street  
Resolution No. 19-105  
Mandeville, Louisiana  
KA Project No. 19005**

Dear Mr. Watson:

We are hereby requesting a waiver of the on-site detention requirements and request to pay a fee in lieu of providing the actual detention on this site. The drainage calculations for this development have been provided to the parish by way of the attached Drainage Summary Report (revised November 18, 2020 per STP comments) which shows an insignificant increase in runoff as a result of the proposed improvements. Coupled with the fact that there is not a location to construct any detention within this area, we believe a waiver of the on-site detention requirements is justified for this project.

Please provide your approval of this waiver of the on-site detention requirements and advise of the amount of the "fee in lieu" at your earliest convenience. If you have any additional questions or comments, do not hesitate to contact this office.

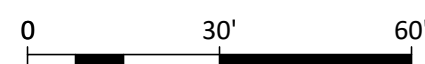
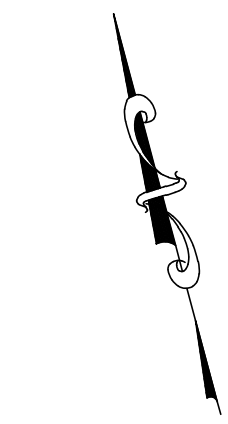
Sincerely,




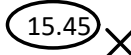


A handwritten signature in blue ink, appearing to read "J. E. Powell, Jr.", is written over a light blue circular stamp.

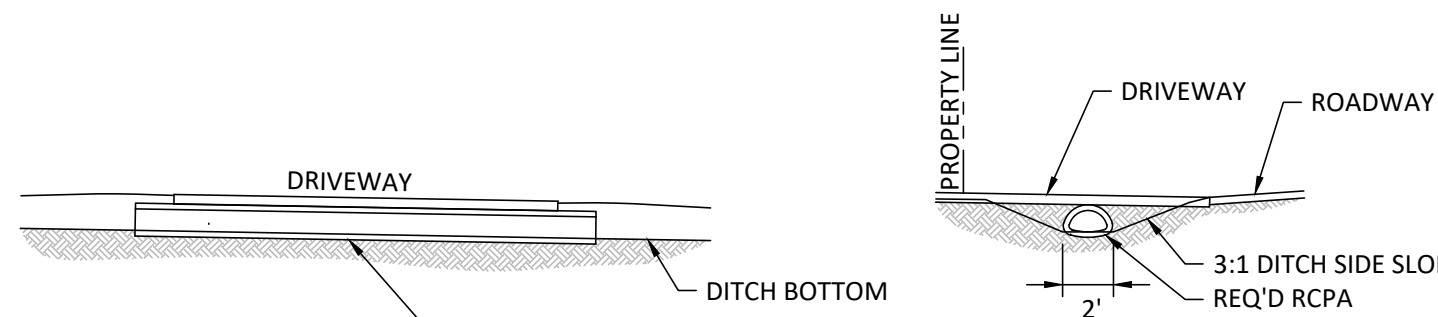
James E. Powell, Jr., P.E., P.L.S.  
Vice President – Engineering Operations  
Kyle Associates, LLC

attachment

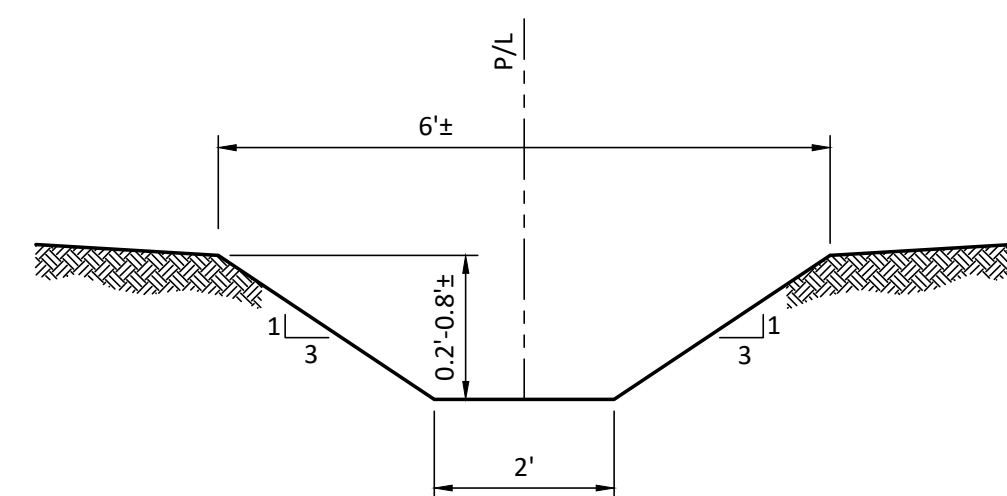




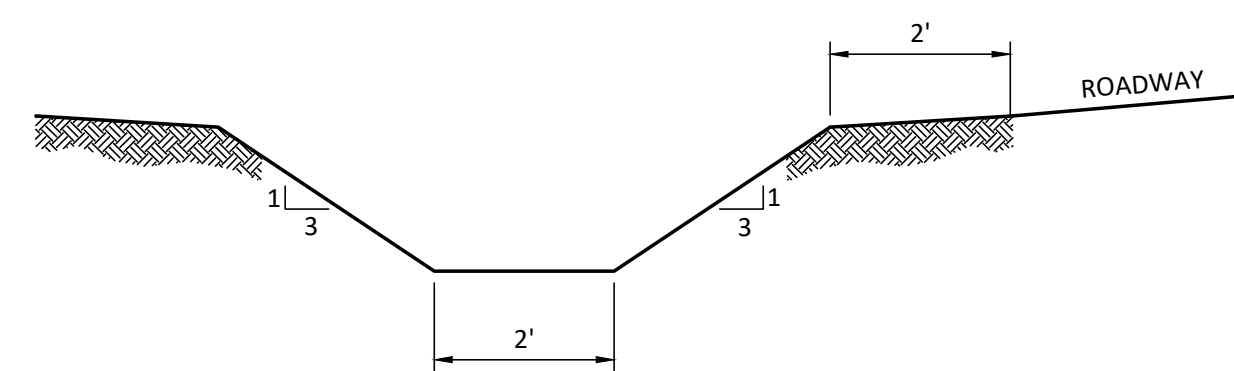
LEGEND:	
-----	PROPERTY LINE
=====	REQ'D DRAIN LINE
—————	CROWN / RIDGE
	REQ'D PRECAST CATCH BASIN
	FLOW ARROW
 15.45	PROPOSED GRADE TOP OF PAVEMENT
	FINISHED GRADE
	EXISTING GRADES
 M.E.	MATCH EXISTING GRADE



**B** TYPICAL DRIVEWAY PROFILE AND SECTION  
C2.0 N.T.S.



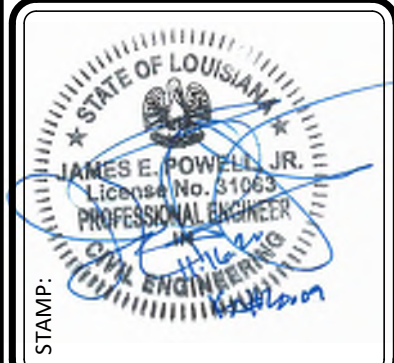
**A** TYPICAL SWALE SECTION  
C2.0 N.T.S.



 SWALE REGRADE SECTION  
N.T.S.

OZONE PLACE  
 LOTS 28A, 30A, 32A, 34A, SQ. 322A  
 RAPATEL STREET  
 LOTS 28A, 30A, 32A, 34A, 36A, SQ. 322B  
 ST. TAMMANY PARISH, LA  
 DRAINAGE PLAN

REVISIONS			APP'D
NO.	DATE:		
1	11.18.20	REVISED PER PARISH COMMENTS	JEP
2	12.21.20	REVISED PER PARISH COMMENTS	JEP
3	01.08.21	REVISED PER PARISH COMMENTS	JEP
4	03.11.21	REVISED PER PARISH COMMENTS	JEP



# C2.0

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