

AGENDA
ST. TAMMANY PARISH ZONING COMMISSION MEETING
6:00 P.M. – TUESDAY, JULY 5, 2022
ST. TAMMANY PARISH ADMINISTRATIVE COMPLEX, COUNCIL CHAMBERS
KOOP DRIVE OFF OF HIGHWAY 59
MANDEVILLE, LOUISIANA

A livestream will be available for viewing on regular broadcast channels (Charter Channel 710; U-verse Channel 99) or on the Parish website: www.stpgov.org. The livestream will begin at 6:00 PM on Tuesday, July 5, 2022.

ROLL CALL

CALL TO ORDER

ANNOUNCEMENTS

- **Please silence all phones and electronic devices**
- **Appeals**
- **Speaker Cards**
- **Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal**
- **Please exit the building**

INVOCATION

PLEDGE OF ALLEGIANCE

APPROVAL OF THE JUNE 7, 2022 MINUTES

POSTPONING OF CASES

PUBLIC HEARINGS

APPEARERS

ZONING CHANGE REQUEST CASES - APPLICATIONS FOR A PROPOSED CHANGE OF ZONING DISTRICT OR AMENDMENTS TO THE LAND USE ORDINANCE REQUIRING REVIEW & RECOMMENDATION OF APPROVAL BY THE ZONING COMMISSION BEFORE ACTION BY THE PARISH COUNCIL ARE AS FOLLOWS:

1. 2022-2839-ZC

Existing Zoning: TND-2 Traditional Neighborhood Development
Proposed Zoning: TND-2 Planned Traditional Neighborhood Development
Location: Parcel located on the north side of US Highway 190, east and west of Honeybee Road; Slidell; S35, T8S, R13E, Ward 9, District 11
Acres: 275.33 acres
Petitioner: George Kurz
Owner: Honeybee Holdings, LLC
Council District: 11

2. 2022-2777-ZC

Existing Zoning: A-2 (Suburban District)
Proposed Zoning: HC-2 (Highway Commercial District)
Location: Parcels located on the south side of North 5th Street, west of Vivian Street and Ladybug Lane; Covington; S42, T7S, R11E, Ward 3, District 5
Acres: .66 acres
Petitioner: Josie Adams
Owner: J&J Builders Northshore, Inc.
Council District: 5
POSTPONED FROM MAY 3, 2022 MEETING

3. 2022-2833-ZC

Existing Zoning: HC-2 (Highway Commercial District)
Proposed Zoning: A-3 (Suburban District)
Location: Parcel located north of Jessikat Lane, west of Coconut Palm Drive, and south of Interstate 12; Madisonville; S10, T7S, R10E, Ward 1 District 1
Acres: 19.152 acres
Petitioner: Andrew Cahanin
Owner: Lagrange Legacy, LLC
Council District: 1
POSTPONED FROM JUNE 7, 2022 MEETING

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- 4. 2022-2864-ZC**
Existing Zoning: A-1 (Suburban District)
Proposed Zoning: A-1 (Suburban District) and MHO Manufactured Housing Overlay
Location: Parcel located on the east side of LA Highway 1077, north of LA Highway 1078; Folsom; S29, T5S, R10E, Ward 2 District 3

Acres: 6.486 acres
Petitioner: Jason Mulvey
Owner: Jason Mulvey
Council District: 3
- 5. 2022-2872-ZC**
Existing Zoning: A-2 (Suburban District)
Proposed Zoning: HC-2 (Highway Commercial District)
Location: Parcel located on the south side of LA Highway 22, west of Timberwood Court, east of Bootlegger Road; Madisonville; S18, T7S, R10E, Ward 1 District 4

Acres: .35 acres
Petitioner: Tim Miletello
Owner: Tim and Barbara Miletello
Council District: 4
- 6. 2022-2881-ZC**
Existing Zoning: HC-1 (Highway Commercial District)
Proposed Zoning: HC-3 (Highway Commercial District)
Location: Parcel located on the northeast corner of LA Highway 22 and Grand Oaks Drive; Madisonville S17, T7S, R10E, Ward 1, District 1

Acres: 2.46 acres
Petitioner: Scott Reeves
Owner: MSB HOLDINGS, LLC
Council District: 1
- 7. 2022-2886-ZC**
Existing Zoning: A-2 (Suburban District)
Proposed Zoning: ED-1 (Primary Education District)
Location: Parcel located on the southwest corner of Harrison Avenue and Ravine Street; Abita Springs; S12, T7S, R11E, Ward 3, District 5

Acres: 3.13 acres
Petitioner: Jeffrey Schoen
Owner: Silverback Holdings, LLC
Council District: 5
- 8. 2022-2888-ZC**
Existing Zoning: A-1 (Suburban District) and A-2 (Suburban District)
Proposed Zoning: A-1 (Suburban District), A-2 (Suburban District), and (RO Rural Overlay)
Location: Parcel located at the end of Bierhorst Road, east of Thompson Road, Slidell; S39, T9S, R14E, Ward 9 District 11

Acres: 3.94 acres
Petitioner: Seth and Ashley Hawley
Owner: Seth and Ashley Hawley
Council District: 11
- 9. 2022-2901-ZC**
Existing Zoning: A-2 (Suburban District)
Proposed Zoning: A-2 (Suburban District) and MHO Manufactured Housing Overlay
Location: Parcel located on the south side of Wilson Road, west of LA Highway 59, Covington; S25, T6S, R11E, Ward 10, District 2

Acres: 1.001 acres
Petitioner: Jeff Schoen
Owner: H&S HOLDINGS, LLC
Council District: 2

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10. 2022-2902-ZC

Existing Zoning: A-1A (Suburban District)
Proposed Zoning: A-1A (Suburban District) and MHO Manufactured Housing Overlay
Location: Parcel located at the end of Henriques Road, west of Highway 59; Covington; S24, T6S, R11E; Ward 3, District 2

Acres: .46 acres
Petitioner: Jeff Schoen
Owner: H&S HOLDINGS, LLC
Council District: 2

11. 2022-2905-ZC

Existing Zoning: A-2 (Suburban District)
Proposed Zoning: PF-1 (Public Facilities District)
Location: Parcel located on the north side of Louisiana Highway 40, west of Carr Lane; Bush; S42, T5S, R13E, Ward 5, District 6

Acres: 3 acres
Petitioner: Chief Scott Brewer
Owner: STFD 9 – Chief Scott Brewer
Council District: 6

12. 2022-2909-ZC

Existing Zoning: A-3 (Suburban District)
Proposed Zoning: A-4 (Single Family Residential District) and MHO Manufactured Housing Overlay

Location: Parcel located on the south side of US Highway 190 E, west of Smith Road; Slidell; S13, T9S, R14E, Ward 8, District 14

Acres: .95 acres
Petitioner: Brittany Paige
Owner: Bryan and Leonard Paige
Council District: 14

13. 2022-2910-ZC

Existing Zoning: A-1A (Suburban District)
Proposed Zoning: A-1A (Suburban District) and MHO Manufactured Housing Overlay
Location: Parcel located on the west side of LA Highway 1083, north of LA Highway 1084, being 76055 LA Highway 1083; Covington; S8, T6S, R12E, Ward 10, District 6

Acres: 1.89 acres
Petitioner: Brenda Bertucci
Owner: Gerald Bertucci
Council District: 6

14. 2022-2911-ZC

Existing Zoning: A-2 (Suburban District)
Proposed Zoning: HC-2 (Highway Commercial District)
Location: Parcel located on the west side of Louisiana Highway 1081 and on the east side of Louisiana Highway 437; Covington; S23, T6S, R11E, Ward 3, District 2

Acres: 2.4 acres
Petitioner: John Barry
Owner: Velvet Pines Developers – John Barry
Council District: 2

15. 2022-2912-ZC

Existing Zoning: A-4 (Single Family Residential District)
Proposed Zoning: A-4 (Single Family Residential District) and MHO Manufactured Housing Overlay

Location: Parcel located on the south side of Ben Thomas Road, west of Javery Road; Slidell; S34, T8S, R14E, Ward 9, District 14

Acres: .306 acres
Petitioner: St Tammany Parish Government
Owner: Hassin Muhammad
Council District: 14

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16. 2022-2913-ZC

Existing Zoning: A-1 (Suburban District)
Proposed Zoning: A-1 (Suburban District) and MHO Manufactured Housing Overlay
Location: Parcel located on the south side of Ed Williams Road West, west of Louisiana Highway 450; Folsom; S17, T4S, R10E, Ward 2, District 3

Acres: 3.865 acres
Petitioner: Leanne Jackson
Owner: Clyde Jackson and Leanne Heisser-Jackson
Council District: 3

17. 2022-2914-ZC

Existing Zoning: A-1 (Suburban District) and A-2 (Suburban District)
Proposed Zoning: NC-4 (Neighborhood Institutional District)
Location: Parcel located on the north side of Sharp Road, west of Parc Place, and east of Westwood Drive; Mandeville; S39, T7S, R11E, Ward 4, District 5

Acres: 11.96 acres
Petitioner: Robert Beazley
Owner: St. Michael’s Episcopal Church of Mandeville
Council District: 5

PLAN REVIEW CASES – APPLICATIONS REQUIRING REVIEW AND APPROVAL OF SITE PLANS ALONG A PLANNED DISTRICT BY THE ZONING COMMISSION ARE AS FOLLOWS:

1. **2022-2871-PR** – USE: St Tammany Bone and Joint Clinic: Addition to Existing Building
CORRIDOR: Highway 21 Planned Corridor
ZONING: HC-2 (Highway Commercial District)
USE SIZE: 6,391 sq. ft
PETITIONER: Roch B. Hontas
OWNER: Satnoh, LLC
LOCATION: Parcel located on the north side of Louisiana Highway 21, being 71211 Louisiana Highway 21; S46, T7S, R11E; Ward 1, District 1
POSTPONED FROM JUNE 7, 2022 MEETING

CONDITIONAL USE CASES – APPLICATIONS REQUIRING REVIEW AND APPROVAL OF SITE PLANS FOR USES LISTED UNDER SEC. 130-1129 – CONDITIONAL USES UNDER THE I-4 HEAVY INDUSTRIAL DISTRICT BY THE ZONING COMMISSION ARE AS FOLLOWS:

1. **2022-2938-CP** – USE: Concrete Batch Plant
ZONING: I-4 (Heavy Industrial District)
ACRES: 9.345 acres
PETITIONER: Jeffrey D. Schoen
OWNER: Parish Concrete, LLC
LOCATION: Parcel located on the south side of Dr. TJ Smith Sr. Expressway, west of US Highway 11, Slidell; S23, T8S, R14E; Ward 8, District 14

NEW BUSINESS

OLD BUSINESS

ADJOURNMENT

**MINUTES OF THE
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ROLL CALL Fitzmorris and Barcelona were absent

CALL TO ORDER

ANNOUNCEMENTS

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INVOCATION Randolph

PLEDGE OF ALLEGIANCE Willie

APPROVAL OF THE MAY 3, 2022 MINUTES

Crawford made a motion to approve, second by Randolph

YEA: Seeger, Ress, McInnis, Willie, Doherty, Crawford, Smail, Randolph and Truxillo

NAY:

ABSTAIN:

POSTPONING

3. 2022-2833-ZC

Existing Zoning:	HC-2 (Highway Commercial District)
Proposed Zoning:	A-3 (Suburban District)
Location:	Parcel located north of Jessikat Lane, west of Coconut Palm Drive, and south of Interstate 12; Madisonville; S10, T7S, R10E, Ward 1 District 1
Acres:	19.152 acres
Petitioner:	Andrew Cahanin
Owner:	Lagrange Legacy, LLC
Council District:	1

Paul Mayronne came to the podium

Anthony Moreau, Clarence Blache, Ryan Brignac and Jared Clesi spoke against this request

Crawford made a motion to postpone, second by Randolph

YEA: Seeger, Willie, Doherty, Crawford, Randolph and Truxillo

NAY: Ress, McInnis, Smail and

ABSTAIN:

The motion to postpone carries

1. 2022-2871-PR – USE: St Tammany Bone and Joint Clinic: Addition to Existing Building

CORRIDOR: Highway 21 Planned Corridor

ZONING: HC-2 (Highway Commercial District)

USE SIZE: 6,391 sq. ft

PETITIONER: Roch B. Hontas

OWNER: Satnoh, LLC

LOCATION: Parcel located on the north side of Louisiana Highway 21, being 71211 Louisiana Highway 21; S46, T7S, R11E; Ward 1, District 1

Jeff Schoen came to the podium

Crawford made a motion to postpone, second by Truxillo

YEA: Seeger, Ress, McInnis, Willie, Doherty, Crawford, Smail, Randolph and Truxillo

NAY:

ABSTAIN:

The motion to postpone carries

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ZONING CHANGE REQUEST CASES:

1. 2022-2821-ZC

Existing Zoning:	A-4 (Single-Family Residential District)
Proposed Zoning:	PF-1 (Public Facilities District)
Location:	Parcel located on the south side of LA Highway 1088, west of Soult Street, and east of Emerald Pines Court; Mandeville; S6S, T8S, R12E, Ward 4, District 5
Acres:	2.088 acres
Petitioner:	Kenneth Moore
Owner:	ST. TAMMANY PARISH FIRE PROTECTION DISTRICT #4 – Kenneth Moore
Council District:	5

Ken Moore came to the podium

Seeger made a motion to approve, second by Truxillo

YEA: Seeger, Ress, McInnis, Willie, Doherty, Crawford, Smail, Randolph and Truxillo

NAY:

ABSTAIN:

The motion to approve carries

2. 2022-2822-ZC

Existing Zoning:	A-1A (Suburban District)
Proposed Zoning:	A-1A (Suburban District) and MHO Manufactured Housing Overlay
Location:	Parcel located on the north side of West Orleans Street, west of Lake Road, being lots 7 and 8, Square 17, Lacombe Park Subdivision; Lacombe; S40, T8S, R12E, Ward 7 District 7
Acres:	.34 acres
Petitioner:	Nikki Hutchinson
Owner:	Nikki Hutchinson
Council District:	7

Nikki Hutchinson came to the podium

Crawford made a motion to approve, second by Truxillo

YEA: Seeger, Ress, McInnis, Willie, Doherty, Crawford, Smail, Randolph and Truxillo

NAY:

ABSTAIN

The motion to approve carries

3. 2022-2835-ZC

Existing Zoning:	A-2 (Suburban District)
Proposed Zoning:	PF-1 (Public Facilities District)
Location:	Parcel located on the north side of Harrison Avenue, east of Primrose Drive, and west of Flowers Drive, Covington; S2, T7S, R11E, Ward 3, District 2
Acres:	.757 acres
Petitioner:	Jeffrey Schoen
Owner:	St. Tammany Humane Society
Council District:	2

Jeff Schoen came to the podium

Willie made a motion to approve, second by Crawford

YEA: Seeger, Ress, McInnis, Willie, Doherty, Crawford, Smail, Randolph and Truxillo

NAY:

ABSTAIN:

The motion to approve carries

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4. 2022-2836-ZC

Existing Zoning: HC-2 (Highway Commercial District)
Proposed Zoning: HC-2 (Highway Commercial District) and RO Rural Overlay
Location: Parcel located on the south side of US Highway 190, east of
Bremerman Road, and west of Johns Road; Lacombe; S48, T8S,
R12E, Ward 4, District 7

Acres: 2.34 acres
Petitioner: Quality Properties, LLC- Bruce Wainer
Owner: Bruce Wainer
Council District: 7

Paul Mayronne came to the podium

Jeannine Meeds spoke about shooting firearms on this property

Willie made a motion to approve, second by Randolph

YEA: Seeger, Ress, Willie, Doherty, Crawford, Smail, Randolph and Truxillo

NAY:

ABSTAIN: McInnis

The motion to approve carries

5. 2022-2837-ZC

Existing Zoning: A-3 (Suburban District)
Proposed Zoning: NC-1 (Professional Office District)
Location: Parcel located on the north west corner of Azalea Drive and US
Highway 190, Mandeville; S37, T7S, R11E, Ward 4, District 4

Acres: .32 acres
Petitioner: Rodrigue & Rodrigue – Rod Rodrigue
Owner: Julies Helfritsh
Council District: 4

Melvin Baiaamonte, Miles Mark and Mike Franklin spoke against this request

Smail made a motion to deny, second by Randolph

YEA: Seeger, Ress, McInnis, Willie, Doherty, Crawford, Smail, Randolph and Truxillo

NAY:

ABSTAIN:

The motion to deny carries

1. 2022-2838-ZC

Existing Zoning: A-3 (Suburban District)
Proposed Zoning: A-3 (Suburban District) and MHO Manufactured Housing Overlay
Location: Parcel located on the south side of Heintz Street, west of Poitevent
Street, Abita Springs; S1, T7S, R11E, Ward 10, District 2

Acres: .32 acres
Petitioner: Keith and Antoinette Hanson
Owner: Keith and Antoinette Hanson
Council District: 2

Keith and Antoinette Hanson came to the podium

David Dupre spoke against this request

Seeger made a motion to approve, second by Truxillo

YEA: Seeger, Ress, McInnis, Willie, Doherty, Crawford, Smail, Randolph and Truxillo

NAY:

ABSTAIN:

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MANDEVILLE, LOUISIANA**

The motion to approve carries

- 1. 2022-2840-ZC**
Existing Zoning: A-3 (Suburban District)
Proposed Zoning: HC-2 (Highway Commercial District)
Location: Parcel located on the north side of LA Highway 1088, east of Viola Street, west of Elm Street, Mandeville; S6, T8S, R12E; Ward 4, District 5

Acres: 7.380 acres
Petitioner: Sean Jeanfreau
Owner: Carlos A Millan
Council District: 5

Sean Jeanfreau came to the podium

Randolph made a motion to approve as amended, second by Smail

YEA: Seeger, Doherty, Crawford, Smail, Randolph and Truxillo
NAY: Ress, McInnis and Willie
ABSTAIN:

The motion to approve as amended carries

- 1. 2022-2855-ZC**
Existing Zoning: A-1 (Suburban District)
Proposed Zoning: A-2 (Suburban District)
Location: Parcel located on the north side of Wardline Road, east of Million Dollar Road; Covington; S31, T5S, R11E, Ward 2, District 2

Acres: 6.592 acres
Petitioner: Michael Dugas & John Dublin
Owner: The Lionel Ingram Family Trust, Michael Dugas, Provisional Trustee & John Dublin
Council District: 2

John Dublin came to the podium

Willie made a motion to approve as amended, second by Smail

YEA: Seeger, Ress, McInnis, Willie, Doherty, Crawford, Smail, Randolph and Truxillo
NAY:
ABSTAIN:

The motion to approve as amended carries

Crawford made a motion to adjourn

Second by Ken

NEW BUSINESS

OLD BUSINESS

ADJOURNMENT

ZONING STAFF REPORT

Date: June 28, 2022
Case No.: 2022-2839-ZC
Posted: June 24, 2022

Meeting Date: July 5, 2022
Determination: Public Workshop Required

GENERAL INFORMATION

PETITIONER: George Kurz

OWNER: Honeybee Holdings, LLC

REQUESTED CHANGE: TND-2 Traditional Neighborhood Development to TND-2 Planned Traditional Neighborhood Development.

LOCATION: Parcel located on the north side of US Highway 190, east and west of Honeybee Road; Slidell; S35, T8S, R13E, Ward 9, District 11

SIZE: 275.33 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

US Highway 190 -	Type: State	Road Surface: 2 Lane Asphalt	Condition: Good
Honeybee Road -	Type: Parish	Road Surface: 2 Lane Asphalt	Condition: Good

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

Direction	Surrounding Use	Surrounding Zone
North	Residential	A-2 Suburban District
South	Undeveloped	TND-2 Traditional Neighborhood Development District
East	Undeveloped	TND-2 Traditional Neighborhood Development District
West	Residential	A-2 Suburban District & A-3 Suburban District

EXISTING LAND USE:

Existing development: No

Multi occupancy development: No

COMPREHENSIVE PLAN:

Planned Districts - Coordinated development on several parcels, usually at a higher density – but not in all cases - than other parcels in the proximity, planned in an integrated fashion as single units including residential, commercial and possibly other (institutional, recreational, *e.g.*) uses, as well as the supporting infrastructure and public services they will require (*See “Small Area Plans,” below*). Generally, such developments improve environmental qualities, preserve natural environments, provide for open space and recreational uses, and for residential as well as commercial uses, and are equipped with central utility systems and efficient and effective internal and external transportation access in multiple modes.

Single Family Residential – Conservation - These planned districts would include clustered single-family residential uses, at a density – within the overall tract – which is similar to that of adjoining residential uses, and conservation areas, following a Small Area Plan, and providing for balance, compatibility and integration of uses and all supporting infrastructure. Such individual Planned Residential – Conservation developments should aim to achieve contiguity among adjoining conservation areas in adjacent developments.

Mixed Use – Commercial – Conservation - These planned districts would include mixed uses, except for residential uses, – at varying densities - and conservation areas, following a Small Area Plan, and providing for balance, compatibility and integration of uses and all supporting infrastructure.

SITE HISTORY

The petitioned site is comprised of 275.33 acres of undeveloped property which is bisected by the existing 20 ft. wide, Parish maintained Honeybee Road. The site was zoned TND-2 Traditional Neighborhood Development through the 2009 St. Tammany Parish Comprehensive rezoning efforts and has remained undeveloped since. The same site was the subject of a rezoning request for an underlying zoning classification of A-4A Single-Family Residential District (2021-2354-ZC) and Planned Unit Development Overlay (2021-2355-ZC); both of which were denied by the Parish Council on March 3, 2022 (Resolution No’s. C-6581 and C-6582).

PROCEDURES FOR GENERAL IMPLIMENTATION PLAN REVIEW

The current request is to utilize the site’s existing TND-2 Traditional Neighborhood Development zoning classification and provide a General Implementation Plan subject to Sec. 130-1518 – “General Implementation Plan”.

Review procedures for a proposed TND-2 are as follows:

1. The applicant shall hold a pre-application conference with the Director of Planning and Development for the purpose of exchanging information, providing guidance to the applicant and determining the eligibility of the request for consideration as a traditional neighborhood development. The applicant is required to provide documents showing the property location, boundaries, significant natural features, thoroughfare network (vehicular and pedestrian circulation), land use for the entire site, and a statement indicating financial responsibility sufficient to complete the public improvements shown on the conceptual plan.
2. Following the pre-application conference, the applicant shall submit a completed application (General Implementation Plan) to the Director of Planning and Development. When the Director of Planning and Development determines the application to be complete, the application shall be sent to the commission for a public workshop session if deemed necessary by the Director of Planning and Development, followed at a later date by a public hearing.

The Department of Planning and Development has held several pre-application conferences with the applicant to discuss the proposed TND-2 and the Director of the Planning and Development has determined the application is complete and must be sent to the Zoning Commission for a Public Workshop Session, followed at a later date by a public hearing. The Chairman of the Zoning Commission will set the meeting date for a Public Workshop at the July 5, 2022 Zoning Commission hearing and the TND-2 will be placed on the next appropriate Zoning Commission agenda following the Public Workshop Session.

3. Following the Public Workshop Session, the Zoning Commission “shall review the traditional neighborhood development request and general implementation plan and any comments submitted by any adjoining property owners and shall make a recommendation to the Council to approve, approve with conditions, or deny the general implementation plan. In its recommendation to the Council, the Commissions shall include the reasons for such recommendation”. **The Zoning Commission may not consider the request at the required Public Workshop.**

Per Sec. 130-1518(2)(c), if approved by the Parish Council, the adopted General Implementation Plan will rezone the property to “TND-2 Planned Traditional Neighborhood Development” and allow the petitioner to submit a Specific Implementation Plan subject to Section 130-1519 – “Specific Implementation Plan” for review within 36 months

Case No.: 2022-2839-ZC

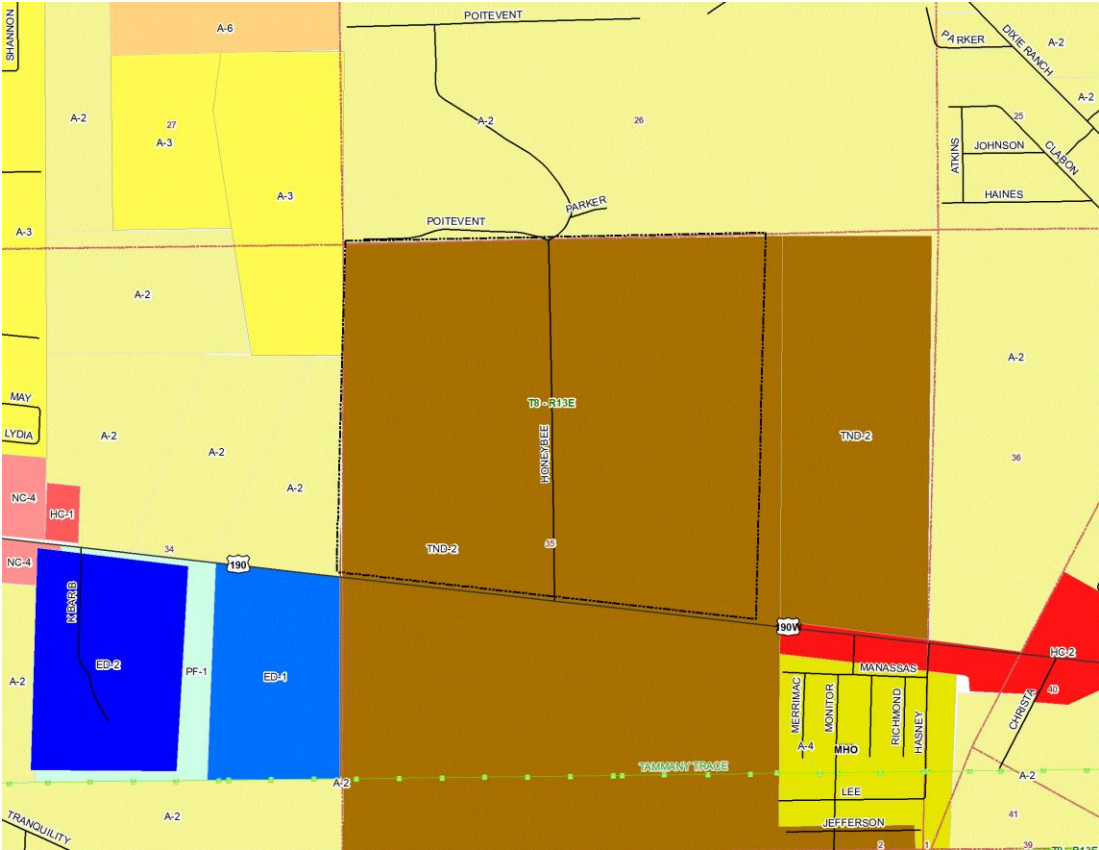
PETITIONER: George Kurz

OWNER: Honeybee Holdings, LLC

REQUESTED CHANGE: TND-2 Traditional Neighborhood Development to TND-2 Planned Traditional Neighborhood Development.

LOCATION: Parcel located on the north side of US Highway 190, east and west of Honeybee Road; Slidell; S35, T8S, R13E, Ward 9, District 11

SIZE: 275.33 acres





2022-2839-ZC

HC-3 E-1

HC-3

OLD TODD RD

PBC-1

A-2

GREEN RD

A-6

27

N POITEVENT RD

26

A-2

A-3

A-3

S POITEVENT RD

A-2

T8 - R13E

A-2

TND-2

A-2

A-2

A-2

34

35

HONEYBEE RD

TND-2

ED-2
PF-1

ED-1

HC-2

MERRIMAC DR

MONITOR DR

CHARLESTON DR

RICHMOND DR

HASNEY RD

36

TAMMANY TRACE

A-4

LEE DR

A-2

A-2

2

A-2

T9 - R13E

3

S TRANQUILITY RD

SUNSET ST

40

BAYOU PAQUET ST

A-2

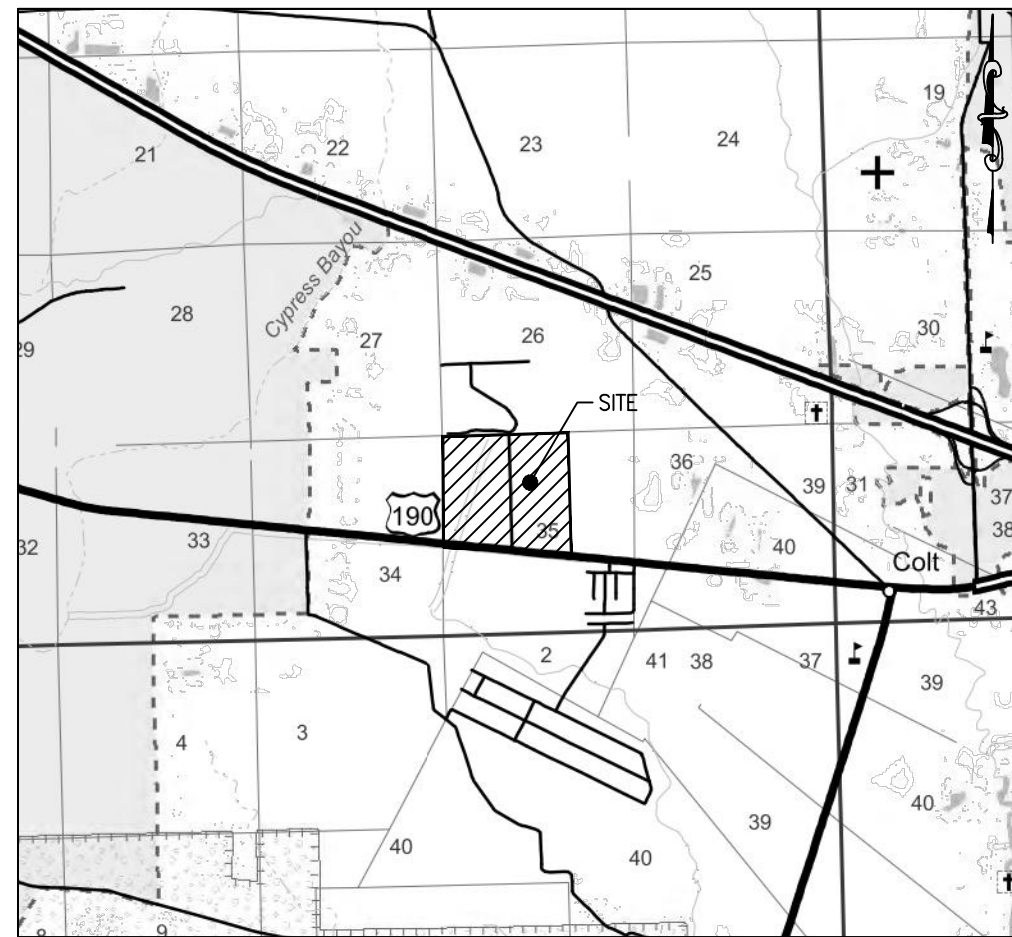
PARK AV

39

1

ALTA/NSPS LAND TITLE SURVEY
OF A PARCEL OF LAND LOCATED IN
SECTION 35, TOWNSHIP 8 SOUTH - RANGE 13 EAST,
GREENSBURG LAND DISTRICT
ST. TAMMANY PARISH, LOUISIANA

MEASURED BEARINGS ARE BASED ON GRID NORTH, LOUISIANA STATE PLANE SOUTH
ZONE (1702)NAD 83 AS DERIVED FROM THE LSU C46 RTK NETWORK (2020.9).



VICINITY MAP

FLOOD ZONE NOTE:

SURVEYOR HAS CONSULTED THE FEMA FLOOD INSURANCE RATE MAP (F.I.R.M.)
FOR THIS LOCATION AND FOUND THAT THE SUBJECT PROPERTY IS NOT IN A
SPECIAL FLOOD HAZARD AREA:
FLOOD ZONE: C
BASE FLOOD ELEVATION: NOT INDICATED
COMMUNITY PANEL NO. 225205 0415 C & 225205 0405 C
MAP REVISED: APRIL 2, 1991 (0415) & OCTOBER 17, 1989 (0405)
(CONTACT ST. TAMMANY PARISH FOR ADDITIONAL ELEVATION REQUIREMENTS.)

REFERENCES:

- 1) A SURVEY MAP OF A 405.68 A. & A 49.47 AC. PARCEL OF LAND SITUATED IN
SECTION 35, T-8-S, R-13-E AND A 1778.64 ACRE PARCEL OF LAND SITUATED IN
SECTIONS 2 & 39, T-9-S, R-13-E, ST. TAMMANY PARISH, LOUISIANA, BY J.V.
BURKES & ASSOCIATES, INC. DATED 12/21/2010.
- 2) PLAT SHOWING PARTITION OF THE NE 1/4 OF SECTION 34, T8S-R13E, LESS A ONE
ACRE PARCEL AND PARCEL 34*, THE 0.0678 ACRES PORTION OF THE W 1/2 OF THE
SE 1/4, SECTION 34, WHICH LIES NORTH OF U.S. HIGHWAY 190, ALL BEING LOCATED
NEAR THE CITY OF SUDELL, ST. TAMMANY PARISH, LOUISIANA FOR AMERICAN BANK
BY ALBERT A. LOVELL & ASSOCIATES, INC. DATED DECEMBER 3, 1991.
- 3) PLAT OF SURVEY OF THE DAVIS YOUNG SR. ESTATE BY NED R. WILSON, DATED
12/13/1976.
- 4) PLAT OF SURVEY OF THE FOSTER GREEN ESTATE BY NED R. WILSON, DATED
04/29/1980.

SOURCE OF TITLE: COB 83/FOLIO 544

ABSTRACT REVIEW NOTES:

SURVEYOR HAS REVIEWED ABSTRACT NO. 20-0839 BY ADVANCED ABSTRACTS LLC DATED
DECEMBER 11, 2020 FOR LISKOW & LEWIS - EMILY RANDAZZO AND MAKES NOTE OF
THE FOLLOWING ACTS PROVIDED:

COB E-2 PAGE 162, SURVEYOR UNABLE TO READ SUPPORTING INSTRUMENT.

COB 185 PAGE 515 INSTRUMENT #67010, THIS CONVEYANCE DEED REFERS TO A
PORTION OF THE EAST HALF OF THE EAST HALF OF SEC. 35, T8S-R13E, LYING NORTH
OF THE STATE HIGHWAY 34 (NOW US HIGHWAY 190). THIS PARCEL IS EAST OF THE
SUBJECT PROPERTY.

COB 260 PAGE 365 INSTRUMENT #143601, THIS RIGHT OF WAY DEED TO CLECO IS FOR
A RIGHT OF WAY ALONG A PORTION OF THE WEST SIDE OF US HWY. 190 BETWEEN
MANDEVILLE AND COVINGTON. THE RIGHT OF WAY DOES NOT PLOT ON OR AFFECT THE
SUBJECT PROPERTY.

COB 408 PAGE 64 INSTRUMENT #230187, THIS RIGHT OF WAY DEED TO CLECO GRANTS
RIGHTS OF WAY IN VARIOUS LOCATIONS. THE 15' RIGHT OF WAY ALONG A PORTION OF
THE SOUTH RIGHT OF WAY LINE IS PLOTTED AND DOES NOT AFFECT THE SUBJECT
PROPERTY. SURVEYOR NOTES THAT THIS INSTRUMENT DOES NOT CALL FOR A RIGHT OF
WAY FOR THE OVERHEAD ELECTRIC LINE ALONG THE EAST SIDE OF HONEYBEE ROAD. THIS
OVERHEAD ELECTRIC LINE IS SHOWN AS EXISTING IN THE EXHIBIT ATTACHED TO THIS
INSTRUMENT.

COB 558 PAGE 240 INSTRUMENT #267705, THIS DEED GRANTS A 30' WIDE RIGHT OF
WAY TO COLLINS PIPELINE TO CONSTRUCT, MAINTAIN AND REPAIR A 16" PIPELINE. THE
LOCATION SHOWN HEREON IS BASED ON VISIBLE MARKER SIGNS.

COB 261 PAGE 346 INSTRUMENT #144274, THIS DEED GRANTS A 10' WIDE ELECTRIC
LINE RIGHT OF WAY TO LOUISIANA RURAL ELECTRIC CORPORATION. THIS RIGHT OF WAY IS
PLOTTED AND AFFECTS THE SUBJECT PROPERTY AS SHOWN.

NOTE:

THAT PORTION OF BAYOU PAQUET (LATERAL 9-CW-1-18) SHOWN HEREON IS A
PUBLIC DRAINAGE CHANNEL IN THE ST. TAMMANY PARISH DRAINAGE SYSTEM.
UNDER REVISED STATUTE (RS) 38:113 THE JURISDICTIONAL DRAINAGE DISTRICT
HAS CONTROL OVER A SPACE OF 100 FEET ON BOTH SIDES OF THE BANKS OF
SAID CHANNEL. CONTACT THE ST. TAMMANY PARISH DRAINAGE DISTRICT FOR THEIR
SPECIFIC RIGHT OF WAY REQUIREMENTS.

NOTE:

HONEYBEE ROAD IS A PAVED PUBLIC PARISH ROAD. WIDTH OF PARISH
MAINTENANCE VARIES BETWEEN 50 AND 60 FEET.

SURVEY DESCRIPTION:

A CERTAIN PIECE OR PARCEL OF LAND BEING THAT PORTION OF THE WEST HALF AND THE WEST HALF OF THE EAST HALF,
LESS AND EXCEPT A STRIP ONE ACRE WIDE ON THE EAST SIDE, LYING NORTH OF US HIGHWAY 190, SECTION 35, TOWNSHIP
8 SOUTH, RANGE 13 EAST, GREENSBURG LAND DISTRICT, ST. TAMMANY PARISH, LOUISIANA AND MORE PARTICULARLY
DESCRIBED AS FOLLOWS:

BEGINNING AT A 1 1/2" IRON PIPE FOUND NEXT TO A 5/8" IRON ROD AT THE NORTHWEST CORNER OF SAID SECTION 35;
THENCE N89°50'54"E ALONG THE NORTH LINE OF SAID SECTION 35 A DISTANCE OF 3755.30 FEET TO A 3/4" IRON ROD FOUND;
THENCE LEAVING SAID NORTH LINE OF SAID SECTION 501°27'08"W A DISTANCE OF 3446.01 FEET TO A 3/4" IRON ROD FOUND;
ON THE NORTH RIGHT OF WAY LINE OF US HIGHWAY 190; THENCE N83°33'25"W ALONG SAID NORTH RIGHT OF WAY LINE A
DISTANCE OF 3766.48 FEET TO A 5/8" IRON ROD SET ON THE WEST LINE OF SAID SECTION 35; THENCE N01°36'31"E ALONG
THE WEST LINE OF SAID SECTION 35 A DISTANCE OF 203.67 FEET TO A 3/4" IRON ROD FOUND AT THE QUARTER CORNER
COMMON TO SECTION 26, TOWNSHIP 8 SOUTH, RANGE 13 EAST AND SAID SECTION 35; THENCE N01°27'25"E ALONG THE WEST
LINE OF SAID SECTION 35 A DISTANCE OF 2744.07 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 275.33 ACRES, INCLUSIVE OF ANY PORTION IN THE RIGHT OF WAY FOR HONEYBEE
ROAD, AS SURVEYED BY DUPLANTIS DESIGN GROUP, PC, PROJECT NO. 20-889, DATED DECEMBER 28, 2020, AND IS SUBJECT
TO ANY SERVITUDES OR RESTRICTIONS OF RECORD.

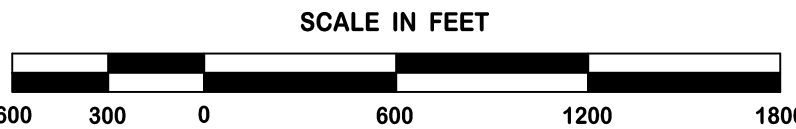
THE SERVITUDES AND RESTRICTIONS SHOWN HEREON ARE LIMITED TO THOSE SET FORTH IN THE INFORMATION PROVIDED
TO US. THERE IS NO REPRESENTATION MADE BY THIS SURVEYOR THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS
ARE SHOWN. TITLE WAS NOT RESEARCHED IN PREPARATION OF THIS SURVEY.

TO: HONEYBEE HOLDINGS AND LLC AND LISKOW & LEWIS

THIS IS TO CERTIFY THAT IS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE
2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED
BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 3, 4, & 8 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON
DECEMBER 8, 2020

DATE OF PLAT: 01/11/2021

DENNIS L. GOWIN, P.L.S.: LA REG. NO. 4846
REGISTERED PROFESSIONAL LAND SURVEYOR
DGOVIN@DDGPC.COM



- LEGEND
- FOUND PROPERTY CORNER
 - SET PROPERTY CORNER
 - GAS UTILITY MARKER
 - PROPERTY LINE
 - RIGHT OF WAY LINE
 - SECTION LINE
 - TOWNSHIP LINE
 - TOP BANK
 - L.R. IRON ROD
 - L.P. IRON PIPE
 - (M) MEASURED
 - (R) REFERENCE

REVISION	BY

DUPLANTIS DESIGN GROUP, PC SURVEY	16564 Brewster Road, Suite 101 Covington, LA 70433 Phone: 985.249.6180 Fax: 985.249.6190 1308 Camellia Blvd, Suite 200 Lafayette, LA 70508 WWW.ddgpc.com
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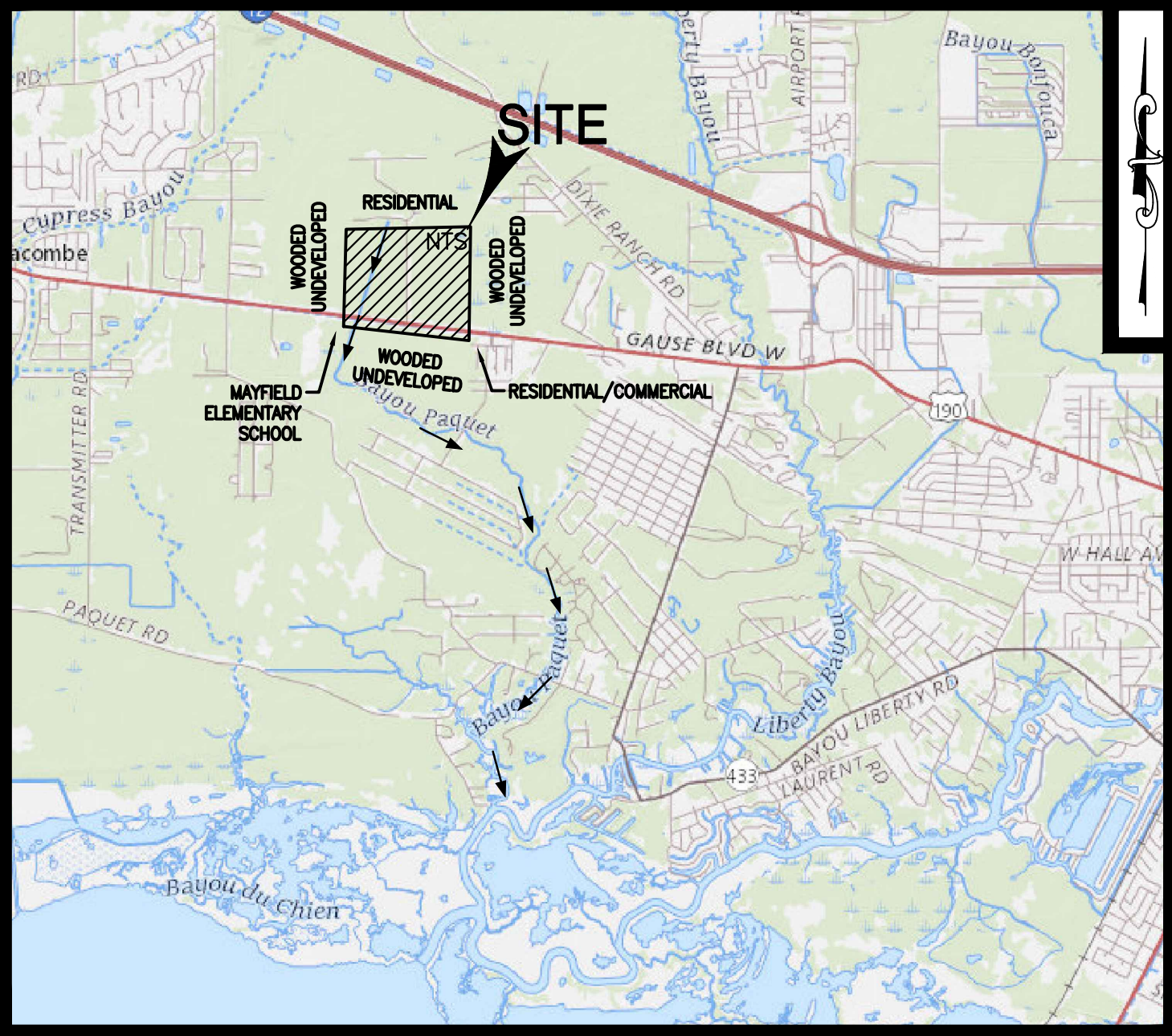
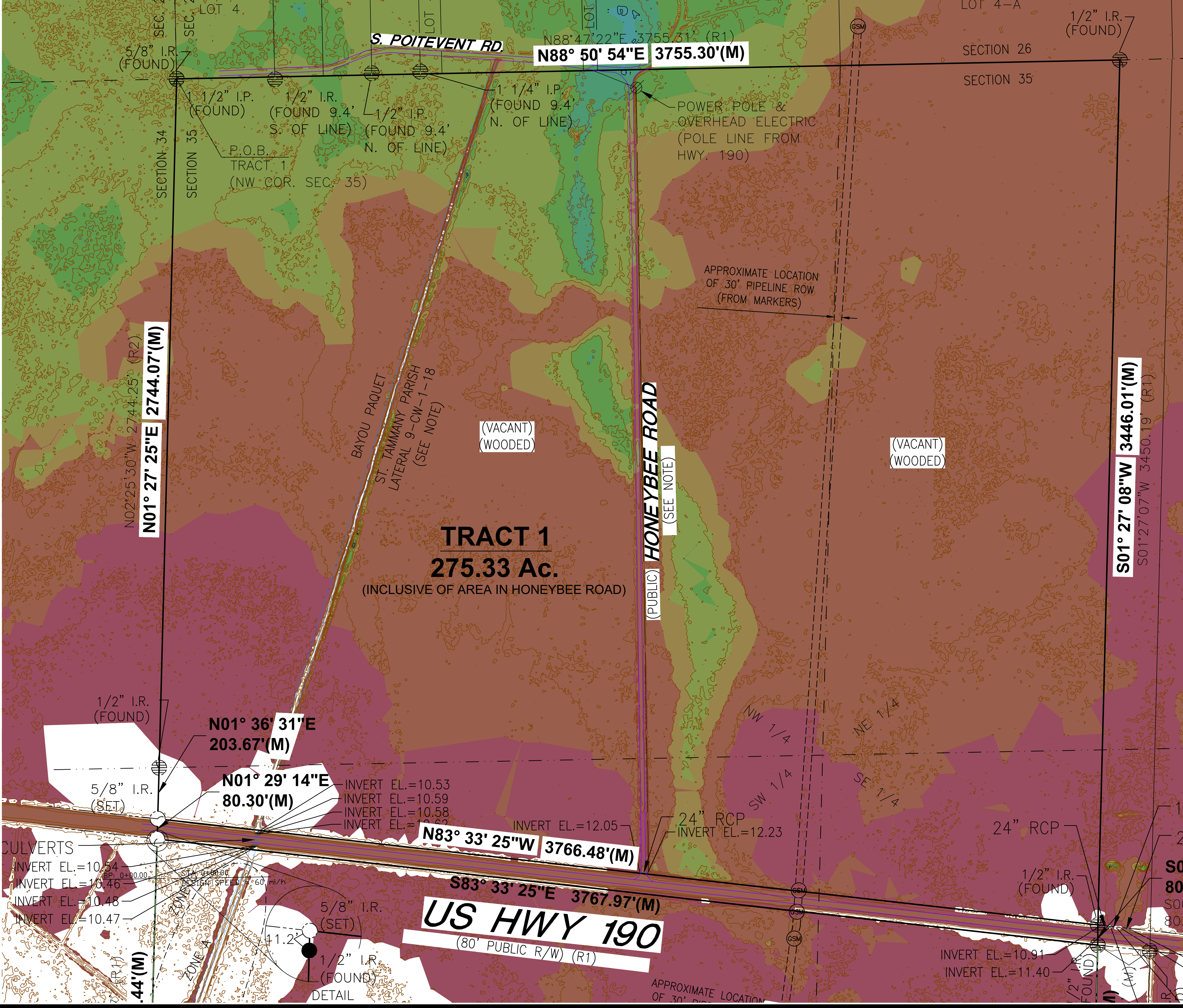
ALTA/NSPS LAND TITLE SURVEY SECTION 35, T8S-R13E ST. TAMMANY PARISH, LOUISIANA FOR: HONEYBEE HOLDINGS, LLC
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DRAWN BPV/NLA
CHECKED DLG
PROJECT NO. 20-889
FILE 20-889 ALTA 01-11-2021
SHEET 1-1

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EXISTING SITE CONDITIONS PLAN FOR
HONEYBEE SUBDIVISION

Honeybee TND-2 General Implementation Plan
SECTION 35, TOWNSHIP 8 SOUTH - RANGE 13 EAST
GREENSBURG LAND DISTRICT
ST. TAMMANY PARISH, LOUISIANA



VICINITY MAP/ULTIMATE STORMWATER DISPOSAL

Elevations Table			
Number	Minimum Elevation	Maximum Elevation	Color
1	14.000	15.000	
2	15.000	16.000	
3	16.000	17.000	
4	17.000	18.000	
5	18.000	19.000	
6	19.000	20.000	
7	20.000	21.000	
8	21.000	22.000	
9	22.000	23.000	
10	23.000	24.000	

SURVEY DESCRIPTION:

A CERTAIN PIECE OR PARCEL OF LAND BEING THAT PORTION OF THE WEST HALF AND THE WEST HALF OF THE EAST HALF, LESS AND EXCEPT A STRIP ONE ACRE WIDE ON THE EAST SIDE, LYING NORTH OF US HIGHWAY 190, SECTION 35, TOWNSHIP 8 SOUTH, RANGE 13 EAST, GREENSBURG LAND DISTRICT, ST. TAMMANY PARISH, LOUISIANA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

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THE ABOVE DESCRIBED PARCEL CONTAINS 275.33 ACRES, INCLUSIVE OF ANY PORTION IN THE RIGHT OF WAY FOR HONEYBEE ROAD, AS SURVEYED BY DUPLANTIS DESIGN GROUP, PC, PROJECT NO. 20-889, DATED DECEMBER 28, 2020, AND IS SUBJECT TO ANY SERVITUDES OR RESTRICTIONS OF RECORD.

NOTES:

REFER TO ALTA SURVEY PERFORMED BY DUPLANTIS DESIGN GROUP, PC DATED 01/11/2021 FOR NOTES REGARDING BAYOU PAQUET AND HONEYBEE ROAD AS WELL AS REFERENCE MAPS USED.

CONTOURS SHOWN ARE AT 1' INTERVALS AND ARE DERIVED FROM LIDAR.

THIS SUBMITTAL WAS PREPARED AND SUBMITTED BASED ON THE ST. TAMMANY PARISH UNIFIED DEVELOPMENT CODE THAT WAS LAST UPDATED ON MARCH 9, 2022.

DEVELOPER:
HONEYBEE HOLDINGS
7696 VINCENT ROAD
DENHAM SPRINGS, LA. 70726

PRIMARY CONTACT:
ADAM KURZ

Note: This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described IS NOT located in a special flood hazard area. It is located in Flood Zone G.

FIRM Panel # 2050415.C Rev. April 2, 1991
FIRM Panel # 2282050405.C Rev. October 17, 1989

NEAREST ADJACENT 100 YEAR BASE
FLOOD ELEVATION = 14'

Not For Construction
**EXISTING
SITE
CONDITIONS
MAP**



REVISION	BY

16564 E. Brewster Road,
Suite 101
Covington, LA 70433
Office: 985.249.6180
Fax: 985.249.6190
www.ddgpc.com

ddg
DUPLANTIS DESIGN GROUP

SIGNATURE: _____
DATE: _____

STAMP

HONEYBEE SUBDIVISION
SECTION 35, TOWNSHIP 8
SOUTH - RANGE 13 EAST
GREENSBURG LAND DISTRICT
ST. TAMMANY PARISH, LOUISIANA
FOR HONEYBEE HOLDINGS
DENHAM SPRINGS, LOUISIANA

DRAWN
NUL

CHECKED
EHS

ISSUED DATE
04-07-2022

ISSUED FOR
REVIEW

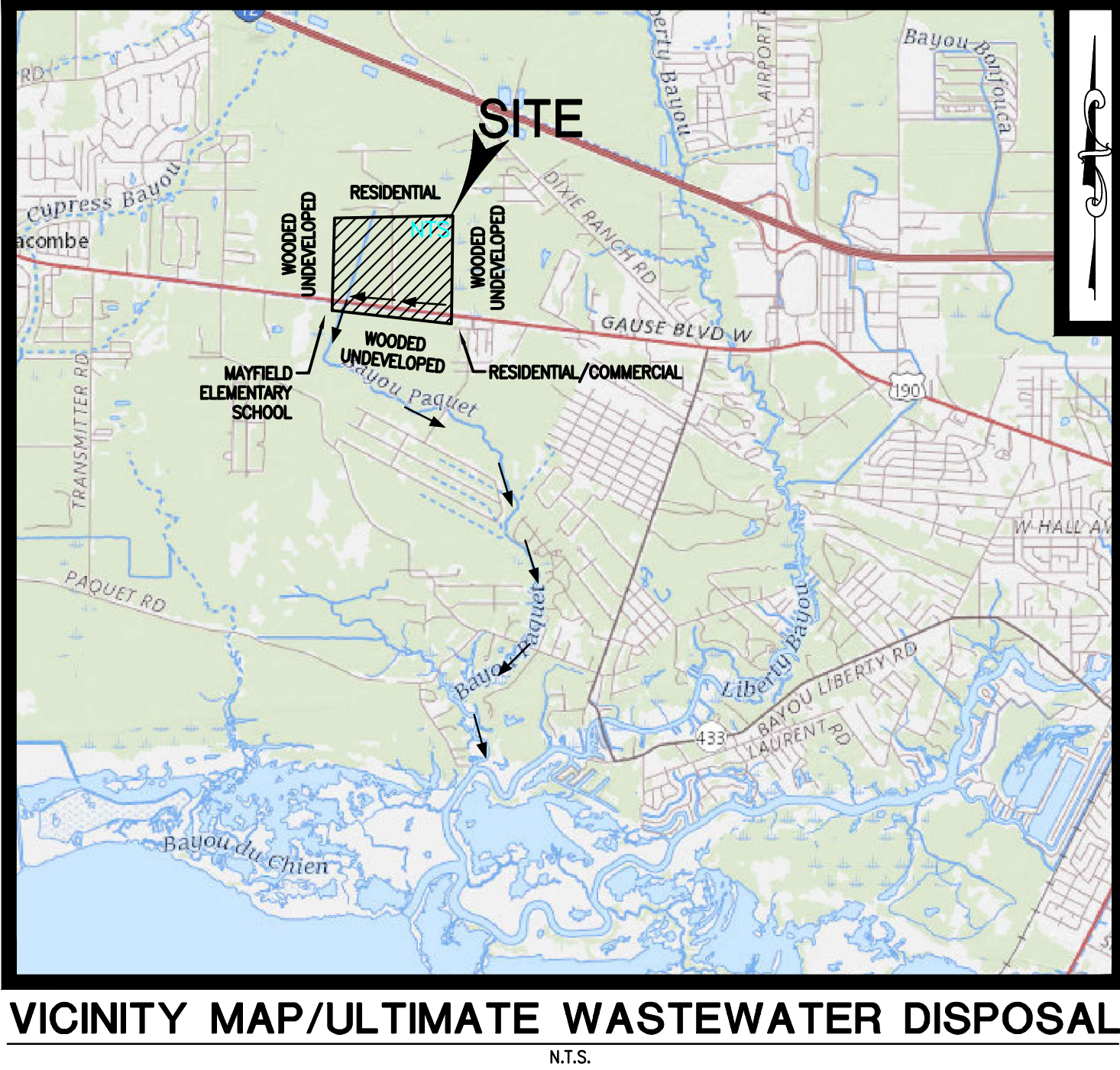
PROJECT NO.
20-889

FILE
20-889 Existing Conditions
Maps

SHEET

TND-1

EXISTING SITE CONDITIONS PLAN FOR
HONEYBEE SUBDIVISION
Honeybee TND-2 General Implementation Plan
SECTION 35, TOWNSHIP 8 SOUTH - RANGE 13 EAST
GREENSBURG LAND DISTRICT
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DEVELOPER: HONEYBEE HOLDINGS
7696 VINCENT ROAD
DENHAM SPRINGS, LA. 70726

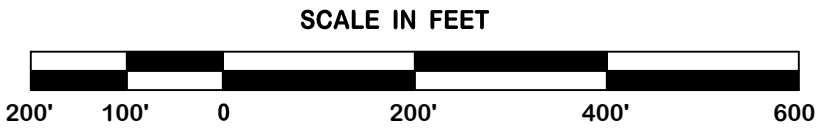
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**EXISTING
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CONDITIONS
MAP**



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BDG
DUPLANTIS DESIGN GROUP

SIGNATURE: _____

DATE: _____

STAMP

HONEYBEE SUBDIVISION
SECTION 35, TOWNSHIP 8
SOUTH - RANGE 13 EAST
GREENSBURG LAND DISTRICT
ST. TAMMANY PARISH, LOUISIANA
FOR HONEYBEE HOLDINGS
DENHAM SPRINGS, LOUISIANA

DRAWN NUL
CHECKED EHS
ISSUED DATE 04-07-2022
ISSUED FOR REVIEW
PROJECT NO. 20-889
FILE 20-889 Existing Conditions Maps
SHEET
TND-2

LAND USE & ACREAGE ANALYSIS

LEGEND

RESIDENTIAL ±172.3 Ac. (62.6%)

	SINGLE FAMILY DETACHED	788 LOTS	±135.9 Ac.
	MULTIFAMILY / ATTACHED	785 UNITS	±36.4 Ac.

NON-RESIDENTIAL ±3.0 Ac. (1.1%)

	COMMERCIAL (±10,000 SQ FT BUILDING)	±1.5 Ac.
	CIVIC	±1.5 Ac.

COMMON OPEN SPACE ±84.9 Ac. (30.8%)

	REC. CENTER & PARKS	±8.1 Ac.
	DETENTION / DRAINAGE / LAKE	±46.7 Ac.
	BAYOU PAQUET	±13.8 Ac.
	LANDSCAPE / OPEN SPACE	±11.9 Ac.
	GREENBELTS	±2.2 Ac.

UTILITIES ±2.0 Ac. (0.7%)

	WASTEWATER TREATMENT PLANT	±2.0 Ac.
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MAJOR ROADWAYS ±15.3 Ac. (5.6%)

COLLECTORS/SUB-COLLECTORS	±15.3 Ac.
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PROJECT TOTAL ±275.3 Ac.

* ALL LAND USE ACREAGES AND LOCATIONS ARE CONCEPTUAL AND SUBJECT TO CHANGE PENDING FURTHER REFINEMENT AND ADDITIONAL SCHEMATIC DESIGN UPON COMPLETION OF THE SPECIFIC IMPLEMENTATION PLAN.

* A MINIMUM OF TWENTY-FIVE (25) PERCENT OF THE COMMON OPEN SPACE WILL BE DEDICATED TO THE PUBLIC AS PARKLAND.

DISTRICT DENSITY ASSUMPTIONS

	SINGLE FAMILY (60's) - ±5.0/ACRE
	SINGLE FAMILY (40'/50's) - ±8.0/ACRE
	TOWNHOMES - ±10.0/ACRE
	MULTIFAMILY - ±30.0/ACRE

RESIDENTIAL UNIT PROJECTIONS

SINGLE FAMILY DETACHED - 788 LOTS
MULTIPLE FAMILY UNITS - 785 UNITS
(DUPLEX/TOWNHOME/MF)

* UNIT PROJECTIONS FOR SINGLE FAMILY DETACHED ARE CALCULATED BASED ON AN APPROXIMATED NET ACREAGE BASIS REMOVING LOCAL STREET ROWS. APPROXIMATE NET ACREAGE WAS CALCULATED USING A 0.75 COEFFICIENT (75%) OF THE GROSS ACREAGE PER RESIDENTIAL AREA AS ILLUSTRATED ON THIS GENERAL IMPLEMENTATION PLAN.

HONEYBEE TND-2
GENERAL IMPLEMENTATION PLAN

±275.3 ACRES OF LAND

prepared for

D-R HORTON DH
INDEX
NYSE
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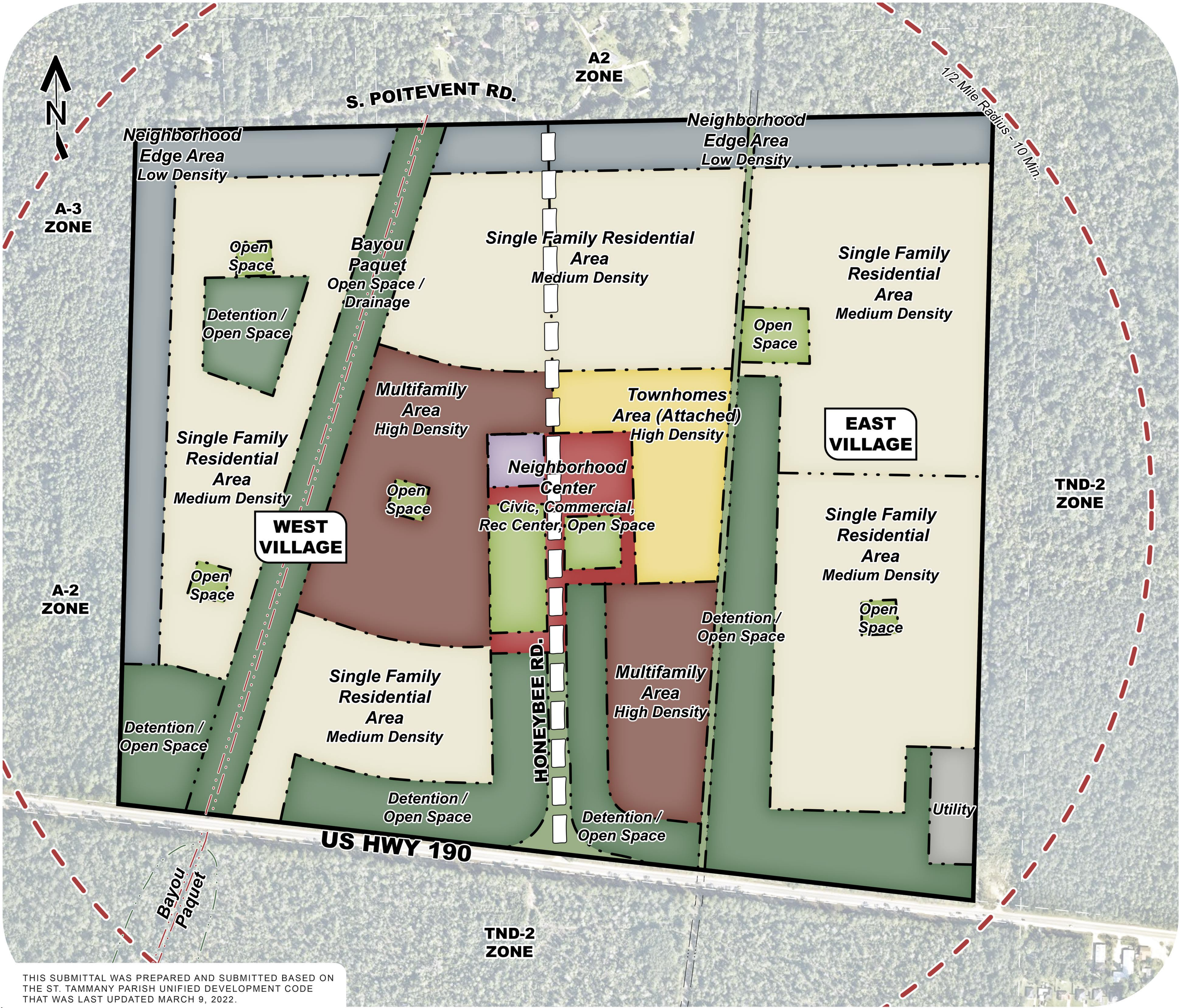
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Katy, Texas 77494
Tel: 281-810-1422

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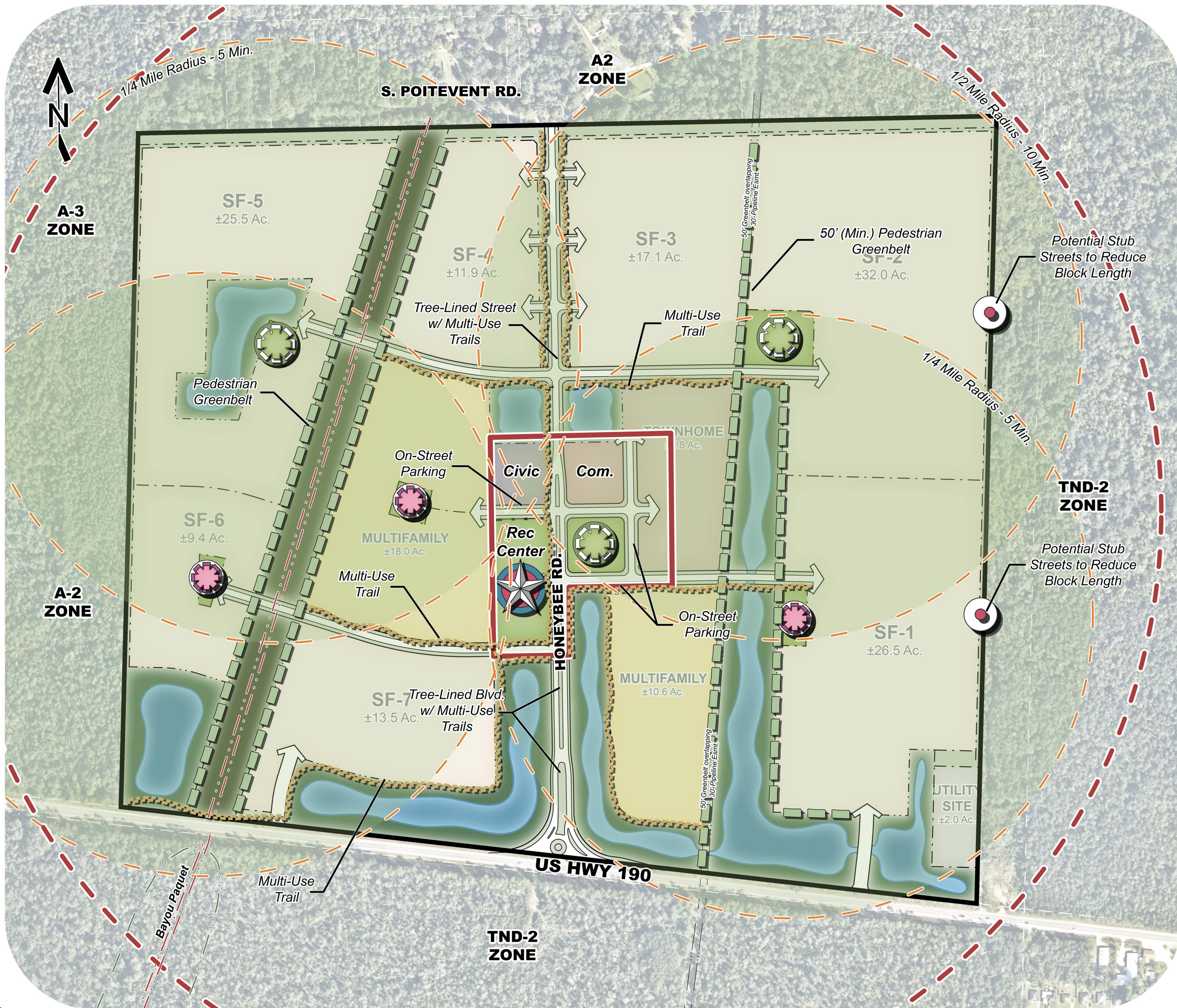
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JUNE 3, 2022

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THIS SUBMITTAL WAS PREPARED AND SUBMITTED BASED ON THE ST. TAMMANY PARISH UNIFIED DEVELOPMENT CODE THAT WAS LAST UPDATED MARCH 9, 2022.



RECREATION CENTER - MAJOR PARK SPACE
MAY INCLUDE POOL, AMENITY CENTER,
PLAYGROUND, PAVILION, SPLASH PAD, ETC.



NEIGHBORHOOD PARK -
MAY INCLUDE PLAZA, GREAT LAWN,
PAVILION, TRAILS, PLAYGROUND, ETC.



POCKET PARK -
MAY INCLUDE PLAYGROUND, BENCHES,
PAVILION, TRAILS, ETC.

OPEN SPACE CALCULATIONS

±84.9 ACRES (30.8% OF SITE) OF COMMON OPEN SPACE
INCLUDING: POCKET PARKS, RECREATION CENTER, VILLAGE
SQUARE, BAYOU PAQUET (OUTSIDE THE HIGHBANK),
AND LAKES/DETENTION AREAS (OUTSIDE THE Highbank).
ALL PROPOSED MIXED RESIDENTIAL USES WILL BE WITHIN
1/2 MILE OR 15 MINUTE WALK OF COMMON OPEN SPACE

* ALL PARK AND OPEN SPACE IMPROVEMENTS ARE CONCEPTUAL
AT THIS TIME FOR PURPOSES OF THE GENERAL IMPLEMENTATION
PLAN AND ARE SUBJECT TO CHANGE. LOCATION AND AMENITIES/
IMPROVEMENTS WILL BE FURTHER DEVELOPED AND PROGRAMMED
AS THE DEVELOPMENT PROGRESSES.

THIS SUBMITTAL WAS PREPARED AND SUBMITTED BASED ON
THE ST. TAMMANY PARISH UNIFIED DEVELOPMENT CODE
THAT WAS LAST UPDATED MARCH 9, 2022.

HONEYBEE TND-2 GENERAL IMPLEMENTATION PLAN

± 275.3 ACRES OF LAND

prepared for

D.R. HORTON DHI
Listed
NYSE
America's Builder

META
PLANNING + DESIGN

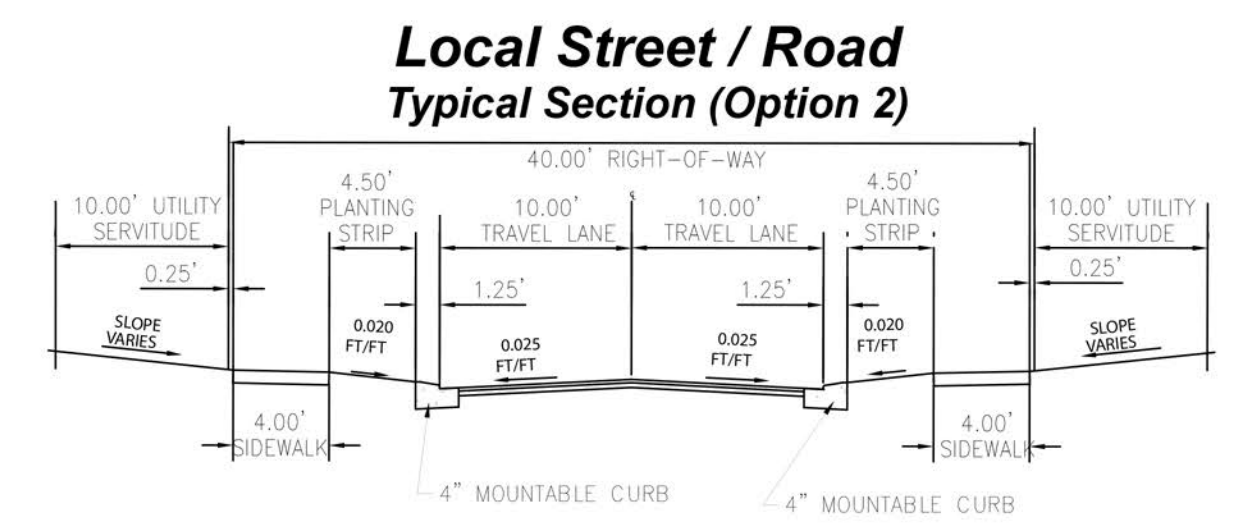
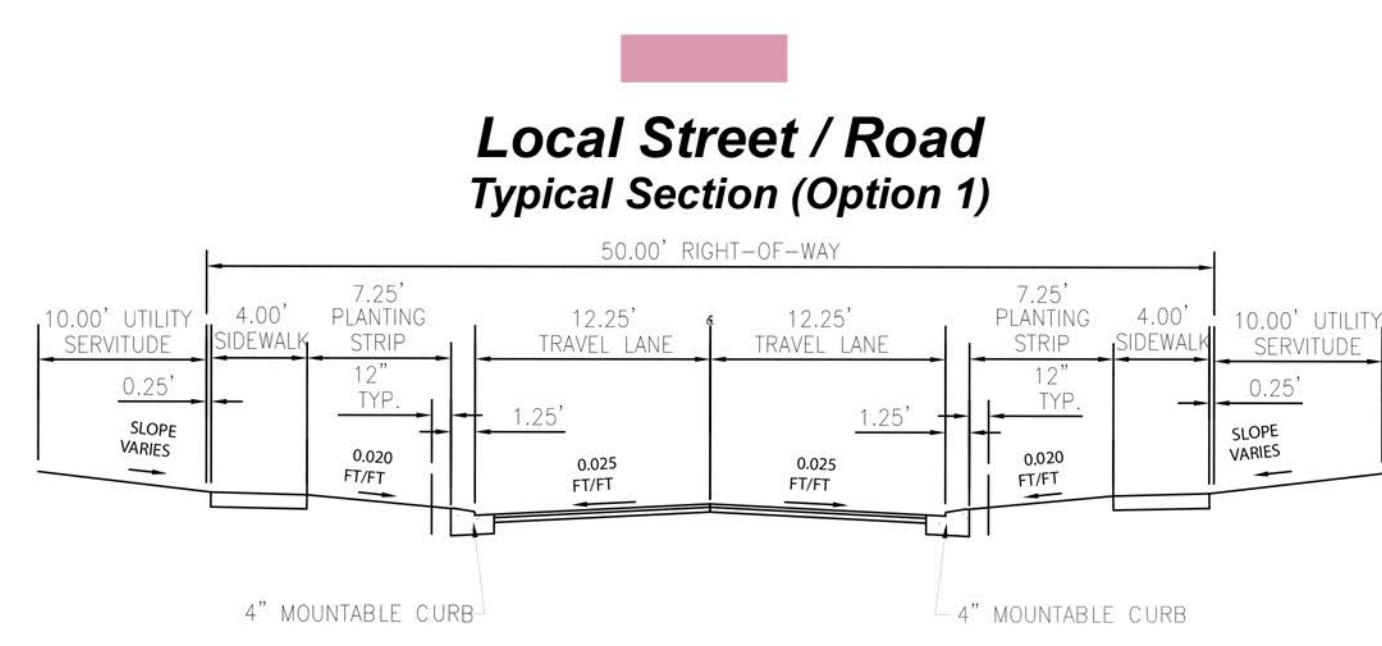
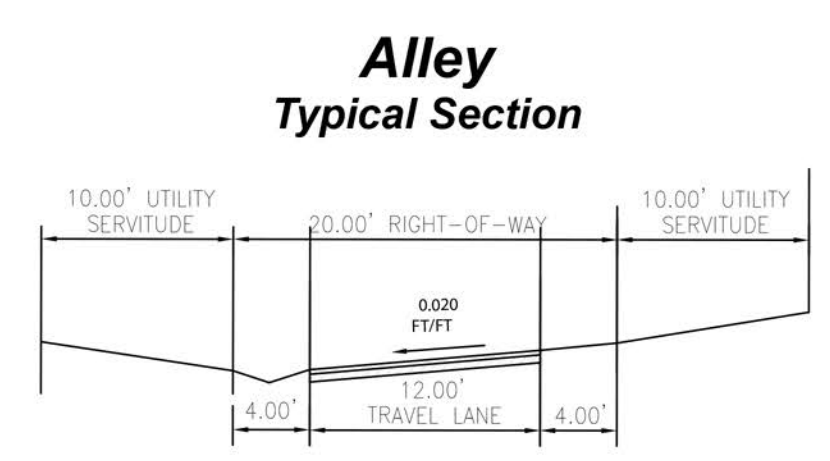
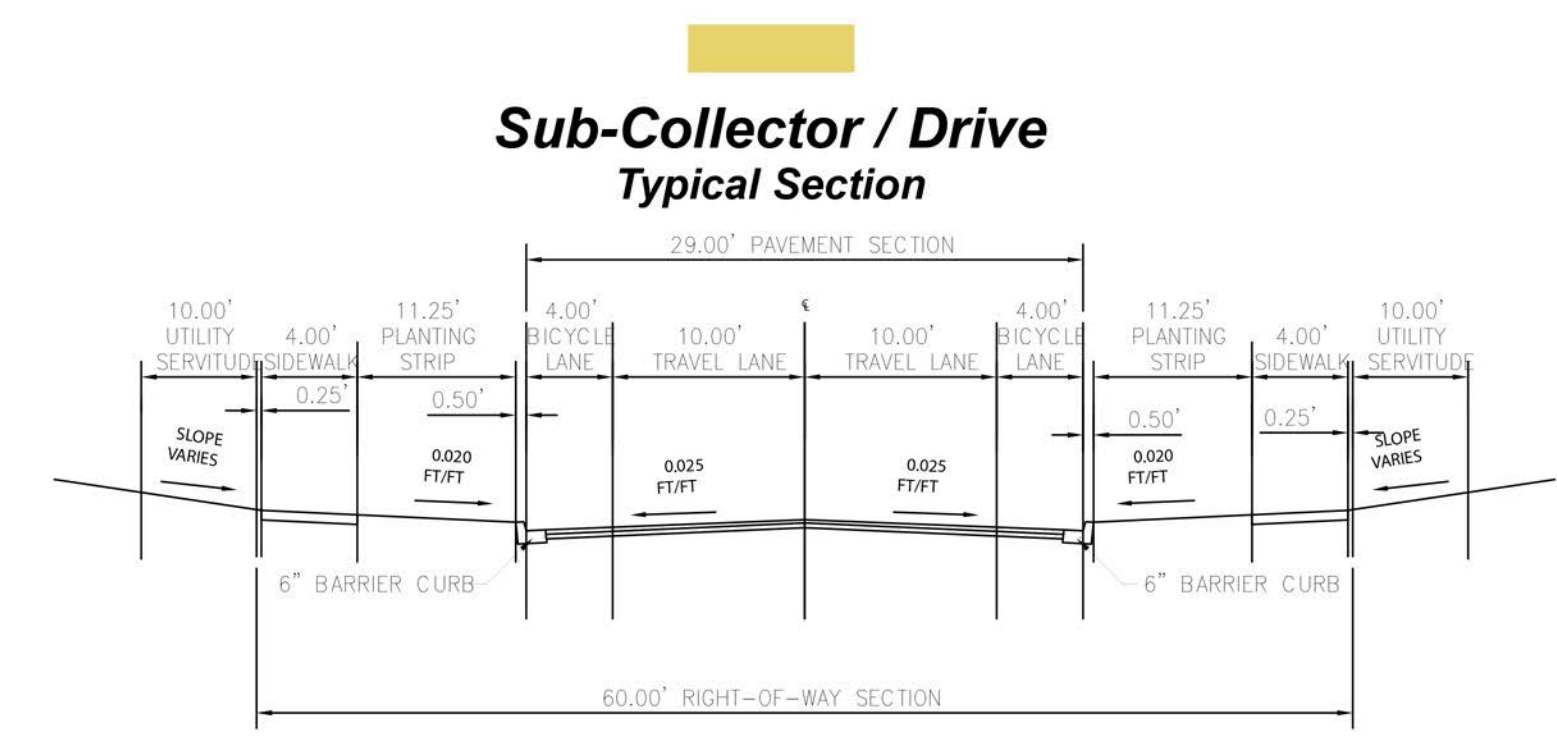
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Katy, Texas 77494
Tel: 281-810-1422

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MTA-21052
JUNE 3, 2022

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- II - LOT AND BLOCK STANDARDS
- ALL BLOCK PERIMETER DEPTHS AND LENGTHS WILL BE PROVIDED WITH THE SPECIFIC IMPLEMENTATION PLAN UPON COMPLETION OF STREET AND LOT LAYOUT.
 - BLOCK LENGTHS WILL BE LESS THAN 2,000' IN PERIMETER AND WILL ALLOW FOR ROAD EXTENSIONS INTO FUTURE NEIGHBORHOODS WHERE APPLICABLE.
 - BLOCKS LONGER THAN 500' WILL BE TRAVERSED NEAR THE MIDPOINT OF THE BLOCK WITH A PEDESTRIAN RESERVE/PATH.

* ALL CROSS SECTIONS AND ROAD DESIGNATIONS ARE SUBJECT TO CHANGE PENDING FURTHER STUDY AS PART OF THE SPECIFIC IMPLEMENTATION PLAN AND ANY ADDITIONAL COMMENTS WHICH MAY COME AS PART OF TRAFFIC STUDY AND/OR PUBLIC AGENCY REVIEW.

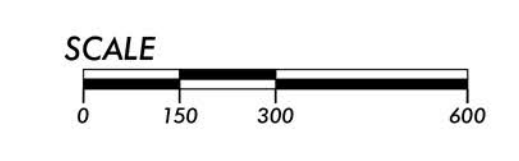
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± 275.3 ACRES OF LAND
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D.R. HORTON®
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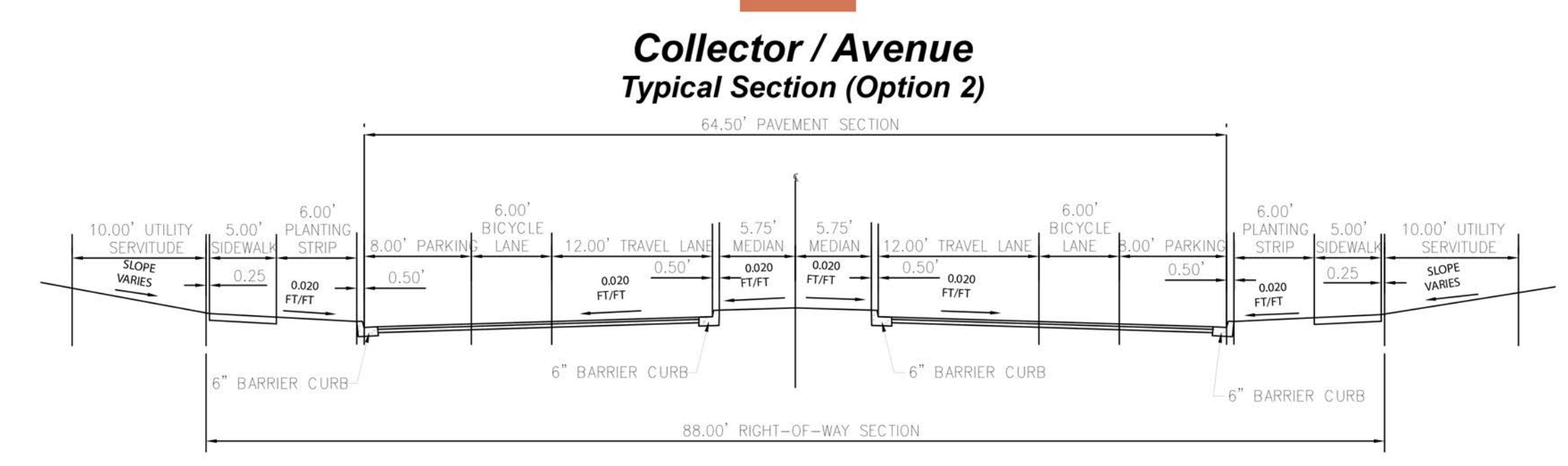
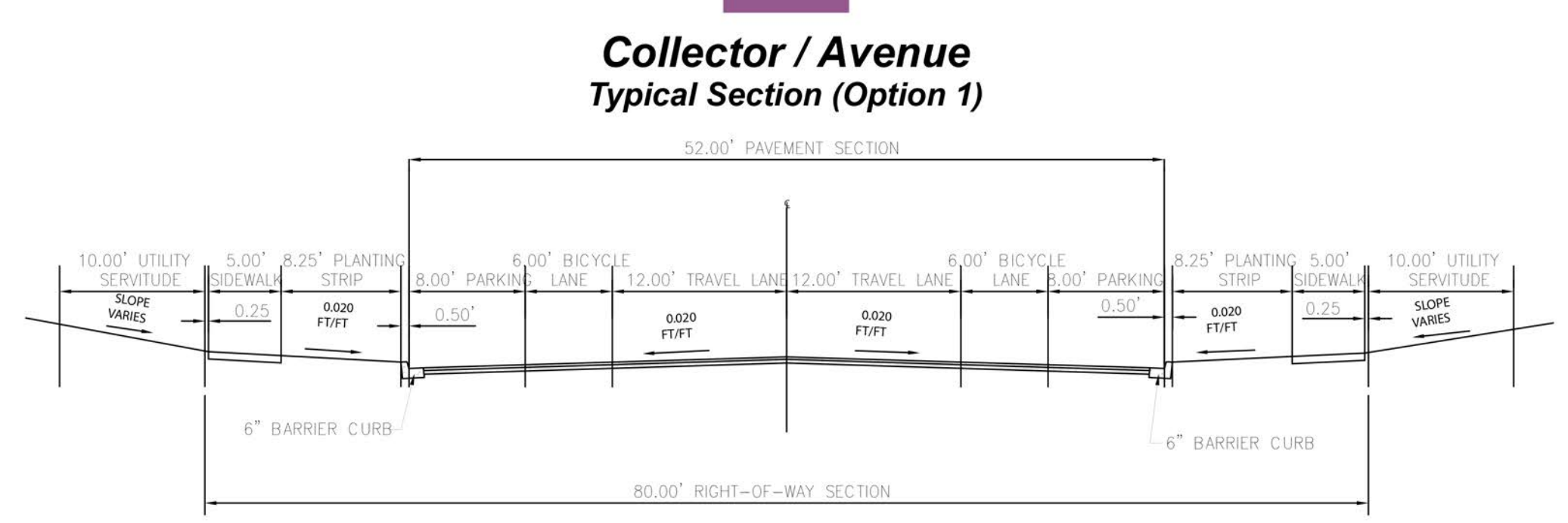
META
PLANNING + DESIGN

24275 Katy Freeway, Ste. 200
Katy, Texas 77494
Tel: 281-810-1422



MTA-21052
JUNE 3, 2022

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THIS SUBMITTAL WAS PREPARED AND SUBMITTED BASED ON THE ST. TAMMANY PARISH UNIFIED DEVELOPMENT CODE THAT WAS LAST UPDATED MARCH 9, 2022.

Restrictive Covenants:

1. No Certificate of Occupancy shall be issued before the sewerage and water systems are installed and operable or otherwise connected to a community (central) sewerage and/or water systems, all as approved by the Department of Environmental Services of the Parish. Whenever a subdivision is served by a community (central) water system (supply), no private water supply may be drilled or otherwise constructed on any lot for the purpose of supplying potable water to any building or structure, except for the purpose of irrigation, and in no event shall there be a physical connection between any such source and any element of the community (central) water system (supply).

2. Construction of any nature is prohibited in drainage or street easements.

3. Lots may not be used for the storage of trash or junk vehicles.

4. The minimum floor elevation shall be established by National Flood Elevation Criteria (FEMA) and/or St. Tammany Parish, whichever is higher.

5. No lot will be further subdivided without approval of the Planning Commission and the Department of Environmental Services of the Parish.

6. Residential driveways on corner lots shall not be located any closer than 60 feet from a corner of said property closest to the intersection as measured from the property lines on the corner of the property where the said two street rights-of-way intersect. If there are residential lots that do not comply with this as front-loaded lots, they are to be side-loaded in order to comply with intersection clearance mentioned above.

7. It shall be prohibited for any lot within an approved subdivision to have rear access via a driveway to or from any street or road that is not dedicated within the boundaries of the approved subdivision plat.

8. The home builder is responsible for the construction of the sidewalk along the lot frontage.

9. The proposed storm water detention system, including the lakes, are to be owned and maintained by the Community Development District.

10. Fences: All fences must be maintained and kept in good repair so as not to detract from the appearance of the development. The height of fences shall not exceed six (6') feet. Fences must be made of masonry, wood or other Homeowners Association approved material. Any portion of the fence that faces a street or common area must have a "finished side" appearance. Retaining walls must be constructed entirely with architectural reviewer approved materials, however railroad ties may not be used for a retaining wall visible from a street. Fences may not be constructed nearer than five (5') feet from the front edge of the dwelling's foundation, and in no event may fences be constructed between the front of a dwelling and the street. Fences may not be constructed on any common areas. The use of barbed wire and chain link fencing is prohibited. The use or application of a stain that cures in a solid color or paint is prohibited. Wood fences may be left in their natural state. No wood fence may stained to alter the fence color from a natural wood color. Without prior approval of the architectural reviewer, clear sealants may be applied. Fences on lots which are adjacent to any lakes, ponds, park areas, recreational fields, pathways or common area ("common area restricted fence lots") shall be constructed in such manner as to reasonably preserve the view of such lakes, ponds, park areas, recreational fields, pathways or common area to all other owners, and as such, these fences must be a minimum of 50% open (non-privacy). The height of the first twenty (20') feet of side fencing from the rear property line shall not exceed four (4') feet, and after the first twenty (20') feet of side fencing, the side fencing may transition to a height not to exceed six (6') feet on an angle not to exceed 45 degrees (side fences may contain privacy fencing). An exception to this is when lots share a common property line with the amenity center. Those lots are to have a six (6') feet wooden fence as described above. Fencing shall not be built over or through any servitude or easement on any lot.

11. The aforementioned restrictions shall be recited in each title or deed in addition to the required listing on the final subdivision plat.

- The total ground floor area of non-residential development uses, including off-street parking areas, shall not exceed twenty-five (25) percent of the TND District.

- Mixed residential area products will range in depth from 100'-125' deep.
- Potential products include attached townhomes or duplexes, detached 40', 50', and 60' or larger single family residences.

- Where blocks are longer than 500', a reserve will be added near the midpoint in order to serve as a pedestrian corridor and block lengths shall not exceed 2,000'.

- 0' Front building setbacks are requested for Single-Family Attached and Detached products along with all other Mixed Use components or land uses within the Village Center and the overall development.

- Minimum 5' side setbacks will be required between lot lines and residential structures.

- Minimum lot width for Single Family Detached will be 40'. This minimum lot width is smaller than current development code standards within Tammany Parish and is requested as part of this TND-2 application to provide additional product variety and housing opportunities for future home buyers.

- Single Family Attached units will include Duplex or Multifamily units and will not require a minimum lot size or lot lines.

- Rear building setbacks for the principle building on lots devoted to Single-Family Detached residences will be a minimum of 30' from the rear lot line.

- Reciprocal access easement and pedestrian access to the rear yard for zero (0) lot-line single-family dwellings will be required.

- In Mixed Use Areas, clear and well-lighted walkways will connect building entrances to the adjacent public sidewalk and associated parking areas.

- Residential areas will be well lit to allow for clear pedestrian mobility along sidewalks and between sidewalks and residential units.

- Sidewalks will be seperated a minimum of 7' from the curb.

- All streets, except for alleys, are bordered by sidewalks on both sides.

- In accordance with Parish code and TND-2 requirements, Single Family dwellings will account for at least 50% of all residential units. Any lot projection on this application is an estimate for each particular mixed use residential area and exact lot counts will be provided with the Specific Implementation Plan.

- No more than 20% of the proposed common open space shall be devoted to paved areas and structures such as courts or recreation buildings. Exact acreages for all proposed common open spaces will be provided with the Specific Implementation Plan.

Dedication Statement:
All street rights-of-way shown hereon are not dedicated to the Parish of St. Tammany but are dedicated to the perpetual use of the Community Development District and is to be owned and maintained by the Community Development District with the exception of Honeybee Road. Easements shall be reserved for drainage and utilities as indicated hereon and no obstructions or improvements shall be allowed that would prevent them from being used for intended use. The Developer or Homeowners Association is responsible for maintenance of all green spaces, drainage servitudes, street signs, and traffic control signs.

All drainage will be owned and maintained by the Community Development District. The TND presented will be serviced by a new wastewater treatment plant. Two new water wells will be drilled and new storage tank will be constructed in conjunction with the water wells. All improvements will be in compliance with Louisiana Department of Health, Louisiana Department of Environmental Quality, and St. Tammany Parish regulations. The water well facility, water distribution system, sewer collection system, and wastewater treatment facility will be owned and maintained by a private utility provider. The water well facility and wastewater treatment facility will be located in the southeast corner of the site as seen on the provided Implementation Plan. Gas, telecom, and electric services have been confirmed to be located nearby and are available for tie-in for the development.

All Common Open Spaces shall be permanently set aside for the sole benefit, use, and enjoyment of present and future occupants of the development. Common open space shall be protected against the construction and use of habitable structures of residential dwellings or commercial structures.

Offsite stormwater that is currently conveyed through the project site currently will be accounted for in drainage calculations and proposed conveyance. Ditches and subsurface pipes will be utilized to convey the existing offsite stormwater through the site and proposed drainage system. The proposed drainage system will consist of a series of detention ponds, outlet control structures, and enhancing Bayou Paquet in order to meet St. Tammany Parish stormwater requirements. Existing culverts under the existing LA Hwy 190 will be utilized for outfalls.

1. All utilities are to be placed underground.

2. Conditions, covenants, and restrictions for all the property within the TND District must be filed in the Parish records by the Owner before a Lot is sold and/or a building permit is issued.

3. In addition to other terms and conditions acceptable to the applicant, the conditions, covenants, and restrictions must create one (1) or more property owners Associations with mandatory membership for each property Owner, governed by Articles of Incorporation and Bylaws, which shall:

- be organized by the applicant and operated with a financial subsidy from the applicant before the sale of any Lots within the TND District;
- provide for the conditions and timing of transferring control of the Association from the applicant to the property Owners;
- be responsible for maintenance of insurance and taxes on all Common Open Space, enforceable by liens placed on the Association by the Parish, as provided in the Association Bylaws;
- at all times, cause all Owners to have Access to the Common Open Space within the TND District;
- establish architectural standards that are in conformity with the requirements of this ordinance which shall be subject to review and approval by the Board of Directors of the Association or the Architectural Control Committee, as described below;
- create an Architectural Control Committee to review Development for compliance with the architectural standards, to issue certificates of approval, and to review and approve the Development's architect, designer, and/or other professionals contributing to the Development;
- provide for the ownership, Development, management, and maintenance of private open space (except plazas owned by individual property Owners), community parking facilities, community meeting hall, and other common areas;
- provide for a maintenance program for all property within the TND, including landscaping and Trees within the streetscape;
- require the collection of assessments from members in an amount sufficient to pay for its functions; and
- be effective for a term of not less than fifty (50) years.

Commercial Uses:

- Developer proposes a 10,000 square foot of commercial land use within this development to be designed and arranged in accordance with a similar architectural style as the other structures within this development and any other regulations or requirements as specified within this document.

- General uses within the commercial land use may include but not limited to the same or similar land uses as listed below. Final commercial land uses and/or occupancy of the proposed commercial use will be subject to change in accordance to market conditions and need as the development progresses.

Proposed commercial uses may include:

- Professional / Medical Office
- Restaurant / Lounge / Food Services
- Retail & Service Uses
- Neighborhood Services
- Educational Services / Day Care
- Bank & Financial Services
- Arts, Entertainment, & Recreation Services

Proposed civic uses may include:

- Police Substation
- Library
- Fire Station
- Museum
- Post Office
- Church / Temple / Synagogue

New structures in Single-Family Residential areas will be no more than 3 stories.

New structures in commercial, multi-family residential or mixed use areas will be no more than 5 stories.

The architectural features, materials, and the articulation of a facade of a building shall be continued on all sides visible from a public Thoroughfare.

The front facade of the Principle Building on any lot in a TND District shall face onto a public thoroughfare.

The front facade shall not be oriented to face directly toward a parking lot.

Porches, pent roofs, roof overhangs, hooded front doors or other similar architectural elements shall define the front entrance to all residences.

For commercial buildings, a minimum of fifty (50) percent of the front facade on the ground floor shall be glass (transparent), including window or door openings allowing views into and out of the interior.

New structures on opposite sides of the same thoroughfare should follow similar design guidelines. This provision shall not apply to buildings bordering civic uses.

Building and parking placement within the Neighborhood Center, or Town Center, should be arranged to create appropriately scaled continuous building facades with as few non-pedestrian oriented breaks as possible.

Building wall materials may be combined on each facade only horizontally, with the heavier generally below the lighter.

Walls along thoroughfares shall be made of brick, or block and stucco, or other material to match the facade of the principle building.

Windows shall use clear glass panels.

All openings including porches, galleries, arcades and windows, with the exception of storefronts, shall be square or vertical in proportion.

Openings above the first story shall not exceed fifty (50) percent of the total building wall area, with each facade being calculated independently.

The facades on retail frontages shall be detailed as storefronts and glazed no less than fifty (50) percent of the sidewalk-level story.

Doors and windows that operate as sliders are prohibited along frontages.

Pitched roofs, if provided, shall be symmetrically sloped no less than 5:12, except that porches may be attached to sheds with slopes no less than 2:12.

Flat roofs shall be enclosed by parapets a minimum of forty-two (42) inches high, or as required to conceal mechanical equipment to the satisfaction of the Developer, Board or Directors and Architectural Control Committee.

HONEYBEE TND-2 GENERAL IMPLEMENTATION PLAN

± 275.3 ACRES OF LAND

prepared for

D-R HORTON®
America's Builder

META
PLANNING + DESIGN

24275 Katy Freeway, Ste. 200
Katy, Texas 77494
Tel: 281-810-1422

SCALE
0 100 200 400

MTA-21052
JUNE 3, 2022

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Duplex Facades



ELEVATION FL
1/8" = 1'-0"



ELEVATION GL
1/8" = 1'-0"



ELEVATION FL
1/8" = 1'-0"



ELEVATION GL
1/8" = 1'-0"



ELEVATION FL
1/8" = 1'-0"



ELEVATION GL
1/8" = 1'-0"



ELEVATION FL
1/8" = 1'-0"



ELEVATION GL
1/8" = 1'-0"

Louisiana East Farmhouse Facades



Multifamily Townhome Facades

* ALL RESIDENTIAL AND MULTIFAMILY FACADES ARE SAMPLE IMAGERY FROM OTHER CURRENT OR PREVIOUS DEVELOPMENTS WITHIN THE REGION BY THE DEVELOPER AND MAY NOT ILLUSTRATE THE EXACT FACADES AND/OR FLOOR PLANS ULTIMATELY USED FOR THIS DEVELOPMENT. A SIMILAR STYLE AND DESIGN ELEMENTS WILL BE UTILIZED TO THESE EXAMPLES AND WILL BE SUBMITTED FOR REVIEW AT THE APPROPRIATE TIME IN THE DEVELOPMENT PROCESS AS REQUIRED.

* THE COMMERCIAL, CIVIC AND OTHER MIXED USE LAND USES AND STRUCTURES WITHIN THE VILLAGE CENTER WILL UTILIZE SIMILAR DESIGN ELEMENTS TO THESE IMAGES AND THE SINGLE FAMILY DESIGNS TO ENSURE VISUAL COHESION AND BEING REPRESENTATIVE OF THE LOCATION AND REGION AS A WHOLE.

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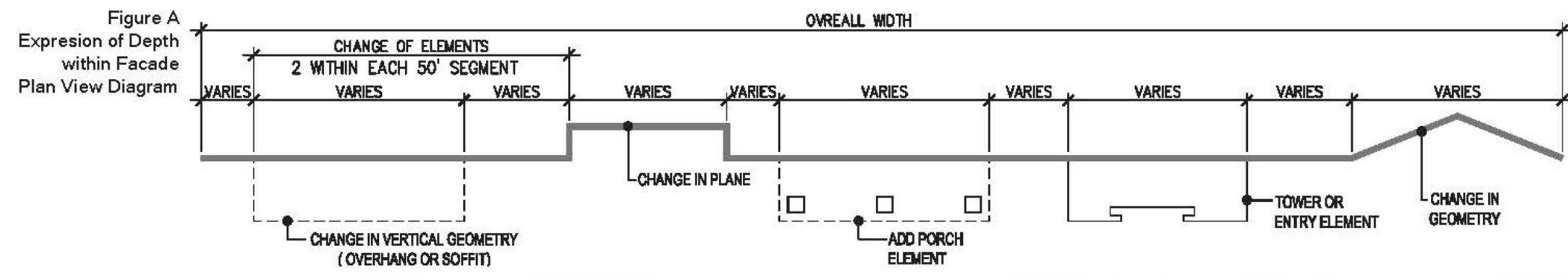
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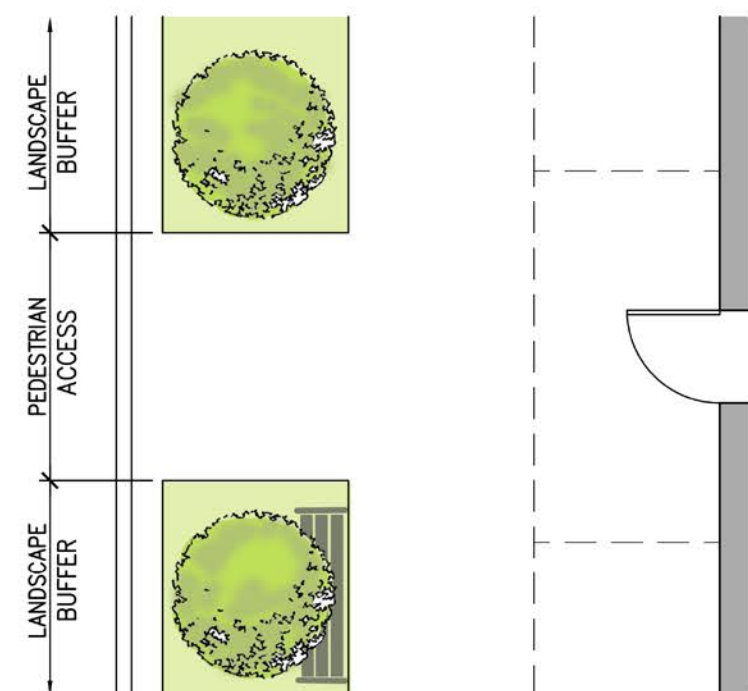
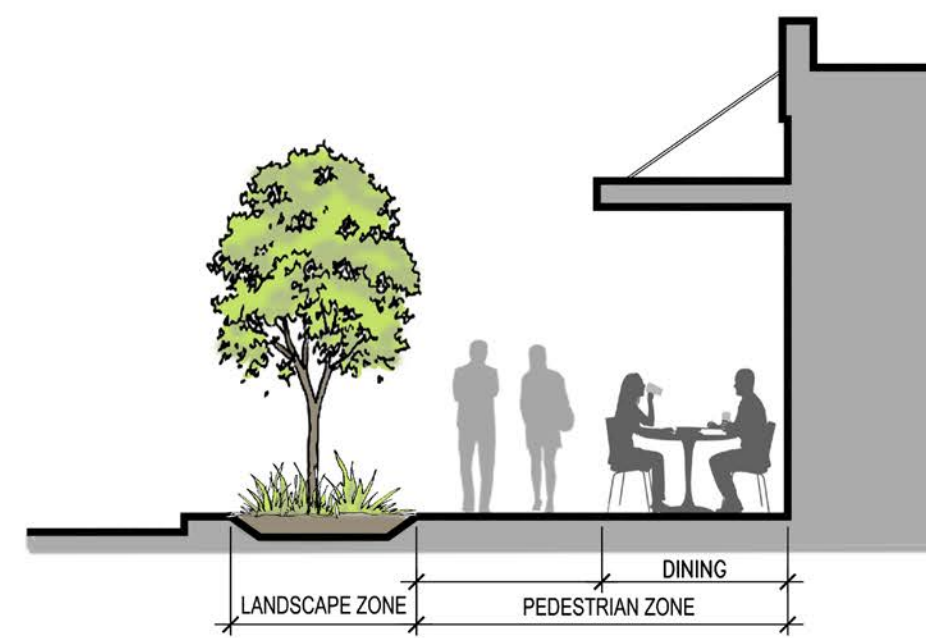
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Sample Facade Articulation Treatments



Mixed Materials and Facade Articulation



Retail Facade Treatments & Pedestrian Zone



Outdoor Lighting at Entries and along Paths



On-Street Parking



Parking in Rear / Removed from Major View Corridors

* ALL COMMERCIAL AND MIXED USE FACADES ARE SAMPLE IMAGERY FROM OTHER SIMILAR DEVELOPMENTS OR ADHERE TO SIMILAR DESIRABLE DESIGN CRITERIA AND MAY NOT ILLUSTRATE THE EXACT FACADES AND/OR STRUCTURES ULTIMATELY USED FOR THIS DEVELOPMENT. A SIMILAR STYLE AND DESIGN ELEMENTS WILL BE UTILIZED TO THESE EXAMPLES AND WILL BE SUBMITTED FOR REVIEW AT THE APPROPRIATE TIME IN THE DEVELOPMENT PROCESS AS REQUIRED.

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HONEYBEE TND-2 GENERAL IMPLEMENTATION PLAN

± 275.3 ACRES OF LAND

prepared for

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ZONING STAFF REPORT

Date: June 28, 2022
Case No.: 2022-2777-ZC
Posted: June 24, 2022

Meeting Date: July 5, 2022
Prior Determination: Postponed - May 3, 2022
Determination: Approved, Denied, Postponed, Withdrawn

GENERAL INFORMATION

PETITIONER: Josie Adams
OWNER: J&J Builders Northshore, Inc.
REQUESTED CHANGE: A-2 Suburban District to HC-2 Highway Commercial District
LOCATION: Parcels located on the south side of North 5th Street, west of Vivian Street and Ladybug Lane; Covington; S42, T7S, R11E, Ward 3, District 5
SIZE: .66 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: Parish

Road Surface: 2 Lane Asphalt

Condition: Good

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Commercial	City of Covington
South	Educational	A-2 Suburban District
East	Commercial	HC-2 Highway Commercial District
West	Undeveloped	A-2 Suburban District

EXISTING LAND USE:

Existing development: No

Multi occupancy development: No

COMPREHENSIVE PLAN:

Residential - Areas that provide for dwelling units. Such areas may vary in site design, structure design, and in the density of units per acre. Certain areas such as “village or town residential” may include mixed uses and would have the highest number of units per acre, while “Rural residential” would have the lowest number of units per acre, and may include agricultural or open space uses as well. In between these two types of residential areas would be varying levels of single-family detached dwellings, multi-family attached residential, and planned subdivisions for manufactured homes.

STAFF COMMENTS:

The petitioner is requesting to change the zoning classification from A-2 Suburban District to HC-2 Highway Commercial District. The site is located on the south side of North 5th Street, west of Vivian Street and Ladybug Lane; Covington. The 2025 Future Land Use plan designates the site to be developed with residential uses that vary in site design and density.

The subject property is currently undeveloped and abuts an educational learning facility to the south, undeveloped land to the west, and commercial uses to the north and the east. The purpose of the existing A-2 Suburban District is to provide for the location of single-family residences at a density of one dwelling unit per acre. The purpose of the requested HC-2 Highway Commercial District is to provide for the location of moderately scaled, intense retail, office and service uses. It should be noted that the subject site is .66 acres and if rezoned, will be subject to the required landscaping, parking, and drainage regulations.

A change in zoning will allow the applicant to operate any of the following permitted commercial uses:

All uses permitted in the HC-1 Highway Commercial District and Banks and financial institutions; Convenience stores with gas; Drive-in restaurants; Liquor stores; Any private office use that is a permitted use in the NC district over 20,000 sq. ft.; Clubs, lodges, fraternal and religious institutions, meeting halls (over 20,000 sq. ft.); Veterinary clinics (with outdoor kennels); Parcel post delivery stations; Mini-warehouses; Commercial kennels; Outdoor storage yards that do not occupy an area greater than 50 percent of land area, and are enclosed by an eight-foot opaque perimeter fence, located on the same parcel as, and are accessory to an existing mini-warehouse, not to be located on the street side; Lodging, 100 rooms or less (including apartments, hotels, motels); Automotive sales not to exceed two acres of display and storage; Outdoor retail and storage yards; Potable storage containers use for storage; Outdoor display area of pre-assembles building, pool and playground equipment.

Case No.: 2022-2777-ZC

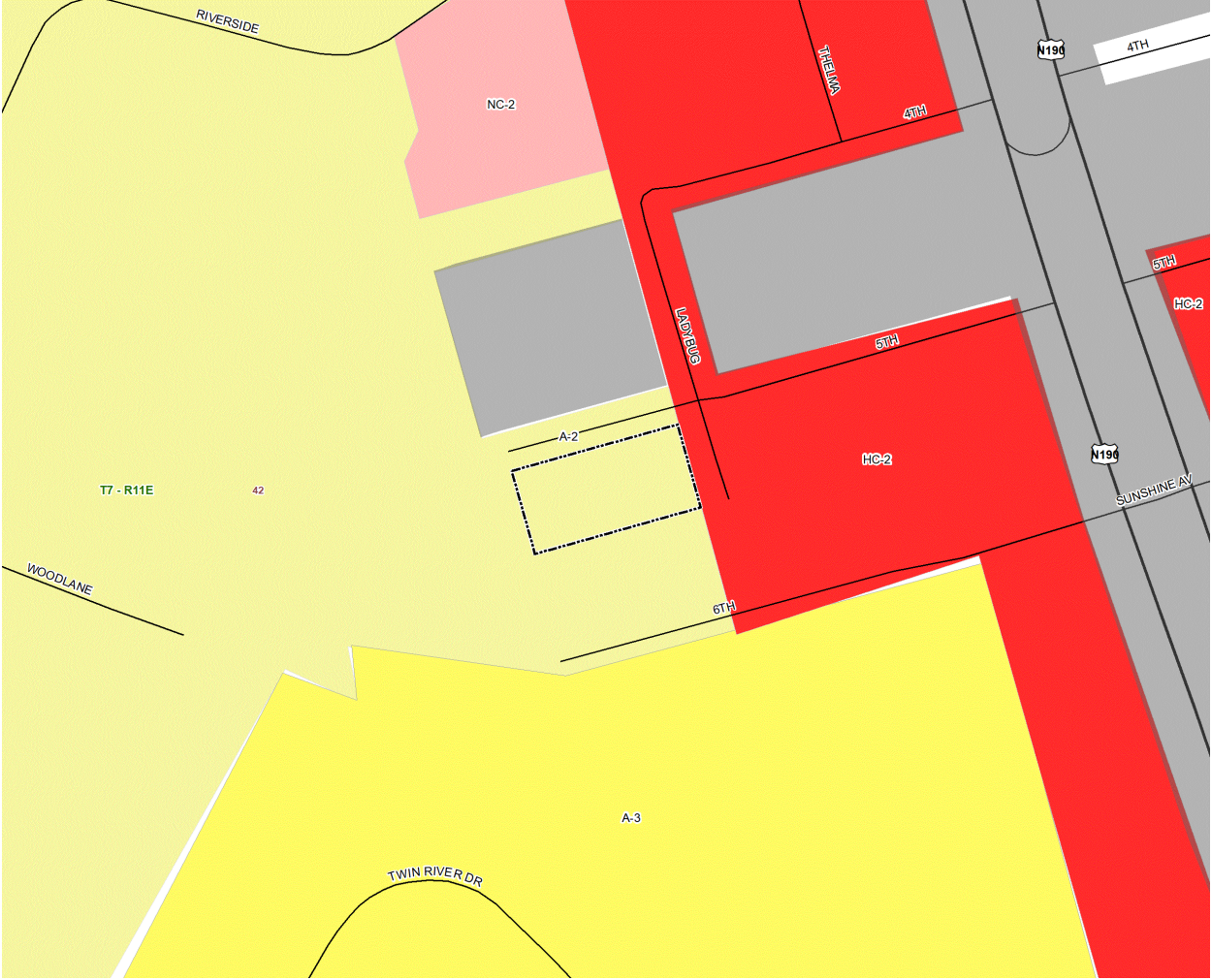
PETITIONER: Josie Adams

OWNER: J&J Builders Northshore, Inc.

REQUESTED CHANGE: A-2 Suburban District to HC-2 Highway Commercial District

LOCATION: Parcels located on the south side of North 5th Street, west of Vivian Street and Ladybug Lane;
Covington; S42, T7S, R11E, Ward 3, District 5

SIZE: .66 acres



2022-2777-ZC

HC-3

THELMA

N190

RIVERSIDE

HC-2

2021-2626-BOA

4TH

NC-2

A-2

5TH

LADYBUG

T7-R11E

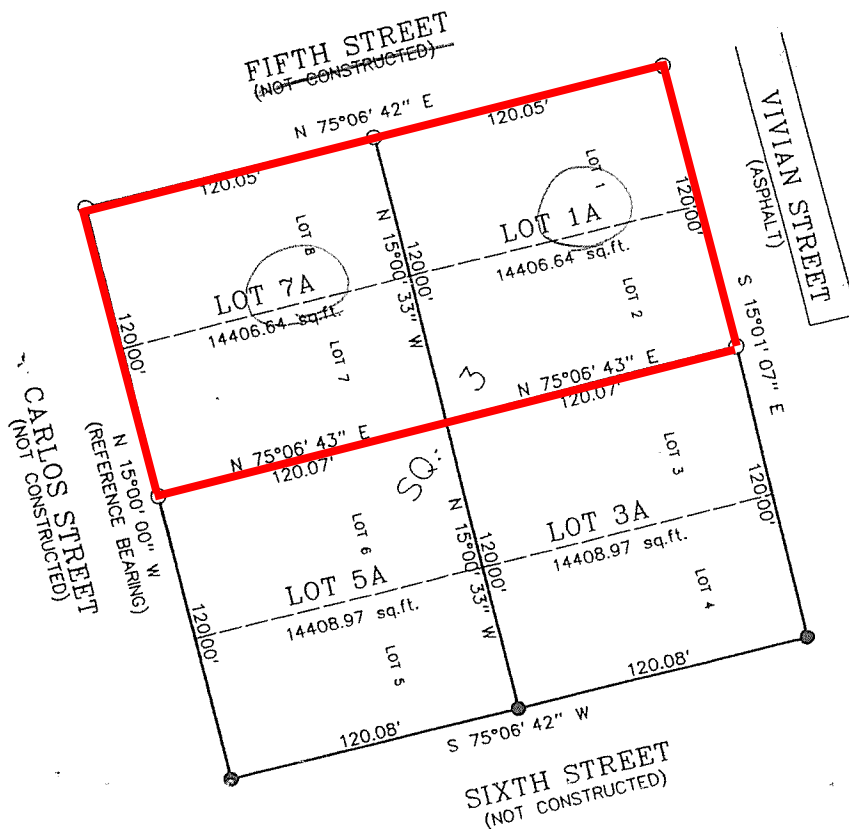
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2022-2777-ZC

6TH

A-3

TWIN RIVER



APPROVALS

SECRETARY PLANNING COMMISSION

PARISH ENGINEER

DATE FILED FILE NO.

CLERK OF COURT

-- LEGEND --

- = 1/2" IRON ROD FOUND
- = 1/2" IRON ROD SET

THIS PROPERTY IS LOCATED IN FLOOD
ZONE C; BASE FLOOD ELEV. N/A; F.I.R.M.
PANEL NO. 225205 0230 C; REV. 10-17-89

NOTE: SERVITUDES SHOWN HEREON ARE NOT NECESSARILY
EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE
OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON
REQUEST, AS SURVEYOR HAS NOT PERFORMED ANY TITLE
SEARCH OR ABSTRACT.



KELLY J. McHUGH REG. NO. 4443

CERTIFIED CORRECT AND IN ACCORDANCE WITH A PHYSICAL
SURVEY MADE ON THE GROUND AND COMPLYING WITH THE
CURRENT APPLICABLE STANDARDS OF PRACTICE FOR A CLASS
"C" SURVEY. RED STAMP SIGNIFIES CORRECT PLAT.

REFERENCE: SURVEY BY JOSEPH PUGH, DATED 2-28-1930,
FROM WHICH REFERENCE BEARING WAS TAKEN.

BOUNDARY SURVEY OF:

RESUBDIVISION OF LOTS 1-8,
INTO LOTS 1A, 3A, 5A & 7A,
SQ. 3, MAILLEVILLE SUBD.
SECTION 42, T-7-S, R-11-E,
ST. TAMMANY PARISH, LA.

PREPARED FOR:

WEBBER LAND & DEVELOPMENT

KELLY J. McHUGH & ASSOC., INC.
CIVIL ENGINEERS & LAND SURVEYORS
845 GALVEZ ST., MANDEVILLE, LA. 626-5611

SCALE: 1" = 60'	DATE: 6-21-2004
DRAWN: R.F.D.	JOB NO.: 04-191-RE
REVISED:	

ZONING STAFF REPORT

Date: June 28, 2022

Case No.: 2022-2833-ZC

Posted: June 26, 2022

Meeting Date: July 5, 2022

Prior Determination: Postponed – June 7, 2022

Determination: Approved, Denied, Amended, Postponed

GENERAL INFORMATION

PETITIONER: Andrew Cahanin
OWNER: Lagrange Legacy, LLC
REQUESTED CHANGE: HC-2 Highway Commercial District to A-3 Suburban District
LOCATION: Parcel located north of Jessikat Lane, west of Coconut Palm Drive, and south of Interstate 12; Madisonville; S10, T7S, R10E, Ward 7 District 7
SIZE: 19.152 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: State

Road Surface: 2 Lane Asphalt

Condition: Excellent

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Undeveloped	HC-2 Highway Commercial District
South	Undeveloped	A-3 Suburban District
East	Single-Family Residential	HC-2 Highway Commercial District & A-4 Single-Family Residential District
West	Undeveloped	HC-2 Highway Commercial District & A-4 Single-Family Residential District

EXISTING LAND USE:

Existing development: No

Multi occupancy development: No

COMPREHENSIVE PLAN:

Residential Infill – New residential uses developed on undeveloped tracts within existing residential districts that are compatible with, or improve upon, those existing uses. Such uses may be allowed a greater density of use, in exchange for public benefits that would be provided.

STAFF COMMENTS:

The petitioner is requesting to change the zoning classification from HC-2 Highway Commercial District to A-3 Suburban District. The site is located north of Jessikat Lane, west of Coconut Palm Drive, and south of Interstate 12; Madisonville. The 2025 Future Land Use Plan designates the site to be developed with new residential uses on undeveloped tracts within existing residential areas that are compatible with surrounding residential uses.

The subject property is flanked by undeveloped property zoned HC-2 Highway Commercial District to the north, the existing Palm Court Subdivision that is split zoned both HC-2 Highway Commercial District and A-4 Single-Family Residential District to the east, undeveloped property zoned A-3 Suburban District to the south, and the existing Mayhaw Plantation Subdivision zoned A-3 Suburban District to the west.

The purpose of the existing HC-2 Highway Commercial District is to provide for the location of moderately scaled, intense retail, office and service uses, generally located along major collectors and arterials. The purpose of the requested A-3 Suburban District is to provide a single-family residential environment on half-acre lot sizes in areas convenient to commercial and employment centers. A change in zoning will allow for single-family residential development within an area surrounded by single family residential uses and undeveloped land.

The reason for the request is to develop single-family residential uses.

	Area	Zoning/Requested Zoning	Max Allowable Density	Existing Lot #'s
Subject property	19.152 acres	A-3 Suburban District	2 units per acre = 38.304 lots	N/A
Palm Court Subdivision	28.134 acres	HC-2 Highway Commercial District and A-4 Single-Family District	NA 4 units per acre = 52 existing lots	52 lots
Mayhaw Plantation Subdivision	54.34 acres	A-3 Suburban District	2 units per acre = 108 lots	5 lots

CASE NUMBER: 2022-2833-ZC

PETITIONER: Andrew Cahanin

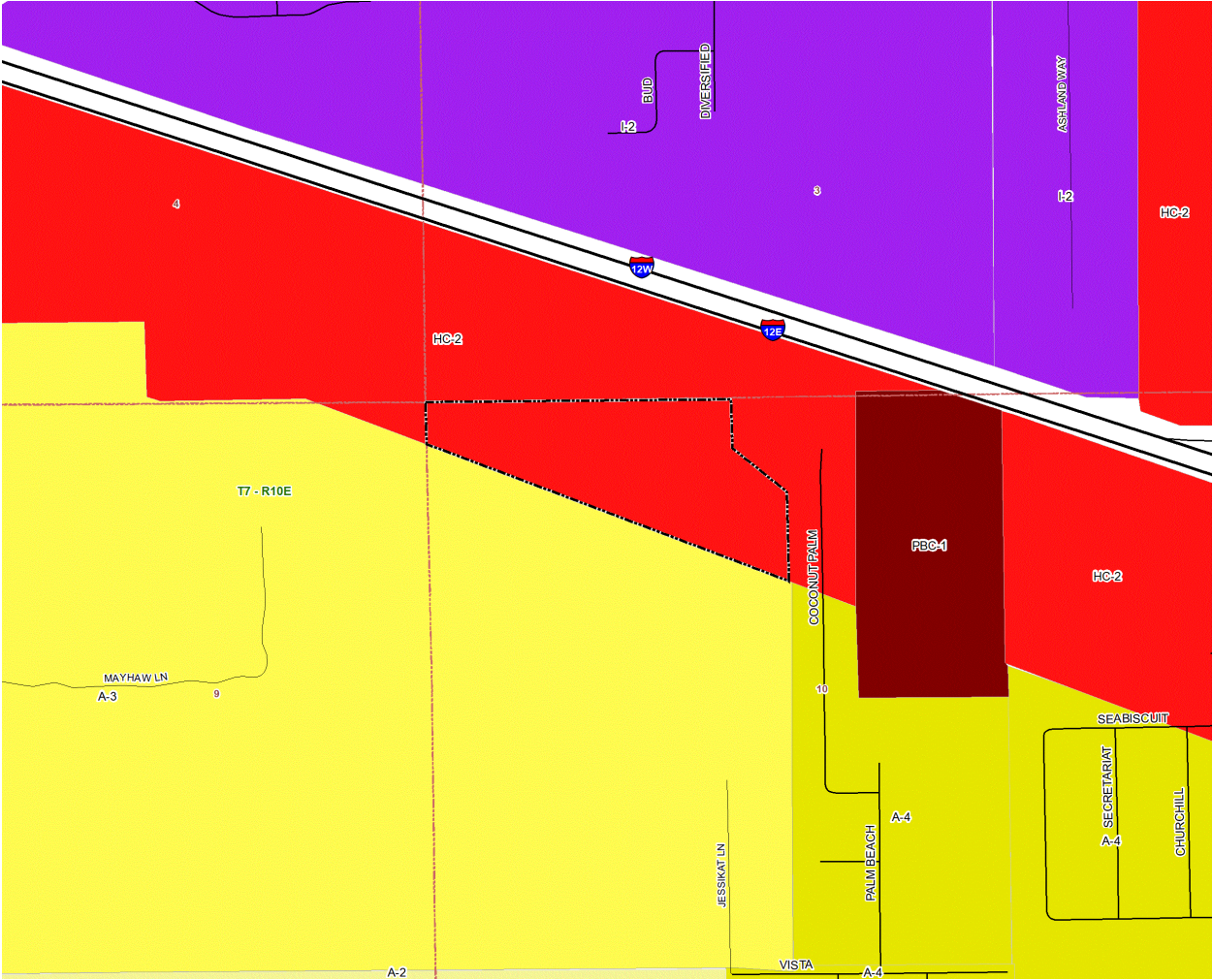
OWNER: Lagrange Legacy, LLC

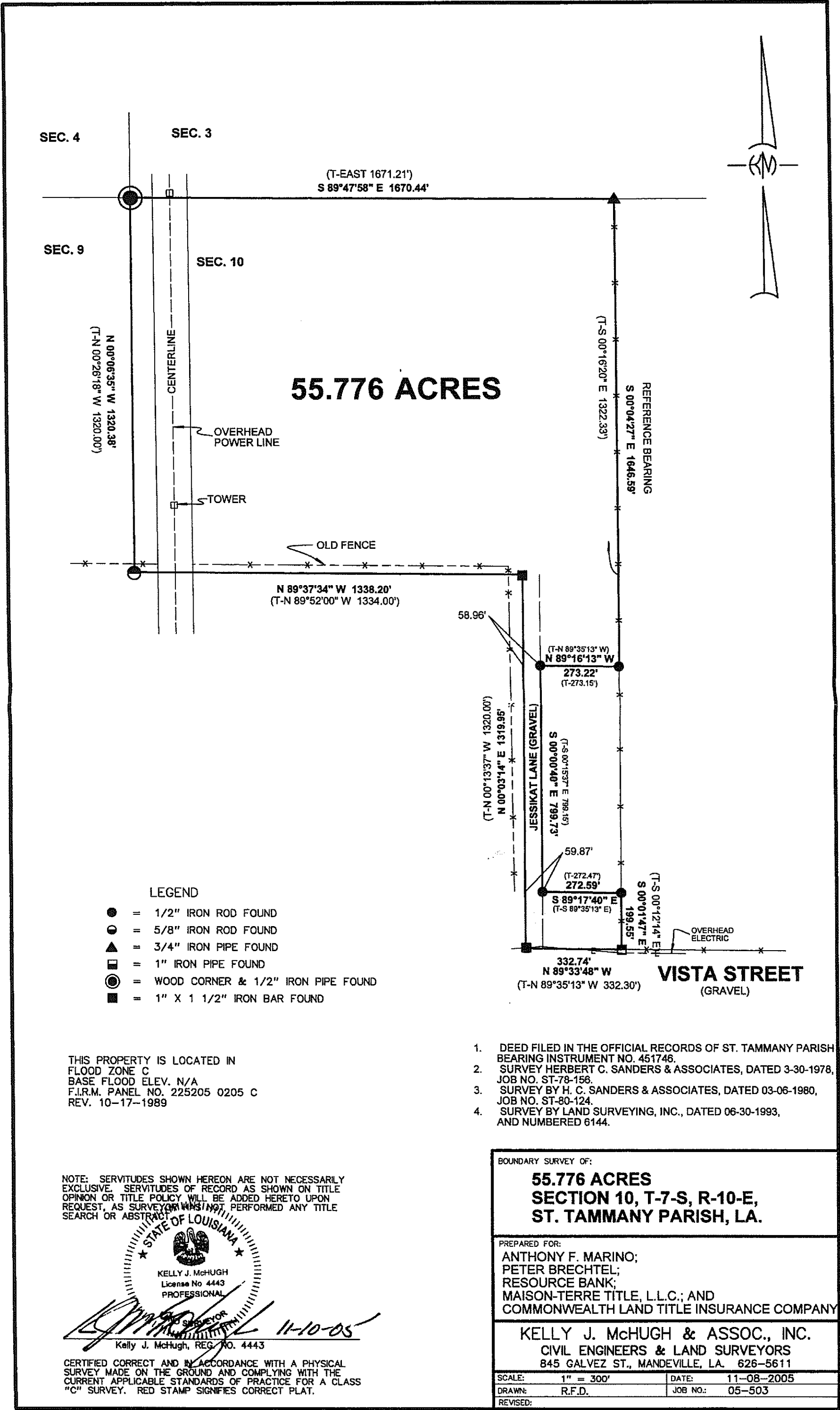
REQUESTED CHANGE: HC-2 (Highway Commercial District) to A-3 (Suburban District)

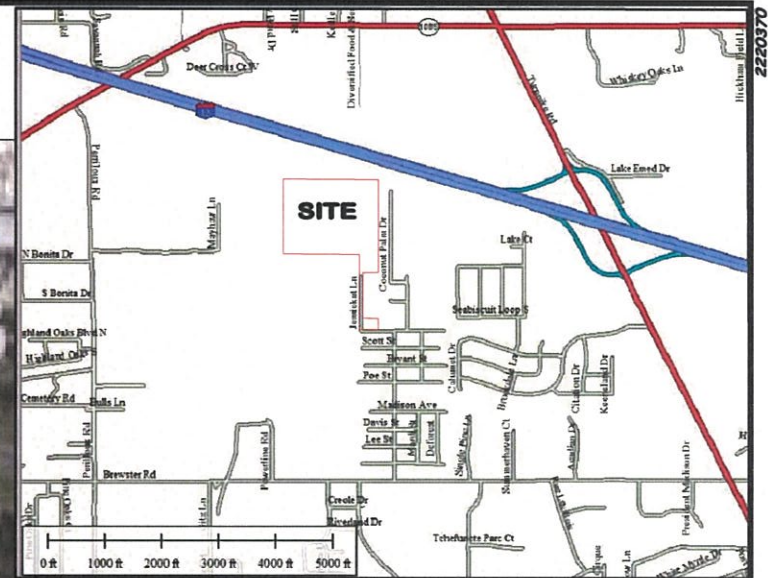
LOCATION: Parcel located north of Jessikat Lane, west of Coconut Palm Drive, and south of Interstate 12;

Madisonville; S10, T7S, R10E, Ward 7 District 7

SIZE: 19.152 acres







VICINITY MAP
SCALE: 1" = 2000'



- Existing Zone HC-2
Proposed Re-Zone
to Zone A-3
- Existing Zone A-3
to Remain A-3

Zone A-3 : SUBURBAN
Zone HC-2 : HIGHWAY COMMERCIAL

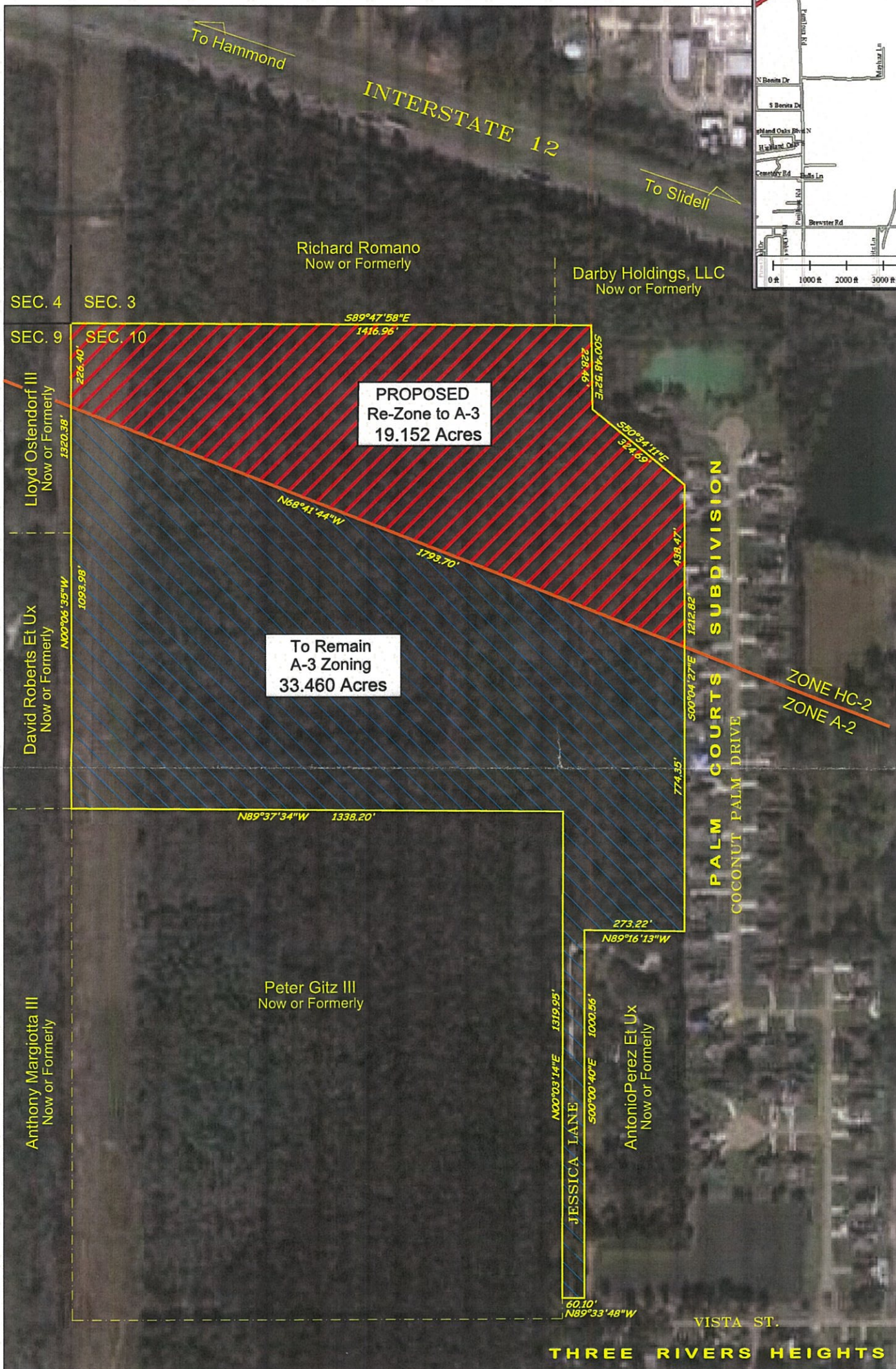


EXHIBIT 1

**PROPOSED REZONING
OF A PORTION OF A
52.612 Acre Tract**
LOCATED IN SECTION 10, T 7 S-R 10 E
TOWN OF MADISONVILLE
ST. TAMMANY PARISH, LOUISIANA
FOR
FIRST HORIZON, INC.

Prepared By:



McLin Taylor, Inc.
Engineering and Land Surveying

28339 FROST ROAD LIVINGSTON, LA. 70754 (225)886-1444

PRELIMINARY

04/04/2022
DATE



2022-2833-ZC

DEER CROSS DR
DEER CROSS CT E

DIVERSIFIED BLVD

BUD PL

HC-2

T7 - R10E

PBC-1

A-3

COCONUT PALM DR

A-4

PALM CT

PALM BEACH BLVD

JESSIKAT LN

REX AV

PARIS ST

SCOTT ST

A-4

A-2

ZONING STAFF REPORT

Date: June 28, 2022
Case No.: 2022-2864-ZC
Posted: June 16, 2022

Meeting Date: July 5, 2022
Determination: Approved, Denied, Postponed, Withdrawn

GENERAL INFORMATION

PETITIONER: Jason Mulvey

OWNER: Jason Mulvey

REQUESTED CHANGE: A-1 Suburban District to A-1 Suburban District and MHO Manufactured Housing Overlay

LOCATION: Parcel located on the east side of LA Highway 1077, north of LA Highway 1078; Folsom; S29, T5S, R10E, Ward 2 District 3

SIZE: 6.486 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: State Highway LA-1077

Road Surface: 2-Lane Asphalt

Condition: Great

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Residential	A-1 Suburban District
South	Residential	A-1 Suburban District
East	Residential	A-1 Suburban District and MHO Manufactured Housing Overlay
West	Residential	A-1 Suburban District and MHO Manufactured Housing Overlay

EXISTING LAND USE:

Existing development: Yes

Multi occupancy development: No

COMPREHENSIVE PLAN:

Residential/ Agricultural - Agricultural and related or other active or passive uses that use or preserve the countryside, forests and other areas and rural residential uses – widely ranging in dwelling size or type, siting and organization; both of which are generally located some distance from more intense land uses. Permitted uses include single-family residential, and uses ancillary to either of these primary uses. Other uses require a change in zoning.

STAFF COMMENTS:

The petitioner is requesting to change the zoning classification from A-1 Suburban District to A-1 Suburban District and MHO Manufactured Housing Overlay. The site is located on the east side of LA Highway 1077, north of LA Highway 1078, Folsom. The 2025 Future Land Use Plan designates the site to be developed with single-family residential & agricultural uses that vary in site design and density.

The subject property is surrounded by parcels zoned A-1 Suburban District, many of which also have the MHO Manufactured Housing Overlay. It should be noted that a portion of the subject property is already zoned with the Manufactured Housing Overlay Zoning along the eastern rear boundary lines. A change in zoning will allow the applicant to obtain a building permit to place a mobile home on any of remaining portion of this parcel.

MHO

SAVANNAH RD

RICHARDS RD

A-1
29

MHO

T5 - R10E

A-1

MHO

HC-2

MHO

29

BENNETT BRIDGE RD

1078

A-1

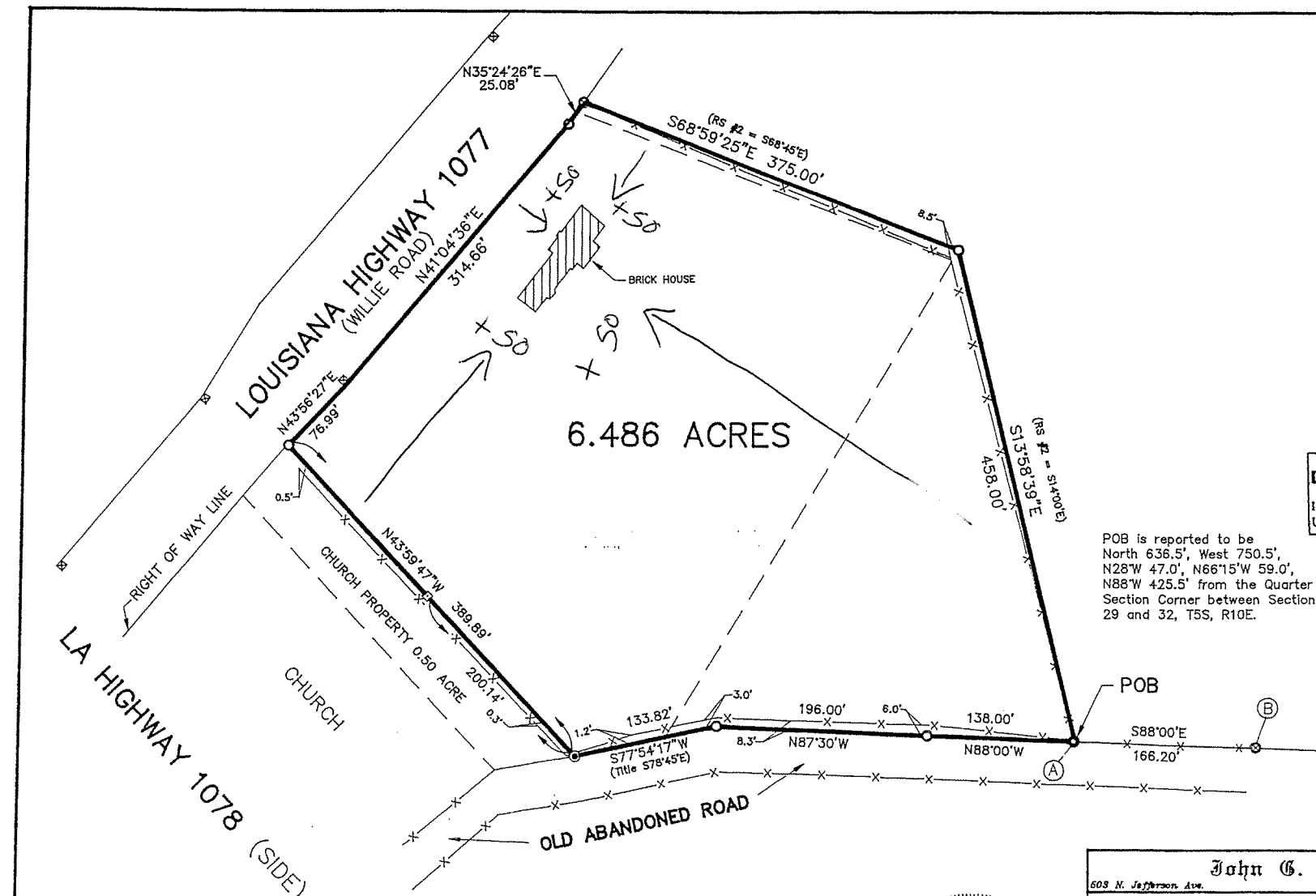
MHO

A-1

31

32

REFERENCE BEARING:
IRON PIPE A TO IRON PIPE B
S88°00'E
(per Reference Survey #2)



NOTICE: THIS MAP IS 11" X 17"
IT WILL NOT PRINT TO SCALE UNLESS
USER ELECTS TO PRINT ON 11" X 17" PAPER.

POB is reported to be
North 636.5', West 750.5',
N28°W 47.0', N66°15'W 59.0',
N88°W 425.5' from the Quarter
Section Corner between Sections
29 and 32, T5S, R10E.

LEGEND

- ⊙ = 1/2" Iron Rod Found
- = 1/2" Iron Pipe Found
- ⊙ = 1" Iron Pipe Found
- ⊙ = 3/4" Iron Pipe Found
- ⊙ = L.D.H. Conc. Monument Found
- = 1/2" Iron Rod Set



REFERENCE SURVEYS:

1. Survey by LA Dept. of Highways
Hwy. 1077, Project No. 852-05-06,
Sheet No. 4. Last Revised 3-14-62.
2. Survey of Various Properties
by Lowell E. Cummings, Surveyor,
dated February 8, 1971, revised
November 18, 1971.
3. Survey for Reverend Douglas M. Bishop
by Lowell E. Cummings, Surveyor,
dated December 5, 1980.

THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND/OR
RESTRICTIONS HAVE BEEN SHOWN HEREON. ANY SERVITUDES AND/OR
RESTRICTIONS SHOWN ON THIS PLAT ARE LIMITED TO THOSE SET FORTH
IN THE DESCRIPTION AND/OR INFORMATION FURNISHED THE UNDERSIGNED.
A TITLE OR PUBLIC RECORD SEARCH FOR SUCH INFORMATION WAS NOT MADE
BY THE UNDERSIGNED IN COMPILING DATA FOR THIS SURVEY.



John G. Cummings and Associates (985) 892-1549 603 N. Jefferson Ave. Professional Land Surveyors Covington, La. 70433		
PLAT PREPARED FOR: TINA SUZETTE THRUSH, DEREK MIRE'S THRUSH, ARGENT MORTGAGE CO., & STEWART TITLE OF LA		
SHOWING A SURVEY OF: A PARCEL OF LAND LOCATED IN SECTION 29, TOWNSHIP 5 SOUTH, RANGE 10 EAST, ST. TAMMANY PARISH, LOUISIANA.		
THIS PLAT REPRESENTS A PHYSICAL SURVEY MADE ON THE GROUND BY ME, OR THOSE UNDER MY DIRECTION, AND CONFORMS TO ALL APPLICABLE STANDARDS SET FORTH BY THE STATE OF LOUISIANA, AND BEARS A CLASS C SURVEY.		
SCALE: 1" = 100'		DATE: 8-18-04
		NUMBER: 04161

ZONING STAFF REPORT

Date: June 28, 2022
Case No.: 2022-2872-ZC
Posted: June 10, 2022

Meeting Date: July 5, 2022
Determination: Approved, Denied, Postponed, Withdrawn

GENERAL INFORMATION

PETITIONER: Tim Miletello

OWNER: Tim and Barbara Miletello

REQUESTED CHANGE: A-2 Suburban District to HC-2 Highway Commercial District

LOCATION: Parcel located on the south side of LA Highway 22, west of Timberwood Court, east of Bootlegger Road; Madisonville; S18, T7S, R10E, Ward 1 District 4

SIZE: .35 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: State Highway LA-22

Road Surface: 2-Lane Asphalt

Condition: Good

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Undeveloped	A-2 Suburban District
South	Residential	A-2 Suburban District
East	Residential	A-2 Suburban District
West	Residential	A-2 Suburban District

EXISTING LAND USE:

Existing development: Yes

Multi occupancy development: No

COMPREHENSIVE PLAN:

Residential - Areas that provide for dwelling units. Such areas may vary in site design, structure design, and in the density of units per acre. Certain areas such as “village or town residential” may include mixed uses and would have the highest number of units per acre, while “Rural residential” would have the lowest number of units per acre, and may include agricultural or open space uses as well. In between these two types of residential areas would be varying levels of single-family detached dwellings, multi-family attached residential, and planned subdivisions for manufactured homes.

STAFF COMMENTS:

The petitioner is requesting to change the zoning classification from A-2 Suburban District to HC-2 Highway Commercial District. The site is located on the south side of LA Highway 22, west of Timberwood Court, east of Bootlegger Road; Madisonville. The 2025 Future Land Use Plan designates the site to be developed with single-family residential & agricultural uses that vary in site design and density.

The subject property is flanked on all sides by property that is zoned A-2 Suburban District and is adjacent to existing single-family residences to the east, west, and south, and undeveloped land to the north. The purpose of the existing A-2 Suburban District is to provide for the location of single-family residences at a density of one dwelling unit per acre. The purpose of the requested HC-2 Highway Commercial District is to provide for the location of moderately scaled, intense retail, office and service uses.

A change in zoning will allow the applicant to operate any of the following permitted commercial uses:

All uses permitted in the HC-1 Highway Commercial District and Banks and financial institutions; Convenience stores with gas; Drive-in restaurants; Liquor stores; Any private office use that is a permitted use in the NC district over 20,000 sq. ft.; Clubs, lodges, fraternal and religious institutions, meeting halls (over 20,000 sq. ft.); Veterinary clinics (with outdoor kennels); Parcel post delivery stations; Mini-warehouses; Commercial kennels; Outdoor storage yards that do not occupy an area greater than 50 percent of land area, and are enclosed by an eight-foot opaque perimeter fence, located on the same parcel as, and are accessory to an existing mini-warehouse, not to be located on the street side; Lodging, 100 rooms or less (including apartments, hotels, motels); Automotive sales not to exceed two acres of display and storage; Outdoor retail and storage yards; Potable storage containers use for storage; Outdoor display area of pre-assembles building, pool and playground equipment.

It should be noted that the property is currently developed with a warehouse and a small office building. If rezoned, the 0.35-acre property will be subject to parish landscaping, parking, and drainage requirements and all other applicable regulations.

Case No.: 2022-2872-ZC

PETITIONER: Tim Miletello

OWNER: Tim and Barbara Miletello

REQUESTED CHANGE: A-2 Suburban District to HC-2 Highway Commercial District

LOCATION: Parcel located on the south side of LA Highway 22, west of Timberwood Court, east of Bootlegger Road; Madisonville; S18, T7S, R10E, Ward 1 District 4

SIZE: .35 acres



A-2

22W

PONCHATOULA HWY

T7 - R10E

18

A-2

17

TIMBERWOOD DR

SHADYWOOD LN

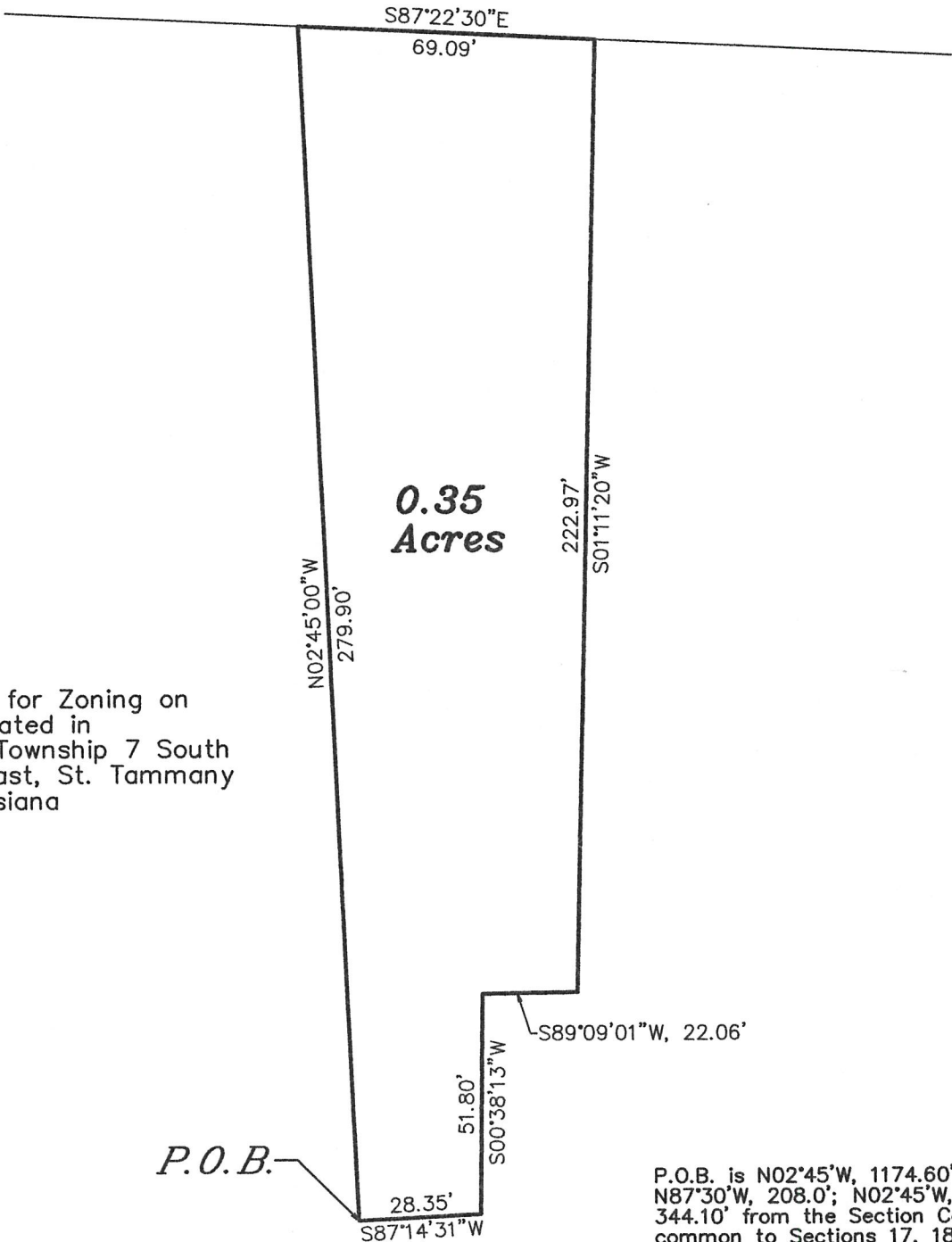
PUD

DRAKE ELM CT

TIMBERWOOD LOOP

2022-2872-ZC

La. Hwy. 22



Sketch Map for Zoning on
property located in
Section 18 Township 7 South
Range 10 East, St. Tammany
Parish, Louisiana

P.O.B. is N02°45'W, 1174.60';
N87°30'W, 208.0'; N02°45'W,
344.10' from the Section Corner
common to Sections 17, 18, 19 & 20
T7S R10E, St. Tammany Parish,
Louisiana

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE.
SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY
WILL BE ADDED HERETO UPON REQUEST AS THE UNDERSIGNED HAS
PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS
MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED
PEDESTALS.

(Must verify prior to Construction)
Building Setbacks
Front:
Side:
Rear:
Side Street:

THIS MAP IS NOT IN ACCORDANCE WITH THE STANDARD DETAILED
REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A C SURVEY
AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46:LXI.

MAP PREPARED FOR **Timothy Miletello and
Barbara Jo Messina Miletello**

SHOWN A SKETCH MADE OF PROPERTY LOCATED IN **Section 18 Township 7 South Range 10 East,
St. Tammany Parish, Louisiana**

THIS MAP IS NOT IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED.
SIGNATURE AND STAMPED SEAL MUST BE IN RED OR THIS PLAT IS NOT A TRUE COPY.

LAND SURVEYING LLC

518 N. Columbia Street, Covington, LA 70433
(985) 892-6277 office (985) 898-0355 fax
landsurveyingllc@gmail.com

CERTIFIED CORRECT

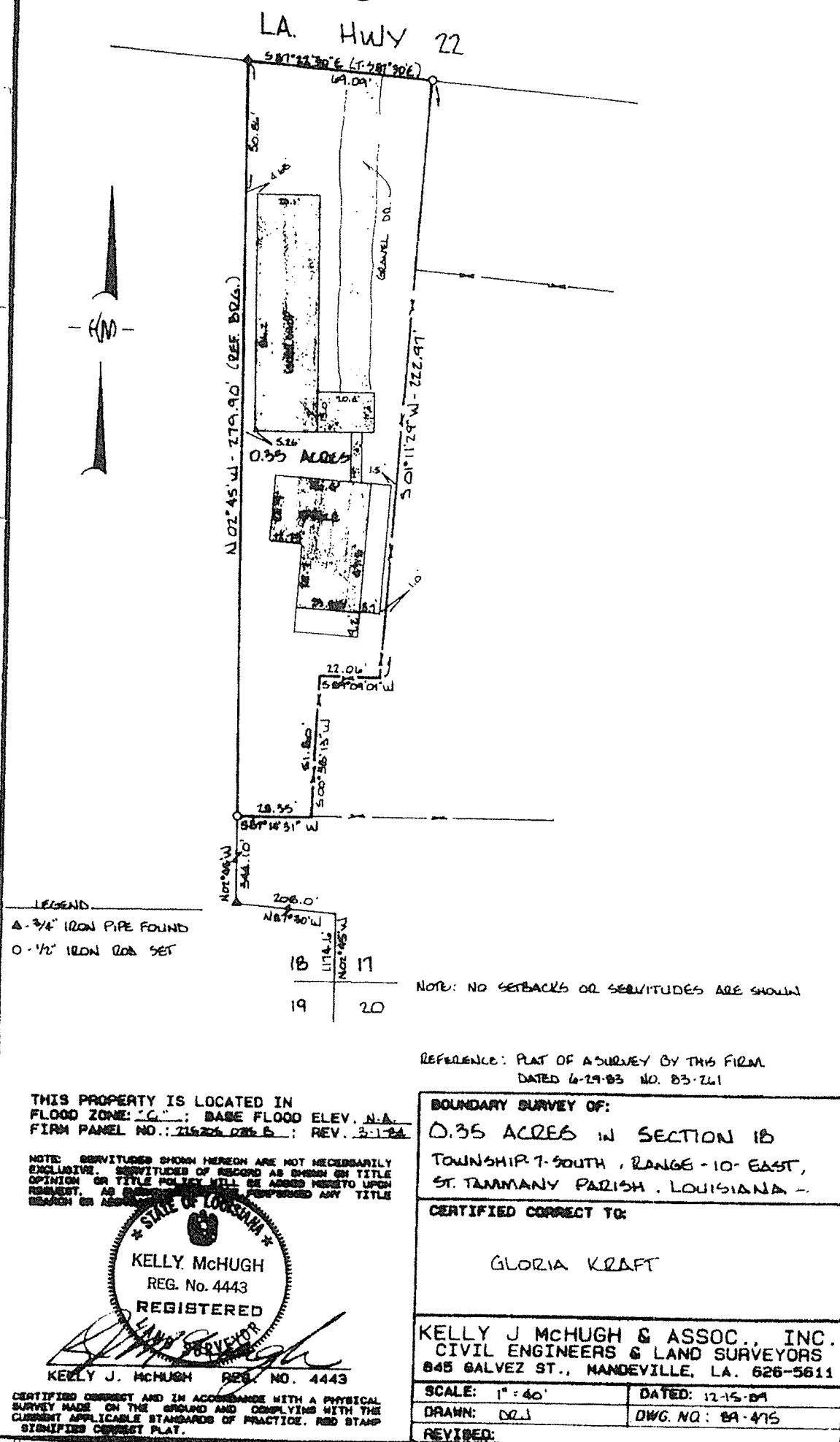
Bruce M. Butler, III 11-06-2020

BRUCE M. BUTLER, III
LOUISIANA PROFESSIONAL LAND SURVEYOR
LICENSE NO. 4894

SCALE: 1" = 40'

DATE: 11-5-2020

NUMBER: 20098



ZONING STAFF REPORT

Date: June 28, 2022
Case No.: 2022-2881-ZC
Posted: June 10, 2022

Meeting Date: July 5, 2022
Determination: Approved, Denied, Postponed, Withdrawn

GENERAL INFORMATION

PETITIONER: Scott Reeves

OWNER: MSB Holdings, LLC

REQUESTED CHANGE: HC-1 Highway Commercial District to HC-3 Highway Commercial District

LOCATION: Parcel located on the northeast corner of LA Highway 22 and Grand Oaks Drive; Madisonville S17, T7S, R10E, Ward 1, District 1

SIZE: 2.46 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: State Highway – LA 22	Road Surface: 2-Lane Asphalt	Condition: Good
Type: Parish Road – Grand Oaks Dr	Road Surface: 1-Lane Asphalt	Condition: Excellent

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Residential	A-4 Single-Family Residential District
South	Undeveloped	A-2 Suburban District and HC-2 Highway Commercial District
East	Residential	A-2 Suburban District
West	Undeveloped	NC-4 Neighborhood Institutional District

EXISTING LAND USE:

Existing development: No

Multi occupancy development: No

COMPREHENSIVE PLAN:

Residential - Areas that provide for dwelling units. Such areas may vary in site design, structure design, and in the density of units per acre. Certain areas such as “village or town residential” may include mixed uses and would have the highest number of units per acre, while “Rural residential” would have the lowest number of units per acre, and may include agricultural or open space uses as well. In between these two types of residential areas would be varying levels of single-family detached dwellings, multi-family attached residential, and planned subdivisions for manufactured homes.

STAFF COMMENTS:

The petitioner is requesting to change the zoning classification from HC-1 Highway Commercial District to HC-3 Highway Commercial District. The site is located on the northeast corner of LA Highway 22 and Grand Oaks Drive; Madisonville. The 2025 Future Land Use Plan designates the site to be developed with single-family residential & agricultural uses that vary in site design and density.

The subject property abuts the Grand Oaks Subdivision which is zoned A-4 Single-Family Residential District to the north, an existing single-family residence zoned A-2 Suburban District to the east, undeveloped property zoned HC-2 Highway Commercial District and A-2 Suburban District to the south, and undeveloped property zoned NC-4 Neighborhood Institutional District to the west.

The purpose of the existing HC-1 Highway Commercial District is to provide for the location of moderately scaled, intense retail, office and service uses. The purpose of the requested HC-3 Highway Commercial District is to provide for the location of large-scale, heavy commercial retail, office and service uses with primary accesses being collectors constructed for the development or arterials roadways. A change in zoning will allow for high intensity development at the intersection of a State Highway and a Parish maintained right of way which is the primary access for an existing residential development.

The applicant has been granted a building permit for the construction of a 12,000 sq. ft. hardware store which is currently being developed per building permit No. 2021-62685. The reason for the current request is to allow for outdoor retail sales and storage yards associated with the hardware store which is a permitted use in the HC-2 Highway Commercial District. Staff has determined that a request for the HC-2 Highway Commercial could facilitate the proposed use and the request for the HC-3 District is not necessary.

Zoning Classification	Max. Building Size	Allowable Uses
<u>Existing</u> HC-1 Highway Commercial District	20,000 sq. ft.	All uses permitted in the NC District and Automotive parts stores; Business college or business schools operated as a business enterprise; Catering establishments; Department stores; Funeral homes and mausoleums; Instruction of fine arts; Physical culture and health establishments; Enclosed plumbing, electrical and home building supply showrooms and sales centers with associated assembly processes; Printing, lithography and publishing establishments; Wholesale merchandise broker/agent including associated offices and indoor storage facilities. Any warehousing uses provided shall not exceed 3,000 square feet. However, if more than one use occupies a building, the entire building shall not exceed 9,000 square feet gross floor area; Drug stores; Dry cleaning, laundries and self-service laundries; Food stores; Public parking lots and garages; Single-family dwelling units above the first floor in a building designed for business uses. Dwelling units shall not exceed one story in height; Veterinary clinics (no outdoor kennels); Public or private auditoriums; Restaurants and restaurants with lounges; Car wash; Warehouse and distribution centers and associated uses such as offices and retail sales with a maximum of combined uses totaling 9,000 square feet or less of gross floor area; Indoor research and testing laboratories; Specialty food processing.
<u>Proposed</u> HC-3 Highway Commercial District	250,000 sq. ft.	All uses permitted in the HC-2 District and Automotive service stations, centers, and sales; Indoor recreation establishments, such as bowling alleys, skating rinks, and movie theaters; Drive-in movie theaters; Storage facilities associated with insurance companies or related offices for wrecked or impounded vehicles; Commercial recreation, excluding riverboard gaming and associated facilities outdoor; Lodging, greater than 100 rooms (including apartments, hotels, motels); Nightclubs, bars and lounges; Entertainment which typically consists of live or programmed performances; Bus, truck or other transportation terminals; Outdoor retail sales and storage yards; Portable storage containers used for storage; Outdoor display area of pre-assembled building, pool and playground equipment; Crematorium; Cemeteries

Case No.: 2022-2881-ZC

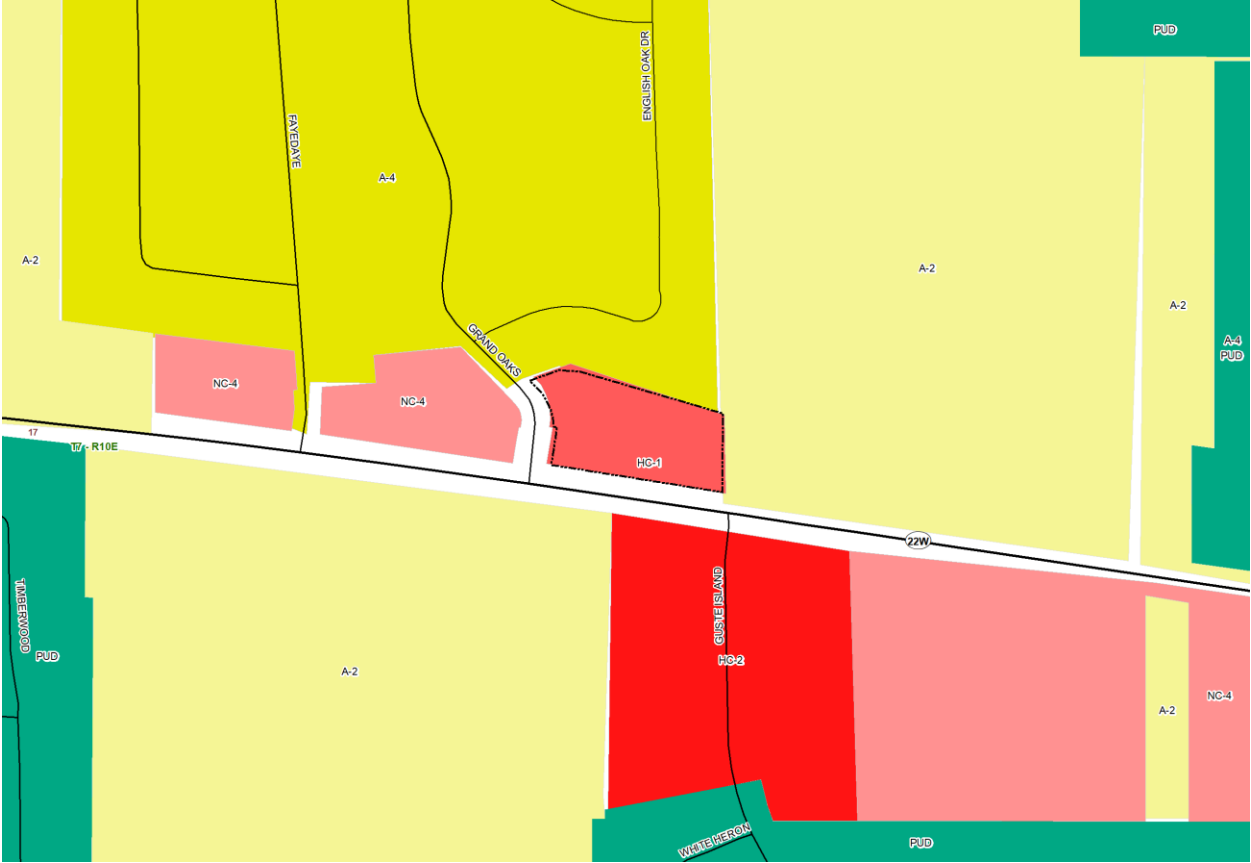
PETITIONER: Scott Reeves

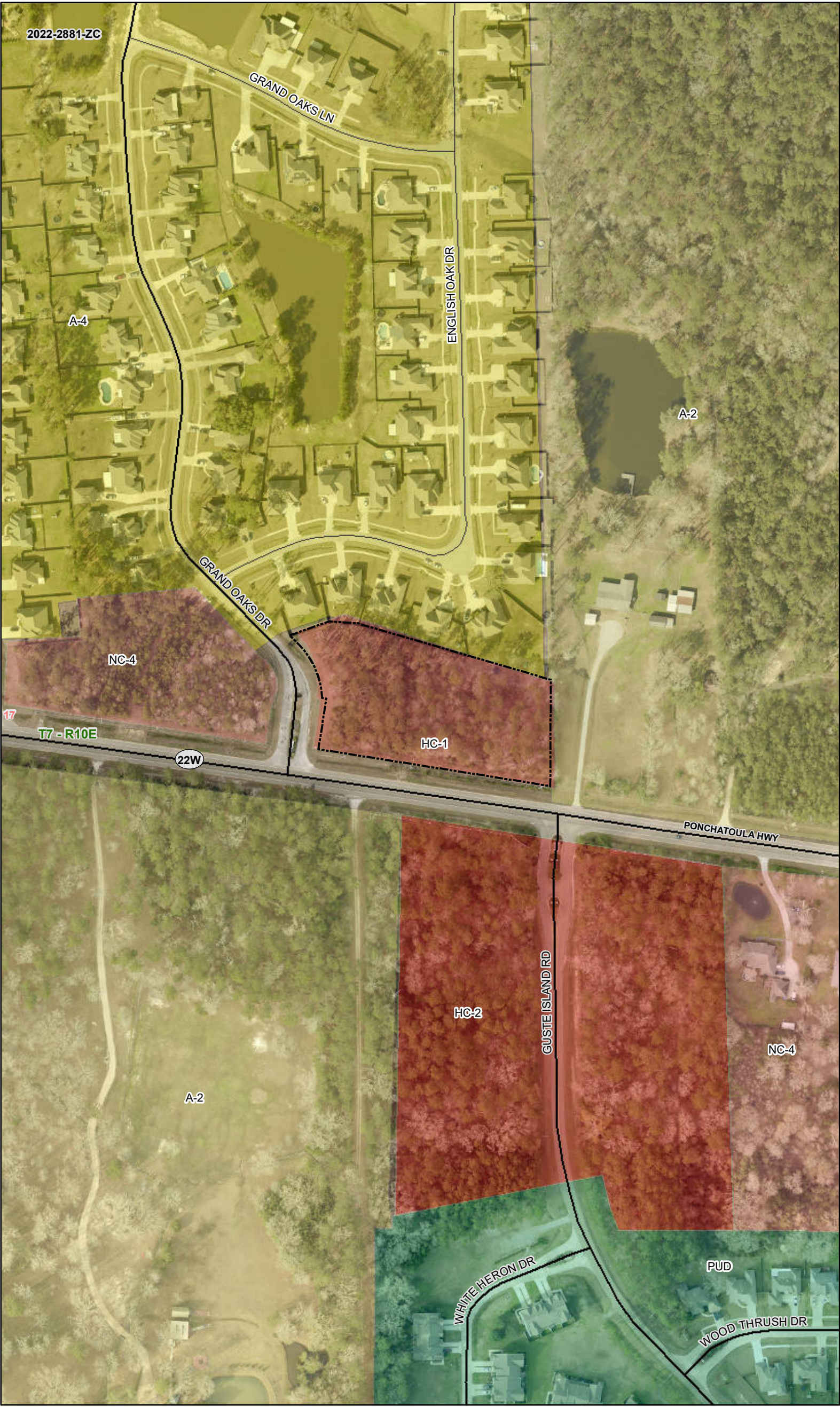
OWNER: MSB Holdings, LLC

REQUESTED CHANGE: HC-1 Highway Commercial District to HC-3 Highway Commercial District

LOCATION: Parcel located on the northeast corner of LA Highway 22 and Grand Oaks Drive; Madisonville S17, T7S, R10E, Ward 1, District 1

SIZE: 2.46 acres





A-4

GRAND OAKS LN

ENGLISH OAK DR

A-2

GRAND OAKS DR

NC-4

17

T7 - R10E

22W

HC-1

PONCHATOULA HWY

HC-2

GUSTE ISLAND RD

NC-4

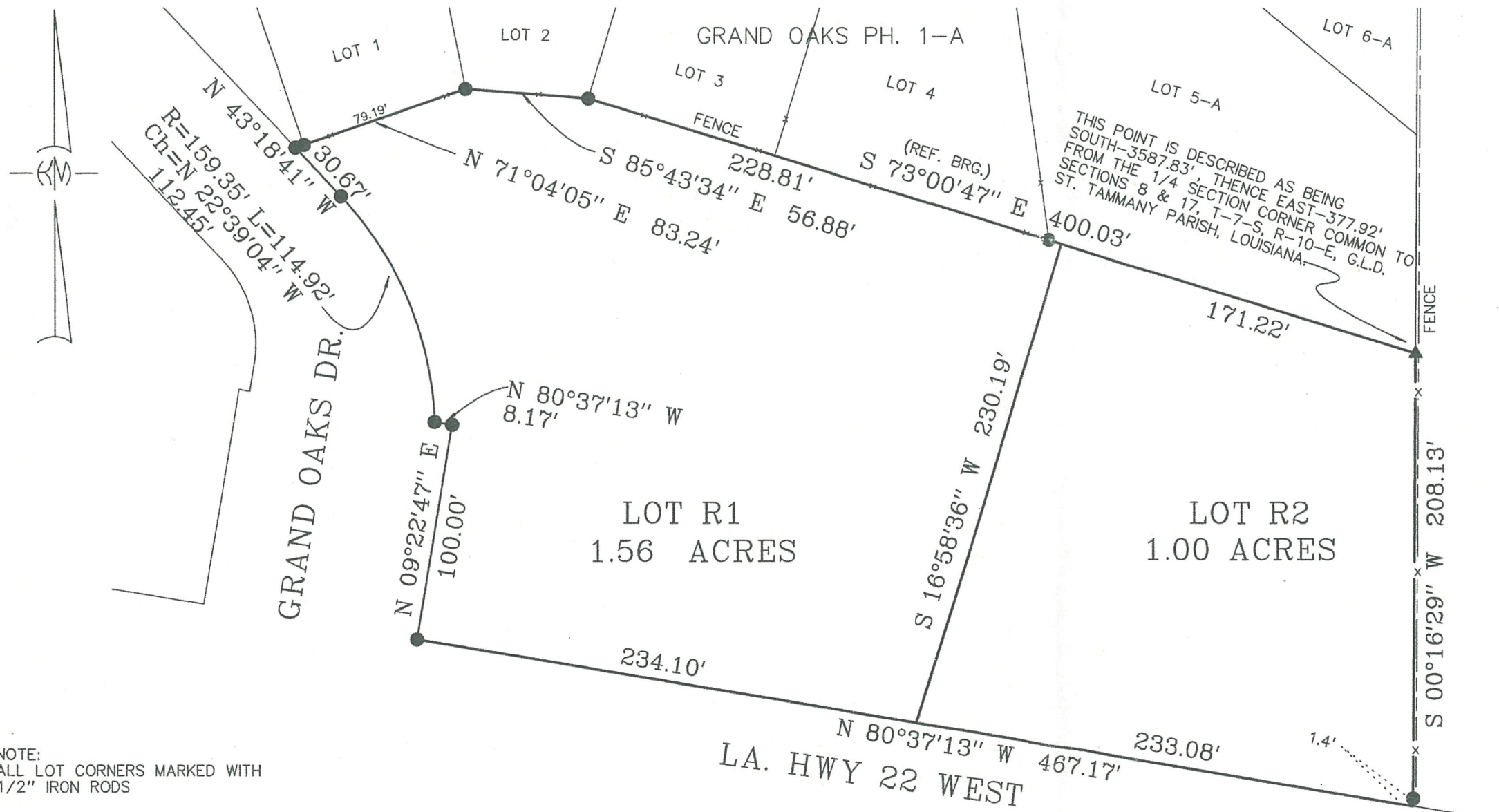
A-2

PUD

WHITE HERON DR

WOOD THRUSH DR

- REFERENCES:
1. PLAT OF A SURVEY BY THIS FIRM
DATED 11-12-20, JOB NO. 20-281
 2. PLAT OF GRAND OAKS PHASE 1-A BY
THIS FIRM FILED FOR RECORD 03-01-2012
MAP FILE NO. 5048, FROM WHICH BASIS
OF BEARINGS WAS TAKEN.
 3. PLAT OF A RESUBDIVISION BY THIS FIRM
FILED FOR RECORD 02-22-2013, MAP FILE NO.
5144A



NOTE:
ALL LOT CORNERS MARKED WITH
1/2" IRON RODS

THIS PROPERTY IS LOCATED IN
FLOOD ZONE C
RE: FIRM PANEL NO. 225205 0215 C
REVISED 10-17-89

- LEGEND:
- = 1/2" IRON ROD FOUND
 - ▲ = 1/2" IRON PIPE FOUND

APPROVAL:

SECRETARY PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT
OF ENGINEERING

07.30.2021 6040C
DATE FILED FILE NO.

Amy White, Deputy Clerk

NOTE:
NO ATTEMPT HAS BEEN MADE BY KELLY McHUGH & ASSOC., INC. TO
VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS,
RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL
ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN
THOSE FURNISHED BY THE CLIENT.

STATE OF LOUISIANA
KELLY J. McHUGH
License No. 4443
PROFESSIONAL
LAND SURVEYOR

7/26/21
Kelly J. McHugh, REG. NO. 4443

CERTIFIED TO BE IN ACCORDANCE WITH A PHYSICAL
SURVEY MADE ON THE GROUND AND COMPLYING WITH THE
CURRENT APPLICABLE STANDARDS OF PRACTICE FOR A CLASS
"C" SURVEY. RED STAMP SIGNIFIES CERTIFIED PLAT.

PREPARED FOR:	SCOTT REEVES		
	KELLY J. McHUGH & ASSOC., INC. CIVIL ENGINEERS & LAND SURVEYORS 845 GALVEZ ST. MANDEVILLE, LA. 7026-5611		
A MINOR SUBDIVISION OF 2.56 ACRES INTO LOTS R1 & R2, ALL LOCATED IN SECTION 17, T-7-S, R-10-E, G.L.D., ST. TAMMANY PARISH, LA.	SCALE:	1" = 60'	DATE: 07-15-21
	DRAWN:	DRJ	JOB NO: 20-281
	REVISED:		

ZONING STAFF REPORT

Date: June 28, 2022
Case No.: 2022-2886-ZC
Posted: June 9, 2022

Meeting Date: July 5, 2022
Determination: Approved, Denied, Postponed, Withdrawn

GENERAL INFORMATION

PETITIONER: Jeffrey Schoen

OWNER: Silverback Holdings, LLC

REQUESTED CHANGE: A-2 Suburban District to ED-1 Primary Education District

LOCATION: Parcel located on the southwest corner of Harrison Avenue and Ravine Street; Abita Springs; S12, T7S, R11E, Ward 3, District 5

SIZE: 3.13 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: Harrison - Parish	Road Surface: 2-Lane Asphalt	Condition: Good
Type: Ravine - Parish	Road Surface: 2-Lane Asphalt	Condition: Fair

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Residential	PUD (Emerald Creek)
South	Residential	A-2 Suburban District
East	Residential	A-2 Suburban District
West	Residential	A-2 Suburban District

EXISTING LAND USE:

Existing development: No

Multi occupancy development: No

COMPREHENSIVE PLAN:

Residential - Areas that provide for dwelling units. Such areas may vary in site design, structure design, and in the density of units per acre. Certain areas such as “village or town residential” may include mixed uses and would have the highest number of units per acre, while “Rural residential” would have the lowest number of units per acre, and may include agricultural or open space uses as well. In between these two types of residential areas would be varying levels of single-family detached dwellings, multi-family attached residential, and planned subdivisions for manufactured homes.

STAFF COMMENTS:

The petitioner is requesting to change the zoning classification A-2 Suburban District to ED-1 Primary Education District. The site is located on the southwest corner of Harrison Avenue and Ravine Street; Abita Springs. The 2025 Future Land Use Plan designates the site to be developed with single-family residential & agricultural uses that vary in site design and density.

The subject property is currently undeveloped and abuts undeveloped properties zoned A-2 Suburban District to the east and west, single-family residential development zoned A-2 Suburban District to the south, and the Emerald Creek PUD to the north. The purpose of the existing A-2 Suburban District is to provide a single-family residential environment on one-acre lot sizes. The purpose of the requested ED-1 Primary Education District is to provide for the location of public or private schools that serve smaller student populations.

A change in zoning will allow the applicant to operate any of the following primary educational uses:

Elementary or middle schools, public or private; Institution of fine arts; Adult secondary education classes; Day care, nursery school, preschool, kindergarten, and karate, dance, gymnastics schools limited with a total building size limited to 10,000 sq. ft. in area.

The reason for the request is to develop the “future campus of a day care center”.

Informational: Prior to the issuance of a building permit and/or administrative permit, a site plan shall be submitted for approval to the Department of Planning and Development indicating the following:

1. Location of all structures on site including signage
2. Minimum landscape requirements
3. Minimum parking requirements

4. Ingress and egress to the site
5. Adjacent land uses

In addition to all federal and state laws, the following requirements must be met:

1. A minimum play area of 50 square feet for each child which is enclosed with an opaque fence of a minimum height of not less than six feet.
2. An off-street loading area shall be provided to accommodate a minimum of five automobiles for day care centers. This loading area shall be provided in addition to the minimum parking requirements, or as determined by the department of planning and development.
3. Where a day care center adjoins any residential zoning district, a buffer yard must be provided which is a minimum of ten feet in depth and a six-foot-tall 100 percent opaque screen is installed.
4. An off-street loading area shall be provided to accommodate a minimum of three automobiles for day care homes
5. Additional information shall be submitted as determined by department of planning and development.

Case No.: 2022-2886-ZC

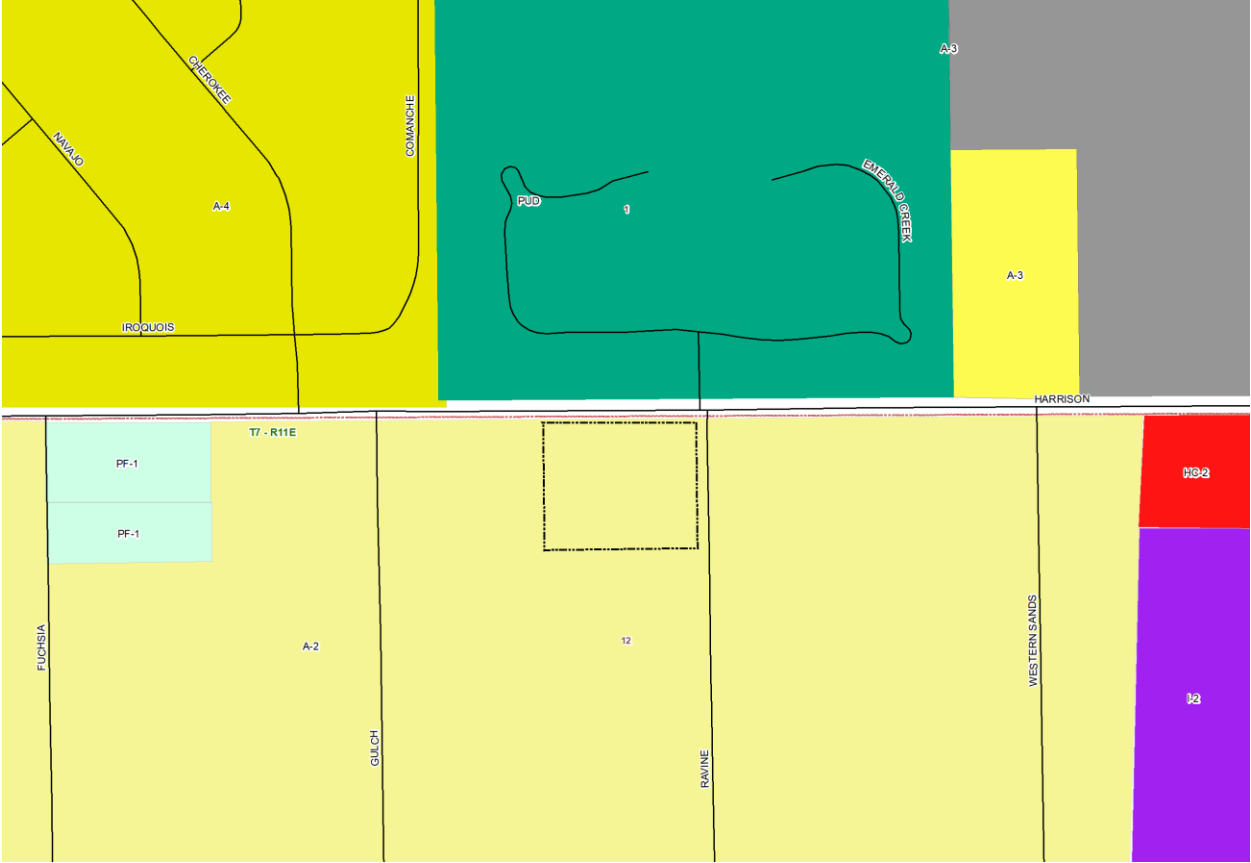
PETITIONER: Jeffrey Schoen

OWNER: Silverback Holdings, LLC

REQUESTED CHANGE: A-2 Suburban District to ED-1 Primary Education District

LOCATION: Parcel located on the southwest corner of Harrison Avenue and Ravine Street; Abita Springs; S12, T7S, R11E, Ward 3, District 5

SIZE: 3.13 acres



2022-2886-ZC

CHEROKEE DR

COMANCHE DR

A-4

1

PUD

EMERALD CREEK W

EMERALD CREEK E

A-3

A-3

T7-R1E

A-2

12

GULCH ST

RAVINE ST

HENRY CLAY AV

A-4

Data provided to DOTD by a commercial vendor.

2022-2886-ZC

NOTE:
NO ATTEMPT HAS BEEN MADE BY KELLY McHUGH & ASSOC., INC. TO
VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS,
RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL
ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN
THOSE FURNISHED BY THE CLIENT.

NOTE:
NO ATTEMPT HAS BEEN MADE BY KELLY McHUGH & ASSOC., INC. TO
VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS,
RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL
ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN
THOSE FURNISHED BY THE CLIENT.

OTHER ENCUMBRANCES ON THIS PROPERTY
NOTED BY THE CLIENT.

STATE OF LOUISIANA



KELLY J. McHUGH
License No. 4443
PROFESSIONAL

12
Kelly J. McHugh, REG. NO. 4443

CERTIFIED TO BE IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND AND COMPLYING WITH THE CURRENT APPLICABLE STANDARDS OF PRACTICE FOR A CLASS "C" SURVEY. RED STAMP SIGNIFIES CERTIFIED PLAT.

REFERENCE: A PLAT BY ROBERT A. BERLIN FILED
FOR RECORD 10-27-1961. MAP FILE 29A

BOUNDARY SURVEY OF:
 LOTS 15, 16, & 17 SQ 2
 RED GAP ACRES SUBDIVISION
 SECTION 12, T-7-S, R-11-E
 GREENSBURG LAND DISTRICT,
 ST. TAMMANY PARISH, LA.

LOTS 15, 16, & 17 SQ 2
RED GAP ACRES SUBDIVISION
SECTION 12, T-7-S, R-11-E
GREENSBURG LAND DISTRICT,
ST. TAMMANY PARISH, LA.

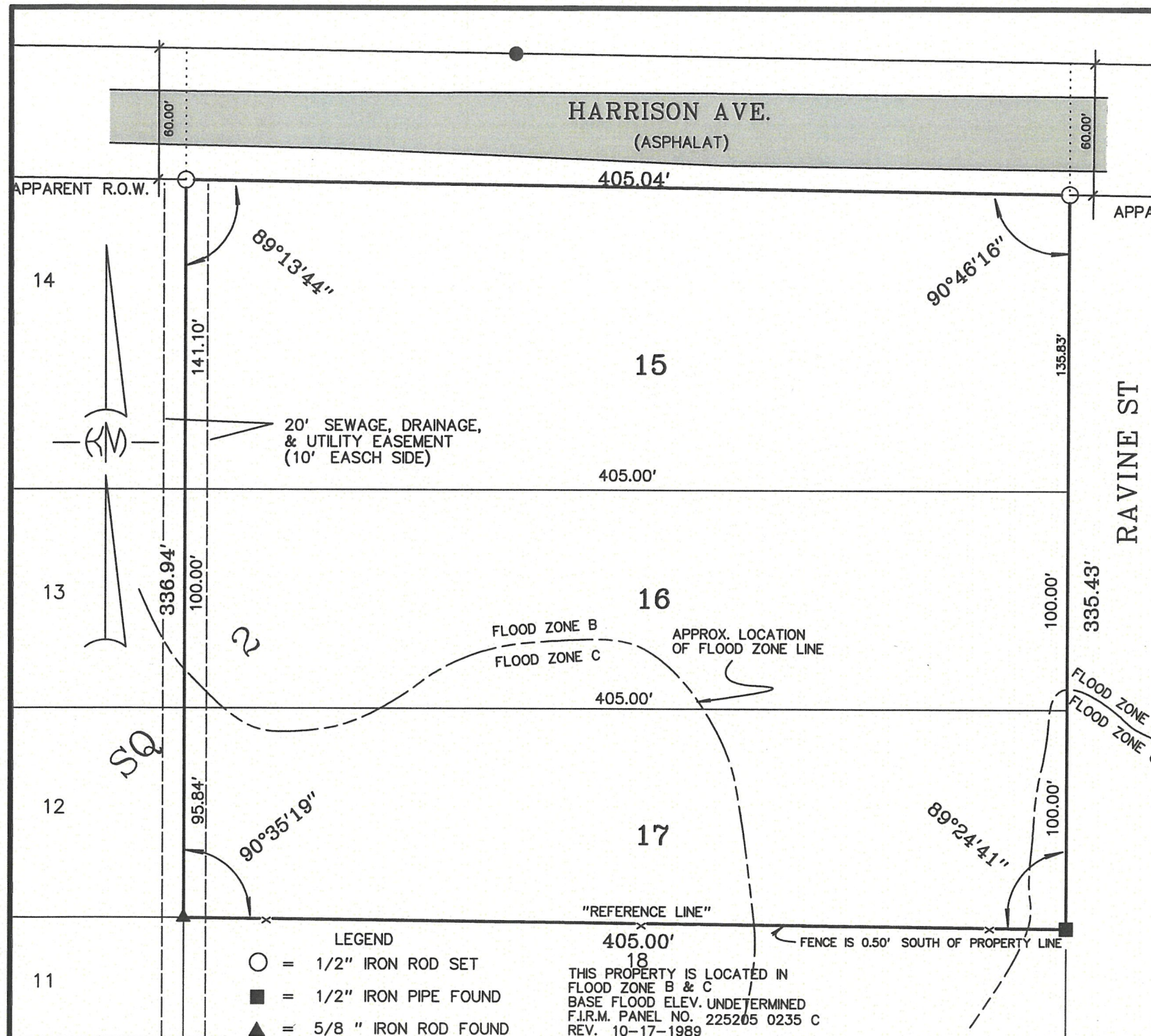
FRITZ WALKER

KELLY J. McHUGH & ASSOC., INC.
CIVIL ENGINEERS & LAND SURVEYORS
845 GALVEZ ST., MANDEVILLE, LA. 626-5611

DATE: 12-22-21

JOB NO.:	21-340
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JOB NO.:	21-340
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ZONING STAFF REPORT

Date: June 28, 2022
Case No.: 2022-2888-ZC
Posted: June 10, 2022

Meeting Date: July 5, 2022
Determination: Approved, Denied, Postponed, Withdrawn

GENERAL INFORMATION

PETITIONER: Seth and Ashley Hawley

OWNER: Seth and Ashley Hawley

REQUESTED CHANGE: A-1 Suburban District and A-2 Suburban District to A-1 Suburban District, A-2 Suburban District, and RO Rural Overlay

LOCATION: Parcel located at the end of Bierhorst Road, east of Thompson Road, Slidell; S39, T9S, R14E, Ward 9 District 11

SIZE: 3.94 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: Private

Road Surface: 1-Lane Asphalt

Condition: Fair

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Residential	A-2 Suburban District
South	Residential	A-1 Suburban District
East	Residential	A-1 Suburban District
West	Residential	A-1 Suburban District

EXISTING LAND USE:

Existing development: Yes

Multi occupancy development: No

COMPREHENSIVE PLAN:

Residential - Areas that provide for dwelling units. Such areas may vary in site design, structure design, and in the density of units per acre. Certain areas such as “village or town residential” may include mixed uses and would have the highest number of units per acre, while “Rural residential” would have the lowest number of units per acre, and may include agricultural or open space uses as well. In between these two types of residential areas would be varying levels of single-family detached dwellings, multi-family attached residential, and planned subdivisions for manufactured homes.

STAFF COMMENTS:

The petitioner is requesting to change the zoning classification from A-1 Suburban District and A-2 Suburban District to A-1 Suburban District, A-2 Suburban District and RO Rural Overlay. The site is located at the end of Bierhorst Road, east of Thompson Road, Slidell. The 2025 Future Land Use Plan designates the site to be developed with single-family residential & agricultural uses that vary in site design and density.

The subject property is split zoned A-1 Suburban District which allows single-family residences at a density of 1 unit per 5 acres and A-2 Suburban District which allows single-family residences at a density of 1 unit every acre. The purpose of the requested RO Rural Overlay is to permit agriculture uses, to encourage the maintenance of the rural countryside, to preserve forests and other undeveloped lands away from areas of population growth, and to allow residents to retain their traditional ways of life.

A change in zoning will allow the applicant to operate any of the following agricultural uses:

Farming and any other agricultural use as defined in section 130-5; Agricultural buildings; Limited commercial and industrial uses supporting the agricultural production limited to buildings no larger than 5,000 square feet; Wholesale/retail greenhouses and nurseries; Roadside farm stands; Dirt hauling equipment storage, including operable, licensed bobtail dump trucks, tractor trailers, and excavation equipment when stored on an operable, licensed transport vehicle, where the area utilized for storage is not more than ten percent of the property.

The reason for the request is to establish a goat farm.

Case No.: 2022-2888-ZC

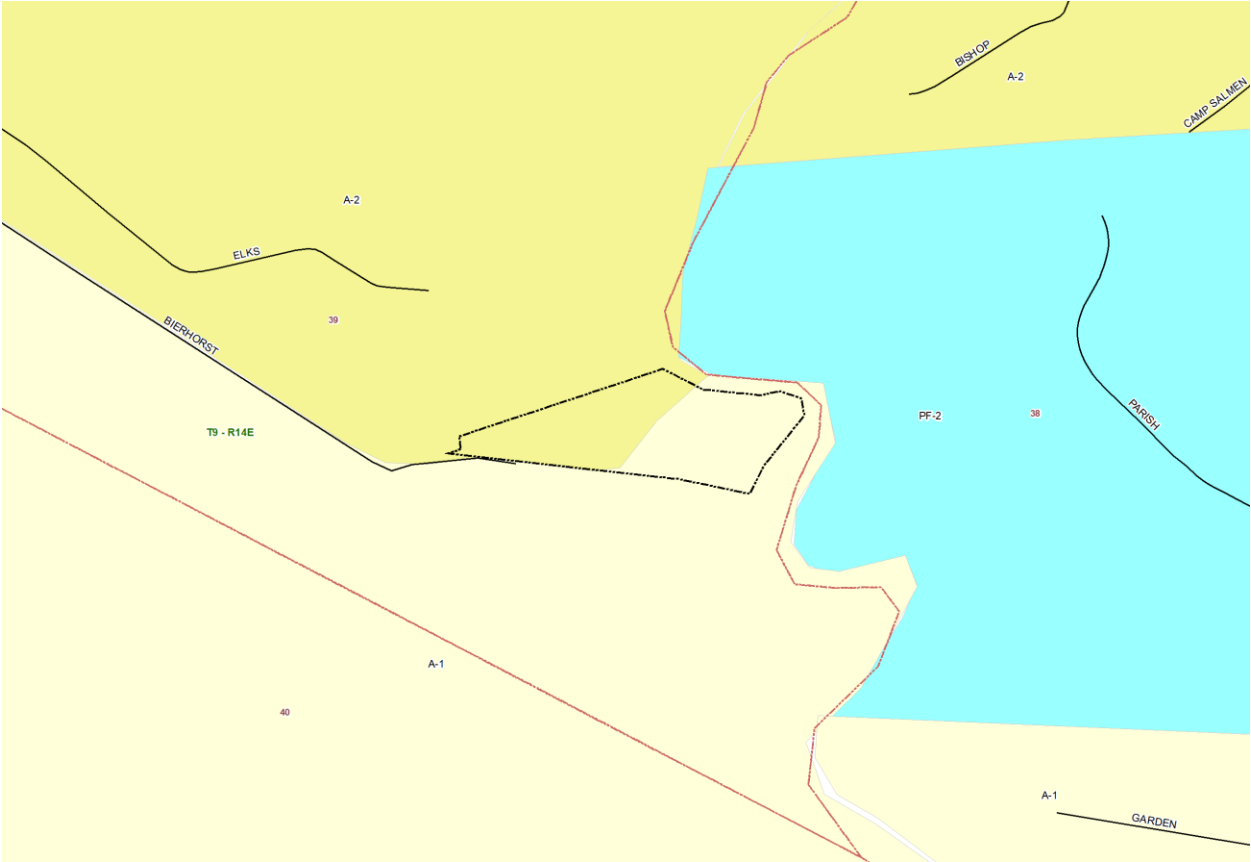
PETITIONER: Seth and Ashley Hawley

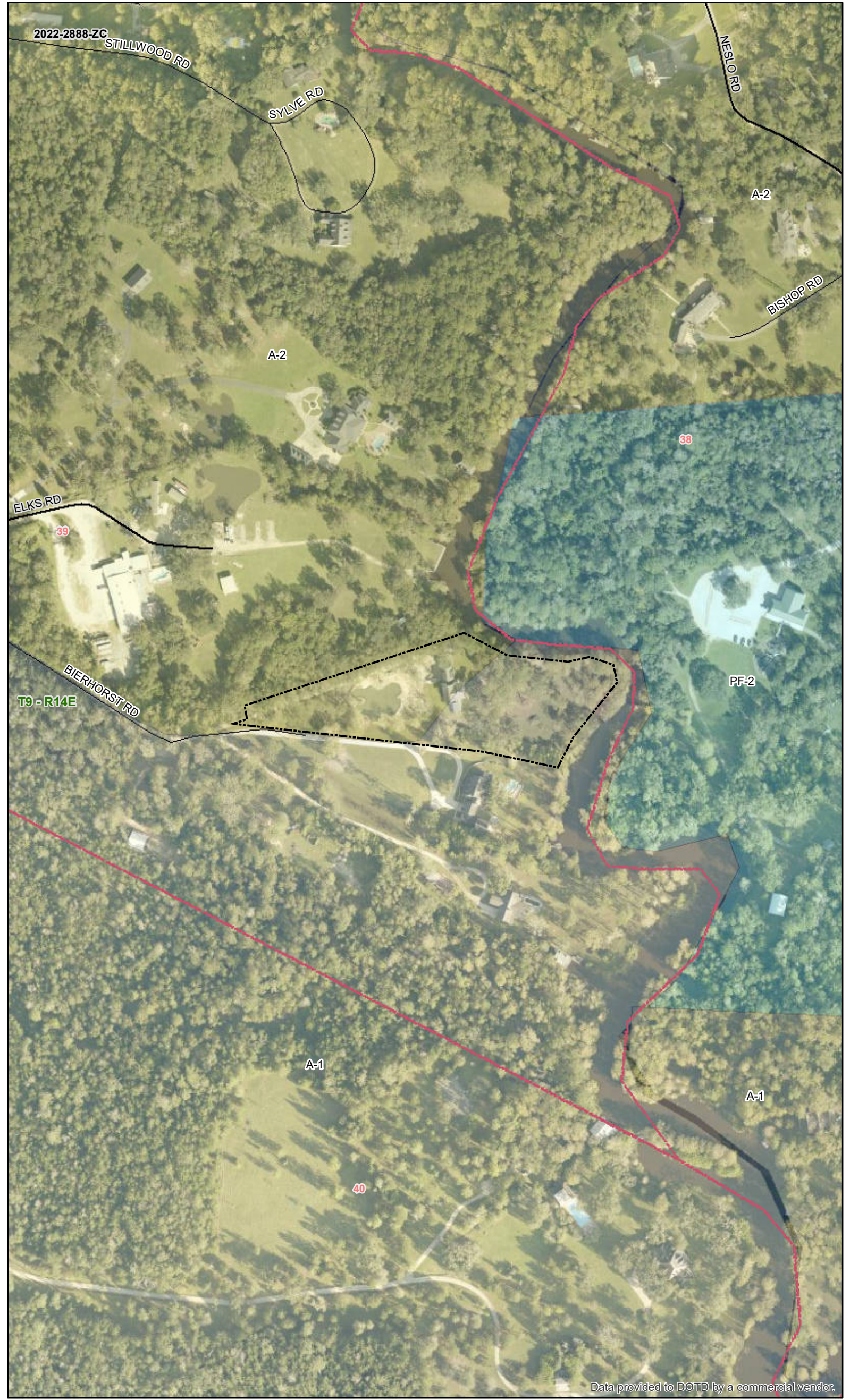
OWNER: Seth and Ashley Hawley

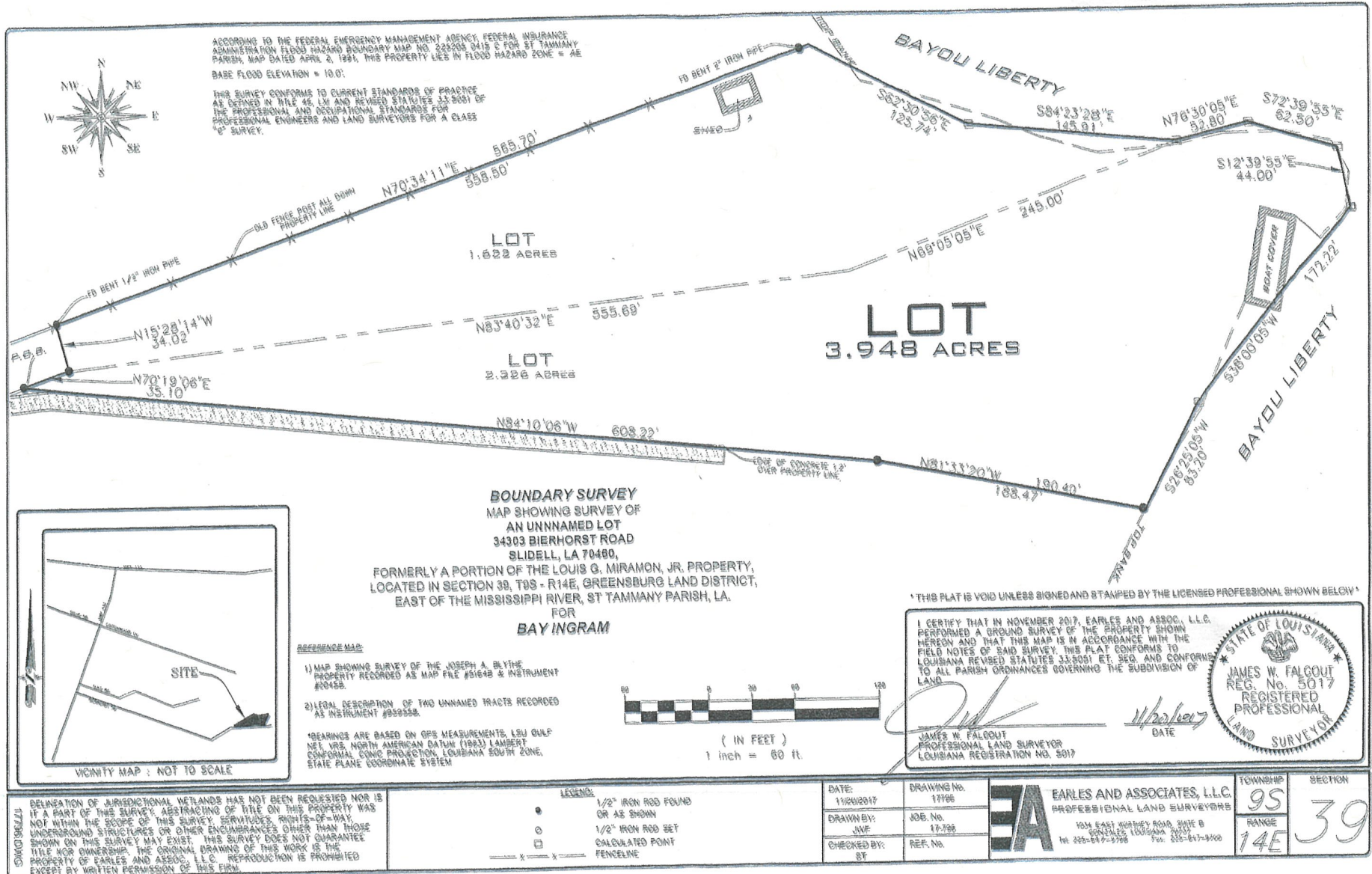
REQUESTED CHANGE: A-1 Suburban District and A-2 Suburban District to A-1 Suburban District, A-2 Suburban District and RO Rural Overlay

LOCATION: Parcel located at the end of Bierhorst Road, east of Thompson Road, Slidell; S39, T9S, R14E, Ward 9 District 11

SIZE: 3.94 acres







ZONING STAFF REPORT

Date: June 28, 2022
Case No.: 2022-2901-ZC
Posted: June 16, 2022

Meeting Date: July 5, 2022
Determination: Approved, Denied, Postponed, Withdrawn

GENERAL INFORMATION

PETITIONER: Jeff Schoen

OWNER: H&S HOLDINGS, LLC

REQUESTED CHANGE: A-2 Suburban District to A-2 Suburban District and MHO Manufactured Housing Overlay

LOCATION: Parcel located on the south side of Wilson Road, west of LA Highway 59, Covington; S25, T6S, R11E, Ward 10, District 2

SIZE: 1.001 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: Parish **Road Surface:** 2-Lane Asphalt **Condition:** Good

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Residential	A-1A Suburban District
South	Residential	A-2 Suburban District
East	Residential	A-2 Suburban District
West	Residential	A-2 Suburban District

EXISTING LAND USE:

Existing development: No **Multi occupancy development:** No

COMPREHENSIVE PLAN:

Planned Districts - Coordinated development on several parcels, usually at a higher density – but not in all cases - than other parcels in the proximity, planned in an integrated fashion as single units including residential, commercial and possibly other (institutional, recreational, e.g.) uses, as well as the supporting infrastructure and public services they will require (See “Small Area Plans,” below). Generally, such developments improve environmental qualities, preserve natural environments, provide for open space and recreational uses, and for residential as well as commercial uses, and are equipped with central utility systems and efficient and effective internal and external transportation access in multiple modes.

Single Family Residential – Conservation - These planned districts would include clustered single-family residential uses, at a density – within the overall tract – which is similar to that of adjoined residential uses, and conservation areas, following a Small Area Plan, and providing for balance, compatibility and integration of uses and all supporting infrastructure. Such individual Planned Residential – Conservation developments should aim to achieve contiguity among adjoining conservation areas in adjacent developments.

STAFF COMMENTS:

The petitioner is requesting to change the zoning classification from A-2 Suburban District to A-2 Suburban District and MHO Manufactured Housing Overlay. The site is located on the south side of Wilson Road, west of LA Highway 59, Covington. The 2025 Future Land Use Plan designates the site to be developed with single-family residential & conservation uses that vary in site design and density.

The subject property is an undeveloped tract of land that is adjacent to multiple legal non-conforming¹ mobile homes located along Wilson Road. While there is no MHO Manufactured Housing overlay on the west side of LA Highway 59, there is a MHO Manufactured Housing Overlay along the east side of LA Highway 59. The eastern part of LA Highway 59 was rezoned to MHO through the comprehensive rezoning of the “North East Study Area”, which took place in 2010 (as per Council Ordinance 10-2233).

A change in zoning will allow the applicant to obtain a building permit to place a mobile home on the property.

¹ Legal Nonconforming means a building or a structure or portion thereof lawfully existing at the time of adoption of the ordinance from which these regulations are derived, which was designed, erected or structurally altered for a use that does not conform to the use regulations of the district in which it is located.

Case No.: 2022-2901-ZC

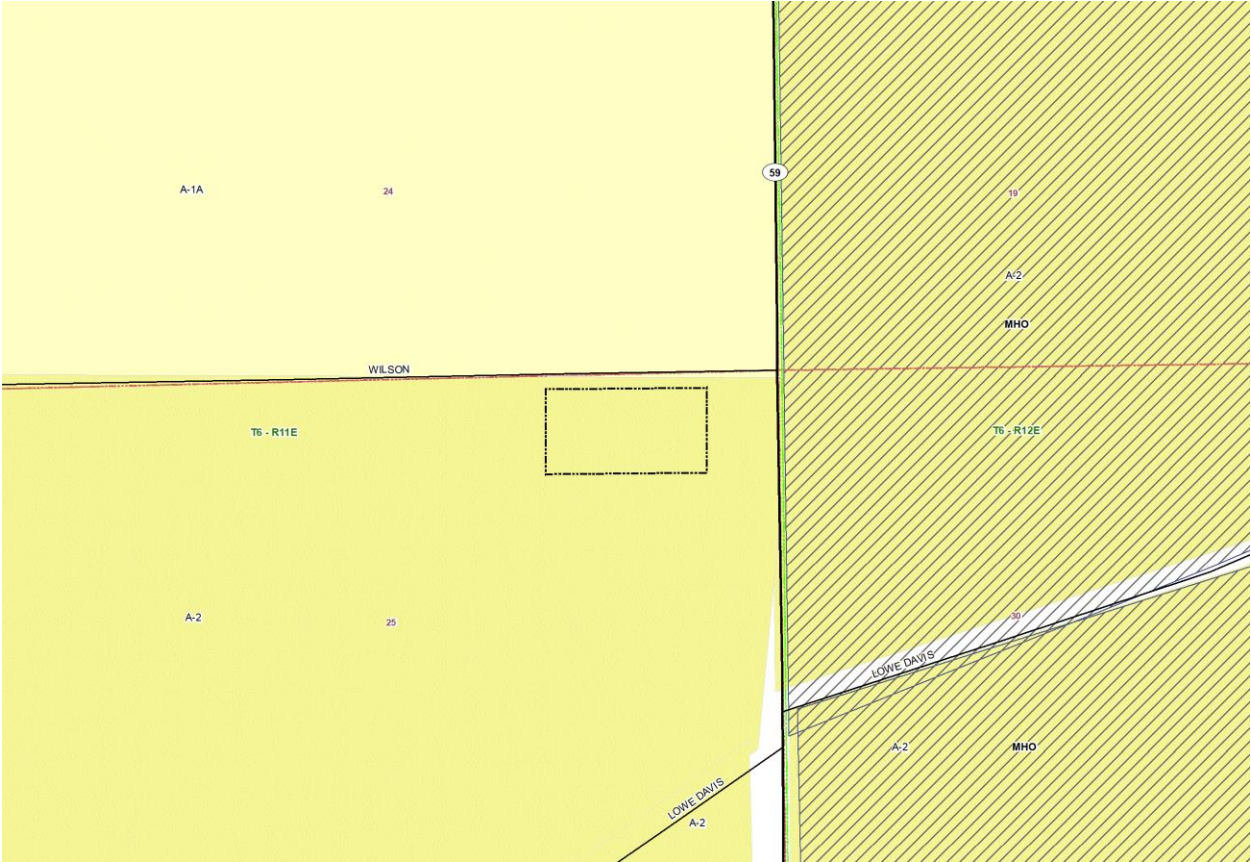
PETITIONER: Jeff Schoen

OWNER: H&S HOLDINGS, LLC

REQUESTED CHANGE: A-2 Suburban District to A-2 Suburban District and MHO Manufactured Housing Overlay

LOCATION: Parcel located on the south side of Wilson Road, west of LA Highway 59, Covington; S25, T6S, R11E, Ward 10, District 2

SIZE: 1.001 acres



A-1A

24

19

A-2
MHO

WILSON RD

T6 - R11E

A-2

T6 - R12E

A-2

25

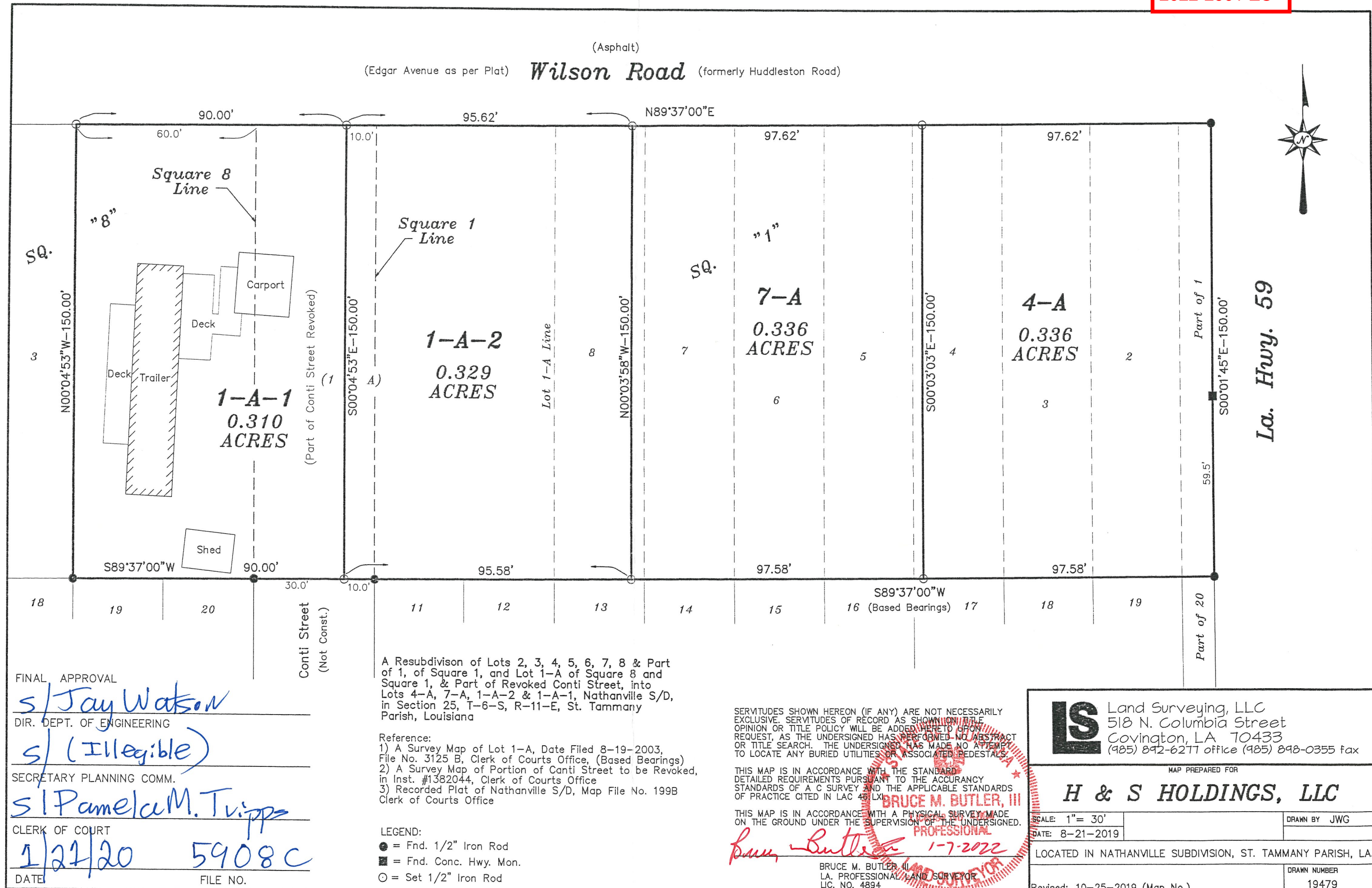
LOWE DAVIS RD

30

A-2
MHO

RANGE LINE RD

A-2



ZONING STAFF REPORT

Date: June 28, 2022
Case No.: 2022-2902-ZC
Posted: June 24, 2022

Meeting Date: July 5, 2022
Determination: Approved, Denied, Postponed, Withdrawn

GENERAL INFORMATION

PETITIONER: Jeff Schoen

OWNER: H&S HOLDINGS, LLC

REQUESTED CHANGE: A-1A Suburban District to A-1A Suburban District and MHO Manufactured Housing Overlay

LOCATION: Parcel located at the end of Henriques Road, west of Highway 59; Covington; S24, T6S, R11E; Ward 3, District 2

SIZE: .46 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: Parish **Road Surface:** 2-Lane Asphalt **Condition:** Fair

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Residential	A-1A Suburban District
South	Residential	A-1A Suburban District
East	Undeveloped	A-2 Suburban District & MHO Manufactured Housing Overlay
West	Undeveloped	A-1A Suburban District

EXISTING LAND USE:

Existing development: No **Multi occupancy development:** No

COMPREHENSIVE PLAN:

Single Family Residential – Conservation - These planned districts would include clustered single-family residential uses, at a density – within the overall tract – which is similar to that of adjoining residential uses, and conservation areas, following a Small Area Plan, and providing for balance, compatibility and integration of uses and all supporting infrastructure. Such individual Planned Residential – Conservation developments should aim to achieve contiguity among adjoining conservation areas in adjacent developments.

Planned Districts - Coordinated development on several parcels, usually at a higher density – but not in all cases - than other parcels in the proximity, planned in an integrated fashion as single units including residential, commercial and possibly other (institutional, recreational, e.g.) uses, as well as the supporting infrastructure and public services they will require (See “Small Area Plans,” below). Generally, such developments improve environmental qualities, preserve natural environments, provide for open space and recreational uses, and for residential as well as commercial uses, and are equipped with central utility systems and efficient and effective internal and external transportation access in multiple modes.

STAFF COMMENTS:

The petitioner is requesting to change the zoning classification from A-1A Suburban District to A-1A Suburban District and MHO Manufactured Housing Overlay. The site is located at the end of Henriques Road, west of Highway 59; Covington. The 2025 Future Land Use Plan designates the site to be developed with single-family residential & conservation uses that vary in site design and density.

Henriques Street is developed with approximately five legal non-conforming² mobile homes, as well as one stick-built home. While there is no MHO manufactured housing overlay on the west side of LA Highway 59, there is a MHO Manufactured Housing Overlay along the east side of LA Highway 59. The eastern part of LA Highway 59 was rezoned to MHO through the comprehensive rezoning of the “North East Study Area”, which took place in 2010 (as per Council Ordinance 10-2233).

A change in zoning will allow the applicant to obtain a building permit to place a mobile home on the property.

² Legal Nonconforming means a building or a structure or portion thereof lawfully existing at the time of adoption of the ordinance from which these regulations are derived, which was designed, erected or structurally altered for a use that does not conform to the use regulations of the district in which it is located.

Case No.: 2022-2902-ZC

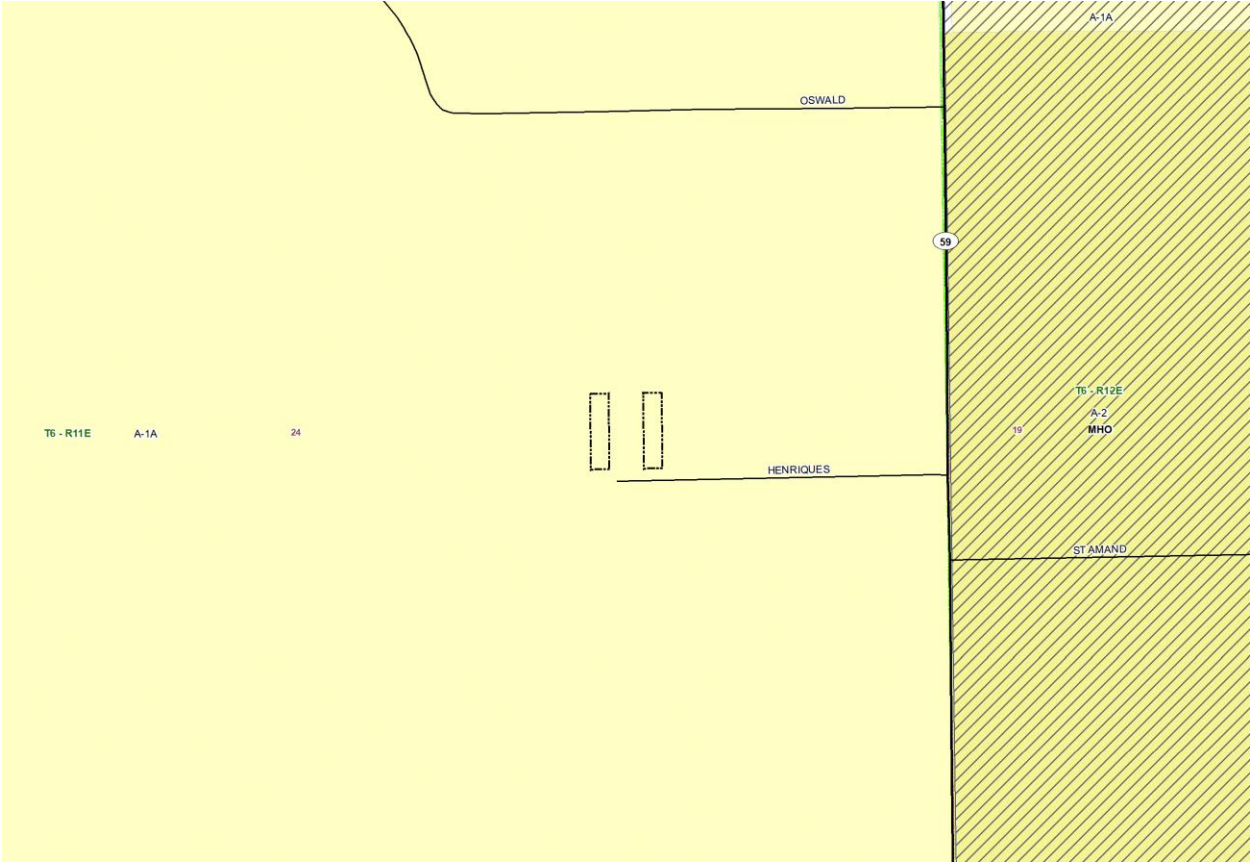
PETITIONER: Jeff Schoen

OWNER: H&S HOLDINGS, LLC

REQUESTED CHANGE: A-1A Suburban District to A-1A Suburban District and MHO Manufactured Housing Overlay

LOCATION: Parcel located at the end of Henriques Road, west of Highway 59; Covington; S24, T6S, R11E; Ward 3, District 2

SIZE: .46 acres



2022-2902-ZC

A-1A

OSWALD RD

T6 - R11E 24
A-1A

A-1A

HENRIQUES ST

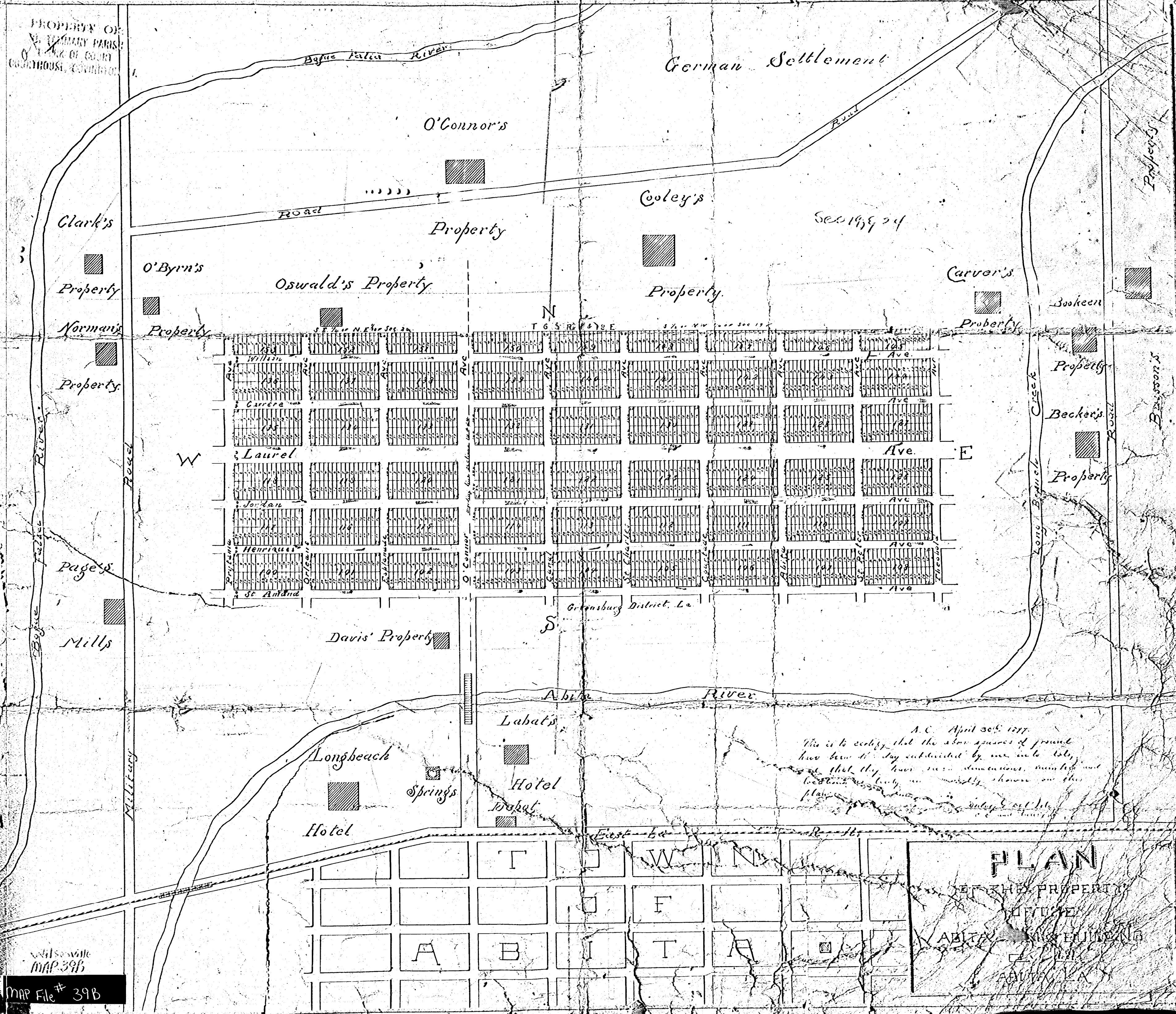
T6 - R12E
19 MHO
A-2

ST AMAND ST

RANGE LINE RD

2022-2902-ZC

PROPERTY OF
ST. TAMMANY PARISH
CLERK OF COURT
COURTHOUSE, COVINGTON



Willsville
MAP 39B

MAP File # 39B

PLAN
OF THE PROPERTY
OF THE
ABITA SETTLEMENT
ABITA, MISSISSIPPI
ADAMS, LA.

ZONING STAFF REPORT

Date: June 28, 2022
Case No.: 2022-2905-ZC
Posted: June 10, 2022

Meeting Date: July 5, 2022
Determination: Approved, Denied, Postponed, Withdrawn

GENERAL INFORMATION

PETITIONER: Chief Scott Brewer

OWNER: STFD- 9 – Chief Scott Brewer

REQUESTED CHANGE: A-2 Suburban District to PF-1 Public Facilities District

LOCATION: Parcel located on the north side of Louisiana Highway 40, west of Carr Lane; Bush; S42, T5S, R13E, Ward 5, District 6

SIZE: 3 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: LA Hwy 40 **Road Surface:** 2-Lane Asphalt **Condition:** Good

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Residential	A-2 Suburban District
South	Residential	A-2 Suburban District and MHO Manufactured Housing Overlay
East	Residential	A-2 Suburban District and MHO Manufactured Housing Overlay
West	Residential	A-2 Suburban District

EXISTING LAND USE:

Existing development: Yes **Multi occupancy development:** Yes

COMPREHENSIVE PLAN:

Planned Districts - Coordinated development on several parcels, usually at a higher density – but not in all cases - than other parcels in the proximity, planned in an integrated fashion as single units including residential, commercial and possibly other (institutional, recreational, e.g.) uses, as well as the supporting infrastructure and public services they will require (See “Small Area Plans,” below). Generally, such developments improve environmental qualities, preserve natural environments, provide for open space and recreational uses, and for residential as well as commercial uses, and are equipped with central utility systems and efficient and effective internal and external transportation access in multiple modes.

Mixed Use – Other – Conservation – These planned districts would include mixed uses – at varying densities - and conservation areas, following a Small Area Plan, and providing for balance, compatibility and integration of uses and all supporting infrastructure.

STAFF COMMENTS:

The petitioner is requesting to change the zoning classification from A-2 Suburban District to PF-1 Public Facilities District. The site is located on the north side of Louisiana Highway 40, west of Carr Lane; Bush. The 2025 Future Land Use Plan designates the site to be developed with Planned District & mixed uses that vary in site design and density.

The subject property is currently developed with an existing legal nonconforming³ fire station and undeveloped property. The site is flanked on all sides by residential uses and undeveloped property zoned A-2 Suburban District. The purpose of the existing A-2 Suburban District is to allow for single-family residential environments on large, multi-acre lots. The purpose of the requested PF-1 Public Facilities District is to provide for the location of governmental and public intuitional uses to the public.

A change in zoning will allow the applicant to operate any of the following governmental or public facilities: Post Office, Funerary parlor and cemeteries, Passenger transportation terminals, Churches, temples and synagogues, Government offices, Government maintenance facilities, and Private non-profit animal services.

The reason for the request is to develop a new fire station where the existing fire station is currently located.

³ Legal Nonconforming means a building or a structure or portion thereof lawfully existing at the time of adoption of the ordinance from which these regulations are derived, which was designed, erected or structurally altered for a use that does not conform to the use regulations of the district in which it is located.

Case No.: 2022-2905-ZC

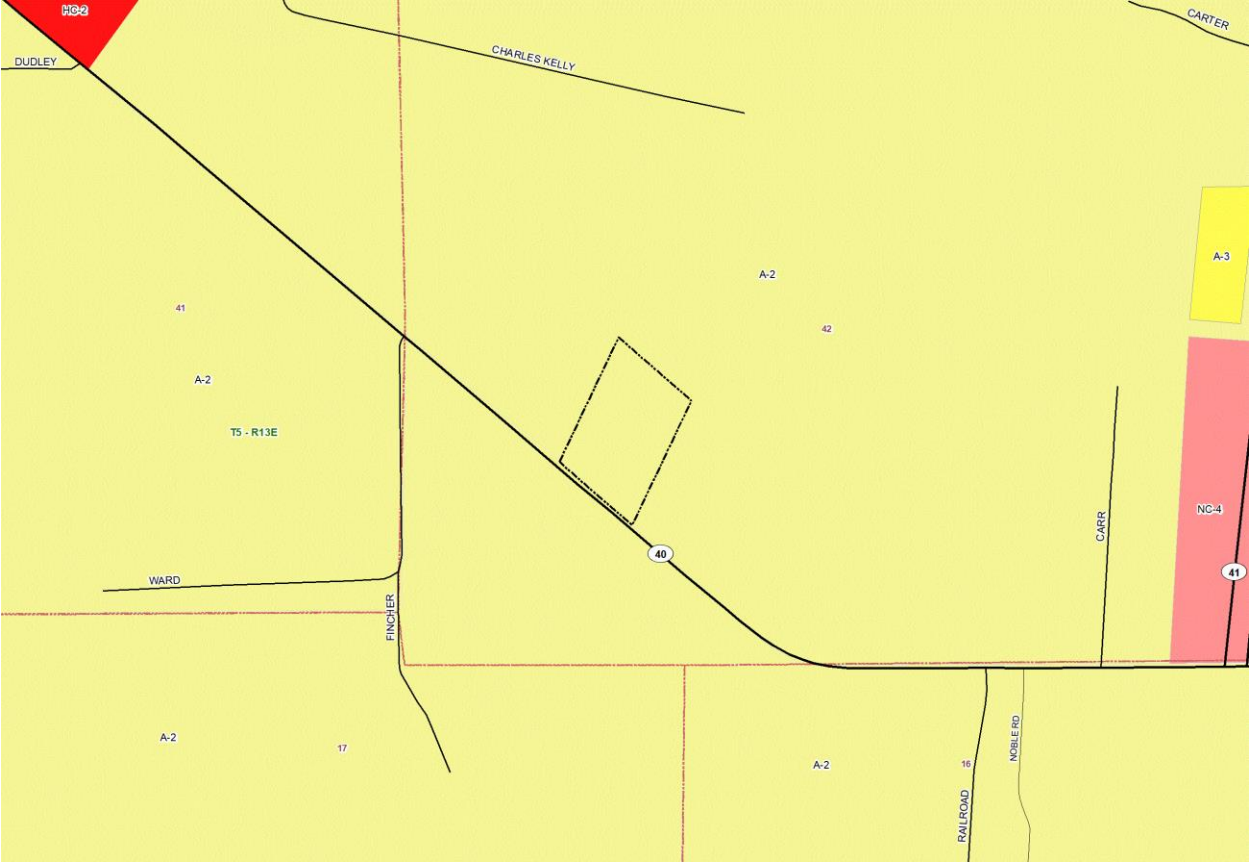
PETITIONER: Chief Scott Brewer

OWNER: STFD- 9 – Chief Scott Brewer

REQUESTED CHANGE: A-2 Suburban District to PF-1 Public Facilities District

LOCATION: Parcel located on the north side of Louisiana Highway 40, west of Carr Lane; Bush; S42, T5S, R13E, Ward 5, District 6

SIZE: 3 acres



2022-2905-ZC

CHARLES KELLY RD

A-2

41

42

A-2
T5-R13E

WARD RD

FINCHER RD

A-2

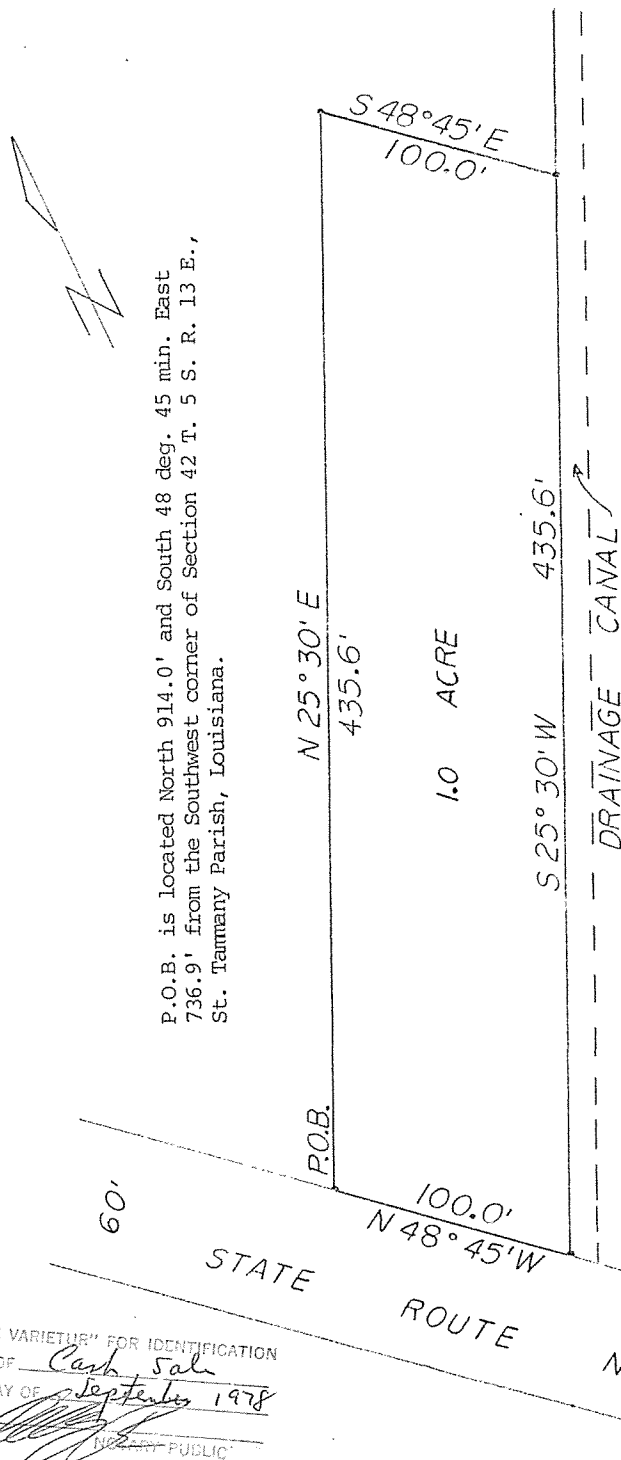
BUSH FOLSOM RD

17

A-2

16

Lot 1



PARAPHRASED "NE VARIETUR" FOR IDENTIFICATION
 WITH AN ACT OF Cash 5th
 THIS 28th DAY OF September 1978
[Signature]
 "NOTARY PUBLIC"

ED. MURPHY, SURVEYOR

SURVEY PREPARED FOR: Bush Volunteer Fire Department

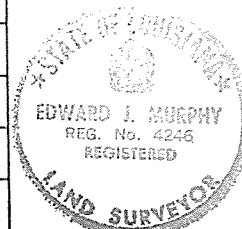
PROPERTY SURVEYED: 1.0 acre located in

Section 42 - T - 5 - S - R - 13 - E

St. Tammany Parish, Louisiana

DATE: August 28, 1978 SCALE: 1" = 60'

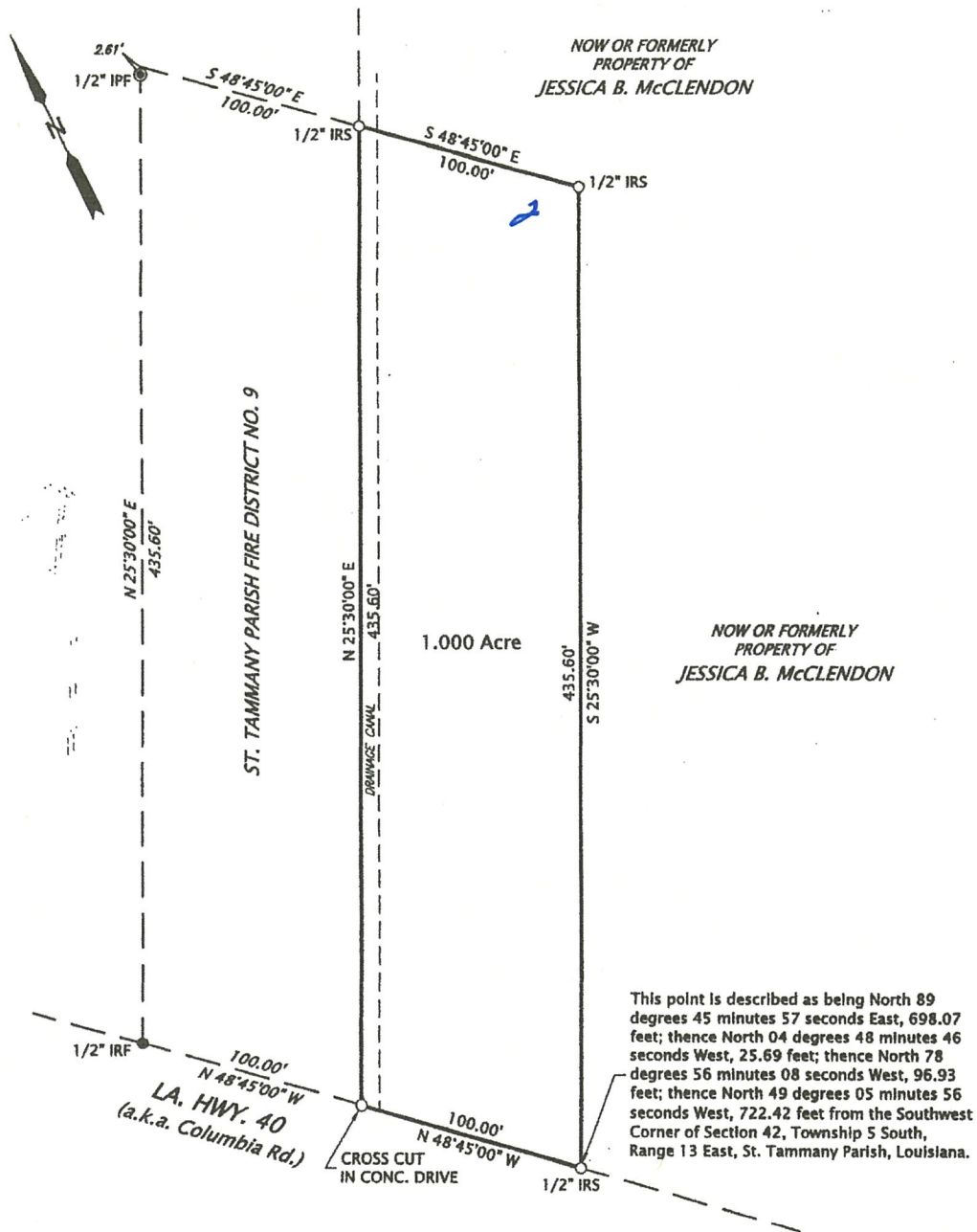
NO:



Lot 2

LEGAL DESCRIPTION:

A 1.000 ACRE PARCEL OF LAND situated in Section 42, Township 5 South, Range 13 East, St. Tammany Parish, Louisiana.



NOTES:

1. This survey is based upon the description furnished by the client. There may be restrictions not shown on this plat that may exist in the public records. There are no visible encroachments existing except where shown hereon. Elevations, if noted, refer to NAVD 1988 datum.
2. Bearings are based on record bearing of property.
3. No underground utilities or conduits are located on this plat.

REFERENCES:

- MAP OF SURVEY FOR JESSICA B. McLENDON BY LAND SURVEYING, INC., DATED 30 APR 2003
- MAP OF SURVEY FOR BUSH VOLUNTEER FIRE DEPARTMENT BY ED MURPHY DATED 20 AUG 1978.

CERTIFIED TO:

ST. TAMMANY PARISH
FIRE DISTRICT NO. 9

TYPE:	BNDY	CPN: 225205 0160 C
DATE:	02 JULY 09	FIRM DATE: 01 MAR 81
DRAWN BY:	GAT	FIRM ZONE: C
CHECKED BY:	GAT	BASE FLOOD: N/A
PLAT NO.	13007	REVISED: ---
JOB NO.	13007	SCALE: 1" = 60'

I hereby certify that this plat is based on a physical survey made on the ground and in accordance with the provisions of a class C survey and the applicable provisions of the Louisiana Code of Civil Procedure, Title 15, Article 1501, and the applicable provisions of the Louisiana Code of Civil Procedure, Title 15, Article 1502. Signature must be in RED and signed by the Underigned for this plat to be certified correct.

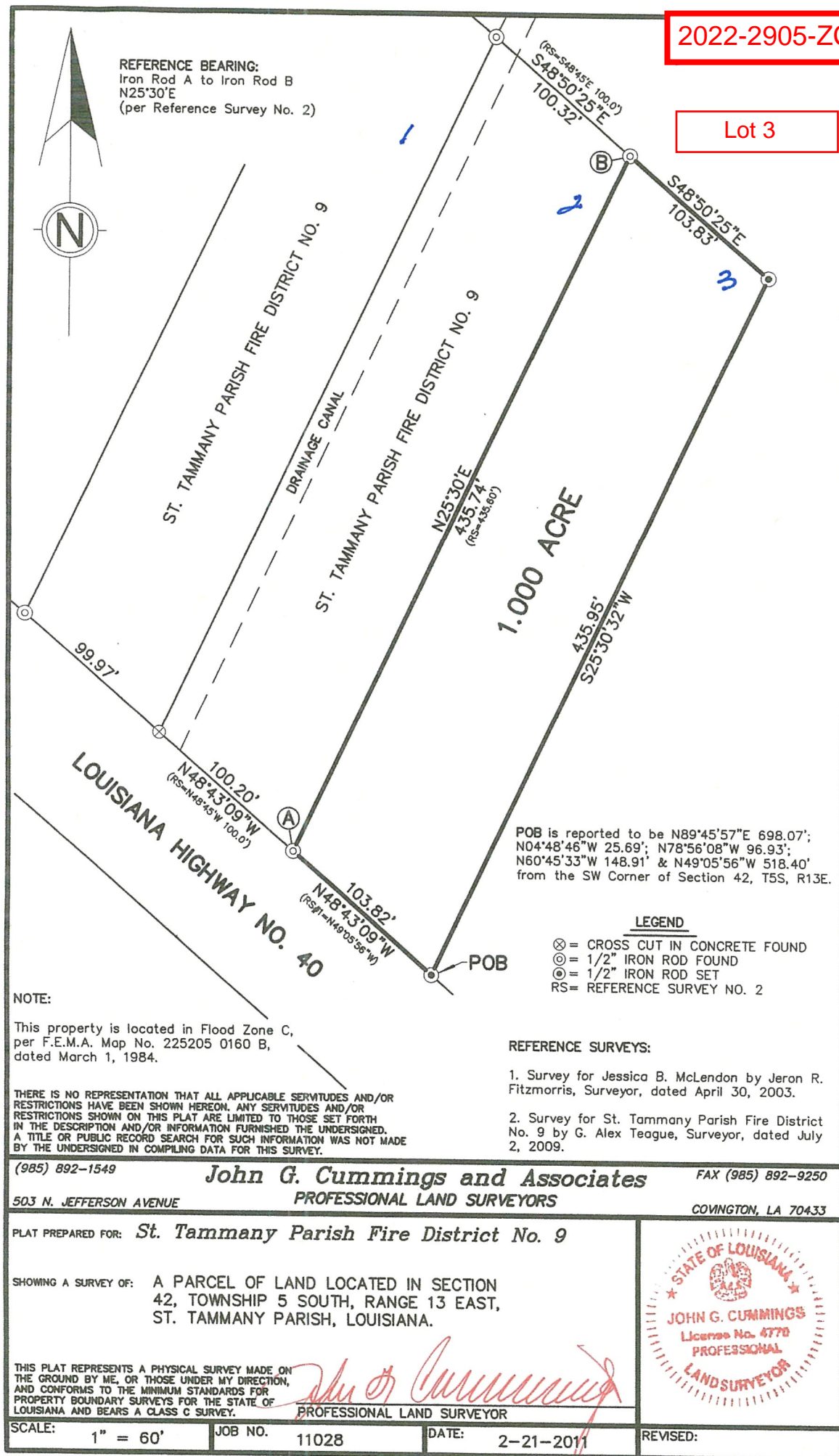
GAYLE TEAGUE
License No. 41412
PROFESSIONAL

WILSON & NOBLES, LLC
68598 AMBROSIA LANE, MANDEVILLE, LOUISIANA 70471
TEL: (985) 626-5651 FAX: (985) 626-5626

LOT 2

2022-2905-ZC

Lot 3



ZONING STAFF REPORT

Date: June 28, 2022
Case No.: 2022-2909-ZC
Posted: June 10, 2022

Meeting Date: July 5, 2022
Determination: Approved, Denied, Postponed, Withdrawn

GENERAL INFORMATION

PETITIONER: Brittany Paige

OWNER: Bryan and Leonard Paige

REQUESTED CHANGE: A-3 Suburban District to A-4 Single-Family Residential District and MHO Manufactured Housing Overlay

LOCATION: Parcel located on the south side of US Highway 190 E, west of Smith Road; Slidell; S13, T9S, R14E, Ward 8, District 14

SIZE: .95 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: US Highway 190E

Road Surface: 2-Lane Asphalt

Condition: Good

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Residential	A-4 Single-Family Residential District
South	Residential	A-3 Suburban District
East	Residential	A-3 Suburban District
West	Undeveloped	HC-2 Highway Commercial District

EXISTING LAND USE:

Existing development: Yes

Multi occupancy development: No

COMPREHENSIVE PLAN:

Commercial - Sales outlets for goods and services. Several levels or forms of commercial structures include: limited or specialty; neighborhood service centers; generous “highway commercial” uses; offices; public uses; planned mixed commercial and residential centers, and the traditional village or town central business district.

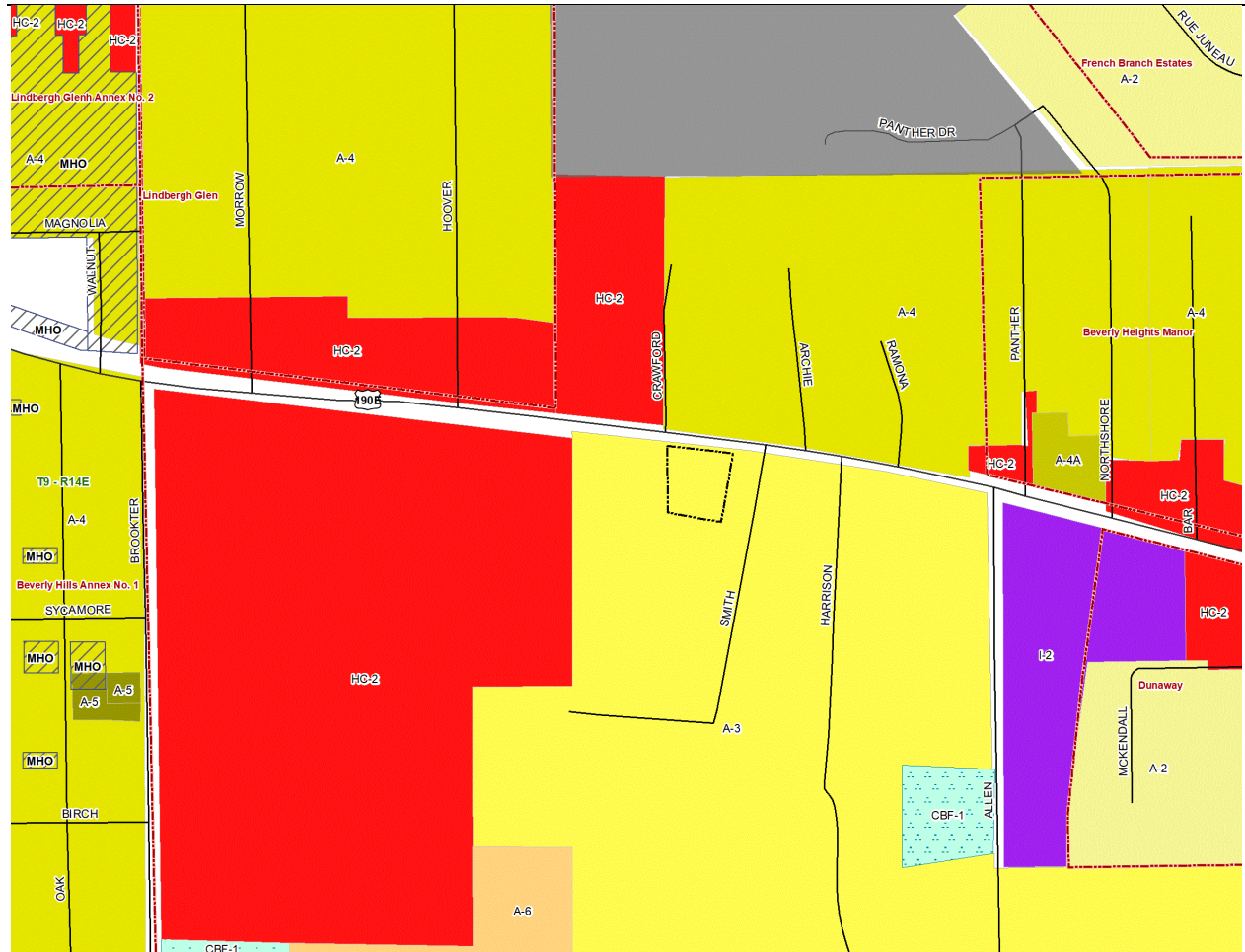
STAFF COMMENTS:

The petitioner is requesting to change the zoning classification from A-3 Suburban District to A-4 Single-Family Residential District and MHO Manufactured Housing Overlay. The site is located on the south side of US Highway 190 E, west of Smith Road; Slidell. The 2025 Future Land Use Plan designates the site to be developed with commercial uses that vary in site design and density.

The subject property sits along Highway 190 which is currently developed with a variety of residential, commercial, and industrial uses and zoning classifications. There is an existing stick-built home on the site which is a compatible density for the site’s existing A-3 Suburban District zoning classification. Because the site is comprised of .95 acres and the A-3 Suburban District zoning allows a density of one unit per half acre, the site must be rezoned to a minimum of A-4 Single-Family Residential to accommodate another home on the property. In addition, the applicant would like this home to be a manufactured home and has also requested the MHO Manufactured Housing Overlay. The objective of the request is to allow for the placement of a manufactured home as a 2nd residence.

ZONING DISTRICT TABLE			
<u>Existing</u> A-3 Suburban District	2 units per acre	One single-family dwelling; Private garages and accessory structures; Guest house under 1,000 sq. ft. when the lot is no less than one acre in area	To provide a single-family residential environment on moderate sized lots which are served by central utility systems and other urban services.
<u>Proposed</u> A-4 Single-Family Residential District	4 units per acre	One single-family dwelling; Private garages and accessory structures; Guest house under 1,000 sq. ft. when the lot is no less than one acre in area	To provide single-family residential dwellings in a setting of moderate urban density.

SIZE: .95 acres



[illegible]

2022-2909-ZC

12

A-4

HOOVER DR

A-2

PANTHER

HC-2

HC-2

CRAWFORD RD

A-4

ARCHIE RD

RAMONA ST

HC-2

T9-R14E

13

HC-2

SMITH RD

SHARRISON RD

A-6

A-3

CBF-1

ALLEN RD

I-2

A-3

A-4

Data provided to DOTD by a commercial vendor

2022-2909-ZC

12

A-4

HOOVER DR

A-2

PANTHER

HC-2

HC-2

CRAWFORD RD

A-4

ARCHIE RD

RAMONA ST

HC-2

T9-R14E

13

HC-2

SMITH RD

SHARRISON RD

A-6

A-3

CBF-1

I-2

ALLEN RD

A-3

A-4

Data provided to DOTD by a commercial vendor

[illegible]

This aerial map displays land parcels with various zoning codes and street names. The map includes parcel boundaries, lot numbers (12, 13), and a scale bar.

Zoning Codes:

- A-4
- HC-2
- T9 - R14E
- A-6
- A-3
- CBF-1
- I-2

Street Names:

- HOOVER DR
- CRAWFORD RD
- ARCHIE RD
- RAMON ST
- SMITH RD
- SHARRISON RD
- ALLEN RD

Other Labels:

- 2022-2909-ZC
- PANTHER
- 12
- 13
- Data provided to DOTD by a commercial vendor

[illegible][illegible][illegible]

2022-2909-ZC

12

A-4

HOOVER DR

A-2

PANTHER

HC-2

HC-2

CRAWFORD RD

A-4

ARCHIE RD

RAMONA ST

HC-2

T9-R14E

13

HC-2

SMITH RD

SHARRISON RD

A-6

A-3

CBF-1

I-2

ALLEN RD

A-3

A-4

Data provided to DOTD by a commercial vendor

2022-2909-ZC

12

A-4

HOOVER DR

A-2

PANTHER

HC-2

HC-2

CRAWFORD RD

A-4

ARCHIE RD

RAMONA ST

HC-2

T9-R14E

13

HC-2

SMITH RD

SHARRISON RD

A-6

A-3

CBF-1

ALLEN RD

I-2

A-3

A-4

Data provided to DOTD by a commercial vendor

2022-2909-ZC

12

A-4

HOOVER DR

A-2

PANTHER

HC-2

HC-2

CRAWFORD RD

A-4

ARCHIE RD

RAMONA ST

HC-2

T9-R14E

13

HC-2

SMITH RD

SHARRISON RD

A-6

A-3

CBF-1

ALLEN RD

I-2

A-3

A-4

Data provided to DOTD by a commercial vendor

[illegible]

2022-2909-ZC

12

A-4

HOOVER DR

A-2

PANTHER

HC-2

HC-2

CRAWFORD RD

A-4

ARCHIE RD

RAMONA ST

HC-2

T9-R14E

13

HC-2

SMITH RD

SHARRISON RD

A-6

A-3

CBF-1

ALLEN RD

I-2

A-3

A-4

Data provided to DOTD by a commercial vendor

2022-2909-ZC

12

A-4

HOOVER DR

A-2

PANTHER

HC-2

HC-2

CRAWFORD RD

A-4

ARCHIE RD

RAMONA ST

HC-2

T9-R14E

13

HC-2

SMITH RD

SHARRISON RD

A-6

A-3

CBF-1

I-2

ALLEN RD

A-3

A-4

Data provided to DOTD by a commercial vendor

2022-2909-ZC

12

A-4

HOOVER DR

A-2

PANTHER

HC-2

HC-2

CRAWFORD RD

A-4

ARCHIE RD

RAMONA ST

HC-2

T9-R14E

13

HC-2

SMITH RD

SHARRISON RD

A-6

A-3

CBF-1

I-2

ALLEN RD

A-3

A-4

Data provided to DOTD by a commercial vendor

[illegible]

2022-2909-ZC

12

A-4

HOOVER DR

A-2

PANTHER

HC-2

HC-2

CRAWFORD RD

A-4

ARCHIE RD

RAMONA ST

HC-2

T9-R14E

13

HC-2

SMITH RD

SHARRISON RD

A-6

A-3

CBF-1

ALLEN RD

I-2

A-3

A-4

Data provided to DOTD by a commercial vendor

2022-2909-ZC

12

A-4

HOOVER DR

A-2

PANTHER

HC-2

HC-2

CRAWFORD RD

A-4

ARCHIE RD

RAMONA ST

HC-2

T9-R14E

13

HC-2

SMITH RD

SHARRISON RD

A-6

A-3

CBF-1

I-2

ALLEN RD

A-3

A-4

Data provided to DOTD by a commercial vendor

[illegible]

2022-2909-ZC

12

A-4

HOOVER DR

A-2

PANTHER

HC-2

HC-2

CRAWFORD RD

A-4

ARCHIE RD

RAMON ST

HC-2

T9-R14E

13

HC-2

SMITH RD

SHARRISON RD

ALLEN RD

A-6

A-3

CBF-1

I-2

14

15

Data provided to DOTD by a commercial vendor

[illegible]

ZONING STAFF REPORT

Date: June 28, 2022
Case No.: 2022-2910-ZC
Posted: June 16, 2022

Meeting Date: July 5, 2022
Determination: Approved, Denied, Postponed, Withdrawn

GENERAL INFORMATION

PETITIONER: Brenda Bertucci

OWNER: Gerald Bertucci

REQUESTED CHANGE: A-1A Suburban District to A-1A Suburban District and MHO Manufactured Housing Overlay

LOCATION: Parcel located on the west side of LA Highway 1083, north of LA Highway 1084, being 76055 LA Highway 1083; Covington; S8, T6S, R12E, Ward 10, District 6

SIZE: 1.89 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: State Highway 1083

Road Surface: 2-Lane Asphalt

Condition: Good

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Residential	A-1A Suburban District
South	Undeveloped	A-1A Suburban District
East	Undeveloped	A-1A Suburban District
West	Residential	A-1A Suburban District

EXISTING LAND USE:

Existing development: Yes

Multi occupancy development: No

COMPREHENSIVE PLAN:

Residential / Agricultural – Agricultural and related or other active or passive uses that use or preserve the countryside, forests and other areas and rural residential uses – widely ranging in dwelling size or type, siting and organization; both of which are generally located some distance from more intense land uses. Permitted uses include single-family residential, and uses ancillary to either of these primary uses. Other uses require a change in zoning.

STAFF COMMENTS:

The petitioner is requesting to change the zoning classification from A-1A Suburban District to A-1A Suburban District and MHO Manufactured Housing Overlay. The site is located on the west side of LA Highway 1083, north of LA Highway 1084, being 76055 LA Highway 1083; Covington. The 2025 Future Land Use Plan designates the site to be developed with single-family residential & agricultural uses that vary in site design and density.

The subject property is flanked on all sides by properties zoned A-1A Suburban District along this specific portion of Highway 1083.

A change in zoning will allow the applicant to either place a new mobile home on the property, or file for an electrical permit to turn the power back on in the existing mobile home.

Case No.: 2022-2910-ZC

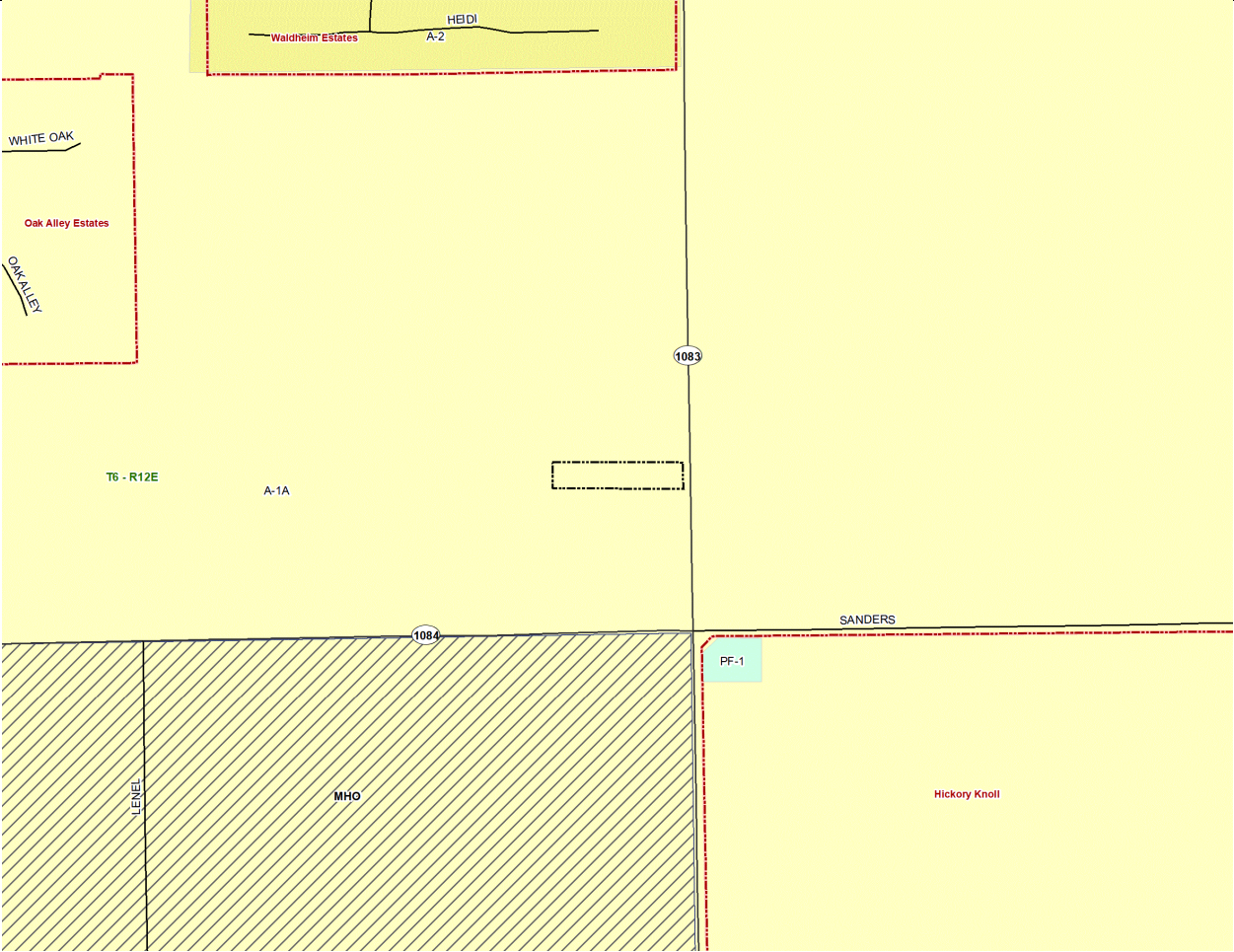
PETITIONER: Brenda Bertucci

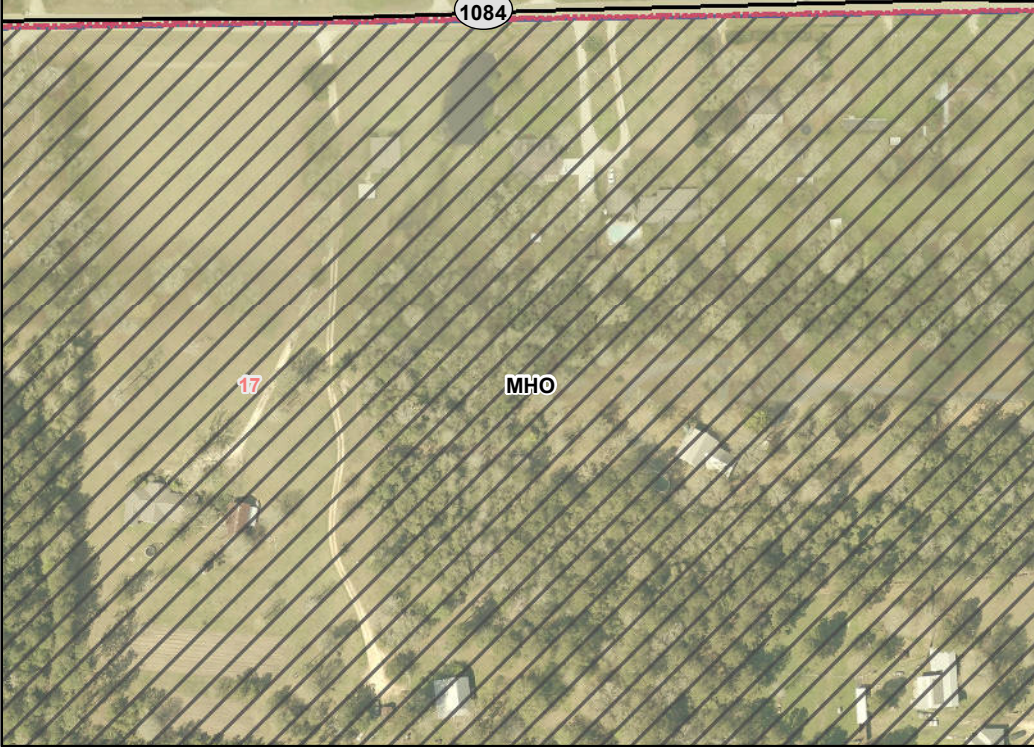
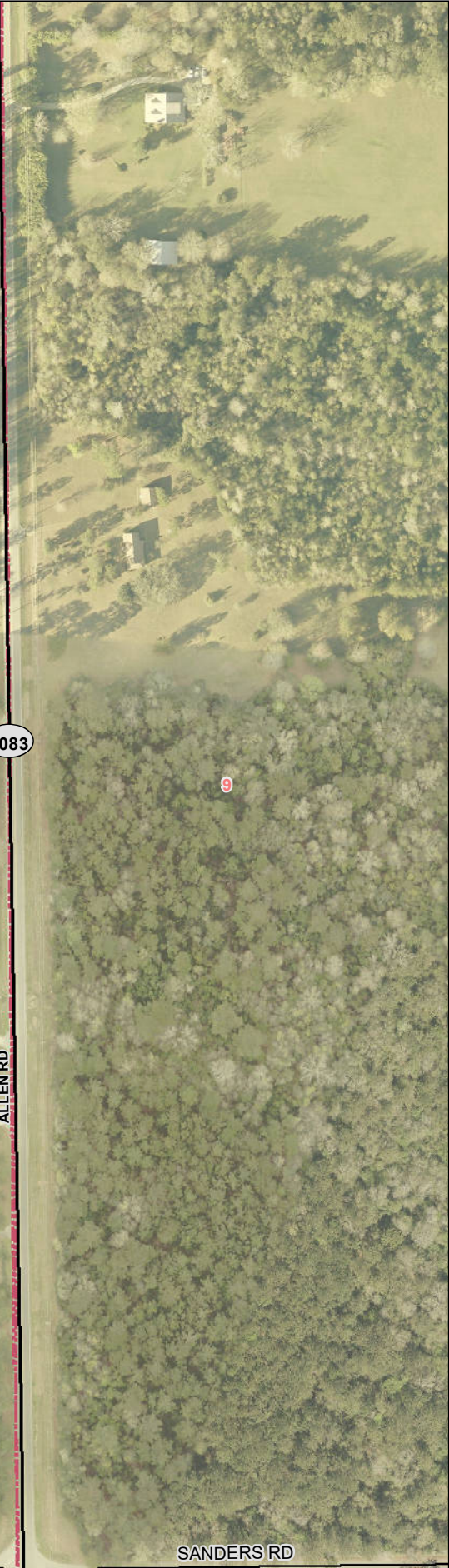
OWNER: Gerald Bertucci

REQUESTED CHANGE: A-1A Suburban District to A-1A Suburban District and MHO Manufactured Housing Overlay

LOCATION: Parcel located on the west side of LA Highway 1083, north of LA Highway 1084, being 76055 LA Highway 1083; Covington; S8, T6S, R12E, Ward 10, District 6

SIZE: 1.89 acres





A-1A

T6 - R12E

8

9

1083

ALLEN RD

SANDERS RD

SANDERS RD

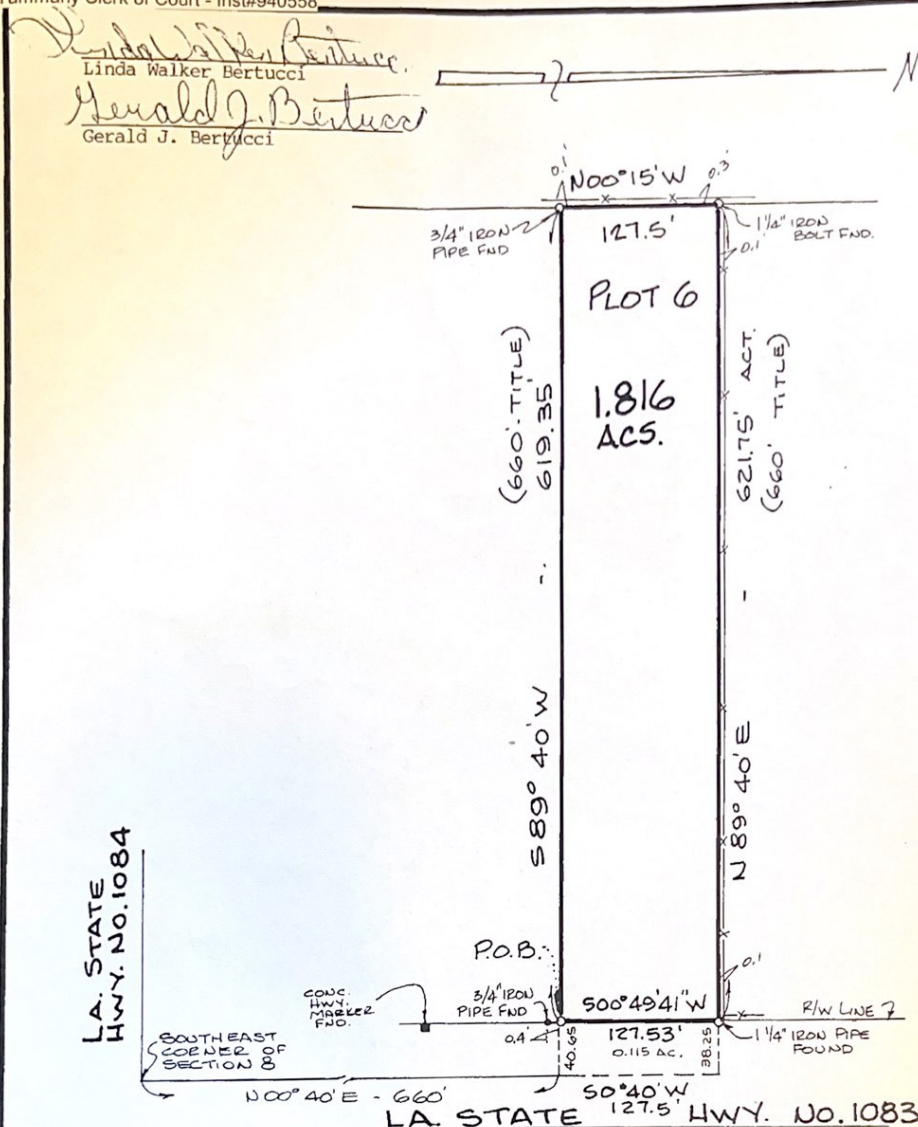
1084

PF-1

17

MHO

16



Note: This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described IS NOT located in a special flood hazard area. It is located in Flood Zone C.

FIRM Panel# 225205 0150 C Rev. 10-17-89

Survey of

A PARCEL OF LAND KNOWN AS PLOT 6, SITUATED IN SECTION 8, TOWNSHIP 6 SOUTH, RANGE 12 EAST ST. TAMMANY PARISH, LOUISIANA

FOR

LINDA WALKER WIFE OF/AND GERALD J. BERTUCCI; BANK OF ST. JOHN; WINTERS TITLE AGENCY, INC. & FIRST AMERICAN TITLE INS. CO.

THE SERVITUDES AND EASEMENTS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SET FORTH IN THE DEEDS AND RECORDS AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND EASEMENTS ARE SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

SURVEYED IN ACCORDANCE WITH THE LOUISIANA MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS FOR A CLASS C SURVEY.

Survey Corrected/True and Corrected by
RANDALL W. BROWN
REG. No. 04586
REGISTERED
Professional Land Surveyor

Randall W. Brown & Associates, Inc.
Professional Land Surveyors
Planners • Consultants

Date: FEB. 23, 1995
Survey No. 95125
Scale: 1" = 100'
Drawn By: *[Signature]*
Revised:

Randall W. Brown, R.O.
Professional Land Surveyor
LA Registration No. 04586

228 W. Causeway App. • Mandeville, LA 70448
(504) 624-5368 • FAX (504) 624-5309

ZONING STAFF REPORT

Date: June 28, 2022
Case No.: 2022-2911-ZC
Posted: June 16, 2022

Meeting Date: July 5, 2022
Determination: Approved, Denied, Postponed, Withdrawn

GENERAL INFORMATION

PETITIONER: John Barry

OWNER: Velvet Pines Developers – John Barry

REQUESTED CHANGE: A-2 Suburban District to HC-2 Highway Commercial District

LOCATION: Parcel located on the west side of Louisiana Highway 1081 and on the east side of Louisiana Highway 437; Covington; S23, T6S, R11E, Ward 3, District 2

SIZE: 2.4 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: State Highway 1081

Road Surface: 2-Lane Asphalt

Condition: Great

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Residential	A-2 Suburban District
South	Residential	A-2 Suburban District and A-3 Suburban District
East	Residential	A-3 Suburban District and A-2 Suburban District
West	Residential	A-2 Suburban District

EXISTING LAND USE:

Existing development: No

Multi occupancy development: No

COMPREHENSIVE PLAN:

Planned Districts - Coordinated development on several parcels, usually at a higher density – but not in all cases - than other parcels in the proximity, planned in an integrated fashion as single units including residential, commercial and possibly other (institutional, recreational, e.g.) uses, as well as the supporting infrastructure and public services they will require (See “Small Area Plans,” below). Generally, such developments improve environmental qualities, preserve natural environments, provide for open space and recreational uses, and for residential as well as commercial uses, and are equipped with central utility systems and efficient and effective internal and external transportation access in multiple modes.

Residential - Areas that provide for dwelling units. Such areas may vary in site design, structure design, and in the density of units per acre. Certain areas such as “village or town residential” may include mixed uses and would have the highest number of units per acre, while “Rural residential” would have the lowest number of units per acre, and may include agricultural or open space uses as well. In between these two types of residential areas would be varying levels of single-family detached dwellings, multi-family attached residential, and planned subdivisions for manufactured homes.

Conservation – Areas designated for uses of land, water, flora and fauna that appear naturally. Such uses may include such activities as extraction or production for commerce; human enjoyment, hunting, fishing, or other recreation within natural landscapes; or preservation of natural systems. The concept of “conservation” includes a private landowner’s understanding of responsibility to wisely manage land resources so that they remain in good condition for future generations (often simple referred to as “good stewardship”); this concept may also include the conservation of energy through efficient transportation options as well as through climate responsive building design, as well as the conservation of historic, scenic, or otherwise serviceable buildings and landscapes.

STAFF COMMENTS:

The petitioner is requesting to change the zoning classification from A-2 Suburban District to HC-2 Highway Commercial District. The site is located on the west side of Louisiana Highway 1081 and on the east side of Louisiana Highway 437; Covington. The 2025 Future Land Use Plan designates the site to be developed as a Planned District with single-family residential development and conservation uses that vary in site design and density.

The subject property is located just north of the intersection of LA Highway 1081 and LA Highway 437 and is flanked by residential uses and undeveloped property zoned A-2 Suburban District to the north, east, and west, and residential uses and undeveloped property zoned A-3 Suburban District to the east and the south.

A change in zoning will allow the applicant to operate any of the following permitted commercial uses:

All uses permitted in the HC-1 district and Banks and financial institutions (greater than 3,000 square feet), Convenience stores (with gas), when the criteria of section 130-2213(51) are met, Drive-in restaurants, Liquor stores, Any private office use that is a permitted use in the NC district over 20,000 square feet, Clubs, lodges, fraternal and religious institutions, Meeting halls (over 20,000 square feet), Veterinary clinics (with outdoor kennels), Parcel post delivery stations, Mini-warehouses, Commercial kennels, Outdoor storage yards that do not occupy an area greater than 50 percent of land area, and are enclosed by an eight-foot opaque perimeter fence, located on the same parcel as, and are accessory to an existing mini-warehouse, not to be located on the street side, Lodging, 100 rooms or less (including apartments, hotels, motels), Automotive repair and service facilities not to exceed 10,000 square feet, Automotive sales not to exceed two acres of display and storage, Outdoor retail sales and storage yards, Portable storage containers use for storage, and Outdoor display area of pre-assembled building, pool and playground equipment.

Case No.: 2022-2911-ZC

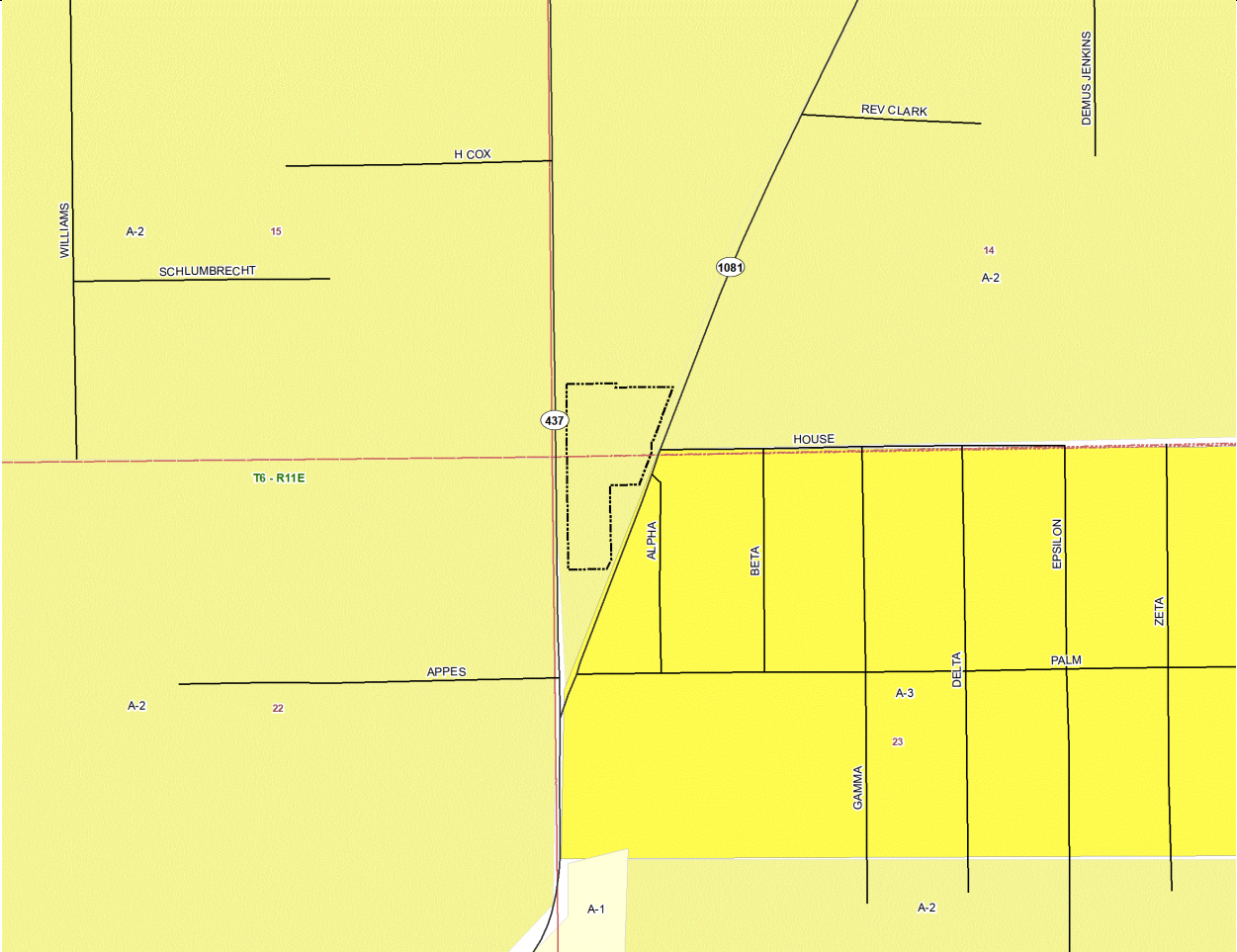
PETITIONER: John Barry

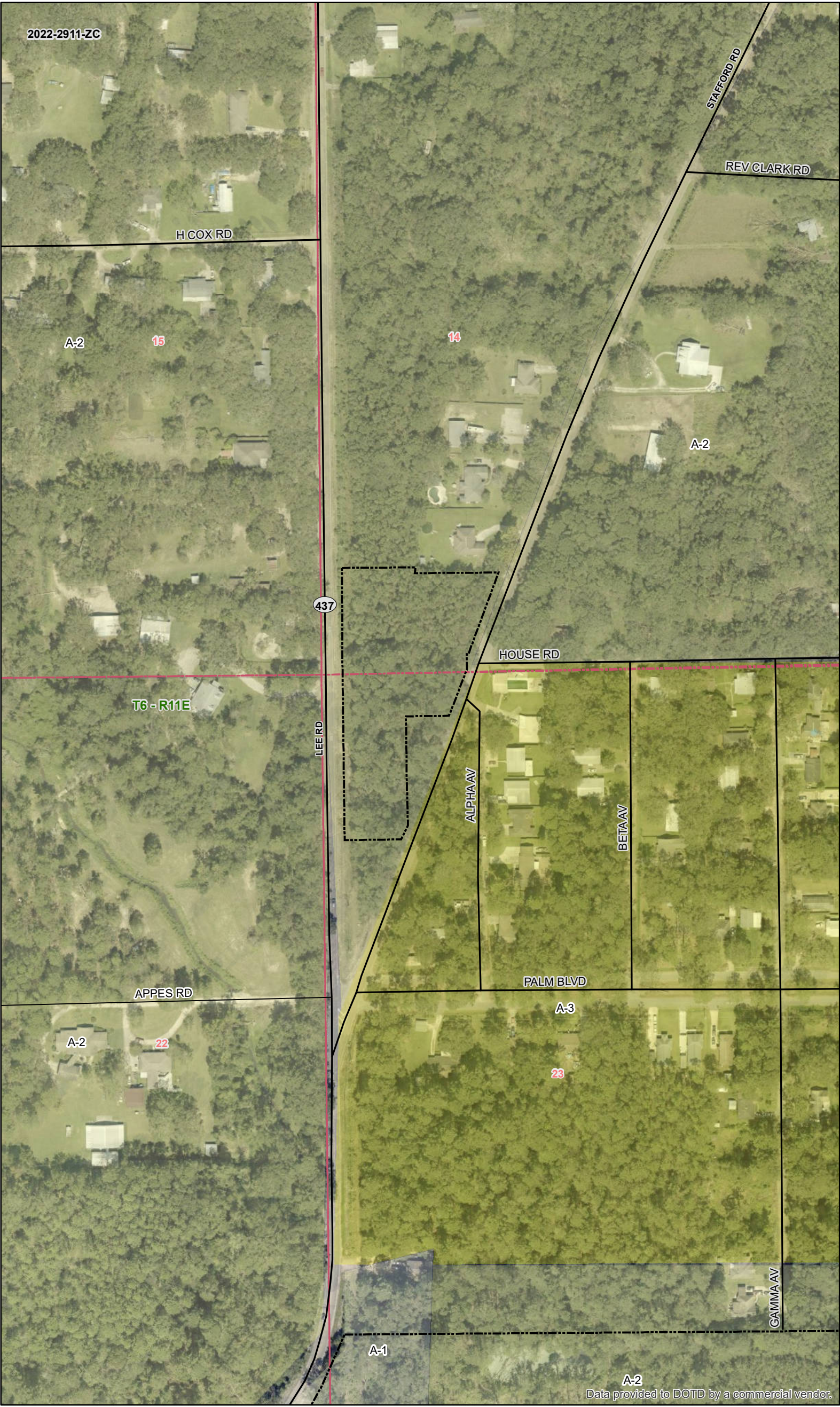
OWNER: Velvet Pines Developers – John Barry

REQUESTED CHANGE: A-2 Suburban District to HC-2 Highway Commercial District

LOCATION: Parcel located on the west side of Louisiana Highway 1081 and on the east side of Louisiana Highway 437; Covington; S23, T6S, R11E, Ward 3, District 2

SIZE: 2.4 acres





STAFFORD RD

REV CLARK RD

H COX RD

A-2

15

14

A-2

437

HOUSE RD

T6 - R11E

LEE RD

ALPHA AV

BETA AV

APPES RD

PALM BLVD

A-2

22

A-3

23

A-1

A-2

Data provided to DOTD by a commercial vendor.

ZONING STAFF REPORT

Date: June 28, 2022
Case No.: 2022-2912-ZC
Posted: June 10, 2022

Meeting Date: July 5, 2022
Determination: Approved, Denied, Postponed, Withdrawn

GENERAL INFORMATION

PETITIONER: St Tammany Parish Government

OWNER: Hassin Muhammad

REQUESTED CHANGE: A-4 Single Family Residential District to A-4 Single Family Residential District and MHO Manufactured Housing Overlay

LOCATION: Parcel located on the south side of Ben Thomas Road, west of Javery Road; Slidell; S34, T8S, R14E, Ward 9, District 14

SIZE: .306 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: Parish **Road Surface:** 2-Lane Asphalt **Condition:** Fair

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Residential	A-4 Single Family Residential
South	Residential	A-4 Single Family Residential
East	Residential	A-4 Single Family Residential & MHO Manufactured Housing Overlay
West	Industrial	I-2 Industrial

EXISTING LAND USE:

Existing development: Yes **Multi occupancy development:** No

COMPREHENSIVE PLAN:

Industrial - The processing, packaging, delivery or production of goods or services, allowed at various types of and levels of activity. Such activities may include governmental, research, archival or medical.

STAFF COMMENTS:

The petitioner is requesting to change the zoning classification from A-4 Single Family Residential District to A-4 Single Family Residential District and MHO Manufactured Housing Overlay. The site is located on the south side of Ben Thomas Road, west of Javery Road; Slidell. The 2025 Future Land Use Plan designates the site to be developed with industrial uses that vary in site design and density.

The subject property is currently flanked by large areas of MHO Manufactured Housing Overlay zoning that encompass a portion of Ben Thomas Road, West Javery and Javery Road (North End Addition to Slidell Subdivision), as well as the area across Ben Thomas Road that contains Bryan Road, Jones Road, Hale Lane, and Grace Ave. All of these parcels were subject to the 2009 Comprehensive Rezoning (Ordinance No. 09-2020) that gave this particular area the MHO Manufactured Housing Overlay. In addition, the subject site abuts lots that contain mobile homes that are subject to legal non-conforming⁴ regulations to the west.

A change in zoning will allow the applicant to apply for a building permit to place a new manufactured home on the site, or apply for an electrical permit to turn the power on the existing manufactured home located on the site.

⁴ Legal Nonconforming means a building or a structure or portion thereof lawfully existing at the time of adoption of the ordinance from which these regulations are derived, which was designed, erected or structurally altered for a use that does not conform to the use regulations of the district in which it is located.

Case No.: 2022-2912-ZC

PETITIONER: St Tammany Parish Government

OWNER: Hassin Muhammad

REQUESTED CHANGE: A-4 Single Family Residential District to A-4 Single Family Residential District and MHO Manufactured Housing Overlay

LOCATION: Parcel located on the south side of Ben Thomas Road, west of Javery Road; Slidell; S34, T8S, R14E, Ward 9, District 14

SIZE: .306 acres





P.O.B. BY OTHERS AND NOT FIELD VERIFIED BY THIS FIRM

SEC. 3
SEC. 34

T8S R14E
T8S R14E
SW COR. OF THE
SE QTR. OF SEC
34, T8S, R14E

REF. SURVEYS
1. ALBERT LOVELL
NO. 93551
DATED 8-13-80
2. I.M. BORDEN
NO. 89933
DATED 2-2-77

PARCEL 2

PARCEL 1

MOBILE HOME

20' SERVITUDE OF PASSAGE

10' DRAINAGE EASEMENT

NORTH

LOVELL EAST 100'

BEN THOMAS ROAD

• FND. 1/2" IRON ROD
• SET 1/2" IRON ROD

ADDRESS:

I CERTIFY THAT THIS PLAT REPRESENTS AN ACTUAL GROUND SURVEY AND THAT TO THE BEST OF MY KNOWLEDGE NO ENCROACHMENTS EXIST EITHER WAY ACROSS ANY OF THE PROPERTY LINES, EXCEPT AS SHOWN.

SURVEYED IN ACCORDANCE WITH THE LOUISIANA "MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" FOR A CLASS 2 SURVEY. BEARINGS ARE BASED ON RECORD BEARINGS UNLESS NOTED OTHERWISE.

ENCUMBRANCES SHOWN HEREON ARE NOT NECESSARILY EXCLUSIVE. ENCUMBRANCES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST, AS SURVEYOR HAS NOT PERFORMED ANY TITLE SEARCH OR ABSTRACT.

E.I.R.M. 4-21-99
725205 0420 E
ZONE A-1 B.E.E. 15'
*Verify prior to Construction with Local Governing Body

SURVEY NO. 1030089-1
DATE: 1-10-03
REVISED: 3-13-01 - DR. ESMT.

J. V. BURKES & ASSOC., INC.
2990 GAUSE BLVD. EAST, STE. B • SLIDELL, LA 70461
985-649-0075 FAX 985-649-0154

DRAWN BY: MP
SCALE: 1" = 40'

SURVEY MAP OF: A PARCEL OF LAND
LOCATED IN: SECTION 34, T8S, R14E
St. TAMMANY PARISH, LOUISIANA
CERTIFIED TO: JONATHAN PATTERSON

JEAN M. BURKES
REG. NO. 4785
REGISTERED
LAND SURVEYOR
LOUISIANA

ZONING STAFF REPORT

Date: June 28, 2022
Case No.: 2022-2913-ZC
Posted: June 16, 2022

Meeting Date: July 5, 2022
Determination: Approved, Denied, Postponed, Withdrawn

GENERAL INFORMATION

PETITIONER: Leanne Jackson

OWNER: Clyde Jackson and Leanne Heisser-Jackson

REQUESTED CHANGE: A-1 Suburban District to A-1 Suburban District and MHO Manufactured Housing Overlay

LOCATION: Parcel located on the south side of Ed Williams Road West, west of Louisiana Highway 450; Folsom; S17, T4S, R10E, Ward 2, District 3

SIZE: 3.865 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: State Highway (LA 450)

Road Surface: 2-Lane Asphalt

Condition: Good

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Residential	A-1 Suburban District
South	Undeveloped	A-2 Suburban District
East	Undeveloped	A-1 Suburban District
West	Undeveloped	A-1 Suburban District

EXISTING LAND USE:

Existing development: No

Multi occupancy development: No

COMPREHENSIVE PLAN:

Residential/ Agricultural - Agricultural and related or other active or passive uses that use or preserve the countryside, forests and other areas and rural residential uses – widely ranging in dwelling size or type, siting and organization; both of which are generally located some distance from more intense land uses. Permitted uses include single-family residential, and uses ancillary to either of these primary uses. Other uses require a change in zoning.

STAFF COMMENTS:

The petitioner is requesting to change the zoning classification from A-1 Suburban District to A-1 Suburban District and MHO Manufactured Housing Overlay. The site is located on the south side of Ed Williams Road West, west of Louisiana Highway 450; Folsom. The 2025 Future Land Use Plan designates the site to be designated for agricultural uses and single-family residential development.

The subject property is currently an undeveloped tract of land. There is a vast portion of MHO Manufactured Housing Overlay zoning that encompasses larger portions of the northern part of the Ed Williams Road. This change was implemented as a part of comprehensive rezoning “North West Study Area” adopted in 2009 and 2010 (Council Ordinance 10-2234).

A change in zoning will allow the applicant to obtain a building permit to place a mobile home on the property.

Case No.: 2022-2913-ZC

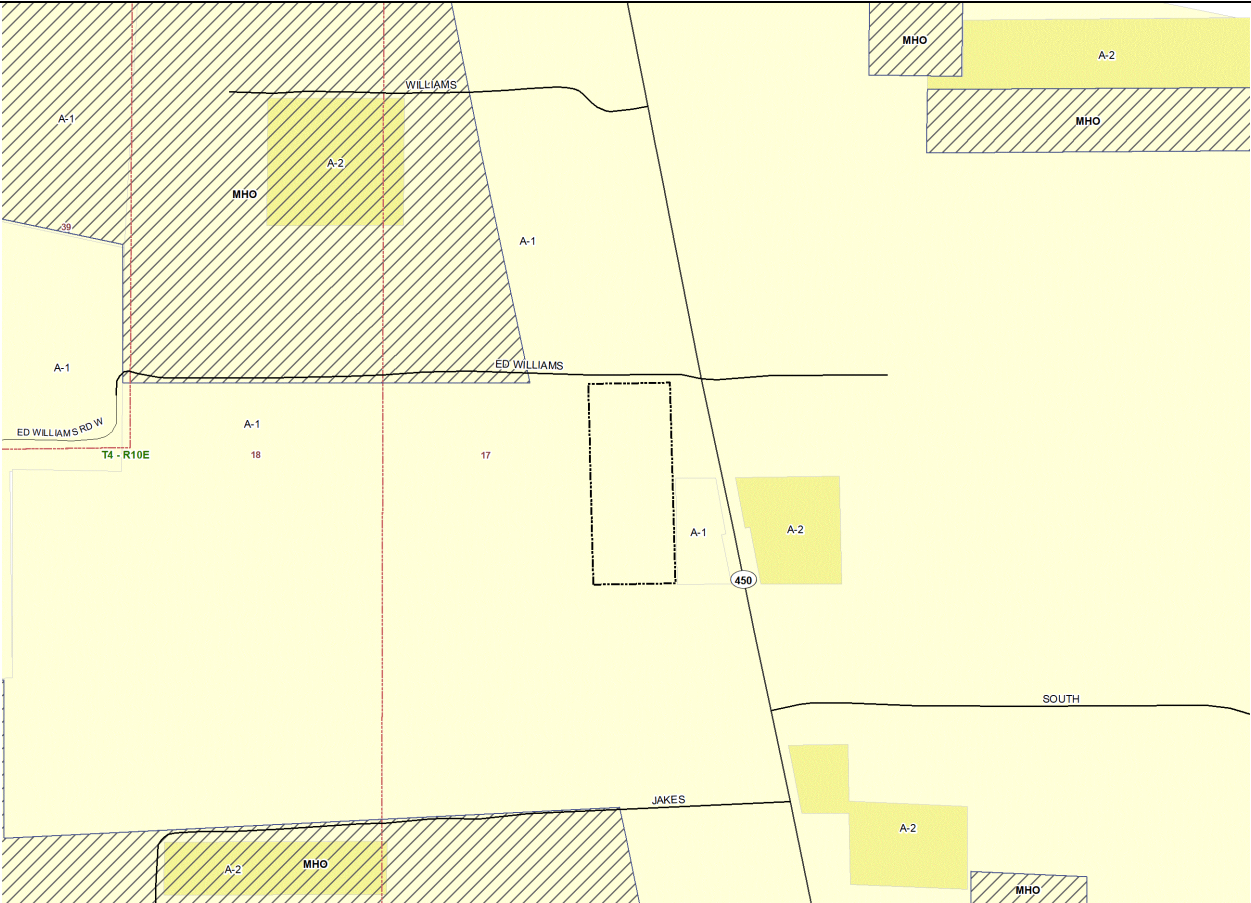
PETITIONER: Leanne Jackson

OWNER: Clyde Jackson and Leanne Heisser-Jackson

REQUESTED CHANGE: A-1 Suburban District to A-1 Suburban District and MHO Manufactured Housing Overlay

LOCATION: Parcel located on the south side of Ed Williams Road West, west of Louisiana Highway 450; Folsom; S17, T4S, R10E, Ward 2, District 3

SIZE: 3.865 acres





A-1 2022-2913-ZC

WILLIAMS RD

MHO

A-2

MHO

MCDUGAL RD

ED WILLIAMS RD W

ED WILLIAMS RD E

18

A-1

T4-R10E

A-1

17

A-1

A-2

450

SOUTH RD

JAKES RD

A-2

A-2
MHO

A-1



SHOWN A SURVEY MADE OF PROPERTY LOCATED IN LOTS 1, 2, & 3, SECTION 17, T-4-S, R-10-E, ST. TAMMANY PARISH, LOUISIANA

LAND SURVEYING LLC
510 N. Columbia Street, Covington, LA 70433
(905) 842-6271 office (905) 240-0355 fax
landsurvey@bellsouth.net email

Revised: 9-18-2017(Lot 1 Not A Part)

SCALE: 1" = 140'

01-12-2017

NUMBER: 17852

Terc3/Clyde.Jackson

ZONING STAFF REPORT

Date: June 28, 2022
Case No.: 2022-2914-ZC
Posted: June 20, 2022

Meeting Date: July 5, 2022
Determination: Approved, Denied, Postponed, Withdrawn

GENERAL INFORMATION

PETITIONER: Robert Beazley

OWNER: St. Michael’s Episcopal Church of Mandeville

REQUESTED CHANGE: A-1 Suburban District and A-2 Suburban District to NC-4 Neighborhood Institutional District

LOCATION: Parcel located on the north side of Sharp Road, west of Parc Place, and east of Westwood Drive; Mandeville; S39, T7S, R11E, Ward 4, District 5

SIZE: 11.96 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: Parish

Road Surface: 2-Lane Asphalt

Condition: Great

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Surrounding Use</u>	<u>Surrounding Zone</u>
North	Residential	A-2 Suburban District
South	Residential	A-3 Suburban District
East	Residential	A-2 Suburban District
West	Residential	A-2 Suburban District and PUD (Brentwood Estates)

EXISTING LAND USE:

Existing development: Yes

Multi occupancy development: Yes

COMPREHENSIVE PLAN:

Residential - Areas that provide for dwelling units. Such areas may vary in site design, structure design, and in the density of units per acre. Certain areas such as “village or town residential” may include mixed uses and would have the highest number of units per acre, while “Rural residential” would have the lowest number of units per acre, and may include agricultural or open space uses as well. In between these two types of residential areas would be varying levels of single-family detached dwellings, multi-family attached residential, and planned subdivisions for manufactured homes.

STAFF COMMENTS:

The petitioner is requesting to change the zoning classification from A-2 Suburban District to NC-4 Neighborhood Institutional District. The site located on the north side of Sharp Road, west of Parc Place, and east of Westwood Drive; Mandeville. The 2025 Future Land Use Plan designates the site to be developed with single-family residential uses that vary in site design and density.

The subject property is currently developed with the St. Michael’s Episcopal Church that is zoned A-2 Suburban District and is considered a legal non-conforming⁵ use. The site is flanked by residential development zoned A-2 Suburban District and PUD Planned Unit Development Overlay to the north and west, residential development zoned A-2 Suburban District to the east, and residential development zoned A-3 Suburban District to the south. The purpose of the existing A-1 and A-2 Suburban Districts is to provide for single-family residential environments on large-acre + lot sizes. The purpose of the requested NC-4 Neighborhood Institutional District is to provide for the location of uses which provide a service at the neighborhood level but could result in a large influx of customers or clientele at a specific time.

Permitted uses within the NC-4 Neighborhood Institutional District include the following: All uses permitted in the NC-1, NC-2, and NC-3 Districts; Dance studios, Music studios, Aerobic/weight loss studios, Educational learning centers, Churches, temples, synagogues, and mosques, Religious educational facilities, Clubs and lodges, Fraternal and religious institutions, Child day care centers, and Nursery schools.

A change in zoning will allow the applicant to obtain building permits to expand their facility that would be deemed appropriate under the NC-4 Zoning classification. If approved, any new structures under the NC-4 zoning classification will be required to comply with all commercial landscaping, parking, and drainage regulations.

⁵ Legal Nonconforming means a building or a structure or portion thereof lawfully existing at the time of adoption of the ordinance from which these regulations are derived, which was designed, erected or structurally altered for a use that does not conform to the use regulations of the district in which it is located.

Case No.: 2022-2914-ZC

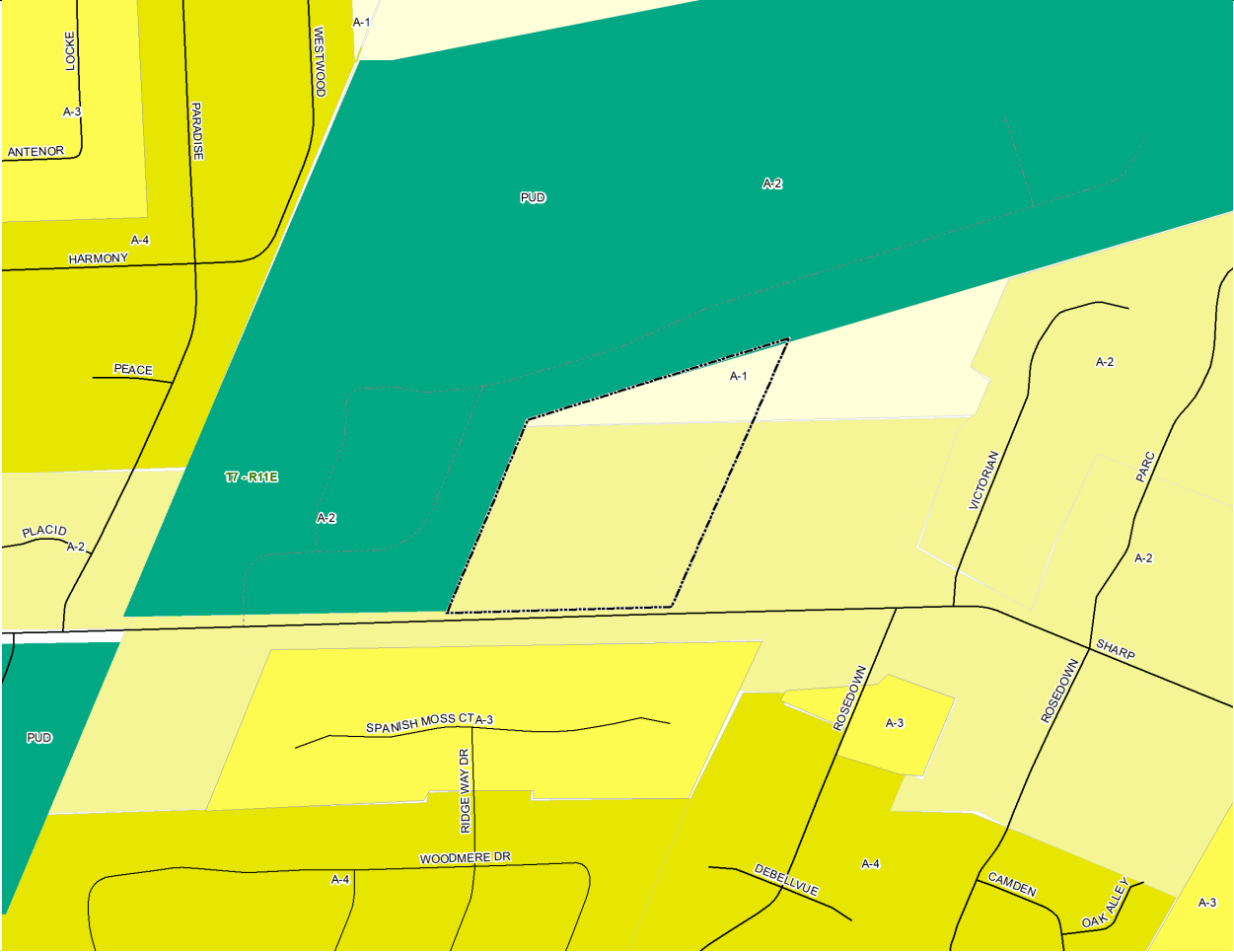
PETITIONER: Robert Beazley

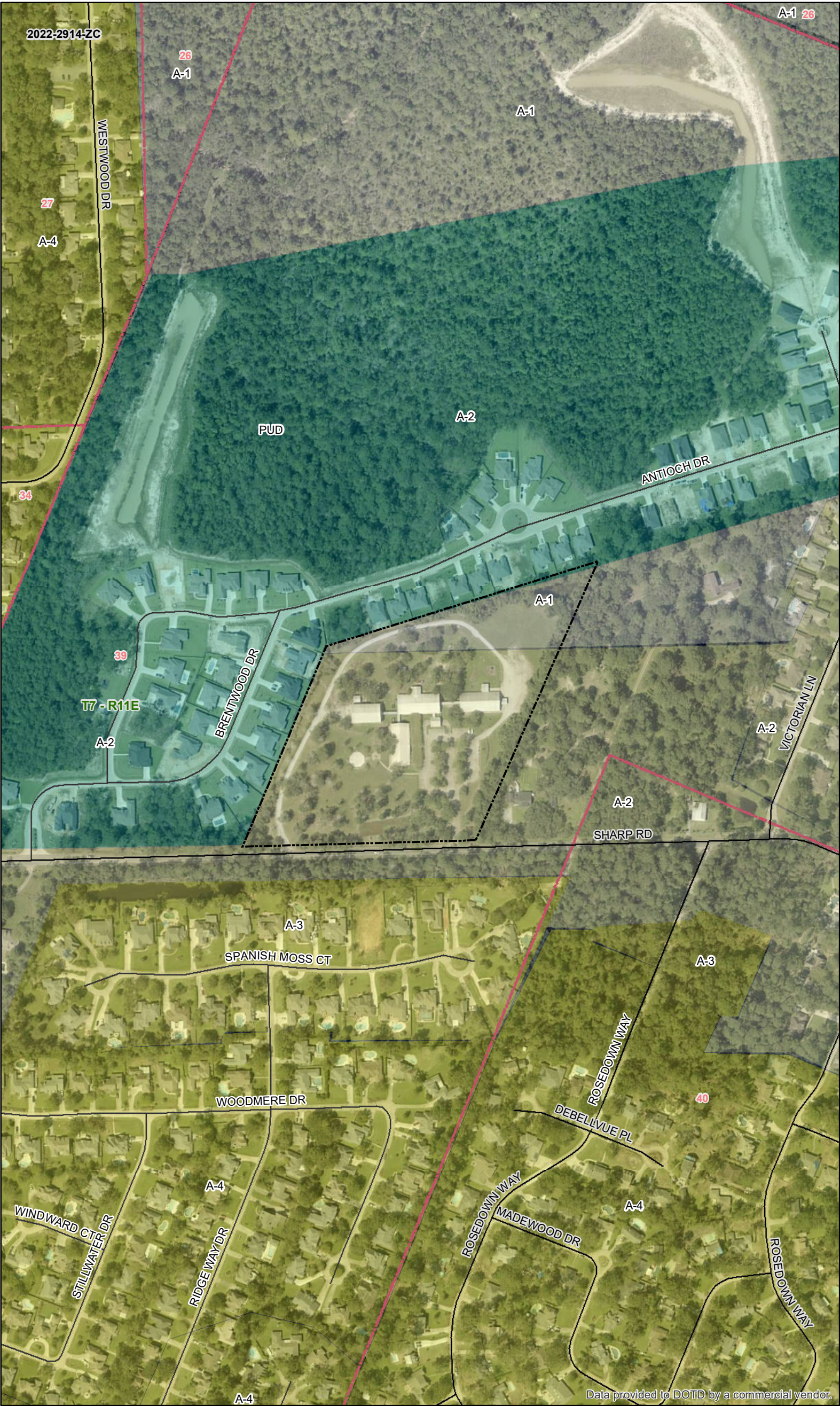
OWNER: St. Michael’s Episcopal Church of Mandeville

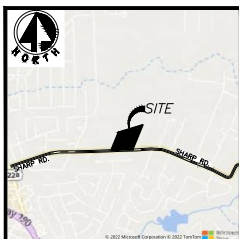
REQUESTED CHANGE: A-1 (Suburban District) and A-2 (Suburban District) to NC-4 (Neighborhood Institutional District)

LOCATION: Parcel located on the north side of Sharp Road, west of Parc Place, and east of Westwood Drive; Mandeville; S39, T7S, R11E, Ward 4, District 5

SIZE: 11.96 acres







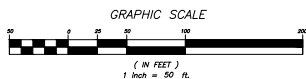
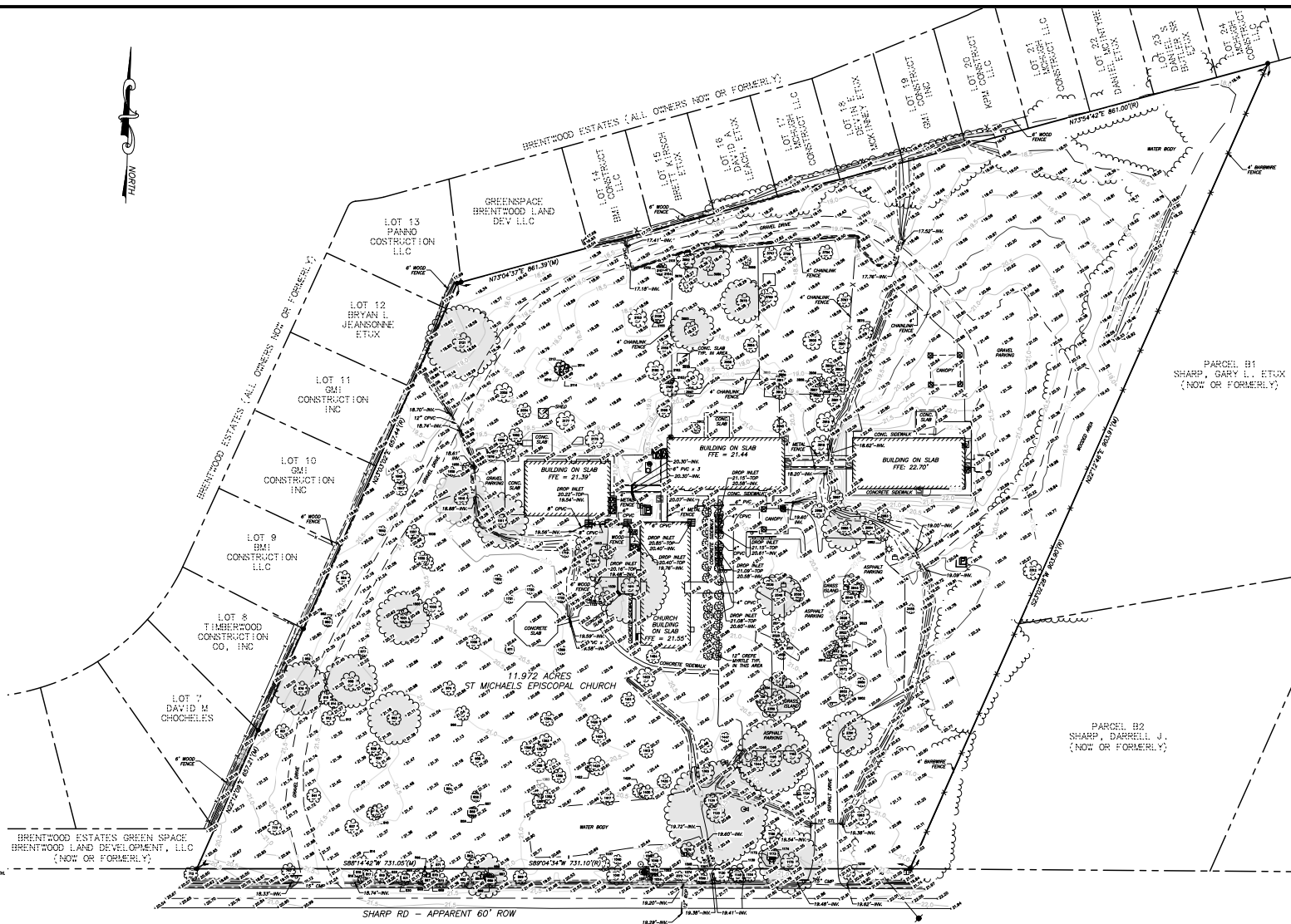
VICINITY MAP 1" = 2000'

LEGEND (N.T.S.)

● FOUND 1/2" WOOD POLE (ON AS SHOWN)	○ SET 1/2" WOOD POLE (ON AS SHOWN)
✕ AIR CONDITION UNIT	□ SEWER CLEANOUT
✕ CANNOPY SUPPORT	□ SEWER MANHOLE TOP
● ELECTRIC BOX	— SIDEWALK
● ELECTRIC METER	○ SPRINKLER
● FIRE HYDRANT	□ TELEPHONE PEDESTAL
● GUY ANCHOR	● 6"-12" DIA. TREE
● GRATE INLET	● 18"-24" DIA. TREE
● LIGHT POLE	● 30"-48" DIA. TREE
● MAILBOX	○ WATER METER
○ POST	○ WATER VALVE
● POWER POLE	□ WATER WELL
● POWER VAULT	

---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	FENCE LINE
---	ROAD CENTERLINE
---	ROAD EDGE
---	STORM DRAINAGE PIPE
---	UNDERGROUND GAS LINE
---	ORANGE EDGE
---	CONCRETE EDGE
---	MAJOR CONTOUR
---	MAJOR CONTOUR
---	BUILDING EDGE
---	SEWER CENTERLINE
---	DITCH LINE
---	DITCH TOP
---	CHIMNEY POWER LINE
---	NEW BARR
---	ROOF CHIMNEY

(N) MEASURED BEARING AND/OR DISTANCE
(V) RECORD BEARING AND/OR DISTANCE



MAP SHOWING BOUNDARY & TOPOGRAPHIC SURVEY OF
A 11.97 ACRES TRACT
ST. MICHAEL'S EPISCOPAL CHURCH
4499 SHARP RD.
LOCATED IN
SECTION 39, T-7-S, R-11-E
GREENSBURG LAND DISTRICT,
CITY OF MANDEVILLE
ST. TAMMANY PARISH, LA
FOR
GREENLEAF LAWSON ARCHITECTS



CERTIFICATION:
I CERTIFY THAT I MADE THE SURVEY SHOWN HEREON, THAT IT IS IN ACCORDANCE WITH THE
FIELD NOTES OF SAID SURVEY, AND THAT THERE ARE NO SIGNIFICANT VISIBLE ENCROACHMENTS
EITHER WAY ACROSS PROPERTY LINES, UNLESS OTHERWISE NOTED.

TOB O. A. HARRIS, P.L.S.
LA LICENSE NO. 5049

05/23/22
DATE

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GENERAL NOTES:

THIS SURVEY IS SUBJECT TO THOSE FACTS WHICH MUST BE DISCLOSED BY A COMPLETE TITLE SEARCH.
DISCLOSURE DOES NOT EXTEND TO ANY OTHER PARTY WHO IS THE PARTY TO BE CONSIDERED OR
DISCLOSED WITHOUT THE WRITTEN PERMISSION OF THE LAND SURVEYOR.

THE PROPERTY SHOWN HEREON MAY BE SUBJECT TO PRE-EXISTING ENCUMBRANCES SUCH AS
EASEMENTS, RIGHTS OF WAY, BUILDING SETBACKS, AND OTHER CONSTRAINTS AND/OR RESTRICTIONS
WHICH COULD BE DISCLOSED BY A COMPLETE TITLE SEARCH.

THE WORD "TYPICAL" OR "TYPICALITY" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF
PROFESSIONAL OPINION REGARDING THE FACTS OF THE SURVEY AND DOES NOT CONSTITUTE A
WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.

FENCE LOCATIONS SHOWN ON THIS SURVEY ARE FOR INFORMATION ONLY; NO DETERMINATION
REGARDING POSSESSION OR RIGHTS IS MADE BY THE LAND SURVEYOR.

THIS SURVEY IS MADE IN ACCORDANCE WITH THE STANDARDS OF PRACTICE AS ESTABLISHED BY LA.
THE SURVEYOR HAS BEEN ADVISED BY THE LAND SURVEYOR THAT THE FOLLOWING TO CORRECT SAID DATA TO
CONFORM TO THE STANDARDS OF PRACTICE AS ESTABLISHED BY LA.

MEASUREMENTS OF DISTANCES AND ANGLES WERE NOT PERFORMED NOR WERE WITHIN THE
SCOPE OF THIS SURVEY.

ADJACENT PROPERTY LINES ARE SHOWN FOR INFORMATION ONLY. THE FOLLOWING TO CORRECT SAID DATA TO
CONFORM TO THE STANDARDS OF PRACTICE AS ESTABLISHED BY LA.

FLOOD ZONE INFORMATION:
ACCORDING TO FEMA FLOOD INSURANCE RATE MAP NO. 2208000000, DATED AUGUST 16, 1996,
THE PROPERTY IS LOCATED IN ST. TAMMANY PARISH UNDEVELOPED AREA.

BASED ON 100-YEAR FLOOD BASE FLOOD ELEVATION AND FLOOD WINDING FACTORS DETERMINED
FOR THE 100-YEAR FLOOD ELEVATION, THE SUBJECT TO CORRECT AND SHOULD BE REVIEWED WITH
THE ENGINEERING DIVISION OF THE LOCAL FLOOD PLAN MANAGER PRIOR TO ANY CONSTRUCTION.

REFERENCE MAPS:
1. GREENSBURG TRACT OF 11.97 ACRES IN SECTION 39-T-7-S-R-11-E ST. TAMMANY PARISH BY
KELLY J. MORALES, REG. NO. 4443, DATED OCTOBER 16, 1996.

BASE MEASUREMENT: LOUISIANA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (1702), DERIVED
FROM LSU CAG REAL TIME NETWORK, NAD 83 (EPOCH 2010).

VERTICAL DATUM: NAVD83 (U.S. SURVEY FEET)
ELEVATIONS DERIVED UTILIZING LSU CAG REAL TIME NETWORK, NAD83 (EPOCH 2010), GEOD10A.

BOUNDARY & TOPOGRAPHIC SURVEY OF 11.97 ACRES - ST. MICHAEL'S EPISCOPAL CHURCH IN ST. TAMMANY PARISH FOR GREENLEAF LAWSON ARCHITECTS		SHEET NUMBER	1 of 2
PROJECT	221847	DATE	05/23/22
CLIENT	ST. MICHAEL'S EPISCOPAL CHURCH	SCALE	1" = 100'
DRAWN	TOB O. A. HARRIS	DATE	05/23/22
CHECKED	TOB O. A. HARRIS	DATE	05/23/22
APPROVED	TOB O. A. HARRIS	DATE	05/23/22
REVISION			
NO.	DATE	DESCRIPTION	

PLAN REVIEW STAFF REPORT

Date: May 31, 2022
Case No.: 2022-2871-PR
Posted: June 24, 2022

Meeting Date: June 7, 2022
Determination: Postponed

GENERAL INFORMATION

PETITIONER: Roch B. Hontas
OWNER: Satnoh, LLC
Proposed Use: St. Tammany Bone and Joint Clinic: Addition to Existing Building
Previous/Current Use: St. Tammany Bone and Joint Clinic
ZONING CLASSIFICATION: HC-2 Highway Commercial District
CORRIDOR: Hwy 21 Planned Corridor Overlay
LOCATION: Parcel located on the north side of Louisiana Highway 21, being 71211 Louisiana Highway 21; S46, T7S, R11E; Ward 1, District 1
SQ. FT. OF USE: Existing: 7,488 sq. ft. Proposed addition 6,391 sq. ft
GROSS AREA LOT SIZE: 1.529 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: State

Road Surface: 5 Lane Asphalt

Condition: Good

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

Direction	Surrounding Use	Surrounding Zone
North	Residential	A-4 Single-Family Residential District
South	Offices and Undeveloped Property	HC-2 Highway Commercial District and Covington City Limits
East	Commercial	HC-2 Highway Commercial District
West	Undeveloped	HC-2 Highway Commercial District

EXISTING LAND USE:

Existing development: Yes

Multi occupancy development: No

SITE INFORMATION:

The subject property is located on the north side of Louisiana Highway 21, being 71211 Louisiana Highway 21, Covington. The site is currently developed with an existing 7,488 sq. ft. medical office building known as the St. Tammany Bone and Joint Clinic and is within the Highway 21 Planned Corridor District. The petitioner is requesting to add a 6,391 sq. ft. to the existing building, which is under the allowable max building size for the property’s HC-2 Highway Commercial zoning designation.

STAFF RECOMMENDATIONS:

The applicant has submitted a site paving, grading, and drainage plan, a tree survey, and a landscape plan which provides the limits of work for the proposed addition. Staff has reviewed the application and provided the applicant with a markup summary that notes several potential conflicts subject to the Planned Corridor Regulations including the following:

1. Per Sec. 130-1814(1)(e)(1)(iii)(B), “Planting areas shall be a minimum of ten percent of the paved parking area”. The applicant must provide information detailing the planting area percentage within the paved parking area.
2. The applicant must provide a revised grading, paving, and drainage plan to show cross sections that ensure no more than 1” of fill is added within the required buffers or apply to the Board of Adjustments for a required variance.
3. The applicant must coordinate utilities, civil, and landscape plans to avoid conflicts with required landscape island along the northwest portion of the plan.
4. Per Sec. 130-1814(1)(e)(2), “The placement of barrier curbs or wheel stops to protect landscape areas from vehicular damage shall be required”. The applicant must provide curbing detail consistent with Sec. 130-1979(b)(2) which states “the interior parking landscape areas shall be curbed with permanently anchored material at least six inches in height. Curb material may be concrete, natural stone, railroad ties, or landscape timbers”. The applicant must provide Sheet C103 that plan C101 refers to.
5. Revise the provided drainage plan and hydrological calculations to address the comments and markups sent on 6/28/2022.
6. The applicant must revise the tree survey to clarify that no live oaks or cypress exist outside of the buffers on site.

Staff recommends postponement of the project subject to all applicable staff comments in order to provide the applicant time to work with staff to review and revise inconsistencies with the site, landscape, and paving, grading, and drainage plan.

Informational Items:

1. Prior to grading, construction or other land disturbing activity, protective barriers shall be installed. Barriers shall include, but not be limited to, temporary fencing. This fencing shall be constructed from any highly visible material substantial enough to protect the roots, trunk and crown of the trees, such as silt fencing, orange safety fencing and wire fencing.
2. The applicant must provide a LADOTD driveway permit or written verification that a driveway permit is not required at the permitting phase.
3. The applicant must contact applicable utility companies to inquire about capacity and or cost of service to accommodate the proposed addition. If capacity is unavailable, the applicant must contact LDH to inquire about sewer and water expansions/updates.
4. An STP Stormwater Agreement is required to be completed by the owner or contractor per Sec. 115-106.
5. The property owner shall be responsible for the maintenance and the replacement of the required plant materials.
6. During construction, planting or open ground areas surrounding preserved trees shall be wired off with a properly flagged, reinforced & rolled wire mesh.

NOTE TO PETITIONER

There is a 10-day appeals period following the Zoning Commission decision. If the request is approved, permits will not be issued until this 10-day period has elapsed. The petitioner shall have one year to obtain the appropriate building permits or occupy the site from the date of approval of the St. Tammany Parish Zoning Commission, unless otherwise stipulated by the St. Tammany Parish Zoning Commission.

Case No.: 2022-2871-PR

PETITIONER: Roch B. Hontas

OWNER: Satnoh, LLC

Proposed Use: St. Tammany Bone and Joint Clinic: Addition to Existing Building

Previous/Current Use: St. Tammany Bone and Joint Clinic

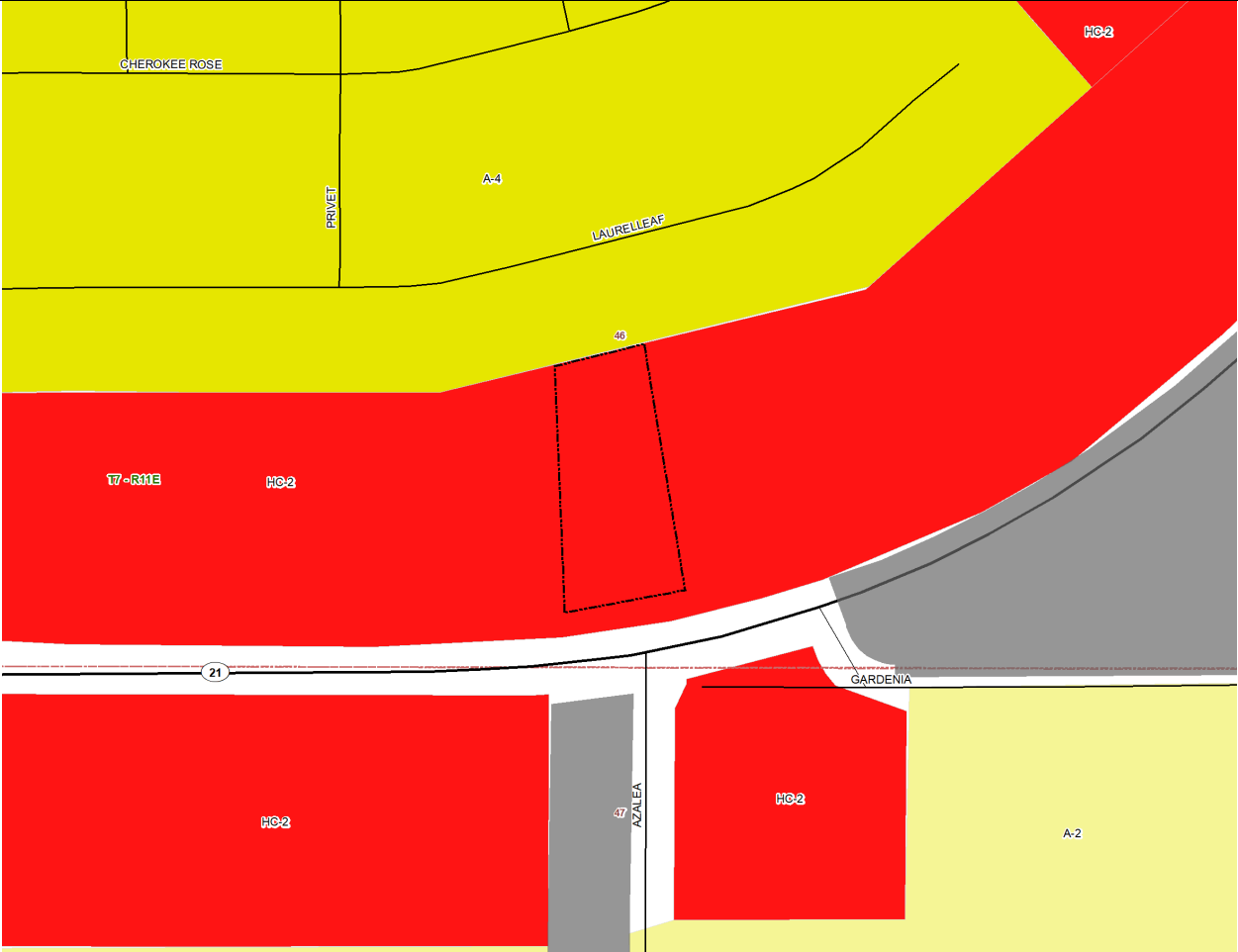
ZONING CLASSIFICATION: HC-2 Highway Commercial and Entertainment Overlay

CORRIDOR: Highway 21 Planned Corridor Overlay

LOCATION: Parcel located on the north side of Louisiana Highway 21, being 71211 Louisiana Highway 21; S46, T7S, R11E; Ward 1, District 1

SQ. FT. OF USE: Existing: 7,488 sq. ft. Proposed addition 6,391 sq. ft

GROSS AREA LOT SIZE: 1.529 acres



2022-2871-PR

A-3

PRIMROSE LN

PRIVET PL

HC-2

STARBRUSH CIR

CHEROKEE ROSE LN

A-4

46

LAURELLEAF LN

HC-2

T7 - R1E

S TYLER ST

21

GARDENIA DR

HC-2

NAZALEA DR

HC-2

47

A-2

N DOGWOOD DR

OPAQUE FENCE
SCALE: N.T.S.

2022-2871-PR

PLANNING

ZONED - HC-2

FLOOD ZONE

ZONE "X"

BUILDING ELEVATION

BASE FLOOD ELEVATION = N/A
FINISHED FLOOR ELEVATION = 25.5

PARKING CALCS

REQUIRED PARKING FOR MEDICAL OFFICE BUILDING =
5 PER 1,000 S.F. FLOOR AREA
AREAS = 7,488 S.F. + 6398 S.F. = 13,886 S.F.
13,886 / 1,000 = 13.886 X 5 = 69 SPACES REQUIRED
75 PROVIDED


SITE LIGHTING

WALL OR POLE MOUNTED EXTERIOR LIGHTING SHALL HAVE EITHER A FULL CUT-OFF FIXTURE OR A FULLY SHIELDED FIXTURE. NO DIRECT LIGHTING OR GLARE BE CAST BEYOND THE PROPERTY LINE. THE INTENSITY OF SUCH LIGHTING SHALL NOT EXCEED ONE FOOT CANDLE AS MEASURED AT THE ABUTTING PROPERTY LINE.


S I T E L E G E N D

 - UTILITY POLE

— - POLE MOUNTED LIGHT

 - CATCH BASIN

← - DIRECTION OF TRAFFIC FLOW

 - LANDSCAPING

x 21.6' - EXISTING ELEVATIONS

**TREE & STUMP REMOVAL
NOTES:**

1. GENERAL CONTRACTOR IS TO HIRE A LICENSED SUB-CONTRACTOR TO REMOVE EXISTING TREES. THIS SUB-CONTRACTOR SHALL FURNISH ALL LABOR, SUPERVISION, SUPPLIES, TOOLS, EQUIPMENT AND OTHER MEANS NECESSARY FOR PERFORMING AND COMPLETING THE WORK.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT LOUISIANA ONE CALL TO ENSURE THERE ARE NO UTILITIES IN THE AREA(S) WHERE TREES ARE TO BE REMOVED.
3. CONTRACTOR SHALL PROTECT ANY EXISTING FENCE, SIDEWALK, CURB, STREETS, MANHOLE COVERS AND CATCH BASINS NOT SHOWN ON THESE PLANS FOR REMOVAL.
4. CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ALL DEBRIS FROM TREE REMOVAL OPERATIONS WITHIN TWENTY-FOUR (24) HOURS AFTER DEBRIS HAS BEEN PLACED. NO CITY OR PARISH PROPERTY WILL BE DESIGNATED AS LOG STORAGE AREAS. ADDITIONALLY, NO DEBRIS OR LOGS SHALL BE GIVEN TO RESIDENTS. UNDER NO CIRCUMSTANCE SHALL DEBRIS BE LEFT ON THE SIDE OF THE STREET OVER WEEKENDS OR HOLIDAYS.
5. CONTRACTOR SHALL REMOVE ALL TREE STUMPS AND BUTTRESS ROOTS TO A POINT THIRTY SIX (36") INCHES BELOW ADJACENT GROUND LEVEL. THE CONTRACTOR SHALL REMOVE ALL SURFACE AND ADJACENT SUBSURFACE ROOTS AS MAY BE NECESSARY TO ELIMINATE 'HUMPS' OR MOUNDS IN THE AREA.
6. CONTRACTOR SHALL CLEANUP JOB SITE AND REMOVE ALL ASSOCIATED DEBRIS USED IN GRINDING (REMOVAL) OF TREE STUMPS WITHIN TWENTY-FOUR (24) HOURS OF COMPLETION OF GRINDING.
7. THE GENERAL CONTRACTOR SHALL BACKFILL THESE HOLES.
8. CONTRACTOR SHALL WARRANT WORK AGAINST SUCKER GROWTH FOR A PERIOD OF ONE (1) YEAR.

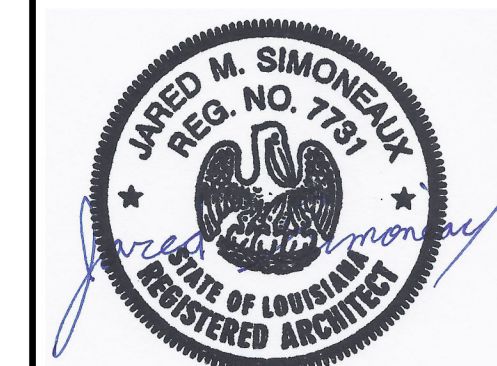
DAMMON
ENGINEERING, INC.

LOUISIANA & MISSISSIPPI

Chief Engineer: Brian Mistic, PE
554 Old Spanish Trail
Stidell, LA 70458
www.dammonengineering.com
info@dammonengineering.com
PH: 985.649.5832

[illegible]

SEAL



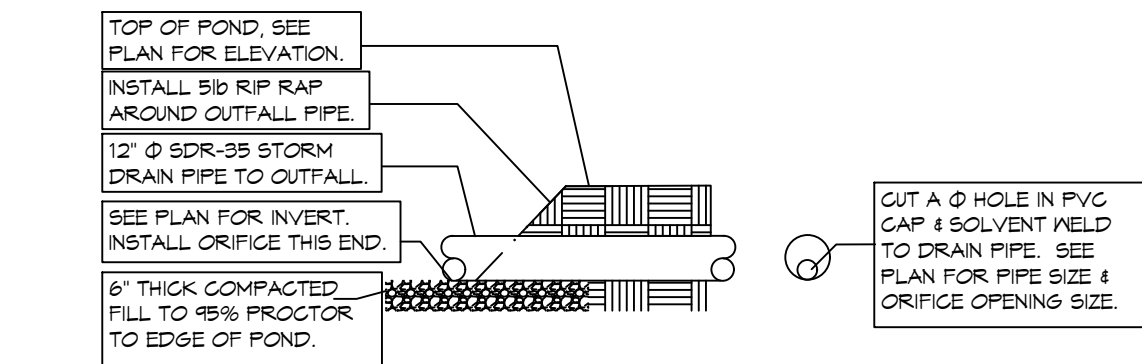
NEW ADDITION

SHEET TITLE:
SITE PLAN

DRAWING NUMBER:

C101

SHEET No: 3 of 19

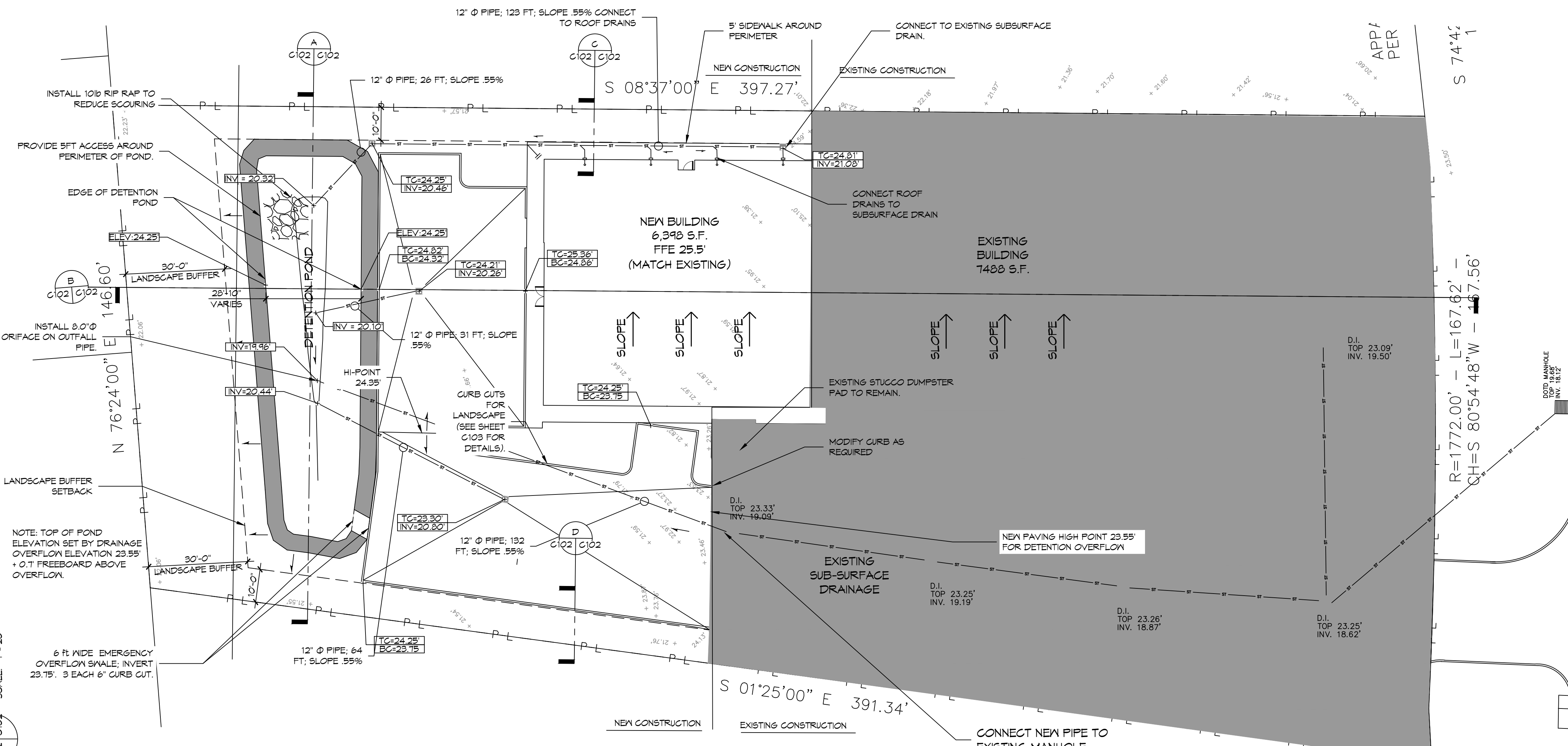
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B SECTION

SCALE: 1" = 20'

Labels and dimensions in the section include:

- LANDSCAPE BUFFER
- 5'-0" LEVEL
- 28'-10" VARIES
- DETENTION POND
- NEW ROOF
- NEW CONSTRUCTION
- EXISTING CONSTRUCTION
- EXISTING ROOF
- ELEV. 24.25
- 5'-0" LEVEL
- TC=24.93
- BC=24.52
- TC=24.00
- INV=20.26
- FFE=25.5'
- 28'-0"
- TC=24.14
- BC=23.65
- TC=24.14
- BC=23.65
- P/L
- NG=22.06'
- T-2 1/2 VARIES
- INV = 20.15
- NG=21.66'
- NG=21.64'
- NG=21.95'
- NG=25.10'
- FFE=25.5'



1. GC SHALL REMOVE EXISTING NEAR SURFACE TOPSOIL WITH ORGANICS AND OTHER DELETERIOUS MATERIALS, APPROXIMATELY 6 INCHES, HOWEVER SINCE CONSTRUCTION OF THE EXISTING BUILDING MANY RUTS AND PONDING HAS OCCURRED IN THE PAVING AREAS. THE EXPOSED SUBGRADE IN THE DRIVE LANES AND PARKING AREAS SHALL BE PROOF-ROLLED WITH A RUBBER TIRED VEHICLE WEIGHING ABOUT 20 TONS; PROOF-ROLLING SHALL BE MONITORED AND AN SPT TEST SHALL BE OBTAINED TO PROVE OR DEFLECT EXCESSIVELY UNDER THE MOVING LOAD SHOULD BE UNDERCUT AND REPLACED WITH COMPACTED STRUCTURAL FILL.
2. THE STRUCTURAL FILL SHALL BE SELECT GRANULAR MATERIAL FREE OF ORGANIC OR OTHER DELETERIOUS MATERIALS WITH A LIQUID LIMIT LESS THAN 40 AND A PLASTICITY INDEX BETWEEN 1 & 13 PERCENT. FILL SHALL BE PLACED IN MAXIMUM LIFTS OF SIX (6) INCHES OF LOOSE MATERIAL, COMPACTED TO AT LEAST 95 PERCENT OF THE FILL'S MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698. IN-SITU TEST SHALL BE PERFORMED TO VERIFY MOISTURE CONTENT OF EACH LIFT. IF WATER MUST BE ADDED, IT SHALL BE UNIFORMLY APPLIED AND THOROUGHLY MIXED INTO THE MATERIAL. DRAINAGE DITCHES SHALL BE CONSTRUCTED. DENSITY MEASUREMENTS SHALL BE TAKEN TO ASSURE THAT THE ABOVE DEGREE OF COMPACTION IS ACHIEVED.
3. A MINIMUM OF 6" OF COMPACTED FILL MATERIAL SHALL BE PROVIDED FOR ALL PAVING.
4. PROVIDE AND MAINTAIN IMMEDIATE SITE DRAINAGE BEFORE, DURING, AND AFTER CONSTRUCTION, PROVIDE GRADING, SWELLS, AND PUMP PUMPS AS MAY BE REQUIRED TO IMMEDIATELY DRAIN ALL RAINWATER FROM THE CONSTRUCTION AREA. EXCAVATIONS MUST BE OBSERVED AND CONCRETE PLACED AS QUICKLY AS POSSIBLE TO AVOID EXPOSURE OF THE EXCAVATIONS BOTTOMS TO WETTING AND DRYING. SURFACE RUNOFF WATER SHOULD BE DRAINED AWAY FROM THE EXCAVATIONS AND NOT BE ALLOWED TO POND PRIOR OR AFTER CONCRETE PLACEMENT. IF IT IS REQUIRED THAT A EXCAVATION BE OPEN FOR MORE THAN 72 HOURS THAT IT SHOULD BE PROTECTED TO REDUCE EVAPORATION OR ENTRY OF MOISTURE.

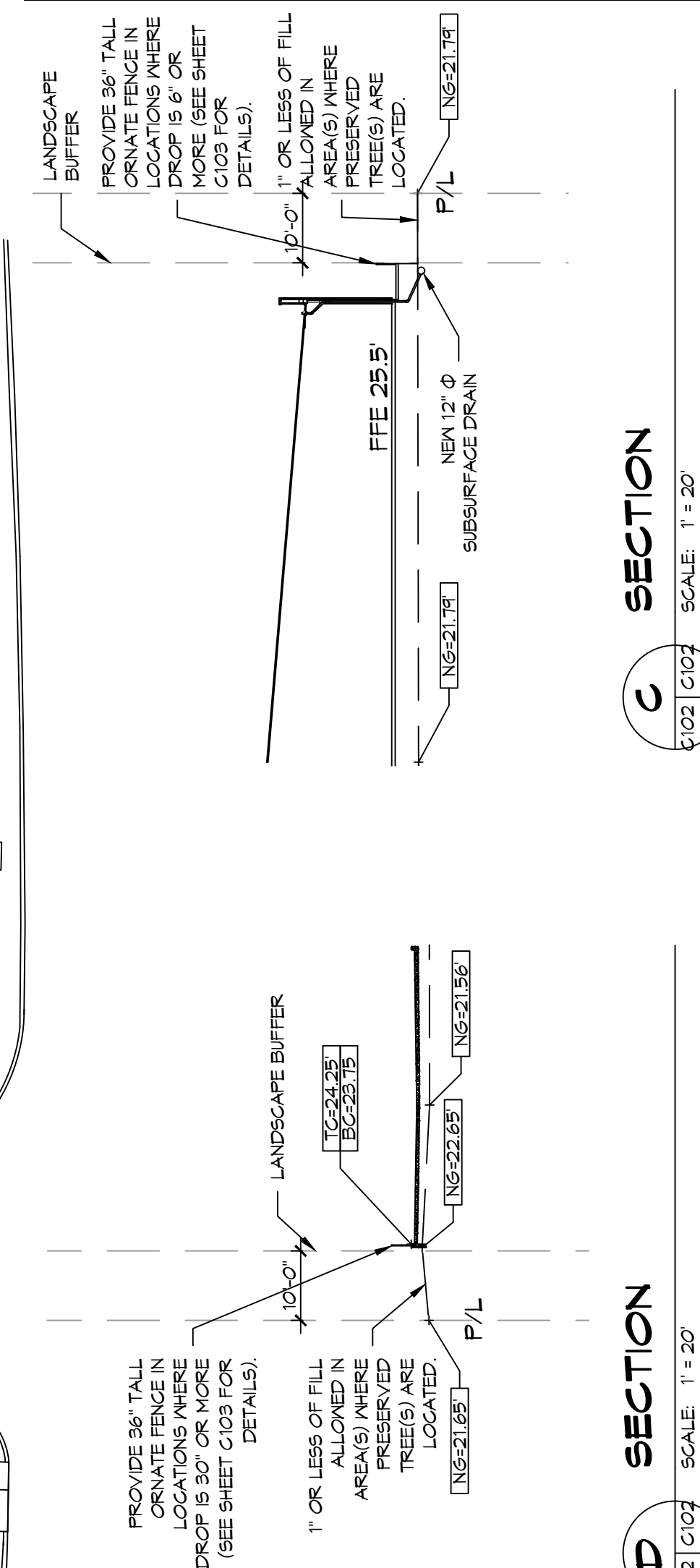
1. CONTRACTOR SHALL COMPLY WITH THE STORMWATER POLLUTION PREVENTION PLAN.
2. ALL STORMWATER PIPING SHALL BE SDR 35 POLY(VINYL CHLORIDE) PLASTIC PIPE, MEETING ASTM D3034. DRAIN PIPE(S) SHALL BE THE BALL AND SPIGOT TYPE WITH "O" RING RUBBER GASKETS. THE BELLS OF THE PIPES SHALL BE LINED UPSTREAM. ALL JOINTS SHALL BE WRAPPED WITH GEOTEXTILE FABRIC. ALL PIPES SHALL REQUIRE 12" COMPACTED SAND OR LIMESTONE BEDDING.
3. ELEVATIONS SHOWN ARE VERTICAL.
4. FIELD VERIFY ALL ELEVATIONS AND DRAINAGE SYSTEM PLACEMENT PRIOR TO START OF WORK.
5. THE PERIMETER OF THE PROJECT PROPERTY SHALL BE GRADED SUCH THAT NO RUNOFF IS DISCHARGED TO ADJACENT LOT(S).
6. CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION PRIOR TO PLACING EQUIPMENT, PERSONNEL OR STARTING WORK ON NEIGHBORING PROPERTIES.

1. THIS DRAWING IS NOT INTENDED TO BE UTILIZED AS A BOUNDARY SURVEY. IT HAS BEEN PROVIDED AS A COURTESY BASED ON CORNERS FOUND AND PROVIDED BY OWNER OR HIS REP.
2. UNDERGROUND UTILITIES MAY BE PRESENT ON THIS SITE WHICH MAY OR MAY NOT BE DEPICTED ON THIS PLAN. THIS MAP SHOULD NOT BE CONSIDERED DEFINITIVE AS TO LOCATION, NUMBER, TYPE, ETC. OF UTILITIES PRESENT ON THE SITE.
3. CONTRACTOR SHALL CONTACT LA ONE CALL PRIOR TO COMMENCEMENT. PRIVATE UTILITIES SHALL BE COORDINATED WITH OWNER OR THIRD PARTY LOCATION COMPANY.

■ - CATCH BASIN
 + 21.60' - EXISTING ELEVATIONS
 TOP OF CONCRETE OR TOP OF CURB
 BOTTOM OF CURB
 TOP OF CATCH BASIN
 INVERT OF CATCH BASIN
 STORMWATER PIPE
 ROOF DRAINAGE FLOW
 SURFACE DRAINAGE FLOW
 SUBSURFACE DRAINAGE FLOW

TC	TOP OF CATCH BASIN OR TOP OF CURB
BC	BOTTOM OF CURB
INV	INVERT

1. ALL REQUIRED STORM WATER DETENTION FOR A 25 YR EVENT WILL BE DETAINED IN THE POND.
2. STORM WATER OVERTFLOW IS SET FOR AN ELEVATION OF 23.55'.
3. 4 SECTIONS OF THE POND WERE MEASURED AND THE AVERAGE AREA WAS THEN MULTIPLIED BY THE LENGTH OF THE BASE OF THE POND TO MEASURE ITS CAPACITY.
 $((54.12 \text{ s.f.} + 46.15 \text{ s.f.} + 38.73 \text{ s.f.} + 31.56 \text{ s.f.})/4) \times 84.8 \text{ ft} = 3,615.8 \text{ ft}^2$
THE EASTERN END OF THE POND MEASURES 18.28 s.f. \times 10 ft OF BASE = 182.8 ft².
THE WESTERN END OF THE POND MEASURED 23.35 s.f. \times 5 ft OF BASE = 116.8 ft².
4. TOTAL DETAINED WATER IN THE POND FOR A 25 STORM EVENT WITH A .7 FT FREEBOARD = 3,810 ft³.
5. TOTAL REQUIRED DETENTION = 3,644 ft³.

[illegible]

MONSIEUR

SHEET TITLE:
SITE GRADING AND
DRAINAGE PLAN

DRAWING NUMBER:

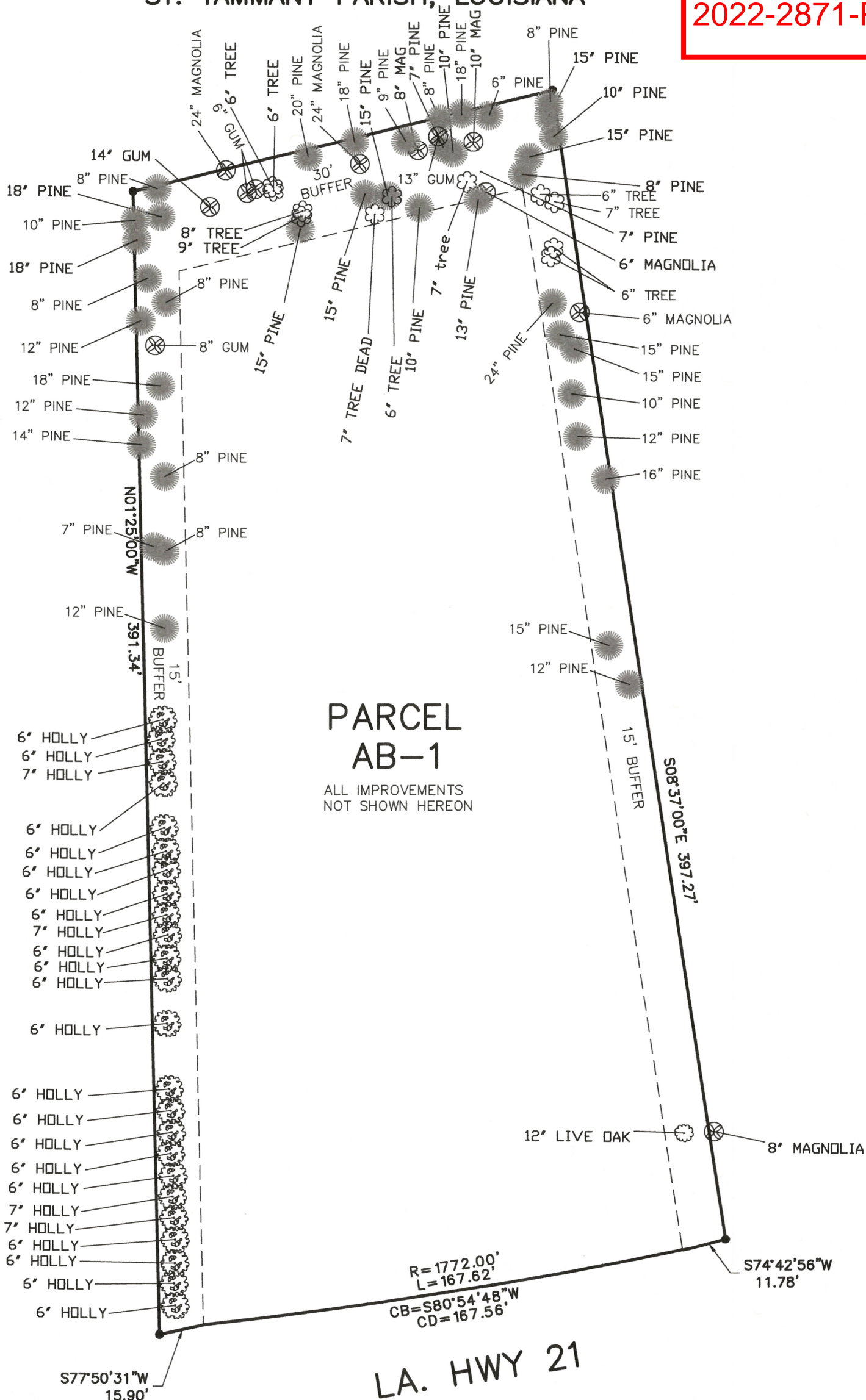
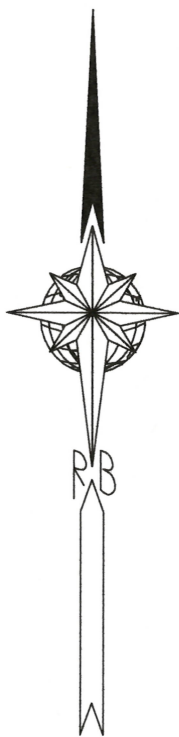
C102

SHEET No: 4 of 19

Chief Engineer: Brian Mistich, PE
554 Old Spanish Trail
Sudell, LA 70458
www.dammonengineering.com
info@dammonengineering.com
PH: 985.649.5832

Tree Locations
PARCEL AB-1 * SEC. 46, T-7-S, R-11-E
ST. TAMMANY PARISH, LOUISIANA

2022-2871-PR



NOTE:
NO ARBORIST WAS PRESENT DURING THIS
TREE SURVEY. TREE SPECIES SHOWN HEREON
WERE IDENTIFIED TO THE BEST OF THIS FIRMS
ABILITIES. THIS FIRM MAKES NO GUARANTEE
THAT THE SPECIES SHOWN HEREON ARE CORRECT.

● DENOTES 1/2" IRON ROD FND
UNLESS OTHERWISE NOTED



NO ATTEMPT HAS BEEN MADE BY RANDALL W. BROWN & ASSOC., INC. TO VERIFY TITLE,
ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS OF WAY, DEED RESTRICTIONS,
WETLANDS OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER
THAN THOSE FURNISHED BY THE CLIENT.

REFERENCE:
RESUB BY KELLY MCHUGH
Map File No.: 6040A
Date Filed: 07-30-2021

Randall W. Brown, P.L.S.
Professional Land Surveyor
LA Registration No. 04586

**Randall W. Brown
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Professional Land Surveyors
228 W. Causeway Approach, Mandeville, LA 70448
(985) 624-5368 FAX (985) 624-5309
info@brownsurveys.com

NOT A BOUNDARY SURVEY

Date: JUNE 28, 2022
Survey No. 22405

Scale: 1"=40'±
Drawn By: RJB
Revised:

CONDITIONAL USE STAFF REPORT

Date: June 28, 2022
Case No.: 2022-2938-CP
Posted: June 15, 2022

Meeting Date: July 5, 2022
Determination: Approved, Amended, Postponed, Denied

GENERAL INFORMATION

PETITIONER: Jones Fussell – Jeffrey Schoen
OWNER: Parish Concrete, LLC
Proposed Use: Concrete Batch Plant
Previous/Current Use: Asphalt Plant
ZONING CLASSIFICATION: I-4 Heavy Industrial District
LOCATION: Parcel located on the south side of Dr. TJ Smith Sr. Expressway, west of US Highway 11, Slidell; S23, T8S, R14E; Ward 8, District 14
GROSS AREA LOT SIZE: 9.345 acres

GENERAL INFORMATION

ACCESS ROAD INFORMATION

Type: Parish

Road Surface: 5 Lane Asphalt

Condition: Good

LAND USE CONSIDERATIONS

SURROUNDING LAND USE AND ZONING:

Direction	Surrounding Use	Surrounding Zone
North	Undeveloped	I-4 Heavy Industrial District
South	Undeveloped	I-4 Heavy Industrial District
East	Undeveloped	I-4 Heavy Industrial District
West	Chemical Wholesaler	I-4 Heavy Industrial District

EXISTING LAND USE:

Existing development: No

Multi occupancy development: No

SITE INFORMATION:

The subject property is located on the south side of Dr. TJ Smith Sr. Expressway, west of US Highway 11, Slidell. The site is currently vacant and was previously the site of a now closed asphalt plant. Per Sec. 130-1129, a concrete batching plant is a conditional use listed under the I-4 Heavy Industrial District. Per Sec. 130-1132, the Zoning Commission may approve uses subject to the regulations as well as add any additional requirements imposed in the public interest to cover circumstances unique to the selected site including a drainage analysis of the site by an independent engineering firm.

GENERAL STANDARDS:

- 1. The location and size of the use, the nature and intensity of the operation involved in (or conducted in connection with) the use, the size of the site in relation to the use, and the location of the site with respect to streets giving access to the site shall be such that the use will be in harmony with the land uses in the district in which it is located.**

The applicant is proposing a concrete batching plant on a site which is flanked by undeveloped property to the north, east, and south and a chemical wholesaler to the west. The property is immediately adjoined by sites that are zoned I-4 Heavy Industrial and is diagonally opposite from undeveloped property zoned A-4 Single-Family Residential District to the southwest. The site is comprised of 9.345 acres in total and based on the site and landscape plans, the applicant is intending on utilizing the entire property for the proposed concrete batching plant operation. The only access to the site is from Dr. T.J. Smith Sr. Expressway which is a Parish maintained 5-lane right of way.
- 2. Time limit requirement for length of permit use.**

Conditional uses are not transferable. Once the use has ceased activity, a new permit must be acquired to occupy the site or reactive the previous use. The petitioner shall have one year to obtain the appropriate building permits or occupy the site from the date of approval of the zoning commission, unless otherwise stipulated by the zoning commission.
- 3. Hours of operation for use, buffering and/or landscaping above the minimum Parish requirements.**

The applicant has provided the proposed hours of operation which are Monday through Friday from 6am-4pm.

The applicant is proposing to meet and does not exceed all buffering and landscaping requirements with the exception of the following:

a. Per Sec. 130-1976(d), utility easements or servitudes crossing street planting areas are permitted and do not require that the width of street planting areas be increased. The property has an existing 25 ft. gas pipeline right of way that was established per Inst. # 489585 which crosses the front northern property line where a 35 ft. buffer is required. A letter of no objection which was submitted from the Gulf South Pipeline Company states that “trees, bushes, and shrubs are not permitted within the gas line right of

way”. Per Sec. 130-1976(d)(2), utility easements or servitudes crossing street planting areas are permitted and do not require that the width of street planting areas be increased.

4. The location, nature and height of structures, walls and fences, and the nature and extent of landscaping on the site shall be such that the use will not hinder or discourage the development and use of adjacent land and structures.

Per Sec. 130-1131(e), no building or dwelling for residential or business purposes shall exceed 45 feet in height above the natural grade of the property at the location of the structure or base flood elevation as established in chapter 115, article II, whichever is higher. The proposed maximum height of most structures listed on the site plan including offices, storage buildings, and equipment are to be constructed at or below the minimum required 45 feet in height. However, the site plan shows a request for the proposed silo to exceed this height requirement by 20 feet for a maximum height of 65 ft. above natural grade and will therefore require a waiver.

The applicant is proposing to replace the existing fence along the side and rear property lines and add a new 8 ft chain link fence outside of the required street buffer. Although there are no current screening requirements for the use or the zoning classification, staff recommends ensuring all fencing is opaque and secure to ensure safety and security of the site and adjacent land uses. In addition, staff recommends an 8 ft. opaque fence in the southwest corner of the property where the site is diagonally adjacent to single-family residential zoning.

5. Parking areas shall be of adequate size for the particular use, properly located and suitably screened from adjoining residential uses, and the ingress and egress drives shall be laid out so as to achieve maximum safety.

Per Sec. 130-2163, minimum parking requirements for an asphalt or concrete batching plant include the following: 2 spaces for each 3 employees plus 1 space per each 350 sq. ft. of office, sales or similar space. The proposed site and landscape plans are providing 12 automobile spaces and 13 truck spaces and therefore meets these requirements.

The site plan is providing a single 45 ft. wide ingress and egress point along Dr. TJ Smith Sr. Expressway which exceeds acceptable standards and safety requirements.

6. Conditional uses may be approved on lots of less than the minimum lot size in any zoning district and the zoning commission may require alternate standards for landscaping and parking.

GENERAL CRITERIA FOR COMMISSION CONSIDERATION:

1. The permit, if granted, will not cause any diminution or depreciation of property values of any surrounding property or will not alter the essential character of the locality.
2. The permit, if granted, will tend to preserve and advance the property and general welfare of the neighborhood and community.
3. The granting of the conditional use permit will not be detrimental to the public welfare or seriously affect or be injurious to other property or improvements in the neighborhood in which the property is located, in that it will not impair an adequate supply of light and air, or increase substantially the congestion in the public streets, create a traffic hazard, or permit inadequate parking, or increase the danger of fire, or substantially affect or overburden existing drainage or sewerage systems, or endanger the public safety, nor cause serious annoyance or injury to occupants of adjoining premises by reason of emissions of odors, fumes, gases, dust, smoke, noise or vibration, light or glare or other nuisances.

STAFF RECOMMENDATIONS AND WAIVERS:

The applicant has submitted a site plan and landscape plan, drainage and grading plan, a traffic study, a hydrologic study within the limits of work for the proposed development. Staff has reviewed the application and provided the applicant with a markup summary that notes the following concerns:

WAIVERS

1. The I-4 District requires a maximum height of 45 ft. and the applicant is proposing a maximum height of 65 ft. for the construction of the silo. A waiver of 20 feet is requested.

STAFF COMMENTS

1. Removal and relocation of existing driveways on site will require soil and grading work suitable to create a Street Planting area.
2. A lighting plan is required to be provided per Section 130, Article VI, Division 4 showing the location, number, type, height and materials of all fixtures.
3. The property owner shall be responsible for the maintenance and the replacement of the required plant materials.
4. During construction, planting or open ground areas surrounding preserved trees shall be wired off with a properly flagged, reinforced & rolled wire mesh.

NOTE TO PETITIONER

There is a 10-day appeals period following the Zoning Commission decision. If the request is approved, permits will not be issued until this 10-day period has elapsed. The petitioner shall have one year to obtain the appropriate building permits or occupy the site from the date of approval of the St. Tammany Parish Zoning Commission, unless otherwise stipulated by the St. Tammany Parish Zoning Commission.

GROSS AREA LOT SIZE: 9.345 acres



2022-2938-CP

THIS POINT DESCRIBED AS BEING
S 89°22' E - 6021.46';
N 00°55' E - 442.00';
S 89°10' E - 100.00' AND
N 76°24' E - 188.17' FROM THE N.W.
CORNER OF SECT. 46, T-7-S, R-10-E,

LOT 13
TIMBER BRANCH SUBD.
(REF. BRG.)
N 76°24'00" E 146.60'
LOT 12

APPROVAL
SECRETARY PLANNING COMMISSION
DIRECTOR OF THE DEPARTMENT
OF ENGINEERING

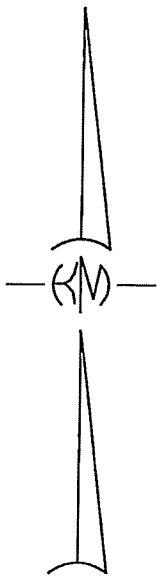
07.30.2021 6040A
DATE FILED FILE NO.

Amy White
CLERK OF COURT
Amy White, Deputy Clerk

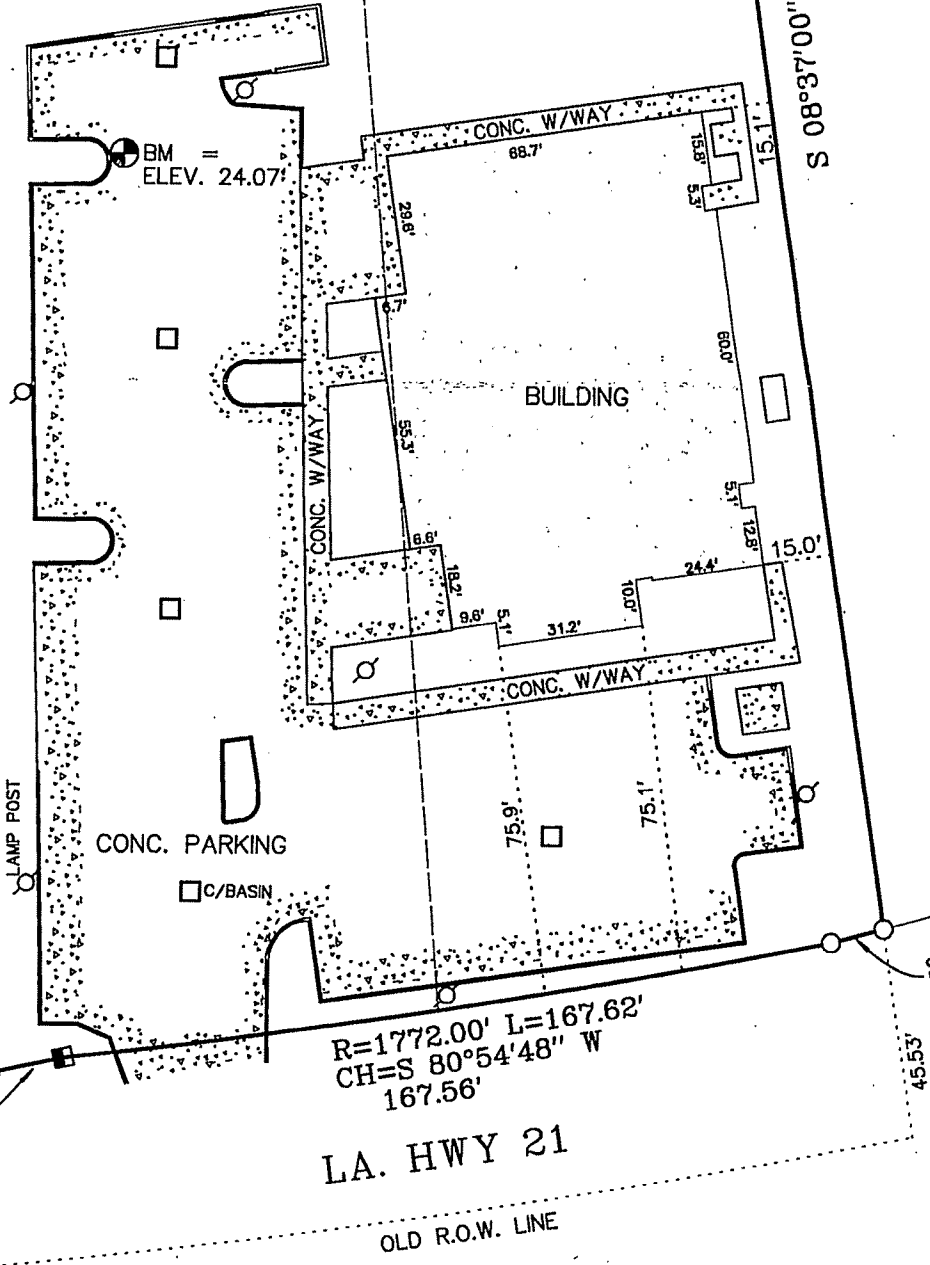
PARCEL "AB-1"
1.529 ACRES
66622.8167 SQ. FT.

PARCEL "A"

PARCEL "B"



S 01°25'00" E 391.34'



NOTE:
OWNER OR CONTRACTOR IS RESPONSIBLE
FOR VERIFYING BUILDING SETBACKS
BEFORE CONSTRUCTION BEGINS.
NO SETBACKS OR SERVITUDES SHOWN HEREON.

APPARENT "NEW R.O.W. AS
PER REFERENCED PLAT"

S 77°50'31" W
15.90'

LA. HWY 21

OLD R.O.W. LINE

- REFERENCE:
1. PLAT OF PREVIOUS A SURVEY BY THIS FIRM,
DATED 07-09-02, JOB NO. 02-208.
 2. SHEET 6 & 7 (RIGHT OF WAY MONUMENT MAP)
BY TERRY L. LIGHTSEY, FILED FOR RECORD
04-02-2018, MAP FILE NO. 5730

NOTE:
NO ATTEMPT HAS BEEN MADE BY KELLY McHUGH & ASSOC., INC. TO
VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS,
RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL
ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN
THOSE FURNISHED BY THE CLIENT.

KELLY J. McHUGH
Licence No 4443
PROFESSIONAL

Kelly J. McHugh, REG. NO. 4443

CERTIFIED TO BE IN ACCORDANCE WITH A PHYSICAL
SURVEY MADE ON THE GROUND AND COMPLYING WITH THE
CURRENT APPLICABLE STANDARDS OF PRACTICE FOR A CLASS
"C" SURVEY. RED STAMP SIGNIFIES CERTIFIED PLAT.

BOUNDARY SURVEY OF:
A MINOR SUBDIVISION OF PARCELS "A" & "B"
INTO PARCEL "AB-1"
SECTION 46, T-7-S, R-11-E,
GREENSBURG LAND DISTRICT,
ST. TAMMANY PARISH, LA.

PREPARED FOR:

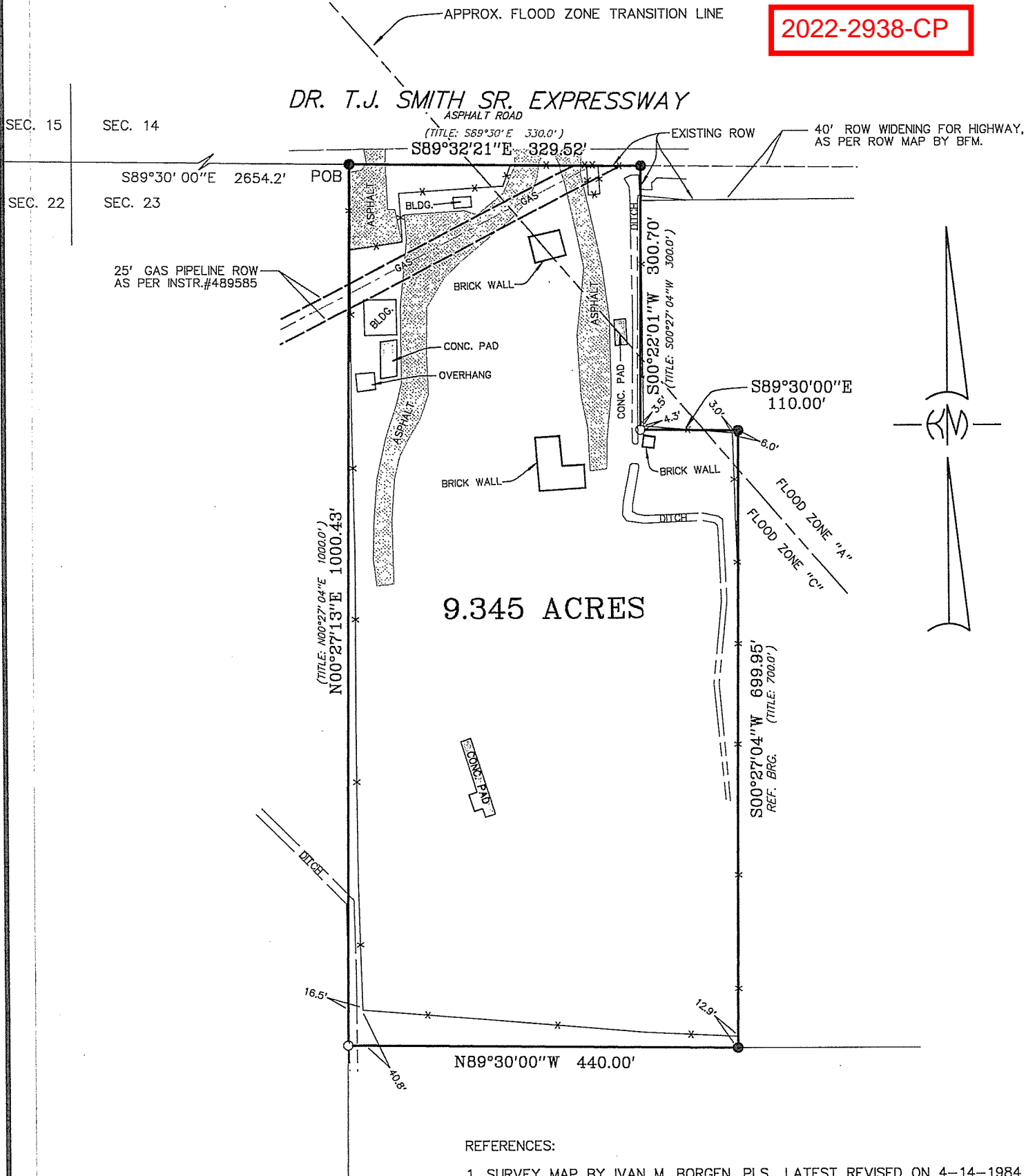
DR. ROCH HONTAS

KELLY McHUGH & ASSOCIATES
CIVIL ENGINEERS & LAND SURVEYORS
MANDEVILLE, LOUISIANA

SCALE:	1" = 40'	DATE:	06-07-21
DRAWN:	MDM	JOB NO.:	02-208
CHECKED:		DWG. NO.:	02-208 RESUB

THIS PROPERTY IS LOCATED IN FLOOD
ZONE C; BASE FLOOD ELEV. N/A; F.I.R.M.
PANEL NO. 225205 0230 C; REV. 10-17-89.

2022-2938-CP

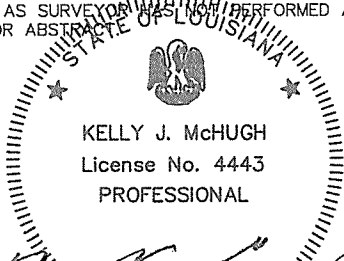


LEGEND

- = 1/2" IRON ROD FOUND
- = 1/2" IRON ROD SET
- x— = FENCE LINE

THIS PROPERTY IS LOCATED IN
FLOOD ZONE: "A" & "C"
F.I.R.M. PANEL NO: 225205 0410 D
EFFECTIVE DATE: 04/21/1999

NOTE: SERVITUDES SHOWN HEREON ARE NOT NECESSARILY
EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE
OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON
REQUEST, AS SURVEYOR HAS NOT PERFORMED ANY TITLE
SEARCH OR ABSTRACT.



KELLY J. McHUGH REG. NO. 4443
CERTIFIED TO BE IN ACCORDANCE WITH A PHYSICAL
SURVEY MADE ON THE GROUND AND COMPLYING WITH THE
CURRENT APPLICABLE STANDARDS OF PRACTICE FOR A CLASS
"C" SURVEY. RED STAMP SIGNIFIES CORRECT PLAT.

REFERENCES:

1. SURVEY MAP BY IVAN M. BORGES, PLS., LATEST REVISED ON 4-14-1984
OF WHICH THE BASIS OF BEARING AND POB WERE OBTAINED.
2. RIGHT-OF-WAY FOR UNITED GAS PIPE LINE FILED AT INSTR.# 489585.
3. SURVEY MAP BY BFM CORPORATION, LLC, DATED 4-20-2007.

BOUNDARY SURVEY OF:

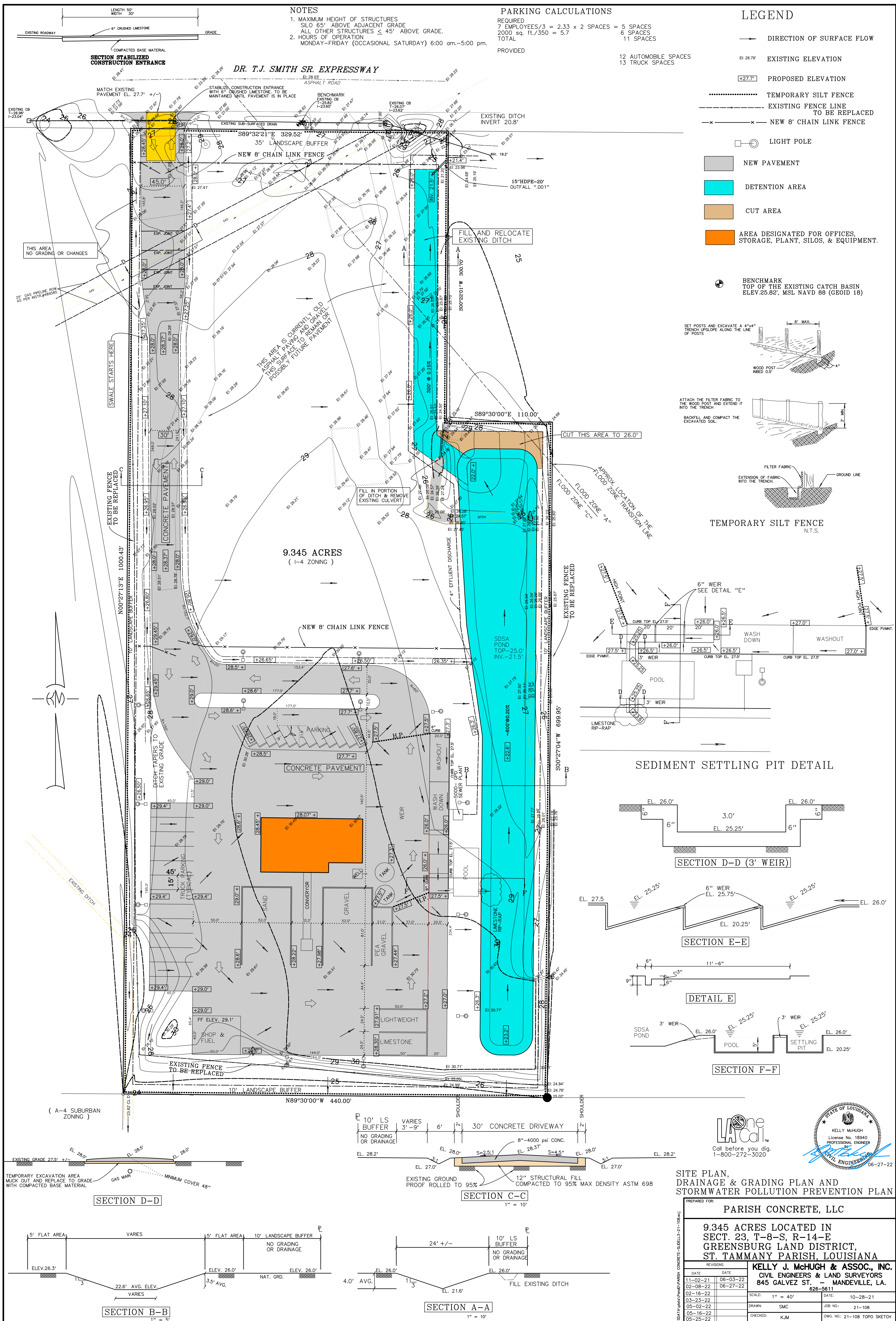
9.345 ACRES LOCATED IN
SEC. 23, T-8-S, R-14-E, G.L.D.,
ST. TAMMANY PARISH, LOUISIANA

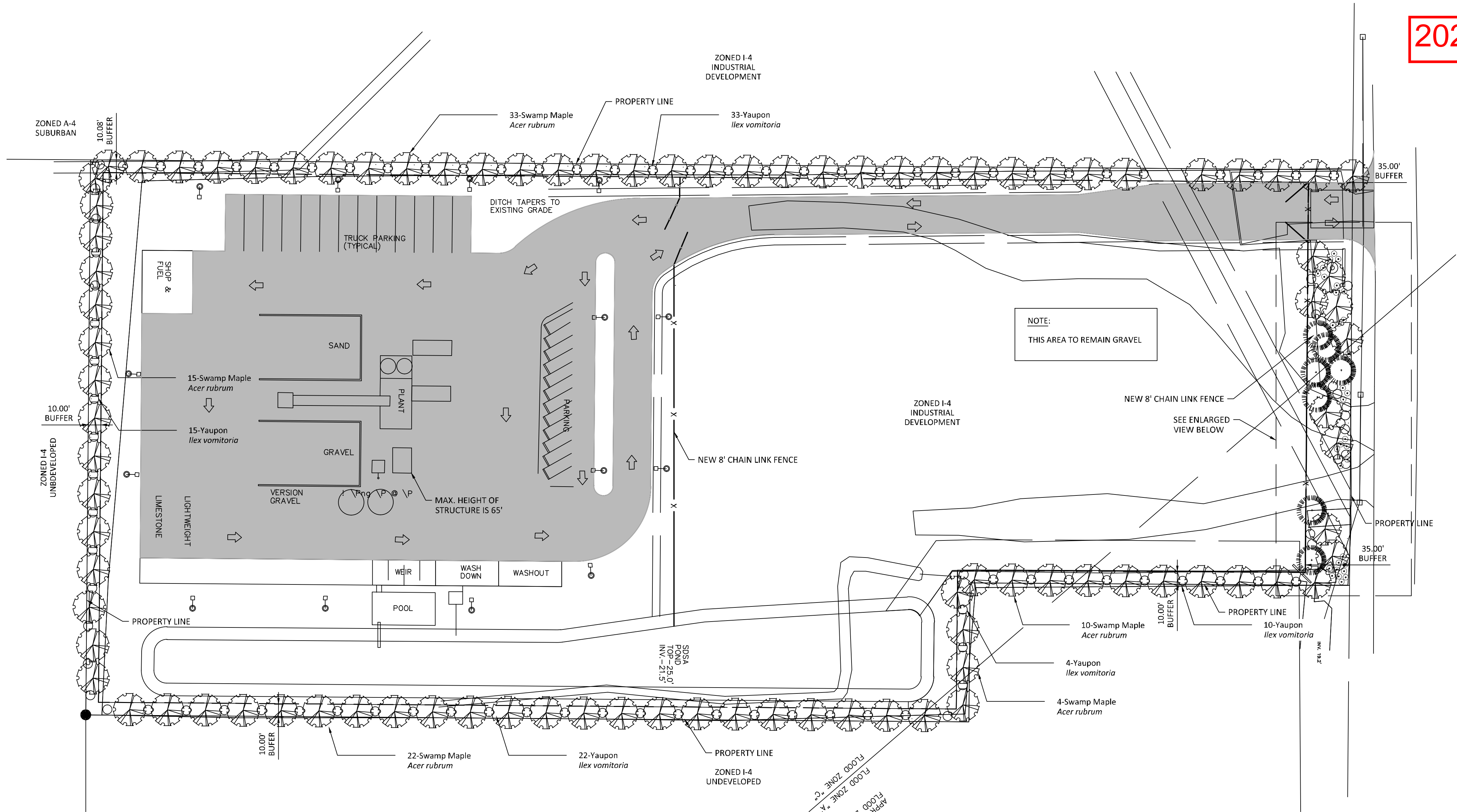
PREPARED FOR:

PARISH CONCRETE, LLC

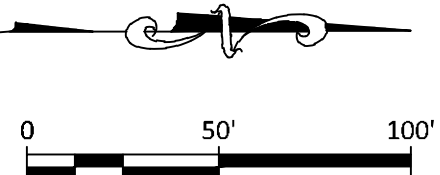
KELLY J. McHUGH & ASSOC., INC.
CIVIL ENGINEERS & LAND SURVEYORS
845 GALVEZ ST., MANDEVILLE, LA. 626-5611

SCALE:	1" = 150'	DATE:	04-14-2021
DRAWN:	DB	JOB NO.:	21-108-1
REVISED:			





2022-2938-CP



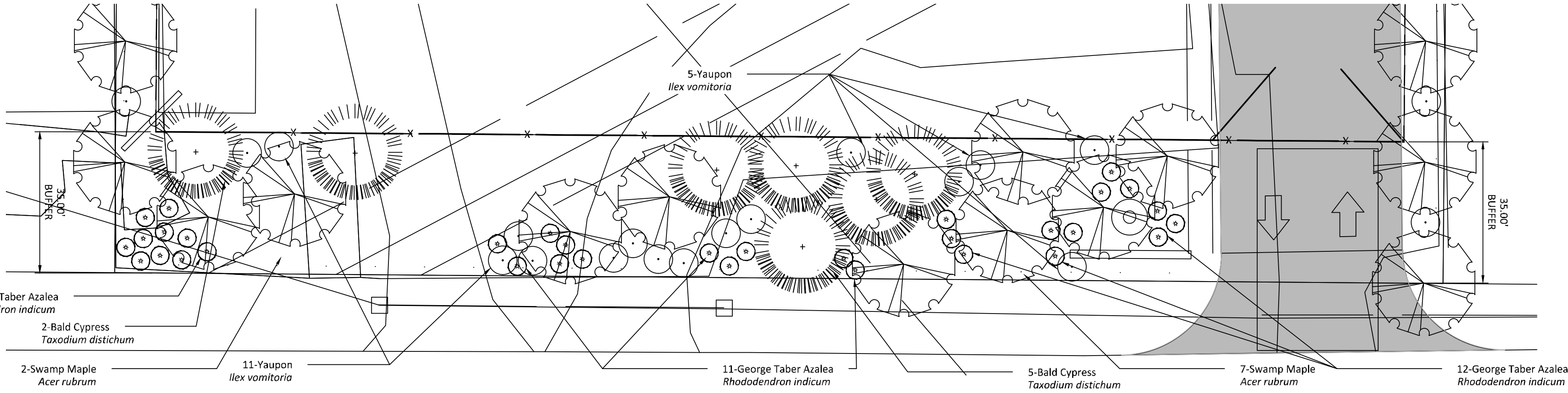
PARKING TABULATION			
	BUILDING AREA	RATIO	PARKING REQ'D
OFFICE AREA	2,000 SF	1:350 S.F.	6
EMPLOYEES	7 EMPLOYEES/3	2.33 X 2 SPACES	5
PROVIDED AUTOMOBILE PARKING SPACES			11
PROVIDED TRUCK PARKING SPACES			13
PROPOSED HOURS OF OPERATION: MONDAY-FRIDAY 6:00 AM - 4:00 PM			

NORTHERN STREET PLANTING AREA (310.50 L.F.) (35' BUFFER)	
TREES:	
CLASS "A" TREES REQUIRED - 16	
CLASS "A" TREE PROPOSED - 16	
CLASS "B" TREES REQUIRED - 16	
CLASS "B" TREES PROPOSED - 16	
SHRUBS REQUIRED - 33	
SHRUBS PROPOSED - 33	
TREE CREDITS AVAILABLE - 0	
TOTAL CREDITS USED	0

EASTERN BUFFER (958 L.F.) (10' BUFFER)	
TREES:	
CLASS "A" TREES REQUIRED - 32	
CLASS "A" TREE PROPOSED - 32	
CLASS "B" TREES REQUIRED - 32	
CLASS "B" TREES PROPOSED - 32	
TREE CREDITS AVAILABLE - 0	
TOTAL CREDITS USED	0

SOUTHERN BUFFER (440 L.F.) (10' BUFFER)	
TREES:	
CLASS "A" TREES REQUIRED - 15	
CLASS "A" TREE PROPOSED - 15	
CLASS "B" TREES REQUIRED - 15	
CLASS "B" TREES PROPOSED - 15	
TREE CREDITS AVAILABLE - 0	
TOTAL CREDITS USED	40

WESTERN BUFFER (1000.43 L.F.) (10' BUFFER)	
TREES:	
CLASS "A" TREES REQUIRED - 33	
CLASS "A" TREE PROPOSED - 33	
CLASS "B" TREES REQUIRED - 33	
CLASS "B" TREES PROPOSED - 33	
TREE CREDITS AVAILABLE - 0	
TOTAL CREDITS USED	0



ENLARGED STREET PLANING VIEW

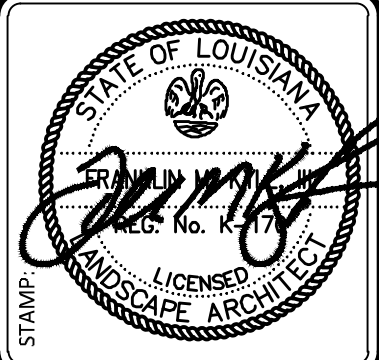
1" = 20'-0"

DESIGNED BY: FMK	DRAWN BY: NBZ	CHECKED BY: FMK	JOB NO. 22015
SCALE: (1:24.34) 1"=50'	SCALE: (1:1x17) 1"=100'	DATE: 02/14/22	

PARRISH CONCRETE, L.L.C.
ST. TAMMANY PARISH
DR. T.J. SMITH SR. EXPRESSWAY
SLIDELL, LOUISIANA

LANDSCAPE PLAN

NO.	DATE	REVISIONS		APP'D
		REVISED PER STP COMMENTS	REVISED PER STP COMMENTS	
1	06.24.22			FMK
2	06.27.22			FMK



Kyle Associates, LLC
Planning, Engineering, and Landscape Architecture
658 Village Lane N • Metairie, LA 70001 • 857.771.3377

2022-2938-CP

GENERAL NOTES

- THE WORK PERFORMED UNDER THE DIRECTION OF THESE DOCUMENTS IS TO BE OF THE HIGHEST WORKMANSHIP AND QUALITY FOR WORK OF THIS TYPE. BEST INDUSTRY STANDARDS ARE TO BE APPLIED FOR ALL WORK DEFINED IN THESE DOCUMENTS.
2. THIS SET OF PLANS HAS BEEN DEVELOPED USING A SURVEY OR BASE INFORMATION PROVIDED BY THE OWNER. CONTRACTOR IS TO IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES THAT EXIST BETWEEN THE SURVEY/BASE INFORMATION AND THE ACTUAL FIELD CONDITIONS.
3. THE PLAN REFLECTS A PROGRAM SET FORTH BY THE PROJECT OWNER. VARIATION IN PLANT SPECIES, SIZE, OR ARRANGEMENTS WILL NOT BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT. ALL CORRESPONDENCE, ADDITIONS, SUBTRACTIONS, OR OTHER INSTANCES WHERE VARIATIONS IN THE PLAN MAY BE SUITABLE SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT IMMEDIATELY.
4. ALL WORK PERFORMED UNDER THESE DOCUMENTS IS TO BE DONE IN ACCORDANCE WITH THE LAWS AND REGULATIONS OF THE JURISDICTION IN WHICH THE PROJECT IS LOCATED. LOCAL, STATE, AND FEDERAL LAWS APPLY.
5. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND THE COST OF ALL PERMITS AND APPROVALS REQUIRED FOR THIS WORK. ONLY LICENSED AND INSURED LANDSCAPE CONTRACTORS WILL BE PERMITTED TO PERFORM THE WORK INDICATED ON THESE PLANS.
6. THE CONTRACTOR IS TO CONTACT THE LOCAL UTILITY LOCATION SERVICE PRIOR TO THE COMMENCEMENT OF WORK AND HAVE ALL SUBSURFACE UTILITIES MARKED ON THE GROUND SURFACE, INCLUDING BUT NOT LIMITED TO TELEPHONE, NATURAL GAS, CABLE, WATER, SEWER, DRAINAGE, AND FIBER OPTIC. DEPTH OF THE UTILITIES SHALL BE A CONSIDERATION IN THIS EVALUATION. ADJUSTMENTS REQUIRED TO THE LANDSCAPE PLAN OR IRRIGATION DESIGN AS A RESULT OF UTILITY CONFLICTS ARE TO BE MADE PRIOR TO THE COMMENCEMENT OF WORK.
7. ALL EXISTING UTILITIES ARE TO BE PROTECTED AND MAINTAINED. REPAIRS ON UTILITIES DAMAGED BY THE CONTRACTOR WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
8. ALL EXISTING TREES AND OTHER LANDSCAPING THAT IS TO REMAIN, IS TO BE PROTECTED BY INSTALLING 4" ORANGE CONSTRUCTION SAFETY FENCING AROUND THE TREE AT THE DRIP LINE AND AROUND OTHER PLANTINGS AT THE EDGE OF THE PLANTED AREA.
9. EXISTING TREES AND SHRUBS THAT ARE INDICATED "TO BE REMOVED" ON THE PLANS SHALL BE CUT AND DISPOSED OF OFF SITE. THIS INCLUDES THE REMOVAL OF ALL ROOT SYSTEMS AND STUMPS (WHICH MAY BE GROUND) SO THAT THIS MATERIAL DOES NOT INTERFERE WITH THE NEW LANDSCAPE PROGRAM.
10. ALL CONSTRUCTION DEBRIS, INCLUDING BUT NOT LIMITED TO ROCKS, CONCRETE, BATTER BOARDS, PIPE, AND FOUNDATION BASE MATERIAL IS TO BE REMOVED FROM AREAS TO BE PLANTED PRIOR TO THE INSTALLATION OF BEDDING SOIL OR BASE PREPARATION FOR SOD.
11. UPON COMPLETION OF ALL BED PREPARATION, PLANTS ARE TO BE FULLY ARRANGED IN THE BED PRIOR TO INSTALLATION. THE LANDSCAPE ARCHITECT AND/OR THE OWNER ARE TO APPROVE THE ARRANGEMENT PRIOR TO PLANT INSTALLATION. THE LANDSCAPE CONTRACTOR IS TO ROTATE ALL TREE AND LARGE SHRUB MATERIAL AS TO MAXIMIZE THE BENEFIT OF THE BRANCHING STRUCTURE TOWARDS THE OUTWARD APPEARANCE. FAILURE TO OBTAIN SUCH APPROVAL MAY RESULT IN THE RELOCATION OF MATERIAL.
12. ALL TREES ARE TO BE STAKED USING WOOD STAKES, THREE PER TREE. GUY WIRES ARE TO BE GALVANIZED WITH PLASTIC SHEATHING AT ALL TREE CONTACT POINTS. GUY WIRES ARE TO BE SET WITH 2" SLACK TO ALLOW FOR TREE MOVEMENT. ALL WIRES ARE TO BE FLAGGED WITH HIGH VISIBILITY TAPE.

1. UPON APPROVAL OF THE PLANTING BED SHAPES AND TREE LOCATIONS, ALL EXISTING VEGETATION IN THESE AREAS IS TO BE CHEMICALLY ERADICATED USING A NON-SELECTIVE HERBICIDE (ROUND-UP OR EQUAL) APPLIED PER MANUFACTURER'S INSTRUCTIONS. BEDDING MATERIAL/PLANTING MEDIUM IS NOT TO BE PLACED IN THESE AREAS UNTIL THE CHEMICAL APPLICATION HAS SATISFACTORILY ELIMINATED THIS VEGETATION.
2. WHERE EXCAVATION REVEALS UNSUITABLE SOILS FOR PROPER TREE GROWTH, THE PLANTING HOLE IS TO BE DUG TWO TIMES THE SIZE OF THE ROOT BALL SPECIFIED AND ALL BACKFILL IS TO BE TOPSOIL OR GARDEN MIX. UNSUITABLE MATERIAL IS TO BE REMOVED FROM THE SITE.
3. UPON INSTALLATION OF PLANT MATERIAL, ALL TREE WELLS AND BEDDING AREAS ARE TO BE MULCHED WITH PINE STRAW MULCH, AS DIRECTED BY THE LANDSCAPE ARCHITECT AND/OR OWNER. MULCH SHALL BE A MINIMUM OF 4" THICK.
4. ALL PLANT MATERIAL SPECIFIED IS TO BE FREE OF ALL PESTS, DISEASE, AND OTHER FOREIGN MATTER UPON DELIVERY TO THE SITE. MATERIAL SHOULD COME FROM A REPUTABLE AND LICENSED NURSERY WITHIN THE REGION WHERE THE PROJECT EXISTS. ANY PLANT THAT DOES NOT MEET THESE REQUIREMENTS OR IS NOT IN EXCELLENT HEALTH WILL BE REJECTED.
5. ALL PLANT MATERIAL WILL MEET OR EXCEED THE MINIMUM SIZES INDICATED IN THE PLANT MATERIAL SCHEDULE. ADDITIONALLY, ALL CONTAINER PLANT MATERIAL IS TO HAVE BEEN IN THE CONTAINER SIZE SPECIFIED FOR A MINIMUM OF ONE FULL GROWING SEASON. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE MATERIAL IN THE EVENT THESE MINIMUM STANDARDS ARE NOT MET.
6. PLANT MATERIAL DELIVERED TO THE PROJECT SITE IS NOT TO BE STOCKPILED FOR MORE THAN THREE DAYS. THE CONTRACTOR IS FULLY RESPONSIBLE FOR THE HEALTH AND WELL BEING OF ALL LANDSCAPE MATERIAL STAGED ON SITE.
7. ALL PLANT MATERIAL IS TO BE FERTILIZED AT THE TIME OF PLANTING WITH A BALANCED, TIME RELEASED FERTILIZER SUITABLE FOR THE SPECIFIC PLANT MATERIAL INSTALLED. FERTILIZATION FOR MATERIAL IN PLANTING BEDS MAY BE INCORPORATED INTO THE SOIL MIX OR APPLIED AT EACH PLANT LOCATION.
8. THE LANDSCAPE CONTRACTOR IS TO APPLY A WEED INHIBITOR ON THE SURFACE OF ALL BED AREAS PRIOR TO MULCHING, OR AS PER MANUFACTURER'S INSTRUCTIONS.
9. THE SCOPE OF THIS PROJECT INCLUDES THE PRUNING AND MAINTENANCE OF ALL MATERIAL (IMMEDIATELY AFTER PLANTING). PLANT MATERIAL IS TO HAVE THE HIGHEST QUALITY APPEARANCE AT THE TIME OF FINAL PRODUCT ACCEPTANCE.
10. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO WATER ALL MATERIAL THOROUGHLY UPON INSTALLATION, EVERY DAY FOR THE FIRST THREE DAYS FROM PLANTING, THEN EVERY OTHER DAY FOR THE NEXT TEN DAYS. THIS REQUIREMENT WILL BE WAIVED ONCE AN IRRIGATION SYSTEM IS INSTALLED AND OPERATIONAL.
11. CONTRACTOR IS TO WARRANT THE SURVIVABILITY OF ALL PLANT MATERIAL FOR ONE YEAR AFTER ACCEPTANCE, WITH EXCEPTIONS BEING MADE FOR FREEZE, WIND DAMAGE, AND VEHICULAR DAMAGE. DROUGHT IS EXCLUDED.
12. BEDDING AREA SOILS ARE TO BE A GARDEN MIX OF SANDY LOAM, FINELY CHOPPED BARK MULCH, AND A NUTRIENT BASE EITHER FROM FERTILIZERS OR NATURAL SOIL AMENDMENTS. ALL BEDDING AREAS ARE TO HAVE A MINIMUM PLANTING DEPTH OF 12". EXISTING MATERIAL MAY BE AMENDED PROVIDED THE QUALITY SPECIFIED ABOVE IS MET.
13. GUTTER DOWNSPOUTS ARE NOT TO FLOW DIRECTLY INTO BEDDING AREAS. RETRACTABLE DOWNSPOUT EXTENSIONS, SPLASH BLOCKS, OR CONNECTION TO SUBSURFACE DRAINAGE SYSTEMS IS REQUIRED.
14. CONTRACTOR SHALL INSTALL A GEOTEXTILE FABRIC BELOW PLANTING BEDS IN THE IMMEDIATE VICINITY OF ANY STRUCTURE TO PREVENT WATER INFILTRATION INTO SUBSOIL AROUND STRUCTURAL FOUNDATIONS.



L2.0