

AGENDA
ST. TAMMANY PARISH ZONING COMMISSION MEETING
6:00 P.M. – TUESDAY, OCTOBER 4TH, 2022
ST. TAMMANY PARISH ADMINISTRATIVE COMPLEX, COUNCIL CHAMBERS
KOOP DRIVE OFF OF HIGHWAY 59
MANDEVILLE, LOUISIANA

A livestream will be available for viewing on regular broadcast channels (Charter Channel 710; U-verse Channel 99) or on the Parish website: www.stpgov.org. The livestream will begin at 6:00 PM on Tuesday, October 4th, 2022.

ROLL CALL

CALL TO ORDER

ANNOUNCEMENTS

- **Please silence all phones and electronic devices**
- **Appeals**
- **Speaker Cards**
- **Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal**
- **Please exit the building**

INVOCATION

PLEDGE OF ALLEGIANCE

APPROVAL OF THE SEPTEMBER 6, 2022 MINUTES

POSTPONING OF CASES

PUBLIC HEARINGS

APPEARERS

ZONING CHANGE REQUEST CASES - APPLICATIONS FOR A PROPOSED CHANGE OF ZONING DISTRICT OR AMENDMENTS TO THE LAND USE ORDINANCE REQUIRING REVIEW & RECOMMENDATION OF APPROVAL BY THE ZONING COMMISSION BEFORE ACTION BY THE PARISH COUNCIL ARE AS FOLLOWS:

1. 2022-2839-ZC

Existing Zoning: TND-2 (Traditional Neighborhood Development)
Proposed Zoning: TND-2 (Planned Traditional Neighborhood Development)
Location: Parcel located on the north side of US Highway 190, east and west of Honeybee Road; Slidell; S35, T8S, R13E, Ward 9, District 11
Acres: 275.33 acres
Petitioner: George Kurz
Owner: Honeybee Holdings, LLC
Council District: 11

POSTPONED FROM JULY 5, 2022 MEETING

2. 2022-2989-ZC

TEXT CHANGE: ORDINANCE TO AMEND ST. TAMMANY PARISH CODE OF ORDINANCES, PART II – LAND DEVELOPMENT CODE, CHAPTER 130 – UNIFIED DEVELOPMENT CODE, ARTICLE IV – ZONING DISTRICTS, DIVISION 11 – A-4A(D) SINGLE-FAMILY RESIDENTIAL DISTRICT, SEC. 130-531 – PURPOSE AND SEC. 130-534 – SITE AND STRUCTURE PROVISIONS; AS WELL AS DIVISION 12 – A-5(D) TWO-FAMILY RESIDENTIAL DISTRICT, SEC. 130-566 – PURPOSE AND SEC. 130-569 – SITE AND STRUCTURE PROVISIONS; AS WELL AS ARTICLE V – OVERLAYS, DIVISION 2 – PUD PLANNED UNIT DEVELOPMENT OVERLAY, SEC. 130-1673 – GENERAL STANDARDS AND CRITERIA; TO EXCLUDE A-4A AND A-5 ZONING DISTRICTS FROM ELIGIBILITY FOR A PUD PLANNED UNIT DEVELOPMENT OVERLAY.

POSTPONED FROM SEPTEMBER 6, 2022 MEETING

3. 2022-2990-ZC

Existing Zoning: A-2 (Suburban District)
Proposed Zoning: A-2 (Suburban District) and MHO Manufactured Housing Overlay
Location: Parcel located at the southeast intersection of Heathermist Drive, east of Sea Spray Drive; Slidell; S29, T9S, R15E, Ward 8, District 13
Acres: 1.66 acres
Petitioner: Helgin Gallardo
Owner: TRAMPROP INC-JP & WA LLC – James Lindsay
Council District: 13

POSTPONED FROM SEPTEMBER 6, 2022 MEETING

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4. **2022-2997-ZC**
TEXT CHANGE: ORDINANCE TO AMEND ST. TAMMANY PARISH CODE OF ORDINANCES, PART II – LAND DEVELOPMENT CODE, CHAPTER 130 – UNIFIED DEVELOPMENT CODE, ARTICLE IV – ZONING DISTRICTS, DIVISION 49 – AML ADVANCED MANUFACTURING AND LOGISTICS DISTRICT, SEC. 130-1620 – PURPOSE, SEC. 130-1621– PERMITTED USES, SEC. 130-1622 – ADMINISTRATIVE PERMITS, AND SEC. 130-1623 – SITE AND STRUCTURE PROVISIONS, TO EXCLUDE CERTAIN USES IN AML ZONING DISTRICTS.

POSTPONED FROM SEPTEMBER 6, 2022 MEETING

5. **2022-3005-ZC**
Existing Zoning: A-2 (Suburban District)
Proposed Zoning: HC-2 (Highway Commercial District)
Location: Parcel located on the south side of Louisiana Highway 22, east of Mitcham Road, north of Cialona Road, being Parcel A-2, Madisonville; S18, T7S, R10E; Ward 1, District 4

Acres: 2 acres
Petitioner: Stephen M. Blanc Jr
Owner: TNB Properties, LLC – Stephen M. Blanc Jr.
Council District: 4
6. **2022-3015-ZC**
Existing Zoning: A-4 (Single-Family Residential District)
Proposed Zoning: A-4 (Single-Family Residential District) and MHO (Manufactured Housing Overlay)

Location: Parcel located on the east side of Violet Street, north of Progress Street, being Lot 17A, Square 2, West Abita Springs Subdivision, Covington; S36, T6S, R11E; Ward 10, District 6

Acres: .11 acre
Petitioner: Rosa Bouterie
Owner: Rosa Bouterie
Council District: 6
7. **2022-3017-ZC**
Existing Zoning: A-1 (Suburban District)
Proposed Zoning: A-2 (Suburban District)
Location: Parcel located on the east side of Taylor Road, north of US Highway 190, Covington; S27, T6S, R10E; Ward 1, District 3

Acres: 5 acres
Petitioner: Taylor Thigpen
Owner: Robert Thigpen
Council District: 3
8. **2022-3019-ZC**
Text Change: Ordinance to amend the St. Tammany Parish Code of Ordinances, Part II-Land Development Code, Chapter 130-Unified Development Code, Article V-Overlays, Division 6-Planned Corridor District, Section 130-1814-Special Design Standards, to limit hours of operation for certain uses within the Highway 21 Planned Corridor (Ward 1, District 1). (Dean) (Introduced 08/04/2022)
9. **2022-3020-ZC** **WITHDRAWN**
Existing Zoning: A-2 (Suburban District) and CBF-1 (Community Based Facilities District)
Proposed Zoning: PF-1 (Public Facilities District)
Location: Parcel located on the west side of US Highway 190, north of Chinchuba Cemetery Road, Mandeville; S41, T8S, R11E; Ward 4, District 10

Acres: 6.374 acres
Petitioner: Chad Wiles
Owner: The Field Church, Inc. – Chad Wiles
Council District: 10
10. **2022-3030-ZC**
Existing Zoning: A-1 (Suburban District) and RO (Rural Overlay)
Proposed Zoning: A-2 (Suburban District) and RO (Rural Overlay)
Location: Parcel located on the north side of Tiger Branch Road, east of Passman Road, Covington; S6, T6S, R11E; Ward 3, District 2

Acres: 3.61 acres
Petitioner: Jeanne Avery
Owner: Della Jean Steinhauer
Council District: 2

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11. 2022-3031-ZC

Existing Zoning: HC-2 (Highway Commercial District)
Proposed Zoning: HC-2A (Highway Commercial District)
Location: Parcel located on the west side of LA Highway 59, north of Lonesome Road, Mandeville; S36, T7S, R11E; Ward 4, District 10

Acres: 9.35 acres
Petitioner: Zuppardo Properties, LLC
Owner: Roy Zuppardo
Council District: 10

12. 2022-3032-ZC

Existing Zoning: A-1 (Suburban District)
Proposed Zoning: A-2 (Suburban District)
Location: Parcel located on the north side of Baham Road, west of LA Highway 1077, Covington; S28 & S33, T6S, R10E; Ward 1, District 3

Acres: 4.44 acres
Petitioner: Ricky Boles
Owner: Casa De Leon Development, LLC
Council District: 3

13. 2022-3033-ZC

WITHDRAWN

Existing Zoning: A-1 (Suburban District)
Proposed Zoning: A-4 (Single-Family Residential District)
Location: Parcel located on the southwest corner of Highway 25 and Damiano, Folsom S32 and S33, T4S, R10E; Ward 2 District 3

Acres: 40 acres
Petitioner: John H. & Sundra R. Steinhauser
Owner: John H. & Sundra R. Steinhauser
Council District: 3

**PLAN REVIEW CASES – APPLICATIONS REQUIRING REVIEW AND APPROVAL OF SITE PLANS
ALONG A PLANNED DISTRICT BY THE ZONING COMMISSION ARE AS FOLLOWS:**

1. 2022-3016-PR – USE: McDaniel Dermatology: New Construction

CORRIDOR: Highway 21 Planned Corridor
ZONING: NC-1 (Highway Commercial District)
USE SIZE: 7,606 sq. ft.
PETITIONER: Jones Fussell – Jeff Schoen
OWNER: Ellison Holdings, LLC
LOCATION: Parcel located on the east side of LA Highway 21, south of Dummyline Road; Madisonville, S41, T7S, R10E, Ward 1, District 1

POSTPONED FROM SEPTEMBER 6, 2022 MEETING

2. 2022-3058-PR – USE: Tommy’s Carwash: New Construction

CORRIDOR: Highway 21 Planned Corridor
ZONING: HC-2 (Highway Commercial District)
USE SIZE: 5,207 sq. ft.
PETITIONER: Jordan Williams
OWNER: Revive Holdings 21, LLC
LOCATION: Parcel located on the east side of LA Highway 21, south of Hyacinth Drive; Covington S47, T7S, R11E, Ward 1, District 1

3. 2022-3064-PR – USE: Take Five Carwash: New Construction

CORRIDOR: Highway 21 Planned Corridor
ZONING: HC-2 (Highway Commercial District)
USE SIZE: 4,130 sq. ft.
PETITIONER: BSREP II Cypress TRS, LLC – Michael Blank
OWNER: BSREP II Cypress TRS, LLC – Michael Blank
LOCATION: Parcel located on the east side of LA Highway 21, north of Pinnacle Parkway; Covington S47, T7S, R11E, Ward 1, District 1

NEW BUSINESS

OLD BUSINESS

ADJOURNMENT

**MINUTES OF THE
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ROLL CALL Absent were Willie and Fitzmorris

STAFF PRESENT: Ross Liner, Helen Lambert, Erin Cook and Emily Couvillion

CALL TO ORDER

ANNOUNCEMENTS

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- **Appeals**
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- **Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal**
- **Please exit the building**

INVOCATION Randolph

PLEDGE OF ALLEGIANCE McInnis

APPROVAL OF THE AUGUST 2, 2022 MINUTES

Crawford made a motion to approve second by Randolph

YEA: Seeger, Ress, McInnis, Doherty, Barcelona, Crawford, Smail, Randolph and Truxillo

NAY:

ABSTAIN:

POSTPONING OF CASES:

8. 2022-2990-ZC

Existing Zoning:	A-2 (Suburban District)
Proposed Zoning:	A-2 (Suburban District) and MHO Manufactured Housing Overlay
Location:	Parcel located at the southeast intersection of Heathermist Drive, east of Sea Spray Drive; Slidell; S29, T9S, R15E, Ward 8, District 13
Acres:	1.66 acres
Petitioner:	Helgin Gallardo
Owner:	TRAMPROP INC-JP & WA LLC – James Lindsay
Council District:	13

Jamie Lindsay came to the podium

Crawford made a motion to postpone, second by Truxillo

YEA: Seeger, Ress, McInnis, Doherty, Barcelona, Crawford, Smail, Randolph and Truxillo

NAY:

ABSTAIN:

The motion to postpone carried

1. 2022-3016-PR – USE: McDaniel Dermatology: New Construction

CORRIDOR: Highway 21 Planned Corridor

ZONING: NC-1 (Highway Commercial District)

USE SIZE: 7,606 sq. ft.

PETITIONER: Jones Fussell – Jeff Schoen

OWNER: Ellison Holdings, LLC

LOCATION: Parcel located on the east side of LA Highway 21, south of Dummyline Road; Madisonville, S41, T7S, R10E, Ward 1, District 1

Jeff Schoen came to the podium

Crawford made a motion to postpone for one month, second by Randolph

YEA: Seeger, Ress, McInnis, Doherty, Barcelona, Crawford, Smail, Randolph and Truxillo

NAY:

ABSTAIN:

The motion to postpone carried

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Jeff also gave an update on the Honeybee case. It is scheduled for the October meeting, but they will probably not be ready until November.

ZONING CHANGE REQUEST CASES:

1. 2022-2777-ZC

Existing Zoning: A-2 (Suburban District)
Proposed Zoning: HC-2 (Highway Commercial District)
Location: Parcels located on the south side of North 5th Street, west of Vivian Street and Ladybug Lane; Covington; S42, T7S, R11E, Ward 3, District 5
Acres: .66 acres
Petitioner: Josie Adams
Owner: J&J Builders Northshore, Inc.
Council District: 5
POSTPONED FROM JULY 5, 2022 MEETING

Renee Miller spoke against this request

Ress made a motion to deny, second by Barcelona

YEA: Seeger, Ress, McInnis, Doherty, Barcelona, Crawford, Smail, Randolph and Truxillo

NAY:

ABSTAIN:

The motion to deny carried

2. 2022-2901-ZC

Existing Zoning: A-2 (Suburban District)
Proposed Zoning: A-2 (Suburban District) and MHO Manufactured Housing Overlay
Location: Parcel located on the south side of Wilson Road, west of LA Highway 59, Covington; S25, T6S, R11E, Ward 10, District 2
Acres: .665 acres
Petitioner: Jeff Schoen
Owner: H&S HOLDINGS, LLC
Council District: 2
POSTPONED FROM JULY 5, 2022 MEETING

Jeff Schoen came to the podium

Jodie Malley, Alouyse Kissgen, Terri Stevens and Diane Plaisance spoke against this request.

Barcelona made a motion to deny, second by Smail

YEA: McInnis, Barcelona, Crawford and Smail,

NAY: Seeger, Ress, Doherty, Randolph and Truxillo

ABSTAIN:

This motion failed

Seeger then made a motion to approve, second by Truxillo

YEA: Seeger, Ress, Doherty, Randolph and Truxillo

NAY: McInnis, Barcelona, Crawford and Smail

ABSTAIN

This motion also failed

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3. 2022-2914-ZC

Existing Zoning: A-1 (Suburban District) and A-2 (Suburban District)
Proposed Zoning: NC-4 (Neighborhood Institutional District)
Location: Parcel located on the north side of Sharp Road, west of Parc Place,
and east of Westwood Drive; Mandeville; S39, T7S, R11E, Ward 4,
District 5
Acres: 11.96 acres
Petitioner: Robert Beazley
Owner: St. Michael's Episcopal Church of Mandeville
Council District: 5
POSTPONED FROM JULY 5, 2022 MEETING

Robert Beazley came to the podium

Seeger made a motion to approve, second by Smail

YEA: Seeger, Ress, McInnis, Doherty, Barcelona, Crawford, Smail, Randolph and Truxillo

NAY:

ABSTAIN:

The motion to approve carried

4. 2022-2966-ZC

Existing Zoning: A-2 (Suburban District)
Proposed Zoning: A-2 (Suburban District) and MHO Manufactured Housing Overlay
Location: Parcel located on the south side of Chris Kennedy Road, east of
Central Avenue; Pearl River; S33, T7S, R14E, Ward 6, District 11
Acres: 2.50 acres
Petitioner: James Ashley
Owner: James & Cara Ashley
Council District: 11

James Ashley came to the podium

Smail made a motion to approve, second by Crawford

YEA: Seeger, Ress, McInnis, Doherty, Barcelona, Crawford, Smail, Randolph and Truxillo

NAY:

ABSTAIN

The motion to approve carried

5. 2022-2975-ZC

Existing Zoning: A-1 (Suburban District)
Proposed Zoning: A-2 (Suburban District)
Location: Parcel located on the east side of Gottschalk Road, south of Breen
Road, north of US Highway 190, Covington; S18, T6S, R10E, Ward
1, District 3
Acres: 2.38 acres
Petitioner: Jaime L. Jenkins
Owner: Jaime L. Jenkins
Council District: 3

Jaime Jenkins came to the podium

Truxillo made a motion to approve, second by Randolph

YEA: Seeger, Ress, McInnis, Doherty, Barcelona, Crawford, Smail, Randolph and Truxillo

NAY:

ABSTAIN

The motion to approve carried

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6. 2022-2977-ZC

Existing Zoning:	A-3 (Suburban District) and NC-4 (Neighborhood Institutional District)
Proposed Zoning:	NC-6 (Public, Cultural and Recreational District)
Location:	Parcel located on the west side of U.S. Highway 190, south of Indian Village Road; Slidell; S20 & S21, T9S, R15E, Ward 8, District 13
Acres:	51.458 acres
Petitioner:	Jeffrey Schoen
Owner:	Northshore Mobile Home Park, LLC
Council District:	13

Jeff Schoen came to the podium

Crawford made a motion to approve, second by Barcelona

YEA: Seeger, Ress, McInnis, Doherty, Barcelona, Crawford, Smail, Randolph and Truxillo

NAY:

ABSTAIN

The motion to approve carried

7. 2022-2989-ZC

TEXT CHANGE: ORDINANCE TO AMEND ST. TAMMANY PARISH CODE OF ORDINANCES,
PART II – LAND DEVELOPMENT CODE, CHAPTER 130 – UNIFIED DEVELOPMENT CODE,
ARTICLE IV – ZONING DISTRICTS, DIVISION 11 – A-4A(D) SINGLE-FAMILY RESIDENTIAL
DISTRICT, SEC. 130-531 – PURPOSE AND SEC. 130-534 – SITE AND STRUCTURE PROVISIONS; AS WELL AS DIVISION 12 – A-5(D) TWO-FAMILY RESIDENTIAL DISTRICT, SEC. 130-566 – PURPOSE AND SEC. 130-569 – SITE AND STRUCTURE PROVISIONS; AS WELL AS
ARTICLE V – OVERLAYS, DIVISION 2 – PUD PLANNED UNIT DEVELOPMENT OVERLAY, SEC. 130-1673 – GENERAL STANDARDS AND CRITERIA; TO EXCLUDE A-4A AND A-5 ZONING DISTRICTS FROM ELIGIBILITY FOR A PUD PLANNED UNIT DEVELOPMENT OVERLAY.

Crawford made a motion to recommend adoption-no second

Seeger made a motion to postpone for one month, second by Ress

Terri Stevens and Nancy Wagner spoke in favor of the postponement

YEA: Seeger, Ress, McInnis, Doherty, Crawford, Randolph and Truxillo

NAY: Barcelona and Smail

ABSTAIN:

The motion to postpone carried

11. 2022-3000-ZC

Existing Zoning:	A-1 (Suburban District)
Proposed Zoning:	A-2 (Suburban District)
Location:	Parcel located on the west side of Henderson Road, south of Gottschalk Road, Covington; S18, T6S, R10E, Ward 1, District 3
Acres:	3.05 acres
Petitioner:	Kimberly Jarrell
Owner:	Kimberly Jarrell
Council District:	3

This case was asked to be moved up

Kim Jarrell came to the podium

David Hoover spoke against this request

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McInnis made a motion to approve, second by Crawford

YEA: Ress, McInnis, Doherty, Crawford, Barcelona, Randolph and Truxillo

NAY: Seeger and Smail

ABSTAIN

The motion to approve carried

9. 2022-2996-ZC

Existing Zoning:	NC-1 (Professional Office District)
Proposed Zoning:	NC-4 (Neighborhood Institutional District)
Location:	Parcel located on the east side of LA Highway 21, south of Dummyline Road; Madisonville; S41, T7S, R10E, Ward 1, District 1
Acres:	1.56 acres
Petitioner:	Jeffrey Schoen
Owner:	Ellison Holdings, LLC
Council District:	1

Jeff Schoen came to the podium

Truxillo made a motion to approve, second by Crawford

YEA: Seeger, Ress, McInnis, Doherty, Barcelona, Crawford, Smail, Randolph and Truxillo

NAY:

ABSTAIN

The motion to approve carried

10. 2022-2997-ZC

TEXT CHANGE: ORDINANCE TO AMEND ST. TAMMANY PARISH CODE OF ORDINANCES, PART II – LAND DEVELOPMENT CODE, CHAPTER 130 – UNIFIED DEVELOPMENT CODE, ARTICLE IV – ZONING DISTRICTS, DIVISION 49 – AML ADVANCED MANUFACTURING AND LOGISTICS DISTRICT, SEC. 130-1620 – PURPOSE, SEC. 130-1621– PERMITTED USES, SEC. 130-1622 – ADMINISTRATIVE PERMITS, AND SEC. 130-1623 – SITE AND STRUCTURE PROVISIONS, TO EXCLUDE CERTAIN USES IN AML ZONING DISTRICTS.

Keith Espadron and John Crosby spoke in favor of this request

Joan Simon, Terri Stevens, Nancy Wagner and Terria Moore spoke against this request

Truxillo made a motion to approve as amended, second by Crawford

This motion was withdrawn

Seeger made a motion to postpone, second by Randolph

YEA: Seeger, Ress, McInnis, Doherty, Barcelona, Crawford, Smail and Randolph

NAY: Truxillo

ABSTAIN

The motion to postpone carried

Chairman Doherty reminded the Commissioners of the Special Meeting about the Code Rewrite on September 13 from 4:45 p.m to pm



ZONING STAFF REPORT
2022-2839-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Location: Parcel located on the north side of US Highway 190, east and west of Honeybee Road; Slidell; S35, T8S, R13E, Ward 9, District 11
Posted: September 8, 2022

Owner: Honeybee Holdings, LLC **Council District:** 11

Applicant: George Kurz **Commission Hearing:** October 4, 2022

Size: 275.33 acres **Determination:** Postponed until October 4, 2022



Current Zoning

TND-2 Traditional Neighborhood District

Requested Zoning

TND-2 Planned Traditional
Neighborhood District

Future Land Use

Low Intensity Residential

Flood Zone

Effective Flood Zone C

Critical Drainage: No

FINDINGS

Procedures for General Implementation Plan Review

1. The current request is to utilize the site’s existing TND-2 Traditional Neighborhood Development zoning classification and provide a General Implementation Plan subject to Sec. 130-1518 – “General Implementation Plan”. The applicant has held several pre-application conferences with the Department of Planning and Development for the purpose of exchanging information and determining the eligibility of the request for consideration as a traditional neighborhood development. A preapplication meeting was held on July 19, 2022 to allow members of the Zoning Commission, members of the public, and members of the development team to discuss the project.
2. **Following the Public Workshop Session, the Zoning Commission “shall review the traditional neighborhood development request and general implementation plan and any comments submitted by any adjoining property owners and shall make a recommendation to the Council to approve, approve with conditions, or deny the general implementation plan. In its recommendation to the Council, the Commissions shall include the reasons for such recommendation”. The Zoning Commission may not consider the request at the required Public Workshop.**

Per Sec. 130-1518(2)(c), if approved by the Parish Council, the adopted General Implementation Plan will rezone the property to “TND-2 Planned Traditional Neighborhood Development” and allow the petitioner to submit a Specific Implementation Plan subject to Section 130-1519 – “Specific Implementation Plan” for review within 36 months.

Zoning History

3. The petitioned site is comprised of 275.33 acres of undeveloped property which is bisected by the existing 20 ft. wide, Parish maintained Honeybee Road. The site was zoned TND-2 Traditional Neighborhood Development through the 2009 St. Tammany Parish Comprehensive rezoning efforts and has remained undeveloped since. The same site was the subject of a rezoning request for an underlying zoning classification of A-4A Single-Family Residential District (2021-2354-ZC) and Planned Unit Development Overlay (2021-2355-ZC); both of which were denied by the Parish Council on March 3, 2022 (Resolution No’s. C-6581 and C-6582).

Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
09-2020	SA Suburban Agriculture	TND-2 Traditional Neighborhood District

Compatibility or Suitability with Adjacent Area



ZONING STAFF REPORT
2022-2839-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

4. Table 2: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Residential	A-2 Suburban District
South	Undeveloped	TND-2 Traditional Neighborhood Development District
East	Undeveloped	TND-2 Traditional Neighborhood Development District
West	Undeveloped	A-2 Suburban District and A-3 Suburban District

The subject property abuts an existing residential neighborhood zoned A-2 Suburban District to the north, undeveloped property that is also zoned TND-2 Traditional Neighborhood Development to the east and south, and undeveloped property zoned A-2 Suburban District and A-3 Suburban District to the west. There are multiple residential neighborhoods within a mile of the subject property along US Highway 190 and an existing elementary school across the street from the subject property on US Highway 190.

TND Density

5. Table 3: Allowable Density Per Sec. 130-1512(d), “the number of residential dwelling units and the amount of nonresidential development, excluding open spaces, shall be determined as follows, provided that single-family detached dwellings shall account for at least 50% of the total number of residential units in the TND”.

Residential Type	Permitted Density	Acreage	Allowable Density	Proposed Density
Single-Family	5 to 8+ dwelling units per acre	135.9 acres	680 – 1,087 (+)	788
Multi-Family	40 dwelling units per acre	28.6 acres	1,144	785

The Honeybee TND is comprised of 275.33 acres and is proposed to be developed with roughly 1,573 residential dwellings including 788 single-family detached homes and 785 multifamily, duplex, townhomes, and residential units above commercial development. Per Sec. 130-1512, each residential category has been placed within its own area on the TND plan which includes 7 single-family residential areas totaling 135.9 acres, 2 multifamily residential areas totaling 28.6 acres, and an area for townhomes totaling 7.8 acres.

As seen in Table 3 - Allowable Density Per Sec. 130-1512(d)(1), the density levels proposed on the Honeybee TND plan are below the allowable density levels indicated in the TND ordinance.

Sec. 130-1512(e): TND Greenspace

6. Table 4: Greenspace/Open Space Regulations

Regulation	Required	Provided
Min. 20% gross acreage must be open space	55.6 acres	73.3 acres
Parks and greenbelt areas must be at least 25% of common open space	13.9 acres	14.9 acres
90% of lots shall be within ½-mile or 15 min. walk from open space	1,416 lots	1,573 acres
20% max common open space devoted to paved areas and structures	11.12 acres	To be verified with specific implementation plan
Wetlands may account for open space with not less than 50% bottomland hardwood, pine savannah, or brackish marshland		To be verified with submission of jurisdictional determination

Open space is a significant part of a TND-2 district design. Formal and informal open spaces are required. These serve as areas for community gatherings, landmarks, and as organizing elements for the neighborhood. Open space includes squares, plazas, greens, preserves, parks, and greenbelts.

Open space uses may include the following: a central square, neighborhood parks, recreational facilities, playgrounds, environmental corridors, protected natural areas, community parks, streams, ponds, and other water bodies, and stormwater detention/retention facilities.

Open space uses may not include yards which are not accessible for the common use of the development, parking areas, drives, utilities with above ground improvements or road easements and servitudes, structures, drainage ditches or canals, or areas reserved for the exclusive use and benefit of an individual tenant or owner.

Currently, the open space calculations provided by the applicant for the Honeybee TND state the plan is providing 73.3 acres of common open space which exceeds the open space requirements by 17.7 acres. While this figure meets the stated goals listed within the TND greenspace/open space ordinance, staff recognizes the purpose of the General Implementation Plan is to provide a general plan of the proposed land uses and their overall impact on the subject and surrounding land. These numbers and requirements will need to be reevaluated upon submission of the Specific Implementation Plan.



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PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

TND Use Types

7. Per Sec. 130-1510(b), a TND-2 District is divided into at least two types of areas and each area type has different land use regulations. A TND-2 district must have one neighborhood center area (otherwise known as town center or village center) and at least one mixed residential area. A TND-2 district may also have a neighborhood edge area, civic spaces, and green spaces.

Table 5: TND Use Types Required

Use Type	Definition	Provided	Staff Comment
Neighborhood Center Area	A neighborhood center serves as the focal point of a TND-2 district, containing retail, commercial, civic, and/or public services to meet the daily needs of community residents. A neighborhood center is pedestrian oriented, and is designed to encourage pedestrian movement. A square may be located in a neighborhood center area. Retail and commercial uses should generally be located adjacent to a square. The neighborhood center uses include retail shops, restaurants, offices, banks, hotels, post office, governmental offices, churches, community centers, and attached residential dwellings.	<p>The TND plan shows a 10,000 sq. ft. commercial building on (+/-) 1.5 acres and civic uses on (+/-) 1.5 acres</p> <p><u>Proposed commercial uses may include:</u></p> <p>Professional/Medical Office; Retail and Service Uses; Neighborhood Services; Educational Services/Day Care; Bank and Financial Services; Arts, Entertainment, and Recreation Services</p> <p><u>Proposed civic uses may include:</u></p> <p>Police Substation; Library; Fire Station; Museum; Post Office; Church, Temple, Synagogue</p>	Per Sec. 130-1509, the purpose of the TND-2 is to provide for the daily recreational and shopping needs of the residents including shops and workplaces which promote economic opportunity. A TND should be self-sustaining providing opportunities to work, live, and play all within a single development. Staff has determined a single 10,000 sq. ft. commercial building and a 1.5-acre space dedicated to a civic use does not meet the intent of a TND and will not meet the shopping or institutional needs for the proposed 1,573 dwelling units shown on the plan.
Mixed Residential Area	A mixed residential area includes a variety of residential land uses, including single-family residential, duplex, townhome, and multi-family. Residential scale retail and commercial uses are permitted within a mixed residential area with strict architectural and land use controls. Retail and commercial uses in a mixed residential area are required to blend into the residential character of the neighborhood. A mixed residential area includes open spaces including small squares, pocket parks, community parks, and greenbelts. A mixed residential area promotes pedestrian activity through well designed and varied streetscapes that also provide for the safe and efficient movement of vehicular traffic. Mixed residential area uses include single-family homes, condominiums, townhomes, apartments, offices, short term rentals, restaurants, neighborhood scale retail, and civic uses. Mixed residential areas often utilize alleys.	The TND plan shows 10 residential areas including six (6) single-family residential areas, two (2) multi-family areas, one (1) townhome area, and one (1) live-work space area.	While the applicant does not provide a mixed residential area as required by code, staff has determined the number and type of residential uses required by the TND ordinance has been met and mixing these residential uses may not create any greater benefit.



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Director

Table 5: TND Use Types Required Cont.

Use Type	Definition	Provided	Staff Comment
Neighborhood Edge Area	A "neighborhood edge area" is the least dense portion of a TND-2 district, with larger lots and greater setbacks than the rest of the neighborhood. Alleys are not required, and direct vehicular access to streets is permitted. Only single-family residential dwellings (attached or detached) are permitted. A neighborhood edge area is appropriate along the perimeter of the neighborhood. A portion of a TND-2 district that adjoins existing or platted conventional low-density housing must be designated as a neighborhood edge area.	The TND plan shows a neighborhood edge area along the northern and western side of the subject site.	While the neighborhood edge area does appear to be the least dense portion of the TND with the largest lots, staff has determined the 60' lots do not provide a variety compared to the proposed 40' and 50' lots for the rest of the single-family development.
Civic Spaces	Civic uses that are oriented to the general public are permitted in a neighborhood center area and a mixed residential area. These uses are essential components of the social and physical fabric of a TND-2 district. Civic space shall be integrated in residential and commercial areas in the TND. TND-2 districts shall incorporate civic common open spaces to be maintained by the municipality and/or private open spaces to be maintained by the community or landowners within the TND-2 district. Special attention should be paid to the location of government offices, libraries, museums, schools, churches, and other prominent public buildings to create focal points and landmarks for the community. The locations of these major public civic uses are designated on the development plan at the time of commission approval of a particular development.	<p>The TND plan shows a proposed civic area on (+/-) 1.5 acres within the Neighborhood Center area</p> <p>Proposed Civic Uses may include: Police Substation; Library; Fire Station; Museum; Post Office; Church/Temple/Synagogue</p>	Per Sec. 130-1510(g), "civic spaces shall be integrated into residential and commercial areas". The current TND plan shows a single area for civic space within the neighborhood center. In order to be consistent with the requirements of the code, the applicant has placed a "live-work space" within the neighborhood center.

Commercial and Institutional Uses

- META Planning and Design, in support of DR Horton has provided a "General Implementation Plan Cover Letter" to provide insight into the design and thought processes which have formulated the bases of the Honeybee TND-2 General Implementation Plan". In this letter, the META Planning team has stated that the Honeybee site is adequately sized to be able to support and integrate the range of housing and rental options along with some commercial and civic uses to function as a "village center" as opposed to a "town center" which would be more typical with a larger development site. The META letter goes on to compare the Honeybee site to the Seaside TND in Florida which is approximately 80 acres in size but performed as a catalyst to "create a series of independent village centers" and "as each develops the commercial or other non-residential uses should look to fill in what the needs of the residents and the developing community as a whole lack at the time as possible". The letter states that the intention is "to implement a high-level framework...in order to guide its future development in line with the required ordinance as well as trying to encapsulate as many TND principles that make places like *Seaside*, *Celebration*, *Daybreak*, and other traditional neighborhood developments around the nation special and outstanding in their regions.

Zoning Commission
October 4, 2022

Department of Planning and Development
St Tammany Parish, Louisiana

EDC
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PLANNING & DEVELOPMENT

Ross Liner
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As a response, staff has researched the basic design and master plans of the Traditional Neighborhood Developments and Master Planned Communities specifically referenced in this letter to provide a comparison of size, density, and commercial and institutional development (see below Table 6).

Table 6: Comparison of TND Developments Nationwide

TND	Description	Units	Density	Commercial Space	Civic Amenities
Seaside *DPZ CoDesign *The Seaside Library	Seaside is an 80-acre resort community on the shores of the Gulf of Mexico. The program for Seaside was originally conceived to approximate the scale and character of historic Southern towns. The Seaside plan proposes traditional American settlement patterns as an alternative to contemporary methods of real estate development. To this end, the retail center was designed as a downtown commercial district; the conference facility doubles as a town hall; and a portion of the recreation budget was dedicated to the creation of small civic amenities, including a chapel, a primary school, a fire station, and a post office, all to be shared by adjacent communities.	624	7.8 units per acre	84,178 sq. ft.	80 Amenities are provided in Seaside Florida including 1 Post office 1 Chapel 1 Neighborhood School 1 Academic Village 1 Amphitheater Plaza and Stage 11 Pavillions 2 Pool 1 Fitness Center etc.
Celebration *Congress for The New Urbanism	Built along the edge of Walt Disney World, Celebration is a 6,848-acre census-designated master-planned community with a population of 9,92k.	There is no public information pertaining to the density levels within Celebration. The residential development is made up of 8+ villages, each which provide various amenities, retail spaces, and workplace spaces.			2 K-8 schools 1 Highschool 1 Stetson University 1 Bank 1 Post Office More than 500 companies 6 Christian Churches 1 Jewish Congregation
Daybreak *Congress for The New Urbanism	Daybreak is comprised of 4,100 acres in the greater Salt Lake City region and is still developing to this day. This development is connected to light rail, all homes are Energy Star certified, and the community was created with a core value of sustainable development. The Daybreak development includes more than 1,000 acres of open space and a recreational lake.	20,000+	5 units per acre	15 million sq. ft. of commercial space	A town center, parks, schools, churches, and employment centers are built into the community. The urban center is home to more than 60,000 people.

As can be seen, the size, density levels, and commercial and institutional development of communities like Daybreak and Celebration are of much greater magnitude than the proposed Honeybee Development. And while the Seaside development at 80 acres may be considered a smaller comparable size, the commercial retail and amenities provided far outpace the Honeybee TND proposal. Because of this, staff has researched other TND developments of similar size located within Louisiana to compare with the acreage, density levels, and commercial and institutional development they provide (see below Table 7).

Zoning Commission
October 4, 2022

Department of Planning and Development
St Tammany Parish, Louisiana

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PLANNING & DEVELOPMENT

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Table 7: Comparison TND Developments of Similar Size:

TND	Description	Units	Density	Retail Space	Civic Amenities
Village of River Ranch	A 324-acre community centric traditional neighborhood development in Lafayette	800 single family residential and 750 multi-family residential structures	5 units per acre	80 acres	7 parks, 1 Health Club including a full-service health and wellness center, a day spa, a dry cleaner, and dining facilities, 3 Hotels, Post Office, Library, Banking, Community Center, Athletic Field, Medical Clinic, Pharmacy
Long Farm Village – Baton Rouge	A 237-acre traditional neighborhood development planned to include more than 1,500 housing units, consisting of single-family homes, townhomes, condominiums and multi-family units.	1,500 +	6 units per acre	600,000 sq. ft. of retail, restaurant, and office	Pool, Clubhouse, Paved Lake Walk, Benches, Bike Trials, Athletic Fields, Open Space and Parks
The Settlement at Willowgrove – Baton Rouge	A 112-acre traditional neighborhood development which provides single-family dwellings, townhome dwellings, and mixed commercial, office, retail, and mixed residential uses.	337 low density units 45 medium density units 67 high density units	4 units per acre	1.07 acres of commercial, office, retail, and mixed residential	Pool and cabana, Children's play area, 10 parks including a 14-acre park, Landscaped gardens, 2-20 ft. deep stocked ponds, Amphitheater for community activities, Open field for sports

TND	Description	Units	Density	Retail Space	Civic Amenities
Honeybee	A proposed Traditional Neighborhood Development located on 275.33 undeveloped areas along the north side of Highway 190	Around 1,573	5.7 units per acre	10,000 sq. ft.	<div>10,000 sq. ft. commercial</div> <div>1.5 acre civic</div> <div>Bayou Paquet Greenbelt</div> <div>Pipeline Servitude</div> <div>Open space improvements may include walking trails or sidewalks along Bayou Paquet and the lake/detention areas; Benches and other seating areas; Additional landscaping and plantings; Nature/informational signage; Habitat creation along greenbelts or in lake areas; Play structures or similar within the rec center and other active park areas; Pavilions and other shade structures</div>



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PLANNING DEPARTMENT
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Commercial and Institutional Uses Cont.

As can be seen by the information found in Table 7, there are more similar Traditional Neighborhood Developments which have been developed within Louisiana that have comparable sizes, lower density levels, and heightened commercial and civic uses. While the TND ordinance does not require a specific amount of commercial or civic uses based on the proposed density of a development, the purpose statements of a TND state that the development should provide economic opportunity and the daily recreational and shopping needs of the residents.

On average, the typical size of a Dollar General store is roughly 10,000 sq. ft. in size which is the same amount of commercial development the Honeybee TND is proposing. Staff has determined that 10,000 sq. ft. of commercial development will not adequately provide the shopping needs of 1,500 new home sites. In addition, based on the number of amenities and commercial development provided for in the Traditional Neighborhood Developments referenced in Table 7, staff recommends the applicant increase the amount of land proposed for commercial and civic uses or decrease the proposed density.

TND PURPOSE

9. Per Section 130-1509, the purpose of a TND-2 Traditional Neighborhood Development Zoning District ("TND-2 district") is to encourage mixed-use, compact development and facilitate the efficient use of services. A TND-2 district diversifies and integrates land uses within close proximity to each other, and it provides for the daily recreational and shopping needs of the residents. A TND-2 district is a sustainable, long-term community that provides economic opportunity and environmental and social equity for the residents. This division's intent is to encourage its use by providing incentives, rather than prohibiting conventional development. Traditional neighborhood development:

- a. Is designed for the human scale

Per Sec. 130-1512(e), 90% of lots shall be within ½-mile or 15 min. walk from open space. The proposed TND plan allows all dwelling units and all areas of the development site to be within a ½-mile radius or a 10-minute walk.

- b. Provides a mix of uses, including residential, commercial, civic, and open space uses in close proximity to one another within the neighborhood

The Honeybee TND plan provides three types of residential uses including single-family, duplexes, and multi-family residential. The General Implementation Plan also shows 1.5 acres set aside for commercial development and 1.5 acres set aside for civic development, and exceeds the total amount of greenspace/open space required for TND developments.

- c. Provides a variety of housing types, and sizes to accommodate households of all ages, sizes, and incomes

The proposed TND Plan is providing the following housing types:

- a. Low Density Provided: Neighborhood Edge Area – 60' lots at a density of (+/-) 5 units per acre
- b. Medium Density Provided: 7 Single-Family Residential Areas – 40' and 50' lots at a density of (+/-) 8 units per acre
- c. High Density Provided: 1 Townhome Area at a density of (+/-) 10 units per acre and 2 Multi-Family Residential Areas at a density of (+/-) 30 units per acre

Staff has determined that a difference of 20 ft. in lot sizes for the proposed 788 single-family units does not meet the purpose of a TND which is to provide a variety of housing types, and sizes to accommodate households of all ages, sizes, and incomes.

In addition, staff has determined the low-density area which is proposed at 5 units per acre does not meet the intent of the ordinance requiring "low density". The second highest density zoning classification within the UDC is A-4 Single-Family Residential District and allows four units per acre. This proposed TND is providing a density of five units per acre for the "low density" portion of the TND.

- d. Includes residences, shops, workplaces and civic buildings interwoven within the neighborhood, all within close proximity

Per Sec. 130-1509, the purpose of the TND-2 is to provide for the daily recreational and shopping needs of the residents including shops and workplaces which promote economic opportunity. A TND should be



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PARISH PRESIDENT

PLANNING DEPARTMENT
Ross Liner
Director

self-sustaining providing opportunities to work, live, and play all within a single development. Staff has determined a single 10,000 sq. ft. commercial building and a 1.5-acre space dedicated to a civic use does

not meet the intent of a TND and will not meet the shopping or institutional needs for the proposed 1,573 dwelling units shown on the plan.

- e. Incorporates a system of relatively narrow, interconnected streets, roads, drives, and other thoroughfare types with sidewalks and bikeways, that offer multiple routes for motorists, pedestrians, and bicyclists and provides for the connections of those thoroughfare types to existing and future developments

The Honeybee General Implementation Plan provides Avenues, Sub-Collector Drives, Local Streets, and Alleys, most of which provide bicycle lanes and sidewalks in accordance with Sec. 130-1512(h). In addition, the plan is providing two "potential stub streets to reduce block lengths" as a potential to tie into future developments. Staff will study these concepts more thoroughly at the Specific Implementation stage.

In addition, staff has determined that Honeybee Road should be reconstructed into a four-lane Boulevard to accommodate the level of density being proposed and heightened the safety for the only entrance and exit into the subdivision.

- f. Includes compatibility of buildings and other improvements as determined by their arrangement, bulk, form, character and landscaping to establish a livable, harmonious and diverse environment

The applicants for the Honeybee TND have submitted preliminary Architectural Drawings that satisfy the requirements listed in Sec. 130-1512(j). While conceptual in nature at this time, the applicants recognize that more detailed plans will be needed at the Specific Implementation Plan stage which insure compatibility and harmonious design within all uses of the TND.

- g. Incorporates environmental features into the design

Based on the wetland delineation, 77.08% of the total acreage of the Honeybee TND is wetlands. The 275.33-acre site contains approximately 212.33 acres or more of wetlands including 21.18 acres of Marginal Mixed Wetlands and 191.04 acres of Pine Savannah Wetlands. Per Sec. 130-1512(e), the TND greenspace ordinance allows for preserved wetlands to count towards open space requirements. Staff recommends the TND plan preserve more of these wetlands on site so as not to disturb the natural storage capacity of rainfall.

- h. Coordinates transportation systems with a hierarchy of appropriately designed facilities for pedestrians, bicycles, and vehicles

The TND plan provides various types of roadways which include travel lanes, bike lanes, sidewalks, and planting strips. In addition, the Honeybee TND is providing a 50' Pedestrian Greenbelt which will run north-south along the existing 30' Pipeline Easement to the eastern portion of the plan. An additional Pedestrian Greenbelt which will run north-south along the existing Bayou Paquet along the western side of the plan will also be added. There are also various other "Multi-Use Trails" which run throughout the plan.

- i. Provides well-configured squares, plazas, greens, landscaped streets, preserves, greenbelts and parks woven into the pattern of the neighborhood

Currently, the open space calculations provided by the applicant for the Honeybee TND state the plan is providing 73.3 acres of common open space which exceeds the open space requirements by 17.7 acres. The TND Plan is currently showing several locations of greenspace provided within each residential type, all connected by various pedestrian corridors. Staff does have concerns about the total amount of greenspace being provided which is accounted for by the nine pond areas and will look to further evaluate the greenspace/open space requirements upon submittal of the Specific Implementation Plan.

- j. Incorporates architecture, landscape, lighting and signage standards integrated with the zoning provisions that respond to the unique character of the region.

Comprehensive sign guideline, landscape guideline, and lighting plan will be required for the entire TND district with the production of the Specific Implementation Plan.

- k. Provides an increased range of options than are allowed by conventional zoning



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Section 125-84 – “Contiguous Lot Rule” of the St Tammany Parish Subdivision Ordinance requires 50’ of lot width for a parcel to be considered a buildable lot of record. This prohibition does not apply to lots created within the TND-2 ordinance primarily because the purpose of a Traditional Neighborhood Development is to provide a dense village-style development which addresses typical modern growth patterns such as neighborhood sprawl. Instead, a well-designed TND ensures a range of housing options, a network of well-connected streets with a diversity of public spaces, and enough amenities to ensure the daily recreational and shopping needs of the residents. The TND-2 ordinance provides developers with the ability to essentially create a village where high density and small lot sizes are permitted in exchange for abundant and diverse amount of commercial and civic uses that enables residents to live, work, and play within their own community. The developer is proposing single-family lots with widths of 40’, 50’, and 60’ and are in exchange proposing 10,000 sq. ft. commercial building area and a single civic space which would encompass 1.5 acres of the 275-acre tract. Staff has determined that the amount of commercial and singular civic area designated for the proposed Honeybee development do not satisfy the purpose of a TND and will not meet the commercial and institutional needs of over 1,573 households.

Consistency with New Directions 2040

Low Intensity Residential: Predominantly single family, detached homes on very large lots. The lower residential density creates a more spacious character appropriate as a transition between the Parish’s Rural or Conservation areas and more intense land uses. The dispersed development pattern makes public services and amenities less efficient and more expensive to provide, and so residents typically must travel farther to access them.

10. The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:

- i. Goal 1.8: A variety of safe, affordable, and attractive housing types will meet the needs of our diverse community.
- ii. Strategy 1.6.3: Encourage traditional neighborhood developments featuring attractive, compact, walkable, mixed-use patterns throughout the Parish by maintaining zoning classifications and districts that permit traditional neighborhood development at various scales.
- iii. Goal: 4.2: Our Neighborhood design will support physical activity and healthy living for people of all ages and abilities, helping maintain our status as one of the state’s healthiest communities.

The proposed zoning change is not consistent with the following goals, policies, and strategies of the Comprehensive Plan:

- i. Goal 1.3: The character of existing residential areas, expansive rural landscapes, and sensitive ecological areas will be preserved.
- ii. Goal 1.4: Land and buildings will be developed in ways that lower the risk and incidence of flooding and flood damages caused by rainfall and storm surge.
- iii. Goal 1.7: Resilient building and land development practices will reduce or eliminate the potential impact of flood and wind hazards, particularly at critical facilities.
- iv. Goal 1.5: Adequate infrastructure and utilities will be available in areas permitted for new development
- v. Strategy 1.5.1: Locate new residential and commercial development within, adjacent to, or near existing towns and activity centers and associated infrastructure, services, and amenities
- vi. Strategy 1.5.2: Locate high intensity land uses adjacent to high capacity transportation corridors.
- vii. Goal 2.2: Roadway function, design, and capacity will be compatible with and support existing and anticipated land uses in adjacent areas.
- viii. Goal 3.2: Viable examples of our critical and sensitive areas, including native plant and animal habitats, tree resources, and wetlands, will be conserved, protected, stable, and flourishing.
- ix. Goal 3.3: Our waterways, watersheds, floodplains, and groundwater will be protected, maintained, and restored to maximize water quality and sustain a drinkable water supply.



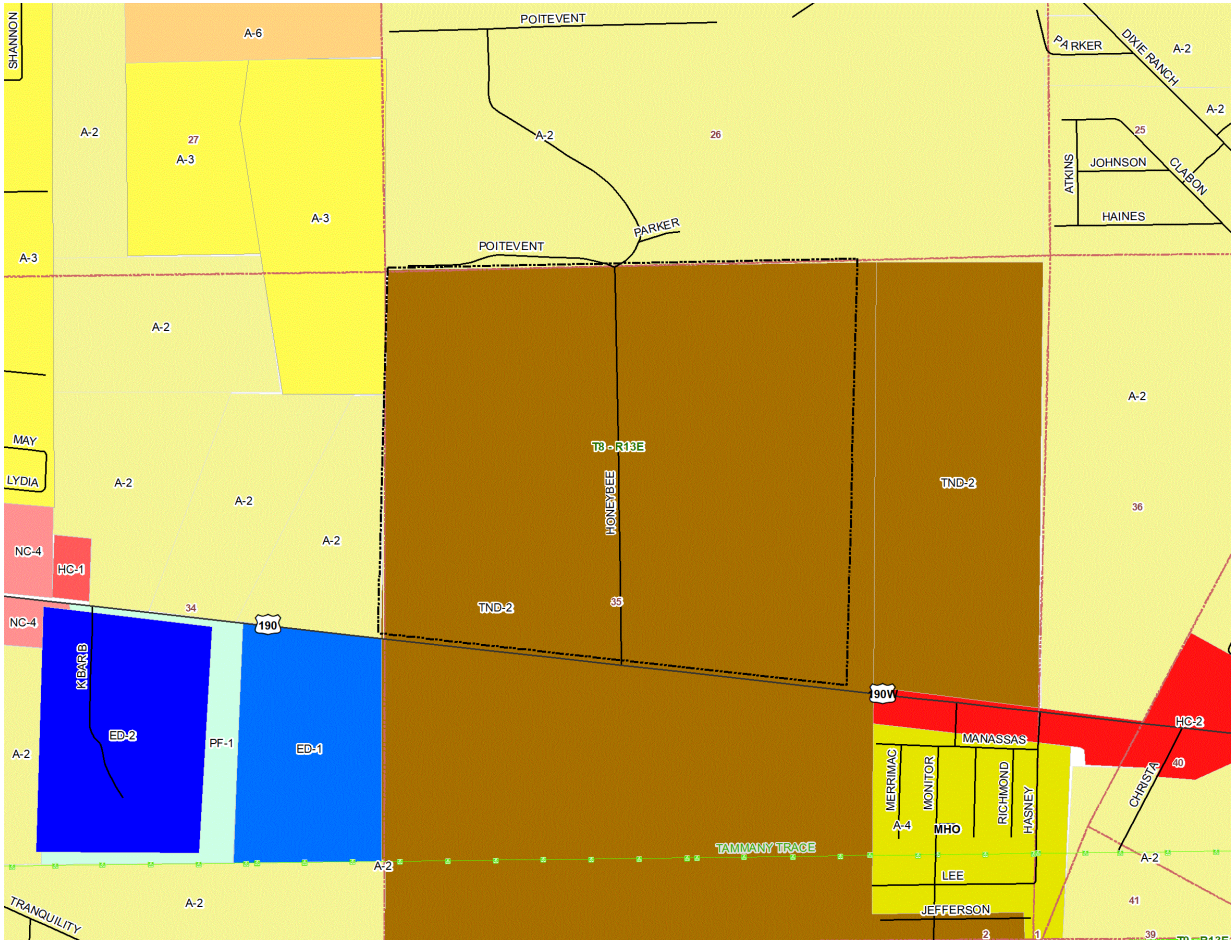
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MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING DEPARTMENT
Ross Liner
Director

INFORMATIONAL ITEMS:

- 11. Road names and addresses must be requested and approved by 911
- 12. The developer for all new residential single-family sites must notify the U.S. Postal Service’s local Grown Manager to determine the appropriate mode of mail delivery. Applicant must provide the location of the proposed centralized mail delivery services with the production of the Specific Implementation Plan.





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HC-3 E-1

HC-3

OLD TODD RD

PBC-1

A-2

GREEN RD

A-6

27

N POITEVENT RD

26

A-2

A-3

A-3

S POITEVENT RD

A-2

T8 - R13E

A-2

TND-2

A-2

A-2

A-2

34

35

HONEYBEE RD

TND-2

ED-2
PF-1

ED-1

HC-2

MERRIMAC DR

MONITOR DR

CHARLESTON DR

RICHMOND DR

HASNEY RD

36

TAMMANY TRACE

A-4

LEE DR

A-2

A-2

2

A-2

T9 - R13E

3

S TRANQUILITY RD

SUNSET ST

40

BAYOU PAQUET ST

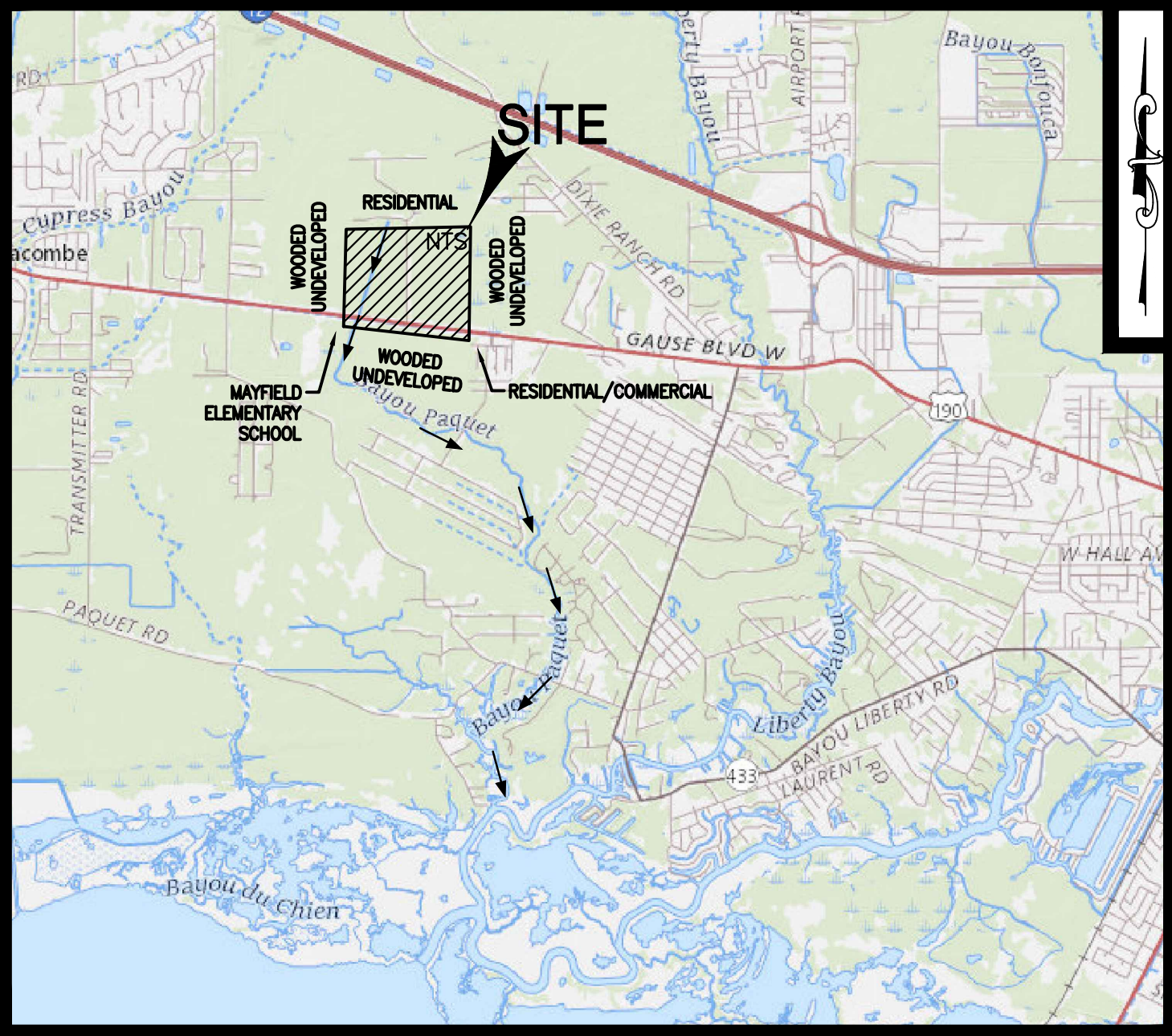
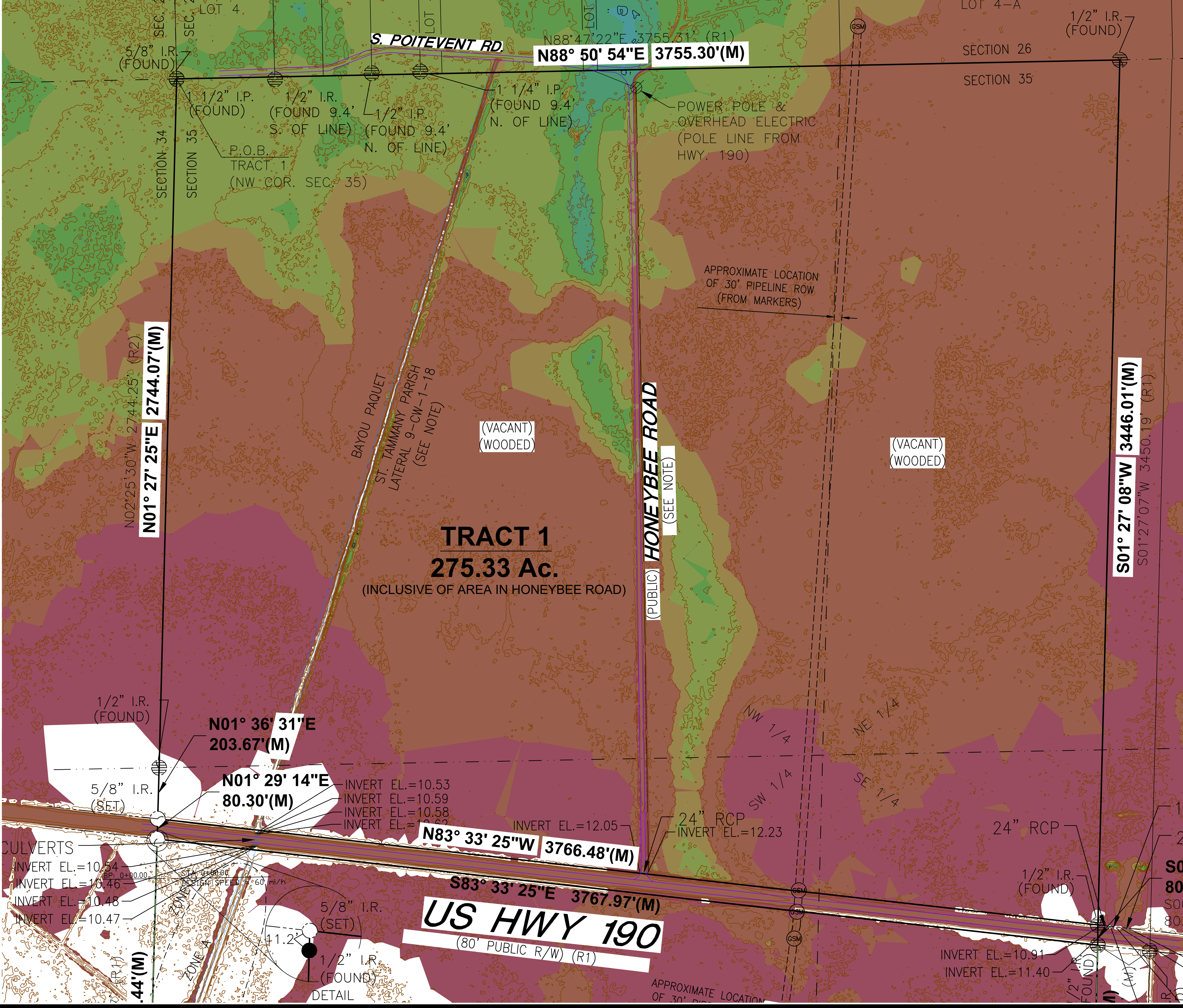
A-2

PARK AV

39

EXISTING SITE CONDITIONS PLAN FOR
HONEYBEE SUBDIVISION

Honeybee TND-2 General Implementation Plan
SECTION 35, TOWNSHIP 8 SOUTH - RANGE 13 EAST
GREENSBURG LAND DISTRICT
ST. TAMMANY PARISH, LOUISIANA



VICINITY MAP/ULTIMATE STORMWATER DISPOSAL

Elevations Table			
Number	Minimum Elevation	Maximum Elevation	Color
1	14.000	15.000	
2	15.000	16.000	
3	16.000	17.000	
4	17.000	18.000	
5	18.000	19.000	
6	19.000	20.000	
7	20.000	21.000	
8	21.000	22.000	
9	22.000	23.000	
10	23.000	24.000	

SURVEY DESCRIPTION:

A CERTAIN PIECE OR PARCEL OF LAND BEING THAT PORTION OF THE WEST HALF AND THE WEST HALF OF THE EAST HALF, LESS AND EXCEPT A STRIP ONE ACRE WIDE ON THE EAST SIDE, LYING NORTH OF US HIGHWAY 190, SECTION 35, TOWNSHIP 8 SOUTH, RANGE 13 EAST, GREENSBURG LAND DISTRICT, ST. TAMMANY PARISH, LOUISIANA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 1 1/2" IRON PIPE FOUND NEXT TO A 5/8" IRON ROD AT THE NORTHWEST CORNER OF SAID SECTION 35; THENCE N88°50'54"E ALONG THE NORTH LINE OF SAID SECTION 35 A DISTANCE OF 3755.30 FEET TO A 1/2" IRON ROD FOUND; THENCE LEAVING SAID NORTH LINE OF SAID SECTION 35 A DISTANCE OF 3446.01 FEET TO A 1/2" IRON ROD FOUND ON THE NORTH RIGHT OF WAY LINE OF US HIGHWAY 190; THENCE N83°33'25"W ALONG SAID NORTH RIGHT OF WAY LINE A DISTANCE OF 3766.48 FEET TO A 5/8" IRON ROD SET ON THE WEST LINE OF SAID SECTION 35; THENCE N01°36'31"E ALONG THE WEST LINE OF SAID SECTION 35 A DISTANCE OF 203.67 FEET TO A 1/2" IRON ROD FOUND AT THE QUARTER CORNER COMMON TO SECTION 26, TOWNSHIP 8 SOUTH, RANGE 13 EAST AND SAID SECTION 35; THENCE N01°27'28"E ALONG THE WEST LINE OF SAID SECTION 35 A DISTANCE OF 2744.07 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 275.33 ACRES, INCLUSIVE OF ANY PORTION IN THE RIGHT OF WAY FOR HONEYBEE ROAD, AS SURVEYED BY DUPLANTIS DESIGN GROUP, PC, PROJECT NO. 20-889, DATED DECEMBER 28, 2020, AND IS SUBJECT TO ANY SERVITUDES OR RESTRICTIONS OF RECORD.

NOTES:

REFER TO ALTA SURVEY PERFORMED BY DUPLANTIS DESIGN GROUP, PC DATED 01/11/2021 FOR NOTES REGARDING BAYOU PAQUET AND HONEYBEE ROAD AS WELL AS REFERENCE MAPS USED.

CONTOURS SHOWN ARE AT 1' INTERVALS AND ARE DERIVED FROM LIDAR.

THIS SUBMITTAL WAS PREPARED AND SUBMITTED BASED ON THE ST. TAMMANY PARISH UNIFIED DEVELOPMENT CODE THAT WAS LAST UPDATED ON MARCH 9, 2022.

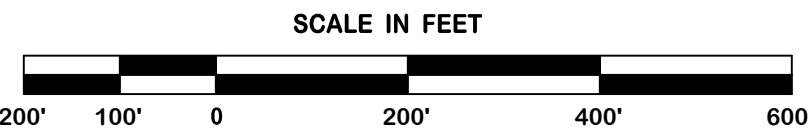
DEVELOPER:
HONEYBEE HOLDINGS
7696 VINCENT ROAD
DENHAM SPRINGS, LA. 70726

PRIMARY CONTACT:
ADAM KURZ

Note: This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described IS NOT located in a special flood hazard area. It is located in Flood Zone G.

FIRM Panel # 2050415.C Rev. April 2, 1991
FIRM Panel # 2282050405.C Rev. October 17, 1989
NEAREST ADJACENT 100 YEAR BASE
FLOOD ELEVATION = 14'

Not For Construction
**EXISTING
SITE
CONDITIONS
MAP**



REVISION	BY

16564 E. Brewster Road,
Suite 101
Covington, LA 70433
Office: 985.249.6180
Fax: 985.249.6190
www.ddgpc.com

ddg
DUPLANTIS DESIGN GROUP

SIGNATURE: _____
DATE: _____

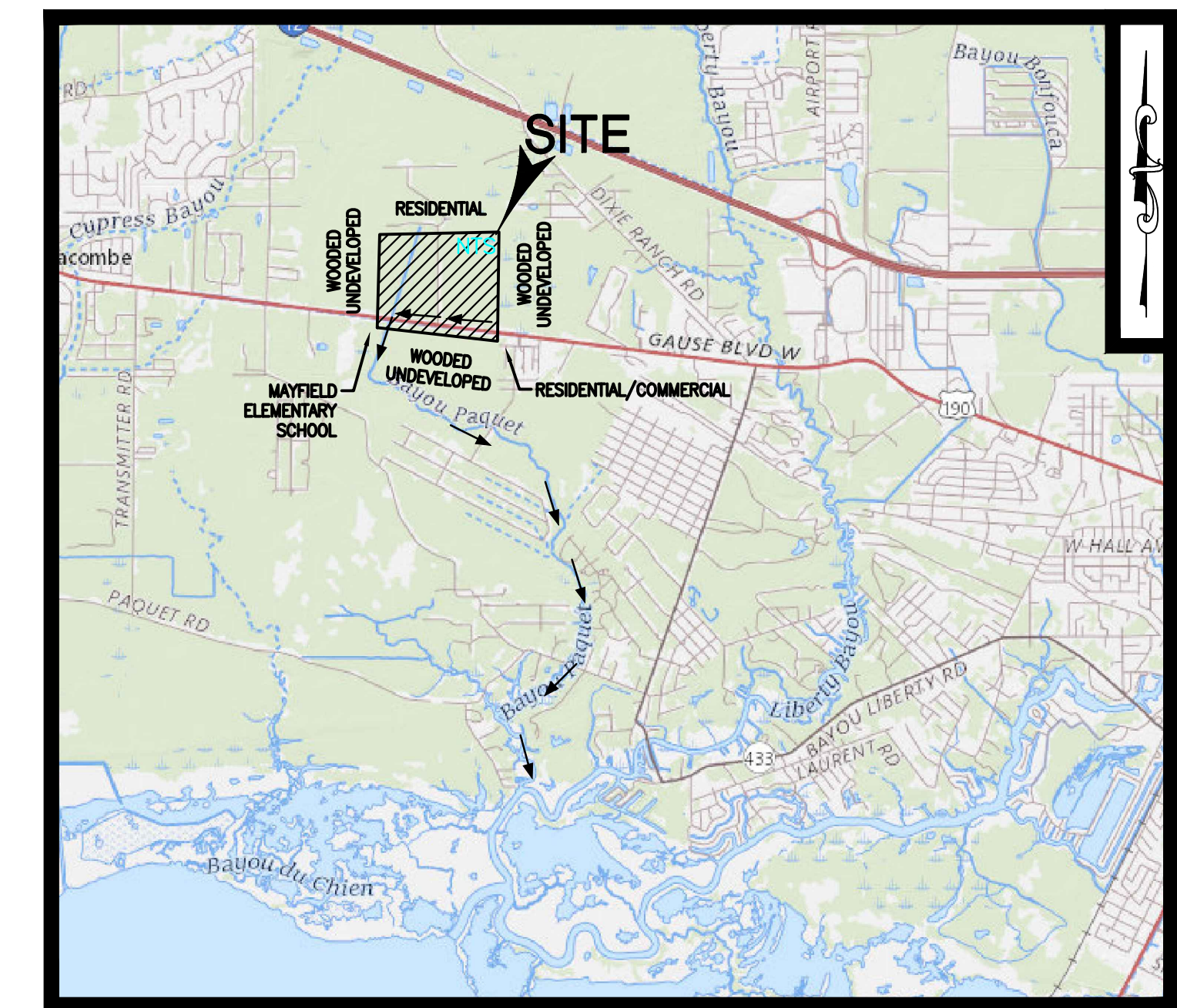
STAMP

HONEYBEE SUBDIVISION
SECTION 35, TOWNSHIP 8
SOUTH - RANGE 13 EAST
GREENSBURG LAND DISTRICT
ST. TAMMANY PARISH, LOUISIANA
FOR HONEYBEE HOLDINGS
DENHAM SPRINGS, LOUISIANA

DRAWN
NUL
CHECKED
EHS
ISSUED DATE
04-07-2022
ISSUED FOR
REVIEW
PROJECT NO.
20-889
FILE
20-889 Existing Conditions
Maps
SHEET
TND-1

EXISTING SITE CONDITIONS PLAN FOR HONEYBEE SUBDIVISION

Honeybee TND-2 General Implementation Plan
SECTION 35, TOWNSHIP 8 SOUTH - RANGE 13 EAST
GREENSBURG LAND DISTRICT
ST. TAMMANY PARISH, LOUISIANA



VICINITY MAP/ULTIMATE WASTEWATER DISPOSAL
N.T.S.

SURVEY DESCRIPTION:

A CERTAIN PIECE OR PARCEL OF LAND BEING THAT PORTION OF THE WEST HALF AND THE WEST HALF OF THE EAST HALF, LESS AND EXCEPT A STRIP ONE ACRE WIDE ON THE EAST SIDE, LYING NORTH OF US HIGHWAY 190, SECTION 35, TOWNSHIP 8 SOUTH, RANGE 13 EAST, GREENSBURG LAND DISTRICT, ST. TAMMANY PARISH, LOUISIANA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 1 1/2" IRON PIPE FOUND NEXT TO A 5/8" IRON ROD AT THE NORTHWEST CORNER OF SAID SECTION 35; THENCE N88°50'42"E ALONG THE NORTH LINE OF SAID SECTION 35 A DISTANCE OF 3755.30 FEET TO A 1/2" IRON ROD FOUND; THENCE LEAVING SAID NORTH LINE OF SAID SECTION 35°27'08"W A DISTANCE OF 3446.01 FEET TO A 1/2" IRON ROD FOUND ON THE NORTH RIGHT OF WAY LINE OF US HIGHWAY 140; THENCE N83°33'25"W ALONG SAID NORTH RIGHT OF WAY LINE A DISTANCE OF 3766.48 FEET TO A 5/8" IRON ROD SET ON THE WEST LINE OF SAID SECTION 35; THENCE N01°36'31"E ALONG THE WEST LINE OF SAID SECTION 35 A DISTANCE OF 203.67 FEET TO A 1/2" IRON ROD FOUND AT THE QUARTER CORNER COMMON TO SECTION 28, TOWNSHIP 3 SOUTH, RANGE 10 EAST AND SAID SECTION 35; THENCE N01°27'25"E ALONG THE WEST LINE OF SAID SECTION 35 A DISTANCE OF 2744.07 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 275.33 ACRES, INCLUSIVE OF ANY PORTION IN THE RIGHT OF WAY FOR HONEYBEE ROAD, AS SURVEYED BY DUPLANTIS DESIGN GROUP, PC, PROJECT NO. 20-889, DATED DECEMBER 28, 2020, AND IS SUBJECT TO ANY SERVITUDES OR RESTRICTIONS OF RECORD.

NOTES:

REFER TO ALTA SURVEY PERFORMED BY DUPLANTIS DESIGN GROUP, PC DATED 01/11/2021 FOR NOTES REGARDING BAYOU PAQUET AND HONEYBEE ROAD AS WELL AS REFERENCE MAPS USED.

CONTOURS SHOWN ARE AT 1' INTERVALS AND ARE DERIVED FROM LIDAR.

THIS SUBMITTAL WAS PREPARED AND SUBMITTED BASED ON THE ST. TAMMANY PARISH UNIFIED DEVELOPMENT CODE THAT WAS LAST UPDATED ON MARCH 9, 2022.

DEVELOPER: HONEYBEE HOLDINGS
7896 VINCENT ROAD
DENHAM SPRINGS, LA 70726

PRIMARY CONTACT: ADAM KURZ

Note: This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described IS NOT located in a special flood hazard area. It is located in Flood Zone G.

FIRM Panel # 2050415 C Rev. April 2, 1991
FIRM Panel # 2252050405 C Rev. October 17, 1988

NEAREST ADJACENT 100 YEAR BASE
FLOOD ELEVATION IS 14'

Not For Construction

EXISTING

SITE

CONDITIONS

MAP

SCALE IN FEET

A horizontal scale bar with alternating black and white segments. Below the bar, numerical labels indicate distances: 200', 100', 0, 200', 400', and 600'.

REVISION	BY

16564 E. Brewster Road,
Suite 101
Covington, LA 70433
Office: 985.249.6180
Fax: 985.249.6190
www.ddgpc.com



SIGNATURE:

DATE:

JUNE 1991

HONEYBEE SUBDIVISION
SECTION 35, TOWNSHIP 8
SOUTH - RANGE 13 EAST
GREENSBURG LAND DISTRICT
ST. TAMMANY PARISH, LOUISIANA
FOR HONEYBEE HOLDINGS
DENHAM SPRINGS, LOUISIANA

DRAWN NJL
CHECKED EHS
ISSUED DATE 04-07-2022
ISSUED FOR REVIEW
PROJECT NO. 20-889
FILE 20-889 Existing Conditions Maps
SHEET

TND-2

LAND USE & ACREAGE ANALYSIS

LEGEND		
RESIDENTIAL ±172.3 Ac. (62.6%)		
	SINGLE FAMILY DETACHED	788 LOTS ±135.9 Ac.
	MULTIFAMILY / ATTACHED	785 UNITS ±36.4 Ac.
NON-RESIDENTIAL ±3.0 Ac. (1.1%)		
	COMMERCIAL (±10,000 SQ FT BUILDING)	±1.5 Ac.
	CIVIC	±1.5 Ac.
COMMON OPEN SPACE ±73.3 Ac. (26.6%)		
	REC. CENTER & PARKS	±8.1 Ac.
	DETENTION / DRAINAGE / LAKE	±46.5 Ac.
	BAYOU PAQUET GREENBELT	±6.8 Ac.
	LANDSCAPE / OPEN SPACE	±11.9 Ac.
UTILITIES & SERVITUDES ±11.4 Ac. (4.1%)		
	UTILITY SITES	±2.2 Ac.
	BAYOU PAQUET SERVITUDE	±7.0 Ac.
	PIPELINE SERVITUDE	±2.2 Ac.
MAJOR ROADWAYS ±15.3 Ac. (5.6%)		
COLLECTORS/SUB-COLLECTORS		±15.3 Ac.
PROJECT TOTAL		±275.3 Ac.

* ALL LAND USE ACREAGES AND LOCATIONS ARE CONCEPTUAL AND SUBJECT TO CHANGE PENDING FURTHER REFINEMENT AND ADDITIONAL SCHEMATIC DESIGN UPON COMPLETION OF THE SPECIFIC IMPLEMENTATION PLAN.

* A MINIMUM OF TWENTY-FIVE (25) PERCENT OF THE COMMON OPEN SPACE WILL BE DEDICATED TO THE PUBLIC AS PARKLAND.

* THIS DEVELOPMENT WILL MAINTAIN NO GREATER THAN 50.0% ATTACHED/MF UNITS IN ACCORDANCE WITH TND-2 REGULATIONS.

DISTRICT DENSITY ASSUMPTIONS

	SINGLE FAMILY (60's) - ±5.0/ACRE
	SINGLE FAMILY (40'/50's) - ±8.0/ACRE
	TOWNHOMES - ±10.0/ACRE
	MULTIFAMILY - ±30.0/ACRE

RESIDENTIAL UNIT PROJECTIONS

SINGLE FAMILY DETACHED - 788 LOTS
MULTIPLE FAMILY UNITS - 785 UNITS
(DUPLEX/TOWNHOME/MF)

* UNIT PROJECTIONS FOR SINGLE FAMILY DETACHED ARE CALCULATED BASED ON AN APPROXIMATED NET ACREAGE BASIS REMOVING LOCAL STREET ROWS. APPROXIMATE NET ACREAGE WAS CALCULATED USING A 0.75 COEFFICIENT (75%) OF THE GROSS ACREAGE PER RESIDENTIAL AREA AS ILLUSTRATED ON THIS GENERAL IMPLEMENTATION PLAN.

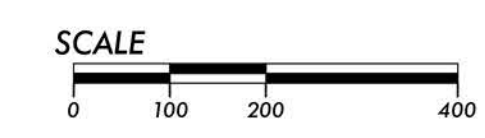
HONEYBEE TND-2 GENERAL IMPLEMENTATION PLAN

±275.3 ACRES OF LAND

prepared for

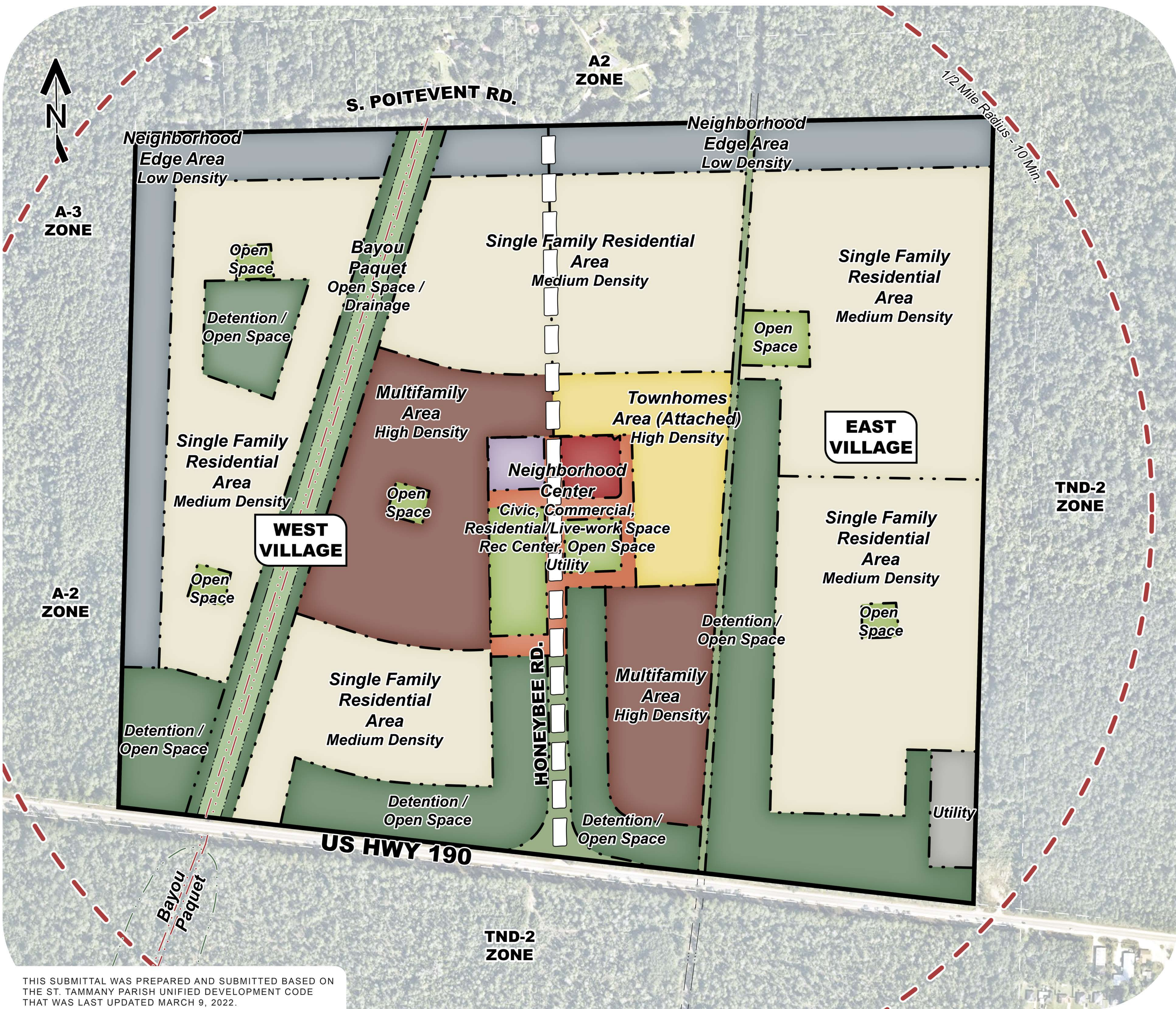


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Tel: 281-810-1422

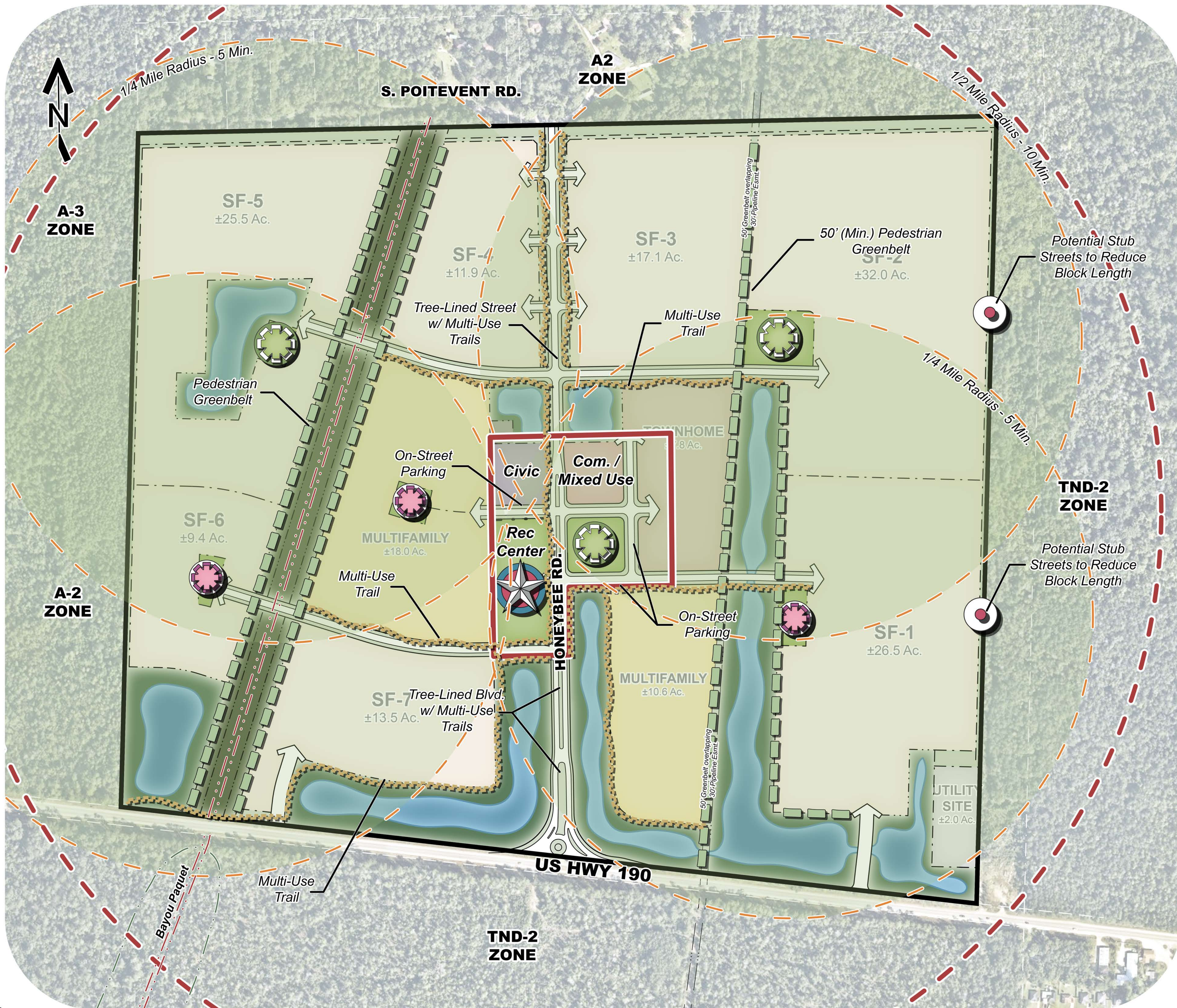


MTA-21052
JUNE 24, 2022

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RECREATION CENTER - MAJOR PARK SPACE
MAY INCLUDE POOL, AMENITY CENTER,
PLAYGROUND, PAVILION, SPLASH PAD, ETC.



NEIGHBORHOOD PARK -
MAY INCLUDE PLAZA, GREAT LAWN,
PAVILION, TRAILS, PLAYGROUND, ETC.



POCKET PARK -
MAY INCLUDE PLAYGROUND, BENCHES,
PAVILION, TRAILS, ETC.

OPEN SPACE CALCULATIONS

±73.3 ACRES (26.6% OF SITE) OF COMMON OPEN SPACE
INCLUDING: POCKET PARKS, RECREATION CENTER, VILLAGE
SQUARE, BAYOU PAQUET (OUTSIDE THE PROPOSED 100'
SERVITUDE), AND LAKE/DETENTION AREAS.
A PEDESTRIAN GREENBELT IS PROPOSED OVER THE 30'
PIPELINE SERVITUDE EAST OF HONEYBEE ROAD, BUT IS
NOT CURRENTLY CALCULATED INTO THE COMMON OPEN
SPACE REQUIREMENT.
ALL PROPOSED MIXED RESIDENTIAL USES WILL BE WITHIN
1/2 MILE OR 15 MINUTE WALK OF COMMON OPEN SPACE

* ALL PARK AND OPEN SPACE IMPROVEMENTS ARE CONCEPTUAL
AT THIS TIME FOR PURPOSES OF THE GENERAL IMPLEMENTATION
PLAN AND ARE SUBJECT TO CHANGE. LOCATION AND AMENITIES/
IMPROVEMENTS WILL BE FURTHER DEVELOPED AND PROGRAMMED
AS THE DEVELOPMENT PROGRESSES.

THIS SUBMITTAL WAS PREPARED AND SUBMITTED BASED ON
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THAT WAS LAST UPDATED MARCH 9, 2022.

HONEYBEE TND-2 GENERAL IMPLEMENTATION PLAN

± 275.3 ACRES OF LAND

prepared for

D.R. HORTON DHI
Listed
NYSE
America's Builder

META
PLANNING + DESIGN

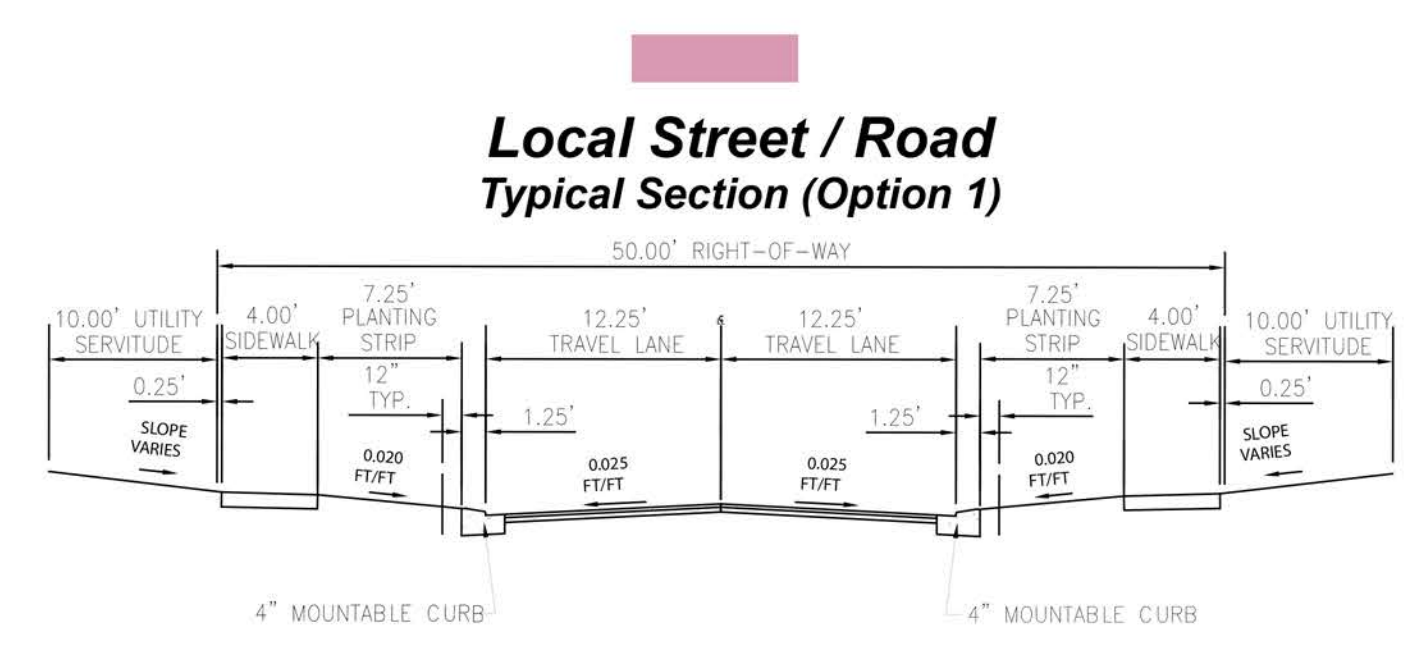
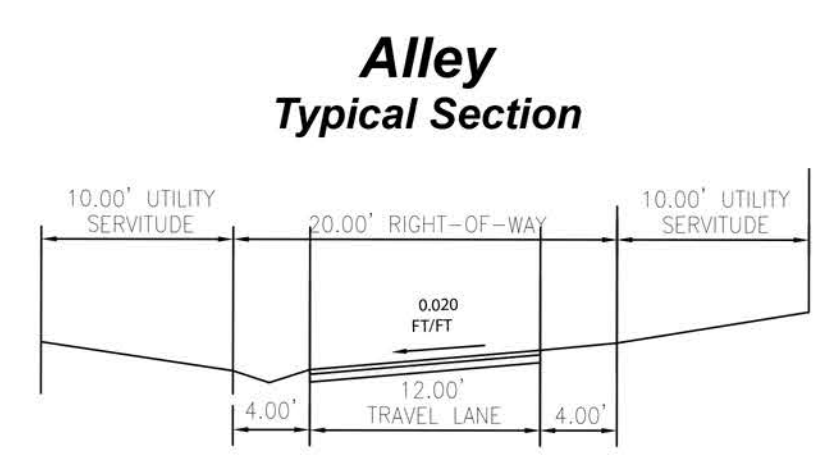
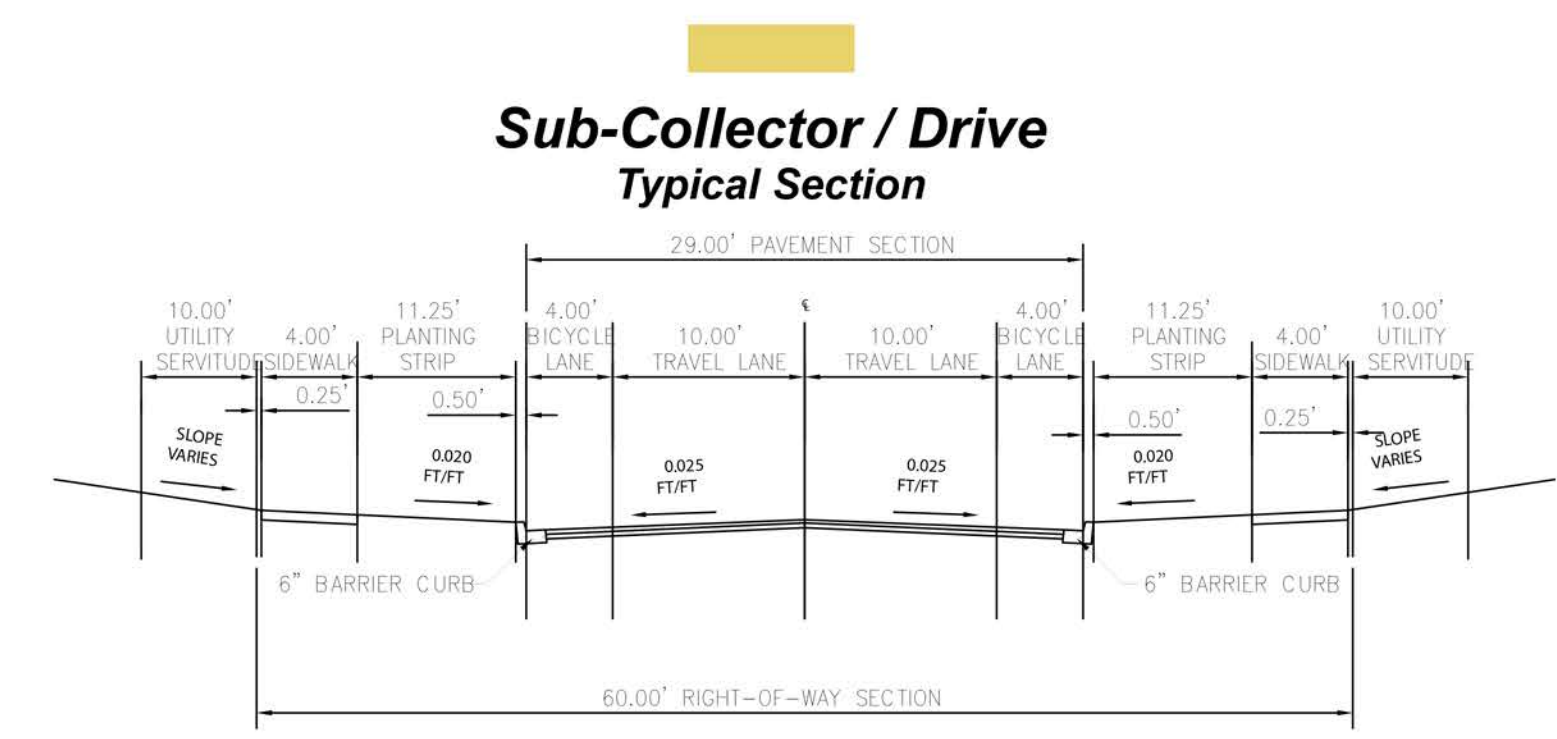
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Katy, Texas 77494
Tel: 281-810-1422

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- II - LOT AND BLOCK STANDARDS
- ALL BLOCK PERIMETER DEPTHS AND LENGTHS WILL BE PROVIDED WITH THE SPECIFIC IMPLEMENTATION PLAN UPON COMPLETION OF STREET AND LOT LAYOUT.
 - BLOCK LENGTHS WILL BE LESS THAN 2,000' IN PERIMETER AND WILL ALLOW FOR ROAD EXTENSIONS INTO FUTURE NEIGHBORHOODS WHERE APPLICABLE.
 - BLOCKS LONGER THAN 500' WILL BE TRAVERSED NEAR THE MIDPOINT OF THE BLOCK WITH A PEDESTRIAN RESERVE/PATH.

* ALL CROSS SECTIONS AND ROAD DESIGNATIONS ARE SUBJECT TO CHANGE PENDING FURTHER STUDY AS PART OF THE SPECIFIC IMPLEMENTATION PLAN AND ANY ADDITIONAL COMMENTS WHICH MAY COME AS PART OF TRAFFIC STUDY AND/OR PUBLIC AGENCY REVIEW.

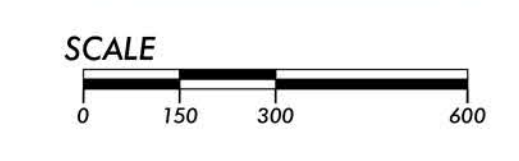
HONEYBEE TND-2 GENERAL IMPLEMENTATION PLAN

± 275.3 ACRES OF LAND
prepared for

D.R. HORTON DHI
America's Builder

META
PLANNING + DESIGN

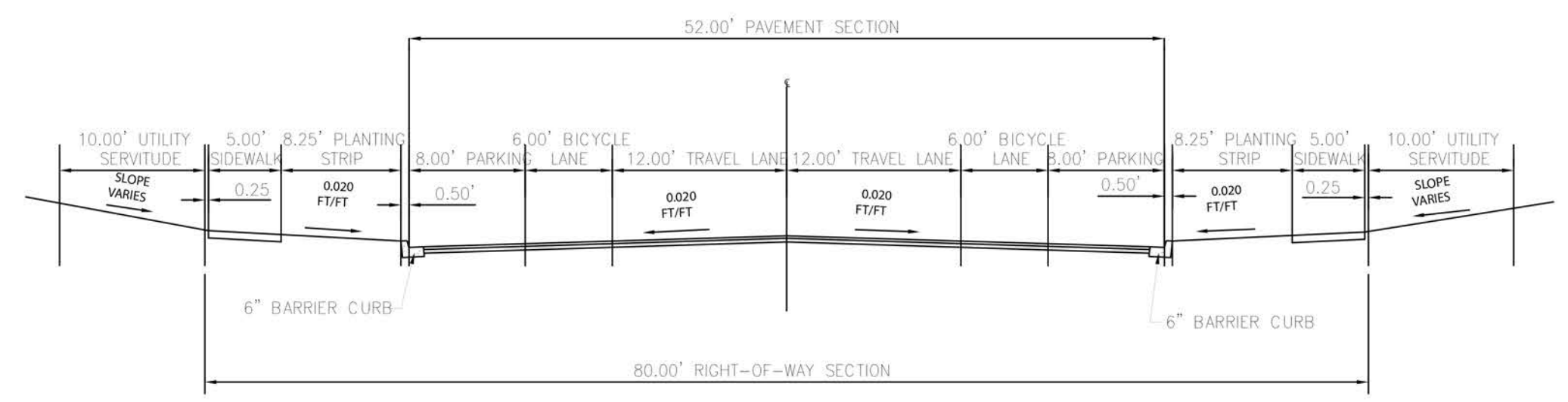
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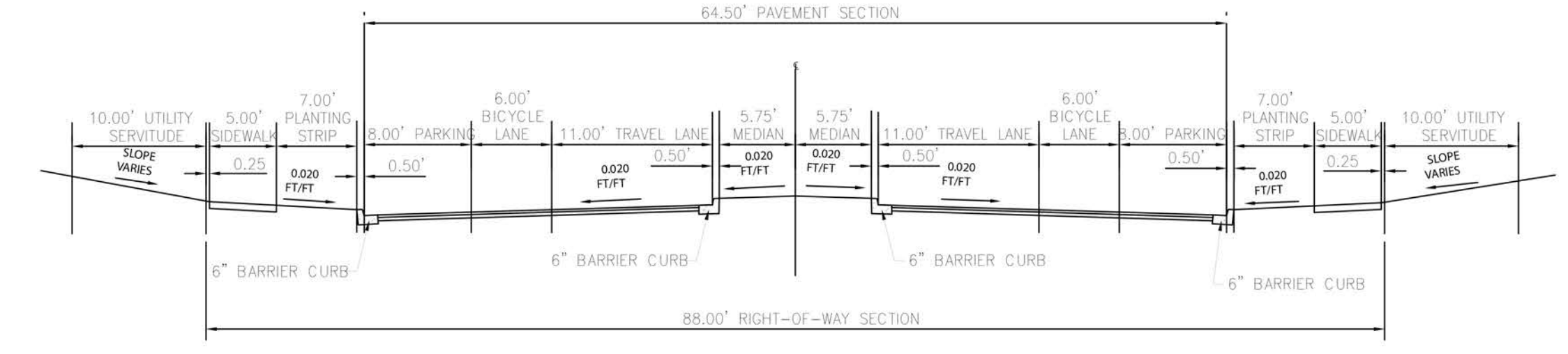
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Collector / Avenue
Typical Section (Option 1)



Collector / Avenue
Typical Section (Option 2)



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Duplex Facades



ELEVATION FL
1/8" = 1'-0"



ELEVATION GL
1/8" = 1'-0"



ELEVATION FL
1/8" = 1'-0"



ELEVATION GL
1/8" = 1'-0"



ELEVATION FL
1/8" = 1'-0"



ELEVATION GL
1/8" = 1'-0"



ELEVATION FL
1/8" = 1'-0"



ELEVATION GL
1/8" = 1'-0"

Louisiana East Farmhouse Facades



Multifamily Townhome Facades

* ALL RESIDENTIAL AND MULTIFAMILY FACADES ARE SAMPLE IMAGERY FROM OTHER CURRENT OR PREVIOUS DEVELOPMENTS WITHIN THE REGION BY THE DEVELOPER AND MAY NOT ILLUSTRATE THE EXACT FACADES AND/OR FLOOR PLANS ULTIMATELY USED FOR THIS DEVELOPMENT. A SIMILAR STYLE AND DESIGN ELEMENTS WILL BE UTILIZED TO THESE EXAMPLES AND WILL BE SUBMITTED FOR REVIEW AT THE APPROPRIATE TIME IN THE DEVELOPMENT PROCESS AS REQUIRED.

* THE COMMERCIAL, CIVIC AND OTHER MIXED USE LAND USES AND STRUCTURES WITHIN THE VILLAGE CENTER WILL UTILIZE SIMILAR DESIGN ELEMENTS TO THESE IMAGES AND THE SINGLE FAMILY DESIGNS TO ENSURE VISUAL COHESION AND BEING REPRESENTATIVE OF THE LOCATION AND REGION AS A WHOLE.

HONEYBEE TND-2 GENERAL IMPLEMENTATION PLAN

± 275.3 ACRES OF LAND
prepared for

D.R. HORTON DHI Limited NYSE
America's Builder

META
PLANNING + DESIGN

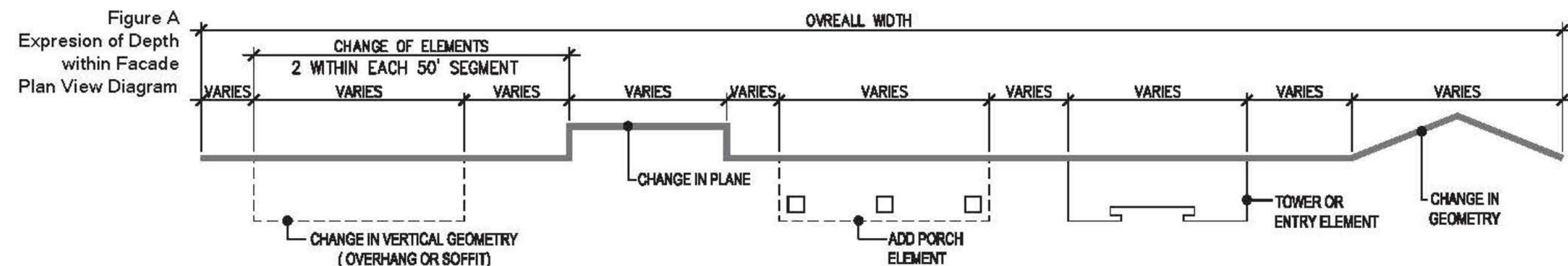
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Sample Facade Articulation Treatments



Mixed Materials and Facade Articulation



Retail Facade Treatments & Pedestrian Zone



Outdoor Lighting at Entries and along Paths



On-Street Parking



Parking in Rear / Removed from Major View Corridors

* ALL COMMERCIAL AND MIXED USE FACADES ARE SAMPLE IMAGERY FROM OTHER SIMILAR DEVELOPMENTS OR ADHERE TO SIMILAR DESIRABLE DESIGN CRITERIA AND MAY NOT ILLUSTRATE THE EXACT FACADES AND/OR STRUCTURES ULTIMATELY USED FOR THIS DEVELOPMENT. A SIMILAR STYLE AND DESIGN ELEMENTS WILL BE UTILIZED TO THESE EXAMPLES AND WILL BE SUBMITTED FOR REVIEW AT THE APPROPRIATE TIME IN THE DEVELOPMENT PROCESS AS REQUIRED.

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META PLANNING + DESIGN

St. Tammany Parish Panning & Zoning Commission



TND General Implementation Plan Submittal Checklist

Project Name: Honeybee TND-2 Project

Date Submitted: 3/25/2022

Consultant: META Planning & Design/Duplantis Design Group

The following information is required on all TND General Implementation Plan Submittals.

I. Existing Site Conditions Map: This map or series of maps shall be drawn to a scale determined by the Planning Department Staff and shall indicate:

- ☒ Title of the TND and name of developer _____
- ☒ North arrow, graphic scale, and date _____
- ☒ Vicinity map(this may be shown on the cover sheet) _____
- ☒ A general location quadrangle map encompassing a one (1) mile radius showing the relationship of the site to such external facilities as highways, shopping areas, and cultural complexes _____
- ☒ Boundary lines and existing improvements _____
 - ☒ 1. All existing streets and buildings _____
 - ☒ 2. Existing and proposed major streets _____
 - ☒ 3. Water courses _____
 - ☒ 4. Easements _____
 - ☒ 5. Section lines _____
 - ☒ 6. Any unique physical features within the proposed project _____
- ☒ Existing topography (latest U.S. Department of the Interior Geological Survey seven and one half minute series reproduced to scale of other use data will be acceptable) _____
 - ☒ 1. Flood Zone designation and delineate on map if more than one zone applies _____
 - ☒ 2. 100 Year Base Flood Elevation(if not in flood zone, list the nearest adjacent) _____
 - ☒ 3. Inundation(if available) N/A _____
 - ☒ 4. Additionally a statement shall be lettered on the Concept Plan setting forth these facts. _____
- ☒ The location and size (as appropriate) of all existing drainage, water, sewer, and other utility provisions _____
- ☒ Land Characteristics (pasture, woodland, etc.) _____
- ☒ The location and function of all other existing public facilities, which would serve the site such as schools, parks (within a one (1) mile radius), and fire stations. Notation of this information is acceptable. _____
- ☒ An aerial photograph to a scale of 1 inch equals 200 feet taken within twenty-four (24) months of the application _____
- ☒ Existing contours shown at a maximum contour interval of one (1) feet (Latest LIDAR is acceptable) _____

II. General Implementation Plan: This plan shall be prepared at the same scale as the above existing site conditions map and shall indicate:

- ☒ A general plan for the use of all lands within the proposed TND. Such plans shall indicate the general function and extent of all components or units of the General Implementation Plan, including the following: _____
 - ☒ 1. Specify the types of area/district within the TND _____
 - ☒ a. Neighborhood Center or Town Center/Village Center(required) _____
 - ☒ b. Mixed Residential Area(required) _____
 - ☒ c. Neighborhood Edge Area _____
 - ☒ d. Civic Spaces _____
 - ☒ e. Common Open Space _____



- ☒ 2. Indicate on plans low, medium, and high density residential areas _____
- ☒ 3. Indicate the proposed density for each category _____
- ☒ 4. Indicate office, commercial and industrial uses (indicate proposed intensity (square footage per acre) of all nonresidential uses) _____
- ☒ 5. Indicate Common Open Space Provisions. Common Open Spaces must satisfy the following minimum criteria (minimum twenty (20%) percent of gross acreage of the TND District) _____
 - ☒ a. Total Common Open Space is minimum twenty (20%) percent of gross acreage of the TND District _____
 - ☒ b. At least twenty-five (25%) percent of the Common Open Space must be dedicated to the public as parkland _____
 - ☒ c. Ninety (90%) percent of the lots within the areas devoted to mixed residential uses shall be within ½ mile or a 15 minute walk from Common Open Space _____
 - ☒ d. Common Open Space must satisfy Sec. 130-1512 requirements. _____
- ☒ Development Units (Single-family detached dwellings shall account for at least fifty (50%) of the total number of residential units within the TND district. Two-family units, Townhomes, and multi-family units shall comprise less than fifty (50%) of units within the TND district _____
 - 1. In areas devoted to mixed residential uses:
 - ☒ a. Maximum number of single-family attached and detached units is 5 – 8± dwelling units per net acre _____
 - ☒ b. Maximum number of multi-family units is 8 - 40 dwelling units per net acre _____
 - ☒ c. The number of secondary dwelling units shall not be comprised of more than ten (10%) percent of the total number of single-family attached and detached units _____
 - 2. In areas devoted as mixed areas:
 - ☒ a. Maximum number of single-family attached and detached units is 5-8 dwelling units per net acre plus an additional number of units not to exceed ten (10%) percent _____
 - ☒ b. Maximum number of multi-family units is 8 - 40 dwelling units per net acre plus an additional number of units not to exceed ten (10%) percent _____
 - ☒ c. All dwelling units constructed above commercial uses shall be permissible in addition to the number of dwelling units authorized under Sec. 130-1512 as long as the total number of dwelling units is not increased by more than 10 units or ten (10%) percent, whichever is greater. _____
 - ☒ d. The total ground floor area of nonresidential development uses, including off-street parking areas, shall not exceed twenty-five (25%) percent of the TND District. _____
- ☒ Indicate current zoning of adjacent properties on all plan sheets _____
- ☒ Indicate the proposed methods for handling offsite storm water and the proposed outfall locations _____
- ☒ If this development is to be built in Phases than, delineate the boundaries. All data that is required for the project, as a whole, is required for each Phase. _____
- ☒ Lot and Block Standards
 - ☒ 1. Block's Perimeter depths and lengths _____
 - ☒ 2. Block lengths are less than 2000 ft in perimeter _____
 - ☒ 3. Blocks longer than 500 ft are traversed near the midpoint by a pedestrian path _____
 - ☒ 4. Lot widths _____
 - ☒ 5. Front building Setbacks for Mixed Used Areas (no minimum) _____
 - ☒ 6. Front Building Setbacks for Mixed-Residential Uses _____
 - ☒ a. 0-25 ft for Single-family detached _____
 - ☒ b. 0-15 ft for Single-Family attached and multifamily _____
 - ☒ 7. Rear Building Setbacks for the principle building on lots devoted to single-family detached residences is greater than thirty (30) feet from the rear lot line _____



- ☒ 8. Reciprocal access easement and pedestrian access to the rear yard for zero (0) lot-line single-family dwellings _____
- ☒ A separate sketch plan for pedestrians and vehicular circulation showing/noting;
- ☒ 1. the general locations and rights-of-way, widths and the general design capacity of the system as well as access points to the major thoroughfare _____
 - ☒ 2. the preservation and enhancement of any existing pedestrian routes _____
 - ☒ 3. that all streets, except for alleys, are bordered by sidewalks on both sides _____
 - ☒ 4. that in residential areas, all dwelling entrances are connected to the adjacent public sidewalk with clear and well-lighted sidewalks _____
 - ☒ 5. the sidewalks are separated at least seven (7') feet from the curb _____
 - ☒ 6. that in mixed-use areas, clear and well-lighted walkways connect building entrances to the adjacent public sidewalk and associated parking areas _____
 - ☒ 7. that intersections of sidewalks with thoroughfares are well lit and clearly marked with contrasting paving materials at the edges or with striping _____
 - ☒ 8. that bicycle circulation is accommodated on streets and/or dedicated bicycle paths _____
 - ☒ 9. the provisions for minimizing conflicts with pedestrians and bicycles _____
 - ☒ 10. thoroughfares and utilities in TND Districts are connected to existing thoroughfares and utilities, or dead-end as stubs that are intended for connection to future thoroughfares _____
 - ☒ 11. the longest distance for a resident to an existing or proposed commercial, civic, or open open space area (should be approximately ½ mile or a 15 minute walk) _____
 - ☒ 12. Where public transit service is available or planned, convenient Access to Transit Stops shall be provided. Where transit shelters are provided, they shall be placed in highly visible locations that promote security through surveillance, and shall be well lighted. _____
- ☒ Notes to be placed on the plans
- ☒ All utilities are placed underground and/or shall run within Alley Easements _____
 - ☒ Conditions, covenants, and restrictions for all the property within a TND District must be filed in the Parish records by the Owner before a Lot is sold and/or a Building permit is issued. _____
 - ☒ In addition to other terms and conditions acceptable to the applicant, the conditions, covenants, and restrictions must create one (1) or more property owners Associations with mandatory membership for each property Owner, governed by Articles of Incorporation and Bylaws, which shall:
 - a. be organized by the applicant and operated with a financial subsidy from the applicant before the sale of any Lots within the TND District;
 - b. provide for the conditions and timing of transferring control of the Association from the applicant to the property Owners;
 - c. be responsible for maintenance of insurance and taxes on all Common Open Space, enforceable by liens placed on the Association by the Parish, as provided in the Association Bylaws;
 - d. at all times, cause all Owners to have Access to the Common Open Space within the TND District;
 - e. establish architectural standards that are in conformity with the requirements of this ordinance which shall be subject to review and approval by the Board of Directors of the Association or the Architectural Control Committee, as described below;
 - f. create an Architectural Control Committee to review Development for compliance with the architectural standards, to issue certificates of approval, and to review and approve the Development's architect, designer, and/or other professionals contributing to the Development;
 - g. provide for the ownership, Development, management, and maintenance of private open space (except plazas owned by individual property Owners), community parking facilities, community meeting hall, and other common areas;

- h. provide for a maintenance program for all property within the TND, including landscaping and Trees within the streetscape;
- i. require the collection of assessments from members in an amount sufficient to pay for its functions; and
- j. be effective for a term of not less than fifty (50) years.

III. General Description:

- ☒ A general description of the proposed TND shall include the following: _____
- ☒ 1. The total acreage involved in the project. _____
- ☒ 2. The number of acres devoted to the various categories of land use shown on the General Implementation Plan, percentage of total acreage represented by each category of use and component of development, plus an itemized list of uses proposed for each of the components which shall be the range of uses permitted for that section of the TND. This may be satisfied by a reference to all authorized uses within an existing zoning classification. _____
- ☒ 3. Number of buildings _____
- ☒ 4. The total number of residential units proposed for the project _____
- ☒ 5. Density (residential units) _____
- ☒ 6. The total square footage of office/commercial/industrial buildings proposed for the project _____
- ☒ 7. Front, rear, and side building setbacks _____
- ☒ 8. Minimum lot sizes _____
- ☒ 9. State if this development is to be built in phases. If so, then provide all of the required data (items 1-8) for each phase. _____
- ☒ 10. Architectural Drawings or renderings that address and/or satisfy the following:
 - ☒ a. Historic or architecturally significant existing structures are protected from demolition or encroachment by incompatible structures for landscape development _____
 - ☒ b. New structures in single-family residential are no more than three (3) stories _____
 - ☒ c. New structures in commercial, multi family residential or mixed use are no more than five (5) stories _____
 - ☒ d. Entries, facades, windows, doors, and roofs _____
 - ☒ 1. The architectural features, materials, and the articulation of a facade of a Building shall be continued on all sides visible from a public Thoroughfare. _____
 - ☒ 2. The front facade of the Principal Building on any Lot in a TND District shall face onto a public Thoroughfare. _____
 - ☒ 3. The front facade shall not be oriented to face directly toward a parking Lot. _____
 - ☒ 4. Porches, pent roofs, roof overhangs, hooded front doors or other similar architectural elements shall define the front entrance to all residences. _____
 - ☒ 5. For commercial Buildings, a minimum of fifty (50%) percent of the front facade on the ground floor shall be glass (transparent), including window or door openings allowing views into and out of the interior. _____
 - ☒ 6. New Structures on opposite sides of the same Thoroughfare should follow similar design guidelines. This provision shall not apply to Buildings bordering civic Uses _____
 - ☒ 7. Building and parking placement within the Neighborhood Center, or Town Center, should be arranged to create appropriately scaled continuous Building facades with as few non-pedestrian oriented breaks as possible. _____
 - ☒ 8. Building wall materials may be combined on each facade only horizontally, with the heavier generally below the lighter. _____
 - ☒ 9. Walls along Thoroughfares shall be made of brick, or block and stucco, or other material to match the facade of the Principal Building. _____



- ☒ 10. Windows shall use clear glass panels. _____
- ☒ 11. All openings including porches, galleries, arcades and windows, with the exception of storefronts, shall be square or vertical in proportion. _____
- ☒ 12. Openings above the first Story shall not exceed fifty (50%) percent of the total Building wall area, with each façade being calculated independently. _____
- ☒ 13. The facades on retail frontages shall be detailed as storefronts and glazed no less than fifty (50%) percent of the sidewalk-level Story. _____
- ☒ 14. Doors and windows that operate as sliders are prohibited along frontages. _____
- ☒ 15. Pitched roofs, if provided, shall be symmetrically sloped no less than 5:12, except that porches may be attached sheds with slopes no less than 2:12. _____
- ☒ 16. Flat roofs shall be enclosed by parapets a minimum of forty-two (42") inches high, or as required to conceal mechanical equipment to the satisfaction of the Developer, Board or Directors and Architectural Control Committee. _____
- ☒ A statement indicating whether streets or roads (and pedestrian ways as appropriate) are proposed for public ownership and maintenance and whether approval is sought as part of the General Implementation Plan for private roads, if any, within the TND. _____
- ☒ A statement indicating what proposed arrangements are made with the appropriate agencies for the provision of needed utilities to and within the TND, including, if appropriate, water supply, treatment and distribution where on site treatment is proposed; storm drainage collection and disposal; electric power, gas, sewage collection, treatment and disposal where on-site treatment is proposed: and communications (telephone, cable television) _____

IV. Submittal:

- ☒ Plat (Ten (10) full scale prints, one (1) 11" x 17" reduced print), and one (1) 11" x 17" reduced print submitted in electronic form (.pdf file) _____
- ☒ Adjoining Property Owners Form (electronic). The subdivider must submit, in electronic format, a copy of the list indicating the names of the adjacent property owners, addresses and lot and square numbers as shown in the parish assessor's records. At least fourteen (14) days prior to review and determination by the Commissions, all Abutting property Owners shall be notified by regular mail by the Zoning Official of the Traditional Neighborhood Development and given an opportunity to submit written comments. Notice shall also be published in a newspaper of regular and general circulation in St Tammany Parish at least ten (10) days prior to the review. _____
- ☒ Review Fees as required by the subdivision ordinance and/or the development code _____
- ☒ Checklist that is fully completed and signed and dated by the Surveyor, Engineer, or Architect _____
- ☒ Legal Description of Site. This description shall be prepared by a land surveyor and shall be accompanied by a map showing bearings and dimensions at a suitable scale as determined by the Planning Commission Staff for reproduction, advertising and public hearing. _____
- ☐ Drainage Impact Study-Drainage Impact Analyses in accordance with the current Drainage Impact Policy. The requirements for the drainage impact study will be determined by the Engineering Department at the Pre-Application Conference. The applicant should indicate on a map the methods proposed for handling offsite discharge of storm water. _____
- ☐ Traffic impact study of the TND project on the surrounding area. The requirements for the traffic study and the intersections that are to be analyzed will be determined by the Engineering Department at the Pre-Application Conference. _____

Elizabeth Sonoy

HONEYBEE HOLDINGS, LLC

7283 WOODSTOCK DR.
BATON ROUGE, LA 70809

April 5, 2022

To Whom It May Concern:

Please allow this letter to serve as the statement required by St. Tammany Parish Ordinance Section 130-1517. Honeybee Holdings, LLC has sufficient funds to complete the public improvements shown on the conceptual plan provided.

If you have any further questions or need additional information, please don't hesitate to contact me. I can be reached at 225-326-4689.

Sincerely,



George "Adam" Kurz

June 24, 2022

Mr. Ross Liner
Ms. Helen Lambert
Ms. Erin Cook
Department of Planning and Development
PO Box 628
Covington, Louisiana 70434

RE: Honeybee TND-2 General Implementation Plan

Dear Commission Members,

Our firm, META Planning + Design, on behalf of our client, DR Horton, would like to submit this letter as supplement to the current proposed Honeybee TND-2 General Implementation Plan before you for your review and comment. Our intention with this letter is to provide some insight into the design and thought processes which have formulated the basis for the plan you have before you.

In reviewing the Parish's TND-2 ordinance, many of the design principles and elements that are fundamental in traditional neighborhood developments are echoed in those regulations. Our intention is to implement a high-level framework with this Honeybee TND-2 General Implementation Plan in order to guide its future development in line with the required ordinance as well as trying to encapsulate as many of those TND principles that make places like Seaside, Celebration, Daybreak and the other traditional neighborhood developments around the nation special and outstanding in their regions.

Counter to the typical urban sprawl that has spread around major urban areas in decades past, these smart growth principles that drive such TND projects, infill developments and other new urbanist type developments have a focus on increased density and should offer a wide variety of housing options. It does not take long to find countless articles published by ULI or within any of the planning related journals or magazines that tout the necessity and overall benefits these smart growth principles will play in current and future developments. These two elements play hand in hand to help with one of the major issues in new development today with housing affordability. Rising land prices and overall development costs contribute to higher home prices or rents for the homebuyer or renter usually and having a development with a TND focus allows some abatement in that regard in being allowed to create more lots or units in a similar area when compared to a more typical suburban development and is assisted by a range of housing products within a TND project.

Housing

A major goal in most successful TND developments is to provide a variety of housing options that would fit with the various and appeal to all or most of the various life stages of the future residents. The more product types available

within a development allow greater choice and opportunity for the future homebuyer or renters and helps to appeal to a greater spectrum of the overall market. The overall product types for this Honeybee development are still in development at this time, but our anticipation is the products would include some mix of multifamily apartments, townhomes, duplexes, live-work units, and a variety of detached single family home options within 40', 50' and 60' lots. Our assumption is a minimum of 10-15 different housing options when considering multiple home plans, facades and material/finish choices for the detached homes coupled with several different layouts and bedroom options in the multifamily and smaller for sale products within the project. The goal is to be able to provide housing options at multiple price points in order to meet the needs for anyone in their respective life stage. This generally helps with the overall lot absorption in order to get more people in homes quicker, along with contributing to a greater diversity and opportunity for a project such as this one to develop into a community of its own. That is one of the major elements within a TND-styled project that is often overlooked or is more difficult to grasp from a quick glance.

Open Space

The focus on walkability and interconnected open spaces are two of the major calling cards for most TND developments across the nation. Within Honeybee, we have planned some typical amenities and open space you would find in most new residential developments but also to include smaller open spaces or plazas within the more residential sections of the development to have their own more inclusive open space area outside what would be provided in the village center portion of the development that would look and feel more public. In addition to the required common open space through the ordinance, we are looking to utilize some of the existing features present on the property including a portion of Bayou Paquet and a pipeline servitude to provide more pedestrian/bicycle circulation and greenbelts to connect the smaller neighborhoods and other parks/open spaces as the project progresses through its development.

Civic & Placemaking

The challenge is to combine the above features along with other TND elements in order to create the opportunity to develop a community within the development. We see it a lot in many of our master planned communities that the ones which seem to succeed better for the residents are those which generate within itself that sense of community as opposed to those that lack those efforts. That is not necessarily something we can design for as it is ultimately up to the future residents of the development, but we can provide for the opportunity to do so and is something essential tied into the Village Center concept as has been presented on this plan. The Village Center is central to the development and will house many of the integral elements that can make this development into a community. Within the code we are required certain land uses for this type of area, but it is the mixture of these land uses and the interactions and spaces that are created within it that can become the focus of the community. Having this village center at the core of the development provides equal access for all residents and both literally and figuratively becomes the epicenter for this project where there can be any number of events, socials or other similar activities you would find in a small town.

Scale

Truth be told, we have had some difficulties and challenges in other projects integrating TND type developments. Often, that problem comes from an economy of scale and how large of an area, product diversity and other factors to create an effective traditional neighborhood styled development. A TND project does not work well in 20-30 acres or other similarly sized pods, which is where we have run into problems before trying to make a TND section work into a larger master planned community. With Honeybee, we do not have that problem. It is adequately sized to be able to support and integrate that range of housing and rental options along with some commercial and civic uses to function as a village center as opposed to a "town center" which would be more typical with a development in the 1,000 acre or greater

range. While it may not be large enough to support a major grocery store or similar commercial uses, Honeybee can serve as one piece of the puzzle to integrate with other future TND-2 projects that may develop on the neighboring properties. In comparison, Seaside in Florida is approximately 80 acres, but it took multiple TND communities to develop in conjunction with Seaside before they reached a critical mass in which a grocery store came into those collective communities. Honeybee is not of a great enough size to accomplish that feat on its own, but the effort should be to create a series of these independent village centers and as each develops the commercial or other non-residential uses should look to fill in what the needs of the residents and the developing community as a whole lack at that time as possible.

Those future integrations and linkages are key for this project and others which may spring up around it similar to the need for interconnecting the trails and open spaces within this development and that creation of a sense of community and connectivity. It all goes back to the different levels of scale and how all the parts of the development mesh together. There are a lot of elements which are still to be worked out in order to meet these goals, but that is our overall intent with this Honeybee General Implementation Plan and future Specific Implementation Plan for this project. The parts highlighted in this letter are meant to provide some insight into our general thought processes at this stage of the project, most of which are not as easily presented within the plans and tables presented on the submitted sheets and exhibits.

Sincerely,

A handwritten signature in dark ink, appearing to be 'KM', followed by a long horizontal line extending to the right.

Kent Milson, AICP



ZONING STAFF REPORT
2022-2989-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

985-898-2529

21454 Koop Drive, Suite 1B, Mandeville, LA 70471

stpgov.org/planning

Text Change: Ordinance to amend St. Tammany Parish Code of Ordinances, Part II – Land Development Code, Chapter 130 – Unified Development Code, Article IV- Zoning Districts, Division 11 – A-4A(D) Single-Family Residential District, Sec. 130-531 – Purpose and Sec. 130-534 – Site and Structure Provisions; As well as Division 12 – A-5(D) Two-Family Residential District, Sec. 130-566 – Purpose and Sec. 130-569 – Site and Structure Provisions; As well as Article V – Overlays, Division 2 – PUD Planned Unit Development Overlay, Sec. 130-1673 – General Standards and Criteria; To exclude A-4A and A-5 Zoning Districts from eligibility for a PUD Planned Unit Development Overlay.

1. **Commission Hearing:** Postponed - September 6, 2022
2. **Commission Hearing Date:** October 4, 2022

History

1. The St. Tammany Parish Administration proposed a Parish-wide moratorium on the submission of rezoning applications for Planned Unit Developments and high-density residential developments in an effort to conduct studies on drainage, transportation, and wetlands. The moratorium was approved as amended by the Parish Council in May, 2022. This paused the submission of rezoning applications which would result in an increase in the allowable density of a residentially-zoned parcels greater than A-4 (four units per acre), PUDs (Planned Unit Developments), and TND's (Traditional Neighborhood Developments).
2. In response, the St. Tammany Parish Council created a workgroup titled the "Simple Solutions Committee" in an effort to review the Unified Development Code. Efforts have specifically been focused on Chapter 130, Article V, Division 2 – Planned Unit Development Overlays.
3. At the June 6, 2022 Simple Solutions meeting, the Committee approved a recommendation to exclude the A-4A and A-5 zoning districts from eligibility for a PUD overlay.

Relation to the Unified Development Code

1. The objective of the proposed text change is to exclude the use of the A-4A Single-Family Residential District and the A-5 Two-Family Residential District from being used as an underlying zoning classification within proposed Planned Unit Developments. In order to remove the ability to utilize these two high-density residential districts as underlying zoning classifications within PUDs, there are several sections that must be amended:
 - a. A-4A Single-Family Residential District:
 1. Sec. 130-531 – Remove the following verbiage from the Purpose Statement:
"Planned unit development overlays may be used in the A-4A(D) Single-Family Residential District".
 2. Sec. 130-534(b)(1) – Remove the following verbiage from the Site and Structure Provisions:
"There shall be no minimum lot width in the A-4A(D) district if the standards of the planned unit development overlay are met."
 - b. A-5 Two Family Residential District:
 1. Sec. 130-556 – Remove the following verbiage from the Purpose Statement:
"Planned unit development overlays may be used in the A-5(D) Suburban District".
 2. Sec. 130-569 – Remove the following verbiage from the Site and Structure Provisions:
"There shall be no minimum lot width in the A-5(D) district if the standards of the planned unit development overlay are met".
 - c. PUD Planned Unit Development District:
 1. Sec. 130-1673 – Add the following text to create a subsection (4) under General Standards and Criteria:
"Exclusions. PUD overlays shall not be allowed in A-4A or A-5 districts"



ZONING STAFF REPORT
2022-2989-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

Findings

Table 1: Analysis of all “A” Residential Districts		
Zoning District	Max Net Density	Residential Uses
A-1 Suburban District	1 unit per 5 acres	One Single-Family Dwelling
A-1A Suburban District	1 unit per 3 acres	One Single-Family Dwelling
A-2 Suburban District	1 unit per acre	One Single-Family Dwelling
A-3 Suburban District	2 units per acre	One Single-Family Dwelling
A-4 Single-Family Residential District	4 units per acre	One Single-Family Dwelling
A-4A Single-Family Residential District	6 units per acre	One Single-Family Dwelling
A-5 Two-Family Residential District	8 units per acre	One Single-Family Dwelling and Two-Family Dwellings
A-6 Multiple-Family Residential District	1 unit per 4,000 sq. ft. of property	Multiple-Family Dwellings, Townhouses and Condominiums, and Nursing Homes
A-7 Multiple-Family Residential District	1 unit per 2,500 sq. ft. of property	Multiple-Family Dwellings, Townhouses and Condominiums, and Nursing Homes
A-8 Multiple-Family Residential District	1 unit per 1,500 sq. ft. of property	Multiple-Family Dwellings, Townhouses and Condominiums, and Nursing Homes

1. The A-4A Single-Family Residential District allows the highest density of single-family residential development within the Unified Development Code (UDC). Created with the adoption of the UDC per Ordinance 07-1548, the district allows a max net density of six residential dwellings per acre. The purpose of the zoning district is to “provide single-family residential dwellings in a setting of moderate urban density”.
2. Per Table 2 above, no Planned Unit Developments which have been approved since January 1, 2020 which obtained an underlying zoning classification of A-4A Single-Family Residential District or A-5 Two-Family Residential District.

Table 2: Approved PUDs since January 1, 2020							
Case No.	Subdivision Name	Phase	Approval Date	Zoning	Acreage	Notes Regarding Net Density	Number of Lots
2019-1692-ZC	Bonterra	Major Amendment	9/3/2020	A-1	6.926 acres	Addition to Existing PUD	N/A
2019-1754-ZC	Alexander Ridge	Phase 4A, 4B, 4C, & 4D	2/4/2021	A-2	141 acres		141 lots
2020-1801-ZC	Tchefuncta Club Estates	Phase 3	8/20/2020	A-1 & A-2	221.172 acres		133 lots
2020-1929-ZC	Dove Park Ridge	N/A	11/9/2020	A-3	83.51 acres	Approved via Yield Plan	155 lots
2020-2096-ZC	Tamanend PUD	North Expansion	1/7/2021	A-2	125.65 acres	Addition to Existing PUD	N/A
2020-2143-ZC	River Park Estates	Phase 3	4/1/2021	A-4	134.733 acres		384 lots
ZC03-02-012	La Chenier	Phase 2	5/6/2021	A-3	14.22 acres	Addition to Existing PUD	81 lots
2021-2274-ZC	Vieux Carre	N/A	2/3/2022	PBC-1 & A-4	160.44 acres		381 lots
2022-2737-ZC	Nature Walk	N/A	5/5/2022	A-2	76 acres	Addition to Existing PUD	



ZONING STAFF REPORT
2022-2989-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

3. Per Table 2 above, there have been no Planned Unit Developments which have been approved since January 1, 2020 which obtained an underlying zoning classification of A-4A Single-Family Residential District or A-5 Two-Family Residential District.

Staff Comments

The ordinance proposed by the Simple Solutions Committee states that “high density single-family residential developments with PUD overlays have been expanding in the Parish and are straining the parish’s current transportation, drainage, and utility infrastructure. The zoning districts which allow the highest single-family density are the A-4A (six units per acre) and A-5 (eight units per acre) zoning districts and allowing a PUD overlay with an A-4A or A-5 zoning district further increases the potential density of such developments”.

The purpose of the proposed changes to the UDC are “in order to support sustainable growth in St. Tammany Parish, and without hampering less dense single-family and affordable multifamily developments”.

1. Sec. 130-567 –of the A-5 Two-Family District allows the following permitted uses:
 - a. One Single-Family Dwelling
 - b. Two-Family Dwellings

While two-family dwellings are permitted at a density of 8 units per acre, only one single-family dwelling is permitted per parcel zoned A-5 Two-Family Residential District. This means that no matter how big or small a parcel is, Sec. 130-567 states that only one single-family dwelling is permitted.

2. Sec. 130-1672 – “Purpose” lists the eight objectives of the PUD:
 - a. (a)(2) is to allow for the “diversification and variation in the relationship of residential uses”
 - b. (a)(8) lists the “creation of a variety of housing compatible with surrounding neighborhoods to provide a greater choice of housing types and living units”.

Removal of the A-5 Two-Family Residential District would be in conflict of these two stated purposes within the Planned Unit Development Overlay and would in fact only allow for one single-family residential use and the lowest density multi-family uses permitted in the UDC.

Staff has determined that in order to accomplish the goals as listed by the Simple Solutions Committee which are to eliminate high density single-family residential developments within future proposed PUD Overlays without hampering less dense single-family and affordable multi-family residential developments, the Parish Council consider amending the initial proposed ordinance in the following ways:

1. Remove any proposals to exclude the A-5 Two-Family Residential District from being used in future PUDs.
2. Exclude the use of the A-7 Multi-Family Residential District from PUDs which allows multi-family residential uses at a net density of 1 unit per every 2,500 sq. ft. of property
3. Exclude the use of the A-8 Multi-Family Residential District from PUDs which allows multi-family residential uses at a net density of 1 unit per every 1,500 sq. ft. of property.

In conclusion, St. Tammany Parish including staff, boards, commissions, and the Parish Council must demand high-quality sustainable development.

Consistency with New Directions 2040

1. The proposed text amendment is consistent with the following goals, policies, and strategies of the Comprehensive Plan:
 - i. Policy 1:5:1 - Parish decision makers, including the Planning Commission, Zoning Commission, Board of Zoning Adjustments, and the Parish Council, should consider the impact of proposed changes to existing land use regulation on traffic and drainage in adjacent areas.
2. The proposed text amendment is not consistent with the following goals, policies, and strategies of the Comprehensive Plan:
 - i. Goal 1:8 – A variety of safe, affordable, and attractive housing types will meet the needs of our diverse community.
 - ii. Strategy 1:8:1 – Maintain zoning classifications for mixed-use development at various scales and intensities.

ST. TAMMANY PARISH COUNCIL

ORDINANCE

ORDINANCE CALENDAR NO: 7013AA ORDINANCE COUNCIL SERIES NO: _____
COUNCIL SPONSOR: LORINO PROVIDED BY: CIVIL DA OFFICE
INTRODUCED BY: MR. LORINO SECONDED BY: MR. DAVIS
ON THE 7TH DAY OF JULY, 2022

ORDINANCE TO AMEND ST. TAMMANY PARISH CODE OF ORDINANCES, PART II – LAND DEVELOPMENT CODE, CHAPTER 130 – UNIFIED DEVELOPMENT CODE, ARTICLE IV – ZONING DISTRICTS, DIVISION 11 – A-4A(D) SINGLE-FAMILY RESIDENTIAL DISTRICT, SEC. 130-531 – PURPOSE AND SEC. 130-534 – SITE AND STRUCTURE PROVISIONS; AS WELL AS DIVISION 12 – A-5(D) TWO-FAMILY RESIDENTIAL DISTRICT, SEC. 130-566 – PURPOSE AND SEC. 130-569 – SITE AND STRUCTURE PROVISIONS; AS WELL AS ARTICLE V – OVERLAYS, DIVISION 2 – PUD PLANNED UNIT DEVELOPMENT OVERLAY, SEC. 130-1673 – GENERAL STANDARDS AND CRITERIA; TO EXCLUDE A-4A AND A-5 ZONING DISTRICTS FROM ELIGIBILITY FOR A PUD PLANNED UNIT DEVELOPMENT OVERLAY.

WHEREAS, the St. Tammany Parish Council established a committee to propose forward-thinking, simple solutions to ensure smart and sustainable development in St. Tammany Parish; and,

WHEREAS, high density single-family residential developments with PUD overlays have been expanding in the parish and are straining the parish’s current transportation, drainage, and utility infrastructure; and,

WHEREAS, the zoning districts which allow the highest single-family density are the A-4A (six units per acre) and A-5 (eight units per acre) zoning districts; and,

WHEREAS, allowing a PUD overlay with an A-4A or A-5 zoning district further increases the potential density of such developments;

WHEREAS, at their June 6, 2022 meeting, the Simple Solutions Committee approved a recommendation to exclude the A-4A and A-5 zoning districts from eligibility for a PUD overlay; and,

WHEREAS, in order to support sustainable growth in St. Tammany Parish, and without hampering less dense single-family and affordable multifamily developments, the Simple Solutions Committee urges the Council to consider and adopt the proposed amendment to Sec. 130-1673 of the Unified Development Code.

THE PARISH OF ST. TAMMANY HEREBY ORDAINS that, St. Tammany Parish Code of Ordinances, Part II – Land Development Code, Chapter 130- Unified Development Code, Article IV – Zoning Districts, Division 11 – A-4A(D) Single-Family Residential District, Sec. 130-531 – Purpose, and Sec. 130-534 – Site and Structure Provisions, be amended as follows:

Sec. 130-531. Purpose.

The A-4A(D) Single-Family Residential District is intended to provide single-family residential dwellings in a setting of moderate urban density. Central utility systems, convenience to commercial and employment centers and efficient access to major transportation routes are characteristics of this district. To protect the intention of the district, permitted activities are limited to single-family dwellings and certain and utility uses. All strictly commercial uses are prohibited in the A-4A(D) Single-Family Residential District. ~~Planned unit development overlays may be used in the A-4A(D) Single Family Residential District.~~

Sec. 130-534. Site and structure provisions.

- (a) *Maximum density/minimum lot area.*
 - (1) *Residential uses.* The maximum net density permitted on shall be six units per acre.

- (2) *Nonresidential uses.* The lot area of each zoning lot shall not be less than 40,000 square feet, except that public utility facilities may be located on lots of lesser area with administrative approval.
- (3) *Open space.* A minimum of 25 percent of the gross area of each tract of land in a single-family cluster development (zero lot line) must be reserved and dedicated for public or common use. Improved drainage facilities, lakes, streets and other impermeable surfaced areas and any other unusable land may not be included in determining the required open space for the development.
- (b) *Minimum area regulations.*
- (1) *Minimum lot width.* The width of each zoning lot shall not be less than 60 feet. ~~There shall be no minimum lot width in the A-4A(D) district if the standards of the planned unit development overlay are met.~~
- (2) *Front yard.* Front building lines shall conform to the average building lines established in a developed block; in all cases, this front building line shall be set back a minimum of 30 feet from the front property line.
- (3) *Side yard.* There shall be two side yards, one on each side of the building, having a minimum width 7½ feet each, plus one additional foot for each one foot in building height over 20 feet above base flood elevation. Side yard setbacks of five feet may be authorized when the department of engineering has determined that drainage impacts have been adequately addressed, based on review and approval of a drainage plan for developments or the proposed installation of subsurface drainage, in lieu of drainage swales, on an individual lot that would otherwise be required to have 7½-foot setbacks. For single-family cluster developments (zero lot line) there shall be at least one side yard, having a minimum width of 25 feet, plus one additional foot for each foot in building height over 20 feet above base flood elevation. However, for structures located on corner lots, there shall be a side yard setback from the side street of not less than 20 feet.
- (4) *Rear yard.*
- a. *Standard requirement.* There shall be a rear yard having a depth of not less than 25 feet, plus one additional foot for every one foot in building height over 20 feet above base flood elevation.
- b. *Special requirement.*
1. Lakeview Drive, Slidell. Except as provided in subsection (b)(4)b.2 of this section, all properties fronting the south side of Lakeview Drive shall adhere to the standard rear yard requirements and, in addition, shall not extend the distance of the primary structure on the property more than 135 feet lakeward of the front property line adjacent to the Lakeview Drive right-of-way.
 2. All properties with road frontage along Lakeview Drive where any portion of said frontage is within 700 feet of the eastern right-of-way of U.S. Highway 11 may have a primary structure located beyond the setback provided for in subsection (b)(4)b.1 of this section, except that no primary structure shall be located more than 350 feet from the front property line.
- (c) *Maximum lot coverage.*
- (1) *Residential uses.* The lot coverage of all principal and accessory buildings on a zoning lot shall not exceed 50 percent of the total area of the lot. For single-family cluster developments, (zero lot line), the lot coverage of all principal and accessory buildings on a zoning lot shall not exceed 70 percent of the total area of the lot.
- (2) *Nonresidential uses.* The lot coverage of all principal and accessory buildings on a zoning lot shall not exceed 40 percent of the total area of the lot.
- (d) *Height regulations.* No building or dwelling for residential or business purposes shall exceed 35 feet in height above the natural grade of the property at the location of the structure or base flood elevation as established in chapter 115, article II, whichever is higher.
- (e) *Off-street parking and loading requirements.* Off-street parking and loading shall be provided as put forth in article VI, division 8, of this chapter.

THE PARISH OF ST. TAMMANY FURTHER ORDAINS that, St. Tammany Parish Code of Ordinances, Part II – Land Development Code, Chapter 130- Unified Development Code, Article IV – Zoning Districts, Division 12 – A-5(D) Two-Family Residential District, Sec. 130-566 – Purpose, and Sec. 130-569 – Site and Structure Provisions, be amended as follows:

Sec. 130-566. Purpose.

The A-5(D) district is intended to provide a greater density of residential use by permitting the placement of two-family dwelling units without the more intense uses of general multi-family districts. This district is to primarily be located in a GMA and be characterized by central utility systems, convenience to commercial and employment centers, and efficient access to major transportation routes. To protect the intention of the district, permitted activities are limited to residential dwellings of one or two units and utility uses. All strictly commercial uses are prohibited in the A-5(D) district. ~~Planned unit development overlays may be used in the A-5(D) Suburban District.~~

Sec. 130-569. Site and structure provisions.(a) *Maximum density/minimum lot area.*

- (1) *Residential uses.* The maximum net density permitted on shall be eight dwelling units per acre.
- (2) *Nonresidential uses.* The lot area of each zoning lot shall not be less than 40,000 square feet, except that public utility facilities may be located on lots of lesser area with administrative approval.

(b) *Minimum area regulations.*

- (1) *Minimum lot width.* The width of each zoning lot shall not be less than 75 feet. ~~There shall be no minimum lot width in the A-5(D) district if the standards of the planned unit development overlay are met~~
- (2) *Front yard.* Front building lines shall conform to the average building lines established in a developed block, in all cases, this front building line shall be set back a minimum of 40 feet from the property line.
- (3) *Side yard.* There shall be two side yards, one on each side of the building, having a minimum width of ten feet each, plus one additional foot for each foot in building height over 20 feet above base flood elevation. However, for structures located on corner lots, there shall be a side yard setback from the side street of not less than ten feet.
- (4) *Rear yard.* There shall be a rear yard having a depth of not less than 25 feet, plus one additional foot for every one foot in building height over 20 feet above base flood elevation.

(c) *Maximum lot coverage.*

- (1) *Residential uses.* The lot coverage of all principal and accessory buildings on a zoning lot shall not exceed 50 percent of the total area of the lot.
- (2) *Nonresidential uses.* The lot coverage of all principal and accessory buildings on a zoning lot shall not exceed 40 percent of the total area of the lot.

(d) *Height regulations.* No building or dwelling for residential or business purposes shall exceed 35 feet in height above the natural grade of the property at the location of the structure or base flood elevation as established in chapter 115, article II, whichever is higher.(e) *Off-street parking and loading requirements.* Off-street parking and loading shall be provided as put forth in article VI, division 8, of this chapter.

THE PARISH OF ST. TAMMANY FURTHER ORDAINS that, St. Tammany Parish Code of Ordinances, Part II – Land Development Code, Chapter 130- Unified Development Code, Article V – PUD Planned Unit Development Overlay, Sec. 130-1673 – General Standards and Criteria, be amended as follows:

Sec. 130-1673. General standards and criteria.

In order for the zoning commission and parish council to make competent and definitive decisions concerning a planned unit development's proper makeup, the following general standards and criteria shall be applicable:

- (1) *Physical characteristics of the site.* The site shall be ten or more acres in size and suitable for development in the manner proposed without hazard to persons or property adjacent to the site, in conformance with the standards and parameters established in this division.
- (2) *Relation to major transit routes.* PUDs shall be properly located with respect to interstate, major highways and major arterial streets so as not to create major shifts of traffic generation to intermediate collectors and/or minor streets.
- (3) *Mixed-use PUD.* PUDs may incorporate nonresidential uses subject to the following criteria:

- a. If the underlying zoning classification is residential in nature, the nonresidential uses are limited to those permitted in the NC-1, NC-2, NC-3, NC-4, NC-5, MD-1, and ED-1 districts.
- b. If the underlying zoning classification is any other classification, the underlying classification controls the permitted land uses.

(4) Exclusions. PUD overlays shall not be allowed in A-4A or A-5 districts.

REPEAL: All ordinances or parts of Ordinances in conflict herewith are hereby repealed.

SEVERABILITY: If any provision of this Ordinance shall be held to be invalid, such invalidity shall not affect other provisions herein which can be given effect without the invalid provision and to this end the provisions of this Ordinance are hereby declared to be severable.

EFFECTIVE DATE: This Ordinance shall be effective upon adoption and signature of the Council Chairman and Parish President

MOVED FOR ADOPTION BY: _____SECONDED BY: _____

WHEREUPON THIS ORDINANCE WAS SUBMITTED TO A VOTE AND RESULTED IN THE FOLLOWING:

YEAS: _____

NAYS: _____

ABSTAIN: _____

ABSENT: _____

THIS ORDINANCE WAS DECLARED DULY ADOPTED AT A REGULAR MEETING OF THE PARISH COUNCIL ON THE ____DAY OF _____, 2022; AND BECOMES ORDINANCE COUNCIL SERIES NO _____.

JERRY BINDER , COUNCIL CHAIRMAN

ATTEST:

KATRINA L. BUCKLEY, COUNCIL CLERK

MICHAEL B. COOPER, PARISH PRESIDENT

Published Introduction: JUNE 29, 2022

Published Adoption: _____, 2022

Delivered to Parish President: _____, 2022 at _____

Returned to Council Clerk: _____, 2022 at _____



ZONING STAFF REPORT
2022-2990-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Location: Parcel located at the southeast intersection of Heathermist Drive, east of Sea Spray Drive; Slidell; S29, T9S, R15E, Ward 8, District 13
Council District: 13

Owner: TRAMPROP INC-JP & WA LLC – James Lindsay **Posted:** August 11, 2022

Applicant: Helgin Gallardo **Commission Hearing:** October 4, 2022

Size: 1.66 acres **Prior Determination:** Postponed until October 4, 2022



Current Zoning

A-2 Suburban District

Requested Zoning

A-2 Suburban District
MHO Mobile Home Overlay District

Future Land Use

Coastal Conservation Area

Flood Zone

Preliminary: AE-14

Critical Drainage: Yes

Findings

1. The petitioner is requesting to change the zoning classification from A-2 Suburban District to A-2 Suburban District and MHO Manufactured Housing Overlay. The site is located at the southeast intersection of Heathermist Drive, east of Sea Spray Drive; Slidell.

Zoning History

Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
86-051A	Rural	SA Suburban Agriculture
09-2117	SA Suburban Agriculture	A-2 Suburban District – Comprehensive Rezoning

2. The 1.66-acre parcel is currently developed with a mobile home located on lot 43 in the Avery Estates Subdivision.
3. Per Sec. 130-161, the existing mobile home on the property is considered a non-conforming use and the property owner must obtain a rezoning to MHO Manufactured Housing Overlay to allow for the reconnection of electricity or to obtain a building permit to place a new mobile home on the property.

Compatibility or Suitability with Adjacent Area

4. Table 2: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Undeveloped	A-2 Suburban District
South	Residential	A-2 Suburban District
East	Residential	A-2 Suburban District
West	Residential	A-2 Suburban District



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2022-2990-ZC

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PARISH PRESIDENT

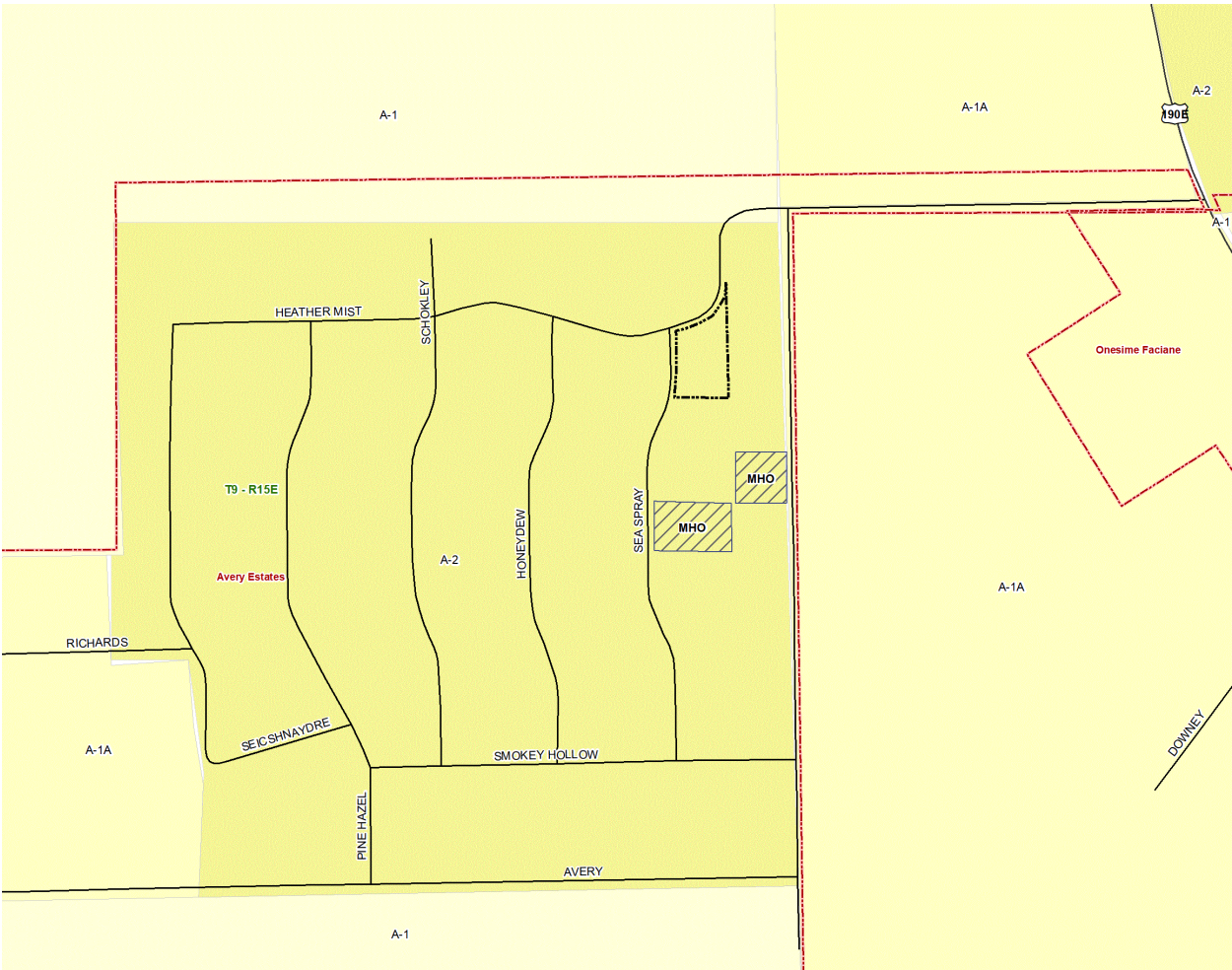
PLANNING & DEVELOPMENT
Ross Liner
Director

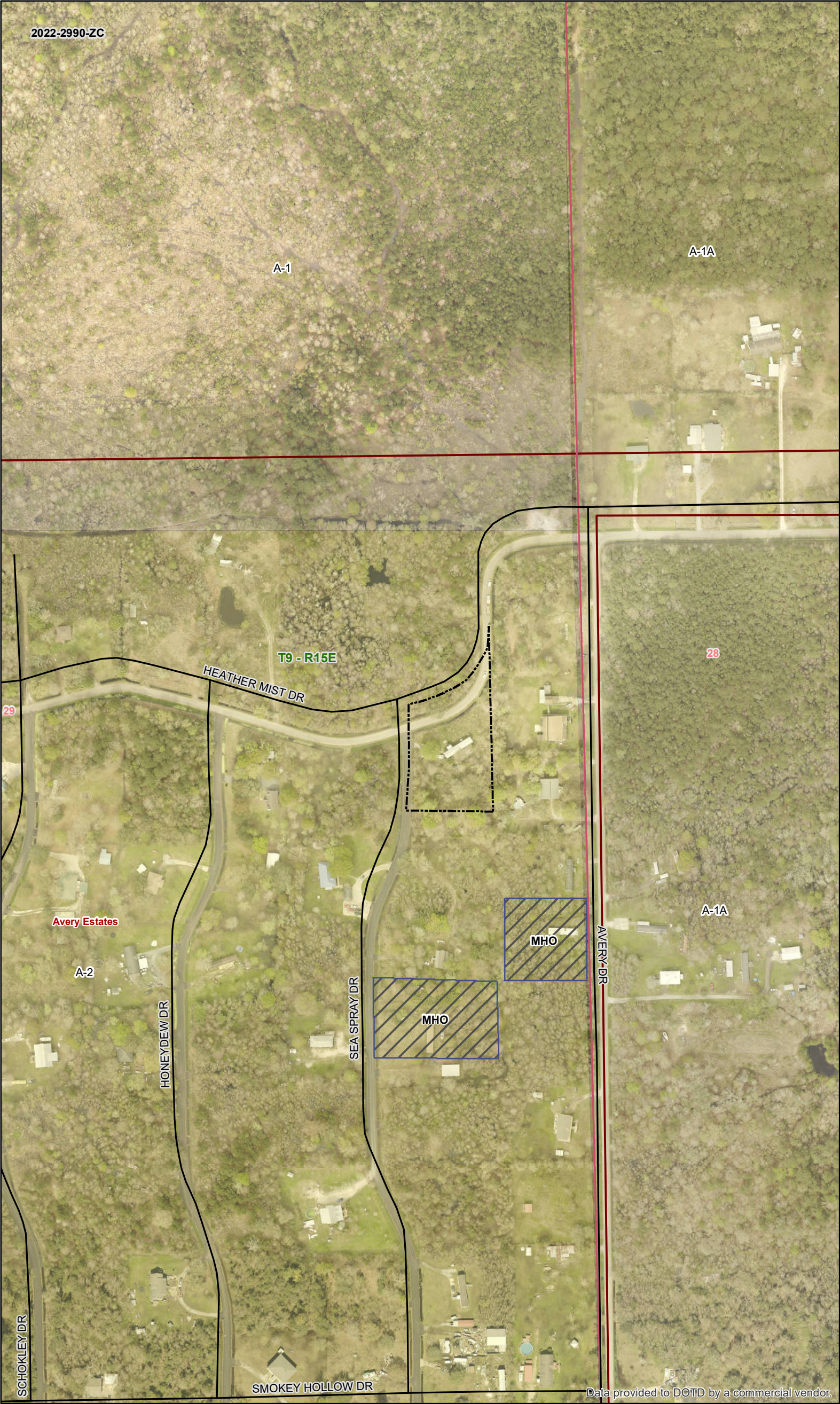
- 5. Avery Estates Subdivision contains multiple manufactured homes that sit along properties in the area that are subject to legal non-conforming uses.
- 6. Lot 19 & lot 40 of the Avery Estates subdivision specifically (both directly south of the subject property) contain the MHO Manufactured Housing Overlay that were approved by Parish Council just two years apart from one another. Lot 40 was approved as per ordinance 14-3104, and lot 19 the same as per 15-3332.

Consistency with New Directions 2040

Coastal Conservation: areas that are within the Parish’s “coastal zone” (all areas south of Interstate 12, per Louisiana Revised Statute § 49:214.24) that are not currently developed with intense uses, and are within the 100-year floodplain. Coastal Conservation areas are critically important for a variety of fisheries and wildlife, essential to water quality and groundwater recharge, and should be conserved to ensure species and habitat sustainability. Coastal wetlands also serve as storm buffers, and help to minimize storm runoff and subsequent flood damage to area homes and businesses. The areas include undisturbed coastal marshes, swamps, and tidal wetlands and adjacent lands accommodating very low-intensity human land uses - namely, highly dispersed residences, though low-impact agricultural, commercial, and public and institutional uses, such as recreation, tourism, research, and education may be appropriate.

- 1. The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:
 - i. Goal 1.3: The character of existing residential areas, expansive rural landscapes, and sensitive ecological areas will be preserved.
 - ii. Goal 1.8: A variety of safe, affordable, and attractive housing types will meet the needs of our diverse community.



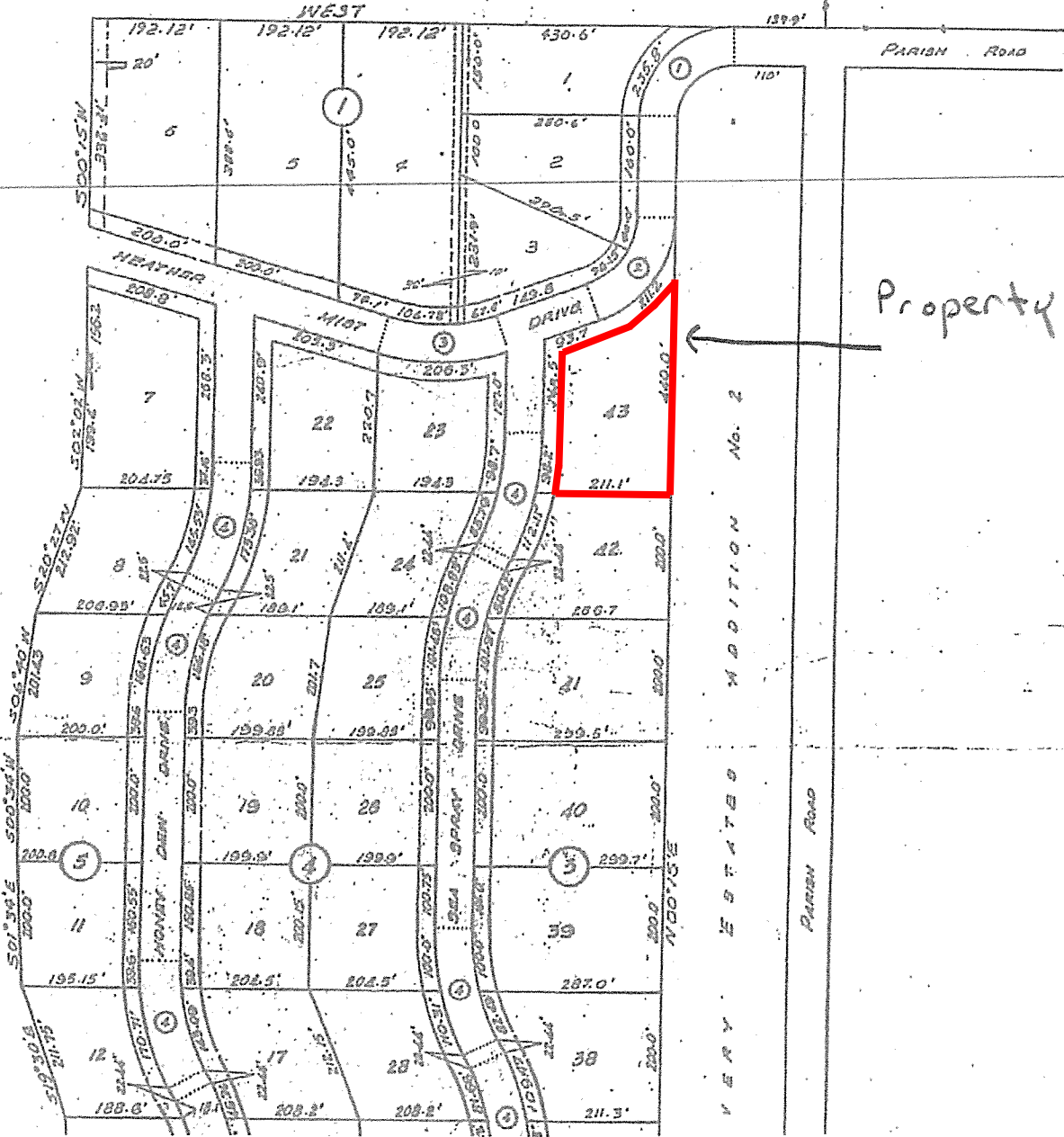


2022-2990-ZC

Subject Property

No.	A	B	C	Lc	R
1	89°45'	47°43.58'	120.05'	188.82'	120.53'
2	69°45'	39°55.93'	100.00'	174.67'	143.48'
3	36°23'	18°49.72'	100.00'	193.23'	304.30'
4	26°34'	13°31.60'	100.00'	196.40'	423.58'

Number of lots 43



VERY ESTATES ADDITION No. 2

PARISH ROAD

Property

N



ZONING STAFF REPORT

2022-2997-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT

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Director

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Text Change: Ordinance to amend St. Tammany Parish Code of Ordinances, Part II – Land Development Code, Chapter 130 – Unified Development Code, Article IV – Zoning Districts, Division 49 – AML Advanced Manufacturing and Logistics District, Sec. 130-1620 – Purpose, Sec. 130-1621 – Permitted Uses, Sec. 130-1622 – Administrative Permits, and Sec. 130-1623 – Site and Structure Provisions, to exclude certain uses in AML Zoning Districts.

1. **Commission Hearing:** Postponed - September 6, 2022
2. **Commission Hearing Date:** October 4, 2022

History

1. The Advanced Manufacturing and Logistics District was established as a new section within the St. Tammany Parish Unified Development Code in April 2014 per Ordinance C.S. 14-3117. Reasons cited for the creation of this district are as follows:
 - a. The Unified Development Code of St. Tammany Parish presently treats advanced manufacturing and logistical operations as industrial uses.
 - b. Advanced manufacturing and logistical operations are deemed desirable in the creation of a diverse economy.
 - c. Advanced manufacturing and logistical operations require large facilities and must be located in close proximity to major transportation corridors.
2. With the help of a Steering Committee established by the St. Tammany Parish Council, dozens of governmental and business organizations, and a public involvement process that garnered thousands of public comments, the St. Tammany Parish Planning Commission adopted the "New Directions 2040" Comprehensive Plan and associated Future Land Use Map on May 10, 2022. The map and the Comprehensive Plan established several Future Land Use Categories including the "Manufacturing and Logistics" category which was created to help guide public and private decision-making changes in St. Tammany Parish's physical development, development regulations, and capital improvement plans.
3. The "Manufacturing and Logistics" category within the comprehensive plan describes areas which "provide abundant space and access to infrastructure for a range of uses including advanced manufacturing, storage and distribution, maritime uses, and utilities. These uses serve important economic goals, including the provision of living-wage jobs and contribution to a strong tax base. However, some of these uses can negatively impact surrounding communities through truck traffic, noise, and pollution. Manufacturing and Logistics areas are therefore located away from sensitive ecological areas and existing and planned residential areas, and should be located adjacent to high capacity transportation corridors".
4. The Parish Council referred the below changes to the existing Advanced Manufacturing and Logistics District with the associated proposed ordinance to the Zoning Commission at the July 7, 2022 Council hearing. The suggested ordinance cites the need to "balance the desire to bring additional manufacturing and logistics jobs to St. Tammany Parish with the environmental protections necessary to safeguard the air and water quality of the Parish".

Relation to the Unified Development Code

1. The objective of the text change is to amend Chapter 130, Article IV, Division 49 – AML Advanced Manufacturing and Logistics District. Specifically, the following sections are proposed to be amended:
 - a. Add verbiage to Sec. 130-1620 "Purpose" to include the word "advanced" within the purpose statement when referring to "Advanced Manufacturing and Logistics" to ensure consistency.
 - b. Add verbiage to Sec. 130-1620 "Purpose" to provide consistency within the purpose statement and a clear understanding that permitted uses should not create air pollution or harsh environmental impacts. "Advanced manufacturing shall mean manufacturing that does not create air pollution and other harmful environmental impacts".
 - c. Revise Sec. 130-1621 "Permitted Uses" to remove #7 "Food products processing and manufacturing" and instead move this use to Sec. 130-1622 "Administrative Permits"
 - d. Revise Sec. 130-1621 "Permitted Uses" to remove #8 "Furniture manufacturing" and instead move this use to Sec. 130-1622 "Administrative Permits"
 - e. Revise permitted use #10 "Glass, plastic and paint research, development and manufacturing" to remove manufacturing from the permitted use. "Glass, plastic and paint research, and development"



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2022-2997-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

- f. Revise Sec. 130-1622 – Administrative Permits to include “Any use that requires a Clean Air Act Title V Permit for Air Emissions”.
- g. Revise Sec. 130-1623(a) – “Maximum Building Size” to reword to “maximum building footprint” and include a definition of “Building Footprint” to mean “the area contained within the exterior walls of the ground floor. It does not include detached structures; covered or uncovered carports, patios, porches, decks, or balconies; cantilevered covers, projections; or ramps and stairways required for access”.

Findings

1. Proposed changes a. and b. above are text amendments to add consistency to the existing ordinance and clarify the AML Purpose statement.
2. Proposed changes c. and d. recognize that certain uses that were once listed as a by-right permitted uses within the AML district should have additional oversight through the Administrative Permitting process. Uses listed within the Administrative Permits section are prohibited unless the applicant submits an additional application with the Planning Department subject to all requirements for the proposed use listed in Chapter 130, Article VII – Minimum Standards for Specific Uses. Sec. 130-2213 – “Minimum Standards” require additional regulations to be imposed in addition to typical landscaping, parking, drainage, and other commercial standards required for all commercial and industrial land uses. While the text change ordinance No. 7046AA did propose moving #7 “Food products processing and manufacturing” and #8 “Furniture manufacturing” to the Administrative Permits section, no additional regulations or associated minimum standards have been proposed at this time.
3. The current AML ordinance lists “Glass, plastic and paint research, development and manufacturing” as a permitted use. The new proposed ordinance removes the manufacturing component of this use. Per Sec. 130-5, “Advanced Manufacturing” means the development and production of high-value-added goods, including but not limited to electronics, medical equipment, and technology components, and information technologies. Advanced manufacturing is typically categorized through a connection between technology research and development and the production of goods where modern manufacturing processes are used to obtain resources and change them into industrial materials and consumer products. Many of the permitted uses currently allowed within the AML district are considered “clean industries” and removing the ability to manufacture “glass, plastic, and paint” within the AML district will ensure eco-friendly production of products.
4. The addition of “Any use that requires a Clean Air Act Title V Permit for Air Emissions” to Sec. 130-1622 “Administrative Permits” acknowledges the need to have additional Parish oversight for any use which requires a Title V permit. The Title V Permit for Air Emissions is a federal program managed by the Environmental Protection Agency and DEQ which is designed to standardize air quality permits and the permitting process for major sources of emissions across the country. “Major Sources” which require a Title V Permit regardless of size or emission threshold include:
 - Municipal waste combustors
 - Hospital/medical/infectious waste incinerators
 - Commercial and industrial solid waste incinerators
 - Other solid waste incinerators
 - Sewage sludge incinerators

“Non-Major Sources” which are subject to the requirements of the National Emission Standards for Hazardous Air Pollutants and thus the Title V Permit include:

- Hazardous waste combustors
- Portland cement manufacturers
- Mercury cell chlor-alkali plants
- Secondary lead smelters
- Carbon black production
- Chemical manufacturing: chromium compounds
- Primary copper smelting
- Secondary copper smelting
- Nonferrous metals area sources: zinc, cadmium, & beryllium
- Glass manufacturing
- Electric Arc Furnace (EAF) Steelmaking Facilities
- Gold Mine Ore Processing and Production
- Chemical Manufacturing
- Municipal solid waste landfills



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PLANNING & DEVELOPMENT
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5. The current AML ordinance provides a maximum building size of 1,000,000 sq. ft. Sec. 130-5 – “Definitions” defines “Building” as “a permanent structure having a foundation, and a roof supported by columns or walls, for the enclosure of persons, animals, chattels or moveable property of any kind”. This includes the total square footage of the building including the horizontal projected area of the total structure. The new proposed ordinance omits the verbiage “maximum building size” and instead proposes a maximum “building footprint” of 1,000,000 sq. ft. Rather than require the maximum building size be calculated as inclusive of the total square footage of the building itself, this revision will simply regulate the building footprint, or the area on a development site used by the building structure.

Staff Comments

The creation of the Advanced Manufacturing District (14-3117) acknowledged that advanced manufacturing and logistical operations should not be categorized with industrial uses. The ordinance also acknowledged that these types of operations are deemed desirable in the creation of a diverse economy and as such require large facilities which must be located in close proximity to major transportation corridors. The creation and adoption of the New Directions 2040 Comprehensive Plan and the associated Future Land Use Map acknowledges the need for manufacturing and logistics operations and its importance within the current and future economic goals within St. Tammany Parish. As such, staff has determined the following changes to the proposed Ordinance No. 7046AA will “balance the desire to bring additional manufacturing and logistics jobs to St. Tammany Parish with the environmental protections necessary to safeguard the air and water quality of the Parish” and ensure consistency and direction within the new established sections of the Unified Development Code.

1. Proposed Ordinance No. 7046AA recommends revising Sec. 130-1621 “Permitted Uses” to remove #7 “Food products processing and manufacturing” and #8 “Furniture manufacturing” and instead move these uses to Sec. 130-1622 “Administrative Permits” which would require specific staff oversight from the Planning Department. Staff recommends the establishment of the following minimum standards for these specific uses:
 - a. All structures within the Advanced Manufacturing and Logistics district shall be set back a minimum of 100 feet from the front, sides, and rear property lines of the site.
 - b. Where a parcel zoned AML abuts any residential district or use, a no-cut buffer of 75 feet shall be imposed. All other landscape buffers including Street Buffers, Side, and Rear buffers on parcels zoned AML District shall be 40 feet in depth. All other landscape and tree regulations are required as specified in Article VI, Division 2 of this chapter.
 - c. Any fleet storage of vehicles utilized in connection with this use shall be enclosed by an eight-foot-high screen of either 100 percent opaque non-living material or 70 percent opaque evergreen plants or as determined by the department of planning and development.
2. There are several permitted uses which allow food product manufacturing within the current Unified Development Code including “Specialty food processing” permitted under the I-1 Industrial District and “Food Products Manufacturing” permitted under the I-2 Industrial District. While similar, the Unified Development Code specifies the differences of these two districts through Sec. 130-5 – “Definitions” as follows:
 - a. Specialty food processing - the use of a site for the production of a prepared food or foodstuff for wholesale distribution in a structure with not more than 20,000 square feet. This use includes wholesale bakeries, commercial kitchens, produce and other specialty food processing or packaging shops. All processing must be conducted within an enclosed structure.
 - b. Food Processing – means an industrial establishment in which food is processed or prepared in large quantities for consumption off the premises or for canning, bottling or distribution.

In an effort to establish a definition for “Food Products Processing and Manufacturing” which is proposed to be a use within the AML district’s Administrative Permit Section, staff recommends amending Sec. 130-5 to add the following definition: “Food Products Processing and Manufacturing” shall mean the use of a site in which food or foodstuff is processed for wholesale distribution in large quantities for off premises consumption excluding animal slaughtering and processing.

3. Many of the current permitted uses within the AML district are considered “clean industries” and removing the ability to manufacture glass, plastic, and paint within the AML district will ensure eco-friendly production of products and guarantee the proposed purpose of the AML district which is to not create air pollution and other harmful environmental impacts is upheld.



ZONING STAFF REPORT

2022-2997-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT

Ross Liner
Director

4. The purpose of the addition of any use that requires a "Clean Air Act Title V Permit for Air Emissions" to Sec. 130-1622 "Administrative Permits" is to require additional staff oversight which is typically set up through Sec. 130-2213 – "Minimum Standards". Staff has determined the addition of "Any use that requires a Clear Air Act Title V Permit for air emissions" will have the unintended consequences of allowing all uses which require the Title V Permit for air emissions as listed above under *Findings #4* to become permitted uses with the application and approval of an Administrative Permit. Staff has also determined that the ability of a local government to enforce regulations which are currently governed by the Federal Environmental Protection Agency and the Louisiana Department of Environmental Quality will require duplicative regulating resources which should be avoided. Instead, staff recommends the omission of any reference to the Clear Air Act Title V Permit within the suggested text of Ordinance No. 7046AA to ensure uses which were never intended to be permitted within the AML district are not incorrectly added under the Administrative Permitting process.
5. Section 130-1623(a) currently states that the maximum building size in the AML district is 1,000,000 sq. ft. Revising this language to instead state the maximum building footprint in the AML district to be 1,000,000 sq. ft. is only regulating the building area or pad of the first floor. Sec. 130-1623(e) allows for a maximum building height of 100 feet above the natural grade of the property. If an applicant were to utilize the maximum building footprint and maximum building height as proposed under Ordinance No. 7046AA, this would allow for a 100 million sq. ft. building. Per the Amazon Facilities website, a typical Amazon warehouse facility is around 800,000 sq. ft. in size. As such, staff recommends the proposed changes to regulate only the building footprint within Sec. 130-1623(a) be omitted from Ordinance No. 7046AA and instead amend Sec. 130-1623(a) – "Maximum Building Size" to state "the maximum building size in the AML district shall be 1,000,000 square feet with no more than 10 percent additional upstairs mezzanine space. This should not exclude the construction of multiple buildings no larger than 1,000,000 square feet in size each on the same parcel, subject to Section 130-1623(d)". For reference, Sec. 130-1623(d) states "the lot coverage of all principal and accessory buildings on a zoning lot shall not exceed 50 percent of the total area of the lot" and is a current regulation within the AML district.
6. It is recognized through the creation of the Advanced Manufacturing and Logistics District that these uses require large facilities and must be located in close proximity to major transportation corridors. While careful planning and oversight may keep AML zoning classifications from being directly adjacent to residential zoning classifications, it is also recognized that scenarios are likely to present themselves in which tracts of undeveloped land are rezoned with adjacent residential zoning classifications. In an effort to protect adjacent residential property or uses, staff has determined that a text amendment to Sec. 130-1623(c)(4) is required to state "where an AML zoning classification abuts a residential zoning classification a no-cut buffer of 75 feet shall be imposed".
7. The existing Section 130-1623 "Site and Structure Provisions" provide the maximum building size, lot area regulations, lot coverage, height regulations, and design criteria for all uses allowable within the AML district. Specifically, Sec. 130-1623(f) "Design Criteria" establishes required landscaping, signage, lighting, and parking regulations. Staff has determined that a text amendment is required to add the following language: Sec. 130-1623(f)(5) Engineering Report and Low Impact Development – An Engineering Report shall be provided to the Department of Planning and Development and the Department of Engineering detailing Low Impact Development and Green Infrastructure feasibility on the site.

Consistency with New Directions 2040

1. The proposed text amendment is consistent with the following goals, policies, and strategies of the Comprehensive Plan:
 - i. Strategy 1:1:1 – Update the Development Code to better explain the appropriate and permitted uses under different zoning districts.
 - ii. Policy 1:2:2 – The Unified Development Code and Subdivision Ordinances shall be updated continuously to reflect updated Comprehensive Plan goals, policies, and strategies.
 - iii. Strategy 1:3:1 – Locate manufacturing and logistics areas and other high intensity land uses at appropriate distances from residential neighborhoods, conservation areas, and sensitive ecological areas to create a gradual transition zone to minimize negative impacts.
 - iv. Goal 3:4 – Our air quality will be healthy for all to breathe and our Parish's "carbon footprint" will be reduced".
 - v. Goal 3:7 – Light and noise pollution will be minimal.
 - vi. Goal 5:1 - The Parish will designate adequate land served by supportive infrastructure for use by businesses and industries seeking to being or expand



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PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

- vii. Strategy 5:1:3 – Maintain manufacturing and logistics uses and use designations in areas served by rail, maritime, and intermodal facilities.

ST. TAMMANY PARISH COUNCIL

ORDINANCE

ORDINANCE CALENDAR NO: 7046AA ORDINANCE COUNCIL SERIES NO: _____
COUNCIL SPONSOR: AIREY PROVIDED BY: CIVIL DA OFFICE
INTRODUCED BY: MR. AIREY SECONDED BY: MR. DAVIS
ON THE 7TH DAY OF JULY, 2022

ORDINANCE TO AMEND ST. TAMMANY PARISH CODE OF ORDINANCES, PART II – LAND DEVELOPMENT CODE, CHAPTER 130 – UNIFIED DEVELOPMENT CODE, ARTICLE IV – ZONING DISTRICTS, DIVISION 49 – AML ADVANCED MANUFACTURING AND LOGISTICS DISTRICT, SEC. 130-1620 – PURPOSE, SEC. 130-1621 – PERMITTED USES, **SEC. 130-1622 – ADMINISTRATIVE PERMITS, AND SEC. 130-1623 – SITE AND STRUCTURE PROVISIONS**, TO EXCLUDE CERTAIN USES IN AML ZONING DISTRICTS.

WHEREAS, St. Tammany Parish has seen increased interest in the development of Advanced Manufacturing and Logistics operations in the unincorporated parish; and,

WHEREAS, AML zoning districts currently allow certain uses that may create excessive environmental impacts, including: food products processing and manufacturing; furniture manufacturing; and, glass, plastic and paint manufacturing; and,

WHEREAS, the purpose of AML zoning districts should be clarified to define “advanced manufacturing” as manufacturing that **limits harmful air emissions**; and,

WHEREAS, the amendment to the AML zoning district balances the desire to bring additional manufacturing and logistics jobs to St. Tammany Parish with the environmental protections necessary to safeguard the air and water quality of the parish.

THE PARISH OF ST. TAMMANY HEREBY ORDAINS that, St. Tammany Parish Code of Ordinances, Part II – Land Development Code, Chapter 130 – Unified Development Code, Article IV – Zoning Districts, Division 49 – AML Advanced Manufacturing and Logistics District, Sec. 130-1620 – Purpose, Sec. 130-1621 – Permitted Uses, **Sec. 130-1622 – Administrative Permits, and Sec. 130-1623 – Site and Structure Provisions**, be amended as follows:

Sec. 130-1620. - Purpose.

The purpose of the AML Advanced Manufacturing and Logistics District is to provide for the location of very large scale facilities for the research and development, advanced manufacturing and transportation/logistics industries. Such facilities should be located in close proximity to major transportation routes, with the ideal location allowing for multi-modal opportunities. Advanced manufacturing shall mean manufacturing that does not **create air pollution and other harmful environmental impacts**.

Sec. 130-1621. - Permitted uses.

Use by right subject to any minimum standards as listed in section 130-2213:

- (1) Aeronautics and aerospace research, development and manufacturing.
- (2) Automotive research, development and manufacturing.
- (3) Computer, electrical and electronics research, development and manufacturing.
- (4) Data centers and data warehousing.
- (5) Distribution and warehousing facilities.
- (6) Durable goods manufacturing.
- ~~(7) Food products processing and manufacturing.~~
- ~~(8) Furniture manufacturing.~~

(97) Garment manufacturing.

(408) Glass, plastic and paint research; and development ~~and manufacturing~~.

(449) Hydraulics and robotics research, development and manufacturing.

(4210) Pharmaceutical and medical research, development and manufacturing.

(4311) Software development and programming.

(4412) Scientific research and development services.

(4513) General offices and services which provide support to any of the permitted uses.

Sec. 130-1622. Administrative permits.

The purpose of an administrative permit is to provide for a staff review of certain uses. The following uses are prohibited unless application for the use has been processed by the department of planning and development and are in conformance with the minimum standards for that use as outlined in section 130-2213:

- (1) Public utility surface structures.
- (2) Electrical substations.
- (3) Telephone relay facilities.
- (4) Utility substations.
- (5) Wastewater treatment facilities.
- (6) Utility distribution systems.
- (7) Potable water pumping stations.
- (8) Mobile food trucks when meeting the minimum standards for specific uses outlined in section 130-2213.
- (9) Food products processing and manufacturing.
- (10) Furniture manufacturing.
- (11) Any use that requires a Clean Air Act Title V Permit for air emissions.

Sec. 130-1623. Site and structure provisions.

- (a) *Maximum building size.* The maximum building **size footprint** in the AML district shall be 1,000,000 square feet.
 - (1) ***Building footprint* means the area contained within the exterior walls of the ground floor. It does not include detached structures; covered or uncovered carports, patios, porches, decks, or balconies; cantilevered covers, projections; or ramps and stairways required for access.**
- (b) *Minimum lot area.* No new lot shall be created that is less than 20,000 square feet in area.
- (c) *Minimum area regulations.*
 - (1) *Minimum lot width.* For each zoning lot provided with central water and sewerage facilities, the minimum lots width shall not be less than 80 feet.
 - (2) *Street planting areas.* All areas along the street or road which a property abuts shall comply with the standards of section 130-1976.
 - (3) *Side and rear planting areas.* All areas located along the side and rear interior property lines shall comply with section 130-1977.
 - (4) *Transitional yard.* Where an AML district adjoins a residential district, transitional yards shall be provided in accordance with subsections (c)(1) and (2) of this section or the following regulations whichever is more restrictive:
 - a. Where lots in an AML district front on a street and at least 80 percent of the frontage directly across the street between two consecutive intersecting streets is in a residential district, the setback regulations for the residential district shall apply to the said lots in the commercial district.
 - b. In an AML district, where a side lot line coincides with a side or rear lot line of property in an adjacent residential district, a yard shall be provided along such side lot line. Such yard

- shall be equal in dimension to the minimum side yard which would be required under this chapter for a residential use on the adjacent property in the residential district.
- c. In an AML district, where a rear lot line coincides with a rear or side lot line of property in an adjacent residential district, a yard shall be provided along such rear lot line. Such yard shall be equal in dimensions to the minimum rear yard which would be required under this chapter for a residential use on the adjacent property in the residential district.
 - d. In an AML district, where the extension of a front or side lot line coincides with the front line of an adjacent lot located in a residential district, a yard equal in depth to the minimum setback required by this chapter on such adjacent lot in the residential district shall be provided along such front or side lot line for a distance of at least 25 feet, including the width of any intervening alley from such lot in the residential district.
 - e. Where a building is taller than 25 feet in height, one additional foot of setback shall be required in each yard. Each façade is measured separately and the additional depth is required perpendicular to that façade.
- (d) *Maximum lot coverage.* The lot coverage of all principal and accessory buildings on a zoning lot shall not exceed 50 percent of the total area of the lot. However, parking and landscape requirements for the intended use must be met in all instances. Therefore, maximum lot coverage may in some cases be less.
- (e) *Height regulations.* No building or dwelling for residential or business purposes shall exceed 100 feet in height above the natural grade of the property at the location of the structure or base flood elevation as established in chapter 115, article II, whichever is higher.
- (f) *Design criteria.*
- (1) *Landscaping.* All landscaping shall be in compliance with article VI, division 2, of this chapter.
 - (2) *Signage.* All signage shall be in compliance with article VI, division 3, of this chapter.
 - (3) *Lighting.* All site lighting shall be in compliance with article VI, division 4, of this chapter.
 - (4) *Parking/loading.* All parking and loading will be in compliance with article VI, division 8, of this chapter.

REPEAL: All ordinances or parts of Ordinances in conflict herewith are hereby repealed.

SEVERABILITY: If any provision of this Ordinance shall be held to be invalid, such invalidity shall not affect other provisions herein which can be given effect without the invalid provision and to this end the provisions of this Ordinance are hereby declared to be severable.

EFFECTIVE DATE: This Ordinance shall become effective fifteen (15) days after adoption.

MOVED FOR ADOPTION BY: _____SECONDED BY: _____

WHEREUPON THIS ORDINANCE WAS SUBMITTED TO A VOTE AND RESULTED IN THE FOLLOWING:

YEAS: _____

NAYS: _____

ABSTAIN: _____

ABSENT: _____

THIS ORDINANCE WAS DECLARED DULY ADOPTED AT A REGULAR MEETING OF THE
PARISH COUNCIL ON THE ____ DAY OF _____, 2022; AND BECOMES ORDINANCE
COUNCIL SERIES NO _____.

JERRY BINDER , COUNCIL CHAIRMAN

ATTEST:

KATRINA L. BUCKLEY, COUNCIL CLERK

MICHAEL B. COOPER, PARISH PRESIDENT

Published Introduction: JUNE 29, 2022

Published Adoption: _____, 2022

Delivered to Parish President: _____, 2022 at _____

Returned to Council Clerk: _____, 2022 at _____



ZONING STAFF REPORT
2022-3005-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Location: Parcel located on the south side of Louisiana Highway 22, east of Mitcham Road, north of Cialona Road, being Parcel A-2, Madisonville; S18, T7S, R10E; Ward 1 **Council District:** 4

Owner: TNB Properties, LLC – Stephen M. Blanc Jr. **Posted:** September 12, 2022

Applicant: Stephen M. Blanc Jr. **Commission Hearing:** October 4, 2022

Size: 2 acres **Determination:** Approved, Postponed, Denied



Current Zoning

A-2 Suburban District

Requested Zoning

HC-2 Highway Commercial District

Future Land Use

Mixed-Use

Highway 22 Expansion

Flood Zone

Effective Flood Zone C

Critical Drainage: No

Findings

1. The petitioner is requesting to change the zoning classification from A-2 Suburban District to HC-2 Highway Commercial District. The site is located on the south side of Louisiana Highway 22, east of Mitcham Road, north of Cialona Road, being Parcel A-2, as shown on the submitted resubdivision survey attached hereto.

Zoning History

2. Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
09-2116	Unknown	A-2 Suburban District – Comprehensive Rezoning

Compatibility or Suitability with Adjacent Area

3. Table 2: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification	Zoning Ordinance
North	Commercial	HC-1 Highway Commercial District	09-2116 – Comprehensive Rezoning
South	Residential	A-2 Suburban District	09-2116 – Comprehensive Rezoning
East	Residential	A-2 Suburban District	09-2116 – Comprehensive Rezoning
West	Undeveloped	HC-2 Highway Commercial District	ZC # 2019-1353-ZC - C.S. 19-4079

4. The subject property is currently undeveloped and abuts a residential neighborhood to the south, an undeveloped commercially-zoned parcel to the west, an undeveloped residentially zoned parcel to the east, and a commercial development and undeveloped property to the north across Highway 22. The purpose of the existing A-2 Suburban District is to provide for the location of single-family residences at a density of one dwelling unit per acre.
5. The purpose of the requested HC-2 Highway Commercial District is to provide for the location of moderately scaled, intense retail, office and service uses. Staff would note that if rezoned to a commercial zoning classification, this property must comply with commercial regulations including parking, landscaping, and drainage among others.



ZONING STAFF REPORT
2022-3005-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

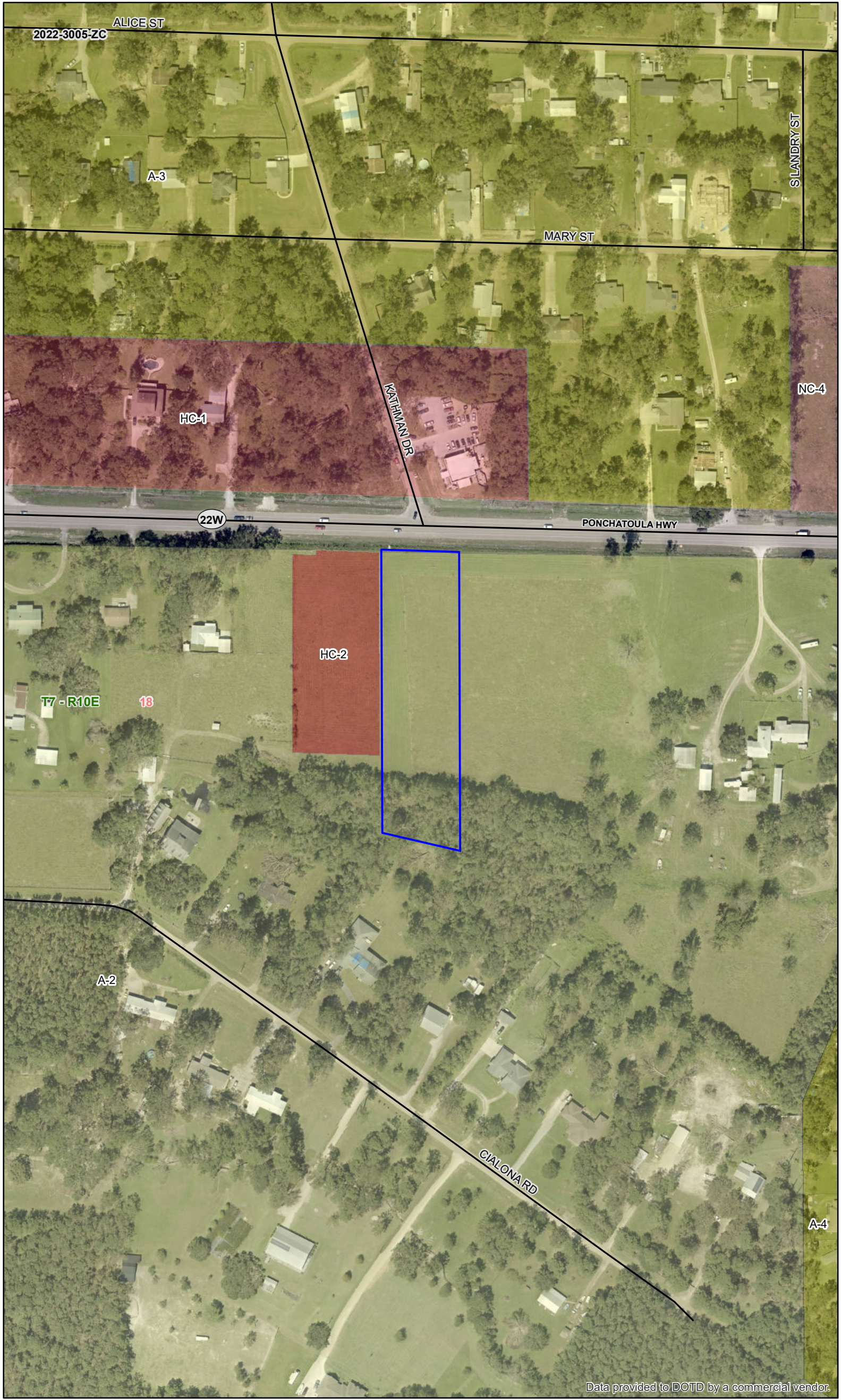
6. Based on the typical rezoning pattern for the property situated along Highway 22, west of Highway 1085 and east of the Parish line, there seems to be a majority of parcels that were either rezoned to accommodate commercial uses during the 2009 Comprehensive Rezoning or rezoned via submission of an application to the Zoning Commission and Parish Council. Based on the current zoning patterns and associated zoning maps, this section of Highway 22 appears to be trending towards commercial zoning classifications which allow for commercial uses although the rezoning application did not state the reason for the request.
7. A change in zoning will allow the applicant to operate any of the following permitted commercial uses: All uses permitted in the HC-1 Highway Commercial District and Banks and financial institutions; Convenience stores with gas; Drive-in restaurants; Liquor stores; Any private office use that is a permitted use in the NC district over 20,000 sq. ft.; Clubs, lodges, fraternal and religious institutions, meeting halls (over 20,000 sq. ft.); Veterinary clinics (with outdoor kennels); Parcel post delivery stations; Mini-warehouses; Commercial kennels; Outdoor storage yards that do not occupy an area greater than 50 percent of land area, and are enclosed by an eight-foot opaque perimeter fence, located on the same parcel as, and are accessory to an existing mini-warehouse, not to be located on the street side; Lodging, 100 rooms or less (including apartments, hotels, motels); Automotive sales not to exceed two acres of display and storage; Outdoor retail and storage yards; Potable storage containers use for storage; Outdoor display area of pre-assembles building, pool and playground equipment.

Consistency with New Directions 2040

Mixed-Use: These areas are flexible and appropriate for higher concentration of residential and commercial uses, allowing shorter trips between destinations and opportunities for walkable, compact development patterns. Mixed Use areas are typically located at or near the Parish's existing hubs of activity and intersections of major roads, as well as along major traffic corridors. Mixed Use areas may also include higher density residential uses, such as garden apartments and condominiums.

Highway 22 Expansion: Per the 2040 New Directions Future Land Use Map and LADOTD, Highway 22 West will be refurbished to include a roundabout at the intersection of Louisiana Highway 1085 and Louisiana Highway 22. There are also plans for Highway 22 to be widened to three lanes along the St. Tammany and Tangipahoa border.

8. The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:
 - i. Strategy 1:5:1: Locate new residential and commercial development within, adjacent to, or near existing towns and activity centers and associated infrastructure, services, and amenities.
 - ii. Strategy 1:5:2 Locate high intensity land uses adjacent to high capacity transportation corridors.
 - iii. Goal 5:1: The Parish will designate adequate land served by supporting infrastructure for use by businesses and industries seeking to begin or expand.



2022-3005-ZC

ALICE ST

A-3

S LANDRY ST

MARY ST

HC-1

KITHMAN DR

NC-4

22W

PONCHATOULA HWY

HC-2

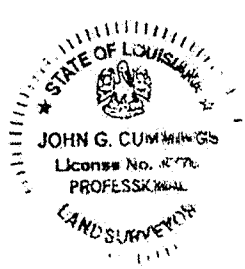
T7 - R10E

13

A-2

CIALONA RD

A-4





ZONING STAFF REPORT
2022-3015-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

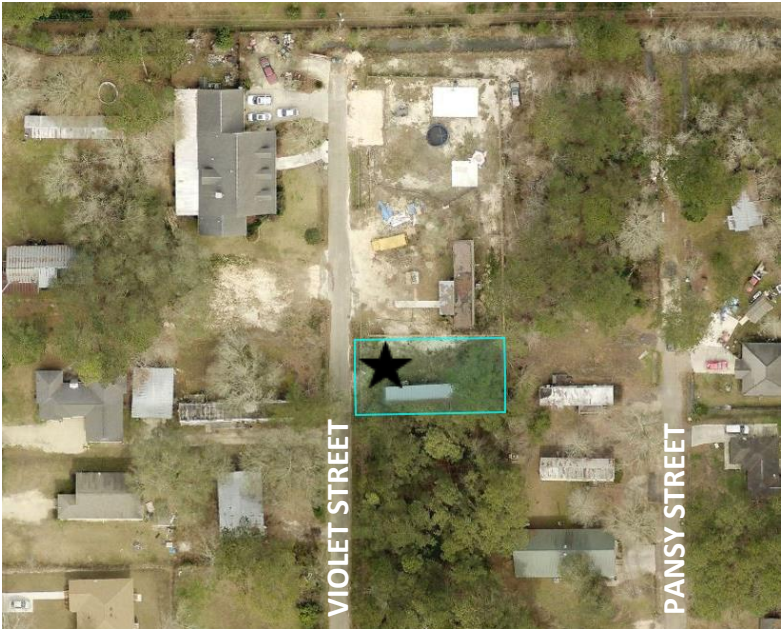
985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Location: Parcel located on the east side of Violet Street, north of Progress Street, being Lot 17A, Square 2, West Abita Springs Subdivision, Covington; S36, T6S, R11E; Ward 10 **Council District:** 6

Owner: Rosa Bouterie **Posted:** September 13, 2022

Applicant: Rosa Bouterie **Commission Hearing:** October 4, 2022

Size: .11-acre **Determination:** Approved, Postponed, Denied



Current Zoning

A-4 Single-Family Residential District

Requested Zoning

A-4 Single-Family Residential District
MHO Manufactured Housing Overlay

Future Land Use

Residential Medium-Intensity

Flood Zone

Effective Flood Zone C
Preliminary Flood Zone AE

Critical Drainage: No

Findings

1. The petitioner is requesting to change the zoning classification from A-2 Suburban District to A-2 Suburban District and MHO Manufactured Housing Overlay. The site is located on the east side of Violet Street, north of Progress Street, being Lot 17A, Square 2, West Abita Springs Subdivision, Covington.
2. The subject property is currently developed with a mobile home which was recently occupied within the last year that was subject to Chapter 130, Division 2 – “Types of Nonconformities”. The mobile home was severely damaged in 2021 due to Hurricane Ida.
3. The applicant has also applied and received a minor resubdivision to create a buildable lot of record from Lots 15 & 17 in the West Abita Springs Subdivision to create Lot 17A, doubling the width of the from two 25-foot lots to one 50-foot lot (2021-2636-MRA). This resubdivision would allow the applicant to obtain a building permit and provide sufficient space to place a mobile home and meet the standard lot of record building provisions should this rezoning be approved.

Zoning History

4. Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Zoning Classification
10-2234 – Comprehensive Rezoning	Unknown	A-4 Single-Family Residential District



ZONING STAFF REPORT
2022-3015-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

Compatibility or Suitability with Adjacent Area

5. Table 2: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Residential	A-4 Single-Family Residential District
South	Residential	A-4 Single-Family Residential District MHO Manufactured Housing Overlay
East	Residential	A-4 Single-Family Residential District
West	Residential	A-4 Single-Family Residential District MHO Manufactured Housing Overlay

6. Throughout the West Abita Springs Subdivision and the adjacent Abita Nursery, there are various parcels that have received the MHO Manufactured Housing Overlay zoning classification approval over the years. The following properties that have been granted approval for the overlay within the vicinity of the subject property are as follows:

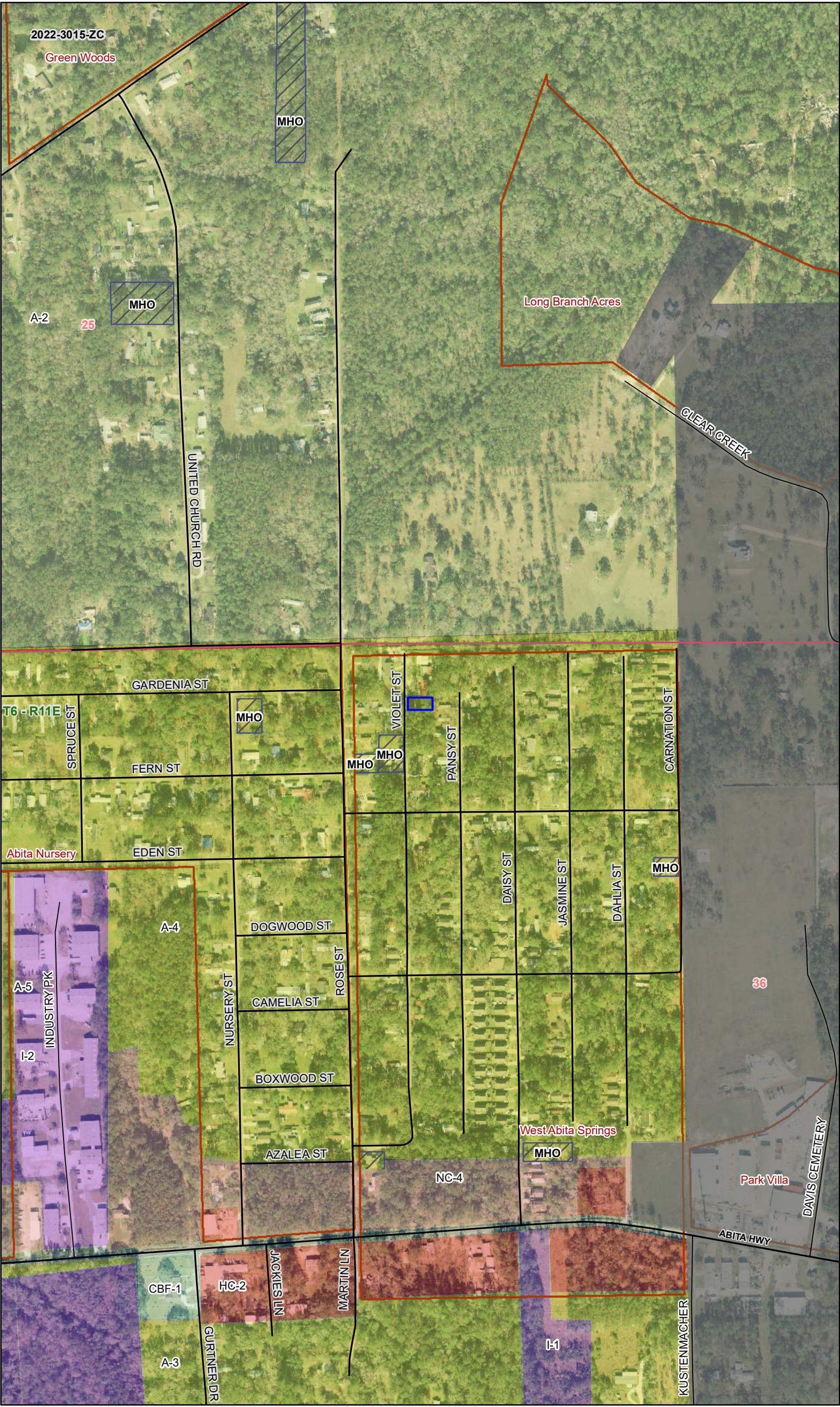
Table 3: Surrounding MHO Rezoning Cases

Lot & Subdivision	Request	Ordinance
Lots 19 & 20 (Abita Nursery Subdivision)	A-4 Single-Family Residential TO A-4 Single-Family Residential and MHO Manufactured Housing Overlay	Approved per Council Ord. 16-3522
Lot 16A (Abita Nursery Subdivision)	A-4 Single-Family Residential TO A-4 Single-Family Residential and MHO Manufactured Housing Overlay	Approved per Council Ord. 18-3870
Lots 28, 30, 32, 34, 36 & 38 (West Abita Springs Subdivision, adjacent to subject property)	A-4 Single-Family Residential TO A-4 Single-Family Residential and MHO Manufactured Housing Overlay	Approved per Council Ord. 19-4076
Lots 16, 18 & 20 (West Abita Springs Subdivision)	A-4 Single-Family Residential TO A-4 Single-Family Residential and MHO Manufactured Housing Overlay	Approved per Council Ord. 20-4205
Lots 33, 35 & 37 (West Abita Springs Subdivision)	A-4 Single-Family Residential TO A-4 Single-Family Residential and MHO Manufactured Housing Overlay	Approved per Council Ord. 22-4771
Lots 1, 2, 3, 4, 5 & 6 (West Abita Springs Subdivision)	A-4 Single-Family Residential TO A-4 Single-Family Residential and MHO Manufactured Housing Overlay	Approved per Council Ord. 20-4349
Lots 1, 2, 3, 4, 5, 6, 7 & 8 (West Abita Springs Subdivision)	A-4 Single-Family Residential TO A-4 Single-Family Residential and MHO Manufactured Housing Overlay	Approved per Council Ord. 21-4632

Consistency with New Directions 2040

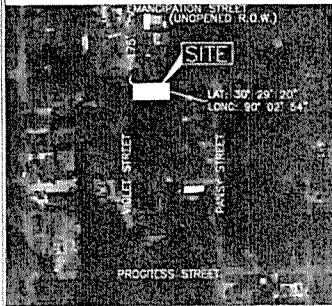
Residential – Medium Intensity: Medium Intensity neighborhoods include a broader mix of large and small lots but remain predominantly, single-family detached homes. Attached homes such as townhomes and 2-unit homes, as well as assisted living centers may fit into the character of Medium Intensity Residential Neighborhoods. The higher density of development makes central water and sewer more practical than on-site water and wastewater systems, and infrastructure like sidewalks, subsurface drainage, and street lighting are more common. These areas are appropriate buffers between Rural or Low Intensity Residential Neighborhoods and High Intensity Residential Neighborhoods or Commercial and Institutional areas.

- The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:
 - Goal 1.3: The character of existing residential areas, expansive rural landscapes, and sensitive ecological areas will be preserved.
 - Goal 1.8: A variety of safe, affordable, and attractive housing types will meet the needs of our diverse community.



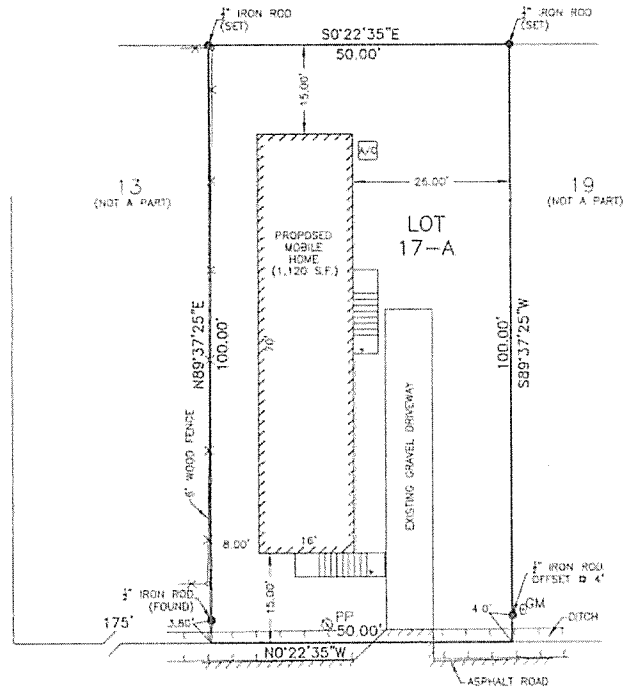
2022-3015-ZC

VICINITY MAP (N.T.S.)



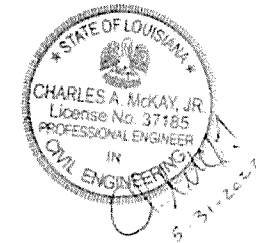
PANSY STREET (SIDE)

EMANCIPATION STREET
(UNDRENE R.O.W.)



PROGRESS STREET (SIDE)

VIOLET STREET
(22' PUBLIC RIGHT OF WAY)



SITE PLAN



REV.	DATE	REVISED	DRAWN

McKay & Associates, L.L.C.
7216 W. Judge Perez Drive
Arabi, La. 70032
ph. (504) 509-7603

NOTES

LOT 17-A, SQUARE 2
WEST ABITA SPRINGS SUBDIVISION
ST. TAMMANY PARISH, LA
1. LOT AREA 5,000 S.F. OR 0.115 ACRES.

REFERENCE: BASED ON A RESUBDIVISION
OF LOTS 15 & 17 INTO LOT 17-A
BY MCKAY & ASSOCIATES, L.L.C.,
DATED MARCH 5, 2021.

OWNER

ROSA BOUTERIE

LOCATION

72520 VIOLET STREET
COVINGTON, LA. 70435

SCALE SHEET NUMBER

1"=20'

DATE
5/31/2022

0.1

JOB NO.

22-320

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.



ZONING STAFF REPORT
2022-3017-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

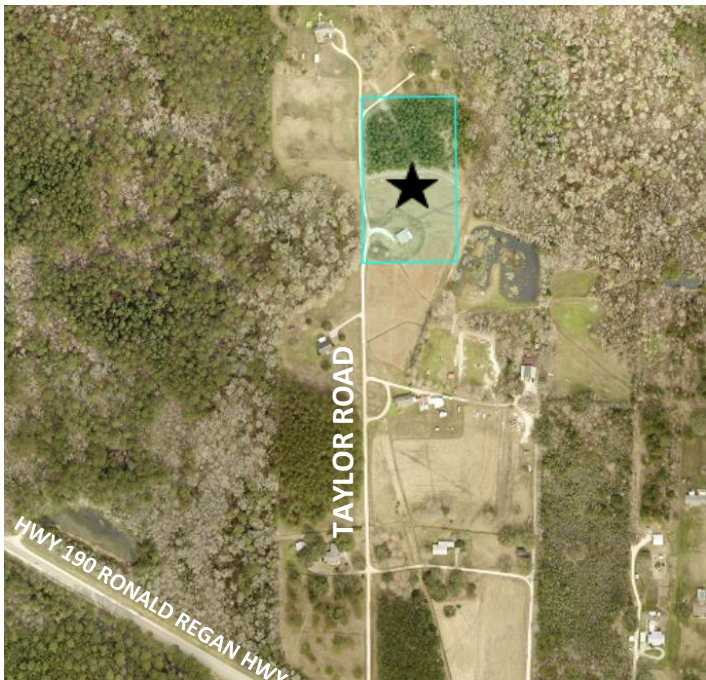
985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Location: Parcel located on the east side of Taylor Road, north of US Highway 190, Covington; S27, T6S, R10E; Ward 1, District 3
Council District: 3

Owner: Robert Thigpen
Posted: September 12, 2022

Applicant: Taylor Thigpen
Commission Hearing: October 4, 2022

Size: 5 acres
Determination: Approved, Postponed, Denied



Current Zoning

A-1 Suburban District

Requested Zoning

A-2 Suburban District

Future Land Use

Residential: Low-Intensity

Flood Zone:

Effective Flood Zone A4

Preliminary Flood Zone AE

Critical Drainage: Yes

Findings

1. The petitioner is requesting to change the zoning classification from A-1 Suburban District to A-2 Suburban District. The site is located on the east side of Taylor Road, north of US Highway 190, Covington.
2. The site's existing A-1 Suburban District requires five-acre parcel sizes, while the requested A-2 Suburban District requires one-acre parcel sizes. If approved, the applicant would be permitted to apply for the minor subdivision process to break the parcel into a variety of configurations, including placing one home per acre based on the final layout of the parcels.

Zoning History

3. Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
88-060	Unknown	SA Suburban Agriculture
09-2116	SA Suburban Agriculture	A-1 Suburban District

Compatibility or Suitability with Adjacent Area

4. Table 2: Surrounding Land Use and Zoning for the Two Acre Property

Direction	Surrounding Use	Surrounding Zoning Classification
North	Undeveloped	A-1 Suburban District
South	Residential	A-1 Suburban District
East	Undeveloped	A-1 Suburban District
West	Undeveloped	A-1 Suburban District

The subject property and the surrounding properties along Taylor Road were rezoned through the 2009 Comprehensive Rezoning process and appear to conform to the A-1 Suburban District site and structure provisions requiring 5 acre parcel sizes.



ZONING STAFF REPORT
2022-3017-ZC

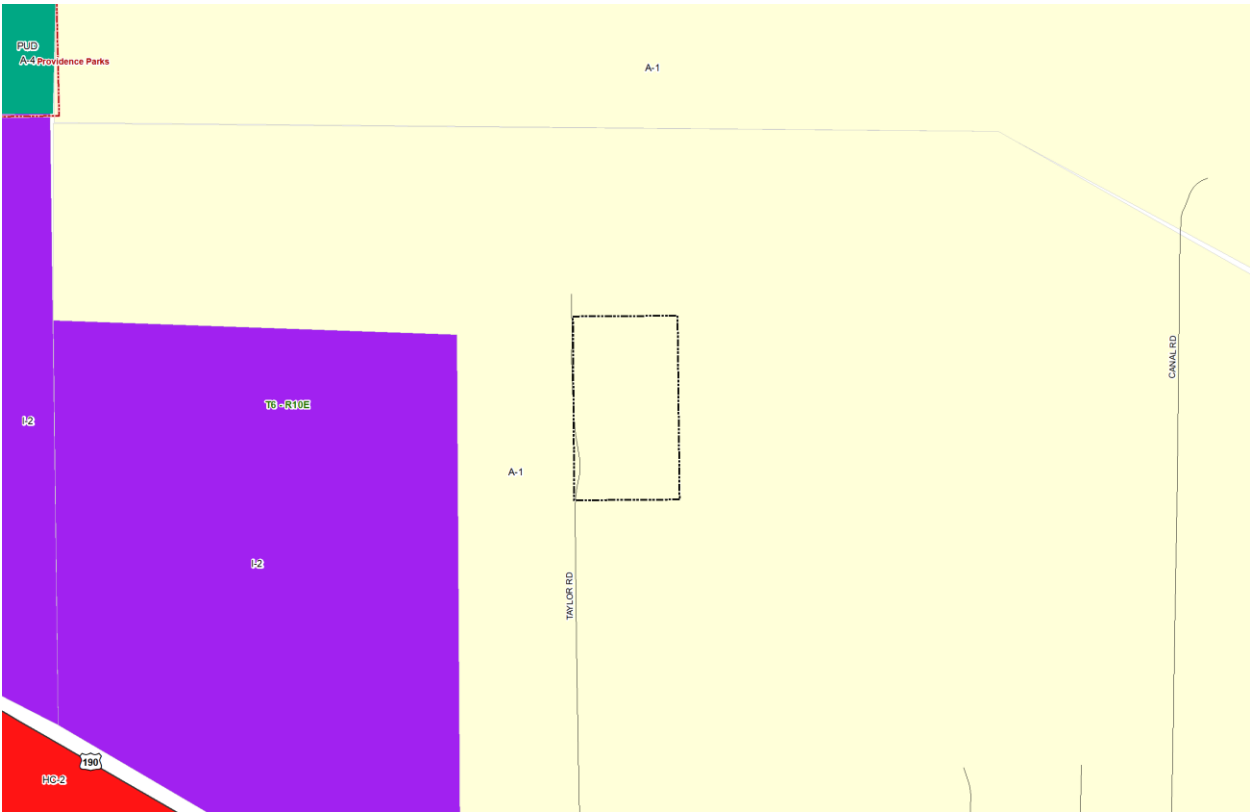
MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

Consistency with New Directions 2040

Residential – Low-Intensity: Predominantly single family, detached homes on very large lots. The lower residential density creates a more spacious character appropriate as a transition between the Parish’s Rural or Conservation areas and more intense land uses. The dispersed development pattern makes public services and amenities less efficient and more expensive to provide, and so residents typically must travel farther to access them.

1. The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:
 - a. Goal 1.8: A variety of safe, affordable, and attractive housing types will meet the needs of our diverse community.
2. The proposed zoning change is not consistent with the following goals, policies, and strategies of the Comprehensive Plan:
 - a. Goal 1.3: The character of existing residential areas, expansive rural landscapes, and sensitive ecological areas will be preserved.



22

T6 - R10E

27

1-2

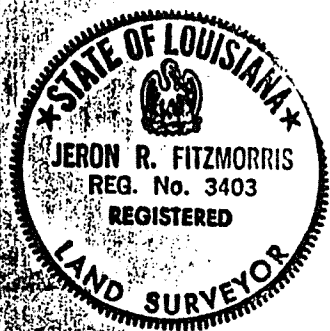
A-1

TAYLOR RD

HC-2

21 22
28 271734.4' 587°47'35"E
351.2'SHAWN
PAUL
THIGPEN
5.0 AC.

613.11'

MAP
PREPARED FORR.C.
THIGPEN, et alLOCATED IN SECTION 27
TOWNSHIP 6 SOUTH,
RANGE 10 EAST, ST.
TAMMANY PARISH,
LOUISIANATHIS MAP IS IN ACCORDANCE
WITH A PHYSICAL SURVEY
MADE ON THE GROUND
UNDER THE SUPERVISION
OF THE UNDERSIGNED.Jeron R. Fitzmorris
REG. LAND SURVEYORDIONNE
STEIN
THIGPEN
WIFE OF/AND
ROBERT
GREGORY
THIGPEN
5.0 AC.620.00'
500°00'31"WROBIN
ANN
THIGPEN
STEINHAEVER
WIFE OF/AND
TIMOTHY
ROBERT
STEINHAEVER
5.0 AC.

620.00'

351.10'
WEST

60' RIGHT-OF-WAY

U.S. HWY. 190

LS LAND
SURVEYING, INC.
COVINGTON, LA.
SCALE 1"=200' AUG. 26, 1994 NO. 6543

0/IRON SET

ST. TAMMANY PARISH COUNCIL

ORDINANCE

ORDINANCE CALENDAR NO. 7079 ORDINANCE COUNCIL SERIES NO. _____

COUNCIL SPONSOR DEAN PROVIDED BY: CIVIL DISTRICT ATTORNEY

INTRODUCED BY: MR. DEAN SECONDED BY: MR. FITZGERALD

ON THE 4TH DAY OF AUGUST, 2022

ORDINANCE TO AMEND THE ST. TAMMANY PARISH CODE OF ORDINANCES, PART II-LAND DEVELOPMENT CODE, CHAPTER 130-UNIFIED DEVELOPMENT CODE, ARTICLE V-OVERLAYS, DIVISION 6-PLANNED CORRIDOR DISTRICT, SECTION 130-1814-SPECIAL DESIGN STANDARDS, TO LIMIT HOURS OF OPERATION FOR CERTAIN USES WITHIN THE HIGHWAY 21 PLANNED CORRIDOR (WARD 1, DISTRICT 1).

WHEREAS, St. Tammany Parish Code of Ordinance Sec. 130-1809, et seq., establishes a planned corridor overlay district for property located on Highway 21 between the Tchefuncte River and Highway 1077; and

WHEREAS, the purpose of the Highway 21 Planned Corridor District is to provide for the preservation of the certain existing special standards for all commercial development in the District to ensure continuous conformance to all applicable standards and the integrity of the District; and

WHEREAS, the Highway 21 Planned Corridor District incorporates special design standards in order to maintain enhanced aesthetics, traffic flow, and sensitivity to long-established residential neighborhoods abutting the District; and

WHEREAS, stringent development criteria are required in the Highway 21 Planned Corridor District to ensure that harmony and compatibility with adjacent land uses are not adversely affected; and

WHEREAS, the proliferation of automated car washes in St. Tammany Parish has underscored the importance of protecting abutting residential property owners from increased noise, illumination, and traffic caused by automated car washes; and

WHEREAS, in order to ensure that existing residential property owners are not adversely affected by automated car washes in the Highway 21 Planned Corridor District, it is necessary to limit hours of operation for such businesses which abut residentially-zoned properties; and

WHEREAS, in order to balance the interest of business operators and residential property owners, hours of operation for automated car washes in the Highway 21 Planned Corridor District must be limited to 7:00 am to 7:00 pm.

THE PARISH OF ST. TAMMANY HEREBY ORDAINS: that the St. Tammany Parish Code of Ordinances, Part II-Land Development Code, Chapter 130-Unified Development Code, Article V-Overlays, Division 6-Planned Corridor District, Section 130-1814-Special Design Standards, be amended as follows:

The minimum standards for the Highway 21 planned corridor overlay will be the same as the standards for all commercial development unless otherwise stated below:

(1) *Site and structure provisions.*

- a. Minimum lot area.
- b. Minimum area regulations.
- c. Height regulations.
- d. Off-street parking and loading requirements. The parking area shall be located no less than 50 feet from the property line nor shall it encroach on the required street planting area.
- e. Landscaping regulations. Landscape regulations shall be the same as for other commercial properties, except that the following additional standards shall apply:

1. *Planting requirements.*

(i) *Street planting area requirements.*

- A. The street planting area shall be a minimum of 25 feet in depth. For lots greater than 150 feet in depth, the street planting area shall include one additional foot for every ten feet in depth.
- B. The street planting area shall contain a minimum of one Class A tree per every 300 square feet of the street planting area and one Class B tree per every 200 square feet of the street planting area.
- C. Planting beds near signage and structures are recommended.
- D. Grass or groundcover are recommended for areas without trees.

(ii) *Buffer planting area requirements.* A nonresidential property abutting a residential district shall have a minimum side yard and rear yard requirement of 30 feet.

(iii) *Parking area requirements.*

- A. The parking area shall be screened from view when the parking area is oriented to the side and/or the front of the structure to reduce visibility of the parking area from the highway using one of the following methods:
 - i. 70 percent sight obscuring screen of living material.
 - ii. 100 percent sight obscuring screen six feet in height of non-living material.
 - iii. Earth berm with a minimum height of three feet.
- B. Planting areas shall be a minimum of ten percent of the paved parking area.

2. *Protection of landscape areas.* The placement of barrier curbs or wheel stops to protect landscape areas from vehicular damage shall be required.

f. Sign regulations. Sign regulations shall be the same as for other commercial properties, except that the following additional standards shall apply:

1. Area and height provisions for ground signs.

(i) Single occupancy.

- A. Area allowed: 25 square feet.
- B. Height allowed: six feet.

(ii) Multiple occupancy.

- A. Area allowed: 50 square feet.
- B. Height allowed: eight feet.

2. No internal illumination.

3. White light only, no colored lighting.

4. Spectrum colors only, no iridescent colors permitted.

5. Personal identification signs with any dimensions exceeding 24 inches shall require an administrative permit. Such signs shall not exceed four square feet.

g. Lighting requirements.

h. Utility requirements.

i. Setback requirements. For lots with frontage along Highway 21 only, the following setback requirements shall be applied:

- 1. Principal buildings: 100 feet from the property line.
- 2. Accessory structures: 100 feet from the property line.

j. Hours of operation for automated car washes abutting residentially-zoned property shall be
limited to 7:00 am to 7:00 pm.

REPEAL: All ordinances or parts of Ordinances in conflict herewith are hereby repealed.

SEVERABILITY: If any provision of this Ordinance shall be held to be invalid, such invalidity shall not affect other provisions herein which can be given effect without the invalid provision and to this end the provisions of this Ordinance are hereby declared to be severable.

EFFECTIVE DATE: This Ordinance shall become effective immediately upon final adoption.

MOVED FOR ADOPTION BY: _____SECONDED BY: _____

WHEREUPON THIS ORDINANCE WAS SUBMITTED TO A VOTE AND
RESULTED IN THE FOLLOWING:

YEAS:

NAYS:

ABSTAIN:

ABSENT:

THIS ORDINANCE WAS DECLARED DULY ADOPTED AT A REGULAR MEETING OF THE PARISH COUNCIL ON THE 1ST DAY OF SEPTEMBER, 2022; AND BECOMES ORDINANCE COUNCIL SERIES NO. 22-

JERRY BINDER, COUNCIL CHAIRMAN

ATTEST:

KATRINA L. BUCKLEY, COUNCIL CLERK

MICHAEL B. COOPER, PARISH PRESIDENT

Published Introduction: AUGUST 17, 2022
Published Adoption: _____, 2022
Delivered to Parish President: _____, 2022 at _____
Returned to Council Clerk: _____, 2022 at _____



ZONING STAFF REPORT
2022-3030-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

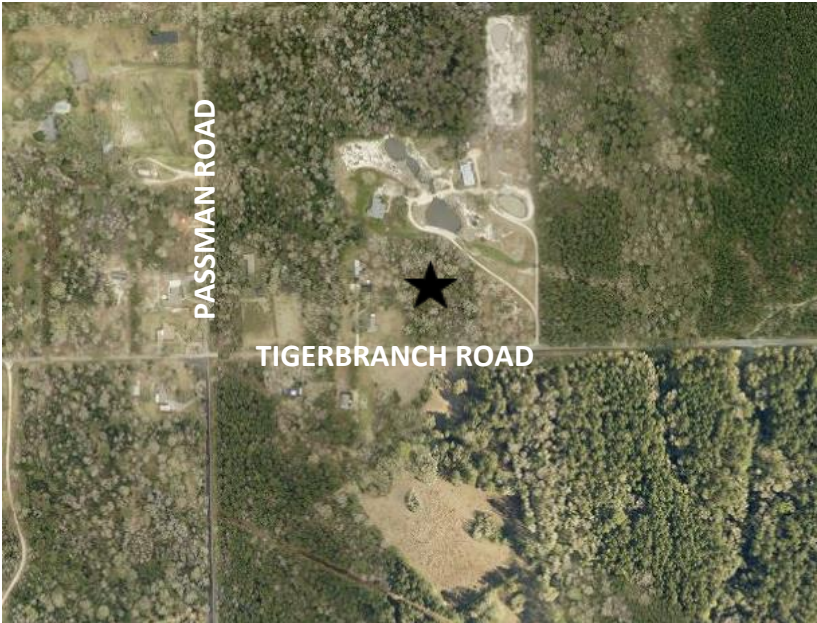
985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Location: Parcel located on the north side of Tiger Branch Road, east of Passman Road, Covington; S6, T6S, R11E; Ward 3, District 2
Council District: 2

Owner: Della Jean Steinhauer
Posted: September 7, 2022

Applicant: Jeanne Avery
Commission Hearing: October 4, 2022

Size: 3.61 acres
Determination: Approved, Postponed, Denied



Current Zoning

A-1 Suburban District
RO Rural Overlay

Requested Zoning

A-2 Suburban District
RO Rural Overlay

Future Land Use

Rural and Agriculture

Flood Zone

Effective and Preliminary Flood Zone B

Critical Drainage: No

Findings

1. The petitioner is requesting to change the zoning classification from A-1 Suburban District to A-2 Suburban District. The site is located on the north side of Tiger Branch Road, east of Passman Road, Covington.
2. The site's existing A-1 Suburban District requires five-acre parcel sizes, while the requested A-2 Suburban District requires one-acre parcel sizes. If approved, the applicant would be permitted to apply for the minor subdivision process to break the parcel into a variety of configurations including placing one home per acre based on the final layout of the parcels.

Zoning History

3. Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
88-015	Unknown	SA Suburban Agriculture
10-2234	SA Suburban Agriculture	A-1 Suburban District and RO Rural Overlay

Compatibility or Suitability with Adjacent Area

4. Table 2: Surrounding Land Use and Zoning for the Two Acre Property

Direction	Surrounding Use	Surrounding Zoning Classification
North	Residential	A-1 Suburban District and RO Rural Overlay
South	Undeveloped	A-1 Suburban District and RO Rural Overlay
East	Undeveloped	A-1 Suburban District and RO Rural Overlay
West	Undeveloped	A-1 Suburban District and RO Rural Overlay

5. The subject property and the surrounding properties within the northeast corner of Passman Road and Tiger Branch Road were rezoned through the 2010 Comprehensive Rezoning process and primarily appear to conform to the A-1 Suburban District site and structure provisions requiring 5-



ZONING STAFF REPORT
2022-3030-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

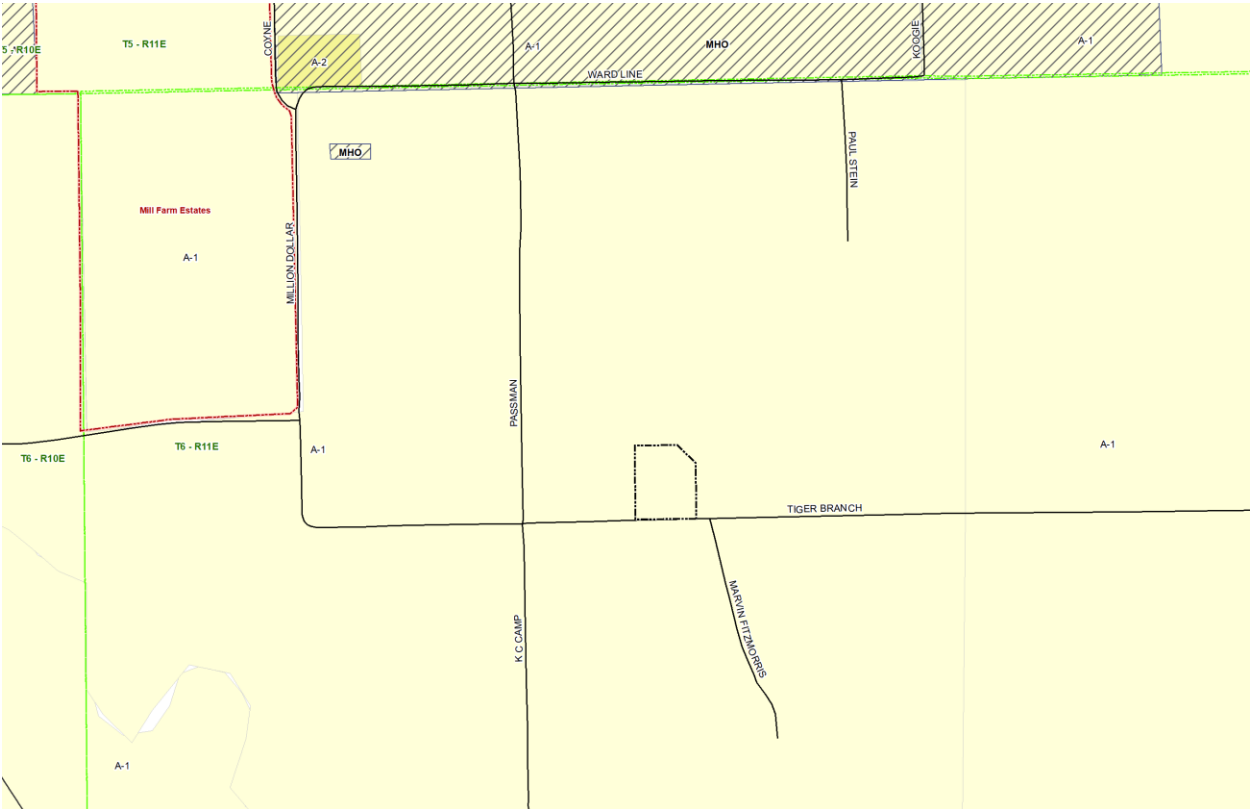
PLANNING & DEVELOPMENT
Ross Liner
Director

acre parcel sizes. There are however two properties adjoining the subject property to the west which were partitioned prior to the Parish adopting minor subdivision regulations.

Consistency with New Directions 2040

Rural and Agricultural: areas that include mostly very low intensity uses in non-urbanized areas, such as agriculture, horse farms, timberlands, ranches, and very large single family lots typically larger than three acres. No large traffic generators or noisy or pollution causing uses are located in Rural and Agricultural areas. Low-capacity country roads—typically two-lanes—serve these areas. Septic systems and wells are typical. The Parish’s abundant rural areas provide ample space for low-intensity uses, offering residents privacy and access to the outdoors. The countryside also fosters a number of commercial activities, such as production farms, horse boarding, and lumber harvesting. The Rural and Agricultural category includes these commercial uses, as well as small rural-serving businesses such as small groceries, gas stations, restaurants, and auto repair shops. St. Tammany’s countryside supports a growing tourism industry, whose businesses in this area include bed and breakfasts, retreat centers, nature tours, and “u-pick” farms.

1. The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:
 - a. Goal 1.8: A variety of safe, affordable, and attractive housing types will meet the needs of our diverse community.
2. The proposed zoning change is not consistent with the following goals, policies, and strategies of the Comprehensive Plan:
 - a. Goal 1.3: The character of existing residential areas, expansive rural landscapes, and sensitive ecological areas will be preserved.



2022-3030-ZC

PASSMAN RD

A-1 6
T6 - R11E

KO CAMP RD

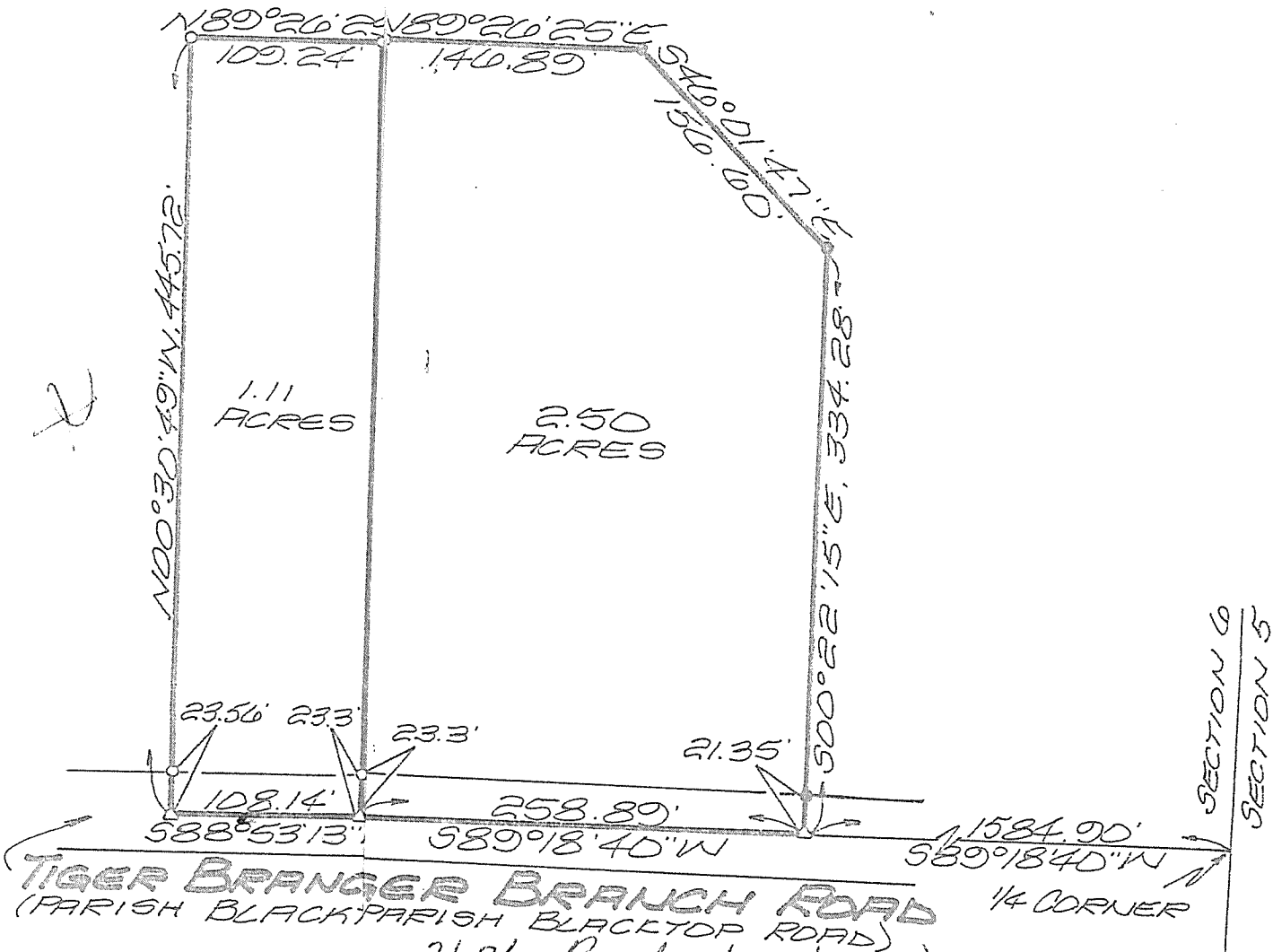
TIGER BRANCH RD

MARVIN FITZ MORRIS RD



THIS PROPERTY IS LOCATED IN FLOOD B, AS PER FEMA FIRM, COMM. NO. 225205 D125C, MAP 10-17-1989.

Map Dated
10/17/89



3.61 acres
1/2" REBAR SET
1/4" NAIL SET

THIS MAP IS IN ACCORDANCE WITH THE MINIMUM STANDARD DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A D AND THE APPROPRIATE PRACTICE CITED IN LAC 40: CXI.

MAP PREPARED FOR **DELLA J. STEIN** IN **STEINHAUER**
SHOWN A SURVEY MADE OF PROPERTY LOCATED IN **Section 6** TOWNSHIP 6 SOUTH,
Range 11 East, St. Tammany Parish, Louisiana
THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED:
SIGNATURE AND STAMPED SEAL MUST BE IN RED OR THIS PLAT IS NOT A TRUE COPY.

LAND SURVEYING Inc.
COVINGTON, LOUISIANA

ING Inc.
LOUISIANA

CERTIFIED CORRECT
Jason R. Little
LOUISIANA REGISTERED LAND SURVEYOR

SCALE: 1"=100'

DATE: October

DATE: October 15, 1999

NUMBER: 8602



ZONING STAFF REPORT
2022-3031-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Location: Parcel located on the west side of LA Highway 59, north of Lonesome Road, Mandeville; S36, T7S, R11E; Ward 4, District 10
Council District: 10

Owner: Zuppardo Properties, LLC
Posted: September 12, 2022

Applicant: Roy Zuppardo
Commission Hearing: October 4, 2022

Size: 9.35 acres
Determination: Approved, Postponed, Denied



Current Zoning
HC-2 Highway Commercial District
Requested Zoning
HC-2A Highway Commercial District
Future Land Use
Mixed Use
Residential: Medium-Intensity
Flood Zone
Effective Flood Zone A5
Preliminary Flood Zone AE
Critical Drainage: Yes

Findings

1. The petitioner is requesting to change the zoning classification from HC-2 Highway Commercial District to HC-2A Highway Commercial District. The site is located on the west side of LA Highway 59, north of Lonesome Road, Mandeville.

Zoning History

2. Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
98-004	Unknown	C-2 Commercial
09-2116	C-2 Commercial	HC-2 Highway Commercial District

3. The 9.35-acre parcel is currently zoned HC-2 Highway Commercial District. The purpose of this district is to provide for the location of moderately scaled intense retail, office, and service uses, generally located along major collectors and arterials designed to provide services to a portion of the parish.
4. The purpose of the proposed HC-2A Highway Commercial District designation is duplicative of the existing HC-2 Highway Commercial District designation, as is a majority of the ordinance itself. The only differing regulation between the two districts is maximum building size. In the existing HC-2 Highway Commercial District, the maximum building size is 40,000 square feet, while HC-2A allows for up to 75,000 square feet.

Compatibility or Suitability with Adjacent Area

5. Table 2: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Residential	A-3 Suburban District
South	Undeveloped	NC-4 Neighborhood Institutional District
East	Undeveloped	A-2 Suburban District
West	Undeveloped	A-2 Suburban District



ZONING STAFF REPORT
2022-3031-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

6. The subject site abuts undeveloped parcels along Highway 59 to the south, east, and west, and a residential subdivision to the north. There are multiple parcels which are currently zoned to accommodate various commercial uses located along Highway 59. If approved for a commercial zoning classification and developed as such, the site must comply with all commercial drainage, parking, and landscaping regulations.
7. Permittable uses in the HC-2A District are as follows: All uses permitted in the HC-1 Highway Commercial District and banks and financial institutions; Convenience stores with gas; Drive-in restaurants; Liquor stores; Any private office use that is a permitted use in the NC district over 20,000 sq. ft.; Clubs, lodges, fraternal and religious institutions, meeting halls (over 20,000 sq. ft.); Veterinary clinics (with outdoor kennels); Parcel post delivery stations; Mini-warehouses; Commercial kennels; Outdoor storage yards that do not occupy an area greater than 50 percent of land area, and are enclosed by an eight-foot opaque perimeter fence, located on the same parcel as, and are accessory to an existing miniwarehouse, not to be located on the street side; Lodging, 100 rooms or less (including apartments, hotels, motels); Automotive sales not to exceed two acres of display and storage; Outdoor retail and storage yards; Potable storage containers use for storage; Outdoor display area of pre-assembles building, pool and playground equipment.

Consistency with New Directions 2040

Mixed-Use: These are areas that are flexible and appropriate for higher concentration of residential and commercial uses, allowing shorter trips between destinations and opportunities for walkable, compact development patterns. Mixed Use areas are typically located at or near the Parish's existing hubs of activity and intersections of major roads, as well as along major traffic corridors. Mixed Use areas may also include higher density residential uses, such as garden apartments and condominiums.

Residential – Medium Intensity: Medium Intensity neighborhoods include a broader mix of large and small lots but remain predominantly, single-family detached homes. Attached homes such as townhomes and 2-unit homes, as well as assisted living centers may fit into the character of Medium Intensity Residential Neighborhoods. The higher density of development makes central water and sewer more practical than onsite water and wastewater systems, and infrastructure like sidewalks, subsurface drainage, and street lighting are more common. These areas are appropriate buffers between Rural or Low Intensity Residential Neighborhoods and High Intensity Residential Neighborhoods or Commercial and Institutional areas.

1. The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:
 - a. Strategy 1:5:1: Locate new residential and commercial development within, adjacent to, or near existing towns and activity centers and associated infrastructure, services, and amenities.
 - b. Strategy 1:5:2 Locate high intensity land uses adjacent to high capacity transportation corridors.
 - c. Goal 5:1: The Parish will designate adequate land served by supporting infrastructure for use by businesses and industries seeking to begin or expand.

2022-3031-ZC

SHARP RD

DE VAL DR

HIGHLAND DR

DUNLEITH LN

A-3

HENRY MEINERS RD

T7 - R11E

36

HC-2

NC-4

A-2

A-4

OAK ISLAND DR

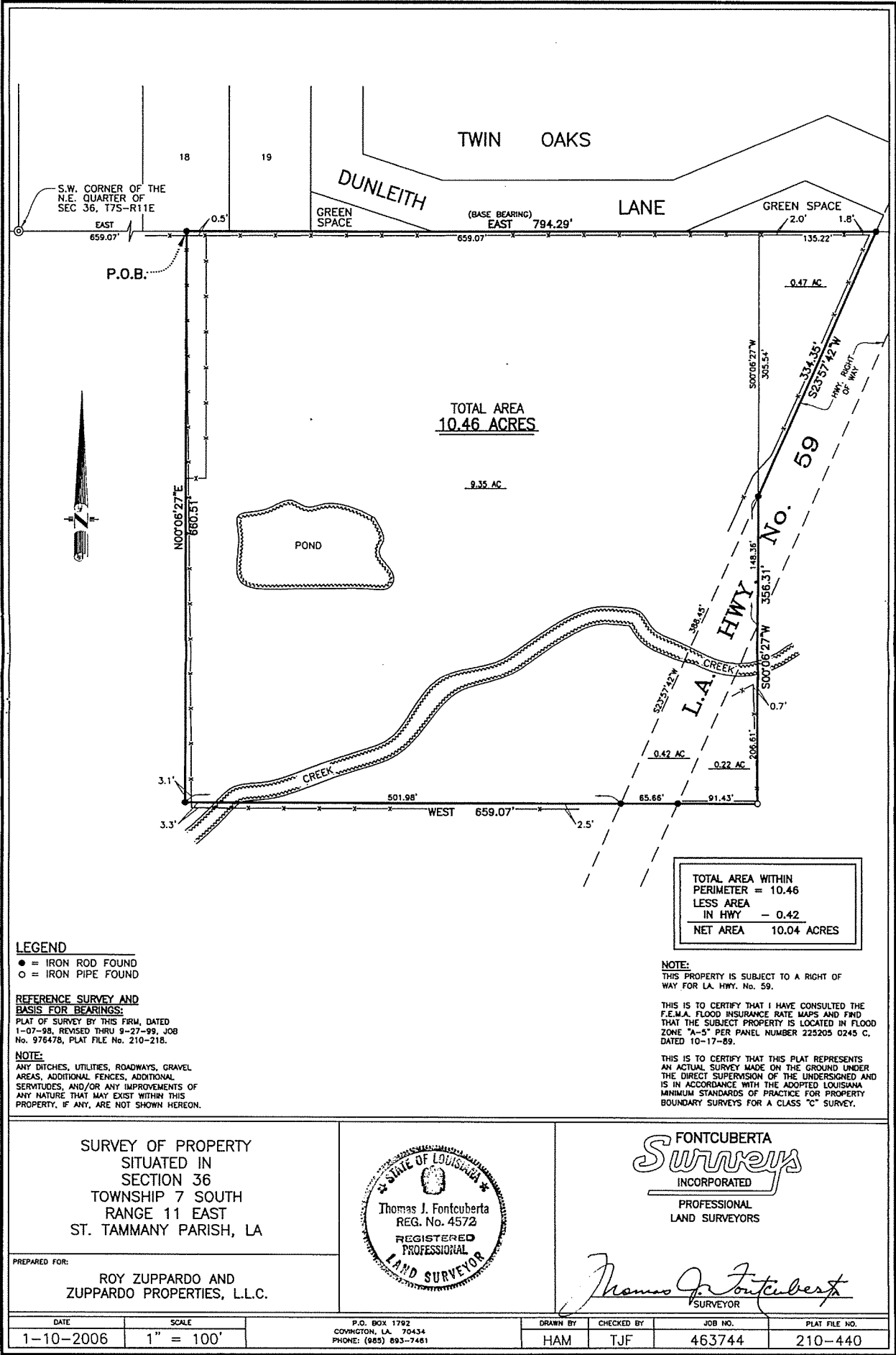
LORIO LN

HC-1

LONESOME RD

MD-2

NC-6





ZONING STAFF REPORT
2022-3032-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Location: Parcel located on the north side of Baham Road, west of LA Highway 1077, Covington; S28 & S33, T6S, R10E; Ward 1, District 3
Council District: 3

Owner: Casa De Leon Development, LLC
Posted: September 12, 2022

Applicant: Ricky Boles
Commission Hearing: October 4, 2022

Size: 4.44 acres
Determination: Approved, Postponed, Denied



Current Zoning

A-1 Suburban District

Requested Zoning

A-2 Suburban District

Future Land Use

Residential: Medium Intensity

Flood Zone

Effective Flood Zone C

Preliminary Flood Zone X

Critical Drainage: No

Findings

1. The petitioner is requesting to change the zoning classification from A-1 Suburban District to A-2 Suburban District. The site is located on the north side of Baham Road, west of LA Highway 1077, Covington.
2. The site's existing A-1 Suburban District requires five-acre parcel sizes, while the requested A-2 Suburban District requires one-acre parcel sizes. If approved, the applicant would be permitted to apply for the minor subdivision process to break the parcel into a variety of configurations, including placing one home per acre based on the final layout of the parcels.

Zoning History

3. Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
09-2116	SA Suburban Agriculture	A-1 Suburban District

4. The subject property and the surrounding properties along Baham Road were rezoned through the 2009 Comprehensive Rezoning process. Less than half of the adjoining sites appear to conform to the A-1 Suburban District site and structure provisions requiring 5-acre parcel sizes. A larger portion of the nearby parcels are made up of less than or just over an acre in size to four acres in size and provide a variety of lot sizes within the general vicinity.

Compatibility or Suitability with Adjacent Area

5. Table 2: Surrounding Land Use and Zoning for the Two Acre Property

Direction	Surrounding Use	Surrounding Zoning Classification
North	Undeveloped	A-1 Suburban District
South	Residential	A-1 Suburban District
East	Residential	A-1 Suburban District A-2 Suburban District
West	Residential	A-1 Suburban District



ZONING STAFF REPORT
2022-3032-ZC

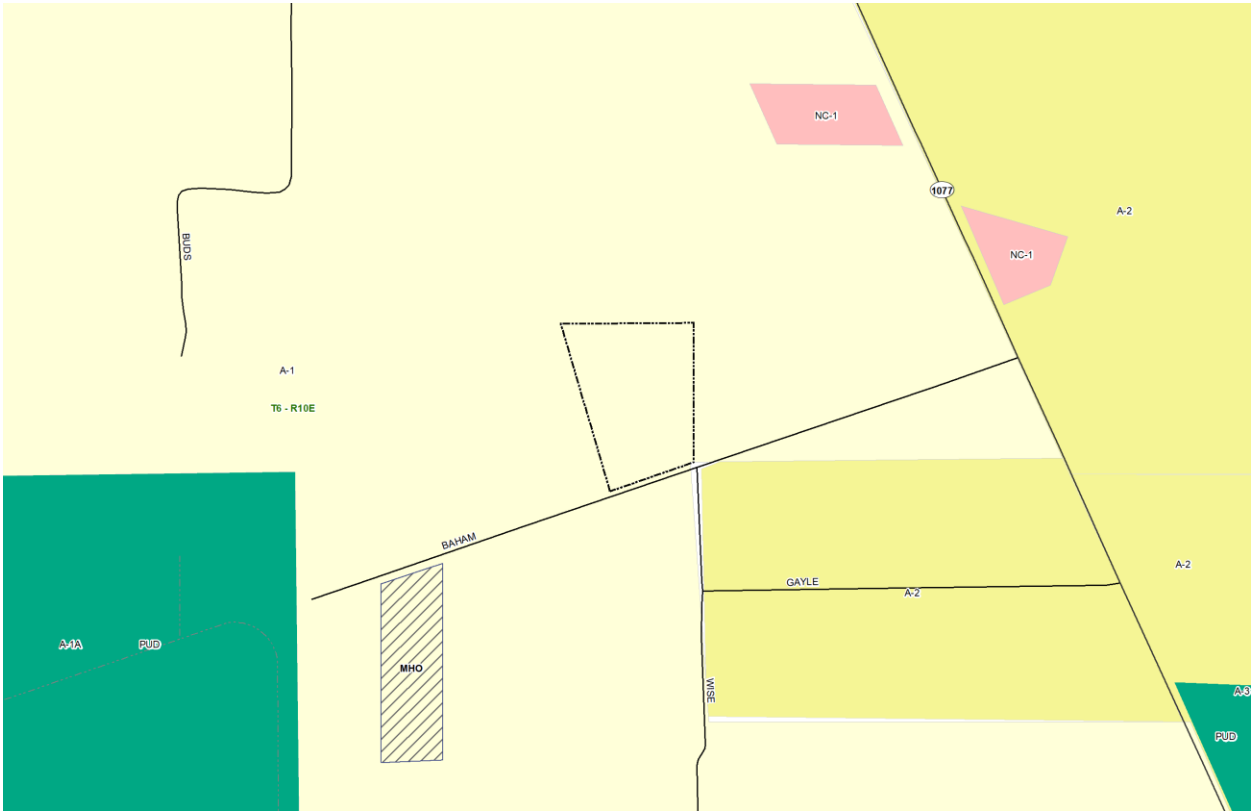
MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

Consistency with New Directions 2040

Residential – Low-Intensity: Predominantly single family, detached homes on very large lots. The lower residential density creates a more spacious character appropriate as a transition between the Parish’s Rural or Conservation areas and more intense land uses. The dispersed development pattern makes public services and amenities less efficient and more expensive to provide, and so residents typically must travel farther to access them.

1. The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:
 - a. Goal 1.8: A variety of safe, affordable, and attractive housing types will meet the needs of our diverse community.
2. The proposed zoning change is not consistent with the following goals, policies, and strategies of the Comprehensive Plan:
 - a. Goal 1.3: The character of existing residential areas, expansive rural landscapes, and sensitive ecological areas will be preserved.
 - b.



2022-3032-ZC

NC-2

LADNER RD

A-3

I-2

HC-2

MCDONALD RD

PF-1

RAILROAD AV

28

27

BUDS LN

TURNPIKE RD

NC-1

A-2

T6 - R10E

A-1

BAHAM RD

MHO

GAYLE RD

Gordon Estates

Creekstone Oaks

A-1A PUD

Wingfield

PLUMEGRASS DR

CROSSVINE DR

33

BUTTON BUSH DR

WISE RD

WELLS RD

34

JOINER WYMER RD

BUNNY LN

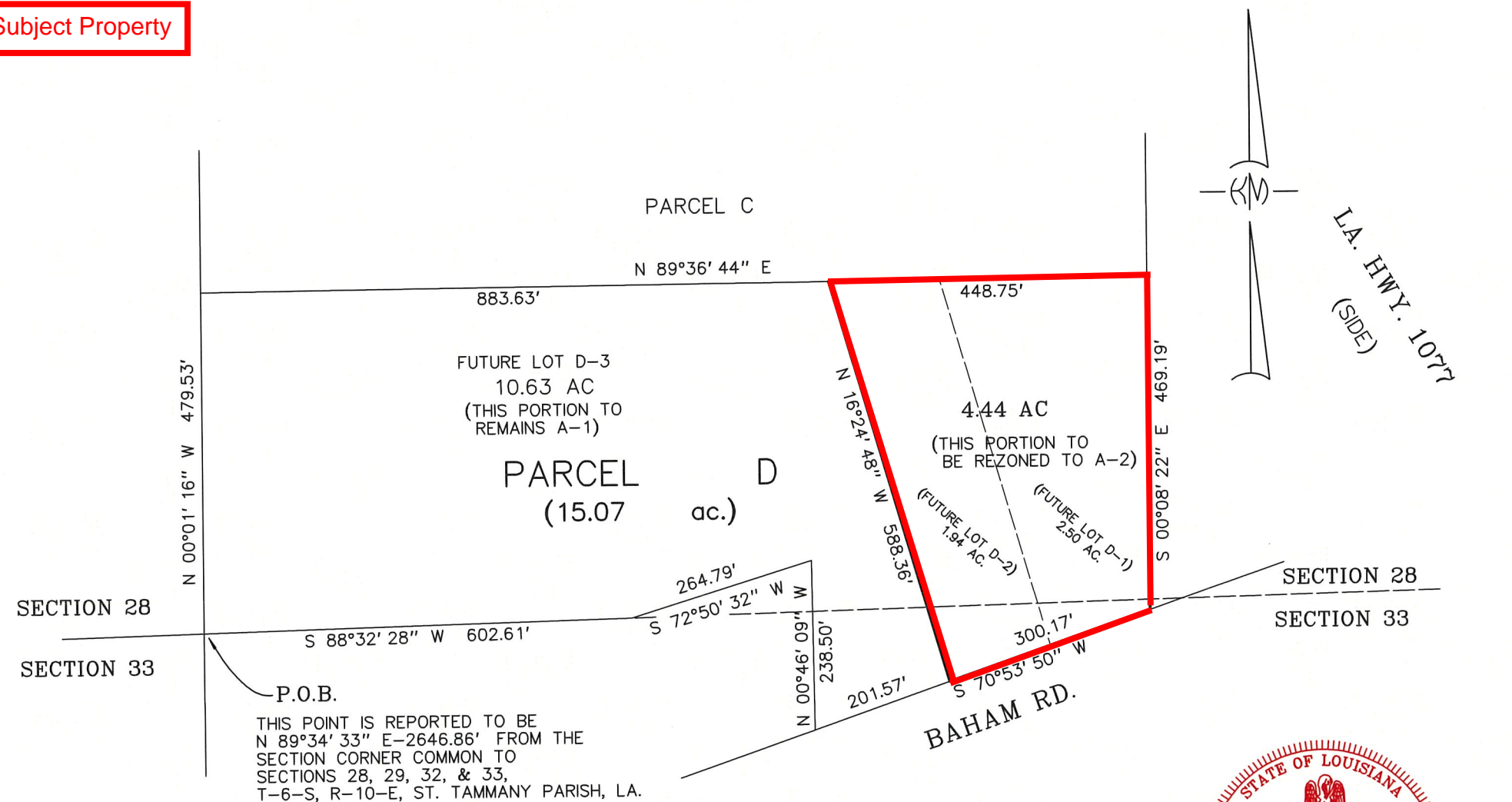
MHO

MHO

STANGARD

2022-3032-ZC

Subject Property



THIS PLAT WAS PREPARED USING A
PREVIOUS RESUBDIVISION SURVEY
BY LAND SURVEYING SERVICES, INC.
FILED FOR RECORD 09-28-2017 AS
MAP FILE NO. 5675d



SKETCH OF:
REZONING OF A 4.44 ACRES PORTION
OF PARCEL D, IN SECTIONS 28 & 33,
T-6-S, R-10-E, G.L.D.
ST. TAMMANY PARISH, LOUISIANA.

SCALE:	1" = 200'	DATE:	08-15-22
DRAWN:	DRJ	JOB NO.:	
REVISED:			

KELLY J. McHUGH & ASSOC., INC.
CIVIL ENGINEERS & LAND SURVEYORS
845 GALVEZ ST., MANDEVILLE, LA. 626-5611



ZONING STAFF REPORT
2022-3016-PR

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Proposed Use: McDaniel Dermatology: New Construction **Gross Area Lot Size:** 1.56 acres
Previous/Current Use: Undeveloped land **Use Size:** 7,606 sq. ft.
Owner: Ellison Holdings, LLC **Council District:** 1
Applicant: Jones Fussell - Jeff Schoen **Posted:** September 23, 2022
Commission Hearing: October 4, 2022 **Prior Determination:** Postponed until October 4, 2022
Location: Parcel located on the east side of LA Highway 21, south of Dummyline Road; Madisonville, S41, T7S, R10E, Ward 1, District 1



Current Zoning
NC-1 Professional Office District
Planned Corridor Overlay
Highway 21 Planned Corridor
Future Land Use
Commercial
Flood Zone
Preliminary: Flood Zone AE10
Critical Drainage: Yes

Site Information:

1. The petitioned property consists of a total of 1.56 acres of a total 3.847-acre site which is located on the east side of Highway 21, south of Dummy Line Road, Madisonville. The applicant has expressed intent to apply for a minor subdivision of the subject property to create two lots from the existing 3.847 acres.
2. The applicant has a concurrent request to rezone the subject property from NC-1 Professional Office District to NC-4 Neighborhood Institutional District. This case has been advertised to be heard on the September 6, 2022 Zoning Commission agenda (case No. 2022-2996-ZC). The reason for the request is to allow for the construction of a 7,606 sq. ft. building to accommodate the dermatology practice.

3. Table 1: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Undeveloped	A-1 Suburban District
South	Animal Hospital Undeveloped	NC-1 Professional Office District A-3 Suburban District
East	Undeveloped	NC-1 Professional Office District
West	Residential Office Use	NC-5 Retail and Service District NC-1 Professional Office District



ZONING STAFF REPORT
2022-3016-PR

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

Findings:

The applicant has submitted a site plan, a grading plan, a landscape plan and tree survey, and a lighting plan which provides the limits of work for the proposed dermatology clinic. Staff has reviewed the application and provided the applicant with a markup summary that notes several potential conflicts subject to the Planned Corridor Regulations including the following:

1. Per Sec. 130-1814(1)(e)(1)(i), principal buildings must be set back 100 feet from the property line.
 - **The proposed dermatology clinic is encroaching within the 100 ft. required front yard setback by roughly 33 feet and will therefore require a waiver by the Zoning Commission.**
2. Per Sec. 130-1813(e)(2), the applicant must submit the following documentation:
 - a. An illustrative approved drainage plan by the Department of Engineering.
 - **The applicant has provided a drainage study on September 13, 2022 and a paving and drainage plan on September 27, 2022. These documents are currently under review by the Parish Engineering Department and comments have not yet been issued.**
 - b. A landscape plan of the site showing the type, size, and number of plants; location of existing trees to be preserved; the location and dimensions of planting bends, barrier curbs, sight triangles, fences, buffers, and screening; elevations of all fences and type of materials to be used; and the total square footage of landscaping.
 - **The applicant has submitted a tree survey and landscape plan which is inconsistent with the site plan that has been submitted. The applicant must provide consistent plans which match.**
 - **The applicant has provided planting calculations which are inconsistent with Sec. 130-1814(1)(e)(1)(i)(B) and must revise the proposed plantings accordingly. The required plantings within the Street Planting area include 34 Class A trees and 50 Class B trees. The applicant must revise the plans or request a waiver from the Zoning Commission.**
 - **The applicant must provide curbing detail with a permanently anchored material at least six inches in height on the site plan.**
3. Per Sec. 125-88(b)(6)(b), no part of a permanent structure, including a driveway and/or fence shall be located within 20 feet of the top of bank of an open drainage ditch, channel, canal, or similar drainage feature, including a natural river or stream, unless subsurface drainage is installed.
 - **The proposed location of the building and the parking lot encroach within the required 20 ft. setback. The applicant must revise the plans or request a waiver from the Zoning Commission.**

Staff recommends postponement of the project subject to all applicable staff comments in order to all the applicant time to provide all required documentation and staff time to review all documentation.

Informational Items:

1. The applicant must provide a LADOTD driveway permit or written verification that a driveway permit is not required at the permitting phase.
2. The applicant must contact applicable utility companies to inquire about capacity and or cost of service to accommodate the proposed addition. If capacity is unavailable, the applicant must contact LDH to inquire about sewer and water expansions/updates.
3. An STP Stormwater Agreement is required to be completed by the owner or contractor per Sec. 115-106.
4. The property owner shall be responsible for the maintenance and the replacement of the required plant materials.
5. During construction, planting or open ground areas surrounding preserved trees shall be wired off with a properly flagged, reinforced & rolled wire mesh.

Consistency with New Directions 2040

Commercial: Concentrations of offices, retailers, services, and other employers that generate varying levels of traffic. They range from neighborhood-serving uses such as personal care and convenience goods, to large-scale shopping centers. May also include high intensity residential uses.

1. The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:

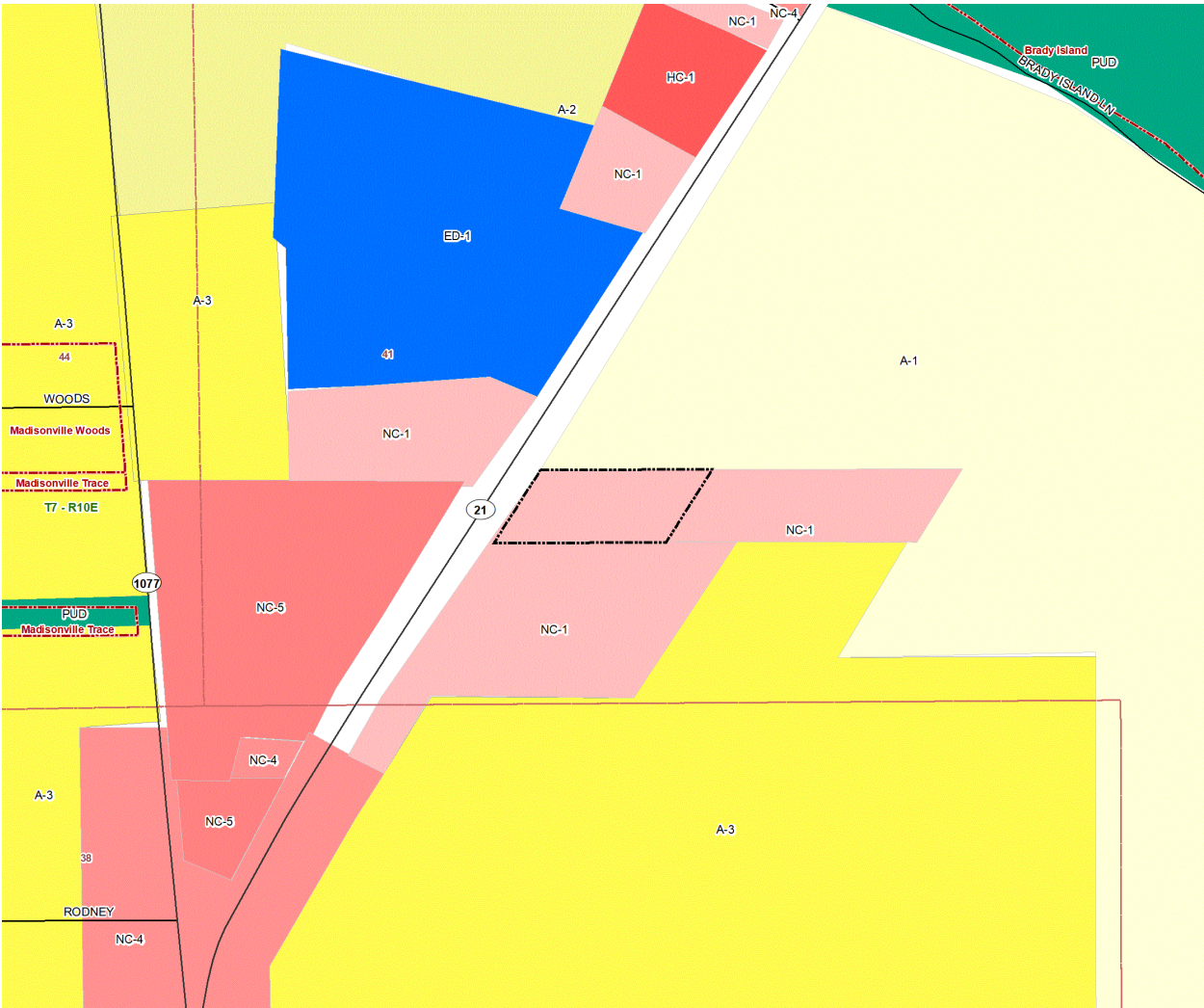


ZONING STAFF REPORT
2022-3016-PR

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

- i. Goal 5:1: The Parish will designate adequate land served by supporting infrastructure for use by businesses and industries seeking to begin or expand.
- ii. Strategy 5:1:1 Reserve land fronting existing, undeveloped corridors for commercial uses.
- iii. Goal 5:2: St. Tammany Parish will attract and grow businesses that expand the Parish’s tax base and provide living wage jobs to residents of varying skill levels.



A-2

HC-1

ED-1

A-1

21

COVINGTON HWY

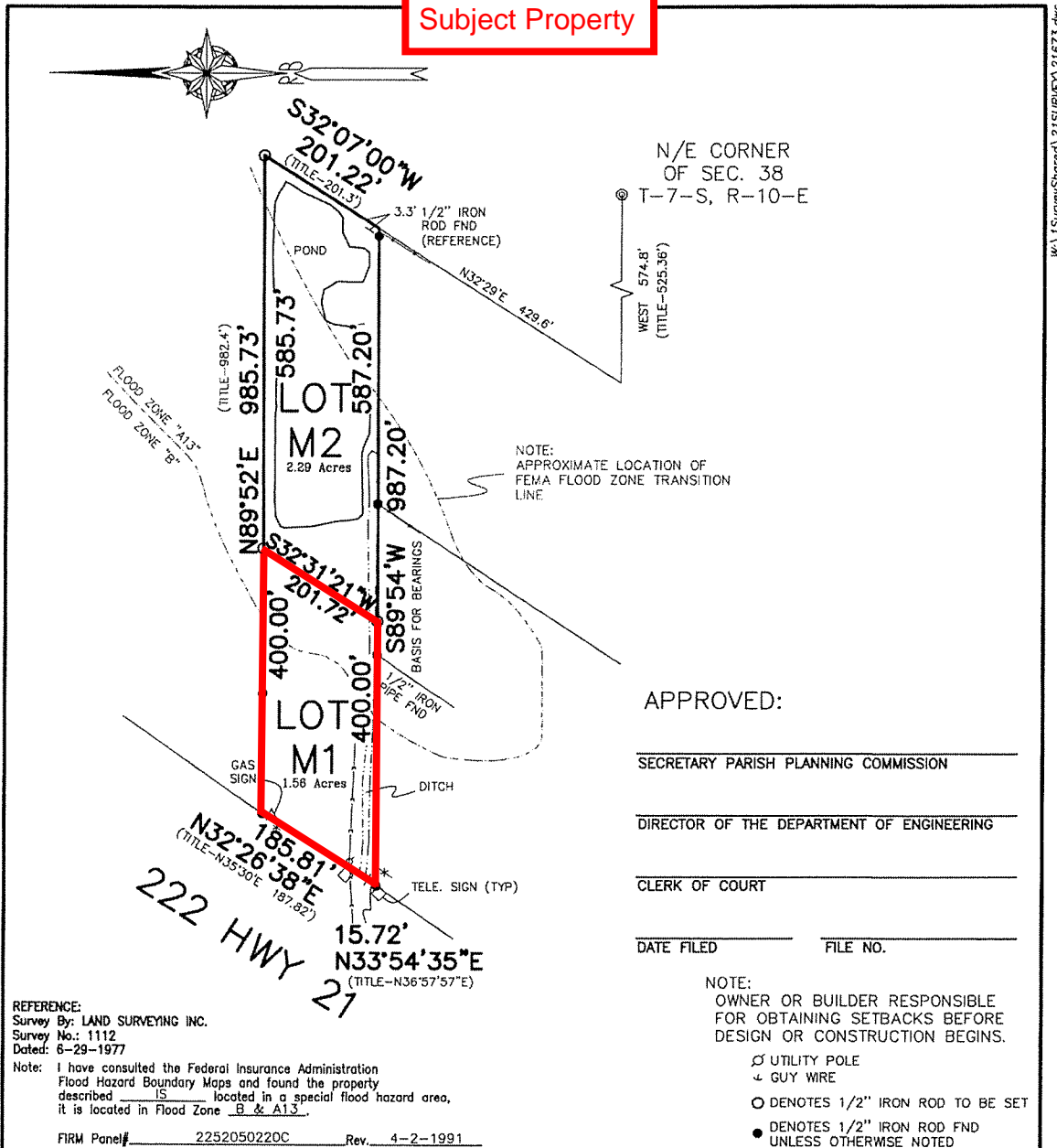
NC-5

NC-1

NC-4

A-3

Subject Property



RESUBDIVISION OF
A 3.847 ACRE PARCEL SITUATED IN
SECTION 41, T-7-S, R-10-E
ST. TAMMANY PARISH, LOUISIANA
INTO
LOTS M1 & M2

NO ATTEMPT HAS BEEN MADE BY RANDALL W. BROWN & ASSOC., INC. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT.

SURVEYED IN ACCORDANCE WITH THE LOUISIANA "APPLICABLE STANDARDS FOR PROPERTY BOUNDARY SURVEYS" FOR A CLASS C SURVEY.

DRAFT
ONLY

Randall W. Brown, P.L.S.
Professional Land Surveyor
LA Registration No. 04586

**Randall W. Brown
& Associates, Inc.**
Professional Land Surveyors
228 W. Causeway Approach, Mandeville, LA 70448
(985) 624-5368 FAX (985) 624-5309
info@brownsurveys.com

Date: JUNE 8, 2022
Survey No. 21673
Project No. (CR5) A21673.TXT

Scale: 1" = 200' ±
Drawn By: RJB
Revised:

2022-3016-ZC

NOTE:
TOTAL AREA OF PARKING AREA: 39,350 SQ FT
REQUIRED PLANTING AREA IN PARKING AREA 3,935 SQ FT (10%)
PROVIDED PLANTING AREA IN PARKING AREA 4,520 SQ FT (11%)

PARKING REQUIREMENTS:
BUILDING AREA 7,606 SF / 200 = 38 (REQUIRED)
TOTAL PARKING PROVIDED = 38

LANDSCAPE LEGEND:

- CLASS "A" TREE
- CLASS "B" TREE
- SHRUB

NOTE:
PLANTING AREA 24%

architecture
planning
engineering
interior design
sustainable design
consulting

1404 GREENGATE DRIVE, SUITE 101
COVINGTON, LA 70433
985-893-4100

fl+WB
architects
a professional corporation in continuous practice since 1981

DATE	ISSUE

McDANIEL
DERMATOLOGY PRACTICE

222 HIGHWAY 21
MADISONVILLE, LA

CONSTRUCTION DOCUMENT

Date: 16 SEP 22

Owner/Developer: Ellison Holdings, LLC

Designer: **FLWB Architects, APC**
1404 Greengate Drive, Suite 101
Covington, LA 70433

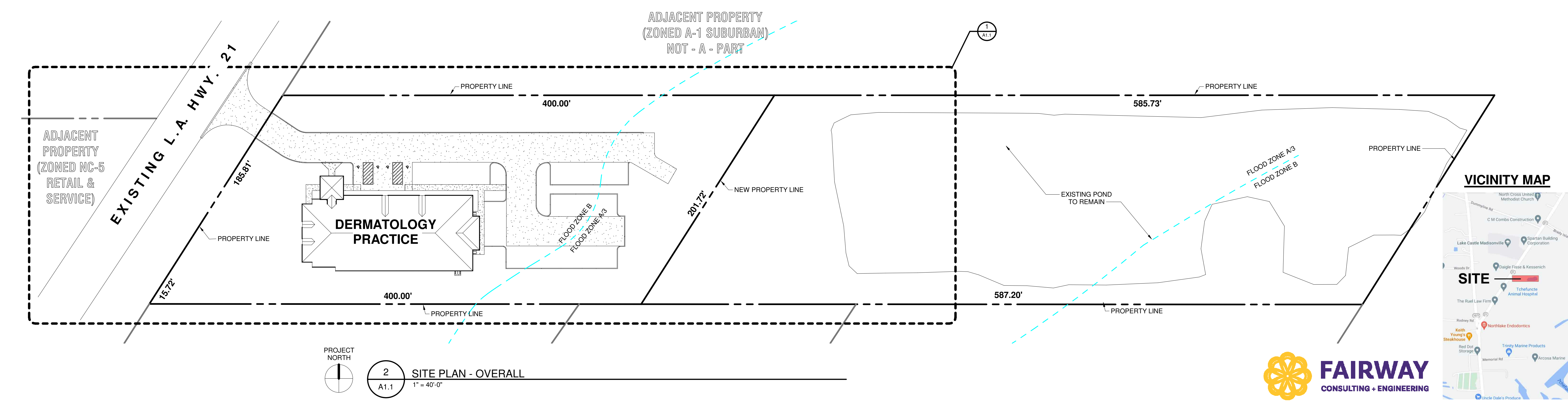
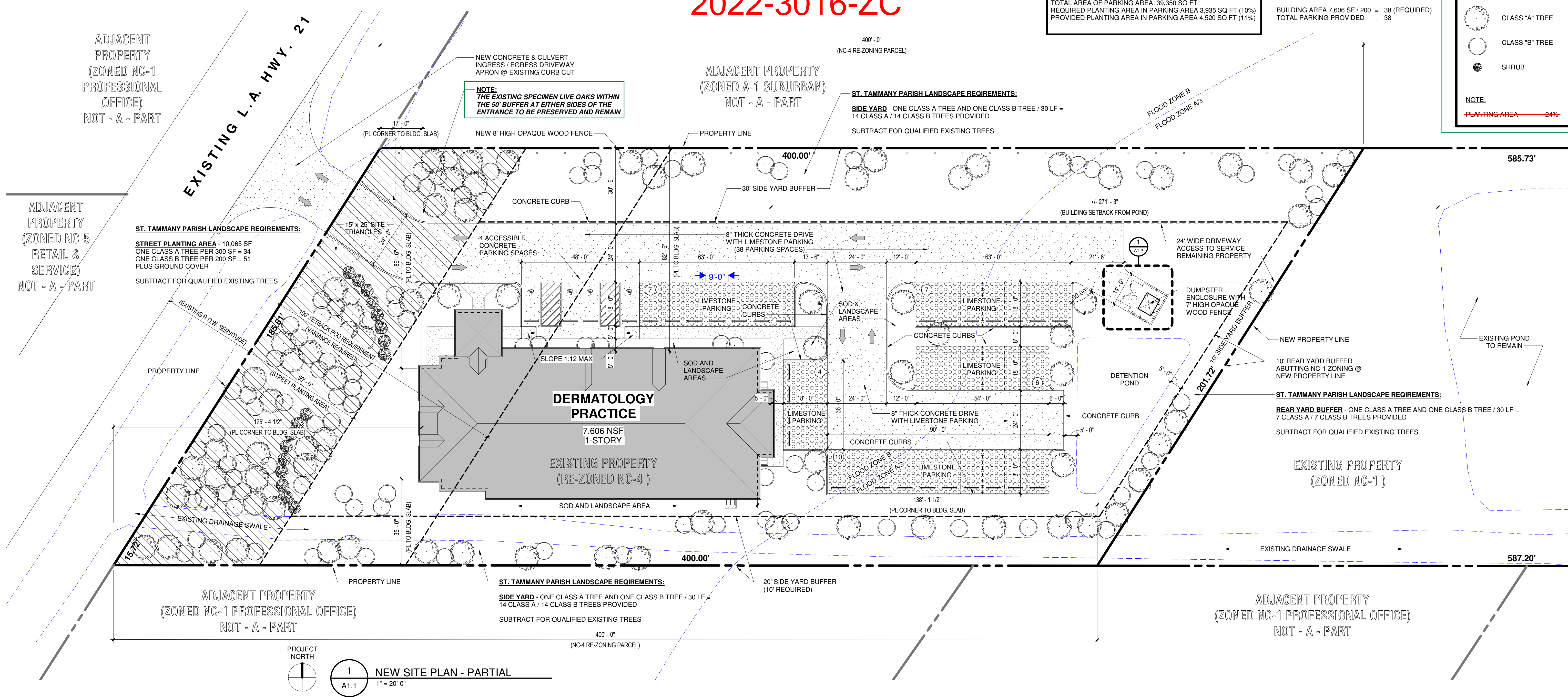
Fairway Consulting & Engineering
403 N. Jefferson Ave.
Covington, LA 70433

SITE PLAN

Job No. 221057.01

Drawn by MAH Checked by KJW

A1.1
Sheet No.



LANDSCAPE INFORMATION:

THIS DRAWING IS FOR LANDSCAPE CODE COMPLIANCE ONLY.

TREE CREDITS
2.5"- 4" = 1 TREE
5"- 8" = 2 TREES
9"- 14"+ = 3 TREES

STREET PLANTING AREA - HWY 21 (201.52'):

[1] CLASS "A" PER 20 LINEAR FEET OF FRONTAGE.
[1] SHRUB PER 10 LINEAR FEET OF FRONTAGE

REQUIRED:
201.52 / 20 = [10] CLASS "A" & "B" TREES REQUIRED
201.52 / 10 = [21] SHRUBS REQUIRED

PROVIDED:
EXISTING CLASS "A" TREE CREDITS (17)
[8] CLASS "B" TREES
[21] SHRUBS

BUFFER PLANTING AREA:

NORTH BUFFER (400')
REQUIRED:
400 / 30 = [13] CLASS "A" & "B" TREES REQUIRED







PROVIDED:
EXISTING CLASS "A" TREE CREDITS (37)
[10] CLASS "B" TREES

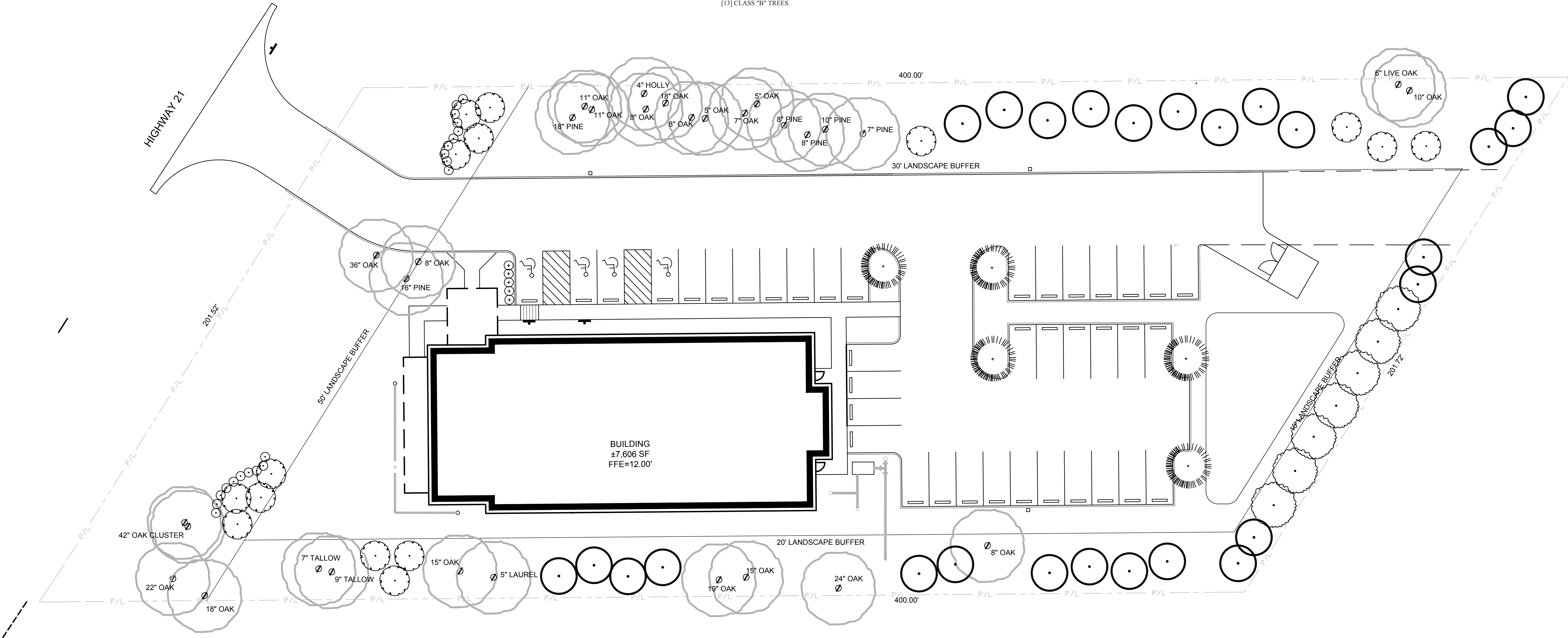
EAST BUFFER (201.72')
REQUIRED:
201.72 / 30 = [7] CLASS "A" & "B" TREES REQUIRED

PROVIDED:
[7] CLASS "A" TREES & [7] CLASS "B" TREES

SOUTH BUFFER (400')
REQUIRED:
400 / 30 = [13] CLASS "A" & "B" TREES REQUIRED

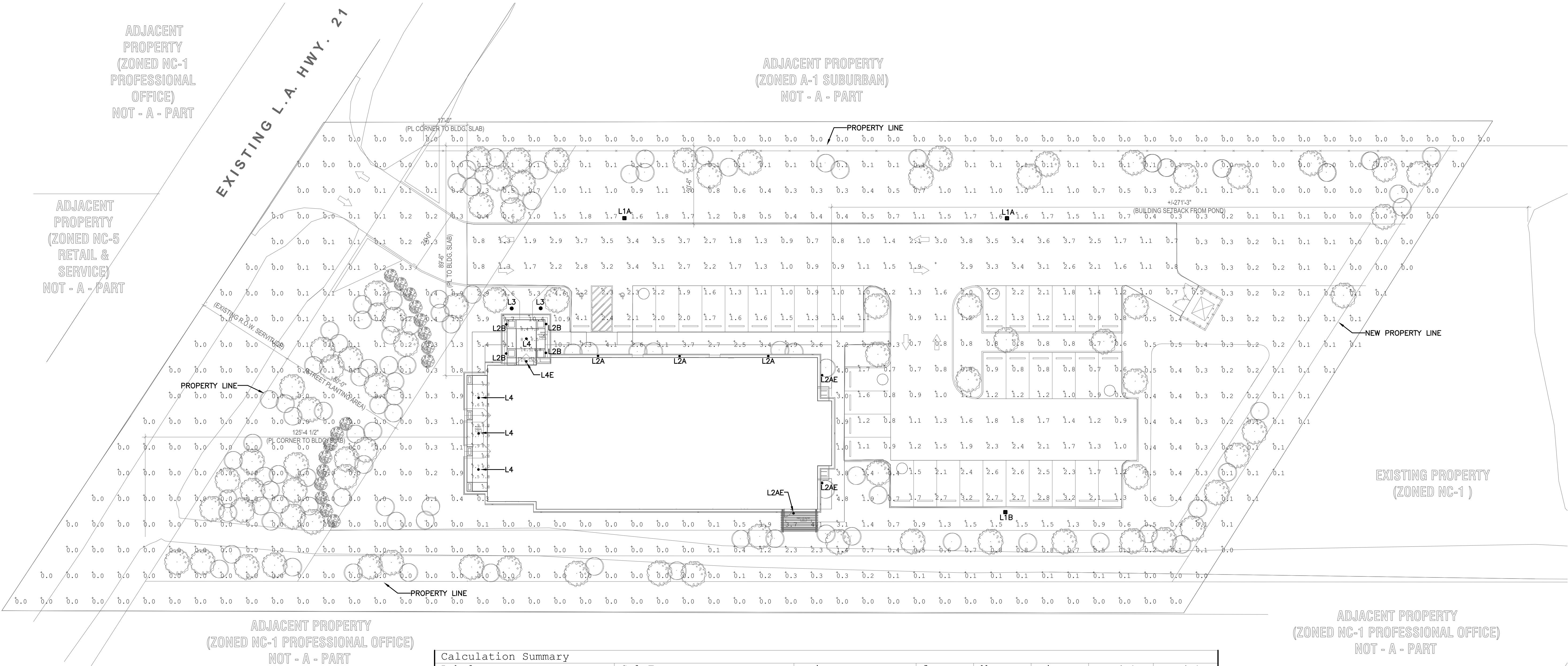
PROVIDED:
EXISTING CLASS "A" TREE CREDITS (21)
[13] CLASS "B" TREES

PLANT SCHEDULE				
	Qty.	Scientific Name	Common Name	size
	7	<i>Acer rubrum</i>	Swamp Red Maple	2.5" cal., 10-12' ht. min.
	15	<i>Ilex x attenuata 'Eagleston'</i>	Eagleston Holly	2" cal., 8-10' ht. min.
	5	<i>Ilex burfordii 'Nana'</i>	Dwarf Burford Holly	3 gal.
	26	<i>Betula nigra</i>	River Birch	2" cal., 8-10' min.
	5	<i>Magnolia virginiana</i>	Sweetbay Magnolia	2.5" cal., 10-12' ht. min.
	21	<i>Rhododendron indicum 'George Tabor'</i>	George Tabor Azalea	3 gal.



2022-3016-ZC

EXTERIOR LIGHTING FIXTURE SCHEDULE											
SYMBOL	TYPE	REMARKS	CATALOG NO.	MOUNTING	MOUNTING HEIGHT	VOLTS	LAMPS				
							QTY	TYPE	LUMENS	TOTAL WATTS	KELVIN TEMP
	L1A	TYPE 3 LED AREA LIGHT WITH HOUSE SIDE SHIELD, 20 FT RTS POLE	LUMARK #PRV-C40-D-UNV-T3-SA-AP-HSS/RTS6A20SVX1XG	POLE	20 FT POLE WITH 30" BASE	120	1	LED	17,144	131	4000K
	L1B	TYPE 4 LED AREA LIGHT WITH HOUSE SIDE SHIELD, 20 FT RTS POLE	LUMARK #PRV-C40-D-UNV-T4-SA-AP-HSS/RTS6A20SVX1XG	POLE	20 FT POLE WITH 30" BASE	120	1	LED	17,087	131	4000K
	L2A	LED WALL SCONCE, TYPE 3	LIGMAN #UTA-31861-37W-T3-W40-07-120/277V	WALL	9'-6"	120	1	LED	2,777	37	4000K
	L2AE	LED WALL SCONCE, TYPE 3, EMERGENCY	LIGMAN #UTA-31861-37W-T3-W40-07-120/277V-EMC	WALL	9'-0"	120	1	LED	2,777	37	4000K
	L2B	LED WALL SCONCE, ASYMMETRICAL BEAM	LIGMAN #UTA-31862-29W-AS-W40-07-120/277V	WALL	9'-6"	120	1	LED	2,566	29	4000K
	L3	40" LED BOLLARD	LIGMAN #UBE-10011-26W-W40-07-120/277V	BOLLARD	40"	120	1	LED	1,642	26	4000K
	L4	6" LED DOWNLIGHT	HALO #HC6-15-DO10-HM6-0525-840-61-WD-H-WF	RECESS	12'-0"	120	1	LED	1,500	15	4000K
	L4E	6" LED DOWNLIGHT, EMERGENCY	HALO# HC6-15-DO10-REM14-HM6-0525-840-61-WD-H-WF	RECESS	12'-0"	120	1	LED	1,500	15	4000K



Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
MAIN ENTRANCE Top 1	Illuminance	Fc	11.09	14.8	7.9	1.40	1.87	
PARKING AREA Top	Illuminance	Fc	1.69	4.1	0.5	3.38	8.20	
PROJECT AREA Top	Illuminance	Fc	0.45	10.9	0.0	N.A.	N.A.	
SIDE PORCH Top	Illuminance	Fc	7.79	9.1	5.7	1.37	1.60	

PROJECT NORTH

1

E1

OUTDOOR LIGHTING PLAN

1" = 20'-0"

CEG

CREATIVE ENGINEERING GROUP

201 HIGHLAND PARK PLAZA
DOVINGTON, LA 70433
985.249.5706 WWW.CEG-ITL.COM
PROJECT NO: MI1738-22

STATE OF LOUISIANA

RAYMOND H. NOLAN II

REG. NO. 27687

PROFESSIONAL ENGINEER

3-26-22

MCDANIEL
DERMATOLOGY PRACTICE
222 HIGHWAY 21
MADISONVILLE, LA

REVISIONS	
DATE	DESCRIPTION
DRAWING TITLE: OUTDOOR LIGHTING PLAN	
PROJECT NO: MI1738-22	
DRAWN BY: BFL CHECKED BY: RHN	
DATE: 26.AUGUST.22 SCALE: 1"=20'-0"	
SHEET:	
E1	

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ZONING STAFF REPORT
2022-3058-PR

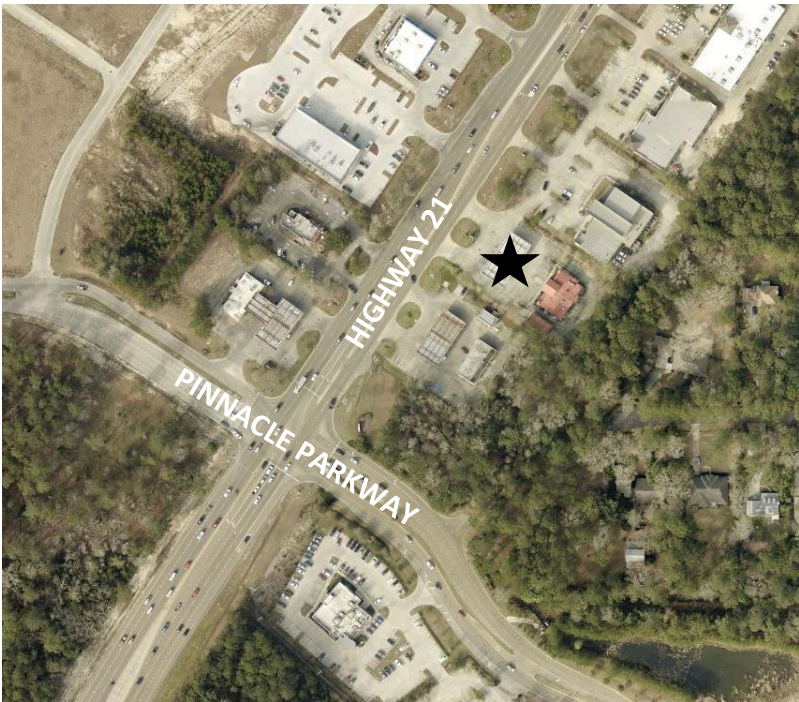
MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Proposed Use: Tommy’s Carwash: New Construction **Gross Area Lot Size:** 1.32 acres
Previous/Current Use: Gas Station **Use Size:** 5,207 sq. ft.
Owner: Revive Holdings 21, LLC **Council District:** 1
Applicant: Jordan Williams **Posted:** September 12, 2022
Commission Hearing: October 4, 2022

Location: Parcel located on the east side of LA Highway 21, south of Hyacinth Drive; Covington S47, T7S, R11E, Ward 1, District 1



Current Zoning
HC-2 Highway Commercial District
Planned Corridor Overlay
Highway 21 Planned Corridor
Future Land Use
Commercial
Flood Zone
Preliminary: Flood Zone X
Effective Flood Zone C
Critical Drainage: No

Site Information:

1. The petitioned property consists of a total of 1.32 acres which is located on the east side of Highway 21, south of Hyacinth Drive, Covington. The property is currently developed with a non-operational Chevron gas station including an existing building, carwash, and gas station canopy.
2. The applicant is currently proposing to demolish the existing building, carwash, and gas station canopy and construct a new 5,207 sq. ft. carwash facility.

3. Table 1: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Commercial - Retail	HC-2 Highway Commercial District
South	Commercial – Gas Station	HC-2 Highway Commercial District
East	Residential	A-2 Suburban District
West	Commercial - Retail	HC-2 Highway Commercial District

Per Table 1 above, the subject site is within the Highway 21 Planned Corridor district and abuts an existing residential subdivision known as Flowers Estates to the east and several existing commercial uses to the north, south, and west.



ZONING STAFF REPORT

2022-3058-PR

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT

Ross Liner
Director

Findings:

The applicant has submitted a survey, a site plan, and a landscape plan which provides the limits of work for the proposed carwash. Staff has reviewed the application and provided the applicant with a markup summary that notes several potential conflicts subject to the Planned Corridor Regulations including the following:

1. Per Sec. 130-1814(1)(e)(1)(i)(B), the street planting area shall contain a minimum of one Class A tree per every 300 sq. ft. of the street planting area and one Class B tree per every 200 sq. ft. of the street planting area.
 - **The property is 170 ft. wide and is required 44 ft. of landscaped tree buffer requiring 24 Class A trees and 37 Class B trees.**
 - **The proposed LS-1 and LS-2 landscape plans shows 6 Class A and 6 Class B trees required with six Class A tree credits and 6 Class B trees proposed to be planted. This plan is incorrect and per the above calculations is deficient by 18 Class A trees and 31 Class B trees.**
 - **The applicant must revise sheets LS-1 and LS-2 or request a waiver to the Street Planting Area regulations.**
 - **Staff recognizes there are two existing 14'-15' concrete drives on the site which could prohibit the planting of the required number of Class A and Class B trees. The applicant has submitted a request to DOTD to keep these driveways as they are today. However, if the request is denied and DOTD requires the applicant modify the plan to show a singular two way entrance, this will provide more planting area for the applicant to provide the required number of Class A and B trees.**
2. Per Sec. 130-1977(b) buffer planting area width shall be a minimum of ten feet.
 - **The current site plan and landscape plan show an existing 7.5 ft. side yard setback along the northern side property line. The applicant must revise the plans to show a 10 ft. side yard buffer or request a waiver to the Side Yard Planting Area regulations.**
3. Per Sec. 130-1977(b) buffer planting area width shall be a minimum of ten feet.
 - **The current site plan and landscape plan show an existing 7.2 ft. side yard setback along the southern side property line. The applicant must revise the plans to show a 10 ft. side yard buffer or request a waiver to the Side Yard Planting Area regulations.**
4. Per Sec. 130-1977(f), a 100% opaque wood or masonry fence, a minimum of eight feet high shall be required where a commercial use abuts a residentially zoned property.
 - **Sheet LS-2 currently shows a 7' opaque fence with bamboo screen provided. The applicant must revise the plans to show an 8' fence and provide the type of material proposed.**
5. Per Sec. 130-1813(e)(2), the applicant must submit the following documentation:
 - a. An illustrative approved drainage plan by the Department of Engineering.
 - **The applicant must provide a hydrological analysis in accordance with Sec. 115-111.**
 - b. A lighting plan in accordance with Chapter 130, Article VI, Division 4.
 - c. A landscape plan of the site showing the type, size, and number of plants; location of existing trees to be preserved; the location and dimensions of planting bends, barrier curbs, sight triangles, fences, buffers, and screening; elevations of all fences and type of materials to be used; and the total square footage of landscaping.
 - **The applicant must revise sheet LS-1 to note classification of all Oaks on the property and show protection details for any live oaks or cypress to remain.**
 - **The applicant must provide curbing detail with a permanently anchored material at least six inches in height.**
 - d. The applicant must provide the parking layout indicating the number of required and proposed parking spaces, the location of ingress, egress, and street access, and the location of pedestrian and vehicular ways; circulation element indicating the movement of pedestrians, goods and vehicles.
 - **The applicant must indicate parking counts of the number of required and proposed parking spaces. Car washes are required 1 space per each employee plus reservoir space for at least 6 times the bay capacity of the facility, with a minimum of 10 spaces.**
 - e. The location of trash disposal system and details of screening, including type, height and elevation of dumpster and fence.



ZONING STAFF REPORT

2022-3058-PR

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT

Ross Liner
Director

- All dumpsters must be screened on all sides with a minimum seven-foot-high opaque fence of wood or masonry. The applicant must revise plans to reflect this requirement.
6. Per Sec. 130-1814(1)(e)(1)(iii)(B), planting areas shall be a minimum of ten percent of the paved parking area.
- The applicant must provide an interior calculation of the parking area planting area.

Staff recommends postponement of the project subject to all applicable staff comments in order to all the applicant time to provide all required documentation.

Informational Items:

1. The applicant must provide a LADOTD driveway permit or written verification that a driveway permit is not required at the permitting phase.
2. The applicant must provide utilities and civil plans to avoid conflicts with existing and proposed trees per code.
3. The applicant must contact applicable utility companies to inquire about capacity and or cost of service to accommodate the proposed addition. If capacity is unavailable, the applicant must contact LDH to inquire about sewer and water expansions/updates.
4. An STP Stormwater Agreement is required to be completed by the owner or contractor per Sec. 115-106.
5. The property owner shall be responsible for the maintenance and the replacement of the required plant materials.
6. During construction, planting or open ground areas surrounding preserved trees shall be wired off with a properly flagged, reinforced & rolled wire mesh.

Consistency with New Directions 2040

Commercial: Concentrations of offices, retailers, services, and other employers that generate varying levels of traffic. They range from neighborhood-serving uses such as personal care and convenience goods, to large-scale shopping centers. May also include high intensity residential uses.

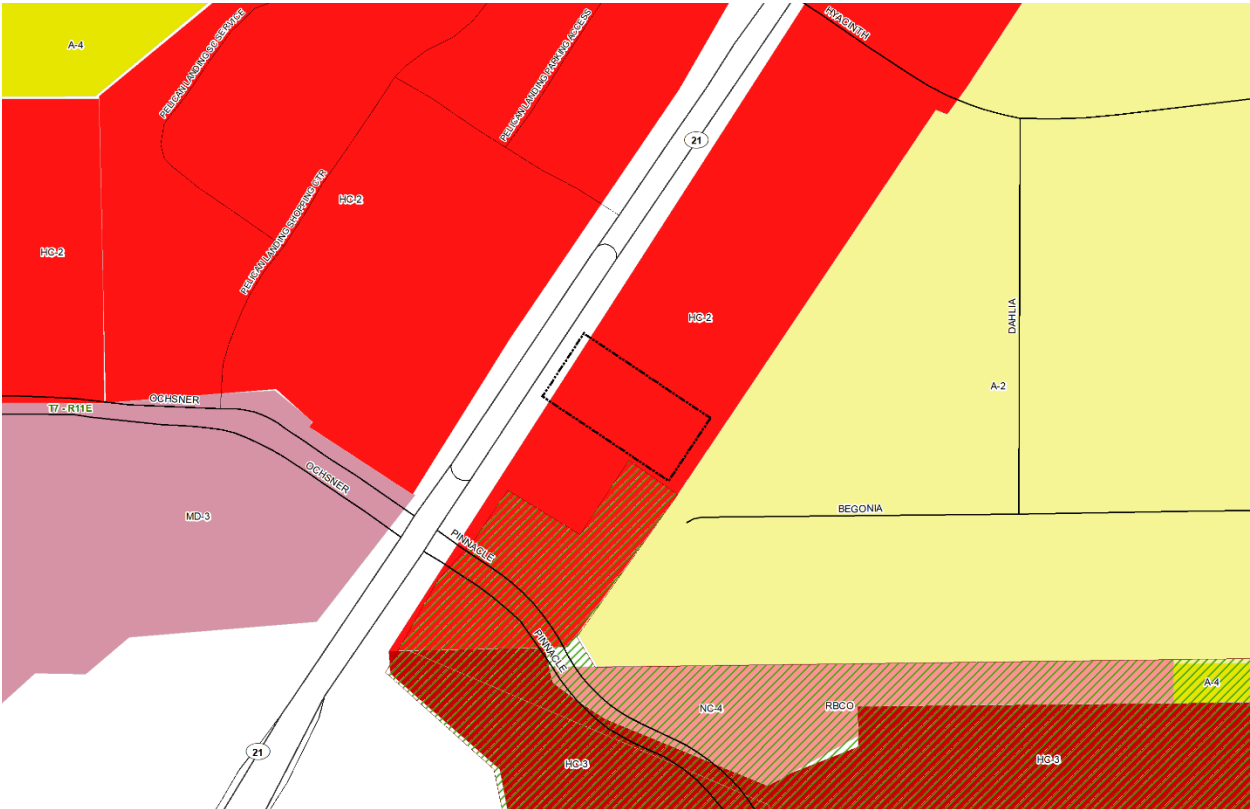
1. The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:
 - i. Strategy 1:9:3 Encourage redevelopment and adaptive reuse of existing, vacant buildings.
 - ii. Goal 5:1: The Parish will designate adequate land served by supporting infrastructure for use by businesses and industries seeking to begin or expand.
 - iii. Goal 5:2: St. Tammany Parish will attract and grow businesses that expand the Parish's tax base and provide living wage jobs to residents of varying skill levels.



ZONING STAFF REPORT
2022-3058-PR

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director



HC-2

PELICAN LANDING SHOPPING CTR

PELICAN LANDING PARKING ACCESS

HYACINTH DR

21

STYLER ST

STYLER ST



47

OCHSNER BLVD

OCHSNER BLVD

MD-3

21

PINNACLE PKWY

A-2

T7-R1E

BEGONIA DR

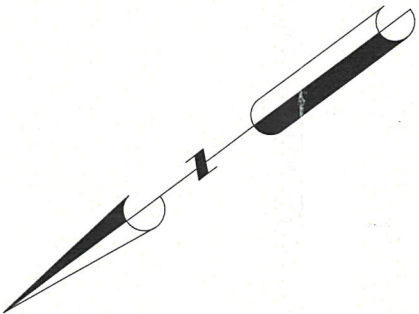
NC-4

RECO

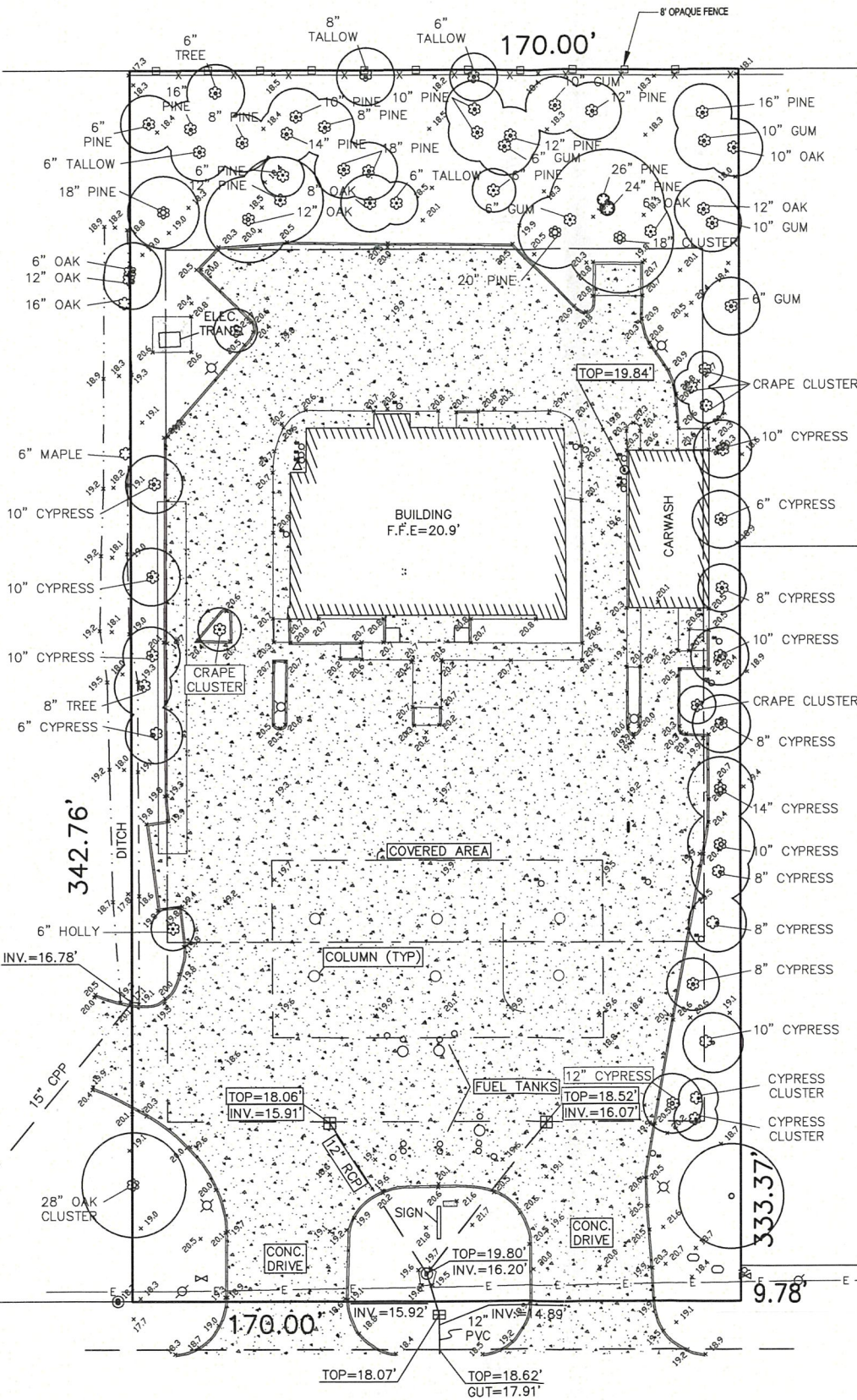
HC-3



Randall W. Brown, P.L.S.
Professional Land Surveyor
LA Registration No. 04586



- LEGEND
- ⊗ LIGHT STANDARD
 - ⊞ DROP INLET
 - ⊙ TELE. RISER
 - ⊕ CABLE RISER
 - ⊙ SEWER CLEANOUT
 - ⊙ SEWER MANHOLE
 - ⊕ FIRE HYDRANT
 - ⊕ WATER VALVE
 - ⊕ WATER METER
 - ⊕ GUY WIRE
 - ⊕ UTILITY POLE
 - ⊕ GAS VALVE
 - ⊙ DRAIN MANHOLE
 - ⊙ BOLLARD
 - ⊙ GREASE TRAP



70330 LA. HWY. 21

EXISTING SITE CONDITIONS

Scale: 1" = 20'

DEEP SOUTH DESIGN GROUP
Civil/Environmental Engineering Firm
P.O. Box 1122 Madisonville, LA 70447
PH: 985-705-4696



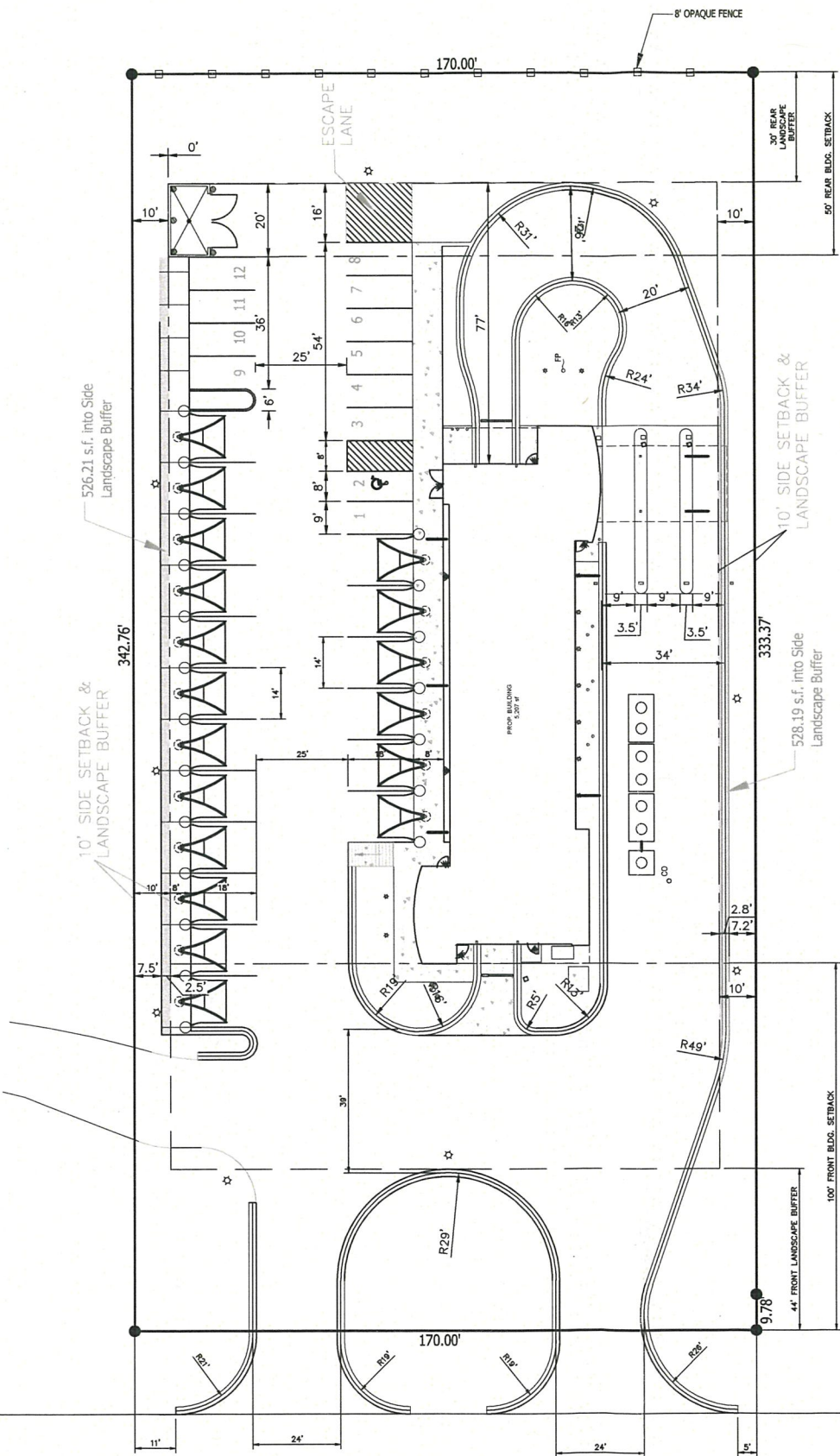
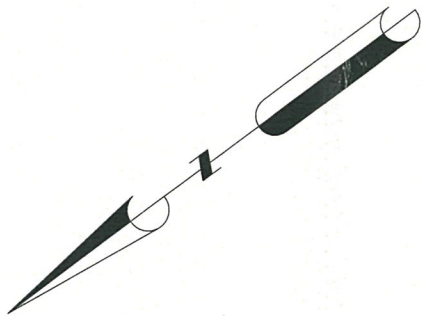
CLIENT: Tommy's Car Wash
70330 Highway 21 (S. Tyler Street)
St. Tammany Parish, LA.

PROJECT DESCRIPTION:
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REVISION NO:	
JOB NO:	14-317
DATE:	09/01/2022
DRAWN BY:	
SCALE:	1" = 20'
COMPUTER FILE:	

SHEET
C-1

2022-3058-PR



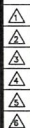
70330 LA. HWY. 21

1 PROPOSED SITE LAYOUT
Scale: 1" = 20'

CLIENT:
PROJECT DESCRIPTION:
Tommy's Car Wash
70330 Highway 21 (S. Tyler Street)
St. Tammany Parish, LA.

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REVISION NO:



JOB NO: 14-317

DATE: 09/01/2022

DRAWN BY:

SCALE: 1" = 20'

COMPUTER FILE:

SHEET

C-2



DEEP SOUTH DESIGN GROUP
Civil/Environmental Engineering Firm
P.O. Box 1122 | Madisonville, LA 70447
PH: 985-705-4696

SECTION 7.0112 MAINTENANCE & REPLACEMENT

- A. MAINTENANCE: The Owner or his agent shall be responsible for the maintenance and repair of all landscaping materials and barriers as may be required by the provisions of this Section.
1. Planting Beds shall be mulched to prevent weed growth and maintain soil moisture.
 2. Plant Materials shall be pruned as required to maintain good health and character.
 3. Turf areas shall be mowed periodically.
 4. All roadways, curbs and sidewalks shall be edged when necessary in order to prevent encroachment from the adjacent grassed areas.
 5. The Owner of the Property shall be responsible for the provision of adequate water, fertilizer and nutrients to the required plant materials.
- B. REPLACEMENT: Subject to the provisions of Section 7.0105 E entitled, "Replacement of Preserved Trees that Die", trees and plants that die must be replaced within six (6) months of the death of the tree or plant with trees or plants that meet the requirements of Section 7.01. Barriers and curbs that are damaged or destroyed beyond repair shall be replaced within six (6) months after the damage or destruction.

LANDSCAPE CALCULATIONS

HIGHWAY 21 ROW - (S. TYLER STREET)
25' WIDE LANDSCAPE BUFFER REQUIRED (44' WIDE BUFFER PROVIDED)
170 LF / 30 = 5.6
6 CLASS A AND 6 CLASS B PLUS 17 SHRUBS REQUIRED
6 EXISTING TREE CREDIT
6 CLASS 'B' 20 SHRUBS PROVIDED

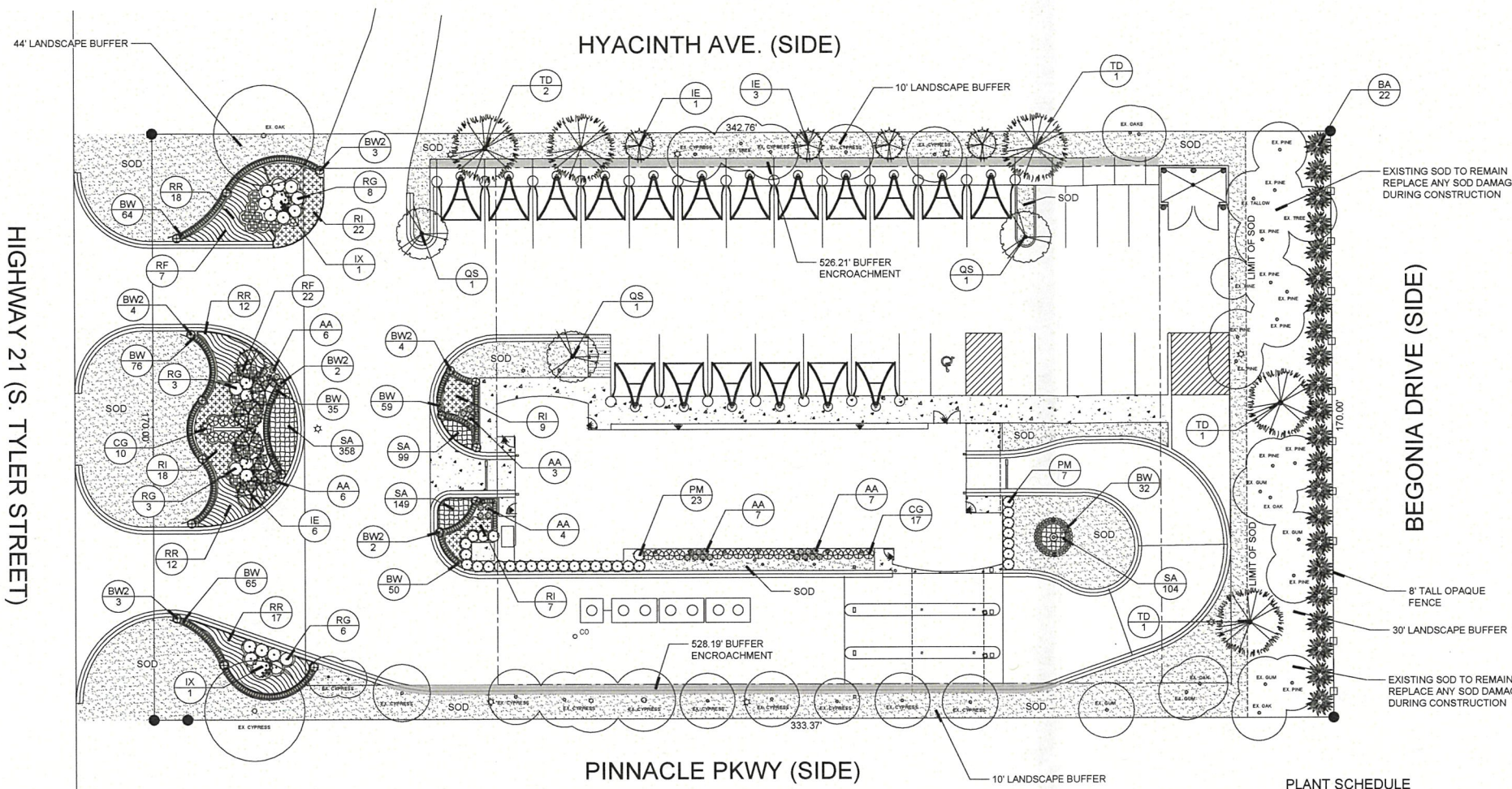
HYACINTH AVE. STREET (SIDE)
10' WIDE LANDSCAPE BUFFER REQUIRED (526.21SF ENCROACHMENT INTO SIDE BUFFER)
342.76 LF / 30 = 11.42
12 CLASS A AND 12 CLASS B REQUIRED
20 EXISTING TREE CREDIT
4 CLASS B PROVIDED

BEGONIA STREET (SIDE)
30' WIDE LANDSCAPE BUFFER REQUIRED (30' WIDE BUFFER PROVIDED)
170 LF / 30 = 5.6
6 CLASS A AND 6 CLASS B REQUIRED
49 EXISTING TREE CREDIT
NO ADDITIONAL TREES PROVIDED
7' OPAQUE FENCE WITH BAMBOO SCREEN PROVIDED

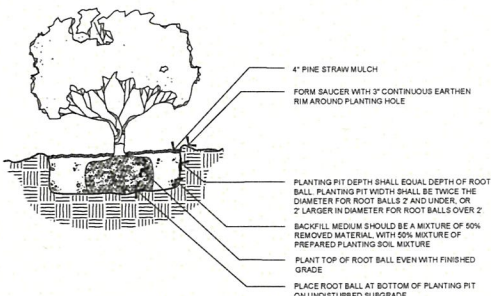
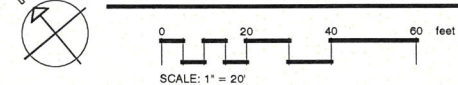
PINNACLE PKWY (SIDE)
10' WIDE LANDSCAPE BUFFER REQUIRED (528.19 SF ENCROACHMENT INTO SIDE BUFFER)
333.37 LF / 30 = 11.11
12 CLASS A AND 12 CLASS B REQUIRED
33 EXISTING TREE CREDIT
NO ADDITIONAL TREES PROVIDED

INTERIOR TREES
1 CLASS A TREE PER LANDSCAPE ISLAND
11 PARKING SPACES PROPOSED
(3) CLASS A TREES PROVIDED

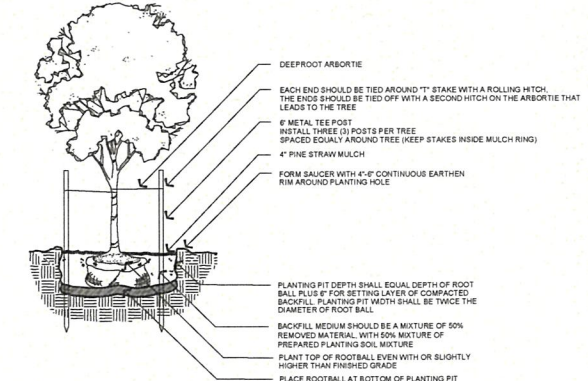
MITIGATED TREES
REPLACE REMOVED PROTECTED TREES
20" CALIPER INCHES TO BE REMOVED AND MITIGATED ON SITE
(5) 4" CALIPER CYPRESS TREES TO BE PROVIDED



LANDSCAPE PLANTING PLAN



1 SHRUB PLANTING DETAIL
LS-1 N.T.S.



2 TREE PLANTING DETAIL
LS-1 N.T.S.

PLANT SCHEDULE

CLASS 'B'	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	IE	8	Ilex x attenuata 'Eagleston' / Eagleston Holly	Gallon or B&B	1.5" Cal.	8'-10' Ht.
CLASS 'A'	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	QS	3	Quercus shumardii / Shumard Red Oak	Gallon or B&B	2.50" Cal.	10' - 12' Ht.
MITIGATED TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	TD	5	Taxodium distichum / Bald Cypress	Gallon or B&B	4" Cal.	14' - 16' Ht.
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	
	AA	33	Agapanthus africanus / African Lily	1-Gal.	Full Pots	
	BA	22	Bambusa multiplex 'Alphonse Karr' / Alphonse Karr Hedge Bamboo	B&B	4' Tall Clumping	
	BW	361	Buxus sinica insularis 'Wintergreen' / Wintergreen Korean Boxwood	1-Gal.	Full Pots	
	BW2	18	Buxus sinica insularis 'Wintergreen' / Wintergreen Korean Boxwood	7-Gal.	2' Topiary Globe	
	CG	27	Camellia sasanqua 'Shishi Gashira' / Shishi Gashira Camellia	7-Gal.	18" Ht. 18" Spd.	
	IX	2	Ilex x 'Magland' / Oakland™ Holly	15-Gal.	4' Overall Ht.	
	PM	30	Podocarpus macrophyllus / Japanese Yew	3-Gal.	18" Min. Ht.	
	RG	20	Rhododendron indicum 'George L. Taber' / George L. Taber Indica Azalea	3-Gal.	2' Ht. at the time of planting	
	RF	29	Rhododendron obtusum 'Fashion' / Fashion Azalea	3-Gal.	18" Ht. 18" Spd.	
SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	
	RI	56	Rosa x 'Meipicos' TM / Pink Drift Groundcover Rose	3-Gal.	36" o.c.	
	RR	59	Rosa x 'Radwhite' TM / White Knock Out Rose	3-Gal.	42" o.c.	
	SA	710	Seasonal Color / Annuals	To be selected	Full Pots	8" o.c.
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	REMARKS	
	SOD	11,534 sf	Cynodon dactylon / Bermuda Grass	Squares or Mini Rolls	Class 'A'	

ALPHONSE BARCIA III
LANDSCAPE ARCHITECT LLC.
562 CLAYTON COURT
SLACRE, LOUISIANA 70461
BARCLAYDESIGN@GMAIL.COM
(985) 960-0429

STATE OF LOUISIANA
ALPHONSE BARCIA III
LICENSED LANDSCAPE ARCHITECT
9/30/2022

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Tommy's Car Wash
70330 Highway 21 (S. Tyler Street)
St. Tammany Parish, LA.

Sheet Title: Landscape Plan

JOB No.:
SCALE: AS SHOWN
DRAWN BY: AB3
CHECKED BY: AB3
SHEET:
LS-2
REV.
DATE: AUGUST 30TH 2022

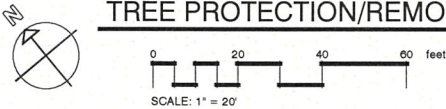
HIGHWAY 21 (S. TYLER STREET)

HYACINTH AVE. (SIDE)

BEGONIA DRIVE (SIDE)

PINNACLE PKWY (SIDE)

TREE PROTECTION/REMOVAL PLAN



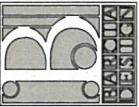
HIGHWAY 21 ROW - (S. TYLER STREET)				
25' BUFFER REQUIRED			44' BUFFER PROVIDED	
170 LF / 30 = 5.6				
6 CLASS A & 6 CLASS B PLUS 17 SHRUBS REQUIRED				
TREE #	SIZE	TYPE	REMAIN/REMOVE	CREDIT/MITIGATE
1	28"	OAK	REMAIN	4 TREE CREDIT
65	8"	CYPRESS	REMAIN	2 TREE CREDIT
6 TREE CREDIT TO REMAIN				
6 CLASS B 20 SHRUBS PROVIDED				

HYACINTH AVE. STREET (SIDE)				
10' BUFFER REQUIRED			7'-6" BUFFER PROVIDED	
342.76 LF / 30 = 11.43				
12 CLASS A & 12 CLASS REQUIRED				
TREE #	SIZE	TYPE	REMAIN/REMOVE	CREDIT/MITIGATE
2	6"	CYPRESS	REMAIN	2 TREE CREDIT
3	8"	TREE	REMAIN	2 TREE CREDIT
4	10"	CYPRESS	REMAIN	3 TREE CREDIT
5	10"	CYPRESS	REMAIN	3 TREE CREDIT
6	10"	CYPRESS	REMAIN	3 TREE CREDIT
7	12"	OAK	REMAIN	3 TREE CREDIT
8	6"	OAK	REMAIN	2 TREE CREDIT
9	18"	PINE	REMOVE	
10	6"	PINE	REMAIN	2 TREE CREDIT
20 TREE CREDIT TO REMAIN				
2 CLASS B PROVIDED				

BEGONIA STREET (SIDE)				
ROW BUFFER 10' BUFFER REQUIRED			30' BUFFER PROVIDED	
170 LF / 30 = 5.67				
6 CLASS A & 6 CLASS REQUIRED				
TREE #	SIZE	TYPE	REMAIN/REMOVE	CREDIT/MITIGATE
11	16"	PINE	REMAIN	4 TREE CREDIT
12	6"	TALLOW	REMAIN	INVASIVE
13	6"	TREE	REMAIN	2 TREE CREDIT
14	8"	PINE	REMAIN	2 TREE CREDIT
15	6"	PINE	REMAIN	2 TREE CREDIT
16	14"	PINE	REMAIN	3 TREE CREDIT
17	10"	PINE	REMAIN	3 TREE CREDIT
18	18"	PINE	REMAIN	4 TREE CREDIT
19	8"	PINE	REMAIN	2 TREE CREDIT
20	18"	PINE	REMAIN	4 TREE CREDIT
21	8"	TALLOW	REMOVE	INVASIVE
22	10"	PINE	REMAIN	3 TREE CREDIT
23	10"	PINE	REMAIN	3 TREE CREDIT
24	6"	TALLOW	REMOVE	INVASIVE
25	6"	GUM	REMAIN	2 TREE CREDIT
26	12"	PINE	REMAIN	3 TREE CREDIT
27	10"	GUM	REMAIN	3 TREE CREDIT
28	12"	PINE	REMAIN	3 TREE CREDIT
29	10"	GUM	REMAIN	3 TREE CREDIT
30	16"	PINE	REMAIN	3 TREE CREDIT
31	10"	OAK	REMAIN	3 TREE CREDIT
49 TREE CREDIT TO REMAIN				
NO ADDITIONAL TREES REQUIRED				

PINNACLE PKWY (SIDE)				
ROW BUFFER 10' BUFFER REQUIRED			30' BUFFER PROVIDED	
333.37 LF / 30 = 11.11				
12 CLASS A & 12 CLASS REQUIRED				
TREE #	SIZE	TYPE	REMAIN/REMOVE	CREDIT/MITIGATE
32	10"	CYPRESS	REMAIN	3 TREE CREDIT
33	8"	CYPRESS	REMAIN	2 TREE CREDIT
34	8"	CYPRESS	REMAIN	2 TREE CREDIT
35	10"	CYPRESS	REMAIN	3 TREE CREDIT
36	14"	CYPRESS	REMAIN	2 TREE CREDIT
37	8"	CYPRESS	REMAIN	3 TREE CREDIT
38	10"	CYPRESS	REMAIN	3 TREE CREDIT
39	8"	CYPRESS	REMAIN	2 TREE CREDIT
40	6"	CYPRESS	REMAIN	2 TREE CREDIT
41	10"	CYPRESS	REMAIN	3 TREE CREDIT
42	6"	GUM	REMAIN	2 TREE CREDIT
43	10"	GUM	REMAIN	3 TREE CREDIT
44	12"	OAK	REMAIN	3 TREE CREDIT
33 TREE CREDIT TO REMAIN				
NO ADDITIONAL TREES REQUIRED				

INTERIOR TREES				
1 TREE IN EACH PARKING ISLAND				
TREE #	SIZE	TYPE	REMAIN/REMOVE	CREDIT/MITIGATE
45	12"	CYPRESS	REMOVE	12" TO MITIGATE
46	8"	CYPRESS	REMOVE	8" TO MITIGATE
47		CRAPPE	REMOVE	
48		CRAPPE	REMOVE	
49		CRAPPE	REMOVE	
50		CRAPPE	REMOVE	
51		OAK	REMOVE	
52	18"	CLUSTER	REMOVE	
53	24"	PINE	REMOVE	
54	26"	PINE	REMOVE	
55	6"	GUM	REMOVE	
56	20"	GUM	REMOVE	
57	6"	PINE	REMOVE	
58	6"	TALLOW	REMOVE	
59	8"	OAK	REMOVE	
60	12"	PINE	REMOVE	
61	12"	OAK	REMOVE	
62		CRAPPE	REMOVE	
63		CRAPPE	REMOVE	
64	6"	HOLLY	REMOVE	
20" CALIPER OF CYPRESS TREES TO MITIGATE				



10/30/2022

THIS DRAWING IS AN INSTRUMENT OF SERVICE, AND THE PROPERTY OF THE ARCHITECT AND MAY BE USED ONLY ON THE PROJECT NAMED HEREIN. THIS DRAWING SHALL NOT BE REPRODUCED, COPIED OR USED IN WHOLE OR PART WITHOUT WRITTEN PERMISSION OF THE ARCHITECT. ANY USE IS A VIOLATION OF FEDERAL AND STATE COPYRIGHT STATUTES.

Tommy's Car Wash
70330 Highway 21 (S. Tyler Street)
St. Tammany Parish, LA.

Sheet Title: Tree Protection/Removal Plan

JOB No.:

SCALE: AS SHOWN

DRAWN BY: AB3

CHECKED BY: AB3

SHEET:

LS-1

REV.

DATE: AUGUST 30TH 2022



ZONING STAFF REPORT
2022-3064-PR

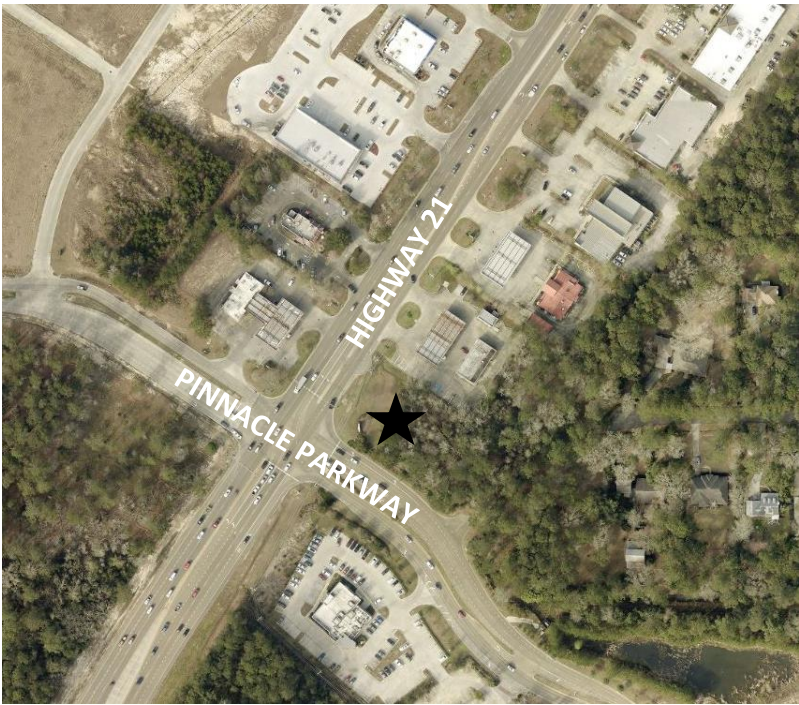
MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Proposed Use: Take 5 Carwash: New Construction **Gross Area Lot Size:** 1.77 acres
Previous/Current Use: Undeveloped **Use Size:** 4,130 sq. ft.
Owner: BSREP II Cypress TRS, LLC – Michael Blank **Council District:** 1
Applicant: BSREP II Cypress TRS, LLC – Michael Blank **Posted:** September 12, 2022
Commission Hearing: October 4, 2022

Location: Parcel located on the east side of LA Highway 21, north of Pinnacle Parkway; Covington S47, T7S, R11E, Ward 1, District 1



Current Zoning
HC-2 Highway Commercial District
Planned Corridor Overlay
Highway 21 Planned Corridor
Future Land Use
Commercial
Flood Zone
Preliminary: Flood Zone X
Effective Flood Zone C
Critical Drainage: No

Site Information:

1. The petitioned property consists of a total of 1.77 acres which is located on the northeast corner of Highway 21 and Pinnacle Parkway, Covington. The applicant is currently proposing to construct a new 4,225 sq. ft. carwash facility which will have a single access point from Pinnacle Parkway.
2. Table 1: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Commercial - Retail	HC-2 Highway Commercial District
South	Pinnacle Parkway	N/A
East	Residential	A-2 Suburban District
West	Commercial - Retail	HC-2 Highway Commercial District

Per Table 1 above, the subject site is within the Highway 21 Planned Corridor district and abuts an existing residential subdivision known as Flowers Estates to the east, several existing commercial uses to the north and the west, and Pinnacle Parkway to the south.

Findings:

The petitioner has submitted two concurrent applications for a site work permit (2022-2379) and a building permit (2022-2019). All corresponding and required documentation and plans have been provided showing the limits of work for the proposed carwash. Staff has reviewed the application and notes the following waivers are required subject to the Planned Corridor Regulations including the following:



ZONING STAFF REPORT

2022-3064-PR

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT

Ross Liner
Director

1. Per Sec. 130-1814(1)(e)(1)(ii), a nonresidential property abutting a residential district shall have a minimum side yard and rear yard requirement of 30 feet.
 - **The current proposed plans show a proposed 8 ft. sound barrier wall located along the eastern line of the required 30-foot eastern buffer abutting the adjoining Flowers Estates subdivision. This location will require the removal of a 28" pine tree, a 14" pine tree, and an 8" red maple within the no cut buffer and will therefore require a waiver to the Side and Rear Planting Area Regulations.**
 - **Should the Zoning Commission be in favor of the proposed 8 ft. sound barrier wall, it should be subject to revisions of the civil and landscape plans to provide cross section details, setbacks from the property line, and construction details.**

Informational Items:

1. The applicant is proposing to remove 9 of 20 existing live oaks where it has been determined by the project team's landscape architect that too much of their critical root zones are in areas of new paving construction.
 - a. Removal of live oaks require mitigation, and the applicant is required to flag all live oaks in the field and schedule an inspection with the Department of Planning and Development. The Planning Department's landscape architect will grade the live oaks and provide the number of mitigation inches required based on the average quality of the trees. The landscape plan is currently proposing the mitigation planting of 29 live oak trees.
 - b. Staff has concerns regarding the number of proposed live oaks to be planted on the site and recommends reducing the proposed total of live oaks to ensure future growth and survival. Staff recommends that the applicant revise the proposed planting plan to fit a reasonable number of live oaks on the site and pay the remaining credits into the tree bank at a maximum 50% of the required mitigation inches.
2. While the landscape plan meets code and shows the required number of Class A and Class B plantings, staff recommends reduction of live oaks proposed to be planted to a maximum of three in order to ensure survival and appropriate growth.
3. The applicant has submitted lighting plans which are currently being revised based on staff comments to be consistent with Chapter 130, Article VI, Division 4.
4. The applicant has provided written verification by LADOTD that a driveway permit is not required.
5. The applicant has contacted UIL and provided information that a tap in connection is available for community sewer and water services.
6. The property owner shall be responsible for the maintenance and the replacement of the required plant materials.
7. During construction, planting or open ground areas surrounding preserved trees shall be wired off with a properly flagged, reinforced & rolled wire mesh as indicated in detail A – Tree Protection Fencing Detail on sheet TP100.
8. The applicant must apply for a land clearing permit application prior to clearing any trees on the property.

Consistency with New Directions 2040

Commercial: Concentrations of offices, retailers, services, and other employers that generate varying levels of traffic. They range from neighborhood-serving uses such as personal care and convenience goods, to large-scale shopping centers. May also include high intensity residential uses.

1. The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:
 - i. Strategy 1:9:3 Encourage redevelopment and adaptive reuse of existing, vacant buildings.
 - ii. Goal 5:1: The Parish will designate adequate land served by supporting infrastructure for use by businesses and industries seeking to begin or expand.
 - iii. Goal 5:2: St. Tammany Parish will attract and grow businesses that expand the Parish's tax base and provide living wage jobs to residents of varying skill levels.



ZONING STAFF REPORT
2022-3064-PR

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

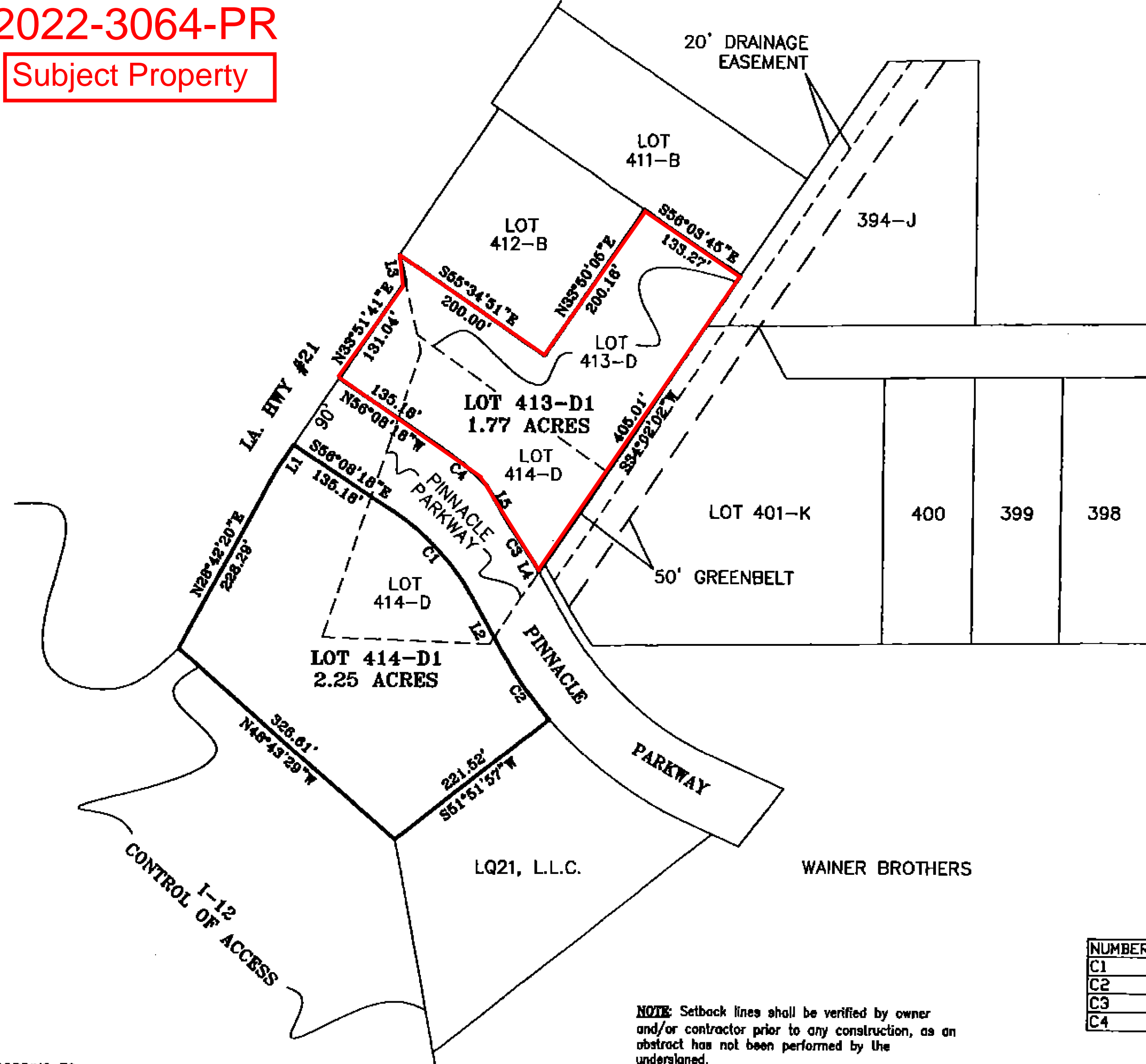


Page 1 of 1
Map#4559D - MAPS MAY NOT PRINT TO SCALE
St Tammany Parish Clerk of Court

APPROVALS:
SECRETARY - ST. TAMMANY PLANNING COMMISSION
PARISH ENGINEER
CLERK OF COURT
DATE FILED 10-26-2007
MAP FILE NO. 4559D

2022-3064-PR
Subject Property

COMMENCING FROM THE CORNER COMMON TO SECTIONS 12, 13 & 48 TOWNSHIP 7 SOUTH, RANGE 10 EAST, ST. TAMMANY PARISH, LOUISIANA RUN NORTH 00 DEGREES 40 MINUTES 50 SECONDS EAST FOR A DISTANCE OF 1423.63 FEET TO A POINT; THENCE RUN NORTH 89 DEGREES 23 MINUTES 30 SECONDS EAST FOR A DISTANCE OF 1109.12 FEET TO A POINT; THENCE RUN NORTH 89 DEGREES 14 MINUTES 55 SECONDS EAST FOR A DISTANCE OF 95.62 FEET TO A POINT; THENCE RUN NORTH 89 DEGREES 17 MINUTES 06 SECONDS EAST FOR A DISTANCE OF 700.84' TO THIS POINT.



LINE TABLE

NUMBER	DIRECTION	DISTANCE
L1	N33°51'41"E	37.00'
L2	S29°34'34"E	77.97'
L3	N12°58'10"W	31.42'
L4	N29°34'34"W	14.39'
L5	N29°52'30"W	50.74'

CURVE TABLE

NUMBER	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	CH = S42°51'26"E	R = 280.00'	A = 129.81'	CL = 128.65 FT
C2	CH = S35°20'52"E	R = 440.00'	A = 88.65'	CL = 88.50 FT
C3	CH = N33°26'30"W	R = 360.00'	A = 48.58'	CL = 48.54 FT
C4	CH = N50°37'49"W	R = 370.00'	A = 71.14'	CL = 71.03 FT

REFERENCE DRAWING:
SURVEY PLAT BY THIS FIRM DATED 02-18-00.

NOTE: THE PROPERTY IS LOCATED WITHIN FLOOD ZONE "C" ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 225205 0210 C REVISED 10-17-89. BASE FLOOD ELEVATION IS N/A. FLOOD ZONE IS DETERMINED BY GRAPHIC PLOTTING ONLY.

NOTE: Servitudes shown hereon are not necessarily exclusive. Servitudes of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.

NOTE: Setback lines shall be verified by owner and/or contractor prior to any construction, as an abstract has not been performed by the undersigned.

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY SUPERVISION AND CONTROL; AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS "C" SURVEY.

This is to certify that I have done an actual ground survey and found that no encroachments exist either on the property or on any property shown.

RESUBDIVISION MAP OF
LOTS 413-D & 414-D, FLOWER ESTATES SUBDIVISION, SECTION "A" & A PORTION OF PINNACLE PARKWAY AND A NON DESIGNATED PARCEL OF GROUND INTO LOT 413-D1 AND LOT 414-D1, FLOWER ESTATES SUBDIVISION, SECTION "A" & PINNACLE PARKWAY
St. Tammany Parish, Louisiana
for
FLOWERS, INC.

Survey No. 2005 477 A
Date: SEPTEMBER 27, 2007
Drawn by: JBM
Revised: OFFICE 10-24-07
Scale: 1" = 100'

JOHN E. BONNEAU & ASSOCIATES, INC.
Professional Land Surveyors • Planners and Consultants

420 HWY. 1085, EXIT 57, MADISONVILLE, LA. 70447
(985) 845-1012 • (985) 845-1013 • (985) 845-1351 • FAX No.: (985) 845-1778
www.JEBCOLandSurveying.com • e-mail: jebco1@bellsouth.net

The Survey is Certified
Title and Correct By
JOHN E. BONNEAU
REG. No. 4423
REGISTERED
PROFESSIONAL
Surveyor
John E. Bonneau
Professional Land Surveyor
Registration No. 4423



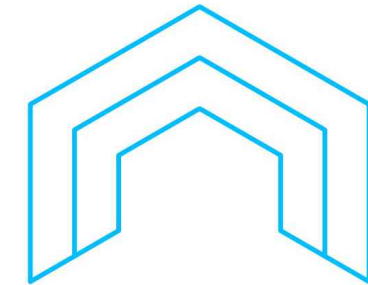
125' PROTOTYPE

DATE	2022-06-16
DESCRIPTION	PERMIT ISSUE
DELTA	1

TAKE 5 CAR WASH

125 PINNACLE PKWY
COVINGTON, LA 70433

ARCHITECT:



ARCHITECTURE
ENGINEERING

STAMPS



SHEET TITLE

LAYOUT &
DIMENSIONAL
CONTROL PLAN

PROJECT NUMBER

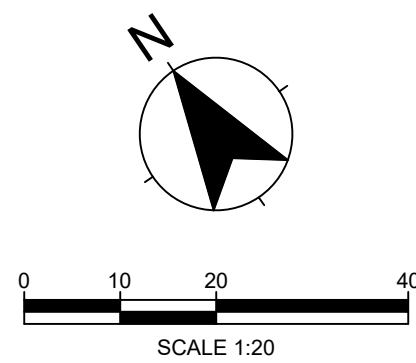
21-055

DATE	09/06/22
SCALE	AS NOTED
DRAWN	KC
CHECKED	AH
SHEET NO	

C-100

LEGEND

	SAWCUT LIMITS
	PROPOSED FIRE LANE
	ELECTRIC TRANSFORMER
	BARRIER FREE RAMP
	VAN ACCESSIBLE PARKING
	ACCESSIBLE PARKING
	SIGN
	LIGHT



SITE FEATURES KEYNOTES

- A1 NOT USED
- A2 VACUUM EQUIPMENT. REFERENCE ELECTRICAL DETAILS.
- A3 VENDING MACHINE. REFERENCE ARCH PLANS FOR DETAILS.
- A4 REFUSE AND VACUUM EQUIPMENT ENCLOSURE. REFERENCE ARCH SHEET SP2 FOR DETAIL.
- A5 VACUUM CANOPY. REFERENCE ARCH SITE DETAILS.
- C1 PAVEMENT MARKINGS. REFERENCE SHEET C-510 FOR DETAILS.
- C2 POLE MOUNTED TRANSFORMER. REFERENCE SHEET C-300 FOR DETAILS.
- C3 WHEEL STOP. REFERENCE SHEET C-510 FOR DETAILS.
- C4 LIGHT POLE. REFERENCE PHOTOMETRIC PLAN.
- C5 4" WHITE STRIPING. REFERENCE SHEET C-510 FOR DETAILS.
- C6 BOLLARD TYPE I. REFERENCE SHEET C-510 FOR DETAILS.
- C7 6" REINFORCED CONCRETE CURB.
- C8 ACCESSIBLE PARKING. REFERENCE SHEET C-510 FOR DETAILS.
- C9 WATER RECLAMATION SUMP. REFERENCE MEP DETAILS.
- C10 SAND AND OIL INTERCEPTOR. REFERENCE MEP DETAILS.
- C11 BOLLARD TYPE II. REFERENCE SHEET C-510 FOR DETAILS.
- C12 4" SOLID WHITE LANE STRIPE.
- C13 ACCESSIBLE SIGN IN BOLLARD. REFERENCE SHEET C-510 FOR DETAILS.
- 14 PROPOSED 8 FEET SOUND BARRIER WALL.

SITE DATA SUMMARY TABLE

ZONING:	C-2 HEAVY COMMERCIAL ZONE
SITE AREA:	1.77 AC (76,935 S.F.)
BUILDING AREA:	0.10 AC (4,225 S.F.)
REQUIRED LANDSCAPE AREA:	= 10% OF PAVEMENT AREA = (0.10 x 0.52) = 0.052 AC (2,265 S.F.)
LANDSCAPE AREA:	1.15 AC (50,000 S.F.)
PAVEMENT AREA:	0.52 AC (22,651 S.F.)
TOTAL IMPERVIOUS COVER	0.62 AC (26,935 S.F.)
CONVEYOR LENGTH	125'-0"
REQUIRED PARKING:	1x3 (1 PER EACH EMPLOYEE)
EMPLOYEE PARKING:	6X2 (6 PER BAY CAPACITY)
OTHER TOTAL	15 SPACES
PARKING PROVIDED:	
VAC:	15 SPACES (1 HC)
EMPLOYEE PARKING:	3 SPACES
HANDICAP:	1 SPACE
TOTAL:	19 SPACES
CAR STACKING	
AT XPT	9 CARS
AT ENTRANCE	3 CARS

DIMENSIONAL CONTROL NOTES

- GENERAL CONSTRUCTION NOTES:** REFER TO SHEET C-002 FOR THE GENERAL CONSTRUCTION NOTES FOR THE PROJECT.
- SURVEYING:** ALL SURVEYING REQUIRED FOR CONSTRUCTION STAKING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE DEVELOPER SHALL PROVIDE THE PROPERTY CORNERS AND TWO BENCHMARKS FOR USE AS HORIZONTAL AND VERTICAL DATUM. THE CONTRACTOR SHALL EMPLOY A REGISTERED PROFESSIONAL LAND SURVEYOR TO PERFORM ALL ADDITIONAL SURVEY, LAYOUT AND MEASUREMENT WORK NECESSARY FOR THE COMPLETION OF THE PROJECT.
- PROTECTION OF PROPERTY CORNERS AND BENCHMARKS:** THE CONTRACTOR SHALL PROTECT ALL PROPERTY CORNER MARKERS AND BENCHMARKS, AND WHEN ANY SUCH MARKERS OR MONUMENTS ARE IN DANGER OF BEING DISTURBED, THEY SHALL BE PROPERLY REFERENCED AND IF DISTURBED, SHALL BE RESET BY A REGISTERED PUBLIC SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
- DIMENSIONAL CONTROL:** ALL PAVING DIMENSIONS AND COORDINATES SHOWN ARE TO FACE OF CURB WHERE APPLICABLE. ALL DIMENSIONS SHOWN AT PL CURB POINTS ARE AT THE INTERSECTION OF THE FACE OF CURB.
- CURB RADI:** ALL CURB RADI SHALL BE 3 FEET TO FACE OF CURB UNLESS OTHERWISE NOTED.
- BUILDING DIMENSIONS:** CONTRACTOR SHALL REFER TO BUILDING PLANS FOR ACTUAL BUILDING DIMENSIONS. THE DIMENSIONS AND CORNERS SHOWN ARE TO FACE OF OUTSIDE WALLS OF BUILDING.
- TOPOGRAPHIC BOUNDARY SURVEY:** SURVEY INCLUDES PROPERTY LINE, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY:
RIVERLANDS SURVEYING COMPANY
505 HEMLOCK STREET
LAPLACE, LOUISIANA 70068
CONTACT: KENNY BRAZAN
PHONE: 985-652-6356
EMAIL: KBRAZAN@RIVERLANDSSURVEYING.COM
- HANDICAP PARKING:** HANDICAPPED PARKING AREAS SHALL BE CONSTRUCTED PER CITY STANDARDS AND SHALL COMPLY WITH REQUIREMENTS OF THE CURRENT, ADOPTED INTERNATIONAL BUILDING CODE.
- FIRE LANE:** FIRE LANES SHALL BE CONSTRUCTED AND MARKED PER CITY STANDARDS REFERENCE PAVING PLAN FOR DETAILS.
- SIGNS:** CONTRACTOR TO PROVIDE HANDICAPPED PARKING SIGNS AND POLES.

NOTES:

REFERENCE SHEET C-510 FOR SITE PLAN DETAILS

SIGN KEYNOTES

- S1 "ENTER" SIGN
- S2 "WELCOME" SIGN
- S3 "STAY SHINY" SIGN
- S4 "EXIT" SIGN
- S5 MONUMENT SIGN
- B1 TAKE 5 LOGO
- B2 CAR WASH LOGO

INSET A
SCALE: 1" = 10'

PAY KIOSK KEYNOTES

- X1 PAY STATION CANOPY. REFERENCE ARCH SHEET A101 FOR DETAILS.
- X2 XPT MENU BOARD. REFERENCE ARCH SHEET A101 FOR DETAILS.
- X3 KIOSK. REFERENCE ARCH SHEET A101 FOR DETAILS.
- X4 FAST PASS READER. REFERENCE ARCH SHEET A101 FOR DETAILS.
- X5 GATE. REFERENCE ARCH SHEET A101 FOR DETAILS.

PINNACLE PARKWAY

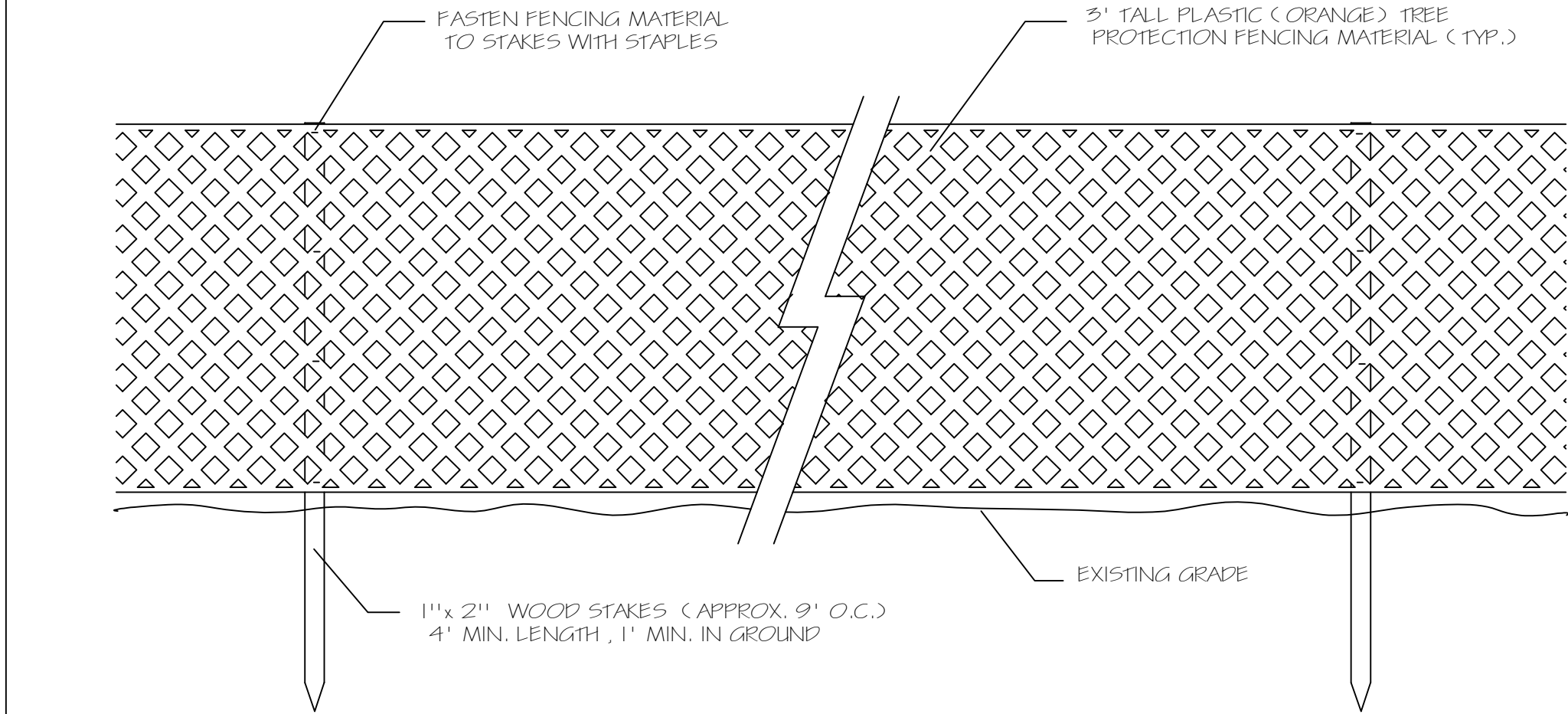
289.22'

AREA TO REMAIN
WOODED

PROPOSED
DETENTION POND

BEGONIA DRIVE (SIDE)

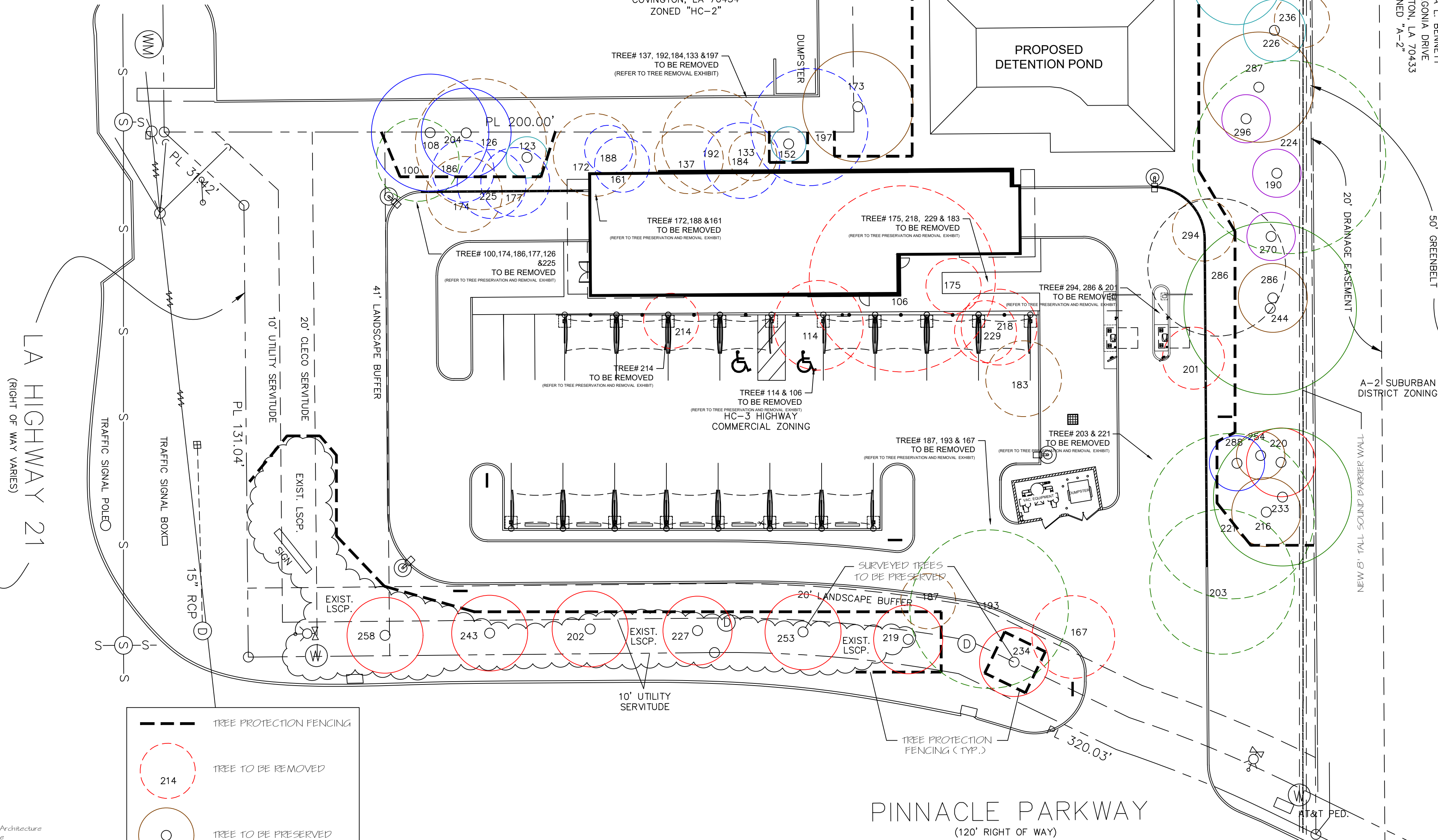
LA HIGHWAY 21
(ASPHALT) (RIGHT OF WAY VARIES) (PUBLIC)



A TREE PROTECTION FENCING DETAIL

TREE PROTECTION SPECIFICATIONS:

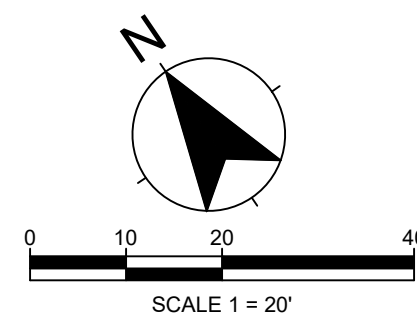
- 1.) Install Tree Protection Fencing in areas indicated on plan prior to site clearing, grading and construction. Remove only when necessary or prior to landscape and irrigation installation.
- 2.) Prevent storage or operation of heavy equipment within tree protection fencing.
- 3.) Prevent storage or mixing of any deleterious chemicals or other construction materials within tree protection fencing.
- 4.) When grading or trenching must occur adjacent to protected trees any necessary cutting of tree roots must be done in a clean fashion using appropriate cutting tools such as chain-saws, pruners or hand saws to avoid ripping or fraying roots that may result in rotting and disease.
- 5.) Minimize any additional fill soils on top of root zones. When new sidewalks are constructed in the root zones of protected trees contractor should try to install walkway "on top" of the root system and not "through" the root system in order to minimize damage to "significant" surface roots.



TREE TABLE			
Tree Number	TREE CIRCUMFERENCE	TREE TYPE	DIAMETER
106	86	LIVE OAK	27
114	40	LIVE OAK	13
126	59	LIVE OAK	19
131	49	LIVE OAK	16
139	56	LIVE OAK	18
167	39	LIVE OAK	12
168	91	LIVE OAK	29
175	26	LIVE OAK	8
201	28	LIVE OAK	9
202	34	LIVE OAK	11
214	24	LIVE OAK	8
218	36	LIVE OAK	11
219	31	LIVE OAK	10
220	30	LIVE OAK	10
227	31	LIVE OAK	10
229	28	LIVE OAK	9
243	34	LIVE OAK	11
253	33	LIVE OAK	11
258	36	LIVE OAK	11
284	26	LIVE OAK	8
190	23	CHINA BALL	7
270	21	CHINA BALL	7
296	21	CHINA BALL	7
123	18	ELM	6
152	16	ELM	5
195	35	ELM	11
223	20	ELM	6
226	28	ELM	9
247	31	ELM	10
249	41	ELM	13
280	51	ELM	16
281	22	ELM	7
282	51	ELM	16
267	22	ELM	7
268	41	ELM	13
278	19	ELM	6
100	39	PINE	12
140	20	PINE	6
169	29	PINE	9
179	48	PINE	15
193	72	PINE	23
203	65	PINE	21
221	75	PINE	24
233	63	PINE	20
241	24	PINE	8
244	79	PINE	25
255	64	PINE	20
266	86	PINE	27
279	30	PINE	10
133	23	RED MAPLE	7
134	54	RED MAPLE	17
137	30	RED MAPLE	10
146	27	RED MAPLE	9
172	37	RED MAPLE	12
173	51	RED MAPLE	16
174	35	RED MAPLE	11
183	33	RED MAPLE	11
187	26	RED MAPLE	8
192	46	RED MAPLE	15
210	61	RED MAPLE	19
216	31	RED MAPLE	10
254	21	RED MAPLE	7
286	30	RED MAPLE	10
287	51	RED MAPLE	16
293	19	RED MAPLE	6
294	28	RED MAPLE	9
295	20	RED MAPLE	6
108	53	WATER OAK	17
122	48	WATER OAK	15
161	24	WATER OAK	8
177	32	WATER OAK	10
184	34	WATER OAK	11
186	27	WATER OAK	9
188	22	WATER OAK	7
197	52	WATER OAK	17
204	40	WATER OAK	16
212	48	WATER OAK	15
225	30	WATER OAK	10
232	56	WATER OAK	18
248	42	WATER OAK	13
250	50	WATER OAK	16
288	25	WATER OAK	8
211	53	UNKNOWN	17
242	84	UNKNOWN	27
282	72	UNKNOWN	23
286	63	UNKNOWN	20

TREE REMOVAL TABLE			
Tree Number	TREE CIRCUMFERENCE	TREE TYPE	DIAMETER
106	86	LIVE OAK	27
114	40	LIVE OAK	13
126	59	LIVE OAK	19
167	39	LIVE OAK	12
175	26	LIVE OAK	8
201	28	LIVE OAK	9
214	24	LIVE OAK	8
218	36	LIVE OAK	11
229	28	LIVE OAK	9
100	39	PINE	12
193	72	PINE	23
203	65	PINE	21
221	75	PINE	24
224	87	PINE	28
252	43	PINE	14
133	23	RED MAPLE	7
137	30	RED MAPLE	10
172	37	RED MAPLE	12
174	35	RED MAPLE	11
183	33	RED MAPLE	11
187	26	RED MAPLE	8
192	46	RED MAPLE	15
236	24	RED MAPLE	8
294	28	RED MAPLE	9
161	24	WATER OAK	8
177	32	WATER OAK	10
184	34	WATER OAK	11
186	27	WATER OAK	9
188	22	WATER OAK	7
197	52	WATER OAK	17
225	30	WATER OAK	10
286	63	UNKNOWN	20

- NOTES:
- 1.) TREES 100, 203, 221, 224, 256, 244, 252, 133, 137, 172, 183, AND 192 ARE BEING REMOVED BECAUSE IT HAS BEEN DETERMINED THAT TOO MUCH OF THEIR CRITICAL ROOT ZONES ARE IN AREAS OF NEW PAVING CONSTRUCTION AND NEW SOUND BARRIER WALL.
 - 2.) TREES PROPOSED TO BE REMOVED IN BUFFER AREAS DUE TO PROXIMITY OF PAVING SHALL BE REVIEWED DURING PRE-LC INSPECTION. BUFFERS MUST BE STAKED PRIOR TO INSPECTION SO STAFF CAN CERTIFY WHICH TREES ARE APPLICABLE FOR REMOVAL.
 - 3.) SEE SHEET L100 FOR INFORMATION REGARDING MITIGATION OF 9 LIVE OAK TREES SLATED FOR REMOVAL.



CLIENT



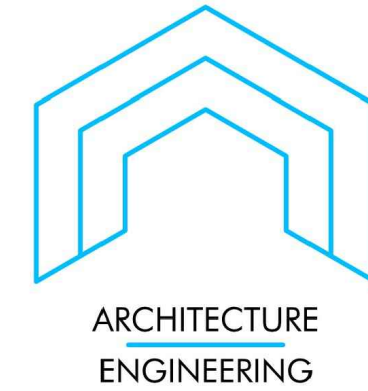
125' PROTOTYPE

DATE	DESCRIPTION	DELTA
2022-02-02	1 DD REVIEW	1
2022-06-23	2 CITY COMMENTS	2
2022-07-26	3 PERMIT RESUBMITTAL	3
X2022-08-26	4 CITY COMMENTS	4
XX-XX-XX	5 X	5
XX-XX-XX	6 X	6

TAKE 5 CAR WASH

12-L7-L1 PKWY & LA 70433
COVINGTON, LA 70433

ARCHITECT:



STAMPS



SHEET TITLE

TREE PRESERVATION
PLAN

PROJECT NUMBER
21-042

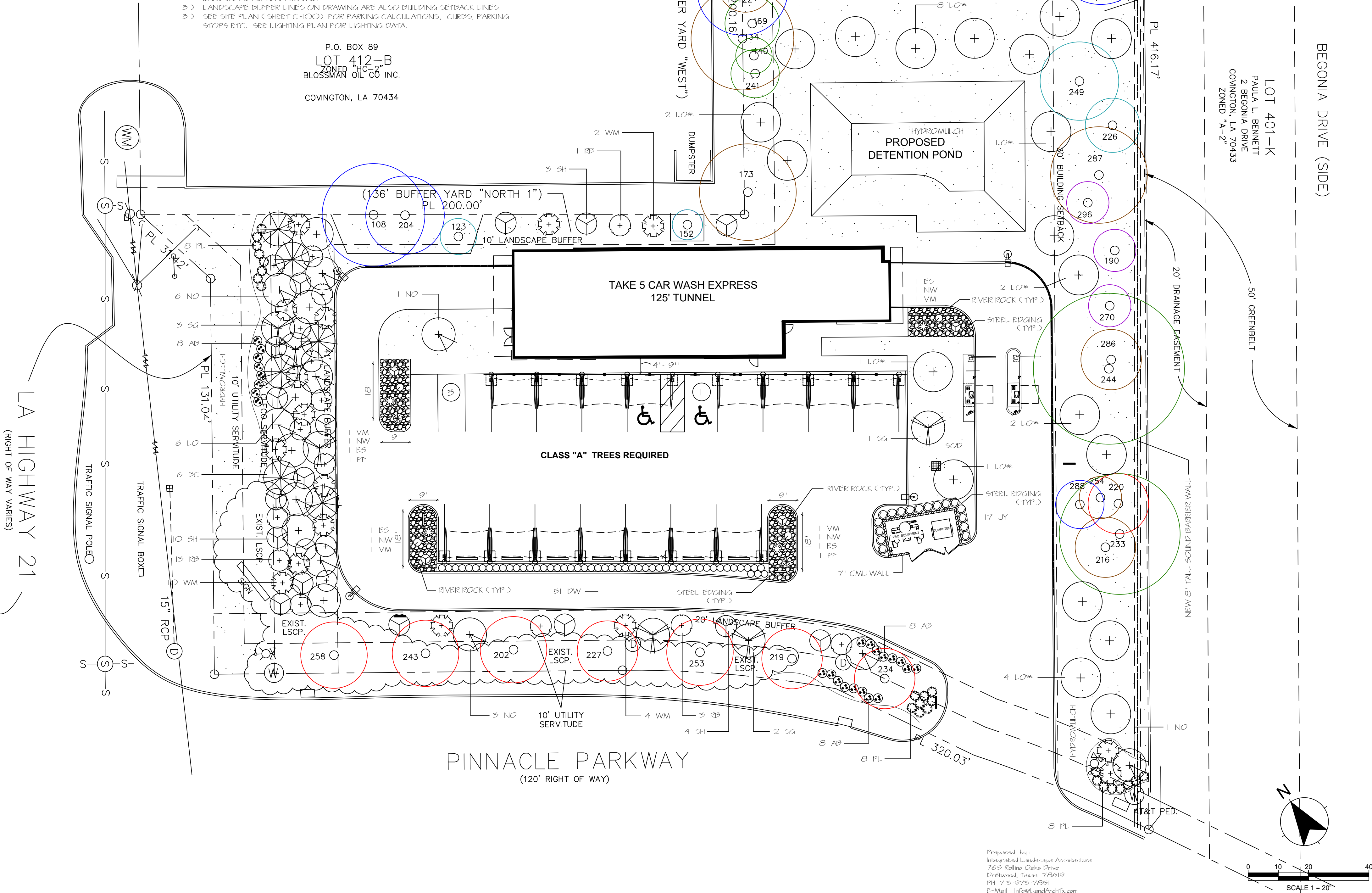
DATE	08/26/2022
SCALE	1" = 20'
DRAWN	DB
CHECKED	AH
SHEET NO	

TP100

PLANT LIST				
QUANT.	SYMBOL	PLANT TYPE	SIZE	NOTES
24	AB	ABELIA, PINK	3 GAL / 5 GAL	3' O.C., FULL, HEALTHY
7	BC	Abelia grandiflora 'Edward Goucher'	65 GAL	24" - 30" HT. X 24" - 30" SPR.
51	DW	DWARF WAX MYRTLE	2.75" CAL. MIN.	SINGLE-TRUNK, DOUBLE-STAKED
4	ES	YELLOW ESPERANZA	3 GAL / 5 GAL	10" - 12" HT. X 4" - 5" SPR., MATCHING
17	JY	JAPANESE YEW	5 GAL / 7 GAL	2" - 3" O.C., FULL, HEALTHY, MATCHING
29	LO	LIVE OAK	100 GAL	12" - 14" HT. X 10" - 12" SPR.
7	LO	Quercus virginiana	4" CAL. MIN.	3' O.C., FULL, HEALTHY, MATCHING
11	NO	NUTTALL OAK	2.75" CAL. MIN.	22" - 28" HT. X 18" - 22" SPR.
4	NW	PINK SHRUB ROSE, NEARLY WILD	3 GAL / 5 GAL	SINGLE-TRUNK, DOUBLE-STAKED
2	PF	PURPLE FOUNTAINGRASS	3 GAL / 5 GAL	11" - 12" HT. X 5" - 6" SPR., MATCHING
24	PL	BLUE PLUMBAGO	3 GAL / 5 GAL	11" - 12" HT. X 5" - 6" SPR., MATCHING
18	RB	RIVERBIRCH	30 GAL	2.75" CAL. MIN.
6	SG	SWEETGUM	65 GAL	10" - 12" HT. X 4" - 5" SPR.
20	SH	SAVANNAH HOLLY	30 GAL	SINGLE-TRUNK, FULL TO GROUND
4	VM	VARI. MISCANTHUS, "CABARET"	3 GAL / 5 GAL	8" - 10" HT. X 3.5" - 4" SPR.
18	WM	WAX MYRTLE	30 GAL	1.75" CAL. MIN.
	HYDRO	COMMON BERMUDAGRASS	SQ. FT.	24" HT. MINIMUM
	SOD	COMMON BERMUDAGRASS	SQ. YD.	FOURGE FULL TO GROUND
		Cynodon dactylon		8" - 10" HT. X 4" SPR. MINIMUM
				WITH GREEN CELLULOSE FIBER AND FERTILIZER, APPLY WHERE INDICATED
				SOLID SOD, ROLLED
				INSTALL WHERE INDICATED

SAINT TAMMANY PARISH LANDSCAPE ANALYSIS FORM									
STREET PLANTING AREAS									
LA. HWY. 21		6,480 SF / 300 = 22	- 1 EXIST. TREE CREDIT = 21	CLASS "A" TREES REQUIRED					
		6,480 SF / 200 = 33	CLASS "B" TREES REQUIRED						
		162.46' / 10 = 16	SHRUBS REQUIRED						
PINNACLE PKWY.		320.03' / 30 = 11	- 6 EXIST. TREE CREDITS = 5	CLASS "A" TREES REQUIRED					
		320.03' / 30 = 11	CLASS "B" TREES REQUIRED						
		320.03' / 10 = 32	SHRUBS REQUIRED						
BUFFER YARDS									
NORTH (1)		136.00'	30 = 5	CLASS "A" TREES REQUIRED			1 NEW	4 EXIST.	
		136.00'	30 = 5	CLASS "B" TREES REQUIRED			5 NEW		
WEST		200.16'	30 = 7	CLASS "A" TREES REQUIRED			15 EXIST.		
		200.16'	30 = 7	CLASS "B" TREES REQUIRED					
NORTH (2)		133.27'	30 = 5	CLASS "A" TREES REQUIRED			3 NEW	2 EXIST.	
		133.27'	30 = 5	CLASS "B" TREES REQUIRED			5 NEW		
EAST (RES.)		383.00'	30 = 13	CLASS "A" TREES REQUIRED			26 EXIST.		
		383.00'	30 = 13	CLASS "B" TREES REQUIRED					
PARKING LANDSCAPE AREA									
PARKING AND VACUUM AREA		5160 S.F.							
ADJACENT LANDSCAPE AREA		2730 S.F.							
		2730 S.F. / 5160 S.F. = 53% LANDSCAPE AREA PROVIDED							
TREE MITIGATION									
REMOVE 9 LIVE OAK TREES TOTALING 116" (SEE SHEET TP100)									
MITIGATE BY PLANTING 29 (4" CAL. / 100 GAL.) LIVE OAK (DESIGNATED ON PLAN AS LO*)									

- NOTES:
- UNLESS SPECIFICALLY LABELED AS "SOD" EDGE ALL NEW PLANTING BEDS, CURBS, WALKWAYS, BUILDING FOUNDATIONS AND ANY OTHER PAVING WITH 1 ROW OF SOLID SOD (1.5" WIDTH) AND HYDROMULCH ALL REMAINING CONSTRUCTION DISTURBED BUILT AREAS.
 - ALL NEW LANDSCAPE AREAS AND PLANTINGS TO BE IRRIGATED WITH A PROFESSIONALLY DESIGNED AND INSTALLED AUTOMATIC LANDSCAPE IRRIGATION SYSTEM WITH RAIN SWITCH. SEE IRRIGATION PLAN TO BE PROVIDED AFTER SITE AND LANDSCAPE PLAN APPROVAL.
 - LANDSCAPE BUFFER LINES ON DRAWING ARE ALSO BUILDING SETBACK LINES.
 - SEE SITE PLAN (SHEET C-1000) FOR PARKING CALCULATIONS, CURBS, PARKING STOPS ETC. SEE LIGHTING PLAN FOR LIGHTING DATA.



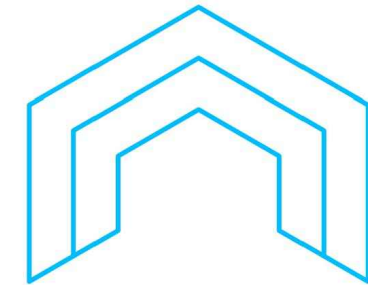
125' PROTOTYPE

DATE	DESCRIPTION	DATE	DESCRIPTION
2022-02-02	DD REVIEW	2022-06-23	CITY COMMENTS
2022-06-23	CITY COMMENTS	2022-07-26	PERMIT RESUBMITTAL
2022-07-26	PERMIT RESUBMITTAL	2022-08-26	CITY COMMENTS
2022-08-26	CITY COMMENTS	XX-XX-XX	X
XX-XX-XX	X	XX-XX-XX	X

TAKE 5 CAR WASH

NEC PINNACLE PKWY & LA-21
COVINGTON, LA 70433

ARCHITECT:



ARCHITECTURE
ENGINEERING

STAMPS



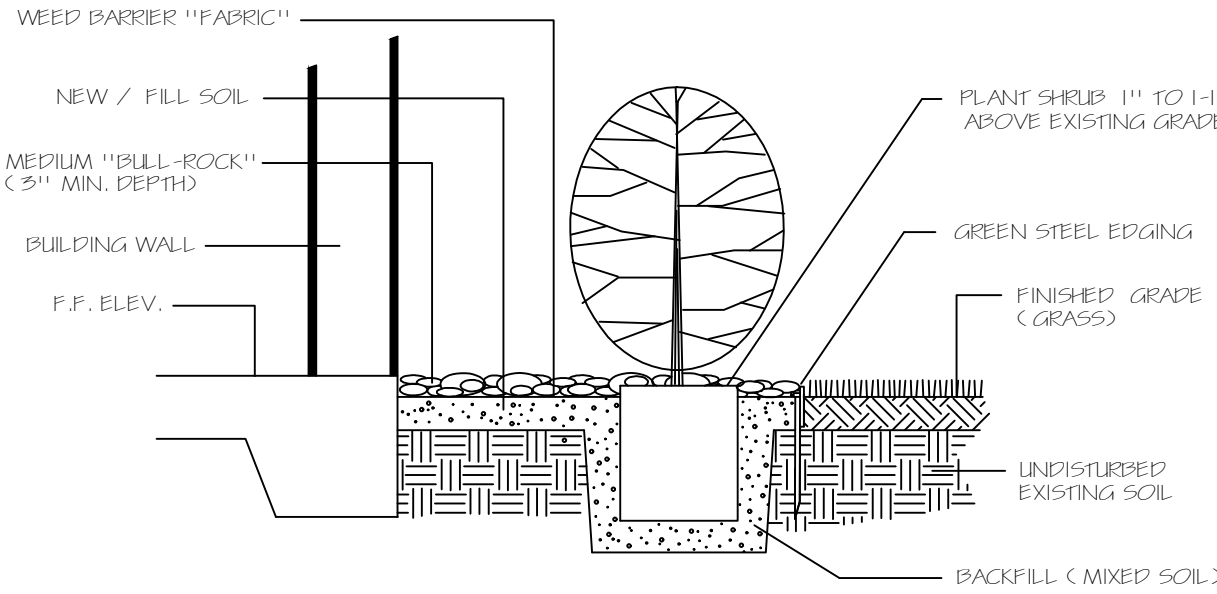
SHEET TITLE

LANDSCAPE PLAN

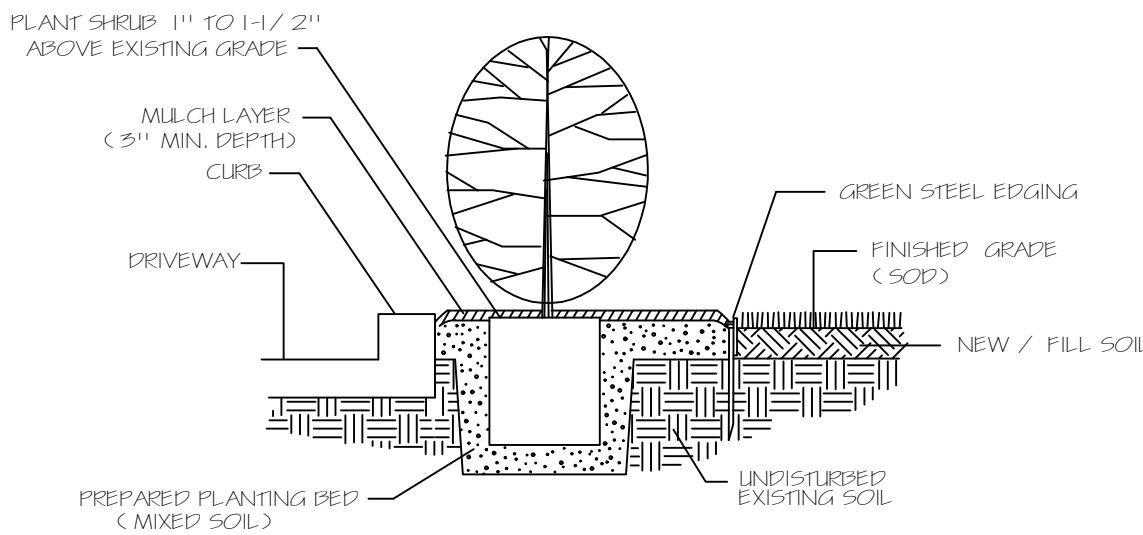
PROJECT NUMBER
21-042

DATE	08/26/2022
SCALE	1" = 20'
DRAWN	DB
CHECKED	AH
SHEET NO	

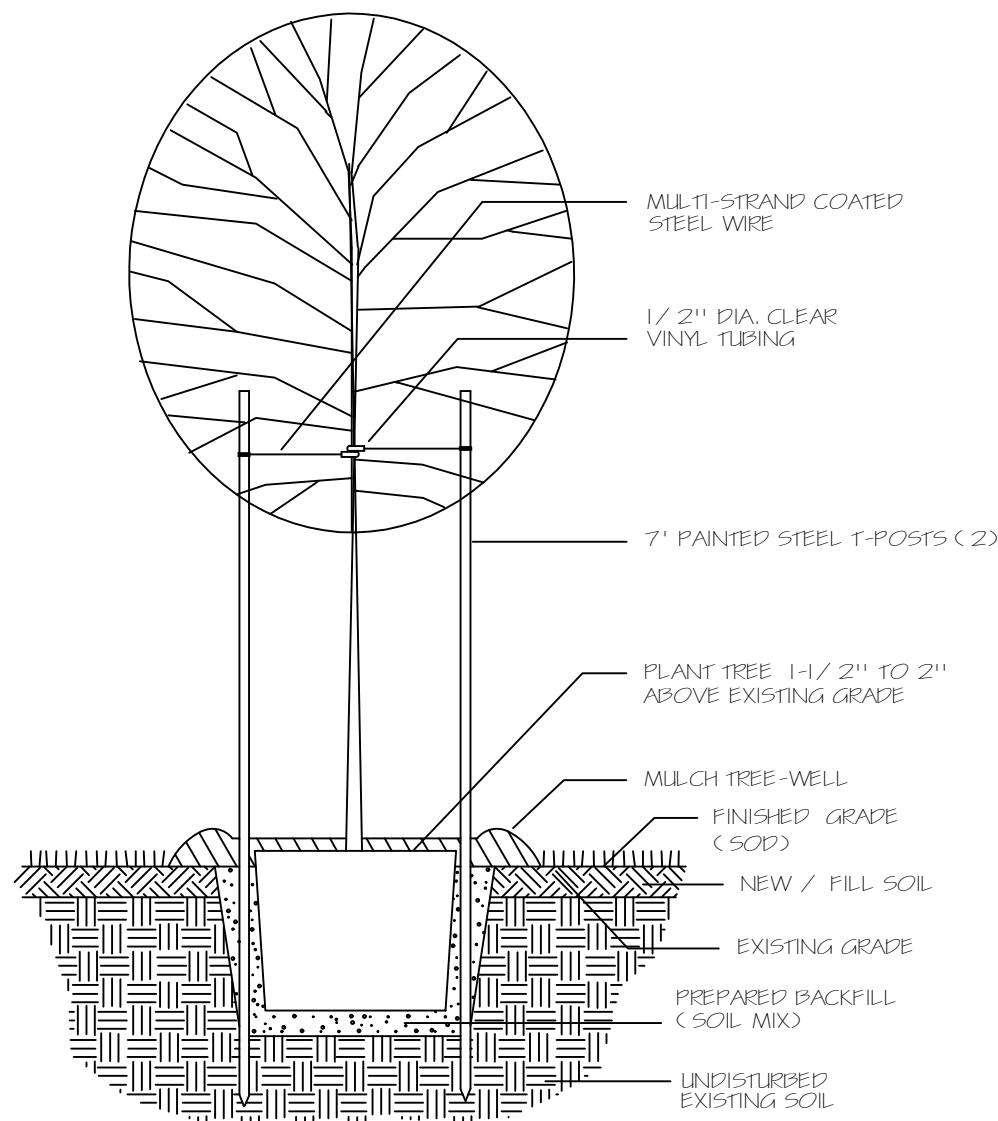
L100



A RIVER ROCK / PLANTING DETAIL
(NO SCALE)



B HEDGE PLANTING DETAIL
(NO SCALE)



C CONTAINER TREE PLANTING DETAIL
(NO SCALE)

LANDSCAPE CONSTRUCTION SPECIFICATIONS :

- 1.) General Contractor to bring all areas to final grade with a boxblade using a good quality, gradable topsoil.
- 2.) Prepare all new planting beds by removing all rocks, concrete and construction debris and till in 5" to 4" of new Soil Mix and pre-emergant herbicide (such as Pennant or Eptam) at the recommended rates, then rake all bed areas smooth prior to planting.
- 3.) Grade all planting beds to edges of beds and away from buildings prior to planting for positive drainage away from foundation. Install green Ryerson Steel landscape edging (1/8" thick x 4" tall) between turf and planting beds. Cut exposed corners at 45 degrees when steel butts up against curbs or walkways for pedestrian safety.
- 4.) Fertilize all new trees, shrubs and groundcovers with Osmocote (or equal) time-release fertilizer.
- 5.) Mulch all new planting beds and trees with a 3" (avg.) layer of shredded hardwood topdress mulch. Apply 'Colorado' River Rock or other local type (2" to 4" aggregate size) on DeWitt tupe permeable weed barrier "fabric" in areas indicated in lieu of mulch to a minimum depth of 3" .
- 6.) Double-Stake all specified trees (see plant list) with 2 x 7" tall painted metal T-Posts, multi-strand coated steel wire and clear vinyl tubing.
- 7.) Root-Stimulate all new trees with Superthrive brand root-stimulator (or equal) as per manufacturers recommendations.
- 8.) Plant sizes shown are the minimum acceptable. Plants will be inspected and measured for conformance. Plants specified with container size only shall be of or better than locally accepted nursery standards. Obviously undersized, mishapen, weak or inadequately rooted plants will be rejected. The Owner's decision will be final in matters concerning plant size, condition and health. Plants larger in size than specified may be used if approved by the Landscape Architect or the Owner, but the use of larger plants will not automatically increase the contract amount.
- 9.) Thoroughly hand water all new plantings immediately after planting.
- 10.) Fine grade all new turf areas (by hand if necessary) prior to installation of grass. This is for a nice smooth turf-bed as well as for normal drainage purposes.
- 11.) Solid sod within property to be 99 percent pure Common Bermudagrass. Sod to be rolled immediately after wetting and installation. Hydromulch to be Common Bermudagrass hydromulch at a rate of 2 lbs. hulled seed per 1000 s.f. and includes green cellulose fiber and fertilizer.
- 12.) Landscape contractor is responsible for keeping jobsite neat, clean and safe at all times in reference to their landscape work. Excess excavated soil, accumulations of landscape related trash, plant containers etc. to be removed from jobsite by Landscape Contractor daily and at the end of the project.
- 13.) The Owner, Landscape Architect and general Contractor reserve the right to inspect the progress of the project and any or all of the materials and procedures used at any time. Such materials and procedures will be subject to approval or rejection at that time and promptly followed up in writing to all concerned parties.

LANDSCAPE MAINTENANCE SPECIFICATIONS :

- 1.) The owner, tenant, or their agent, if any, shall be jointly and severally responsible for the maintenance, repair, and replacement of all required landscape materials, fences, steps, retaining walls, and similar landscape elements over the entire life of the development.
- 2.) All plant materials shall be maintained in a healthy and growing condition as is appropriate for the season of the year.
- 3.) Plant materials which die shall be replaced with similar healthy plant materials at the first available, optimal time for planting.
- 4.) Landscape areas within site triangles shall be maintained in an appropriate manner to ensure that no plant material obstructs cross-visibility above three (3) feet or below six (6) feet from the street or accessway grade.
- 5.) All landscaping shall be maintained in a neat and orderly manner at all times; maintenance shall include mowing, edging, pruning, fertilizing, watering, weeding, mulching, and similar activities common to the maintenance of landscaping.
- 6.) Landscaped areas shall be kept free of trash, litter, weeds, and similar materials or plants not part of the landscaping.
- 7.) The use of cypress mulch and impervious weed barriers is prohibited. Mulch, a minimum depth of three (3) inches, shall be provided within the root zone of trees and shrubs at the time of planting, and must be kept from direct contact with tree trunks and shrub stems.
- 8.) Trees shall attain their normal and mature size and shall not be severely pruned, topped, or " hatracked " in order to permanently maintain growth at a reduced height or spread.
- 9.) Shrubs shall not be trimmed in unnatural, topiary-style shapes and shall attain their normal and mature size or a minimum height of Two (2) feet for a hedge in a perimeter buffer abutting non-residential uses.
- 10.) The placement of barrier curbs or wheel stops is required to protect all landscaped areas from vehicular damage. Breaks in barrier curbs are encouraged to assist with stormwater management so long as the barrier curb still provides protection of the landscaped area.
- 11.) An operable automatic electrical underground irrigation system shall be installed in all landscaped areas with one hundred (100) percent coverage of these areas. See sheet L2 - Irrigation Plan, for details.

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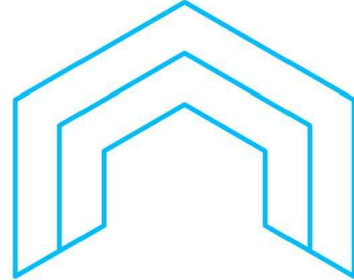
125' PROTOTYPE

DATE	DESCRIPTION	DETA
2022-02-02	DD REVIEW	1
2022-06-23	CITY COMMENTS	2
2022-07-26	PERMIT RESUBMITTAL	3
2022-08-26	CITY COMMENTS	4
XX-XX-XX	X	5
XX-XX-XX	X	6

TAKE 5 CAR WASH

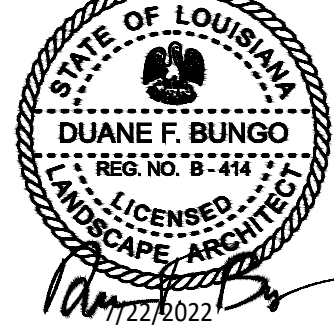
NEC PINNACLE PKWY & LA-21
COVINGTON, LA 70433

ARCHITECT:



ARCHITECTURE
ENGINEERING

STAMPS



SHEET TITLE

LANDSCAPE DETAILS
AND SPECIFICATIONS

PROJECT NUMBER
21-042

DATE	08.26.22022
SCALE	NO SCALE
DRAWN	DB
CHECKED	AH
SHEET NO	

L200