

**AGENDA**  
**ST. TAMMANY PARISH PLANNING COMMISSION MEETING**  
**6:00 PM - TUESDAY, OCTOBER 11, 2022**  
**ST. TAMMANY PARISH GOVERNMENT COMPLEX**  
**PARISH COUNCIL CHAMBERS**  
**21490 KOOP DRIVE, MANDEVILLE, LOUISIANA**

A livestream will be available for viewing on regular broadcast channels (Charter Channel 710; U-verse Channel 99) or on the Parish website: [www.stpgov.org](http://www.stpgov.org). The livestream will begin at 6:00 PM on Tuesday, October 11, 2022.

**ROLL CALL**

**PUBLIC ANNOUNCEMENTS**

- Please silence all phones and electronic devices
- Appeals
- Speaker Cards
- Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal
- Please exit the building

**INVOCATION AND PLEDGE OF ALLEGIANCE**

**APPROVAL OF THE SEPTEMBER 13, 2022 MEETING MINUTES**

**REQUEST FOR POSTPONEMENTS**

**REVOCATION REVIEW**

**1- REV22-07-008**

The revocation of an unopened portion of 8<sup>th</sup> Street and an unopened portion of 9<sup>th</sup> Street, located on the south side of LA Highway 36, north of the Tammany Trace, in the Town of New Claiborne Subdivision, Ward 3, District 2.

Applicant: Larry D. Terrell

Parish Council District Representative: Hon. David R. Fitzgerald

**MINOR SUBDIVISION REVIEW**

**2- 2022-3048-MSP**

A minor subdivision of Tract 2B into Tracts 2B1, 2B2, & 2B3

Owner & Representative: Jeffrey L. & Chloe C. Coombe

Parish Council District Representative: Hon. Marty Dean

General Location: The parcel is located on the south side of Brewster Road, east of LA Highway 1077, Madisonville, Louisiana. Ward 1, District 1

**3- 2022-3051-MSP**

A minor subdivision of Parcels A & D into Parcels A-1 & D-1

Owner & Representative: Cade & Abby Investments LLC - Robert B. Laville

Parish Council District Representative: Hon. Martha J. Cazaubon

General Location: The parcel is located on the east side of LA Highway 1077, south of Railroad Avenue, Covington, Louisiana. Ward 1, District 3

**4- 2022-3067-MSP**

A minor subdivision of Parcel E into Parcels E1, E2, E3, E4

Owner & Representative: James Strahan, Jr.

Parish Council District Representative: Hon. Kirk Drumm

General Location: The parcel is located on the west side of Chris Kennedy Road, north of Pine Street Extension, Pearl River, Louisiana. Ward 9, District 11

**5- 2022-3076-MSP**

A minor subdivision of Lot 4 in lots 4-A & 4-B

Owner & Representative: Roy & Shannon L. McLaughlin

Parish Council District Representative: Hon. James J. Davis

General Location: The parcel is located on the south side of Miss Lou Road, east of LA Highway 434, Lacombe, Louisiana. Ward 7, District 7

**6- 2022-3078-MSP**

A minor subdivision of Parcel 3A-4 into Parcels 3A-4A & 3A-4B

Owner & Representative: Gottes Wald, LLC - Paul Dietzel

Parish Council District Representative: Hon. David R. Fitzgerald

General Location: The parcel is located on the north side of Johnsen Road, east of LA Highway 437, Covington, Louisiana. Ward 3, District 2

**7- 2022-3083-MSP**

A minor subdivision of Lot S2 into lots S2-1 & S2-2

Owner & Representative: Shane & Allison Hillman

Parish Council District Representative: Hon. Martha J. Cazaubon

General Location: The parcel is located on the north side of Stanga Road, west of LA Highway 1077, Covington, Louisiana. Ward 1, District 3

**RESUBDIVISION REVIEW****8- 2022-3054-MRP**

Resubdivision of Lots 24 & 25 into Lots 24-A, The Willows

Owner & Representative: Stephen P. & Louise C. Higgins

Surveyor: Kelly J. McHugh & Associates, Inc.

Parish Council District Representative: Hon. Martha J. Cazaubon

General Location: The property is located on the south side of Rue Charlotte, east of Willow Bend Drive, Covington, Louisiana. Ward 1, District 3

**9- 2022-3075-MRP**

Resubdivision of Lots 1A, 2A, & 23A into Lot 1A-1, Alpha Industrial Park Ph 2A

Owner & Representative: Alpha 59 LLC - Mark Sieverding

Surveyor: Lowes Engineers

Parish Council District Representative: Hon. Rykert O. Toledano, Jr

General Location: The property is located on the northeast corner of LA Highway 59 & Alpha Blvd, Mandeville, Louisiana. Ward 4, District 5

**TENTATIVE SUBDIVISION REVIEW****10- 2022-3079-TP**

Moore Park Subdivision

Developer/Owner: Moore Park, LLC

Engineer: J.V. Burkes & Associates, Inc.

Parish Council District Representative: Hon. Rykert Toledano

General Location: The property is located on the north side of LA Highway 1088, west of Hickory Street, south of Interstate 12, Mandeville, Louisiana. Ward 4, District 5

**PRELIMINARY SUBDIVISION REVIEW****11- 2022-2903-PP**

Maison du Village Subdivision

Developer/Owner: MidSouth Developers, LLC

Engineer: J.V. Burkes & Associates, Inc.

Parish Council District Representative: Hon. Kirk Drumm

General Location: The property is located west of LA Highway 433, south of US Highway 190, Slidell, Louisiana. Ward 9, District 11

**POSTPONED AT THE JUNE 14, 2022, THE JULY 12, 2022, THE AUGUST 9, 2022 AND THE SEPTMEBER 13, 2022 MEETINGS**

**12- 2022-3081-PP**

Rigolets Estates Subdivision, Phase 3A-2

Developer/Owner: Succession of Frederick J. Sigur

Engineer: J.V. Burkes & Associates, Inc.

Parish Council District Representative: Hon. Jake Airey

General Location: The property is located south of LA Highway 433, west of US Highway 90, Slidell, Louisiana. Ward 8, District 13

**NEW BUSINESS****ADJOURNMENT**

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**MINUTES**  
**ST. TAMMANY PARISH PLANNING COMMISSION MEETING**  
**6:00 PM - TUESDAY, SEPTEMBER 13, 2022**  
**ST. TAMMANY PARISH GOVERNMENT COMPLEX**  
**PARISH COUNCIL CHAMBERS**  
**21490 KOOP DRIVE, MANDEVILLE, LOUISIANA**

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**ROLL CALL**

Present: Seeger, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph and Truxillo  
Absent: Ress and McInnis  
Staff: Ross Liner, Helen Lambert, Maria Robert and Theodore Reynolds

**PUBLIC ANNOUNCEMENTS**

- Please silence all phones and electronic devices
- Appeals
- Speaker Cards
- Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal
- Please exit the building

**INVOCATION AND PLEDGE OF ALLEGIANCE**

**INVOCATION** – Randolph

**PLEDGE OF ALLEGIANCE** – Willie

**APPROVAL OF THE AUGUST 9, 2022 MEETING MINUTES**

**Crawford moved to approve, second by Fitzmorris**

**Yea:** Seeger, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph and Truxillo

**Nay:** N/A

**Abstain:** N/A

**REQUEST FOR POSTPONEMENTS**

**1- ENTERING PARISH RIGHT-OF-WAY, SERVITUDES, EASEMENTS & TAMMANY TRACE -WITHDRAWN**

**Request to Enter the Parish Right-of-Way for 11th Avenue and Charlie Street (Alexiusville Subdivision) for the purpose of gaining access to the property.**

Debtor: Bhavin Chauhan

Parish Council District Representative: Hon. Rykert Toledano, Jr.

General Location: The property is located at the west end of 11th Avenue, south of Charlie Street, south of Three Rivers road, west Highway 190 and north of Interstate 12, Mandeville, Louisiana. Ward 5, District 3.

**1. REV22-07-008**

The revocation of an unopened portion of 8<sup>th</sup> Street and an unopened portion of 9<sup>th</sup> Street, located on the south side of LA Highway 36, north of the Tammany Trace, in the Town of New Claiborne Subdivision, Ward 3, District 2.

Applicant: Larry D. Terrell

Parish Council District Representative: Hon. David R. Fitzgerald

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Jeff Schoen

**Seeger moved to postpone, second by Randolph**

Opposition: N/A

**Yea:** Seeger, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph and Truxillo**Nay:** N/A**Abstain:** N/A**9-2022-3021-MRP**

Resubdivision of Plots 13, 15 & 18 of Lancaster Subdivision, a portion of the dedicated Road Right of Way, 3.12 acres and 1.44 acres into Plots 13A, 13B, 15A, 18A, 18B Lancaster Subdivision.& Parcels D1 & D2,

Owner &amp; Representative: Donald R. Jenkins

Surveyor: Randall W. Brown &amp; Associates, Inc.

Parish Council District Representative: Hon. **Rykert O. Toledano, Jr**

General Location: The property is located on the north side of LA Highway 1088, west of Hickory Street, Mandeville Louisiana. Ward 4, District 5

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Paul Mayronne

**Truxillo moved to postpone to November, second by Seeger**

Opposition: N/A

**Yea:** Seeger, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph and Truxillo**Nay:** N/A**Abstain:** N/A**11-2022-2903-PP**

Maison du Village Subdivision

Developer/Owner: MidSouth Developers, LLC

Engineer: J.V. Burkes &amp; Associates, Inc.

Parish Council District Representative: Hon. Kirk Drumm

General Location: The property is located west of LA Highway 433, south of US Highway 190, Slidell, Louisiana. Ward 9, District 11

**POSTPONED AT THE JUNE 14, 2022, THE JULY 12, 2022 AND THE AUGUST 9, 2022 MEETINGS**

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request:

**Truxillo moved to postpone, second by Randolph**

Opposition: N/A

**Yea:** Seeger, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph and Truxillo**Nay:** N/A**Abstain:** N/A**MINOR SUBDIVISION REVIEW****1- 2022-3001-MSP**

A minor subdivision of Parcel B into Parcels B-1 &amp; B-2

Owner &amp; Representative: Kimberly Jarrell

Parish Council District Representative: Hon. Martha J. Cazaubon

General Location: The parcel is located at the end of Henderson Road, south of Gottschalk Road, Covington, Louisiana. Ward 1, District 3

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Kimberly Jarrell

**Fitzmorris moved to approve, second by Barcelona**

Opposition: N/A

**Yea:** Seeger, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph and Truxillo

**Nay:** N/A

**Abstain:** N/A

#### **4-2022-3008-MSP**

A minor subdivision of 25.61 acres and 7 acres into Parcels A, B, C, D & E

Owner & Representative: Joseph Pieri, Jr.

Parish Council District Representative: Hon. Martha J. Cazaubon

General Location: The parcel is located on the west side of LA Highway 40 and at the end of Bluebird Lane, Folsom, Louisiana. Ward 2, District 3

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Joseph Pieri, Jr

**Willie moved to approve with waivers, second by Seeger**

Opposition: Jeff Kaston, and Judy Russell

**Yea:** Seeger, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph and Truxillo

**Nay:** N/A

**Abstain:** N/A

#### **5-2022-3013-MSP**

A minor subdivision of Parcel B-1 into Parcels B-1-A & B-1-B

Owner & Representative: Colleen Baker

Parish Council District Representative: Hon. David R. Fitzgerald

General Location: The parcel is located on the south side of Million Dollar Road, west of Jessie Hyatt Road, Covington, Louisiana. Ward 2, District 2

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Colleen Baker

**Barcelona moved to approve with waivers, second by Fitzmorris**

Opposition: N/A

**Yea:** Seeger, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph and Truxillo

**Nay:** N/A

**Abstain:** N/A

#### **6-2022-3022-MSP**

A minor subdivision of Parcels 1, 2, 3 & 4 and a remainder of Parcels 5 & 6 and 2.81 acres into Parcels 1A, 2A, 3A, 4A & 5A

Owners: Robert C. Sinclair Family Trust- Robert C. Sinclair -Trustee, Barry Craig Sinclair, Annie Carleton Sinclair, William Luther Sinclair- Trust- William Luther Sinclair -Trustee, Alan Noel Sinclair, Jennifer Sinclair

Representative: Jeffrey D. Shoen

Parish Council District Representative: Hon. Marty Dean

General Location: The parcel is located on the north side of Brewster Road, east of LA Highway 1077, Covington, Louisiana. Ward 1, District 1

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Jeff Schoen

**Fitzmorris moved to approve with name change , second by Barcelona**

Opposition: N/A

**Yea:** Seeger, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph and Truxillo

**Nay:** N/A

**Abstain:** N/A

#### **7-2022-3025-MSP**

A minor subdivision of 20.66 acres into lots 3 & 4

Owners: Lacombe Business Park, LLC

Representative: Jeffrey D. Shoен

Parish Council District Representative: Hon. James J. Davis

General Location: The parcel is located on the west side of LA Highway 434, south of Interstate 12, Lacombe, Louisiana. Ward 7, District 7

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Jeff Schoen

**Crawford moved to approve with waivers, second by Randolph**

Opposition: N/A

**Yea:** Seeger, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph and Truxillo

**Nay:** N/A

**Abstain:** N/A

#### **8-2022-3040-MSP**

A minor subdivision of 30 acres into Parcels A, B & C

Owners & Representatives: Mark I. & Tammie B. Martinez and Mark I. Martinez, Jr.

Parish Council District Representative: Hon. **Cheryl Tanner**

General Location: The parcel is located on the east side of Peg Keller Road, south of LA Highway 435, Abita Springs, Louisiana. Ward 6, District 6

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mark Martinez

**Truxillo moved to approve with waivers, second by Willie**

Opposition: N/A

**Yea:** Seeger, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph and Truxillo

**Nay:** N/A

**Abstain:** N/A

### **RESUBDIVISION REVIEW**

#### **1- 2022-3026-MRP**

Resubdivision of Lot 2 into Lots 2-A & 2-B St. Tammany Oaks Subdivision

Owner: Rouse/Kingsmill, LLC

Representative: Gulf States Development Services, LLC

Surveyor: Dading, Marques & Associates, LLC

Parish Council District Representative: Hon. **Rykert O. Toledano, Jr**

General Location: The parcel is located on the north side of Park Place, east of US Highway 190, Covington, Louisiana. Ward 3, District 5

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mike Saucier

**Fitzmorris moved to approve, second by Barcelona**

Opposition: N/A

**Yea:** Seeger, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph and Truxillo

**Nay:** N/A

**Abstain:** N/A

### **FINAL SUBDIVISION REVIEW**

#### **12-2022-3023-FP**

Bedico Creek Subdivision, Parcel C-2

Developer/Owner: Bedico Creek Preserve, LLC

Engineer: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon. Marty Dean

General Location: The property is located on the northwest side of LA Highway 1085, South of I-12, Madisonville, Louisiana. Ward 1, District 1

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Paul Mayronne

**Truxillo moved to approve, second by Seeger**

Opposition: Marie Jacobs

**Yea:** Seeger, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Randolph and Truxillo

**Nay:** N/A

**Abstain:** Smail

#### **13-2022-3028-FP**

Money Hill Subdivision, Phase 8-C

Developer/Owner: Money Hill Plantation, LLC

Engineer: J.V. Burkes & Associates, Inc.

Parish Council District Representative: Hon. Cheryl Tanner

General Location: The property is located north of Country Club Drive, west of Money Hill Parkway, north of LA Highway 435, Abita Springs.

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Jeff Schoen

**Fitzmorris moved to approve, second by Barcelona**

Opposition: N/A

**Yea:** Seeger, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Randolph and Truxillo

**Nay:** N/A

**Abstain:** Smail

#### **14-2022-3029-FP**

Lakeshore Villages Subdivision, Phase 9B

Developer/Owner: D.R. Horton, Inc. - Gulf Coast

Engineer/Surveyor: Duplantis Design Group, PC

Parish Council District Representative: Hon. Jake Airey

General Location: The property is located north of Oak Harbor Blvd., west of LA Highway 433, east of Interstate-10, Slidell, Louisiana. Ward 9, District 13

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Jeff Schoen

**Seeger moved to approve, second by Fitzmorris**

Opposition: N/A

**Yea:** Seeger, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph and Truxillo

**Nay:** N/A

**Abstain:** N/A

### **OLD BUSINESS**

### **NEW BUSINESS**

**ADJOURNMENT** Fitzmorris moved to adjourn, second by Truxillo

# **REVOCATIONS**

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**REVOCACTION STAFF ANALYSIS REPORT**  
*(As of October 4th, 2022)*  
*Meeting Date: October 11, 2022*

CASE NO.: REV22-07-008

NAME OF STREET OR ROAD: Unopened portion of 8th Street & 9th Street

NAME OF SUBDIVISION: Town of New Claiborne Subdivision

WARD: 3 PARISH COUNCIL DISTRICT: 2

PROPERTY LOCATION: The property is located on the south side of Hwy 36, north of the Tammany Trace, in the Town of New Claiborne Subdivision, Ward 3, District 2.

SURROUNDING ZONING: A-4A Single Family Residential & I-1 Industrial

PETITIONER/REPRESENTATIVE: Larry D. Terrell

**STAFF COMMENTARY:**

**Department of Planning & Development Comments:**

The applicant is proposing to revoke an unopened portion of 8<sup>th</sup> and 9<sup>th</sup> Street. The petitioner desires to assimilate this property into the adjacent properties in order to build a new warehouse for Northlake Moving Storage Inc. However, the Department of Public Works has confirmed that the Parish maintains a drainage ditch within the 9<sup>th</sup> Street right-of-way that the applicant proposes to revoke.

**Recommendation:**

The petitioner's engineer is currently working with the Department of Public Works to negotiate terms that would allow this revocation request to move forward. As of this writing, no workable reroute plan has been finalized. Therefore, the Staff recommends that this item be postponed to the November 9, 2022 meeting.

La. Hwy. 36



8th Street (Not Constructed)

9th Street

\* Revocation Map of a Portion of 8th & 9th Street Town of New Claiborne, St. Tammany Parish, Louisiana

Reference:  
 1) Survey Map by Thomas Fontcuberta, dated 2-11-1994, #944117  
 2) Survey Map by John G. Cummings dated 4-19-2005 Job No. 05086

Note:  
 This is not a boundary survey map

Bearings were derived by magnetic compass

S89°55'08"E-50.00'

S89°55'08"E-50.00'

N00°08'16"E-300.29'

Area to be Revoked  
 15015.35 Sq. Ft.

S00°08'16"W-300.33'

SQ. "28"

N00°06'27"E-300.50'

Area to be Revoked  
 15025.23 Sq. Ft.

S00°06'27"W-300.51'

SQ. "21"

N89°52'38"W-50.00'

N89°52'38"W-240.16'

N89°54'31"W-50.00'

Tammany Trace

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS.

THIS MAP IS NOT IN ACCORDANCE WITH THE STANDARD DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A C SURVEY AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46:LXI.

(Must verify prior to Construction)  
 Building Setbacks  
 Front:  
 Side:  
 Rear:  
 Side Street:

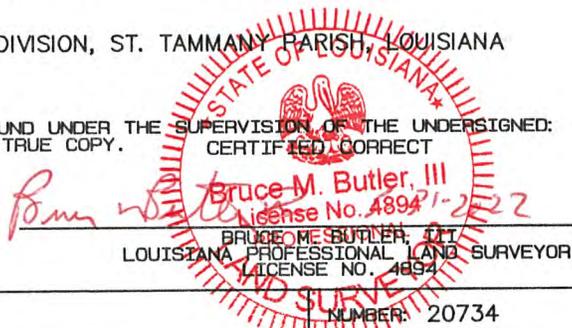
MAP PREPARED FOR **NORTHLAKE MOVING & STORAGE, INC., et al**

SHOWN A SURVEY MADE OF PROPERTY LOCATED IN NEW CLAIBORNE SUBDIVISION, ST. TAMMANY PARISH, LOUISIANA

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED: SIGNATURE AND STAMPED SEAL MUST BE IN RED OR THIS PLAT IS NOT A TRUE COPY. CERTIFIED CORRECT

**LAND SURVEYING LLC**

518 N. Columbia Street, Covington, LA 70433  
 (985) 892-6277 office (985) 898-0355 fax  
 landsurveyingllc@gmail.com email



Revised: 5-27-2022

BRUCE M. BUTLER, III  
 LOUISIANA PROFESSIONAL LAND SURVEYOR  
 LICENSE NO. 4894

SCALE: 1" = 80'

DATE: 3-21-2022

NUMBER: 20734

# **MINOR SUBDIVISIONS**

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**MINOR SUBDIVISION STAFF ANALYSIS REPORT**

*(As of October 4th, 2022)*

*Meeting Date: October 11th, 2022*

CASE NO.: 2022-3048-MSP

Owners & Representative: Jeffrey L. & Chloe C. Coombe

ENGINEER/SURVEYOR: Lowe Engineers

SECTION: 14

TOWNSHIP: 7S

RANGE: 10E

WARD: 1

PARISH COUNCIL DISTRICT: 1

TYPE OF DEVELOPMENT:      \_\_\_ SUBURBAN (Residential acreage between 1-5 acres)  
  X   RURAL (Low density residential 5 acres or more)  
  \_\_\_ OTHER(PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: The parcel is located on the south side of Brewster Road, east of LA Highway 1077, Madisonville, Louisiana.

SURROUNDING LAND USES: Residential & Undeveloped

TOTAL ACRES IN DEVELOPMENT: 25.810 Acres

NUMBER OF LOTS/PARCELS: Tract 2B into Tracts 2B1, 2B2 & 2B3

ZONING: A-3 Suburban District

**STAFF COMMENTARY:**

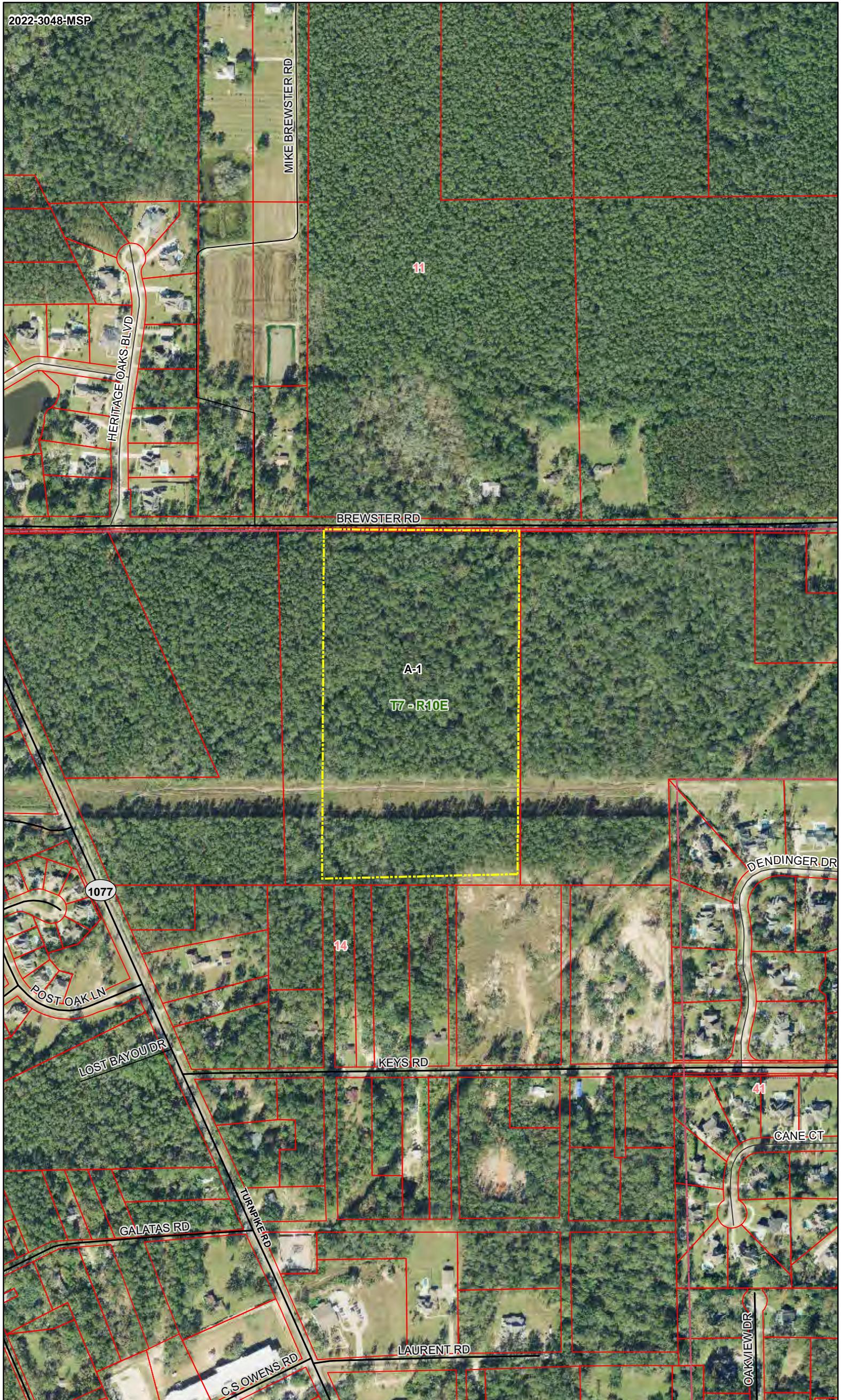
**Department of Planning & Development and Department of Engineering**

The applicant is requesting to create three (3) tracts from Tract 2B (25.810 acres). The minor subdivision request requires a public hearing due to:

- Tract 2B was previously part of a minor subdivision approved in July 2021 (2021-2455-MSA).

The request shall be subject to the above and below comments:

1. Under Reference Surveys, add: A survey by this firm, Survey No 21-140378 dated 06/09/2021 – Recorded as File No. 6029D



MIKE BREWSTER RD

HERITAGE OAKS BLVD

11

BREWSTER RD

A-1

T7-R10E

1077

POST OAK LN

LOST BAYOU DR

14

KEYS RD

GALATAS RD

TURNPIKE RD

LAURENT RD

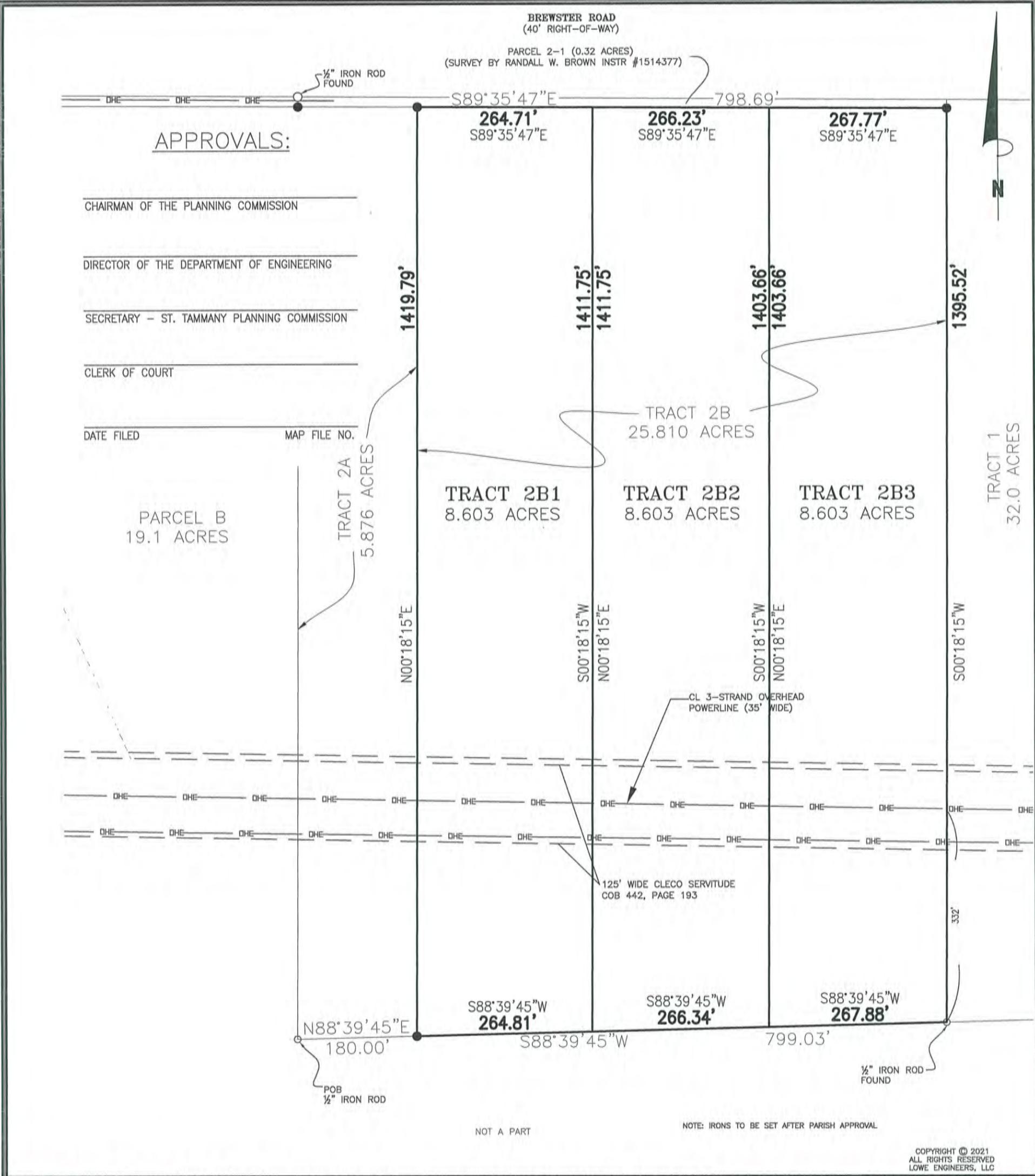
C.S OWENS RD

DENDINGER DR

41

CANE CT

OAKVIEW DR



**APPROVALS:**

\_\_\_\_\_  
CHAIRMAN OF THE PLANNING COMMISSION

\_\_\_\_\_  
DIRECTOR OF THE DEPARTMENT OF ENGINEERING

\_\_\_\_\_  
SECRETARY - ST. TAMMANY PLANNING COMMISSION

\_\_\_\_\_  
CLERK OF COURT

\_\_\_\_\_  
DATE FILED

\_\_\_\_\_  
MAP FILE NO.

PARCEL B  
19.1 ACRES

TRACT 2A  
5.876 ACRES

TRACT 2B1  
8.603 ACRES

TRACT 2B2  
8.603 ACRES

TRACT 2B3  
8.603 ACRES

TRACT 1  
32.0 ACRES

NOT A PART

NOTE: IRONS TO BE SET AFTER PARISH APPROVAL

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LOWE ENGINEERS, LLC

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL; AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS "D" SURVEY.

**P.O.B.:** The P.O.B. is reported to be N89°29'30"W-755.32'; S00°11'39"W-366.56'; S88°39'45"W-1581.94' from the section corner common to sections 13, 14 & 41, Township 7 South, Range 10 East, St. Tammany Parish, Louisiana 2005.

**REFERENCE SURVEYS:**  
A survey by this firm, survey no. 2005 758 B dated August 25, 2005.  
A survey by Randall W. Brown survey no. 08280A dated April 23, 2008

**BASIS FOR BEARINGS:** The Reference Survey.

**FLOODZONE NOTE:** This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described is located in Flood Zone(s) "C" with a Base Flood Elevation of N/A in accordance with Community Panel No. 225205 0210 C ; Revised: OCTOBER 17, 1989

Survey No. 22-140427 Drawn by: MAB Scale: 1" = 150'

Date: 08/22/2022 Revised:

A RESUBDIVISION MAP OF  
**TRACT 2B**  
INTO  
**TRACTS 2B1, 2B2, & 2B3**  
situated in  
**SECTION 14, T-7-S, R-10-E**  
located in  
St. Tammany Parish, Louisiana  
for  
**JEFFREY L. COOMBE**



Professional Land Surveyors  
Planners and Consultants  
1011 NORTH CAUSEWAY BLVD., SUITE 34  
MANDEVILLE, LA 70471  
OFFICE NO. (985)845-1012  
FAX NO. (985)845-1778  
www.loweengineers.com  
e-mail: MandevilleTeam@loweengineers.com

**NOTE:** This is to certify that I have done an actual ground survey and found that no encroachments exist either way across any property lines except as shown.

**NOTE:** Setback lines shall be verified by owner and/or contractor prior to any construction, as an abstract has not been performed by the undersigned.

Servitudes shown hereon are not necessarily exclusive. Servitudes of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.

This Survey is Certified True and Correct By

JOHN E. BONNEAU  
LICENSE NO. 4423  
PROFESSIONAL

John E. Bonneau  
Professional Land Surveyor  
Registration No. 4423

PARCEL 1-1 (0.51 ACRES)  
(SURVEY BY RANDALL W. BROWN INSTR #1697798)

BREWSTER ROAD  
(40' RIGHT-OF-WAY)

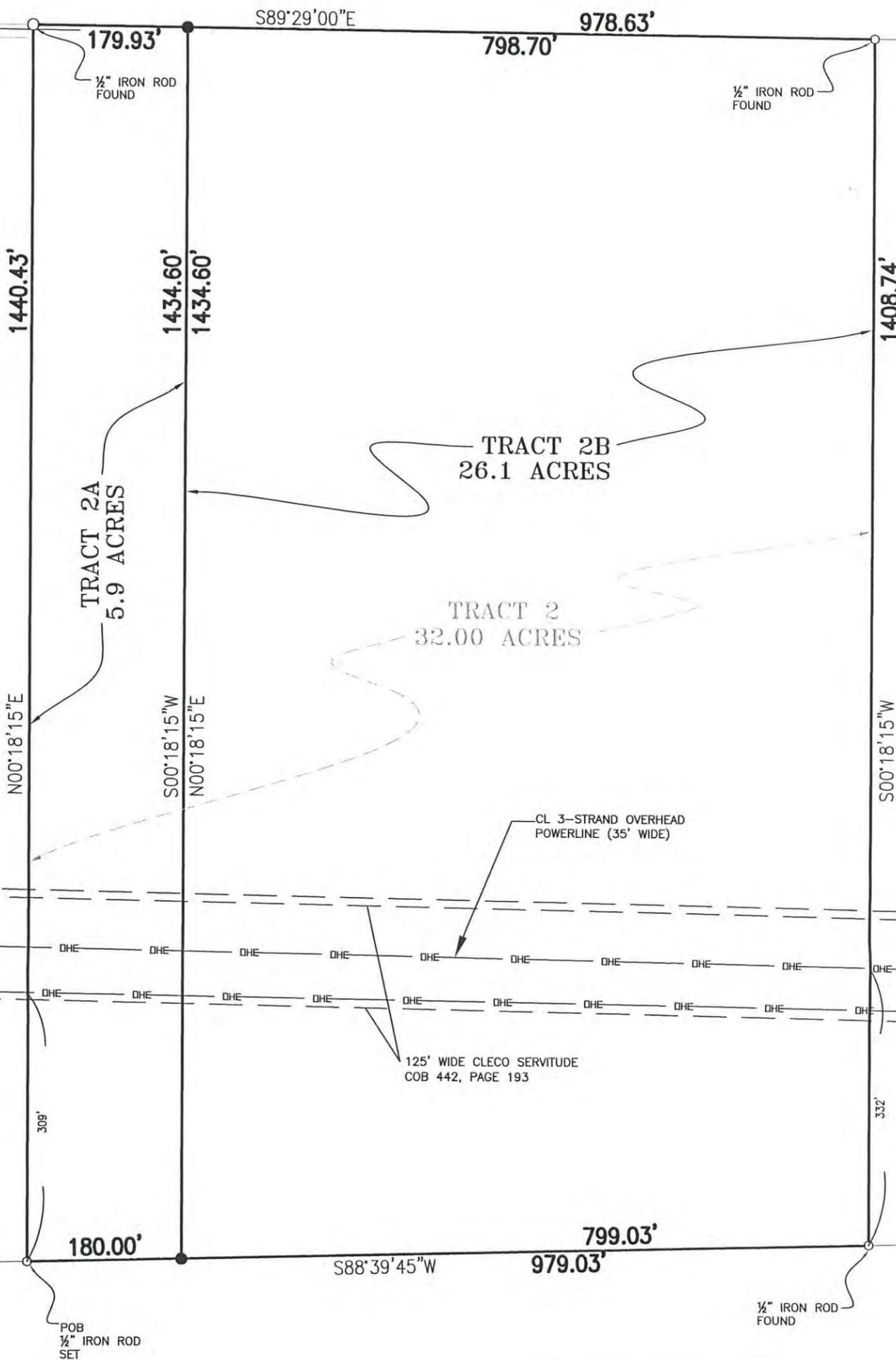
**APPROVALS:**

SECRETARY - ST. TAMMANY PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

*Amy White*  
CLERK OF COURT  
Amy White, Deputy Clerk  
07.01.2021 602910  
DATE FILED MAP FILE NO.

PARCEL B  
19.1 ACRES



NOT A PART

NOTE: IRONS TO BE SET AFTER PARISH APPROVAL

COPYRIGHT © 2021  
ALL RIGHTS RESERVED  
LOWE ENGINEERS, LLC

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL; AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS "D" SURVEY.

**P.O.B.:** The P.O.B. is reported to be N89°29'30"W-755.32'; S00°11'39"W-366.56'; S88°39'45"W-1581.94' from the section corner common to sections 13, 14 & 41, Township 7 South, Range 10 East, St. Tammany Parish, Louisiana 2005.

**REFERENCE SURVEYS:**  
A survey by this firm, survey no. 2005 758 B dated August 25, 2005.  
A survey by Randall W. Brown survey no. 08280A dated April 23, 2008

**BASIS FOR BEARINGS:** The Reference Survey.

**FLOODZONE NOTE:** This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described is located in Flood Zone(s) "C" with a Base Flood Elevation of N/A in accordance with Community Panel No. 225205 0210 C ; Revised: OCTOBER 17, 1989

Survey No. 21-140378 Drawn by: JWS Scale: 1" = 150'

Date: 06/09/2021 Revised:

A RESUBDIVISION MAP OF  
TRACT 2 BEING A 32.00 ACRE PARCEL  
situated in  
SECTION 14, T-7-S, R-10-E  
into  
TRACTS 2A & 2B  
St. Tammany Parish, Louisiana  
for  
LEVERE MONTGOMERY III



Professional Land Surveyors  
Planners and Consultants  
1011 NORTH CAUSEWAY BLVD., SUITE 34  
MANDEVILLE, LA 70471  
OFFICE NO. (985)845-1012  
FAX NO. (985)845-1778  
www.loweengineers.com  
e-mail: MandevilleTeam@loweengineers.com

**NOTE:** This is to certify that I have done an actual ground survey and found that no encroachments exist either way across any property lines except as shown.

**NOTE:** Setback lines shall be verified by owner and/or contractor prior to any construction, as an abstract has not been performed by the undersigned.

Servitudes shown hereon are not necessarily exclusive. Servitudes of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.

This Survey is Certified True and Correct By  
**JOHN E. BONNEAU**  
LICENSE No. 4423  
PROFESSIONAL  
*John E. Bonneau*  
John E. Bonneau  
Professional Land Surveyor  
Registration No. 4423

**MINOR SUBDIVISION STAFF ANALYSIS REPORT**  
*(As of October 4th, 2022)*  
*Meeting Date: October 11th, 2022*

CASE NO.: 2022-3051-MSP

Owners & Representative: Cade & Abby Investments LLC-Robert B. Laville

ENGINEER/SURVEYOR: Land Surveying, LLC

SECTION: 33 & 34

TOWNSHIP:6S

RANGE: 10E

WARD: 1

PARISH COUNCIL DISTRICT: 3

TYPE OF DEVELOPMENT:      \_\_\_ SUBURBAN (Residential acreage between 1-5 acres)  
                                    X   RURAL (Low density residential 5 acres or more)  
                                  \_\_\_ OTHER(PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: The parcel is located on the east side of LA Highway 1077, south of Railroad Avenue, Covington, Louisiana.

SURROUNDING LAND USES: Residential & Undeveloped

TOTAL ACRES IN DEVELOPMENT: 15.33 Acres

NUMBER OF LOTS/PARCELS: Parcels A & D into Parcels A-1 & D-1

ZONING: A-2 Suburban District

**STAFF COMMENTARY:**

**Department of Planning & Development and Department of Engineering**

The applicant is requesting to create two (2) parcels from parcels A & D (15.33 acres). The minor subdivision request requires a public hearing due to:

- Parcels A & D were previously part of a minor subdivision approved in December 2020 (2020-2154-MSA).

The request shall be subject to the above and below comments:

1. Amend the survey as follow: A Resub Map of Parcels A, B, C & D by this Firm Dated 9-16-20 Revised 9-29-20 Job # 20018 **File No. 5978 B**



28

27

W GOSLEE RD

GOSLEE RD

BAHAM RD

T6 - R10E GAYLE RD

1077

33

34

WELLS RD

TURFKEY RD

FINAL APPROVAL

CHAIRMAN OF PLANNING COMMISSION

DIR. DEPT. OF ENGINEERING

SECRETARY PLANNING COMM.

CLERK OF COURT

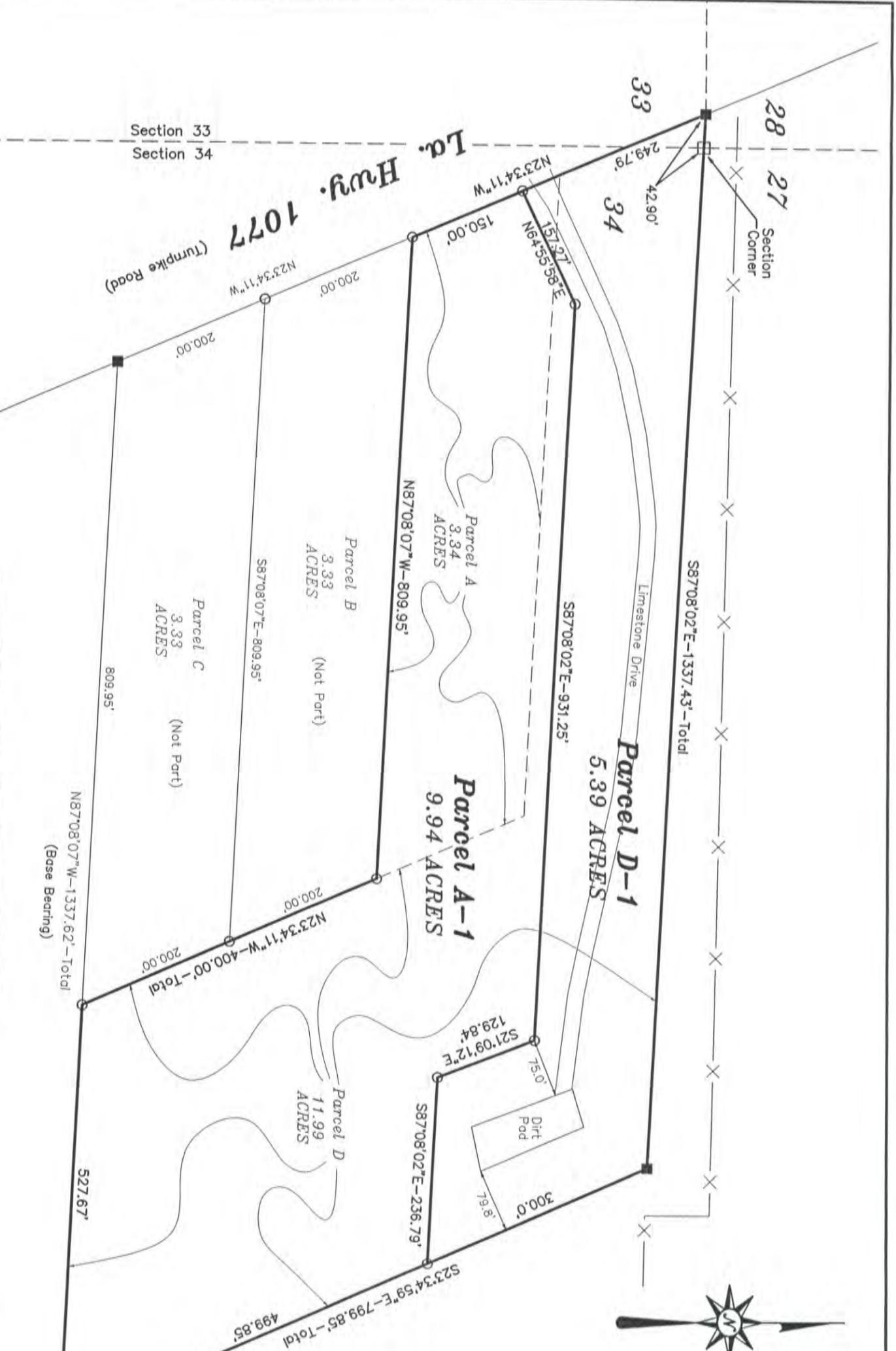
DATE FILE NO.



A Minor Subdivision of Parcel A & D, into Parcels A-1 & D-1, situated in Sections 33 & 34, T-6-S, R-10-E, St. Tammany Parish, Louisiana

Reference:  
1) A Survey Map of Subject Property by Jeron Fitzmorris, Dated 3-2-2006, Job #11736 (Based Bearing)  
2) A Resub Map of Parcels A, B, C & D by this Firm, Dated 9-16-2020, Revised 9-29-2020, Job #20018

This property is located in Flood Zone C, Per FEMA Map No. 225205 0205 C, Dated 10-17-1989



LEGEND:  
■ = Fnd. 1/2" Iron Pipe  
○ = Set 1/2" Iron Rod  
—X— = Fence

**LS** Land Surveying, LLC  
518 N. Columbia Street  
Covington, LA 70433  
(985) 892-6211 office (985) 898-0355 fax

MAP PREPARED FOR  
**RONDEN PROPERTIES, LLC**

SCALE: 1" = 150'	DRAWN BY: JWG
DATE: 8-17-2022	
Sited in Sections 33 & 34, T6S-R10E, St. Tammany Parish, Louisiana	
DRAWN NUMBER 20919	

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST, AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS.

THIS MAP IS IN ACCORDANCE WITH THE STANDARD DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A "D" SURVEY AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46:1X1.

(Must verify prior to Construction)  
Building Setbacks:  
Front: \*\*  
Side: \*\*  
Rear: \*\*  
Side Street: \*\*

BRUCE M. BUTLER III  
LA. PROFESSIONAL LAND SURVEYOR  
LIC. NO. 4894



FINAL APPROVAL

DIR. DEPT. OF ENGINEERING

SECRETARY PLANNING COMM.

CLERK OF COURT **Pamela M. Tripp, Deputy Clerk**

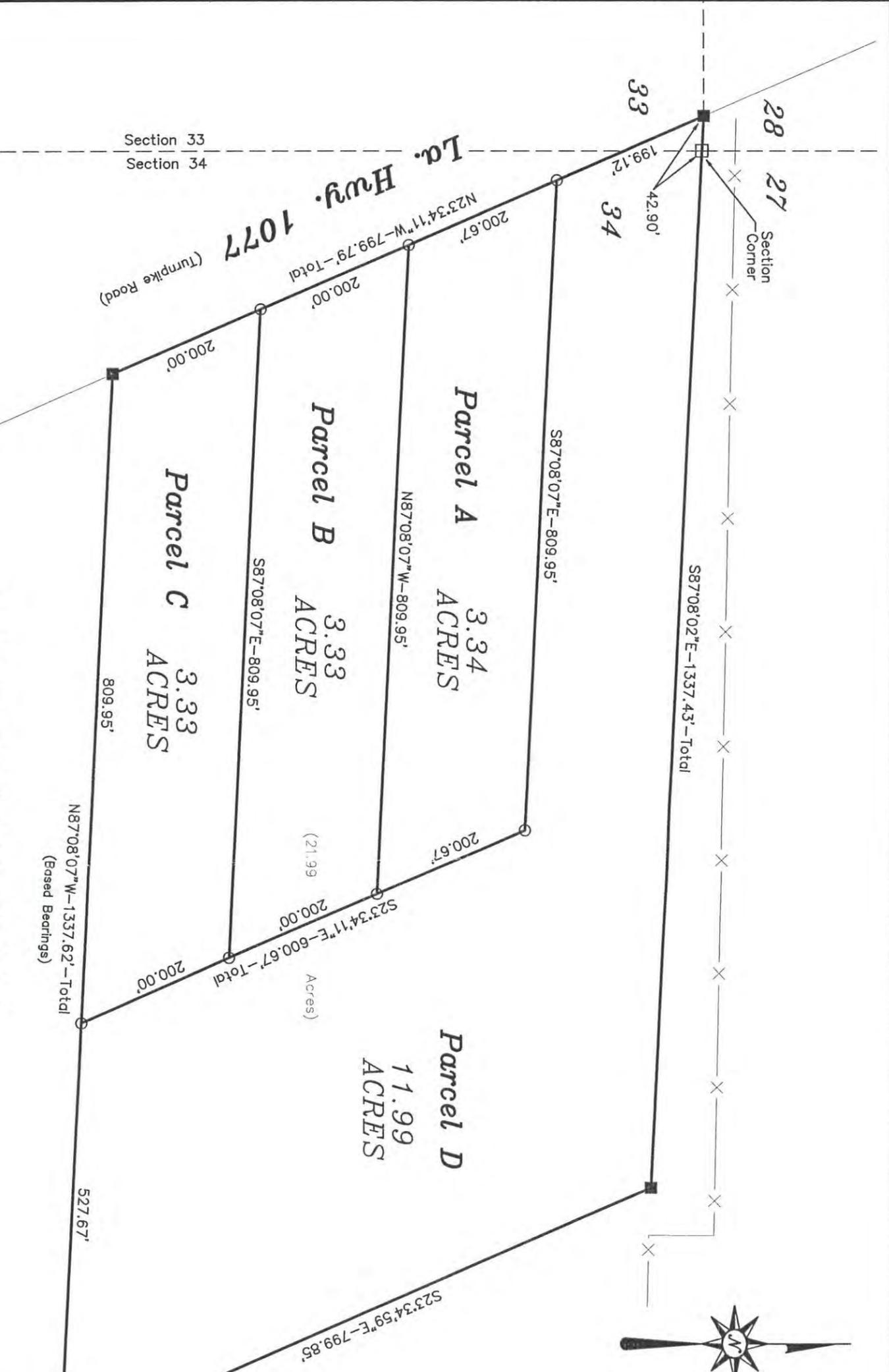
DATE **12-09-2020** FILE NO. **5978B**



A Minor Subdivision of an 21.99 Acre Parcel of Land, into Parcels A, B, C & D, situated in Sections 33 & 34, 1-6-S, R-10-E, St. Tammany Parish, Louisiana

Reference: A Survey Map of Subject Property by Jeron Fitzmorris, Dated 3-2-2006, Job #11736 (Based Bearing)

This property is located in Flood Zone C, Per FEMA Map No. 225205 0205 C, Dated 10-17-1989



LEGEND:  
■ = Fnd. 1/2" Iron Pipe  
○ = Set 1/2" Iron Rod  
—X— = Fence

**LS** Land Surveying, LLC  
518 N. Columbia Street  
Covington, LA 70433  
(985) 842-6271 office (985) 848-0355 fax

MAP PREPARED FOR  
**RONDEN PROPERTIES, LLC**

SCALE: 1" = 150'	DRAWN BY: JWG
DATE: 9-16-2020	
Situating in Sections 33 & 34, T6S-R10E, St. Tammany Parish, Louisiana	
Revised: 09-29-2020 (name change)	DRAWN NUMBER 20018

SERVICES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE. SERVICES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST, AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS. THIS MAP IS IN ACCORDANCE WITH THE STANDARD DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A "D" SURVEY AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46:141. **BRUCE M. BUTLER, III**

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED.

**Bruce M. Butler III**  
12.1.2020  
BRUCE M. BUTLER III  
L.A. PROFESSIONAL LAND SURVEYOR  
LIC. NO. 4894

(Must verify prior to Construction)  
Building Setbacks:  
Front: \*\*  
Side: \*\*  
Rear: \*\*  
Side Street: \*\*

**MINOR SUBDIVISION STAFF ANALYSIS REPORT**

*(As of October 4th, 2022)*

*Meeting Date: October 11th, 2022*

CASE NO.: 2022-3067-MSP

Owners & Representative: James Strahan, Jr.

ENGINEER/SURVEYOR: Cutrer Land Surveying, LLC

SECTION: 4

TOWNSHIP: 8

RANGE: 14

WARD: 9

PARISH COUNCIL DISTRICT: 11

TYPE OF DEVELOPMENT:      SUBURBAN (Residential acreage between 1-5 acres)  
                                   RURAL (Low density residential 5 acres or more)  
                                   OTHER(PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: The parcel is located on the west side of Chris Kennedy Road, north of Pine Street Extension, Pearl River, Louisiana.

SURROUNDING LAND USES: Residential & Undeveloped

TOTAL ACRES IN DEVELOPMENT: 14.02 Acres

NUMBER OF LOTS/PARCELS: Parcel E into Parcels E1, E2, E3 & E4

ZONING: A-2 Suburban District

**STAFF COMMENTARY:**

**Department of Planning & Development and Department of Engineering**

The applicant is requesting to create four (4) parcels from parcel E (14.02 acres). The minor subdivision request requires a public hearing due to:

- Parcel E was previously part of a minor subdivision approved in March 2022 (2022-2784-MSA).

The request shall be subject to the above and below comments:

1. Amend survey (drawing of showing the Parcels) to match with the written description of the request for minor subdivision.

T8-R14E

4

CHRIS KENNEDY RD



**GENERAL NOTES:**

The Basis of Bearings is the Louisiana State Plane Coordinate System, NAD83, LA South Zone. State Plane Coordinates were determined by Static GPS Observations processed through OPUS.

No Above/Below Grade Utilities were located in the survey. An LA 811 "One Call" is recommended before you dig.

This Minor Subdivision is based on the previous survey by J.V. Burkes 7 Assoc. Dated 05-25-2021, Drawing No. 20210111.

**REFERENCE SURVEYS:**

- 1.) A Survey By J.V. Burkes & Associates, Dated 1/19/17, Survey No. 20170032.
- 2.) A Survey By Bruce Butler, Dated 10/4/12, Survey No. 15701.
- 3.) A Survey of a 22.019 Acre Parcel By J.V. Burkes & Assoc. Dwg. No. 20210111, Dated 5-25-2021.
- 4.) 22.02 Acre Minor Subdivision Filed 3-31-2022, File Number 6104A.

**REFERENCE POINTS**

R.P.#1  
 N=686816.29  
 E=3764134.35  
 Convergence Angle= 00°45'59.01"  
 Combined Scale Factor= 0.999947525  
 Lat. 30.37971182  
 Long. -89.800588762

R.P.#2  
 N=686267.94  
 E=3764136.64  
 Convergence Angle= 00°45'58.98"  
 Combined Scale Factor= 0.999951107  
 Lat. 30.378204137  
 Long. -89.800604760

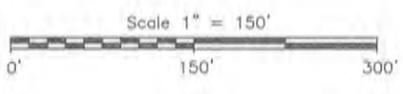
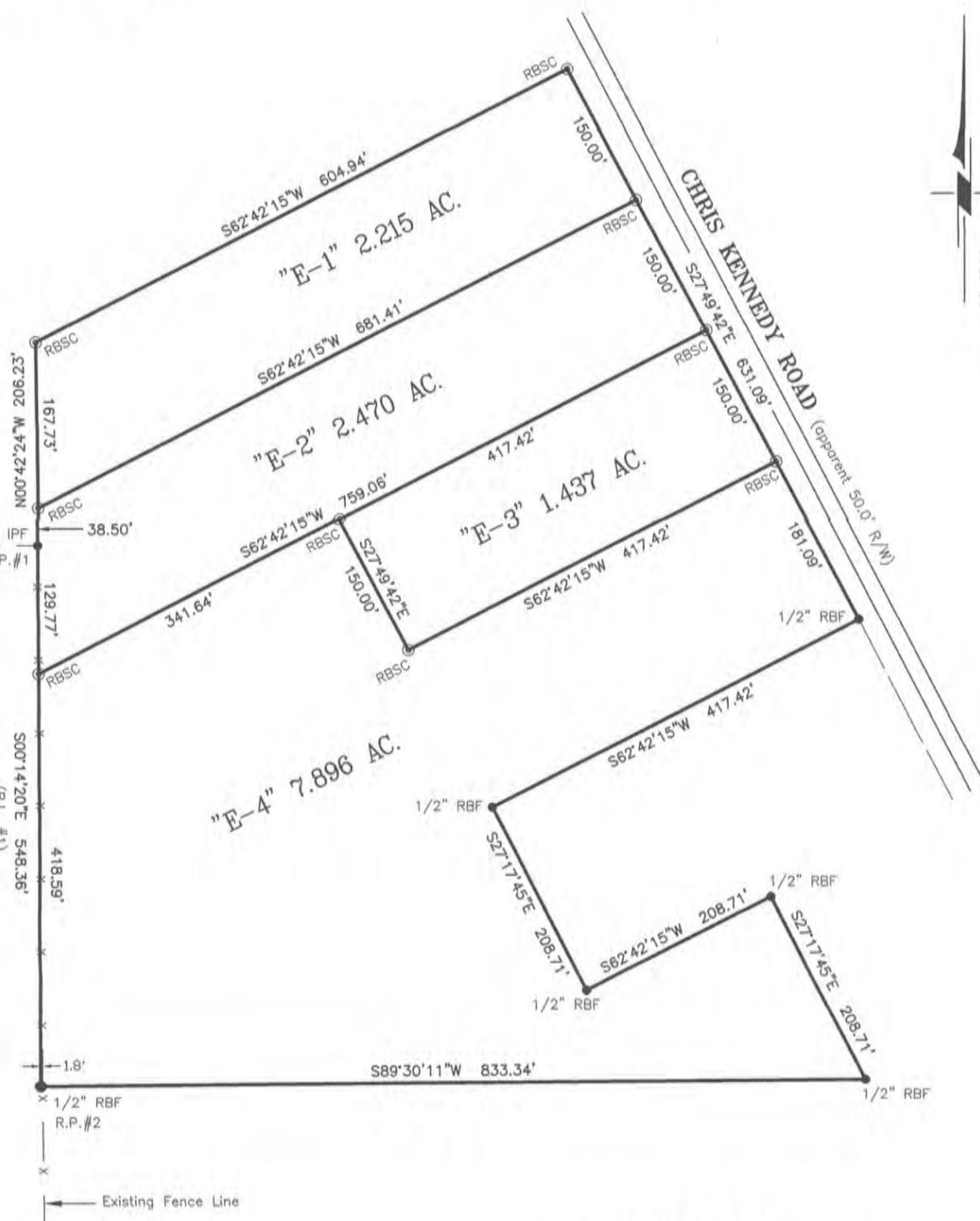
1/4 Section Corner  
 Common to Sections  
 4 & 5, T-8-S, R-14-E,  
 Greensburg Land District,  
 ST. Tammany Parish, LA  
 (Fnd. Old Wood & 1" Iron Pipe)

**LEGEND**  
 POB= Point of Beginning  
 RBSC= Rebar Set w/Cap  
 (PLS# 5253)  
 RBF= Rebar Found  
 IPF= Iron Pipe Found  
 R.P.= Reference Point  
 R.L.= Reference Line



**BUILDING SETBACKS**  
 (\* Verify Prior to Construction)  
 Front Setback..... FSB  
 Side Setback..... SSB  
 Rear Setback..... RSB  
 SSSB  
 NOTE

F.I.R.M. No. 2252050300C  
 F.I.R.M. Date 10/16/1989  
 ZONE: C B.F.E. N/A  
 \* Verify prior to construction with  
 Local Governing Body.



**APPROVED:**

CHAIRMAN OF PLANNING COMMISSION	DATE
SECRETARY OF PLANNING COMMISSION	DATE
DIRECTOR OF ENGINEERING	DATE
CLERK OF COURT	DATE
DATE FILED	FILE NO.

**TOTAL AREA: 610711.2 SQ.FT. OR 14.02 ACRES**

CERTIFIED TO:  
**JAMES NORRIS STRAHAN, JR.**

AN AMENDED MINOR SUBDIVISION OF PARCEL "E" BEING 14.02 ACRES INTO PARCEL "E1" 2.215 ACRES, PARCEL "E2" 2.470 ACRES, PARCEL "E3" 1.437 AND PARCEL "E4" 7.896 ACRES IN SECTION 4, TOWNSHIP 8 SOUTH, RANGE 14 EAST, GREENSBURG LAND DISTRICT, ST. TAMMANY PARISH, LOUISIANA

I CERTIFY THAT THIS BOUNDARY SURVEY, REFURBISHMENT, MONUMENTATION, AND RECORD THEREOF WAS MADE BY ME OR MY ASSISTANTS UNDER MY SUPERVISORY DIRECTION AND THAT THE SAME IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



BASIS OF BEARINGS: LA SPCS, NAD83, LA SOUTH ZONE 1702	DRAWING DATE: AUG. 18, 2022	
SCALE: 1" = 150'	SURVEY CLASS: "C"	FIELD WORK: DEC. 01, 2021
DRAWING NO: 1404-22_2	DRAWN BY: BAC	FIELD CREW: CHC, CHC

*Chad H. Cutrer*  
 CHAD H. CUTRER, PLS# 5253

77 H C LOWE ROAD, POPLARVILLE, MS | 601.746.5183  
 WWW.CUTRERLANDSURVEYING.COM

**GENERAL NOTES:**

The Basis of Bearings is the Louisiana State Plane Coordinate System, NAD83, LA South Zone. State Plane Coordinates were determined by Static GPS Observations processed through OPUS.

No Above/Below Grade Utilities were located in the survey. An LA 811 "One Call" is recommended before you dig.

This Minor Subdivision is based on the previous survey by J.V. Burkes 7 Assoc. Dated 05-25-2021, Drawing No. 20210111.

**REFERENCE SURVEYS:**

- 1.) A Survey By J.V. Burkes & Associates, Dated 1/19/17, Survey No. 20170032.
- 2.) A Survey By Bruce Butler, Dated 10/4/12, Survey No. 15701.
- 3.) A Survey of a 22.019 Acre Parcel By J.V. Burkes & Assoc. Dwg. No. 20210111, Dated 5-25-2021.

**REFERENCE POINTS**

R.P.#1  
 N=686816.29  
 E=3764134.35  
 Convergence Angle= 00°45'59.01"  
 Combined Scale Factor= 0.999947525  
 Lat. 30.37971182  
 Long. -89.800588762

R.P.#2  
 N=688131.10  
 E=3764118.13  
 Convergence Angle= 00°45'59.02"  
 Combined Scale Factor= 0.999947943  
 Lat. 30.38332728  
 Long. -89.800584423

1/4 Section Corner  
 Common to Sections  
 4 & 5, T-8-S, R-14-E,  
 Greensburg Land District,  
 ST. TAMMANY PARISH, LA  
 (Fnd. Old Wood & 1" Iron Pipe)



**BUILDING SETBACKS**  
 (\* Verify Prior to Construction)

Front Setback..... FSB  
 Side Setback..... SSB  
 Rear Setback..... RSB  
 SSSB  
 NOTE

F.I.R.M. No. 2252050300C  
 F.I.R.M. Date 10/16/1989  
 ZONE: C B.F.E. N/A  
 \* Verify prior to construction with  
 Local Governing Body.



**LEGEND**

POB= Point of Beginning  
 RBSC= Rebar Set w/Cap  
 (PLS# 5253)  
 RBF= Rebar Found  
 IPF= Iron Pipe Found  
 R.P.= Reference Point  
 R.L.= Reference Line

**APPROVED:**

SECRETARY OF PLANNING COMMISSION \_\_\_\_\_ DATE  
 DIRECTOR OF ENGINEERING 3/25/22 DATE  
 CLERK OF COURT Monique T. Bringol DATE  
 DATE FILED 03-31-2022 FILE NO. 6104A

TOTAL AREA: 959147.64 SQ.FT. OR 22.02 ACRES

CERTIFIED TO:

**JAMES NORRIS  
 STRAHAN, JR.**

A MINOR SUBDIVISION OF A 22.02 ACRE PARCEL INTO PARCEL "A" 2.00 ACRES, PARCEL "B" 2.00 ACRES, PARCEL "C" 2.00 ACRES, PARCEL "D" 2.00 ACRES AND PARCEL "E" 14.02 ACRES IN SECTION 4, TOWNSHIP 8 SOUTH, RANGE 14 EAST, GREENSBURG LAND DISTRICT, ST. TAMMANY PARISH, LOUISIANA

I CERTIFY THAT THIS BOUNDARY SURVEY, REFURBISHMENT, MONUMENTATION, AND RECORD THEREOF WAS MADE BY ME OR MY ASSISTANTS UNDER MY SUPERVISORY DIRECTION AND THAT THE SAME IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



BASIS OF BEARINGS: LA SPCS, NAD83, LA SOUTH ZONE 1702	DRAWING DATE: FEB. 14, 2022
SCALE: 1"= 200'	SURVEY CLASS: "C" FIELD WORK: DEC. 01, 2021
DRAWING NO: 1404-22	DRAWN BY: BAC FIELD CREW: CHC, CHC

*CHC*  
 CHAD H. CUTRER, PLS# 5253

## MINOR SUBDIVISION STAFF ANALYSIS REPORT

(As of October 4th, 2022)

Meeting Date: October 11th, 2022

CASE NO.: 2022-3076-MSP

Owners & Representative: Roy & Shannon McLaughlin.

ENGINEER/SURVEYOR: Lester Martin, Jr. & Associates, LLC

SECTION: 19

TOWNSHIP: 8S

RANGE: 13E

WARD: 7

PARISH COUNCIL DISTRICT: 7

TYPE OF DEVELOPMENT:      SUBURBAN (Residential acreage between 1-5 acres)  
                                   RURAL (Low density residential 5 acres or more)  
                                   OTHER(PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: The parcel is located on the south side of Miss Lou Road, east of LA highway 434, Lacombe, Louisiana.

SURROUNDING LAND USES: Residential & Undeveloped

TOTAL ACRES IN DEVELOPMENT: 4.04 Acres

NUMBER OF LOTS/PARCELS: Lot 4 into Lots 4-A & 4-B

ZONING: A-2 Suburban District

### STAFF COMMENTARY:

#### **Department of Planning & Development and Department of Engineering**

The applicant is requesting to create two (2) lots from lot 4 (4.04 acres). The minor subdivision request requires a public hearing due to:

- Lot 4-B is proposed to be accessed from a 35 foot Egress, Ingress & Utility Easement, requiring approval from the Planning Commission.

The request shall be subject to the above and below comments:

1. As per 911 Communication District the survey should be modified as follow: Miss Lou Road **Street**.

2022-3076-MSP

434

2B

18

1 17

LITTLE DIXIE RANCH RD

MISS LOU ST

1

T8 - R13E

1

2

3

4

5

6

19

20





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**MINOR SUBDIVISION STAFF ANALYSIS REPORT**

*(As of October 4th, 2022)*

*Meeting Date: October 11th, 2022*

CASE NO.: 2022-3078-MSP

Owners & Representative: Gottes Wald, LLC-Paul Dietzel.

ENGINEER/SURVEYOR: Land Surveying, LLC

SECTION: 22

TOWNSHIP: 6S

RANGE: 11E

WARD: 3

PARISH COUNCIL DISTRICT: 2

TYPE OF DEVELOPMENT:      \_\_\_ SUBURBAN (Residential acreage between 1-5 acres)  
                                    X   RURAL (Low density residential 5 acres or more)  
                                  \_\_\_ OTHER(PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: The parcel is located on the north side of Johnsen Road, east of LA Highway 437, Covington, Louisiana.

SURROUNDING LAND USES: Residential & Undeveloped

TOTAL ACRES IN DEVELOPMENT: 20.16 Acres

NUMBER OF LOTS/PARCELS: Parcel 3A-4 into Parcels 3A-4A & 3A-4B

ZONING: A-1 Suburban District

**STAFF COMMENTARY:**

**Department of Planning & Development and Department of Engineering**

The applicant is requesting to create two (2) parcels from parcel 3A-4 (20.16 acres). The minor subdivision request requires a public hearing due to:

- Parcel 3A-4 was previously part of a minor subdivision approved in October 2021 (2021-2495-MSP).

The request shall be subject to the above and below comments:

1. Provide signature line for the Chairman of the Planning Commission.

LEERD

437

22

23

T6-R11E

MILLING LN

ROSWELL RD

SAN BARRD LN

JOHNSEN RD

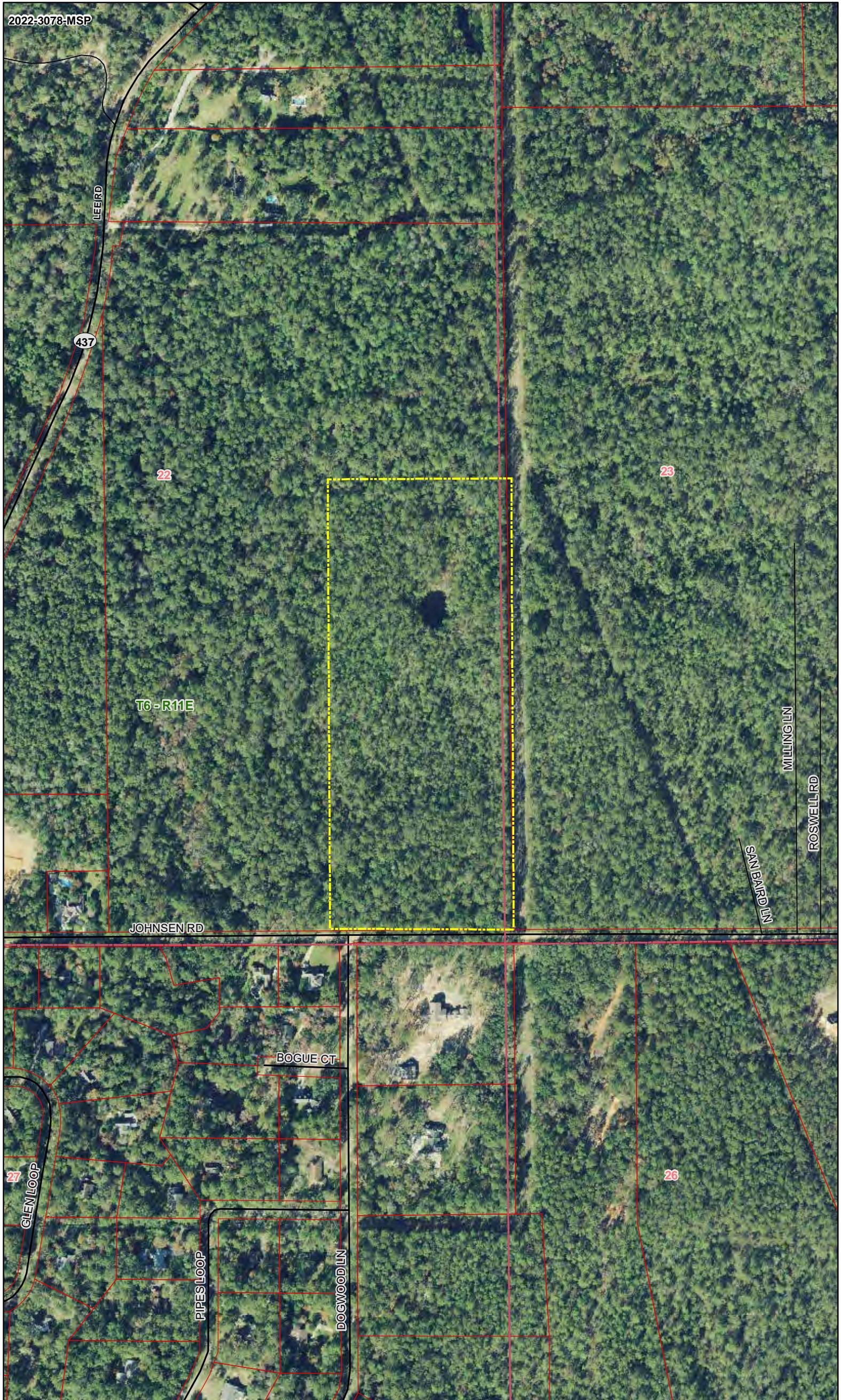
BOGUE CT

26

27  
CLEN LOOP

PIPES LOOP

DOGWOOD LN



A Minor Subdivision of Parcel 3A-4, into Parcels 3A-4A & 3A-4B, Section 22, T6S-R11E, St. Tammany Parish, Louisiana

FINAL APPROVAL

DIR. DEPT. OF ENGINEERING

SECRETARY PLANNING COMM.

CLERK OF COURT

DATE FILE NO.



SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST, AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS.

THIS MAP IS IN ACCORDANCE WITH THE STANDARD DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A "D" SURVEY AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46:1X1.

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED.

*Bruce M. Butler, III*  
BRUCE M. BUTLER III  
L.A. PROFESSIONAL LAND SURVEYOR  
LIC. NO. 4894



Land Surveying, LLC  
518 N. Columbia Street  
Covington, LA 70433  
(985) 842-6271 office (985) 848-0355 fax

MAP PREPARED FOR

**GOTTES WALD, LLC**

SCALE: 1" = 250'  
DATE: 9-14-2022  
DRAWN BY: JWG

Section 22, T-6-S, R-11-E, St. Tammany Parish, La.  
SURVEY NUMBER  
20958

Reference: A Resub Map by this Firm, File Date 10-25-2021, File No. 6057B, Clerk of Courts Office (Based Bearings)

The P.O.B. is described being North-40.0' from the Section Corner common to Sections 22, 23, 26 & 27, T-6-S, R-11-E, St. Tammany Parish, La.

This property is located in Flood Zone B & C, per Fema Map No. 225205 0150 C, Dated 10-17-1989

LEGEND:

- = Set 1/2" Iron Rod
- = Fnd. 5/8" Iron Rod
- = Fnd. 1/2" Iron Rod
- ⊙ = Fnd. 1" Iron Pipe
- = Fnd. Conc. Hwy. Mon.
- ⊗ = Fnd. 1 1/2" Iron Pipe
- ⊠ = Fnd. 2" Iron Pipe
- ▲ = Fnd. 1/2" Iron Pipe
- E— = Powerline

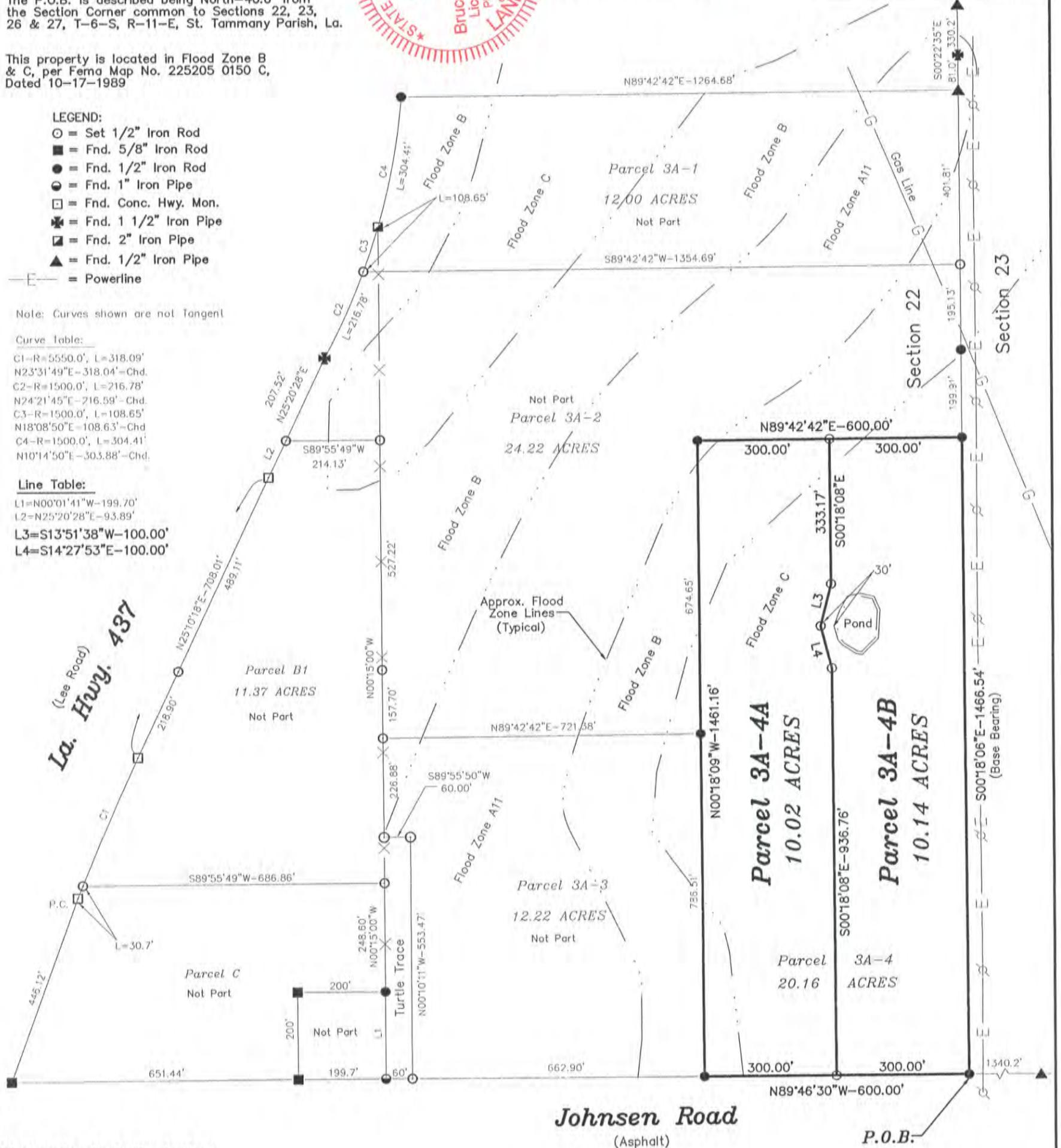
Note: Curves shown are not Tangent

Curve Table:

- C1-R=5550.0', L=318.09'
- N23°31'49"E-318.04'-Chd.
- C2-R=1500.0', L=216.78'
- N24°21'45"E-216.59'-Chd.
- C3-R=1500.0', L=108.65'
- N18°08'50"E-108.63'-Chd.
- C4-R=1500.0', L=304.41'
- N10°14'50"E-303.88'-Chd.

Line Table:

- L1=N00°01'41"W-199.70'
- L2=N25°20'28"E-93.89'
- L3=S13°51'38"W-100.00'
- L4=S14°27'53"E-100.00'



(Must verify prior to Construction)  
Building Setbacks:  
Front:  
Side:  
Rear:  
Side Street:

Some items shown are not to scale for clarity, dimensions shown prevail pver scale

A Minor Subdivision of Parcel 3A, into Parcels 3A-1, 3A-2, 3A-3 & 3A-4, Section 22, T6S-R11E, St. Tammany Parish, Louisiana

Final Approval:

Director, Dept. of Engineering

Secretary, Planning Commission

Chairman, Planning Commission

Clerk of Court

Amy White, Deputy Clerk

10.25.2021  
Date Filed

6057B  
Map File No.



SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST, AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS.

THIS MAP IS IN ACCORDANCE WITH THE STANDARD DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A "D" SURVEY AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46:1X1.

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED.

**BRUCE M. BUTLER III**  
PROFESSIONAL  
9-24-2021

BRUCE M. BUTLER III  
L.A. PROFESSIONAL LAND SURVEYOR  
LIC. NO. 4894

**LS** Land Surveying, LLC  
518 N. Columbia Street  
Covington, LA 70433  
(985) 842-6277 office (985) 848-0355 fax

MAP PREPARED FOR  
**CALLENDER & FITZJACKEL, LLC**

SCALE: 1" = 250'

DATE: 6-30-2021

DRAWN BY: JWG

Section 22, T-6-S, R-11-E, St. Tammany Parish, La.

Revised: 8-23-2021

SURVEY NUMBER: 20431

Reference:

- 1) Survey Plat by Jeron Fitzmorris, Dated 12-4-1981, #2538
- 2) A Resub Map by this Firm, File Date 9-29-2020, File No. 5958E, Clerk of Courts Office (Based Bearings)
- 3) A Resub Map by this Firm, File Date 5-3-2021, File No. 6018B, Clerk of Courts Office

Reference calls not shown

The P.O.B. is described being North-40.0'; West-1263.0'; from the Section Corner common to Sections 22, 23, 26 & 27, T-6-S, R-11-E, St. Tammany Parish, La.

LEGEND:

- = Set 1/2" Iron Rod
- = Fnd. 5/8" Iron Rod
- = Fnd. 1/2" Iron Rod
- ◉ = Fnd. 1" Iron Pipe
- = Fnd. Conc. Hwy. Mon.
- ⊗ = Fnd. 1 1/2" Iron Pipe
- ⊠ = Fnd. 2" Iron Pipe
- ▲ = Fnd. 1/2" Iron Pipe
- X— = Fence
- E— = Powerline

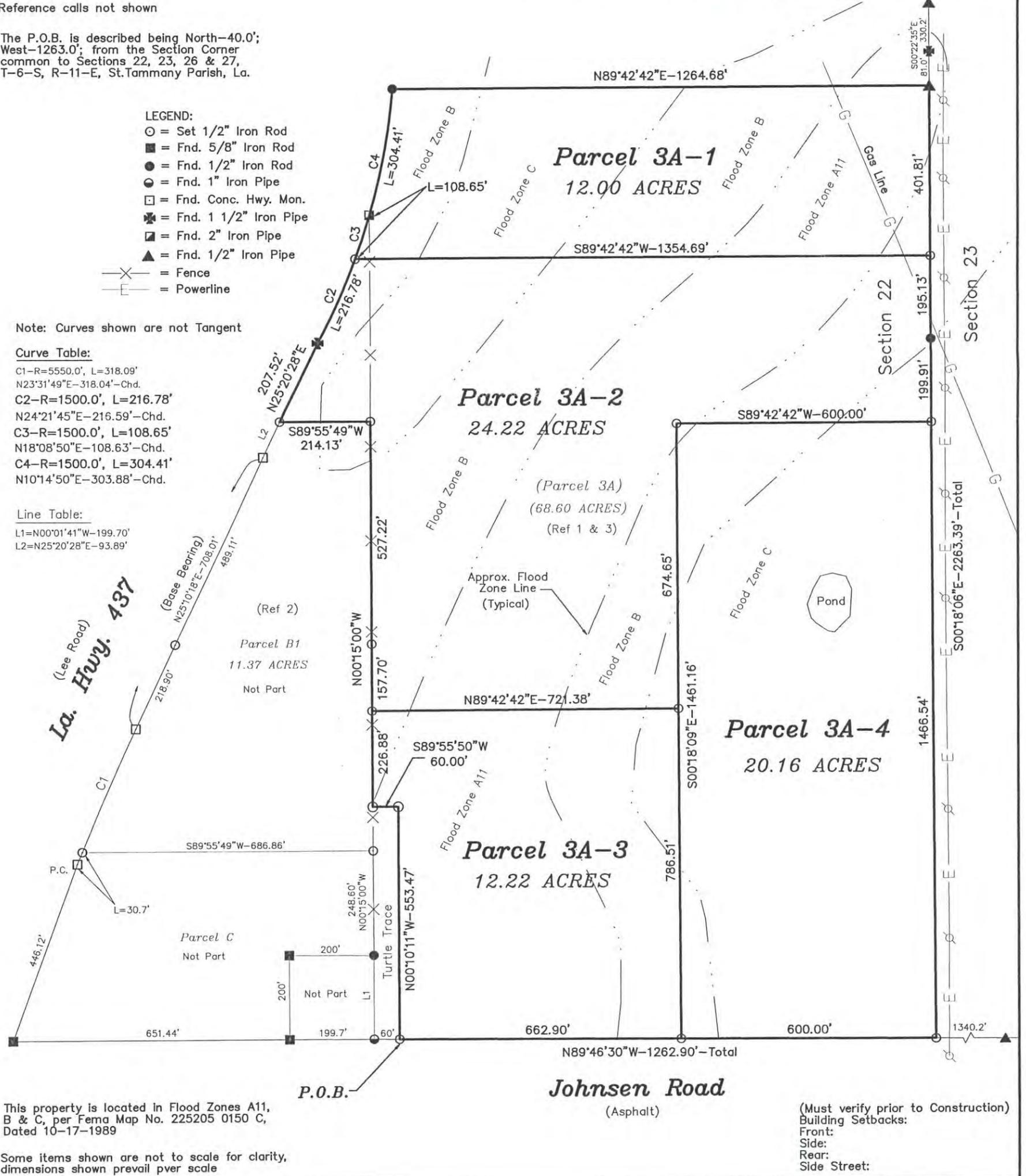
Note: Curves shown are not Tangent

Curve Table:

- C1-R=5550.0', L=318.09'
- N23°31'49"E-318.04'-Chd.
- C2-R=1500.0', L=216.78'
- N24°21'45"E-216.59'-Chd.
- C3-R=1500.0', L=108.65'
- N18°08'50"E-108.63'-Chd.
- C4-R=1500.0', L=304.41'
- N10°14'50"E-303.88'-Chd.

Line Table:

- L1=N00°01'41"W-199.70'
- L2=N25°20'28"E-93.89'



This property is located in Flood Zones A11, B & C, per Fema Map No. 225205 0150 C, Dated 10-17-1989

Some items shown are not to scale for clarity, dimensions shown prevail over scale

(Must verify prior to Construction)  
Building Setbacks:  
Front:  
Side:  
Rear:  
Side Street:

**MINOR SUBDIVISION STAFF ANALYSIS REPORT**

*(As of October 4th, 2022)*

*Meeting Date: October 11th, 2022*

CASE NO.: 2022-3083-MSP

Owners & Representative: Shane & Allison Hillman

ENGINEER/SURVEYOR: Randall W. Brown & Associates, Inc

SECTION:34

TOWNSHIP: 6S

RANGE: 10E

WARD: 1

PARISH COUNCIL DISTRICT: 3

TYPE OF DEVELOPMENT:     \_\_\_X\_\_\_ SUBURBAN (Residential acreage between 1-5 acres)  
                                   \_\_\_R\_\_\_ RURAL (Low density residential 5 acres or more)  
                                   \_\_\_O\_\_\_ OTHER(PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: The parcel is located on the north side of Stanga Road, west of LA Highway 1077, Covington, Louisiana.

SURROUNDING LAND USES: Residential & Undeveloped

TOTAL ACRES IN DEVELOPMENT: 2.88 Acres

NUMBER OF LOTS/PARCELS: Lot S2 into Lots S2-1 & S2-2

ZONING: A-3 Suburban District

**STAFF COMMENTARY:**

**Department of Planning & Development and Department of Engineering**

The applicant is requesting to create two (2) lots from lot S2 (2.88 acres). The minor subdivision request requires a public hearing due to:

- Lot S2 was previously part of a minor subdivision approved in July 2022 (2022-2994-MSA).

JOINER WYMER RD

1077

TUSCANY WEST BLVD

TURNPIKE RD

T6 - R10E

33

34

STANGARD

T7 - R10E 4

3

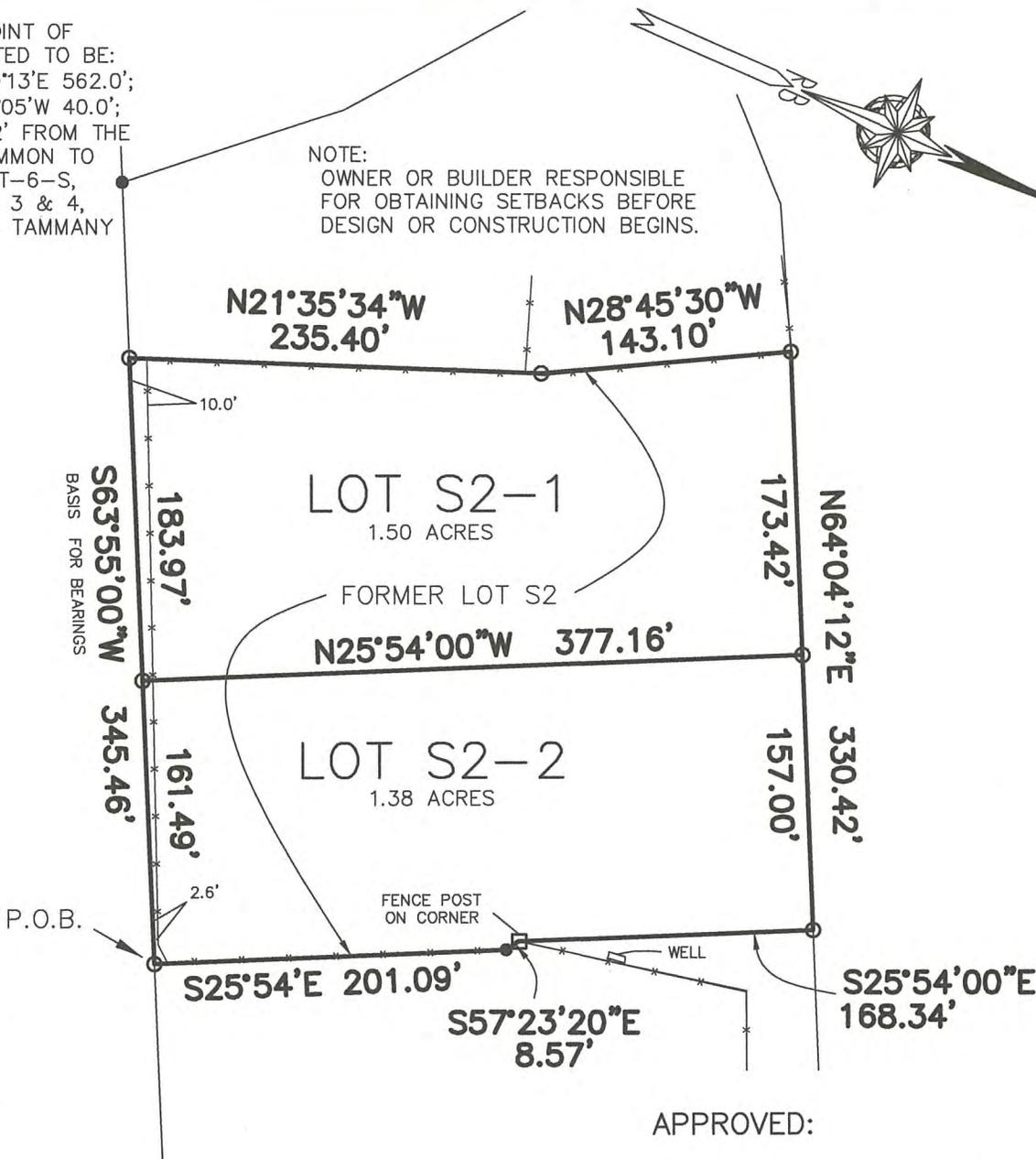


P.O.B. NOTE: THE POINT OF BEGINNING IS REPORTED TO BE:  
 N00°11'W 282.0'; N80°13'E 562.0';  
 N00°11'W 437.3'; N26°05'W 40.0';  
 AND N63°55'E 405.32' FROM THE SECTION CORNER COMMON TO SECTIONS 33 & 34, T-6-S, R-10-E & SECTIONS 3 & 4, T-7-S, R-10-E, ST. TAMMANY PARISH, LOUISIANA.

NOTE:  
 OWNER OR BUILDER RESPONSIBLE FOR OBTAINING SETBACKS BEFORE DESIGN OR CONSTRUCTION BEGINS.



STANGA ROAD



REFERENCE 1:  
 SURVEY By Bruce Butler, PLS  
 Number: 15986  
 Dated: 7-13-2011

REFERENCE 2:  
 SURVEY By Fontcuberta, PLS  
 Job No.: 86-1383  
 Dated: 5-14-1986

REFERENCE 3:  
 SURVEY By Fontcuberta, PLS  
 Job No.: 986529  
 Dated: 1-21-1998

REFERENCE 4:  
 SURVEY By Fontcuberta, PLS  
 Job No.: 463992  
 Dated: 5-23-2006

REFERENCE 5:  
 RESUB. By Randall W. Brown, PLS  
 Map File No.: 6139D  
 Date Filed: 7-26-2022

Note: I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described IS NOT located in a special flood hazard area, it is located in Flood Zone C.

FIRM Panel# 2252050205C Rev. 10-17-1989

APPROVED:

CHAIRMAN PARISH PLANNING COMMISSION

SECRETARY PARISH PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

CLERK OF COURT

DATE FILED FILE NO.

HWY 1077 (SIDE)

- DENOTES 1/2" IRON ROD TO BE SET UNLESS OTHERWISE NOTED
- DENOTES 1/2" IRON ROD FND UNLESS OTHERWISE NOTED

Resubdivision of  
 LOT S2 SITUATED IN  
 SECTION 34, TOWNSHIP 6 SOUTH, RANGE 10 EAST  
 ST. TAMMANY PARISH  
 INTO  
 LOTS S2-1 & S2-2

NO ATTEMPT HAS BEEN MADE BY RANDALL W. BROWN & ASSOC., INC. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT.

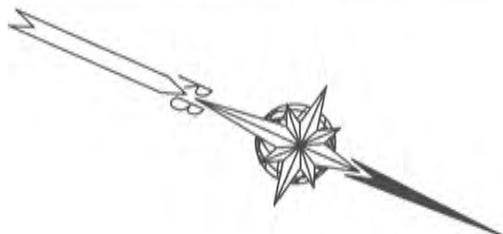
SURVEYED IN ACCORDANCE WITH THE LOUISIANA "APPLICABLE STANDARDS FOR PROPERTY BOUNDARY SURVEYS" FOR A CLASS C SURVEY.

Randall W. Brown, P.L.S.  
 Professional Land Surveyor  
 LA Registration No. 04586

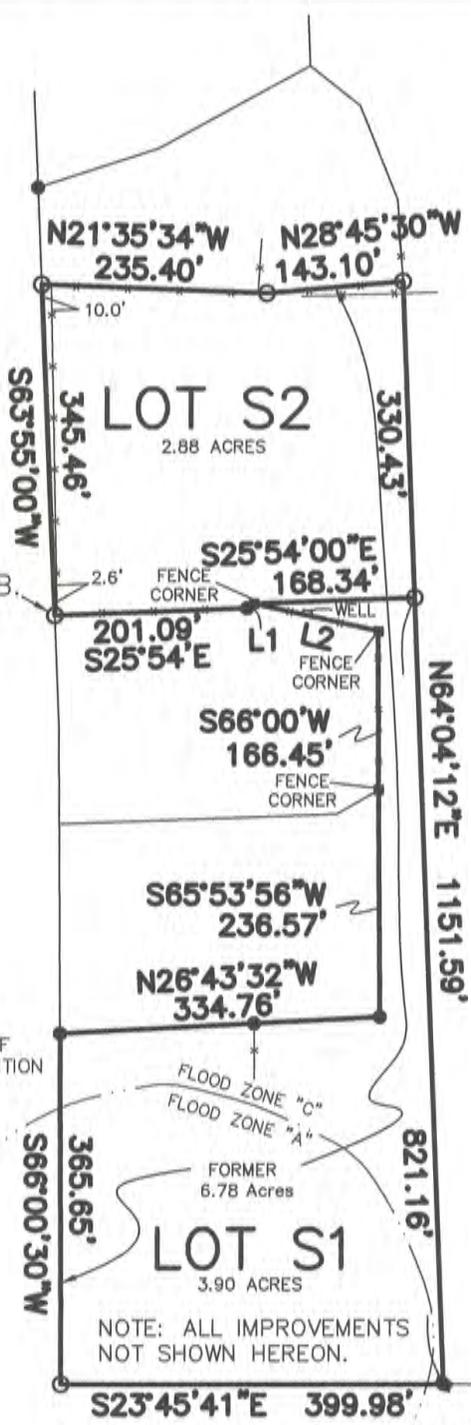
**Randall W. Brown & Associates, Inc.**  
 Professional Land Surveyors  
 228 W. Causeway Approach, Mandeville, LA 70448  
 (985) 624-5368 FAX (985) 624-5309  
 info@brownsurveys.com

Date: SEPTEMBER 19, 2022  
 Survey No. 22572  
 Project No. (CR5) D22175.TXT

Scale: 1" = 100' ±  
 Drawn By: J.E.D.  
 Revised:



STANGA ROAD



P.O.B. NOTE: THE POINT OF BEGINNING IS REPORTED TO BE:  
 N00°11'W 282.0'; N80°13'E 562.0';  
 N00°11'W 437.3'; N26°05'W 40.0';  
 AND N63°55'E 405.32' FROM THE SECTION CORNER COMMON TO SECTIONS 33 & 34, T-6-S, R-10-E & SECTIONS 3 & 4, T-7-S, R-10-E, ST. TAMMANY PARISH, LOUISIANA.

APPROVED:

SECRETARY PARISH PLANNING COMMISSION  
 DIRECTOR OF THE DEPARTMENT OF ENGINEERING  
 Clerk of Court  
 DATE FILED: 07-26-2022 FILE NO.: 6139 D  
 Monique T Bringol, Deputy Clerk

NOTE: APPROXIMATE LOCATION OF FEMA FLOOD ZONE TRANSITION LINE

- REFERENCE 1:  
SURVEY By Bruce Butler, PLS  
Number: 15986  
Dated: 7-13-2011
- REFERENCE 2:  
SURVEY By Fontcuberta, PLS  
Job No.: 86-1363  
Dated: 5-14-1986
- REFERENCE 3:  
SURVEY By Fontcuberta, PLS  
Job No.: 986529  
Dated: 1-21-1998
- REFERENCE 4:  
SURVEY By Fontcuberta, PLS  
Job No.: 463992  
Dated: 5-23-2006

NOTE: ALL IMPROVEMENTS NOT SHOWN HEREON.

72163 LA. HWY 1077

NOTE: OWNER OR BUILDER RESPONSIBLE FOR OBTAINING SETBACKS BEFORE CONSTRUCTION BEGINS.

LINE	BEARING	DISTANCE
L1	N57°23'20"W	8.57'
L2	N11°29'30"W	133.1'

- DENOTES 1/2" IRON ROD TO BE SET UNLESS OTHERWISE NOTED
- DENOTES 1/2" IRON ROD FND UNLESS OTHERWISE NOTED

Note: I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described IS located in a special flood hazard area, it is located in Flood Zone A & C.

FIRM Panel# 2252050205C Rev. 10-17-1989

**Resubdivision of  
 A 6.78 ACRE PARCEL SITUATED IN  
 SECTION 34, TOWNSHIP 6 SOUTH, RANGE 10 EAST  
 INTO  
 LOTS S1 & S2**

NO ATTEMPT HAS BEEN MADE BY RANDALL W. BROWN & ASSOC., INC. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT.

SURVEYED IN ACCORDANCE WITH THE LOUISIANA "APPLICABLE STANDARDS FOR PROPERTY BOUNDARY SURVEYS" FOR A CLASS C SURVEY.

REG. NO. 04586  
 REGISTERED PROFESSIONAL  
 RANDALL W. BROWN  
 RANDALL W. BROWN, P.L.S.  
 Professional Land Surveyor  
 LA Registration No. 04586

**Randall W. Brown & Associates, Inc.**  
 Professional Land Surveyors  
 228 W. Causeway Approach, Mandeville, LA 70448  
 (985) 624-5368 FAX (985) 624-5309  
 info@brownsurveys.com

Date: MAY 9, 2022  
 Survey No. 22175  
 Project No. (CR5) D22175.TXT  
 Scale: 1" = 200' ±  
 Drawn By: J.E.D.  
 Revised:

# **RESUBDIVISION REVIEW**

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**RESUBDIVISION STAFF ANALYSIS REPORT**  
*(As of October 4th, 2022)*  
*Meeting Date: October 11, 2022*

CASE FILE NO: 2022-3054-MRP

NAME OF SUBDIVISION: The Willows

LOTS BEING DIVIDED: Lots 24 & 25 into Lot 24-A

SECTION: 3

WARD: 1

TOWNSHIP: 7S

PARISH COUNCIL DISTRICT: 3

RANGE: 10E

PROPERTY LOCATION: The property is located on the south side of Rue Charlotte, east of Willow Bend Dr, Covington, Louisiana.

ZONING: PUD Planned Unit Development Overlay

PROPERTY OWNER: Stephen P. & Louise C. Higgins

**STAFF COMMENTARY:**

**Department of Planning & Development and Department of Engineering**

The applicant is requesting to create one (1) lot from lots 24 & 25. The resubdivision request requires a public hearing due to:

- As stated in the restrictive covenants of the approved plat, no lots shall be further resubdivided without approval from the Planning Commission.

The request shall be subject to the below comments:

1. Add signature line for the Chairman of the Planning Commission.

NORTHPOINTE CT

RUE CHARLOTTE

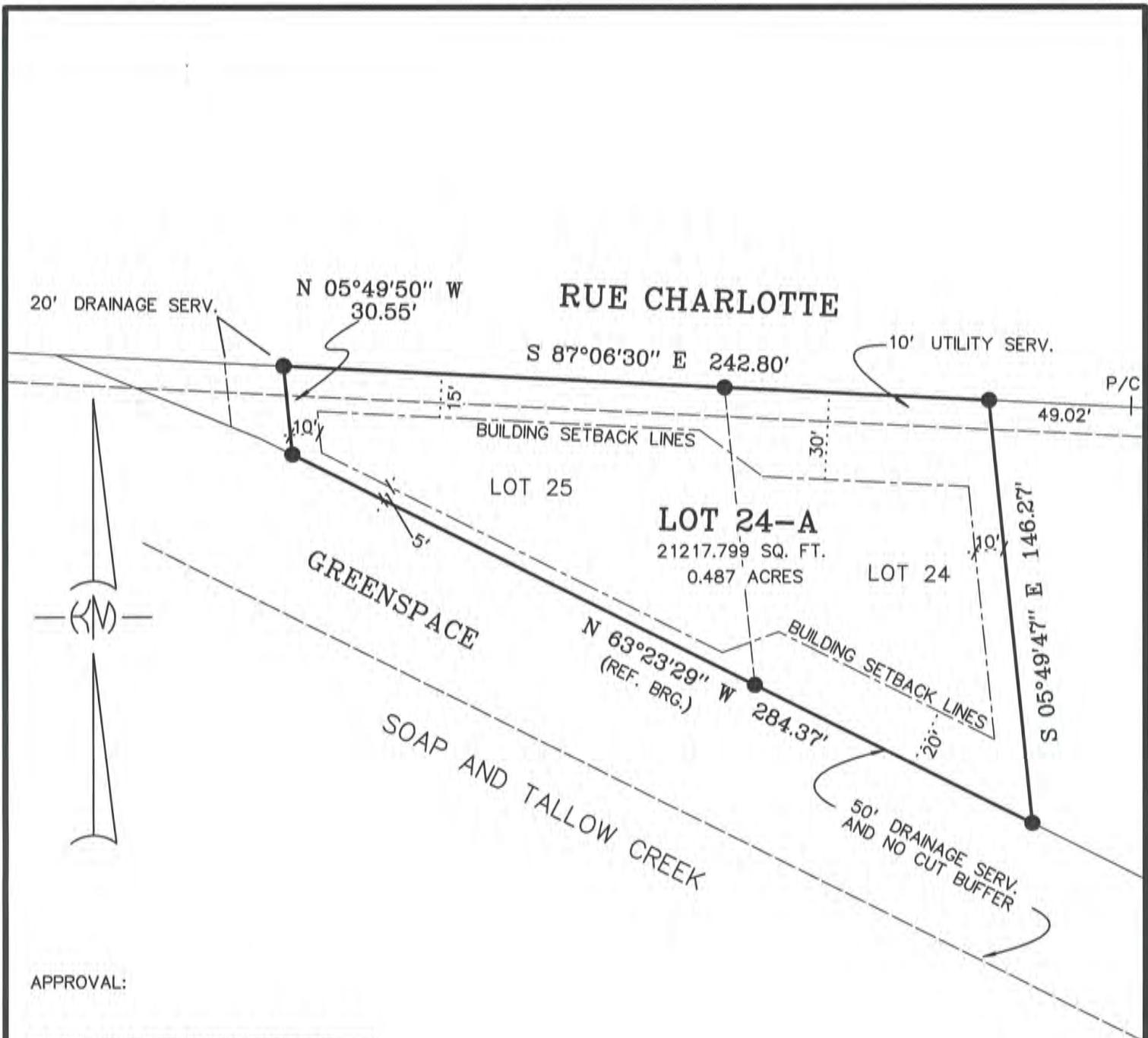
T7 - R10E

3

STILL CT

KETTLE CT





APPROVAL:

SECRETARY PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

DATE FILED FILE NO.

CLERK OF COURT

--- LEGEND ---

- = 1/2" IRON ROD FOUND
- = 1/2" IRON ROD SET

THIS PROPERTY IS LOCATED IN FLOOD ZONE A ; BASE FLOOD ELEV. UNDETERMINED; F.I.R.M.PANEL NO.225205 0205 C; REV.10-17-89

NOTE: NO ATTEMPT HAS BEEN MADE BY KELLY McHUGH & ASSOC., INC. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT



*Kelly J. McHugh*  
 Kelly J. McHugh, REG. NO. 4443

CERTIFIED TO BE IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND AND COMPLYING WITH THE CURRENT APPLICABLE STANDARDS OF PRACTICE FOR A CLASS "C" SURVEY. RED STAMP SIGNIFIES CORRECT PLAT.

NOTE: OWNER OR CONTRACTOR IS RESPONSIBLE FOR VERIFYING BUILDING SETBACKS BEFORE CONSTRUCTION BEGINS.

MINIMUM BUILDING SETBACKS AS SHOWN HERE ON

REFERENCE: PLAT OF THE WILLOWS BY JOHN G. CUMMINGS FILED FOR RECORD 08-22-2018, MAP FILE NO. 5773 FROM WHICH SETBACKS, SERVITUDES AND BASIS OF BEARINGS WERE TAKEN.

A RESUBDIVISION OF LOTS 24 & 25 INTO LOT 24-A ALL IN THE WILLOWS, SECTION 3, T-7-S, R-10-E, G.L.D., ST. TAMMANY PARISH, LOUISIANA.

PREPARED FOR:

STEPHEN & LOUISE HIGGINS

KELLY J. McHUGH & ASSOC., INC. CIVIL ENGINEERS & LAND SURVEYORS 845 GALVEZ ST., MANDEVILLE, LA. 626-5611

SCALE: 1" = 50'	DATE: 09-01-22
DRAWN: MDM	JOB NO.: 22-260
REVISED:	

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**RESUBDIVISION STAFF ANALYSIS REPORT**  
*(As of October 4th, 2022)*  
*Meeting Date: October 11, 2022*

CASE FILE NO: 2022-3075-MRP

NAME OF SUBDIVISION: Alpha Industrial Park, Phase 2A

LOTS BEING DIVIDED: Lots 1A, 2A & 23A, into Lot 1A-1

SECTION: 19  
TOWNSHIP: 7S  
RANGE: 12E

WARD: 1  
PARISH COUNCIL DISTRICT: 3

PROPERTY LOCATION: The property is located on the northeast corner of LA Highway 59 & Alpha Blvd, Mandeville, Louisiana.

ZONING: I-2 Industrial District

PROPERTY OWNER: Alpha 59 LLC - Mark Sieverding

**STAFF COMMENTARY:**

**Department of Planning & Development and Department of Engineering**

The applicant is requesting to create one (1) lot from lots 1A, 2A & 23A. The resubdivision request requires a public hearing due to:

- As stated in the restrictive covenants of the approved plat, no lots shall be further resubdivided without approval from the Planning Commission.

SOUTH LN

SOLAR CT

MARION LN

T7 - R11E 24

T7 - R12E 19

ALPHA BLVD

59

CALCO DR

GISELLE DR



APPROVALS:

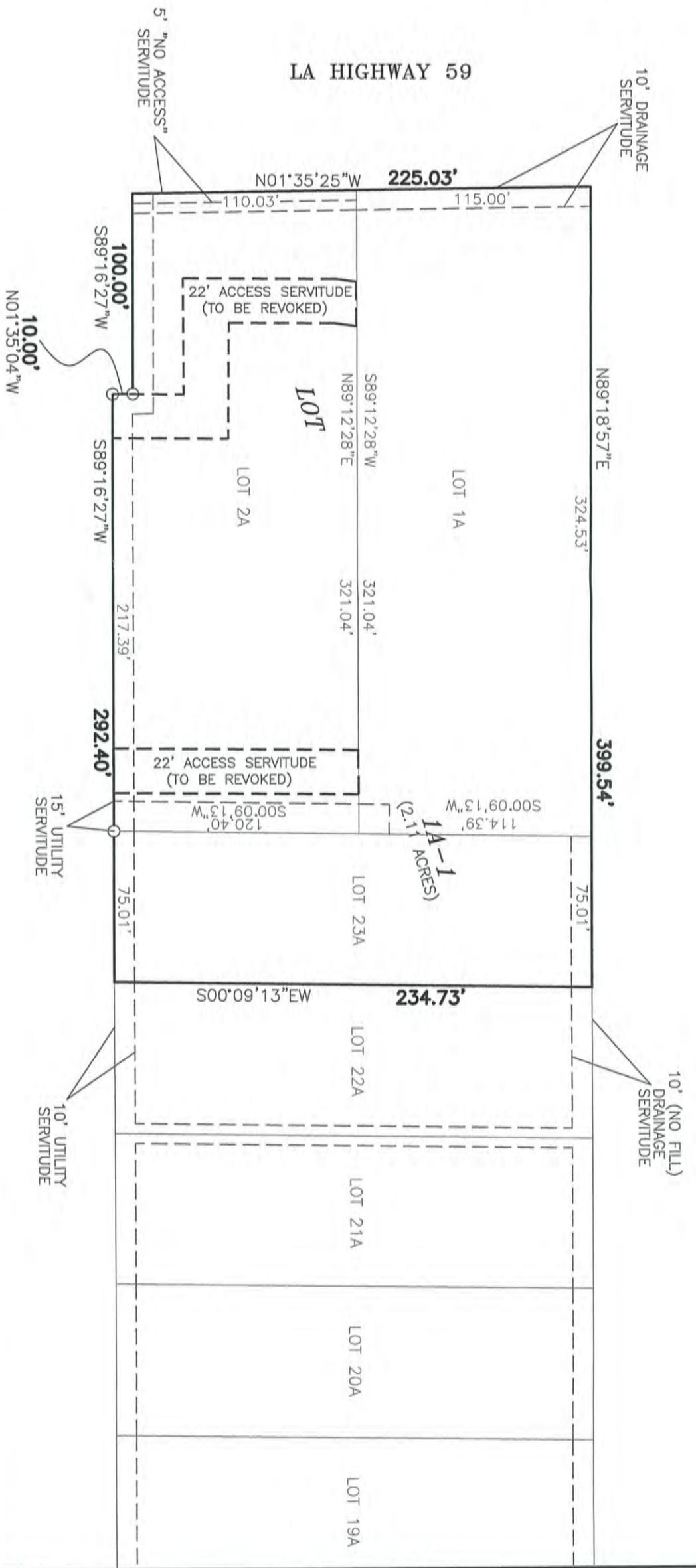
CHAIRMAN - ST. TAMMANY PLANNING COMMISSION

SECRETARY - ST. TAMMANY PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

CLERK OF COURT

DATE FILED \_\_\_\_\_ MAP FILE NO. \_\_\_\_\_



**LEGEND**  
○ = 1/2" IRON ROD FOUND  
● = 1/2" IRON ROD SET

**A RESUBDIVISION MAP OF**  
**LOTS 1A, 2A, & 23A, PHASE 2A**  
**ALPHA INDUSTRIAL PARK SUBDIVISION**  
into  
**LOT 1A-1, PHASE 2A,**  
**ALPHA INDUSTRIAL PARK SUBDIVISION**  
situated in  
**Section 19, Township-7-South, Range-12-East**  
in  
St. Tammany Parish, Louisiana  
for  
**JAMES PETERS**

Survey No. 22-140470 Drawn by: MAB Scale: 1" = 60'  
Date: SEPTEMBER 08, 2022 Revised:

**FLOODZONE NOTE:** This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described is located in Flood Zone(s) "C" with a Base Flood Elevation of N/A in accordance with Community Panel No. 225205 0245 C; Revised: OCTOBER 17, 1989

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS "C" SURVEY.

**ALPHA BOULEVARD**

**BUILDING SETBACKS**  
FRONT:  
SIDE STREET:  
REAR:

**REFERENCE SURVEY:**  
A Subdivision Plat Map of Alpha Industrial Park Subdivision, Phase 2A & 2B done by John E. Bonneau & Associates dated 11/16/2010 & 02/10/2012, having Survey No. 2008-081 & 2008-081C. REF. MAP FILE #4960.  
**BASIS FOR BEARINGS/ANGLES:**  
The Reference Survey.  
**NOTE:** This is to certify that I have done an actual ground survey and found that no encroachments exist either way across any property lines except as shown.



Professional Land Surveyors  
Planners and Consultants  
1011 NORTH CAUSEWAY BLVD., SUITE 34  
MANDERVILLE, LA 70471  
OFFICE NO. (985)845-1012  
FAX NO. (985)845-1778  
www.lowengineers.com  
e-mail: MandevilleTeam@lowengineers.com

**NOTE:** Setback lines shall be verified by owner and/or contractor prior to any construction, as an abstract has not been performed by the undersigned.  
**NOTE:** Servitudes shown hereon are not necessarily exclusive. Servitudes of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.

This Survey is Certified True and Correct By  
**JOHN E. BONNEAU**  
LICENSE NO. 3483  
PROFESSIONAL  
Professional Land Surveyor  
Registration No. 4423

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**TENTATIVE SUBDIVISION  
REVIEW**

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**STAFF COMMENTARY:**

**Department of Planning and Development**

Staff recommends a postponement of this proposed Tentative Subdivision submittal request to allow for additional time to submit the outstanding documentation, and obtain the necessary Board of Adjustment Variances outlined in the comments and informational items below.

**General Comments:**

1. A Traffic Impact Analysis (T.I.A.) is required for this development in accordance with STP Ordinance Section 125-160 and as outlined in the T.I.A. scope of work issued on 10/4/2022.
2. Provide “will serve” letters from Tammany Utilities regarding water and sewer services for the proposed development.
3. A Board of Adjustment (B.O.A.) variance is required for the setbacks to the existing utility tower and associated buildings/structures in accordance with Section 130-2213(41)(a)(2)(iii)(B) “towers shall be set back from the property line a distance equal to the height of the tower or shall conform with the setbacks established from the underlying zoning district, whichever is greater”, as well as Section 130-2213(41)(a)(2)(iii)(D) “all buildings and other structures to be located on the same property as a tower shall conform with the setbacks established for the underlying zoning district”.
4. An access servitude will need to be provided to accommodate the existing utility site access and Elm Street access.

**Tentative Plat:**

5. Update the Tentative Plat to show wetland demarcation lines (as determined by the U.S. Army Corps of Engineers)
6. Update the Tentative Plat to show the proposed subsurface infrastructure on the typical cross-sections.

**Informational Items**

The developer is responsible for contacting the USPS Regional Growth management Coordinator to verify the appropriate street names, addresses and mail delivery location for this development.

This development is proposing to connect to a future parish roadway “The Mandeville Bypass Road” which is currently being designed as a “Three-Leg” round-about at the intersection of Hwy 1088, any modifications to this design or the addition of the northern leg “Fourth-Leg” would be the responsibility of Moore 59, LLC to receive approvals/permits from LADOTD. The project and associated state road connections are being permitted with LADOTD currently and are roughly at the 80% competition. The Parish’s intention is to bid this project out in the first quarter of 2023.

Parish code requires that a land clearing permit be applied for and obtained through the Department of Planning prior to the developer receiving a work order in conjunction with the preliminary subdivision review process.

Revised drawings will not be accepted for review or placement in the packet prior to the October 11, 2022 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.



ELM ST

ELM ST

CYPRESS ST

T7 - R12E

32

HICKORY ST

1088

LENNY LN

MULBERRY ST

JUDITH ST

MEADOW CT

T8 - R12E

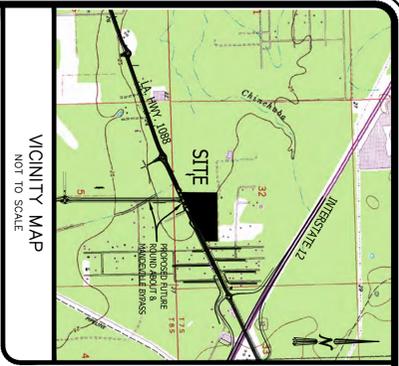
5

RIDGE CT

OSCAR ST

CROSSING CT

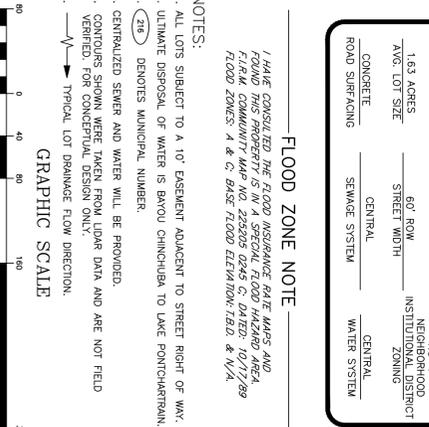
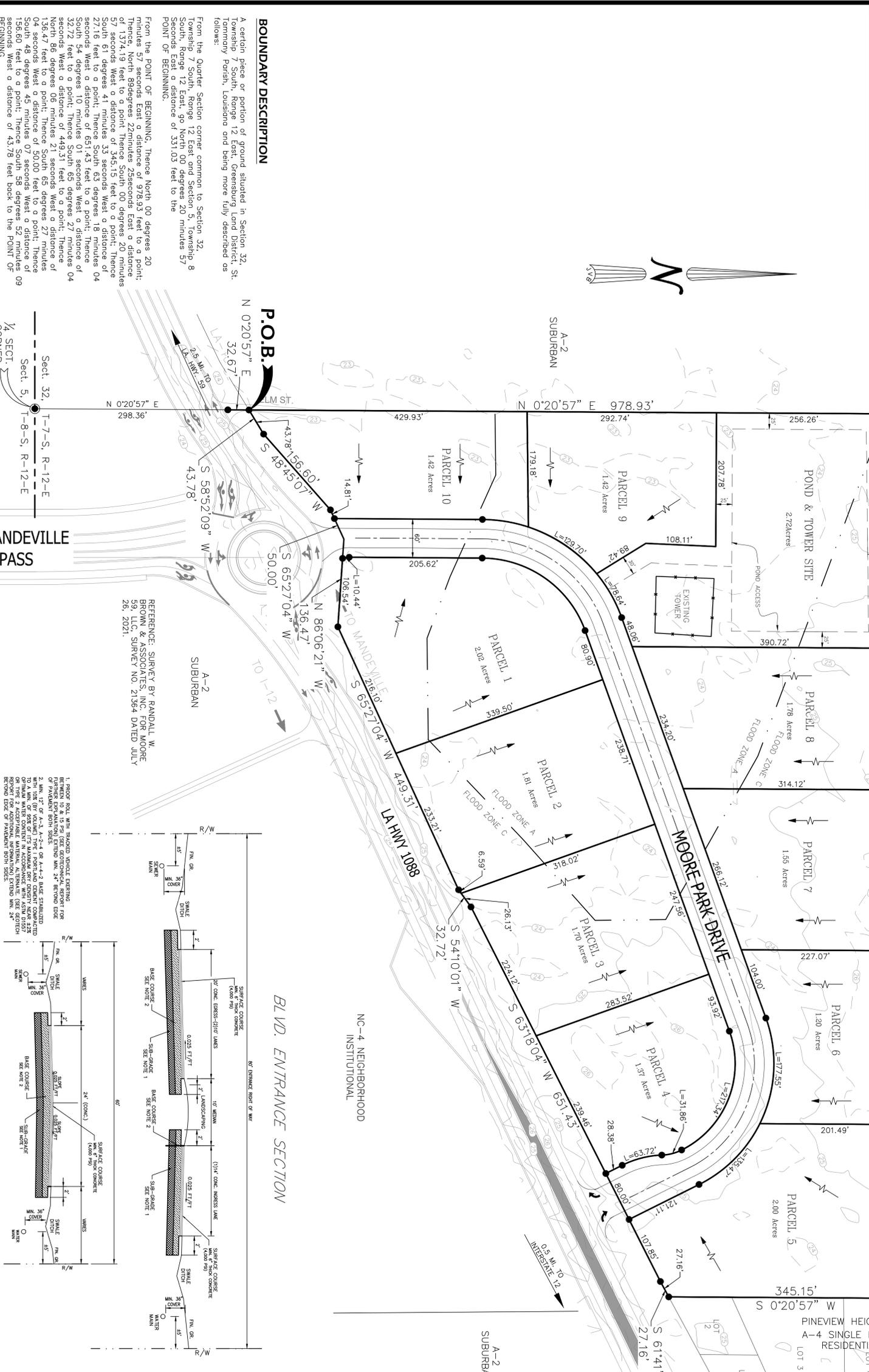




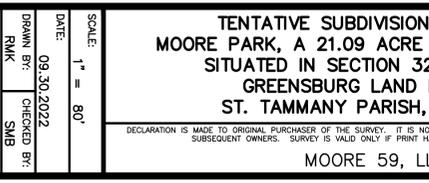
VICINITY MAP  
NOT TO SCALE

# TENTATIVE PLAN OF MOORE PARK (AFTER ROUND-ABOUT)

A 21.09 ACRE TRACT OF LAND  
LOCATED IN SECTION 32, T-7-S, R-12-E,  
ST. TAMMANY PARISH, LOUISIANA



BLVD. ENTRANCE SECTION



TYPICAL ROAD SECTION

### RESTRICTIVE COVENANTS

1. MANUFACTURED HOMES SHALL BE 12'x24' SQUARE FEET FOOTPRINT WITH NO MORE THAN 20' FEET OF OVERHANGING EAVES.
2. MINIMUM LOT AREA SHALL NOT BE LESS THAN 20,000 SQUARE FEET IN AREA AS PER ZONING REQUIREMENTS. MINIMUM LOT AREA IN THIS DEVELOPMENT IS 12,000 SQUARE FEET.
3. THE MINIMUM FINISH FLOOR ELEVATIONS REQUIRED SHALL BE AS PER THE LATEST FEMA FLOOD MAP (FE +1). MINIMUM BUILDING HEIGHT TO BE 35' ABOVE FINISHED FLOOR ELEVATION.
4. IT SHALL BE PROHIBITED FOR ANY LOT WITHIN AN APPROVED SUBDIVISION TO HAVE ANY OTHER STRUCTURE OR BUILDING ON ANY LOT OTHER THAN THAT SPECIFICALLY DEDICATED WITHIN THE BOUNDARIES OF THE APPROVED SUBDIVISION PLAN.
5. NO LOT SHALL BE RIPPED, SUPPLIED, OR OTHERWISE APPROVED BY ST. TAMMANY PARISH PLANNING COMMISSION AND THE DEPARTMENT OF ENVIRONMENTAL SERVICES.
6. STREET PLANNING AREAS SHALL COMPLY WITH THE STANDARDS OF SECTION 10.12 OF THE ST. TAMMANY PARISH CODE OF ORDINANCES, CHAPTER 126, ARTICLE V, DIVISION 2.
7. CONSTRUCTION OF ANY NATURE IS PROHIBITED IN DRAINAGE AND STREET EASEMENTS.
8. NO NOXIOUS OR OFFENSIVE ACTION SHALL BE TAKEN UPON ANY UNIT. NOB SHALL BE DONE THEREON WHICH MAY BECOME AN ANNOYANCE OR NUISANCE TO THE NEIGHBORHOOD, PARTICULARLY THE USE OF UNITS AS DRIVES OR JUNK CAR STORAGE.
9. PINEWATER UTILITIES ARE NOT REQUIRED BECAUSE SUBDIVISION HAS SURFACE DRAINAGE. DRAINAGE ON CORNER LOTS SHALL NOT BE LOCATED ANY CORNER HAVING 60 FEET FROM CORNER OF THE PROPERTY ACCESS TO THE INTERSECTION OF THE ROAD INTERSECT.
10. MOBILE HOMES ARE NOT PERMITTED TO OCCUPY LOTS AS A RESIDENCE IN THIS SUBDIVISION.
11. ADDITIONAL COVENANTS RECORDED IN C.O.B. \_\_\_\_\_ F.O.U.O. \_\_\_\_\_ AND C.O.B. \_\_\_\_\_ F.O.U.O. \_\_\_\_\_.
12. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED BEFORE THE SEWERAGE AND WASTE WATER SYSTEMS, WATER SUPPLY SYSTEMS, AND/OR WATER SYSTEMS, ALL AS APPROVED BY THE ST. TAMMANY PARISH DEPARTMENT OF ENVIRONMENTAL SERVICES, PARISH, WHETHER A PRIVATE WATER SUPPLY MAY BE DRILLED OR OTHERWISE CONSTRUCTED ON ANY LOT FOR THE PURPOSE OF SUPPLYING ROADSIDE WATER TO ANY BUILDING OR STRUCTURE, EXCEPT AS APPROVED BY THE ST. TAMMANY PARISH DEPARTMENT OF ENVIRONMENTAL SERVICES (CENTRAL) WATER SYSTEM (SAPPLV).
13. THE DETENTION POND AND STRUCTURE WILL BE MAINTAINED BY ST. TAMMANY PARISH.
14. UNDERGROUND UTILITIES SHALL BE PROVIDED.

**CERTIFICATION**  
THIS MAP IS CERTIFIED TO BE CORRECT AND IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THIS GROUND UNDER SUPERVISION OF THE UNDERSIGNED.

SEAN W. BURKES - L.S. P.L.S. No. 4785  
DEEDICATION NUMBER OF THE LAND AS SHOWN AND DESCRIBED HEREON THAT HE DOES DECLARE THIS TO BE A TRUE AND ACCURATE MAP OF:

**MOORE PARK**

OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_

APPROVAL: \_\_\_\_\_ DIRECTOR OF PARISH ENGINEERING

PARISH PLANNING COMMISSION SECRETARY: \_\_\_\_\_ CLERK OF COURT: \_\_\_\_\_

DATE FILED: \_\_\_\_\_ FILE NUMBER: \_\_\_\_\_

21.09 ACRES  
AREA

10 NO. OF LOTS

1,635 L.F. LOTH OF STREETS

1.63 ACRES AV. LOT SIZE

60' ROW STREET WIDTH

INSTITUTIONAL ZONING

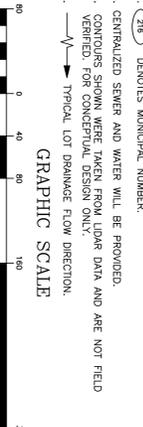
CONCRETE CENTRAL WATER SYSTEM

ROAD PARKING CENTRAL WATER SYSTEM

**FLOOD ZONE NOTE**  
I HAVE CONSULTED THE FLOOD INSURANCE RATE MAPS AND FLOOD ZONING MAPS FOR THIS TRACT OF LAND AND HAVE DETERMINED THAT THE TRACT IS LOCATED WITHIN FLOOD ZONES A & C. BASE FLOOD ELEVATION: 18.0' & N/A.

**NOTES:**

1. ALL LOTS SUBJECT TO A 10' EASEMENT ADJACENT TO STREET RIGHT OF WAY.
2. ULTIMATE DISPOSAL OF WATER IS BY/OUT CHANNELS TO LAKE PONCHARTRAIN.
3. (Z) DENOTES MUNICIPAL NUMBER.
4. CENTRALIZED SEWER AND WATER WILL BE PROVIDED.
5. CONDITIONS SHOWN WERE TAKEN FROM LIDAR DATA AND ARE NOT FIELD VERIFIED. FOR CONCEPTUAL DESIGN ONLY.
6. TYPICAL LOT DRAINAGE FLOW DIRECTION.



TENTATIVE SUBDIVISION PLAN OF  
MOORE PARK, A 21.09 ACRE TRACT OF LAND  
SITUATED IN SECTION 32, T-7-S, R-12-E,  
GREENSBURG LAND DISTRICT,  
ST. TAMMANY PARISH, LOUISIANA

DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL OF SURVEYOR.

MOORE 59, LLC

DATE: 09.30.2022  
DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_  
R/MK  
DWG. NO. 20220470  
SHEET 2 OF 2

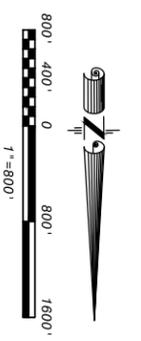
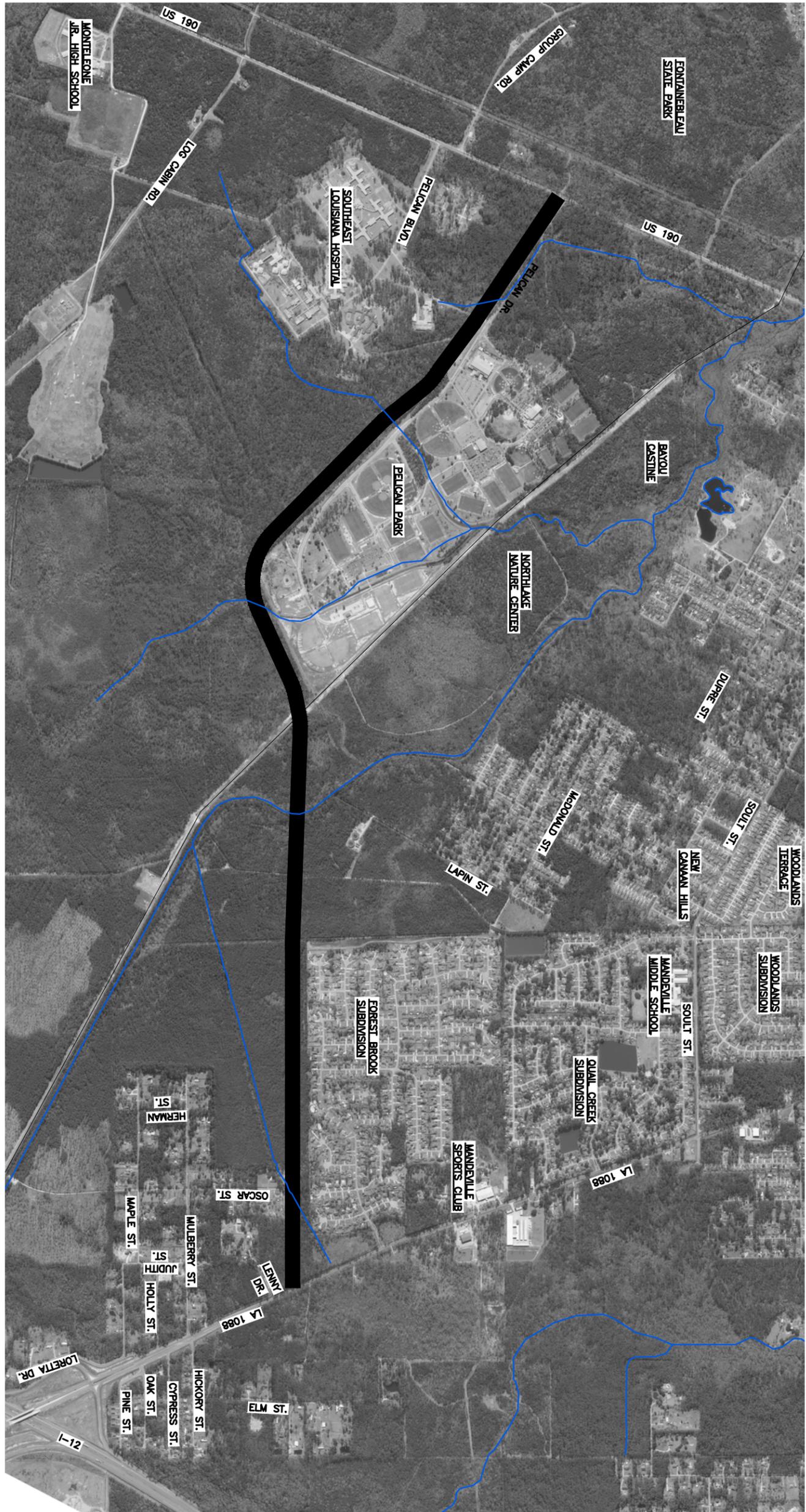
NO.	DESCRIPTION	DATE	BY	CHKD

**J.V. Burkes & Associates, Inc.**  
SURVEYING ENGINEERING • ENVIRONMENTAL

1805 Shortcut Highway  
Stidell, Louisiana 70458  
E-mail: jvbassoc@jvburkes.com

Phone: 985-649-0075 Fax: 985-649-0154

SEAN M. BURKES  
LA REG. NO. 27662



NO.		DATE		REVISION DESCRIPTION		BY		DESIGNED CHECKED	XXXX XXXX	Detailed Checked	XXXX XXXX	DATE SHEET	XXXXXXXXX X OF Y		<b>MANDEVILLE BY PASS LA 1088 TO US 190</b>			PARISH	ST. TAMMANY PARISH	SHEET NUMBER	XXX
																		PARISH PROJECT	2014EN0001	B.K.I. PROJECT	NO.15.012

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**PRELIMINARY SUBDIVISION  
REVIEW**

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**PRELIMINARY SUBDIVISION STAFF ANALYSIS REPORT**  
*(As of October 4, 2022)*

CASE NO.: 2022-2903-PP

SUBDIVISION NAME: Maison du Village

DEVELOPER: MidSouth Developers, LLC  
2160 E. Gause Boulevard; Suite 100  
Slidell, LA 70461

ENGINEER/SURVEYOR: J.V. Burkes & Associates, Inc.  
1805 Shortcut Highway  
Slidell, LA 70458

SECTION: 40 & 37

WARD: 9

TOWNSHIP: 8 South

PARISH COUNCIL DISTRICT: 11

RANGE: 13 East

TYPE OF DEVELOPMENT:                     URBAN (Residential lots less than 1 acre)  
    SUBURBAN (Residential lots between 1-5 acres)  
    RURAL (Residential Farm Tract lots 5 acres plus)  
    OTHER (Multi family, commercial or industrial)(**PUD**)

GENERAL LOCATION: The property is located west of LA Highway 433, south of US Highway 190, Slidell, Louisiana.

TOTAL ACRES IN DEVELOPMENT: 39.22 Acres

NUMBER OF LOTS: 85 Lots

AVERAGE LOT SIZE: 70' x 125'

SEWER AND WATER SYSTEMS: Central

PROPOSED OR EXISTING ZONING: PUD

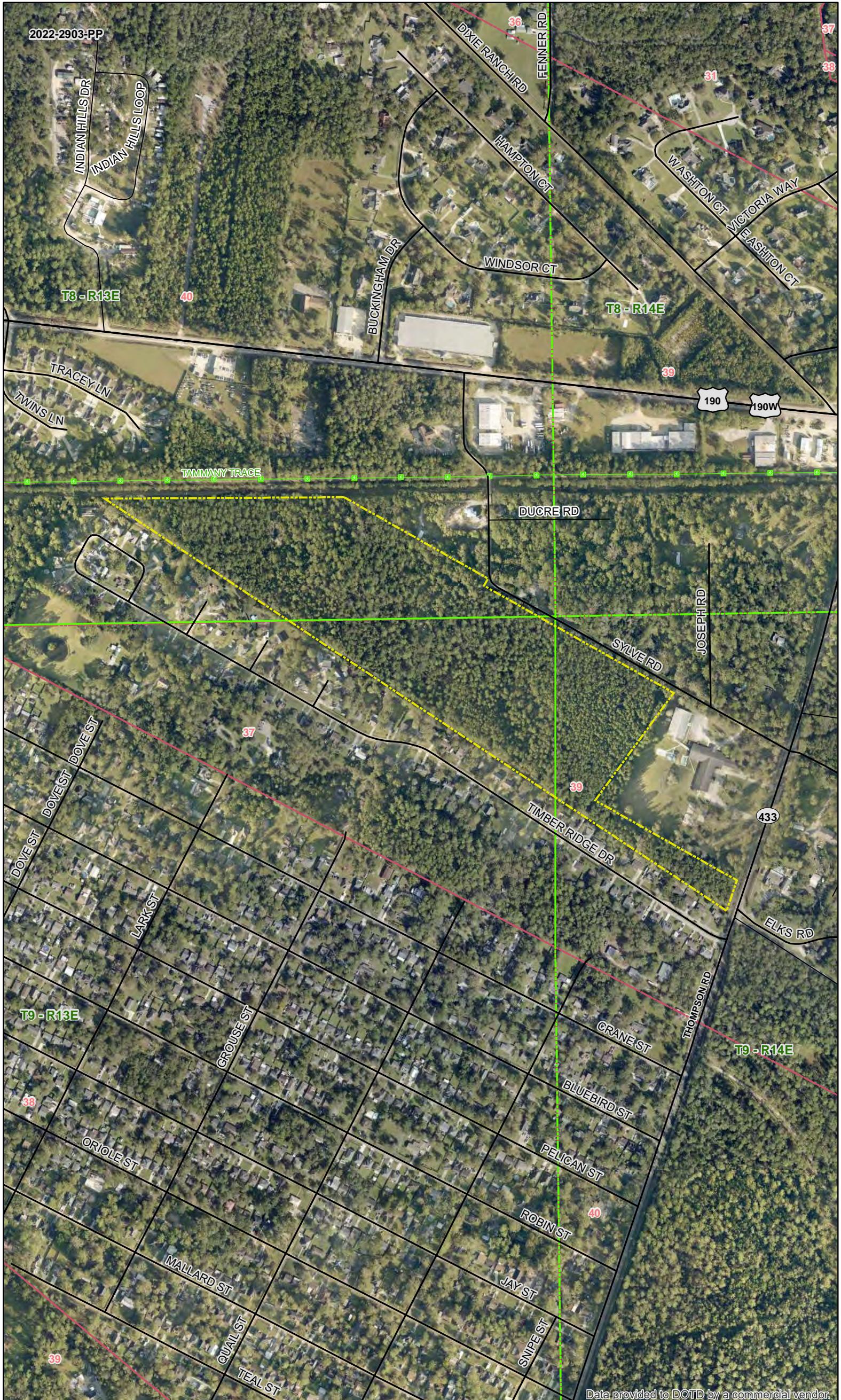
FLOOD ZONE DESIGNATION: "C"

PUD APPROVAL GRANTED: February 2, 2006

**STAFF COMMENTARY:**

**Department of Planning and Development**

The engineer of record for this project requested that this case be postponed on September 28, 2022. This case was previously postponed at the June 14, 2022, the July 12, 2022, the August 9, 2022 and the September 13, 2022 meetings.



T8 - R13E

T8 - R14E

T9 - R13E

T9 - R14E

TAMMANY TRACE

DUCRE RD

SYLVE RD

TIMBER RIDGE DR

THOMPSON RD

433

190

190W

INDIAN HILLS DR

INDIAN HILLS LOOP

DIXE RANCH RD

FENNER RD

HAMPTON CT

WINDSOR CT

BUCKINGHAM DR

WASHTON CT

VICTORIA WAY

E WASHTON CT

TRACEY LN

TWINS LN

JOSEPH RD

DOVEST

LARK ST

GROUSE ST

ORIOLE ST

MALLARD ST

QUAIL ST

TEAL ST

CRANE ST

BLUEBIRD ST

PELICAN ST

ROBIN ST

JAY ST

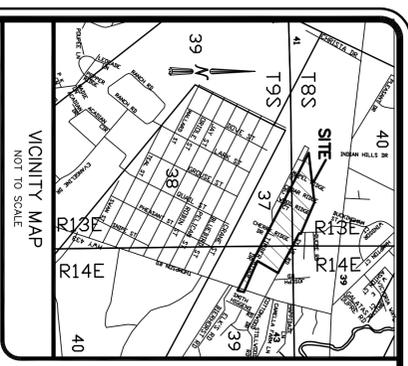
SNIFE ST

ELKS RD







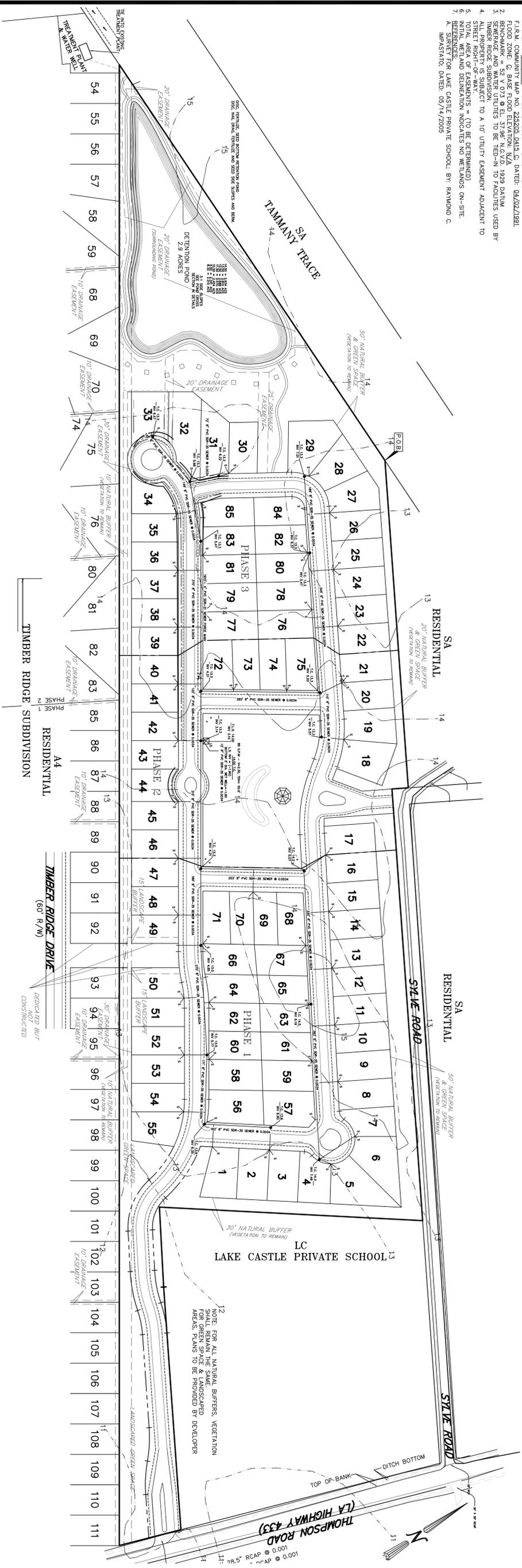
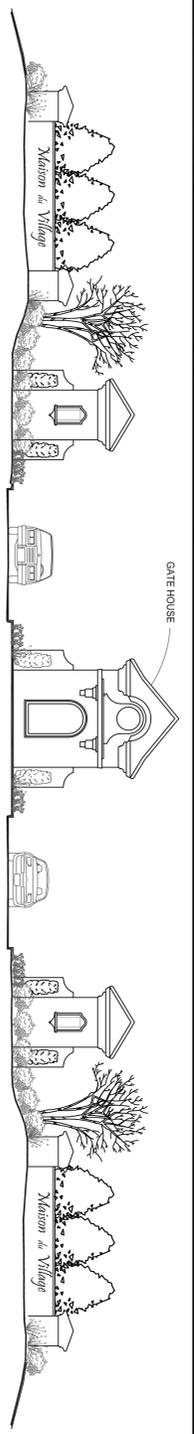


**GENERAL NOTES**

1. I HAVE CONSULTED THE FLOOD INSURANCE RATE MAPS AND FOUND THIS PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA.
2. F.I.R.M. COMMUNITY MAP NO. 222203, 0418.C, DATED: 04/02/1991
3. FLOOD ZONE: C, BASE FLOOD ELEVATION: N/A
4. FLOOD ZONE: V, BASE FLOOD ELEVATION: 1929 DATUM
5. SEWERAGE AND WATER UTILITIES TO BE TIED-IN TO FACILITIES USED BY TIMBER RIDGE SUBDIVISION.
6. ALL PROPERTY IS SUBJECT TO A 10' UTILITY EASEMENT ADJACENT TO TIMBER RIDGE SUBDIVISION.
7. INITIAL AREA OF EASEMENTS = (TO BE DETERMINED)
8. INITIAL WETLAND DELINEATION INDICATES NO WETLANDS ON-SITE.
9. REFERENCES FOR LAKE CASTLE PRIVATE SCHOOL: BY: RAYMOND C. IMPASTATO, DATED: 05/14/2009

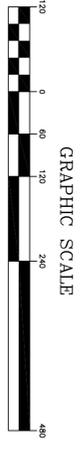
SECTION 40, T8S-R13E, SECTION 37, T9S-R13E  
SECTION 39, T9S-R14E, ST. TAMMANY PARISH, LOUISIANA

*Maison du Village*



**NOTES:**

1. SANITARY SEWER SYSTEM PIPE TO BE PVC A.S.T.M. 3034 SDR-35.
2. SEWER MAIN TO BE INSTALLED AS SHOWN ON PLANS.
3. INFILTRATION SHALL NOT EXCEED 125 GALLON/INCH OF DIAMETER/MILE OF PIPE/24 HOURS.
4. A CERTIFICATE OF INFILTRATION REQUIREMENTS SHALL BE FURNISHED BY TESTING LABORATORY.
5. SEWER LINES SHALL BE 8" WITH A MINIMUM OF 0.34% SLOPE.
6. ALL PERMITS TO BE OBTAINED BY CONTRACTOR AT THEIR EXPENSE.
7. SEWER LATERALS SHALL BE 6" PVC WITH TWO 4" WYES.
8. ● = MANHOLES.
9. SEWER FURNISHED AND MAINTAINED BY CURTIS ENVIRONMENTAL.
10. SEWER PERMIT NO. LAG 570109, NEW 45,000 GPD STP PERMIT TO BE APPLIED FOR BY CURTIS ENVIRONMENTAL.
11. COORDINATE SEWER TIE-IN TO NEW TREATMENT PLANT WITH MIKE CURTIS (504) 559-2100



**Sewer Plan**

PRELIMINARY SUBDIVISION PLAT OF MAISON du VILLAGE  
SEC. 39, T 9 S - R 14 E, SEC. 37, T 9 S - R 13 E,  
AND SEC. 40, T 8 S - R 13 E  
ST. TAMMANY PARISH  
LOUISIANA

DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL OF SURVEYOR.

MIDSOUTH DEVELOPERS, LLC

NO.	DESCRIPTION	DATE	BY

**J.V. Burkes & Associates, Inc.**  
SURVEYING ENGINEERING ENVIRONMENTAL

2990 East Gouse Blvd., Suite B  
Slidell, Louisiana 70461  
E-mail: jvbassoc@jburkes.com

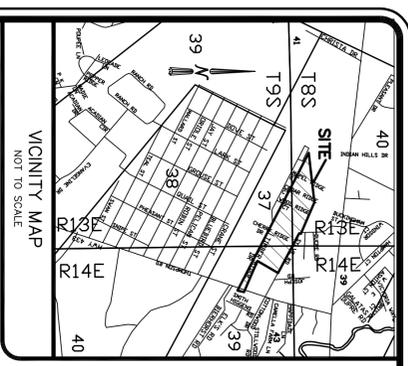
Phone: 985-649-0075 Fax: 985-649-0154  
Mississippi Phone: 228-435-5800

STATE OF LOUISIANA  
SEAN M. BURKES  
REG. NO. 27642  
REGISTERED PROFESSIONAL  
CIVIL ENGINEER

SEAN M. BURKES  
LA. REG. NO. 27642

SCALE: 1" = 120'  
DATE: 5/31/2006  
DRAWN BY: CHECKED BY:  
DLT SMB  
DWG. NO.: 106181B  
SHEET 4 OF 10

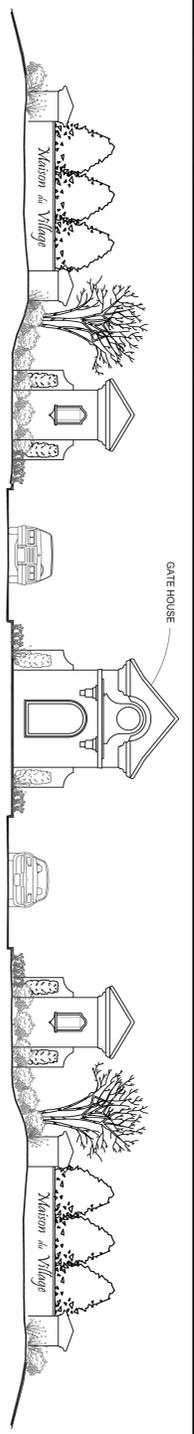




VICINITY MAP  
NOT TO SCALE

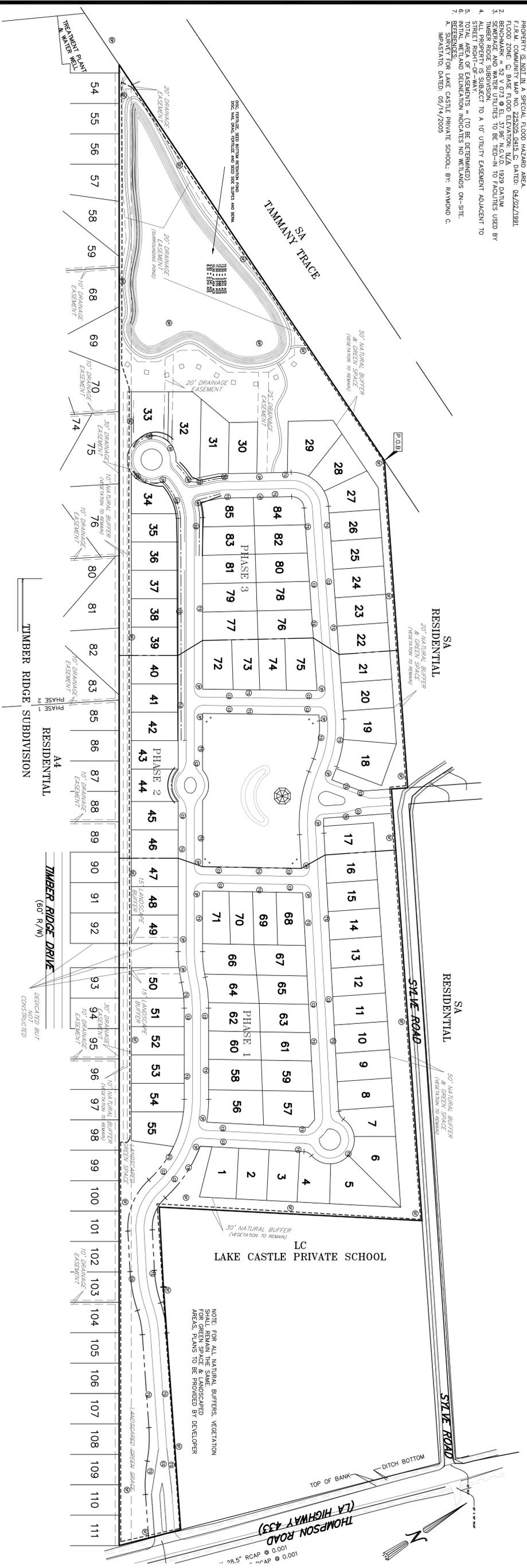
GENERAL NOTES

1. I HAVE CONSULTED THE FLOOD INSURANCE RATE MAPS AND FOUND THIS PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA.
2. F.I.R.M. COMMUNITY MAP NO. 2222028, 0418.C, DATED: 04/02/1991.
3. FLOOD ZONE: C, BASE FLOOD ELEVATION: N/A.
4. FLOOD ZONE: C, BASE FLOOD ELEVATION: N/A.
5. SEWERAGE AND WATER UTILITIES TO BE TIED-IN TO FACILITIES USED BY TIMBER RIDGE SUBDIVISION.
6. ALL PROPERTY IS SUBJECT TO A 10' UTILITY EASEMENT ADJACENT TO TIMBER RIDGE SUBDIVISION.
7. TOTAL AREA OF EASEMENTS = (TO BE DETERMINED).
8. INITIAL WETLAND DELINEATION INDICATES NO WETLANDS ON-SITE.
9. REFERENCES FOR LAKE CASTLE PRIVATE SCHOOL, BY: RAYMOND C. IMPASTATO, DATED: 05/14/2009.

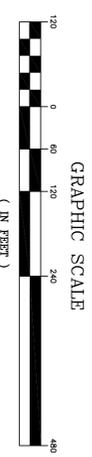


# Maison du Village

SECTION 40, T8S-R13E, SECTION 37, T9S-R13E  
SECTION 39, T9S-R14E, ST. TAMMANY PARISH, LOUISIANA



- LEGEND
- ⊙ SILT FENCING
  - ⊙ TEMPORARY SEEDING
  - ⊙ OUTLET PROTECTION
  - ⊙ INLET PROTECTION
  - ⊙ TEMP. GRAVEL CONSTRUCTION ENTRANCE
  - ⊙ CHECK DAM
- 



# Sedimentation Plan

PRELIMINARY SUBDIVISION PLAT OF MAISON DU VILLAGE  
SEC. 39, T 9 S - R 14 E, SEC. 37, T 9 S - R 13 E,  
AND SEC. 40, T 8 S - R 13 E  
ST. TAMMANY PARISH  
LOUISIANA

DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL OF SURVEYOR.

MIDSOUTH DEVELOPERS, LLC

NO.	DESCRIPTION	DATE	BY	CHKD.

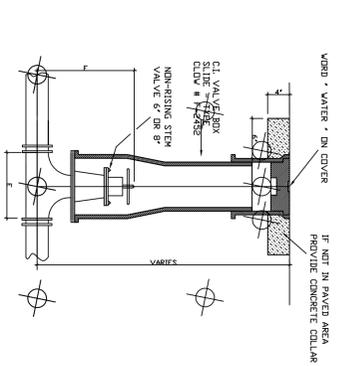
**J.V. Burkes & Associates, Inc.**  
SURVEYING ENGINEERING ENVIRONMENTAL

2990 East Gouse Blvd., Suite B  
Slidell, Louisiana 70461  
E-mail: jvbassoc@jvburkes.com

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Mississippi Phone: 228-435-5800

SEAN M. BURKES  
LA. REG. NO. 27642

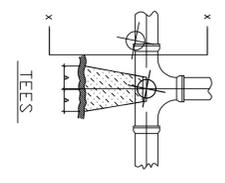
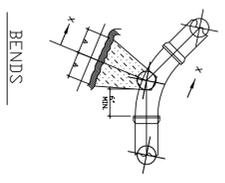
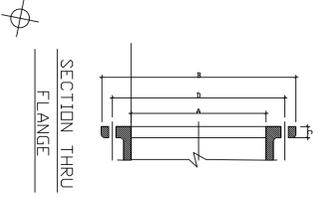
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DWC NO. 1061818  
SHEET 6 OF 10



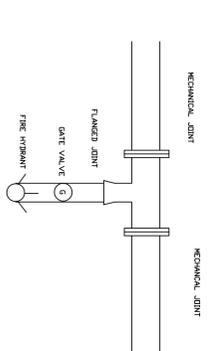
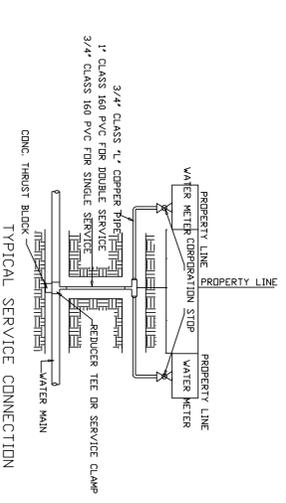
SOIL	2000 PSF												4000 PSF												
	1/4	3/8	1/2	3/4	1	1 1/4	1 1/2	1 3/4	2	2 1/4	2 1/2	2 3/4	3	3 1/4	3 1/2	3 3/4	4	4 1/4	4 1/2	4 3/4	5	5 1/4	5 1/2	5 3/4	6
1/4	20	25	30	35	40	45	50	55	60	65	70	75	80	85	90	95	100	105	110	115	120	125	130	135	140
1/2	25	30	35	40	45	50	55	60	65	70	75	80	85	90	95	100	105	110	115	120	125	130	135	140	145
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2	35	40	45	50	55	60	65	70	75	80	85	90	95	100	105	110	115	120	125	130	135	140	145	150	155
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14	95	100	105	110	115	120	125	130	135	140	145	150	155	160	165	170	175	180	185	190	195	200	205	210	215
15	100	105	110	115	120	125	130	135	140	145	150	155	160	165	170	175	180	185	190	195	200	205	210	215	220

NOTES: ALL DIMENSIONS ARE IN INCHES AND TO BE USED FOR WATER LINES AND SEWER FORCE MAINS.

TYPICAL THRUST BLOCK DETAILS



SECTION X - X



GRADE	A	B	C	D	E	F
1/4" LAMINATED	12"	12"	12"	12"	12"	12"
3/4" LAMINATED	12"	12"	12"	12"	12"	12"
1" LAMINATED	12"	12"	12"	12"	12"	12"
1 1/4" LAMINATED	12"	12"	12"	12"	12"	12"
1 1/2" LAMINATED	12"	12"	12"	12"	12"	12"
1 3/4" LAMINATED	12"	12"	12"	12"	12"	12"
2" LAMINATED	12"	12"	12"	12"	12"	12"
2 1/4" LAMINATED	12"	12"	12"	12"	12"	12"
2 1/2" LAMINATED	12"	12"	12"	12"	12"	12"
2 3/4" LAMINATED	12"	12"	12"	12"	12"	12"
3" LAMINATED	12"	12"	12"	12"	12"	12"

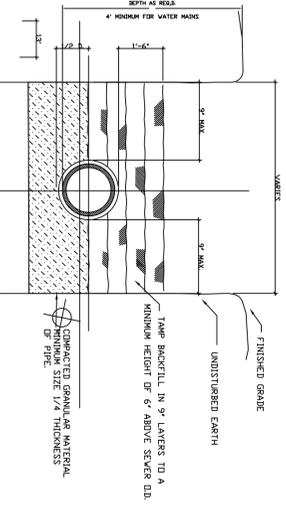
WATER VALVES SHALL MEET THE REQUIREMENTS OF ANNA SPECIFICATION G-500 INCLUDING SOU... THAT THE BE NON-ROBDED BRONZE METAL DOUBLE DISK WITH 2" OPERATING NUTS MARKED TO INDICATE THE DIRECTION OF OPENING BEING COUNTER-CLOCKWISE. THAT ALL VALVE STAMPS HAVE NEW Y PACKED TO "RING SEALS" AND THAT ALL VALVES 2" AND LARGER BE MOELLER A-2380-20 OR EQUAL AS APPROVED BY THE ENGINEER.

NOTES:

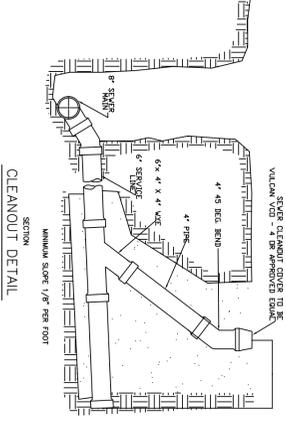
1. ALL WATER LINES SHALL BE 8" V.C. 3034-35.
2. ALL WATER LINES SHALL BE 12" L.S. TO EACH LOT.
3. PROVIDE THRUST BLOCKING FOR ALL FITTINGS AND FIRE HYDRANTS WITH A DEFLECTION OF 11.25" OR MORE.
4. WATER LINES SHALL BE DISCONNECTED IN ACCORDANCE WITH STATE SANITARY CODE 12-020-2.
5. ALL BENDS TO BE OBTAINED BY CONTRACTOR AT THEIR EXPENSE.
6. ALL VALVES ARE 9" EXCEPT AS NOTED.
7. BARREL OF FIRE HYDRANT SHALL BE PAINTED CHROME YELLOW AND THE TOP AND NOZZLE CAPS SHALL BE PAINTED RED.
8. FIRE HYDRANT REFLECTOR SHALL BE AFFIXED ON THE ROADWAY IN PROXIMITY TO THE FIRE HYDRANT.
9. WATER IS SUPPLIED AND MAINTAINED BY BAYOU LIBERTY WATER INC.
10. SEWER AND WATER LINES ARE A MINIMUM OF 6' APART.
11. THE INSTALLATION OF THE WATER MAIN INCORPORATES PROVISIONS OF THE ANNA STANDARDS.
12. BUT NOT LIMITED TO BEDDING COVER, BLOWING, PRESSURE AND LEAKAGE TESTING, AND DISCONNECTION.
13. FIRE HYDRANTS SHALL HAVE AT LEAST THREE QUIETS PER HYDRANTS. ONE SHALL BE A STEAMER CONNECTION TO ALLOW FIRE APPARATUS TO PROVIDE WATER FROM THE HYDRANT TO THE APPARATUS AND THERE SHALL BE AT LEAST TWO 2.5" WCH QUIETS WITH NATIONAL STANDARD THREADS.
15. WATER PERMIT NUMBER PAS1030305.

NOTES:

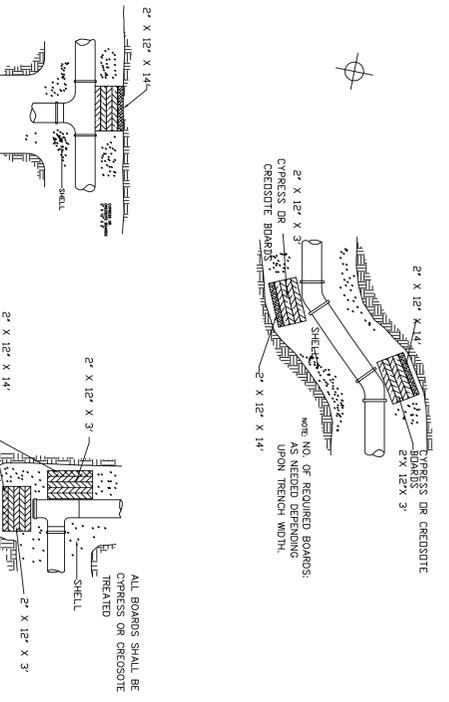
1. SANITARY SEWER SYSTEM PIPE TO BE PVC A.S.T.M. 3034 SDR-35.
2. SEWER LINES SHALL BE 8" WITH A MINIMUM OF 0.34% SLOPE.
3. SEWER LINES SHALL BE 8" WITH A MINIMUM OF 0.34% SLOPE.
4. ALL BENDS TO BE OBTAINED BY CONTRACTOR AT THEIR EXPENSE.
5. ALL VALVES SHALL BE 8" WITH TWO 4" NUTS.
6. ALL VALVES SHALL BE 8" WITH TWO 4" NUTS.
7. SEWER FURNISHED AND MAINTAINED BY CURTIS ENVIRONMENTAL.
8. SEWER FURNISHED AND MAINTAINED BY CURTIS ENVIRONMENTAL.
9. SEWER FURNISHED AND MAINTAINED BY CURTIS ENVIRONMENTAL.
10. SEWER FURNISHED AND MAINTAINED BY CURTIS ENVIRONMENTAL.
11. SEWER FURNISHED AND MAINTAINED BY CURTIS ENVIRONMENTAL.
12. SEWER FURNISHED AND MAINTAINED BY CURTIS ENVIRONMENTAL.
13. SEWER FURNISHED AND MAINTAINED BY CURTIS ENVIRONMENTAL.
14. SEWER FURNISHED AND MAINTAINED BY CURTIS ENVIRONMENTAL.
15. SEWER FURNISHED AND MAINTAINED BY CURTIS ENVIRONMENTAL.



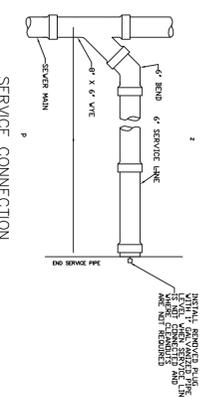
TYPICAL SEWER AND WATER EMBEDMENT



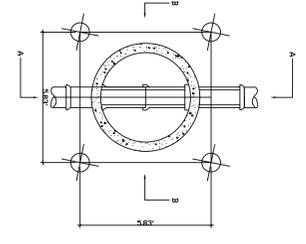
CLEANOUT DETAIL



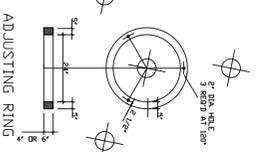
NOTE: Install thrust blocks @ all bends 22 1/2" and larger.



SERVICE CONNECTION



PARTIAL PLAN



ADJUSTING RING

SECTION A-A

SECTION B - B

TYPICAL FIRE HYDRANT AND VALVE

PRECAST SEWER MANHOLE

# Sewer & Water Details

PRELIMINARY SUBDIVISION PLAT OF MAISON DU VILLAGE SEC. 39, T 9 S - R 14 E, SEC. 37, T 9 S - R 13 E AND SEC. 40, T 8 S - R 13 E ST. TAMMANY PARISH LOUISIANA

MIDSOUTH DEVELOPERS, LLC

DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL OF SURVEYOR.

DATE: 5/31/2006  
SCALE: NOT TO SCALE  
DRAWN BY: DLT  
CHECKED BY: SMB  
DWG. NO.: 1061818  
SHEET 7 OF 10

NO.	DESCRIPTION	DATE	BY	CHKD

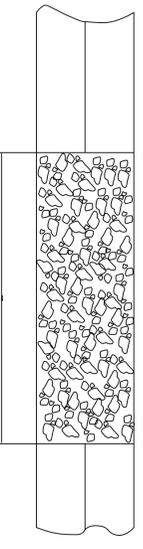
**J.V. Burkes & Associates, Inc.**  
SURVEYING ENGINEERING ENVIRONMENTAL

2990 East Gouse Blvd., Suite B  
Slidell, Louisiana 70461  
E-mail: jvbassoc@jvburkes.com

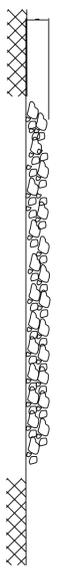
Phone: 985-649-0075 Fax: 985-649-0154  
Mississippi Phone: 228-435-5800

STATE OF LOUISIANA  
SEAN M. BURKES  
REG. NO. 27642  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL ENGINEER

SEAN M. BURKES  
LA. REG. NO. 27642



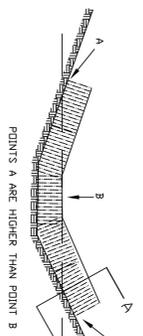
TEMPORARY STONE CONSTRUCTION ENTRANCE



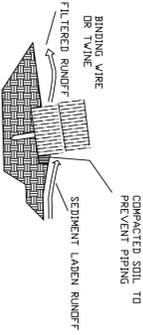
TEMPORARY STONE CONSTRUCTION ENTRANCE AND/OR WASH RACK

- NOTES:
1. THE STONE LAYER MUST BE AT LEAST 6" THICK.
  2. THE STONE SHALL CONFORM TO SECTION 7102XCLASS 2(B) OF LADDD STANDARD SPECIFICATIONS, AND EGRESS.
  3. THE LENGTH OF THE PAD MUST BE AT LEAST 75 FEET AND IT MUST EXTEND THE FULL WIDTH OF THE VEHICULAR INGRESS.
  4. A GEOTEXTILE FABRIC UNDERLINER IS REQUIRED. THE GEOTEXTILE FABRIC SHALL BE IN ACCORDANCE WITH SECTION 1019K(TYPE D) OF THE LADDD STANDARD SPECIFICATIONS.
  5. IF A WASH RACK IS NECESSARY, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF-SITE.

(CS)



ELEVATION

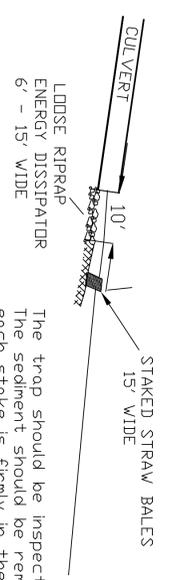


SECTION A-A

TEMPORARY SEDIMENT CHECK DAM (HAY)

NOTES:  
A HAY BALE BARRIER IS A TEMPORARY SEDIMENT BARRIER CONSISTING OF A ROW OF ENTRENCHED AND ANCHORED BALES OF STRAW OR HAY. THE HAY BALE BARRIER IS ALSO USED AS A CHECK DAM TO REDUCE THE VELOCITY IN SMALL DITCHES OR SWALES. THE HAY BALES SHOULD BE IN ACCORDANCE WITH LADDD STD. SPECIFICATIONS, SECT. 204.

(CD)



OUTLET CONTROL

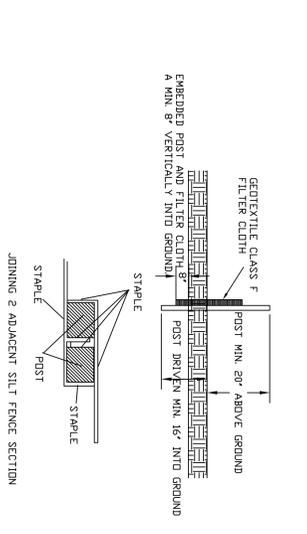
SEEDING PROCEDURES BEHIND DITCHES

APRIL TO OCTOBER  
MIX 1 PART BROWN TOP MILLET, 1 PART BAHIA GRASS (CRACKED SEED) AND 1 PART 13-13-13 FERTILIZER IN GARBAGE CAN.  
THE SEEDING SHOULD BE DONE ON LODGE SOIL, THEN THE AREA SHOULD BE BACKROLLED TO IMPLANT THE SEED (SEEDING SHOULD BE HEAVY).  
\*FOR AREAS ON SLOPE, HAY SHOULD BE SPREAD AND THEN ROLLED OVER WITH A GRIMPER TO HOLD THE LODGE DIRT ON THE SLOPE.

OCTOBER TO APRIL  
MIX 1 PART BROWN TOP MILLET, 1 PART RYE GRASS, 1 PART 13-13-13 FERTILIZER IN GARBAGE CAN.

(TS)

- NOTES:
1. POSTS TO BE SPACED MAXIMUM OF 10' APART AND DRIVEN 16" INTO GROUND.
  2. EXCAVATE A 4"x4" TRENCH UPSLOPE ALONG THE LINE OF STAKES.
  3. STAPLE FILTER MATERIAL TO POSTS AND EXTEND IT INTO TRENCH.
  4. BACKFILL AND COMPACT EXCAVATED SOIL.



SILT FENCE

TYPICAL DETAILS

(SF)

- LEGEND
- (SF) SILT FENCING
  - (TS) TEMPORARY SEEDING
  - (DP) OUTLET PROTECTION
  - (IP) INLET PROTECTION
  - (CS) TEMP. GRAVEL CONSTRUCTION ENTRANCE
  - (CD) TEMP. SEDIMENT CHECK DAM

# Sediment Details

PRELIMINARY SUBDIVISION PLAT OF MAISON du VILLAGE  
SEC. 39, T 9 S - R 14 E, SEC. 37, T 9 S - R 13 E  
AND SEC. 40, T 8 S - R 13 E  
ST. TAMMANY PARISH  
LOUISIANA

DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL OF SURVEYOR.

MIDSOUTH DEVELOPERS, LLC

NO.	DESCRIPTION	DATE	BY	CHKD.

**J.V. Burkes & Associates, Inc.**  
SURVEYING ENGINEERING • ENVIRONMENTAL

2990 East Gause Blvd., Suite B  
Slidell, Louisiana 70461  
E-mail: jvbassoc@jvburkes.com

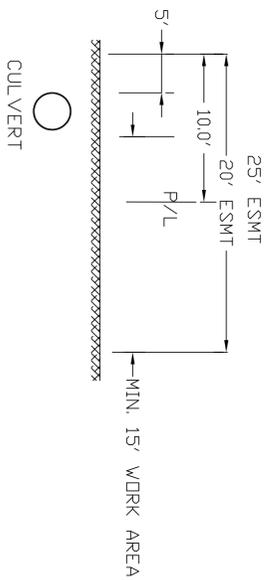
Phone: 985-649-0075 Fax: 985-649-0154  
Mississippi Phone: 228-435-5800

STATE OF LOUISIANA  
SEAN M. BURKES  
REG. NO. 27642  
REGISTERED PROFESSIONAL  
CIVIL ENGINEER

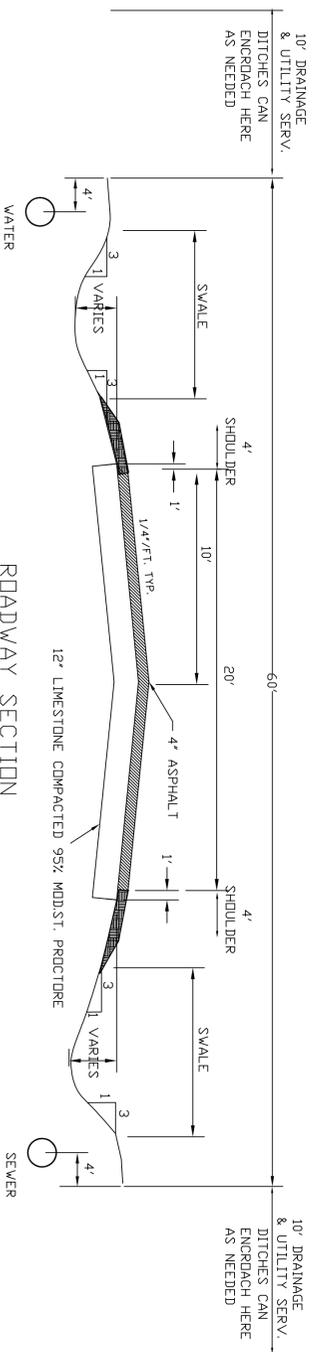
SEAN M. BURKES  
LA. REG. NO. 27642

DATE: 5/31/2006  
DRAWN BY: CHECKED BY: SMG  
DLT  
DWG. NO.: 1061818  
SHEET 8 OF 10





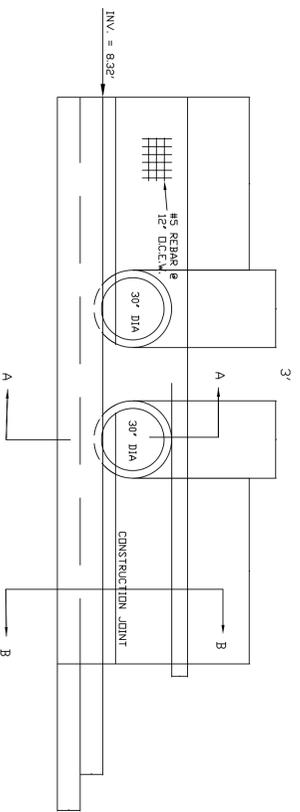
TYPICAL DRAINAGE ESMT DETAIL



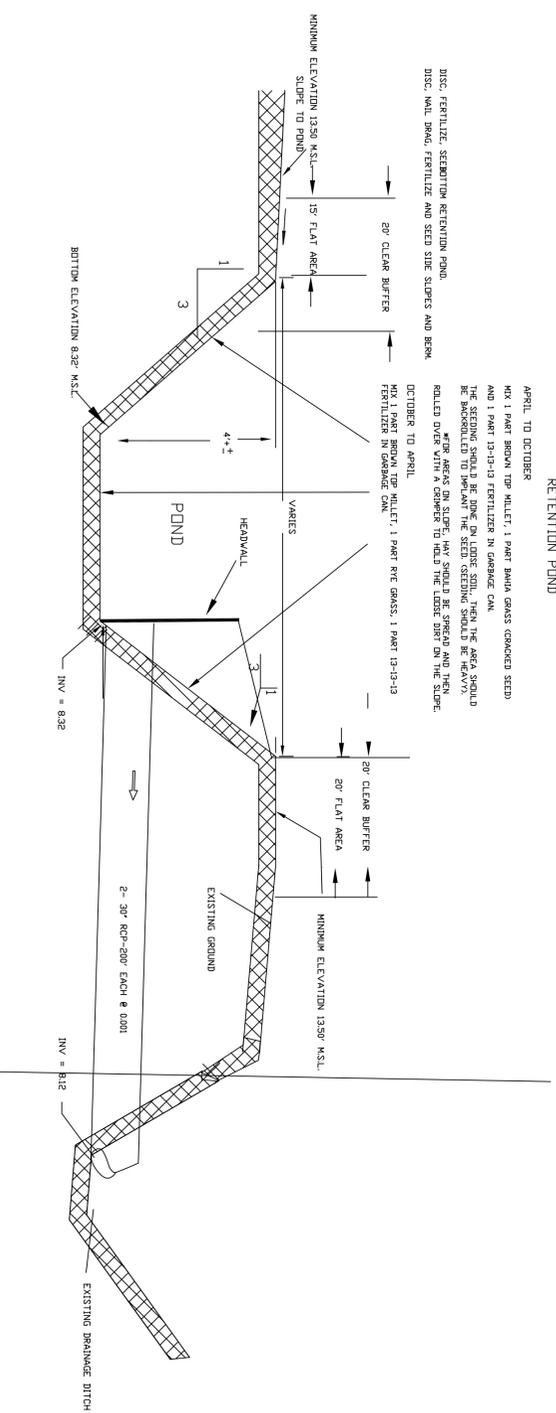
ROADWAY SECTION

NOTE: BASE AND SUBBASE TO BE DETERMINED BY SOILS REPORT

2-PIPE HEADWALL DETAILS



RETENTION POND



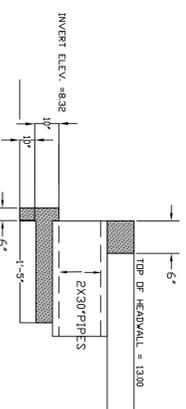
SEEDING PROCEDURES

APRIL TO OCTOBER  
RETENTION POND

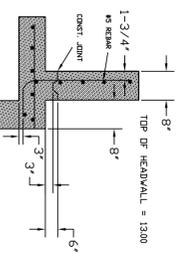
APRIL TO OCTOBER  
MIX 1 PART BROWN TOP MULCH, 1 PART BROWN GRASS COMBED SEED  
AND 1 PART 13-13-13 FERTILIZER IN GARBAGE CAN.  
THE SEEDING SHOULD BE DONE IN LATE SEPTEMBER OR EARLY OCTOBER.  
FOR AREAS ON SLOPE, MULCH SHOULD BE SPREAD AND THEN  
ROLLED OVER WITH A DRUMMER TO HOLD THE LAYER DOWN ON THE SLOPE.

OCTOBER TO APRIL  
MIX 1 PART BROWN TOP MULCH, 1 PART RYE GRASS, 1 PART 13-13-13  
FERTILIZER IN GARBAGE CAN.

DISC, FERTILIZE, SEEDITION RETENTION POND.  
DISC, MOW, FERTILIZE AND SEED SIDE SLOPES AND BANK.



SECTION A - A



SECTION B - B

DRAINAGE NOTES

1. MINIMUM SLOPE OF DRAINAGE PIPE = 0.1%.
2. PIPE SHALL BE RCP C-76 CLASS II OR RCAP C-506.
3. ALL ELEVATIONS ARE MEAN SEA LEVEL.
4. ALL PERMITS TO BE OBTAINED BY CONTRACTOR AT THEIR EXPENSE.
5. ULTIMATE DISPOSAL OF WATER IS BAYOU PAQUET.
6. ARCH PIPE TO BE BANDED.
7. ALL PIPE TO BE WRAPPED IN FABRIC.
8. NO AREA SUBJECT TO INUNDATION DUE TO NORMAL RAINFALL.
9. ALL INTERSECTION PAVING RADII IS 20.00' EXCEPT AS SHOWN.

# Street and Drainage Details

PRELIMINARY SUBDIVISION PLAT OF MAISON DU VILLAGE SEC. 39, T 9 S - R 14 E, SEC. 37, T 9 S - R 13 E AND SEC. 40, T 8 S - R 13 E ST. TAMMANY PARISH LOUISIANA	
DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL OF SURVEYOR.	
MIDSOUTH DEVELOPERS, LLC	
DATE: 5/31/2006	DRAWN BY: DLT
SCALE: SMB	CHECKED BY: SMB
SHEET NO. 1061818	OF 10

NO.	DESCRIPTION	DATE	BY
2	POND OUTLET PIPE SIZE	3/31/2006	DLT/SMB
1	REVISED PER ST. TAMMANY PARISH COMMENTS PER LETTER DATED 3/23/2006	03/27/2006	SMB
NO.			

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STATE OF LOUISIANA  
SEAN M. BURKES  
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REGISTERED PROFESSIONAL CIVIL ENGINEER

SEAN M. BURKES  
LA. REG. NO. 27642



Staff has no objection to the approval of the proposed preliminary subdivision request subject to the developer complying with all comments and no work order to be issued until all required items are satisfactorily completed/submitted and the required waivers are obtained or the plans revised to eliminate the required waivers.

**General Comments:**

1. The water system needs to be updated/modified to address the concerns of the Fire Department regarding fire flow rating and fire protection.
2. In accordance with STP Ordinance Section 125-88 all drainage rights-of-way/ servitudes shall not be located within an individual lot. The current lot configuration shows lots encumbered with private drainage servitudes, as such the plan needs to be revised to conform with Section 125-88 or a waiver of this Ordinance Section be granted by a 2/3rds majority affirmative vote of the Planning Commission Membership.
3. Since this project is within tidal range of the rigolets, no detention will be required. The fee in lieu of detention has been calculated in the amount of 54.679 acres x \$2,000/acre = \$109,358.00 (this calculation includes the entire footprint of Phase 3A-2) However, the developer is requesting a waiver of this requirement. See attached letter dated 9/15/2022 outlining the justification for this request. Staff has no objection to this request, but the waiver requires a 2/3rds majority affirmative vote of the Planning Commission Membership.
4. Pursuant to Ordinance Section 125-56(d)(2) the developer is requesting a waiver of the maximum cul-de-sac length of 700'. A waiver of this section requires a 2/3rds majority affirmative vote of the Planning Commission Membership.
5. Provide the required LADOTD access connection permit for the proposed Seaside Ave connection to Hwy 433.
6. Provide the required complete Recreational Development Plan depicting the proposed amenities, a time schedule for development, and the entity whom shall be responsible for the liability and maintenance of the recreational amenities and greenspace areas.

**Preliminary Plat:**

7. Update the notes, legal description and restrictive covenants on the Preliminary Plat in accordance with the markups & summary emailed to the developer and the engineer of record on 10/4/2022.

**Paving & Drainage Plan:**

8. Update the Paving & Drainage Plan and Plan & Profile sheets to include the required information in accordance with the markups & summary emailed to the developer and the engineer of record on 10/4/2022.

**Water & Sewer Plan:**

9. Provide a plan approval letter for the water and sewer lines in this phase of Rigolets Estates from Magnolia Water.

**Informational Items:**

The developer is responsible for contacting the USPS Regional Growth Management Coordinator to verify the appropriate mail delivery location for this development.

A D.E.S. Letter of No Objection will be required for this project regarding the water and sewer lines and systems associated with this project.

A LDH approval letter will be required for this project regarding the water and sewer lines and systems associated with this project.

**No funded Maintenance Obligation** is required since this subdivision fronts on a state highway.

**No Mandatory Developmental fee** is required at Final Submittal in accordance with St. Tammany Code of Ordinances, Part II “Land Development Code,” Chapter 125 “Subdivision Regulations,” since a public hearing was held prior to January 1, 2005.

Revised drawings will not be accepted for review or placement in the packet prior to the October 11, 2022 Planning Commission meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.

2022-3081-PP

T10 - R15E

CHINOOK DR

BLUEGILL

REDFISH

T10 - R14E

37

RIGOLETS AV

433

37

HERRING DR

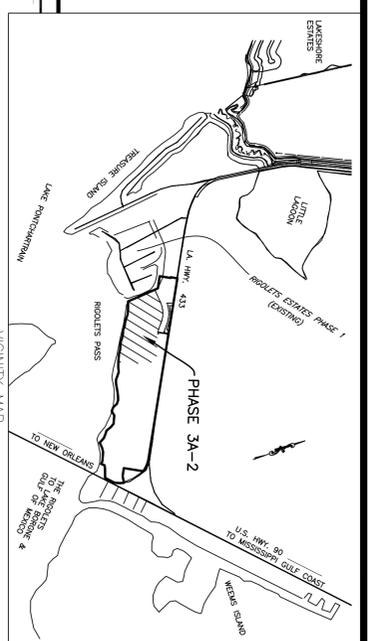
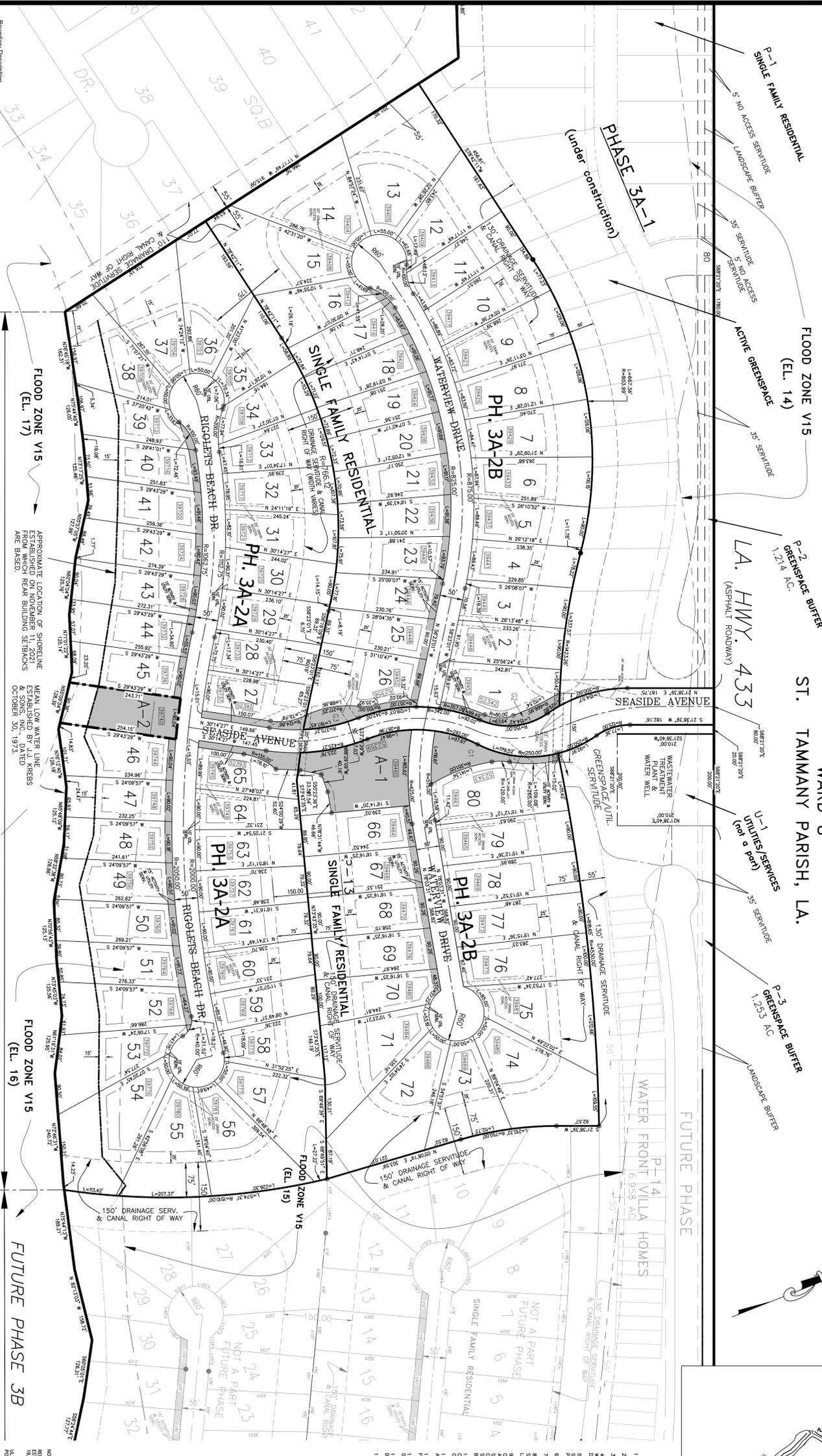
MARLIN DR

2022-3081-PP  
A-1



THIS PLAN CONFORMS TO  
 PUD PLAN ZC83-07-0764  
 DATED: 02/01/2022

**RIGOLETS ESTATES, PHASE 3A-2, SEASIDE**  
 PORTION OF SECTION 37, T10S-R14E &  
 SECTION 37, T10S-R15E, J. S. DUFFOSAT CLAIM  
 WARD 8  
 ST. TAMMANY PARISH, LA.



**RESTRICTIVE COVENANTS**

1. EACH UNIT/SITE WILL NOT HAVE MORE THAN ONE DWELLING.
2. BUILDING SETBACKS - FRONT = 25' SIDE = 15' REAR = 20' EXCEPT LOTS 35 THRU 54 SHALL BE 15'.
3. CONSTRUCTION OF ANY NATURE IS PROHIBITED IN DRAINAGE EASEMENTS AND STREET RIGHTS-OF-WAYS.
4. NO EXPOSURE OR OFFENSIVE ACTION SHALL BE TAKEN FROM ANY UNIT, NOR SHALL ANYTHING BE DONE THEREON WHICH MAY BE DEEMED AN OBSTRUCTION OR NUISANCE TO THE NEIGHBORHOOD, PARTICULARLY THE USE OF UNITS AS DWELLINGS.
5. THE UNITS/FLOOR PLANS/STORIES EQUIPPED SHALL BE 1 1/2 STORIES TO THE BOTTOM OF THE LOWEST HORIZONTAL STRUCTURAL MEMBER, MAXIMUM BUILDING HEIGHT TO BE 30' ABOVE F.F.E. BE VARYING FROM 14', 15', 16', 17', & 17' SEE PLAN FOR ELEVATIONS OF FINISH FLOORS.
6. DRIVEWAY CULVERTS ARE NOT REQUIRED UNLESS SUBSTANTIAL EVIDENCE OF NECESSITY IS SHOWN.
7. WORKER HOMES ARE NOT PERMITTED TO OCCUPY LOTS AS A RESIDENCE IN THIS SUBDIVISION.
8. OCCUPYER HOMES WITH A SIZE OF LESS THAN 50% OF THE AREA OF THE LOT ON WHICH THE MAIN BUILDING IS LOCATED SHALL BE PROHIBITED FROM OCCUPANCY ON LOTS 1-13, 15-17, 19-21, 23-25, 27-29, 31-33, 35-37, 39-41, 43-45, 47-49, 51-53, 55-57, 59-61, 63-65, 67-69, 71-73, 75-77, 79-81, 83-85, 87-89, 91-93, 95-97, 99-101, 103-105, 107-109, 111-113, 115-117, 119-121, 123-125, 127-129, 131-133, 135-137, 139-141, 143-145, 147-149, 151-153, 155-157, 159-161, 163-165, 167-169, 171-173, 175-177, 179-181, 183-185, 187-189, 191-193, 195-197, 199-201, 203-205, 207-209, 211-213, 215-217, 219-221, 223-225, 227-229, 231-233, 235-237, 239-241, 243-245, 247-249, 251-253, 255-257, 259-261, 263-265, 267-269, 271-273, 275-277, 279-281, 283-285, 287-289, 291-293, 295-297, 299-301, 303-305, 307-309, 311-313, 315-317, 319-321, 323-325, 327-329, 331-333, 335-337, 339-341, 343-345, 347-349, 351-353, 355-357, 359-361, 363-365, 367-369, 371-373, 375-377, 379-381, 383-385, 387-389, 391-393, 395-397, 399-401, 403-405, 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September 15, 2022

Mr. Daniel Hill, PE  
Engineering Department  
St. Tammany Parish Government  
21490 Koop Drive  
Mandeville, LA 70471

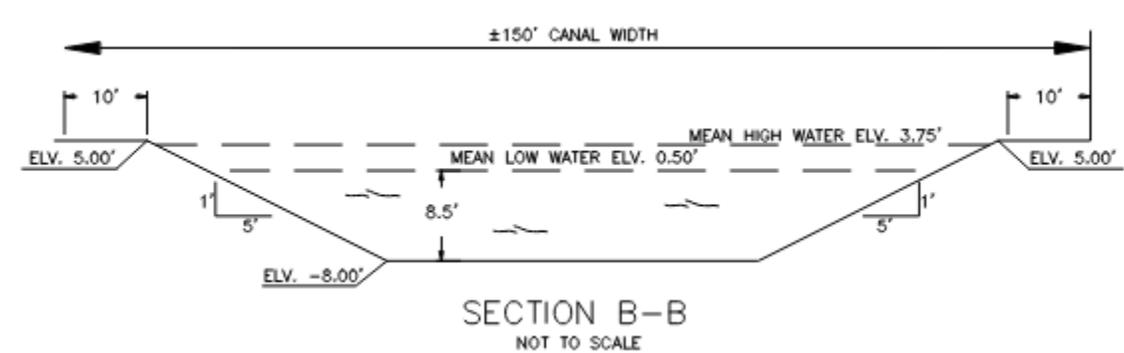
**PRELIMINARY PLANS  
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ENGINEERING**

**ENGINEERING  
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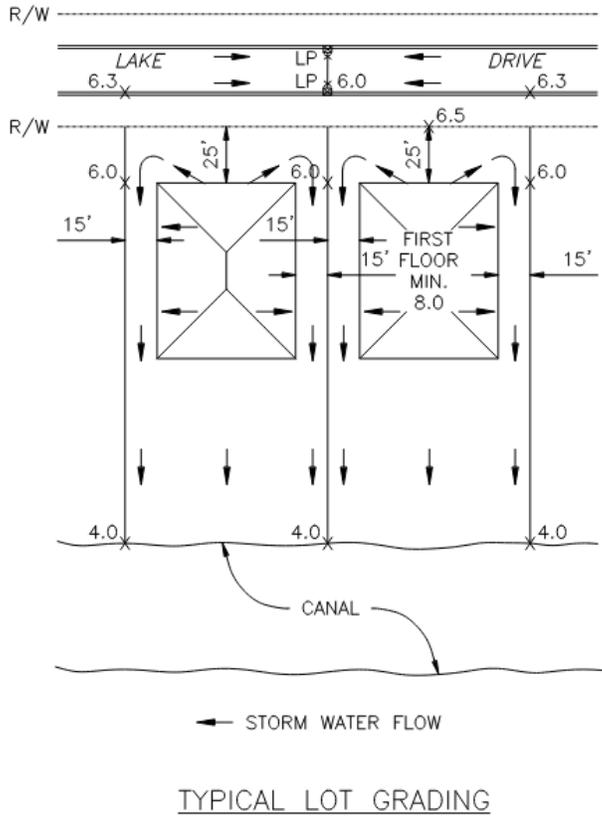
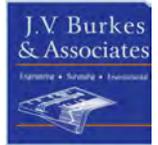
**RE: Rigolets Estates Phase 3A-2  
Drainage Impact Study- Fill Letter**

Dear Mr. Hill:

In accordance with the above referenced subdivision. The developer has contacted the utility providers for water, sewer, and electrical so that these lots can get utility service. In regard to retention, this subdivision has created canals that act as direct storage increasing the volume of Lake Pontchartrain. The total canal volume excavated is approximately 230,000 cy for this phase, that is being used as direct water storage for the overall Lake Pontchartrain Basin.



There is a minimal amount of fill that will be used on the lots, since the homes will be raised. Approximately 2ft of fill on an approximate 3000 sf building pad, with slopes will be approx.. 300 cy per house x 80 lots = 24,000 cy total amount of fill. Therefore the no-net fill ordinance is met.



Respectfully,

Sean M. Burkes, PE, PLS  
J.V. Burkes & Associates, Inc.



SMB/sb

Cc: Mr. Shelby LaSalle  
Mr. Frederick J. Sigur, Jr.