

AGENDA
ST. TAMMANY PARISH PLANNING COMMISSION MEETING
6:00 PM - TUESDAY, OCTOBER 11, 2022
ST. TAMMANY PARISH GOVERNMENT COMPLEX
PARISH COUNCIL CHAMBERS
21490 KOOP DRIVE, MANDEVILLE, LOUISIANA

A livestream will be available for viewing on regular broadcast channels (Charter Channel 710; U-verse Channel 99) or on the Parish website: www.stpgov.org. The livestream will begin at 6:00 PM on Tuesday, October 11, 2022.

ROLL CALL

PUBLIC ANNOUNCEMENTS

- Please silence all phones and electronic devices
- Appeals
- Speaker Cards
- Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal
- Please exit the building

INVOCATION AND PLEDGE OF ALLEGIANCE

APPROVAL OF THE SEPTEMBER 13, 2022 MEETING MINUTES

REQUEST FOR POSTPONEMENTS

REVOCATION REVIEW

1- REV22-07-008

The revocation of an unopened portion of 8th Street and an unopened portion of 9th Street, located on the south side of LA Highway 36, north of the Tammany Trace, in the Town of New Claiborne Subdivision, Ward 3, District 2.

Applicant: Larry D. Terrell

Parish Council District Representative: Hon. David R. Fitzgerald

MINOR SUBDIVISION REVIEW

2- 2022-3048-MSP

A minor subdivision of Tract 2B into Tracts 2B1, 2B2, & 2B3

Owner & Representative: Jeffrey L. & Chloe C. Coombe

Parish Council District Representative: Hon. Marty Dean

General Location: The parcel is located on the south side of Brewster Road, east of LA Highway 1077, Madisonville, Louisiana. Ward 1, District 1

3- 2022-3051-MSP

A minor subdivision of Parcels A & D into Parcels A-1 & D-1

Owner & Representative: Cade & Abby Investments LLC - Robert B. Laville

Parish Council District Representative: Hon. Martha J. Cazaubon

General Location: The parcel is located on the east side of LA Highway 1077, south of Railroad Avenue, Covington, Louisiana. Ward 1, District 3

4- 2022-3067-MSP

A minor subdivision of Parcel E into Parcels E1, E2, E3, E4

Owner & Representative: James Strahan, Jr.

Parish Council District Representative: Hon. Kirk Drumm

General Location: The parcel is located on the west side of Chris Kennedy Road, north of Pine Street Extension, Pearl River, Louisiana. Ward 9, District 11

5- 2022-3076-MSP

A minor subdivision of Lot 4 in lots 4-A & 4-B

Owner & Representative: Roy & Shannon L. McLaughlin

Parish Council District Representative: Hon. James J. Davis

General Location: The parcel is located on the south side of Miss Lou Road, east of LA Highway 434, Lacombe, Louisiana. Ward 7, District 7

6- 2022-3078-MSP

A minor subdivision of Parcel 3A-4 into Parcels 3A-4A & 3A-4B

Owner & Representative: Gottes Wald, LLC - Paul Dietzel

Parish Council District Representative: Hon. David R. Fitzgerald

General Location: The parcel is located on the north side of Johnsen Road, east of LA Highway 437, Covington, Louisiana. Ward 3, District 2

7- 2022-3083-MSP

A minor subdivision of Lot S2 into lots S2-1 & S2-2

Owner & Representative: Shane & Allison Hillman

Parish Council District Representative: Hon. Martha J. Cazaubon

General Location: The parcel is located on the north side of Stanga Road, west of LA Highway 1077, Covington, Louisiana. Ward 1, District 3

RESUBDIVISION REVIEW**8- 2022-3054-MRP**

Resubdivision of Lots 24 & 25 into Lots 24-A, The Willows

Owner & Representative: Stephen P. & Louise C. Higgins

Surveyor: Kelly J. McHugh & Associates, Inc.

Parish Council District Representative: Hon. Martha J. Cazaubon

General Location: The property is located on the south side of Rue Charlotte, east of Willow Bend Drive, Covington, Louisiana. Ward 1, District 3

9- 2022-3075-MRP

Resubdivision of Lots 1A, 2A, & 23A into Lot 1A-1, Alpha Industrial Park Ph 2A

Owner & Representative: Alpha 59 LLC - Mark Sieverding

Surveyor: Lowes Engineers

Parish Council District Representative: Hon. Rykert O. Toledano, Jr

General Location: The property is located on the northeast corner of LA Highway 59 & Alpha Blvd, Mandeville, Louisiana. Ward 4, District 5

TENTATIVE SUBDIVISION REVIEW**10- 2022-3079-TP**

Moore Park Subdivision

Developer/Owner: Moore Park, LLC

Engineer: J.V. Burkes & Associates, Inc.

Parish Council District Representative: Hon. Rykert Toledano

General Location: The property is located on the north side of LA Highway 1088, west of Hickory Street, south of Interstate 12, Mandeville, Louisiana. Ward 4, District 5

PRELIMINARY SUBDIVISION REVIEW**11- 2022-2903-PP**

Maison du Village Subdivision

Developer/Owner: MidSouth Developers, LLC

Engineer: J.V. Burkes & Associates, Inc.

Parish Council District Representative: Hon. Kirk Drumm

General Location: The property is located west of LA Highway 433, south of US Highway 190, Slidell, Louisiana. Ward 9, District 11

**POSTPONED AT THE JUNE 14, 2022, THE JULY 12, 2022, THE AUGUST 9, 2022
AND THE SEPTMEBER 13, 2022 MEETINGS**

12- 2022-3081-PP

Rigolets Estates Subdivision, Phase 3A-2

Developer/Owner: Succession of Frederick J. Sigur

Engineer: J.V. Burkes & Associates, Inc.

Parish Council District Representative: Hon. Jake Airey

General Location: The property is located south of LA Highway 433, west of US Highway 90, Slidell, Louisiana. Ward 8, District 13

NEW BUSINESS**ADJOURNMENT**

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MINUTES
ST. TAMMANY PARISH PLANNING COMMISSION MEETING
6:00 PM - TUESDAY, SEPTEMBER 13, 2022
ST. TAMMANY PARISH GOVERNMENT COMPLEX
PARISH COUNCIL CHAMBERS
21490 KOOP DRIVE, MANDEVILLE, LOUISIANA

A livestream will be available for viewing on regular broadcast channels (Charter Channel 710; U-verse Channel 99) or on the Parish website: www.stpgov.org. The livestream will begin at 6:00 PM on Tuesday, September 13, 2022.

ROLL CALL

Present: Seeger, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph and Truxillo

Absent: Ress and McInnis

Staff: Ross Liner, Helen Lambert, Maria Robert and Theodore Reynolds

PUBLIC ANNOUNCEMENTS

- Please silence all phones and electronic devices
- Appeals
- Speaker Cards
- Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal
- Please exit the building

INVOCATION AND PLEDGE OF ALLEGIANCE

INVOCATION – Randolph

PLEDGE OF ALLEGIANCE – Willie

APPROVAL OF THE AUGUST 9, 2022 MEETING MINUTES

Crawford moved to approve, second by Fitzmorris

Yea: Seeger, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph and Truxillo

Nay: N/A

Abstain: N/A

REQUEST FOR POSTPONEMENTS

1- ENTERING PARISH RIGHT-OF-WAY, SERVITUDES, EASEMENTS & TAMMANY TRACE -WITHDRAWN

Request to Enter the Parish Right-of-Way for 11th Avenue and Charlie Street (Alexiusville Subdivision) for the purpose of gaining access to the property.

Debtor: Bhavin Chauhan

Parish Council District Representative: Hon. Rykert Toledano, Jr.

General Location: The property is located at the west end of 11th Avenue, south of Charlie Street, south of Three Rivers road, west Highway 190 and north of Interstate 12, Mandeville, Louisiana. Ward 5, District 3.

1. REV22-07-008

The revocation of an unopened portion of 8th Street and an unopened portion of 9th Street, located on the south side of LA Highway 36, north of the Tammany Trace, in the Town of New Claiborne Subdivision, Ward 3, District 2.

Applicant: Larry D. Terrell

Parish Council District Representative: Hon. David R. Fitzgerald

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Jeff Schoen

Seeger moved to postpone, second by Randolph

Opposition: N/A

Yea: Seeger, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph and Truxillo**Nay:** N/A**Abstain:** N/A**9-2022-3021-MRP**

Resubdivision of Plots 13, 15 & 18 of Lancaster Subdivision, a portion of the dedicated Road Right of Way, 3.12 acres and 1.44 acres into Plots 13A, 13B, 15A, 18A, 18B Lancaster Subdivision. & Parcels D1 & D2,

Owner & Representative: Donald R. Jenkins

Surveyor: Randall W. Brown & Associates, Inc.

Parish Council District Representative: Hon. **Rykert O. Toledano, Jr**

General Location: The property is located on the north side of LA Highway 1088, west of Hickory Street, Mandeville Louisiana. Ward 4, District 5

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Paul Mayronne

Truxillo moved to postpone to November, second by Seeger

Opposition: N/A

Yea: Seeger, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph and Truxillo**Nay:** N/A**Abstain:** N/A**11-2022-2903-PP**

Maison du Village Subdivision

Developer/Owner: MidSouth Developers, LLC

Engineer: J.V. Burkes & Associates, Inc.

Parish Council District Representative: Hon. Kirk Drumm

General Location: The property is located west of LA Highway 433, south of US Highway 190, Slidell, Louisiana. Ward 9, District 11

POSTPONED AT THE JUNE 14, 2022, THE JULY 12, 2022 AND THE AUGUST 9, 2022 MEETINGS

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request:

Truxillo moved to postpone, second by Randolph

Opposition: N/A

Yea: Seeger, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph and Truxillo**Nay:** N/A**Abstain:** N/A**MINOR SUBDIVISION REVIEW****1- 2022-3001-MSP**

A minor subdivision of Parcel B into Parcels B-1 & B-2

Owner & Representative: Kimberly Jarrell

Parish Council District Representative: Hon. Martha J. Cazaubon

General Location: The parcel is located at the end of Henderson Road, south of Gottschalk Road, Covington, Louisiana. Ward 1, District 3

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Kimberly Jarrell

Fitzmorris moved to approve, second by Barcelona

Opposition: N/A

Yea: Seeger, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph and Truxillo

Nay: N/A

Abstain: N/A

4-2022-3008-MSP

A minor subdivision of 25.61 acres and 7 acres into Parcels A, B, C, D & E

Owner & Representative: Joseph Pieri, Jr.

Parish Council District Representative: Hon. Martha J. Cazaubon

General Location: The parcel is located on the west side of LA Highway 40 and at the end of Bluebird Lane, Folsom, Louisiana. Ward 2, District 3

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Joseph Pieri, Jr

Willie moved to approve with waivers, second by Seeger

Opposition: Jeff Kaston, and Judy Russell

Yea: Seeger, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph and Truxillo

Nay: N/A

Abstain: N/A

5-2022-3013-MSP

A minor subdivision of Parcel B-1 into Parcels B-1-A & B-1-B

Owner & Representative: Colleen Baker

Parish Council District Representative: Hon. David R. Fitzgerald

General Location: The parcel is located on the south side of Million Dollar Road, west of Jessie Hyatt Road, Covington, Louisiana. Ward 2, District 2

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Colleen Baker

Barcelona moved to approve with waivers, second by Fitzmorris

Opposition: N/A

Yea: Seeger, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph and Truxillo

Nay: N/A

Abstain: N/A

6-2022-3022-MSP

A minor subdivision of Parcels 1, 2, 3 & 4 and a remainder of Parcels 5 & 6 and 2.81 acres into Parcels 1A, 2A, 3A, 4A & 5A

Owners: Robert C. Sinclair Family Trust- Robert C. Sinclair -Trustee, Barry Craig Sinclair, Annie Carleton Sinclair, William Luther Sinclair- Trust- William Luther Sinclair -Trustee, Alan Noel Sinclair, Jennifer Sinclair

Representative: Jeffrey D. Shoen

Parish Council District Representative: Hon. Marty Dean

General Location: The parcel is located on the north side of Brewster Road, east of LA Highway 1077, Covington, Louisiana. Ward 1, District 1

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Jeff Schoen

Fitzmorris moved to approve with name change , second by Barcelona

Opposition: N/A

Yea: Seeger, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph and Truxillo

Nay: N/A

Abstain: N/A

7-2022-3025-MSP

A minor subdivision of 20.66 acres into lots 3 & 4

Owners: Lacombe Business Park, LLC

Representative: Jeffrey D. Shoen

Parish Council District Representative: Hon. James J. Davis

General Location: The parcel is located on the west side of LA Highway 434, south of Interstate 12, Lacombe, Louisiana. Ward 7, District 7

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Jeff Schoen

Crawford moved to approve with waivers, second by Randolph

Opposition: N/A

Yea: Seeger, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph and Truxillo

Nay: N/A

Abstain: N/A

8-2022-3040-MSP

A minor subdivision of 30 acres into Parcels A, B & C

Owners & Representatives: Mark I. & Tammie B. Martinez and Mark I. Martinez, Jr.

Parish Council District Representative: Hon. **Cheryl Tanner**

General Location: The parcel is located on the east side of Peg Keller Road, south of LA Highway 435, Abita Springs, Louisiana. Ward 6, District 6

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mark Martinez

Truxillo moved to approve with waivers, second by Willie

Opposition: N/A

Yea: Seeger, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph and Truxillo

Nay: N/A

Abstain: N/A

RESUBDIVISION REVIEW

1- 2022-3026-MRP

Resubdivision of Lot 2 into Lots 2-A & 2-B St. Tammany Oaks Subdivision

Owner: Rouse/Kingsmill, LLC

Representative: Gulf States Development Services, LLC

Surveyor: Dading, Marques & Associates, LLC

Parish Council District Representative: Hon. **Rykert O. Toledano, Jr**

General Location: The parcel is located on the north side of Park Place, east of US Highway 190, Covington, Louisiana. Ward 3, District 5

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mike Saucier

Fitzmorris moved to approve, second by Barcelona

Opposition: N/A

Yea: Seeger, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph and Truxillo

Nay: N/A

Abstain: N/A

FINAL SUBDIVISION REVIEW

12-2022-3023-FP

Bedico Creek Subdivision, Parcel C-2

Developer/Owner: Bedico Creek Preserve, LLC

Engineer: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon. Marty Dean

General Location: The property is located on the northwest side of LA Highway 1085, South of I-12, Madisonville, Louisiana. Ward 1, District 1

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Paul Mayronne

Truxillo moved to approve, second by Seeger

Opposition: Marie Jacobs

Yea: Seeger, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Randolph and Truxillo

Nay: N/A

Abstain: Smail

13-2022-3028-FP

Money Hill Subdivision, Phase 8-C

Developer/Owner: Money Hill Plantation, LLC

Engineer: J.V. Burkes & Associates, Inc.

Parish Council District Representative: Hon. Cheryl Tanner

General Location: The property is located north of Country Club Drive, west of Money Hill Parkway, north of LA Highway 435, Abita Springs.

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Jeff Schoen

Fitzmorris moved to approve, second by Barcelona

Opposition: N/A

Yea: Seeger, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Randolph and Truxillo

Nay: N/A

Abstain: Smail

14-2022-3029-FP

Lakeshore Villages Subdivision, Phase 9B

Developer/Owner: D.R. Horton, Inc. - Gulf Coast

Engineer/Surveyor: Duplantis Design Group, PC

Parish Council District Representative: Hon. Jake Airey

General Location: The property is located north of Oak Harbor Blvd., west of LA Highway 433, east of Interstate-10, Slidell, Louisiana. Ward 9, District 13

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Jeff Schoen

Seeger moved to approve, second by Fitzmorris

Opposition: N/A

Yea: Seeger, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph and Truxillo

Nay: N/A

Abstain: N/A

OLD BUSINESS

NEW BUSINESS

ADJOURNMENT Fitzmorris moved to adjourn, second by Truxillo

REVOCATIONS

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REVOCATION STAFF ANALYSIS REPORT

(As of October 4th, 2022)

Meeting Date: October 11, 2022

CASE NO.: REV22-07-008

NAME OF STREET OR ROAD: Unopened portion of 8th Street & 9th Street

NAME OF SUBDIVISION: Town of New Claiborne Subdivision

WARD: 3 PARISH COUNCIL DISTRICT: 2

PROPERTY LOCATION: The property is located on the south side of Hwy 36, north of the Tammany Trace, in the Town of New Claiborne Subdivision, Ward 3, District 2.

SURROUNDING ZONING: A-4A Single Family Residential & I-1 Industrial

PETITIONER/REPRESENTATIVE: Larry D. Terrell

STAFF COMMENTARY:

Department of Planning & Development Comments:

The applicant is proposing to revoke an unopened portion of 8th and 9th Street. The petitioner desires to assimilate this property into the adjacent properties in order to build a new warehouse for Northlake Moving Storage Inc. However, the Department of Public Works has confirmed that the Parish maintains a drainage ditch within the 9th Street right-of-way that the applicant proposes to revoke.

Recommendation:

The petitioner's engineer is currently working with the Department of Public Works to negotiate terms that would allow this revocation request to move forward. As of this writing, no workable reroute plan has been finalized. Therefore, the Staff recommends that this item be postponed to the November 9, 2022 meeting.

La. Hwy. 36



8th Street (Not Constructed)

9th Street

* Revocation Map of a Portion
of 8th & 9th Street Town of
New Claiborne, St. Tammany
Parish, Louisiana

Reference:
1) Survey Map by Thomas Fontcuberta,
dated 2-11-1994, #944117
2) Survey Map by John G. Cummings
dated 4-19-2005 Job No. 05086

Note:
This is not a boundary
survey map

Bearings were derived
by magnetic compass

S89°55'08"E-50.00'

S89°55'08"E-50.00'

N00°08'16"E-300.29'

Area to be Revoked

15015.35 Sq. Ft.

S00°08'16"W-300.33'

SQ. "28"

N00°06'27"E-300.50'

Area to be Revoked

15025.23 Sq. Ft.

S00°06'27"W-300.51'

SQ. "21"

N89°52'38"W-50.00'

N89°52'38"W-240.16'

N89°54'31"W-50.00'

Tammany Trace

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE.
SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY
WILL BE ADDED HERETO UPON REQUEST AS THE UNDERSIGNED HAS
PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS
MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED
PEDESTALS.

THIS MAP IS NOT IN ACCORDANCE WITH THE STANDARD DETAILED
REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A C SURVEY
AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46:LXI.

(Must verify prior to Construction)
Building Setbacks
Front:
Side:
Rear:
Side Street:

MAP PREPARED FOR **NORTHLAKE MOVING & STORAGE, INC., et al**

SHOWN A SURVEY MADE OF PROPERTY LOCATED IN NEW CLAIBORNE SUBDIVISION, ST. TAMMANY PARISH, LOUISIANA

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED:
SIGNATURE AND STAMPED SEAL MUST BE IN RED OR THIS PLAT IS NOT A TRUE COPY.

LAND SURVEYING LLC

518 N. Columbia Street, Covington, LA 70433
(985) 892-6277 office (985) 898-0355 fax
landsurveyingllc@gmail.com email

Revised: 5-27-2022



SCALE: 1"= 80'

DATE: 3-21-2022

NUMBER: 20734

MINOR SUBDIVISIONS

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MINOR SUBDIVISION STAFF ANALYSIS REPORT

(As of October 4th, 2022)

Meeting Date: October 11th, 2022

CASE NO.: 2022-3048-MSP

Owners & Representative: Jeffrey L. & Chloe C. Coombe

ENGINEER/SURVEYOR: Lowe Engineers

SECTION: 14

TOWNSHIP: 7S

RANGE: 10E

WARD: 1

PARISH COUNCIL DISTRICT: 1

TYPE OF DEVELOPMENT: ___ SUBURBAN (Residential acreage between 1-5 acres)
 ___ X RURAL (Low density residential 5 acres or more)
 ___ OTHER(PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: The parcel is located on the south side of Brewster Road, east of LA Highway 1077, Madisonville, Louisiana.

SURROUNDING LAND USES: Residential & Undeveloped

TOTAL ACRES IN DEVELOPMENT: 25.810 Acres

NUMBER OF LOTS/PARCELS: Tract 2B into Tracts 2B1, 2B2 & 2B3

ZONING: A-3 Suburban District

STAFF COMMENTARY:

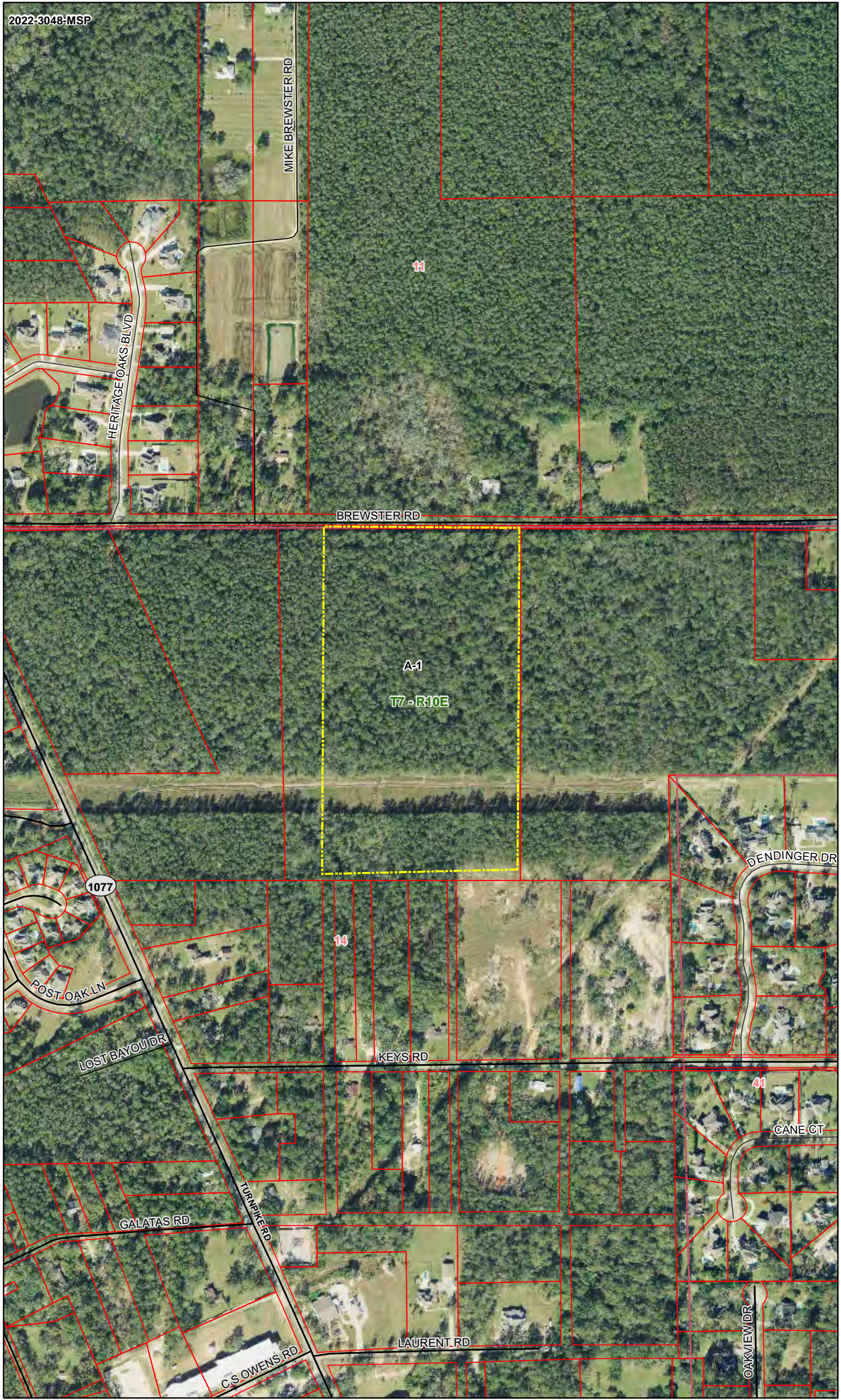
Department of Planning & Development and Department of Engineering

The applicant is requesting to create three (3) tracts from Tract 2B (25.810 acres). The minor subdivision request requires a public hearing due to:

- Tract 2B was previously part of a minor subdivision approved in July 2021 (2021-2455-MSA).

The request shall be subject to the above and below comments:

1. Under Reference Surveys, add: A survey by this firm, Survey No 21-140378 dated 06/09/2021 – Recorded as File No. 6029D



11

BREWSTER RD

A-1

T7-R10E

14

KEYS RD

1077

POST OAK LN

LOST BAYOU DR

GALATAS RD

TURNPIKE RD

C.S OWENS RD

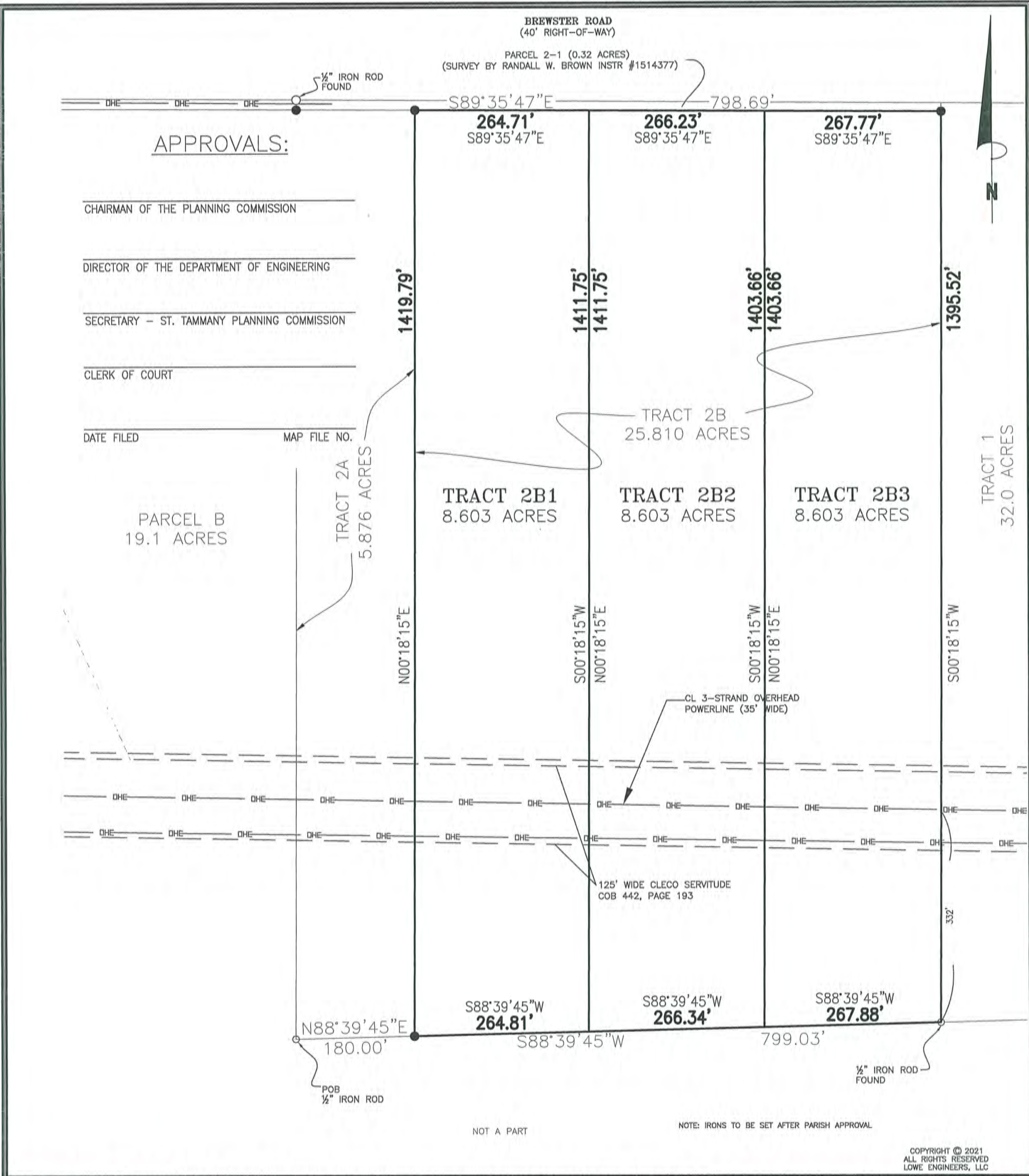
LAURENT RD

DENDINGER DR

41

CANE CT

OAKVIEW DR



THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL; AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS "D" SURVEY.

P.O.B.: The P.O.B. is reported to be N89°29'30"W-755.32'; S00°11'39"W-366.56'; S88°39'45"W-1581.94' from the section corner common to sections 13, 14 & 41, Township 7 South, Range 10 East, St. Tammany Parish, Louisiana 2005.

REFERENCE SURVEYS:
A survey by this firm, survey no. 2005 758 B dated August 25, 2005.
A survey by Randall W. Brown survey no. 08280A dated April 23, 2008

BASIS FOR BEARINGS: The Reference Survey.

FLOODZONE NOTE: This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described is located in Flood Zone(s) "C" with a Base Flood Elevation of N/A in accordance with Community Panel No. 225205 0210 C ; Revised: OCTOBER 17, 1989

Survey No. 22-140427 Drawn by: MAB Scale: 1" = 150'

Date: 08/22/2022 Revised:

A RESUBDIVISION MAP OF
TRACT 2B
INTO
TRACTS 2B1, 2B2, & 2B3
situated in
SECTION 14, T-7-S, R-10-E
located in
St. Tammany Parish, Louisiana
for
JEFFREY L. COOMBE



Professional Land Surveyors
Planners and Consultants
1011 NORTH CAUSEWAY BLVD., SUITE 34
MANDEVILLE, LA 70471
OFFICE NO. (985)845-1012
FAX NO. (985)845-1778
www.loweengineers.com
e-mail: MandevilleTeam@loweengineers.com

NOTE: This is to certify that I have done an actual ground survey and found that no encroachments exist either way across any property lines except as shown.

NOTE: Setback lines shall be verified by owner and/or contractor prior to any construction, as an abstract has not been performed by the undersigned.

Servitudes shown hereon are not necessarily exclusive. Servitudes of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.

This Survey is Certified
True and Correct By

JOHN E. BONNEAU
LICENSE NO. 4423
PROFESSIONAL

John E. Bonneau
Professional Land Surveyor
Registration No. 4423

PARCEL 1-1 (0.51 ACRES)
(SURVEY BY RANDALL W. BROWN INSTR #1597798)

BREWSTER ROAD
(40' RIGHT-OF-WAY)

APPROVALS:

SECRETARY - ST. TAMMANY PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

CLERK OF COURT

Amy White, Deputy Clerk

07.01.2021
DATE FILED

602910
MAP FILE NO.

PARCEL B
19.1 ACRES

TRACT 2A
5.9 ACRES

TRACT 2B
26.1 ACRES

TRACT 2
32.00 ACRES

CL 3-STRAND OVERHEAD
POWERLINE (35' WIDE)

125' WIDE CLECO SERVITUDE
COB 442, PAGE 193

NOT A PART

NOTE: IRONS TO BE SET AFTER PARISH APPROVAL

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LOWE ENGINEERS, LLC

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL; AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS "D" SURVEY.

P.O.B.: The P.O.B. is reported to be N89°29'30"W-755.32'; S00°11'39"W-366.56'; S88°39'45"W-1581.94' from the section corner common to sections 13, 14 & 41, Township 7 South, Range 10 East, St. Tammany Parish, Louisiana 2005.

REFERENCE SURVEYS:

A survey by this firm, survey no. 2005 758 B dated August 25, 2005.
A survey by Randall W. Brown survey no. 08280A dated April 23, 2008

BASIS FOR BEARINGS: The Reference Survey.

FLOODZONE NOTE: This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described is located in Flood Zone(s) "C" with a Base Flood Elevation of N/A in accordance with Community Panel No. 225205 0210 C ; Revised: OCTOBER 17, 1989

Survey No. 21-140378 Drawn by: JWS Scale: 1" = 150'

Date: 06/09/2021 Revised:

A RESUBDIVISION MAP OF
TRACT 2 BEING A 32.00 ACRE PARCEL
situated in
SECTION 14, T-7-S, R-10-E
into
TRACTS 2A & 2B
St. Tammany Parish, Louisiana
for
LEVERE MONTGOMERY III

LOWE
ENGINEERS

Professional Land Surveyors
Planners and Consultants
1011 NORTH CAUSEWAY BLVD., SUITE 34
MANDVILLE, LA 70471
OFFICE NO. (985)845-1012
FAX NO. (985)845-1778
www.loweengineers.com
e-mail: MandevilleTeam@loweengineers.com

NOTE: This is to certify that I have done an actual ground survey and found that no encroachments exist either way across any property lines except as shown.

NOTE: Setback lines shall be verified by owner and/or contractor prior to any construction, as an abstract has not been performed by the undersigned.

Servitudes shown hereon are not necessarily exclusive. Servitudes of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.

This Survey is Certified
True and Correct By
JOHN E. BONNEAU
LICENSE No. 4423
PROFESSIONAL
LAND SURVEYOR
John E. Bonneau
Professional Land Surveyor
Registration No. 4423

MINOR SUBDIVISION STAFF ANALYSIS REPORT

(As of October 4th, 2022)

Meeting Date: October 11th, 2022

CASE NO.: 2022-3051-MSP

Owners & Representative: Cade & Abby Investments LLC-Robert B. Laville

ENGINEER/SURVEYOR: Land Surveying, LLC

SECTION: 33 & 34

TOWNSHIP: 6S

RANGE: 10E

WARD: 1

PARISH COUNCIL DISTRICT: 3

TYPE OF DEVELOPMENT: ☐ SUBURBAN (Residential acreage between 1-5 acres)
 ☒ RURAL (Low density residential 5 acres or more)
 ☐ OTHER (PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: The parcel is located on the east side of LA Highway 1077, south of Railroad Avenue, Covington, Louisiana.

SURROUNDING LAND USES: Residential & Undeveloped

TOTAL ACRES IN DEVELOPMENT: 15.33 Acres

NUMBER OF LOTS/PARCELS: Parcels A & D into Parcels A-1 & D-1

ZONING: A-2 Suburban District

STAFF COMMENTARY:

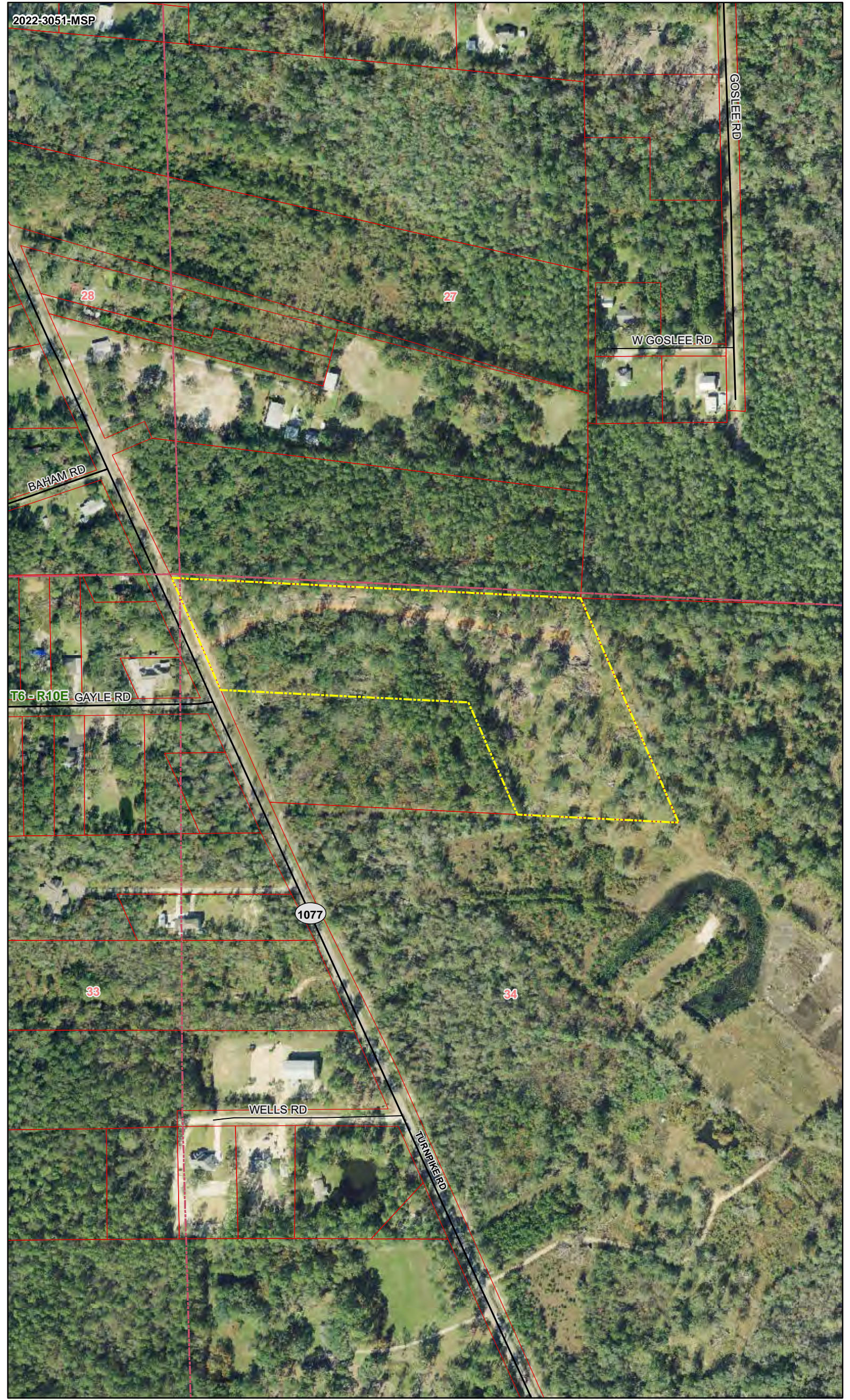
Department of Planning & Development and Department of Engineering

The applicant is requesting to create two (2) parcels from parcels A & D (15.33 acres). The minor subdivision request requires a public hearing due to:

- Parcels A & D were previously part of a minor subdivision approved in December 2020 (2020-2154-MSA).

The request shall be subject to the above and below comments:

1. Amend the survey as follow: A Resub Map of Parcels A, B, C & D by this Firm Dated 9-16-20 Revised 9-29-20 Job # 20018 **File No. 5978 B**



GOSLEE RD

W GOSLEE RD

BAHAM RD

T6 - R10E GAYLE RD

1077

WELLS RD

TURNPIKE RD

28

27

33

34

FINAL APPROVAL

CHAIRMAN OF PLANNING COMMISSION

DIR. DEPT. OF ENGINEERING

SECRETARY PLANNING COMM.

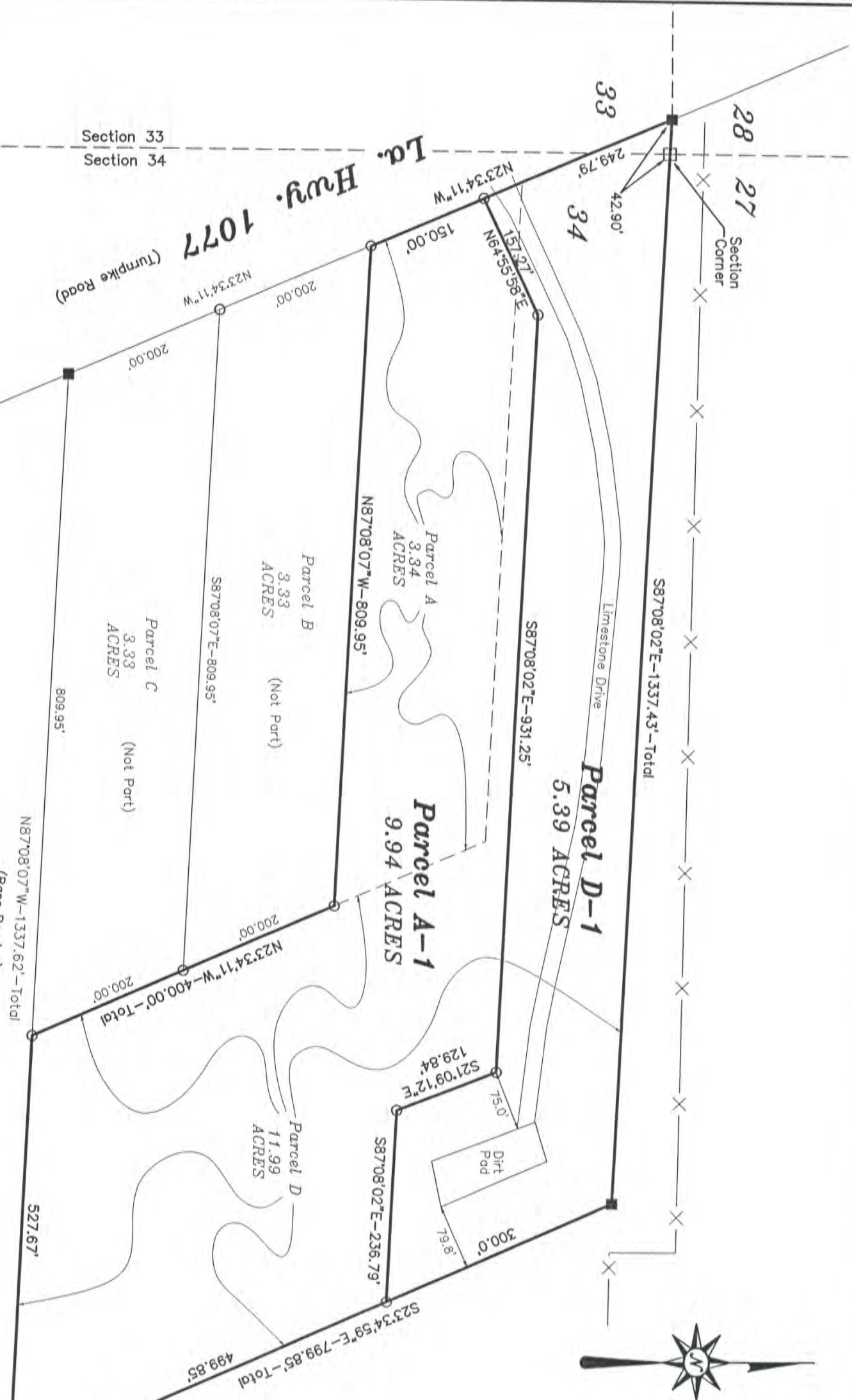
CLERK OF COURT

DATE FILE NO.

A Minor Subdivision of Parcel A & D, into Parcels A-1 & D-1, situated in Sections 33 & 34, T-6-S, R-10-E, St. Tammany Parish, Louisiana

Reference:
1) A Survey Map of Subject Property by Jeron Fitzmorris, Dated 3-2-2006, Job #11736 (Based Bearing)
2) A Resub Map of Parcels A, B, C & D by this Firm, Dated 9-16-2020, Revised 9-29-2020, Job #20018

This property is located in Flood Zone C, Per FEMA Map No. 225205 0205 C, Dated 10-17-1989



LEGEND:
■ = Fnd. 1/2" Iron Pipe
○ = Set 1/2" Iron Rod
—X— = Fence

LS Land Surveying, LLC
518 N. Columbia Street
Covington, LA 70433
(985) 842-6211 office (985) 848-0355 fax

MAP PREPARED FOR
RONDEN PROPERTIES, LLC

SCALE: 1" = 150'
DATE: 8-17-2022
SITUATED IN SECTIONS 33 & 34, T6S-R10E,
St. Tammany Parish, Louisiana

DRAWN BY: JWG
DRAWN NUMBER: 20919

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST, AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS.

THIS MAP IS IN ACCORDANCE WITH THE STANDARD DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A "D" SURVEY AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46:IXI.

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED.

Bruce M. Butler III
BRUCE M. BUTLER III
LA. PROFESSIONAL LAND SURVEYOR
LIC. NO. 4894



(Must verify prior to Construction)
Building Setbacks:
Front: **
Side: **
Rear: **
Side Street: **

Section 33
Section 34
La. Hwy. 1077 (Turnpike Road)

FINAL APPROVAL

DIR. DEPT. OF ENGINEERING

AL
ENGINEERING

Samuel in Arica

12-09-2020 5918B

DATE	FILE NO.
------	----------

Reference: A Survey Map of Subject Property by Jeron Fitzmorris, Dated 3-2-2006, Job #11736 (Based Bearing)

This property is located in Flood Zone C,
per Fema Map No. 225205 0205 C,
Dated 10-17-1989



LS Land Surveying, LLC
518 N. Columbia Street
Covington, LA 70433
(985) 892-6277 office (985) 898-0355 fax

MAP PREPARED FOR

RONDEN PROPERTIES, LLC

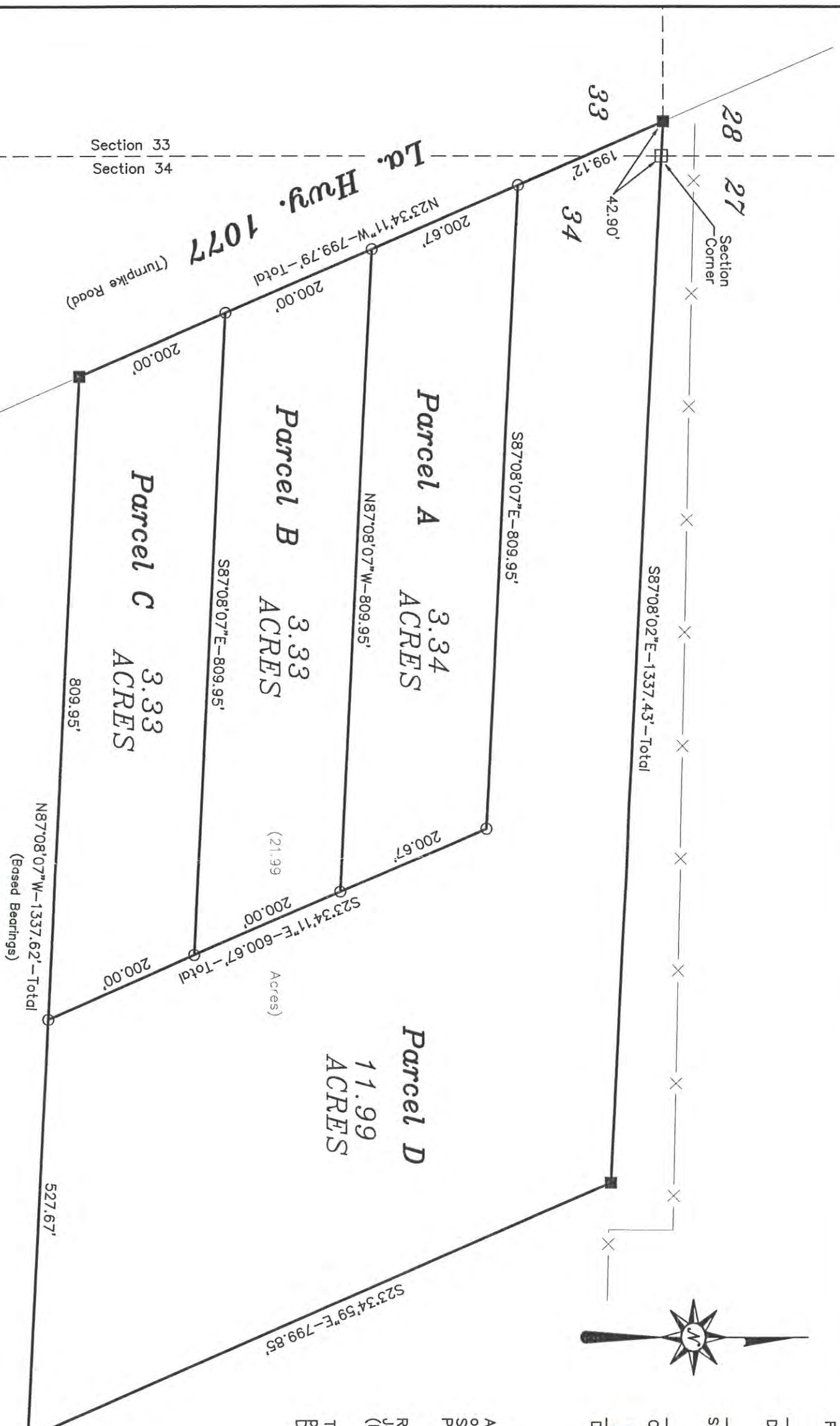
SCALE: 1" = 150'

DATE: 9-16-2020		
Situated in Sections 37 & 34 T6C-R10E		

situated in sections 33 & 34, 103-R10E,
St. Tammany Parish, Louisiana

Revised: 09-29-2020 (name change)	DRAWN NUMBER
	20018

	20018
--	-------



SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE OPTION OR TITLE POLICY WILL BE ADDED HERETOUPON REQUEST, AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS.

THIS MAP IS IN ACCORDANCE WITH THE STANDARD DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A "D" SURVEY AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46:141.

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED.

BRUCE M. BUTLER III
LA. PROFESSIONAL LAND SURVEYOR
LIC. NO. 4894

(Must verify prior to Construction)
Building Setbacks:
Front: **
Side: **
Rear: **
Side Street: **

MINOR SUBDIVISION STAFF ANALYSIS REPORT

(As of October 4th, 2022)

Meeting Date: October 11th, 2022

CASE NO.: 2022-3067-MSP

Owners & Representative: James Strahan, Jr.

ENGINEER/SURVEYOR: Cutrer Land Surveying, LLC

SECTION: 4

TOWNSHIP: 8

RANGE: 14

WARD: 9

PARISH COUNCIL DISTRICT: 11

TYPE OF DEVELOPMENT: ☒ SUBURBAN (Residential acreage between 1-5 acres)
 ☒ RURAL (Low density residential 5 acres or more)
 ☐ OTHER(PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: The parcel is located on the west side of Chris Kennedy Road, north of Pine Street Extension, Pearl River, Louisiana.

SURROUNDING LAND USES: Residential & Undeveloped

TOTAL ACRES IN DEVELOPMENT: 14.02 Acres

NUMBER OF LOTS/PARCELS: Parcel E into Parcels E1, E2, E3 & E4

ZONING: A-2 Suburban District

STAFF COMMENTARY:

Department of Planning & Development and Department of Engineering

The applicant is requesting to create four (4) parcels from parcel E (14.02 acres). The minor subdivision request requires a public hearing due to:

- Parcel E was previously part of a minor subdivision approved in March 2022 (2022-2784-MSA).

The request shall be subject to the above and below comments:

1. Amend survey (drawing of showing the Parcels) to match with the written description of the request for minor subdivision.

T8 - R14E

4

CHRIS KENNEDY RD



The Basis of Bearings is the Louisiana State Plane Coordinate System, NAD83, LA South Zone. State Plane Coordinates were determined by Static GPS Observations processed through OPUS.

This Minor Subdivision is based on the previous survey by J.V. Burkes 7 Assoc. Dated 05-25-2021, Drawing No. 20210111.

R.P.#1
N=686816.29
E=3764134.35
Convergence Angle= 00°45'59.01"
Combined Scale Factor= 0.999947525
Lat. 30.37971182
Long. -89.800588762

R.P.#2
N=686267.94
E=3764136.64
Convergence Angle= 00°45'58.98"
Combined Scale Factor= 0.999951107
Lat. 30.378204137
Long. -89.800604760

- 1.) A Survey By J.V. Burkes & Associates,
Dated 1/19/17, Survey No. 20170032.
- 2.) A Survey By Bruce Butler, Dated
10/4/12, Survey No. 15701.
- 3.) A Survey of a 22.019 Acre Parcel By
J.V. Burkes & Assoc. Dwg. No. 20210111,
Dated 5-25-2021.
- 4.) 22.02 Acre Minor Subdivision Filed 3-31-2022,
File Number 6104A.



Scale 1" = 150'

A horizontal scale bar with alternating black and white segments. It is marked with '0'' at the left end, '150'' at the midpoint, and '300'' at the right end.



BUILDING SETBACKS
 (* Verify Prior to Construction)

Front Setback.....	FSB
Side Setback.....	SSB
Rear Setback.....	RSB
	SSSB
	NOTE

F.I.R.M. No. 2252050300C
F.I.R.M. Date 10/16/1989
ZONE: C B.F.E. N/A
* Verify prior to construction with
Local Governing Body.

CHAIRMAN OF PLANNING COMMISSION	DATE
SECRETARY OF PLANNING COMMISSION	DATE
DIRECTOR OF ENGINEERING	DATE
CLERK OF COURT	DATE
DATE FILED	FILE NO.

TOTAL AREA: 610711.2 SQ.FT. OR 14.02 ACRES

CERTIFIED TO:

JAMES NORRIS
STRAHAN, JR.

AN AMENDED MINOR SUBDIVISION OF PARCEL "E"
BEING 14.02 ACRES INTO PARCEL "E1" 2.215
ACRES, PARCEL "E2" 2.470 ACRES, PARCEL "E3"
1.437 AND PARCEL "E4" 7.896 ACRES IN SECTION
4, TOWNSHIP 8 SOUTH, RANGE 14 EAST,
GREENSBURG LAND DISTRICT, ST. TAMMANY
PARISH, LOUISIANA

I CERTIFY THAT THIS BOUNDARY SURVEY, RECURBISHMENT, MONUMENTATION, AND RECORD THEREOF WAS MADE BY ME OR MY ASSISTANTS UNDER MY SUPERVISORY DIRECTION AND THAT THE SAME IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

CHAD H. CUTRER, PLS# 5253



77 H C LOWE ROAD, POPLARVILLE, MS | 601.746.5183
WWW.CUTBERLANDSURVEYING.COM

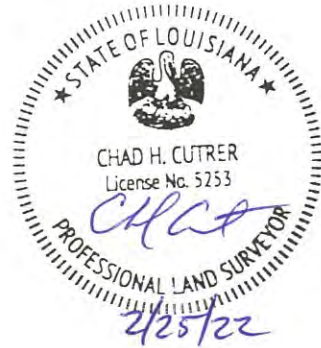
BASIS OF BEARINGS: LA SPCS, NAD83, LA SOUTH ZONE 1702		DRAWING DATE: AUG. 18, 2022
SCALE: 1"= 150'	SURVEY CLASS: "C"	FIELD WORK: DEC. 01, 2021
DRAWING NO: 1404-22 2	DRAWN BY: BAC	FIELD CREW: CHC. CHC

REFERENCE SURVEYS:
1.) A Survey By J.V. Burkes & Associates,
Dated 1/19/17, Survey No. 20170032.
2.) A Survey By Bruce Butler, Dated
10/4/12, Survey No. 15701.
3.) A Survey of a 22.019 Acre Parcel By
J.V. Burkes & Assoc. Dwg. No. 20210111,
Dated 5-25-2021.

REFERENCE POINTS
R.P.#1
N=686816.29
E=3764134.35
Convergence Angle= 00°45'59.01"
Combined Scale Factor= 0.999947525
Lat. 30.37971182
Long. -89.800588762

R.P.#2
N=688131.10
E=3764118.13
Convergence Angle= 00°45'59.02"
Combined Scale Factor= 0.999947943
Lat. 30.38332728
Long. -89.800584423

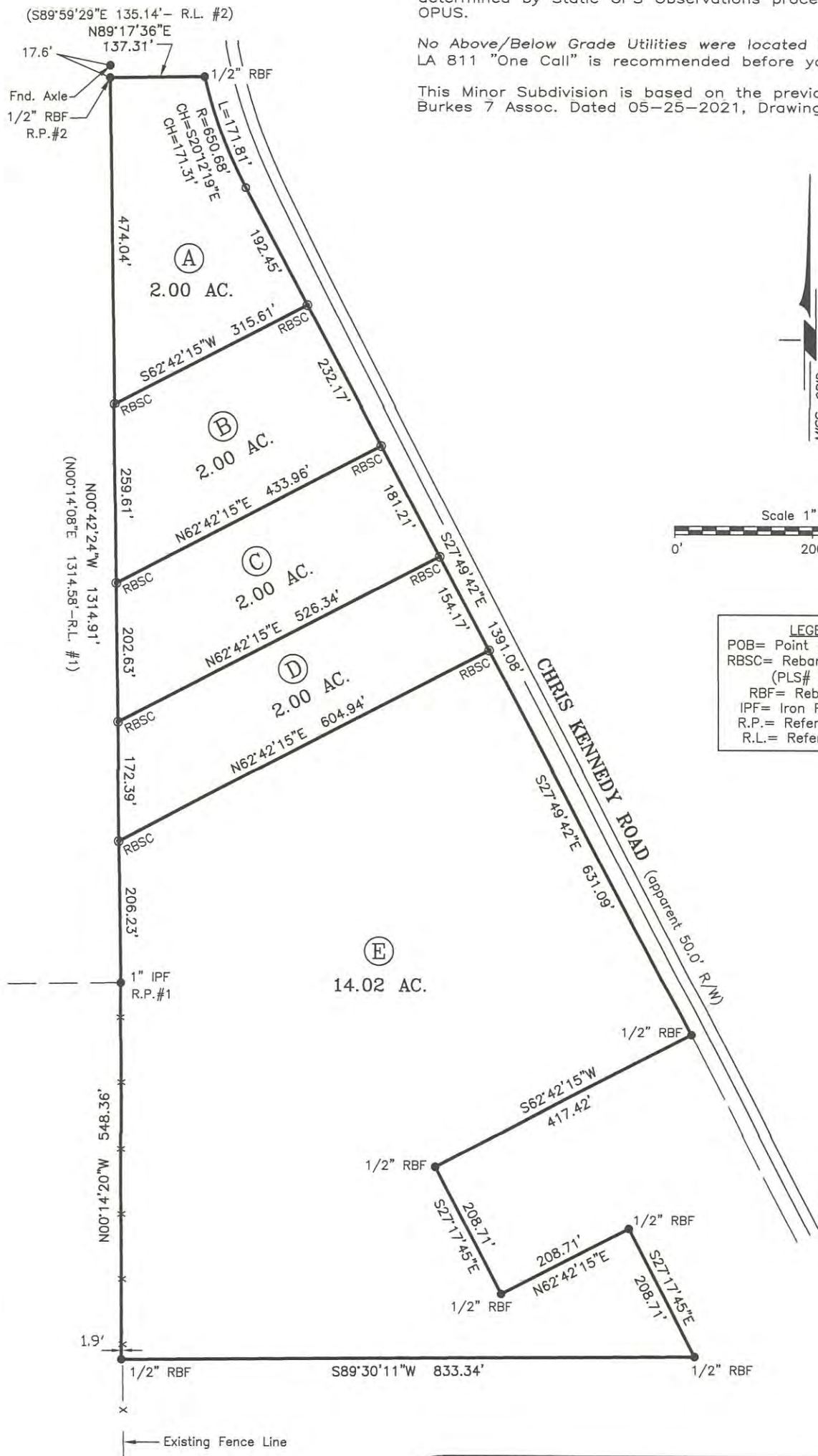
1/4 Section Corner
Common to Sections
4 & 5, T-8-S, R-14-E,
Greensburg Land District,
ST. Tammany Parish, LA
(Fnd. Old Wood & 1" Iron Pipe)



BUILDING SETBACKS
(* Verify Prior to Construction)
Front Setback..... FSB
Side Setback..... SSB
Rear Setback..... RSB
SSSB
NOTE

F.I.R.M. No. 2252050300C
F.I.R.M. Date 10/16/1989
ZONE: C B.F.E. N/A
* Verify prior to construction with
Local Governing Body.

GENERAL NOTES:
The Basis of Bearings is the Louisiana State Plane Coordinate
System, NAD83, LA South Zone. State Plane Coordinates were
determined by Static GPS Observations processed through
OPUS.
No Above/Below Grade Utilities were located in the survey. An
LA 811 "One Call" is recommended before you dig.
This Minor Subdivision is based on the previous survey by J.V.
Burkes 7 Assoc. Dated 05-25-2021, Drawing No. 20210111.



LEGEND
POB= Point of Beginning
RBSC= Rebar Set w/Cap
(PLS# 5253)
RBF= Rebar Found
IPF= Iron Pipe Found
R.P.= Reference Point
R.L.= Reference Line

APPROVED:

SECRETARY OF PLANNING COMMISSION DATE
DIRECTOR OF ENGINEERING 3/25/22 DATE
CLERK OF COURT Monique T. Bringol, Deputy Clerk
DATE FILED 03-31-2022 6104A FILE NO.

TOTAL AREA: 959147.64 SQ.FT. OR 22.02 ACRES

CERTIFIED TO:

JAMES NORRIS
STRAHAN, JR.

A MINOR SUBDIVISION OF A 22.02 ACRE
PARCEL INTO PARCEL "A" 2.00 ACRES,
PARCEL "B" 2.00 ACRES, PARCEL "C"
2.00 ACRES, PARCEL "D" 2.00 ACRES
AND PARCEL "E" 14.02 ACRES IN
SECTION 4, TOWNSHIP 8 SOUTH, RANGE
14 EAST, GREENSBURG LAND DISTRICT,
ST. TAMMANY PARISH, LOUISIANA

I CERTIFY THAT THIS BOUNDARY
SURVEY, REFURBISHMENT,
MONUMENTATION, AND RECORD
THEREOF WAS MADE BY ME OR
MY ASSISTANTS UNDER MY
SUPERVISORY DIRECTION AND
THAT THE SAME IS TRUE AND
CORRECT TO THE BEST OF MY
KNOWLEDGE AND BELIEF.



BASIS OF BEARINGS: LA SPCS, NAD83, LA SOUTH ZONE 1702
SCALE: 1"= 200'
DRAWING NO: 1404-22
DRAWING DATE: FEB. 14, 2022
SURVEY CLASS: "C"
DRAWN BY: BAC
FIELD WORK: DEC. 01, 2021
FIELD CREW: CHC, CHC

MINOR SUBDIVISION STAFF ANALYSIS REPORT

(As of October 4th, 2022)

Meeting Date: October 11th, 2022

CASE NO.: 2022-3076-MSP

Owners & Representative: Roy & Shannon McLaughlin.

ENGINEER/SURVEYOR: Lester Martin, Jr. & Associates, LLC

SECTION: 19

TOWNSHIP: 8S

RANGE: 13E

WARD: 7

PARISH COUNCIL DISTRICT: 7

TYPE OF DEVELOPMENT: X SUBURBAN (Residential acreage between 1-5 acres)
 RURAL (Low density residential 5 acres or more)
 OTHER(PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: The parcel is located on the south side of Miss Lou Road, east of LA highway 434, Lacombe, Louisiana.

SURROUNDING LAND USES: Residential & Undeveloped

TOTAL ACRES IN DEVELOPMENT: 4.04 Acres

NUMBER OF LOTS/PARCELS: Lot 4 into Lots 4-A & 4-B

ZONING: A-2 Suburban District

STAFF COMMENTARY:

Department of Planning & Development and Department of Engineering

The applicant is requesting to create two (2) lots from lot 4 (4.04 acres). The minor subdivision request requires a public hearing due to:

- Lot 4-B is proposed to be accessed from a 35 foot Egress, Ingress & Utility Easement, requiring approval from the Planning Commission.

The request shall be subject to the above and below comments:

1. As per 911 Communication District the survey should be modified as follow: Miss Lou Road **Street**.

2022-3076-MSP

434

2B

18

1

17

LITTLE DIXIE RANCH RD

MISS LOU ST

1

T8 - R13E

1

2

3

4

5

6

19

20

Cell & Text: (985) 285-9099 Fax: 1 (208) 279-0935
E-mail: LMJSurveyor@gmail.com



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MINOR SUBDIVISION STAFF ANALYSIS REPORT

(As of October 4th, 2022)

Meeting Date: October 11th, 2022

CASE NO.: 2022-3078-MSP

Owners & Representative: Gottes Wald, LLC-Paul Dietzel.

ENGINEER/SURVEYOR: Land Surveying, LLC

SECTION: 22

TOWNSHIP: 6S

RANGE: 11E

WARD: 3

PARISH COUNCIL DISTRICT: 2

TYPE OF DEVELOPMENT: ☐ SUBURBAN (Residential acreage between 1-5 acres)
 ☒ RURAL (Low density residential 5 acres or more)
 ☐ OTHER(PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: The parcel is located on the north side of Johnsen Road, east of LA Highway 437, Covington, Louisiana.

SURROUNDING LAND USES: Residential & Undeveloped

TOTAL ACRES IN DEVELOPMENT: 20.16 Acres

NUMBER OF LOTS/PARCELS: Parcel 3A-4 into Parcels 3A-4A & 3A-4B

ZONING: A-1 Suburban District

STAFF COMMENTARY:

Department of Planning & Development and Department of Engineering

The applicant is requesting to create two (2) parcels from parcel 3A-4 (20.16 acres). The minor subdivision request requires a public hearing due to:

- Parcel 3A-4 was previously part of a minor subdivision approved in October 2021 (2021-2495-MSP).

The request shall be subject to the above and below comments:

1. Provide signature line for the Chairman of the Planning Commission.

LEERD

437

22

23

T6-R11E

JOHNSEN RD

MILLING LN

ROSWELL RD

SAN BARD LN

BOGUE CT

27

CLEN LOOP

PIPES LOOP

DOGWOOD LN

26

A Minor Subdivision of Parcel 3A-4, into Parcels 3A-4A & 3A-4B, Section 22, T6S-R11E, St. Tammany Parish, Louisiana

FINAL APPROVAL

DIR. DEPT. OF ENGINEERING

SECRETARY PLANNING COMM.

CLERK OF COURT

DATE FILE NO.



SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST. AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT OR TITLE SEARCH, THE UNDERSIGNED HAS MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS.

THIS MAP IS IN ACCORDANCE WITH THE STANDARD DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A "D" SURVEY AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46:1X1.

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED.

BRUCE M. BUTLER III
LA. PROFESSIONAL LAND SURVEYOR
LIC. NO. 4894



Land Surveying, LLC
518 N. Columbia Street
Covington, LA 70433
(985) 842-6277 office (985) 848-0355 fax

MAP PREPARED FOR

COTTES WALD, LLC

DRAWN BY JWG

SCALE: 1" = 250'

DATE: 9-14-2022

Section 22, T-6-S, R-11-E, St. Tammany Parish, La.

SURVEY NUMBER

20958

Tier 2/ Paul Detzel/ Parcel 3A-4

Reference: A Resub Map by this Firm, File Date 10-25-2021, File No. 6057B, Clerk of Courts Office (Based Bearings)

The P.O.B. is described being North-40.0' from the Section Corner common to Sections 22, 23, 26 & 27, T-6-S, R-11-E, St. Tammany Parish, La.

This property is located in Flood Zone B & C, per Fema Map No. 225205 0150 C, Dated 10-17-1989

LEGEND:

- = Set 1/2" Iron Rod
- = Fnd. 5/8" Iron Rod
- = Fnd. 1/2" Iron Rod
- ⊙ = Fnd. 1" Iron Pipe
- = Fnd. Conc. Hwy. Mon.
- ✱ = Fnd. 1 1/2" Iron Pipe
- ▣ = Fnd. 2" Iron Pipe
- ▲ = Fnd. 1/2" Iron Pipe
- E— = Powerline

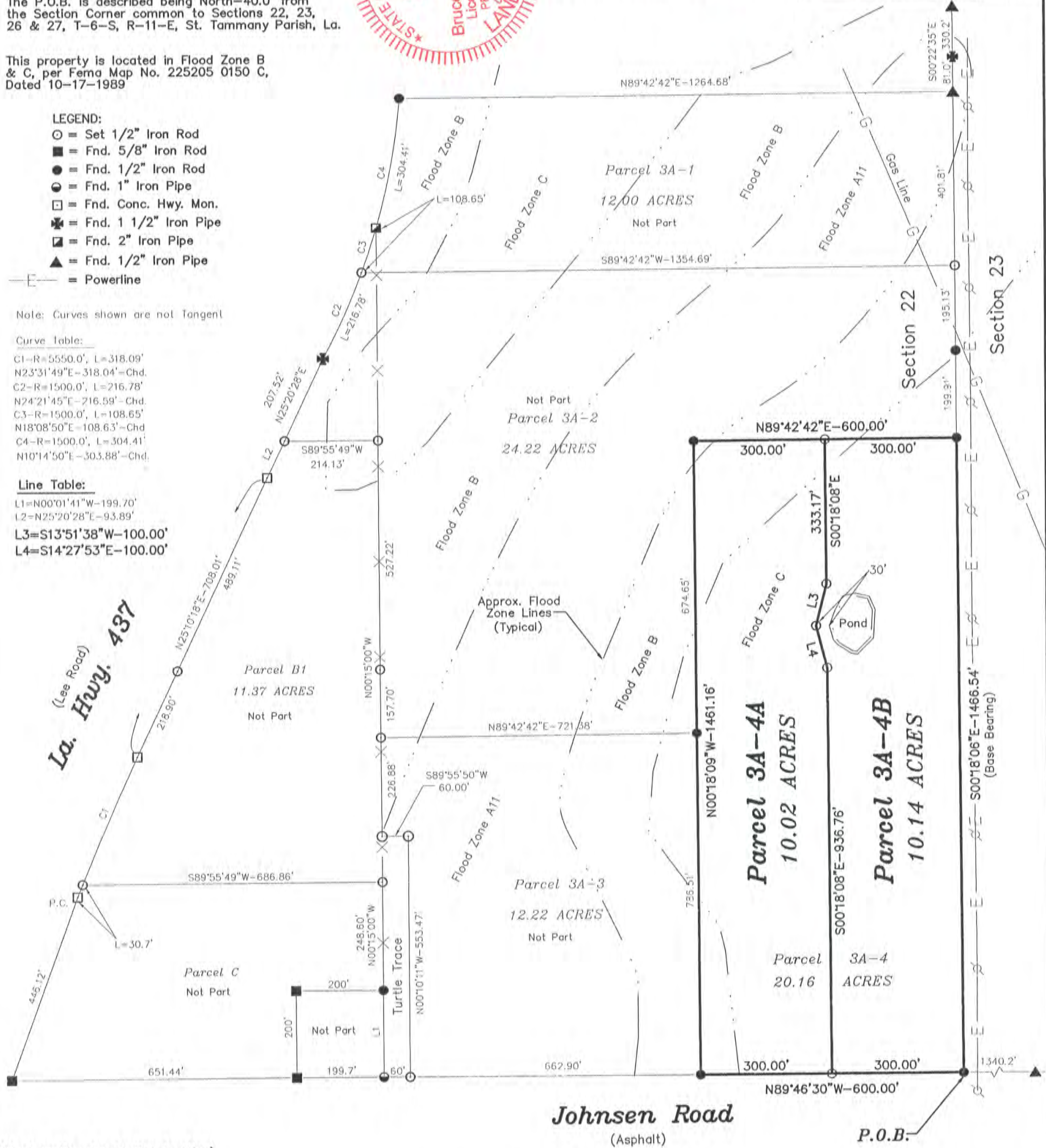
Note: Curves shown are not Tangent

Curve Table:

C1-R=5550.0', L=318.09'
N23°31'49"E=318.04'=Chd.
C2-R=1500.0', L=216.78'
N24°21'45"E=216.59'=Chd.
C3-R=1500.0', L=108.65'
N18°08'50"E=108.63'=Chd.
C4-R=1500.0', L=304.41'
N10°14'50"E=303.88'=Chd.

Line Table:

L1=N00°01'41"W=199.70'
L2=N25°20'28"E=93.89'
L3=S13°51'38"W=100.00'
L4=S14°27'53"E=100.00'



(Must verify prior to Construction)
Building Setbacks:
Front:
Side:
Rear:
Side Street:

Some items shown are not to scale for clarity, dimensions shown prevail pver scale

A Minor Subdivision of Parcel 3A, into Parcels 3A-1, 3A-2, 3A-3 & 3A-4, Section 22, T6S-R11E, St. Tammany Parish, Louisiana

Final Approval:

Director, Dept. of Engineering

Secretary, Planning Commission

Chairman, Planning Commission

Clerk of Court

Date Filed

Amy White, Deputy Clerk

Map File No.

Reference:

- 1) Survey Plat by Jeron Fitzmorris, Dated 12-4-1981, #2538
- 2) A Resub Map by this Firm, File Date 9-29-2020, File No. 5958E, Clerk of Courts Office (Based Bearings)
- 3) A Resub Map by this Firm, File Date 5-3-2021, File No. 6018B, Clerk of Courts Office

Reference calls not shown

The P.O.B. is described being North-40.0'; West-1263.0'; from the Section Corner common to Sections 22, 23, 26 & 27, T-6-S, R-11-E, St. Tammany Parish, La.

LEGEND:

- = Set 1/2" Iron Rod
- = Fnd. 5/8" Iron Rod
- = Fnd. 1/2" Iron Rod
- = Fnd. 1" Iron Pipe
- = Fnd. Conc. Hwy. Mon.
- ✱ = Fnd. 1 1/2" Iron Pipe
- = Fnd. 2" Iron Pipe
- ▲ = Fnd. 1/2" Iron Pipe
- X— = Fence
- E— = Powerline

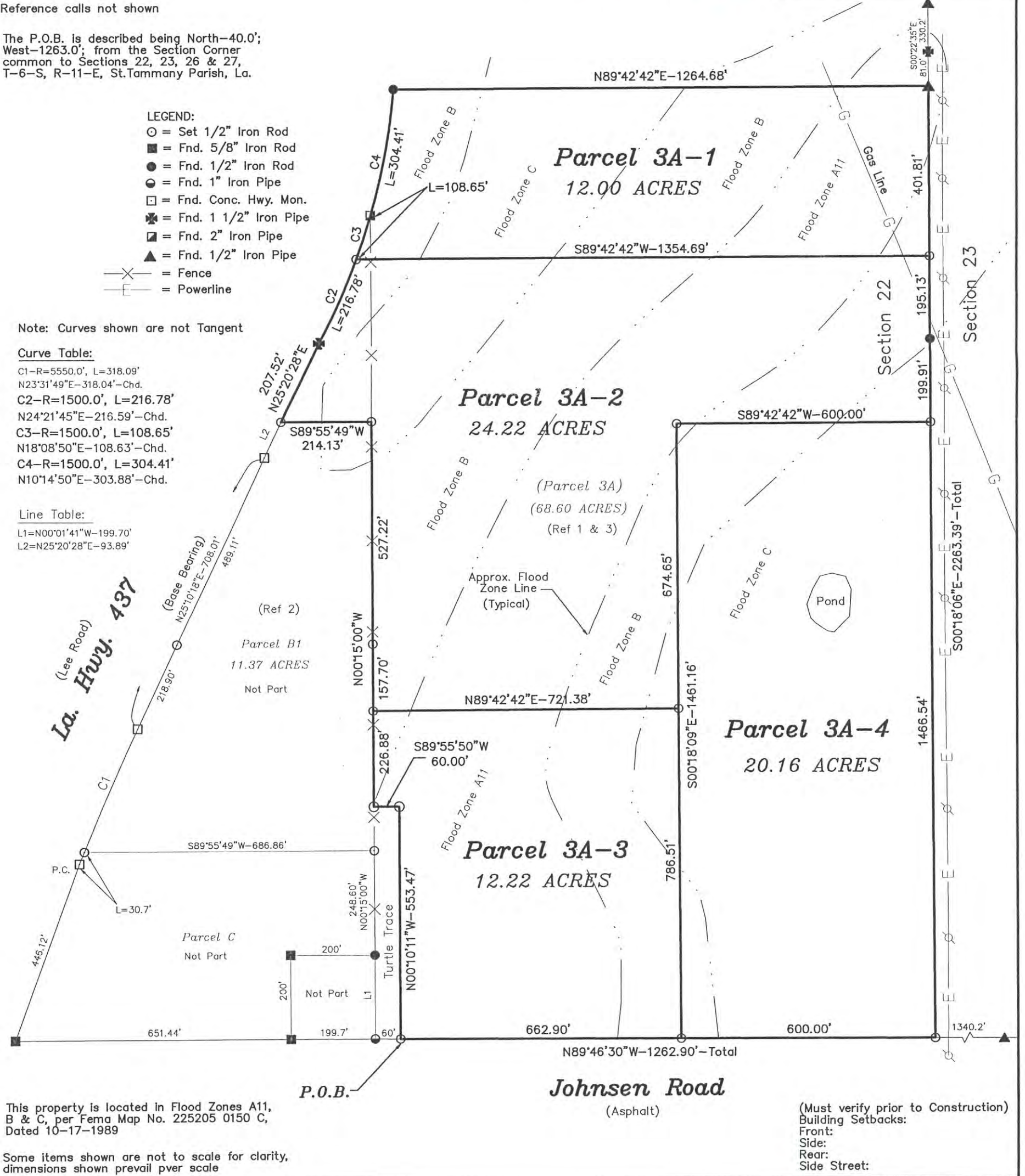
Note: Curves shown are not Tangent

Curve Table:

- C1-R=5550.0', L=318.09'
N23°31'49"E-318.04'-Chd.
C2-R=1500.0', L=216.78'
N24°21'45"E-216.59'-Chd.
C3-R=1500.0', L=108.65'
N18°08'50"E-108.63'-Chd.
C4-R=1500.0', L=304.41'
N10°14'50"E-303.88'-Chd.

Line Table:

- L1=N00°01'41"W-199.70'
L2=N25°20'28"E-93.89'



SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST, AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS.

THIS MAP IS IN ACCORDANCE WITH THE STANDARD DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A "D" SURVEY AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46:1X1.

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED.

PROFESSIONAL

BRUCE M. BUTLER III

LA. PROFESSIONAL LAND SURVEYOR

LIC. NO. 4894

8-24-2021

MAP PREPARED FOR

Land Surveying, LLC

518 N. Columbia Street

Covington, LA 70433

(985) 842-6277 office (985) 848-0355 fax

CALLENDER & FITZJACKEL, LLC

SCALE: 1" = 250'

DATE: 6-30-2021

DRAWN BY: JWG

Section 22, T-6-S, R-11-E, St. Tammany Parish, La.

SURVEY NUMBER

20431

Revised: 8-23-2021

Terr3/Callender&FitzjackelResub8-23-21

MINOR SUBDIVISION STAFF ANALYSIS REPORT

(As of October 4th, 2022)

Meeting Date: October 11th, 2022

CASE NO.: 2022-3083-MSP

Owners & Representative: Shane & Allison Hillman

ENGINEER/SURVEYOR: Randall W. Brown & Associates, Inc

SECTION: 34

TOWNSHIP: 6S

RANGE: 10E

WARD: 1

PARISH COUNCIL DISTRICT: 3

TYPE OF DEVELOPMENT: ___X___ SUBURBAN (Residential acreage between 1-5 acres)
 ___R___ RURAL (Low density residential 5 acres or more)
 ___O___ OTHER (PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: The parcel is located on the north side of Stanga Road, west of LA Highway 1077, Covington, Louisiana.

SURROUNDING LAND USES: Residential & Undeveloped

TOTAL ACRES IN DEVELOPMENT: 2.88 Acres

NUMBER OF LOTS/PARCELS: Lot S2 into Lots S2-1 & S2-2

ZONING: A-3 Suburban District

STAFF COMMENTARY:

Department of Planning & Development and Department of Engineering

The applicant is requesting to create two (2) lots from lot S2 (2.88 acres). The minor subdivision request requires a public hearing due to:

- Lot S2 was previously part of a minor subdivision approved in July 2022 (2022-2994-MSA).

JOINER WYMER RD

1077

TUSCANY WEST BLVD

TURNPIKE RD

T6 - R10E

33

34

STANGARD

T7 - R10E 4

3



NOTE:
OWNER OR BUILDER RESPONSIBLE
FOR OBTAINING SETBACKS BEFORE
DESIGN OR CONSTRUCTION BEGINS.



STANGA ROAD

BASIS FOR BEARINGS

P.O.B.

FIRM Panel# 2252050205C Rev. 10-17-1989

HWY 1077 (SIDE)

- DENOTES 1/2" IRON ROD TO BE SET UNLESS OTHERWISE NOTED
- DENOTES 1/2" IRON ROD FND UNLESS OTHERWISE NOTED

APPROVED:

CHAIRMAN PARISH PLANNING COMMISSION

SECRETARY PARISH PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

CLERK OF COURT

DATE FILED	FILE NO.
------------	----------

Resubdivision of
LOT S2 SITUATED IN
SECTION 34, TOWNSHIP 6 SOUTH, RANGE 10 EAST
ST. TAMMANY PARISH
INTO
LOTS S2-1 & S2-2

NO ATTEMPT HAS BEEN MADE BY RANDALL W. BROWN & ASSOC., INC. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT.

SURVEYED IN ACCORDANCE WITH THE LOUISIANA "APPLICABLE
STANDARDS FOR PROPERTY BOUNDARY SURVEYS"
FOR A CLASS C SURVEY.

RANDALL W. BROWN
REG. NO. 0458

REGISTERED
PROFESSIONAL

**Randall W. Brown
& Associates, Inc.**

Professional Land Surveyors

228 W. Causeway Approach, Mandeville, LA 70448

(985) 624-5368 FAX (985) 624-5309

info@brownsurveys.com

Date: SEPTEMBER 19, 2022
Survey No. 22572
Project No. (CR5) D22175.TXT

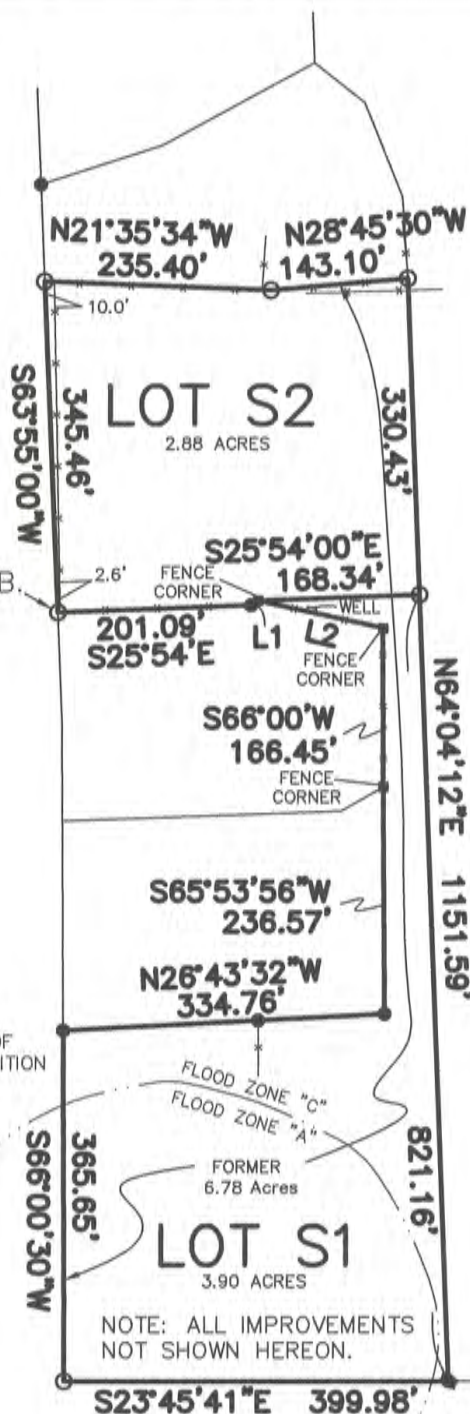
Scale: 1" = 100' ±
 Drawn By: J.E.D.
 Revised:

Randall W. Brown, P.L.S.
Professional Land Surveyor
LA Registration No. 04586

W:\1SurveyShared\22SURVEY\22175.dwg

Copyright 2022 – Randall W. Brown & Associates, Inc.

STANGA ROAD



P.O.B. NOTE: THE POINT OF BEGINNING IS REPORTED TO BE: N00°11'W 282.0'; N80°13'E 562.0'; N00°11'W 437.3'; N26°05'W 40.0'; AND N63°55'E 405.32' FROM THE SECTION CORNER COMMON TO SECTIONS 33 & 34, T-6-S, R-10-E & SECTIONS 3 & 4, T-7-S, R-10-E, ST. TAMMANY PARISH, LOUISIANA.

APPROVED:

SECRETARY PARISH PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

CLERK OF COURT

DATE FILED

FILE NO.

Monique T Bringol, Deputy Clerk

NOTE: OWNER OR BUILDER RESPONSIBLE FOR OBTAINING SETBACKS BEFORE CONSTRUCTION BEGINS.

- DENOTES 1/2" IRON ROD TO BE SET UNLESS OTHERWISE NOTED
- DENOTES 1/2" IRON ROD FND UNLESS OTHERWISE NOTED

LINE	BEARING	DISTANCE
L1	N57°23'20"W	8.57'
L2	N11°29'30"W	133.1'

FIRM Panel# 2252050205C Rev. 10-17-1989

Resubdivision of
A 6.78 ACRE PARCEL SITUATED IN
SECTION 34, TOWNSHIP 6 SOUTH, RANGE 10 EAST
INTO
LOTS S1 & S2

NO ATTEMPT HAS BEEN MADE BY RANDALL W. BROWN & ASSOC., INC. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT.

SURVEYED IN ACCORDANCE WITH THE LOUISIANA "APPLICABLE STANDARDS FOR PROPERTY BOUNDARY SURVEYS" FOR A CLASS C SURVEY.

REG. NO. 04586

REGISTERED PROFESSIONAL

Randall W. Brown & Associates, Inc.

Professional Land Surveyors

228 W. Causeway Approach, Mandeville, LA 70448

(985) 624-5368 FAX (985) 624-5309

info@brownsurveys.com

Date: MAY 9, 2022

Survey No. 22175

Project No. (CR5) D22175.TXT

Scale: 1" = 200' ±

Drawn By: J.E.D.

Revised:

Randall W. Brown, P.L.S.
Professional Land Surveyor
LA Registration No. 04586

RESUBDIVISION REVIEW

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RESUBDIVISION STAFF ANALYSIS REPORT

(As of October 4th, 2022)

Meeting Date: October 11, 2022

CASE FILE NO: 2022-3054-MRP

NAME OF SUBDIVISION: The Willows

LOTS BEING DIVIDED: Lots 24 & 25 into Lot 24-A

SECTION: 3

WARD: 1

TOWNSHIP: 7S

PARISH COUNCIL DISTRICT: 3

RANGE: 10E

PROPERTY LOCATION: The property is located on the south side of Rue Charlotte, east of Willow Bend Dr, Covington, Louisiana.

ZONING: PUD Planned Unit Development Overlay

PROPERTY OWNER: Stephen P. & Louise C. Higgins

STAFF COMMENTARY:

Department of Planning & Development and Department of Engineering

The applicant is requesting to create one (1) lot from lots 24 & 25. The resubdivision request requires a public hearing due to:

- As stated in the restrictive covenants of the approved plat, no lots shall be further resubdivided without approval from the Planning Commission.

The request shall be subject to the below comments:

1. Add signature line for the Chairman of the Planning Commission.

NORTHPOINTE CT

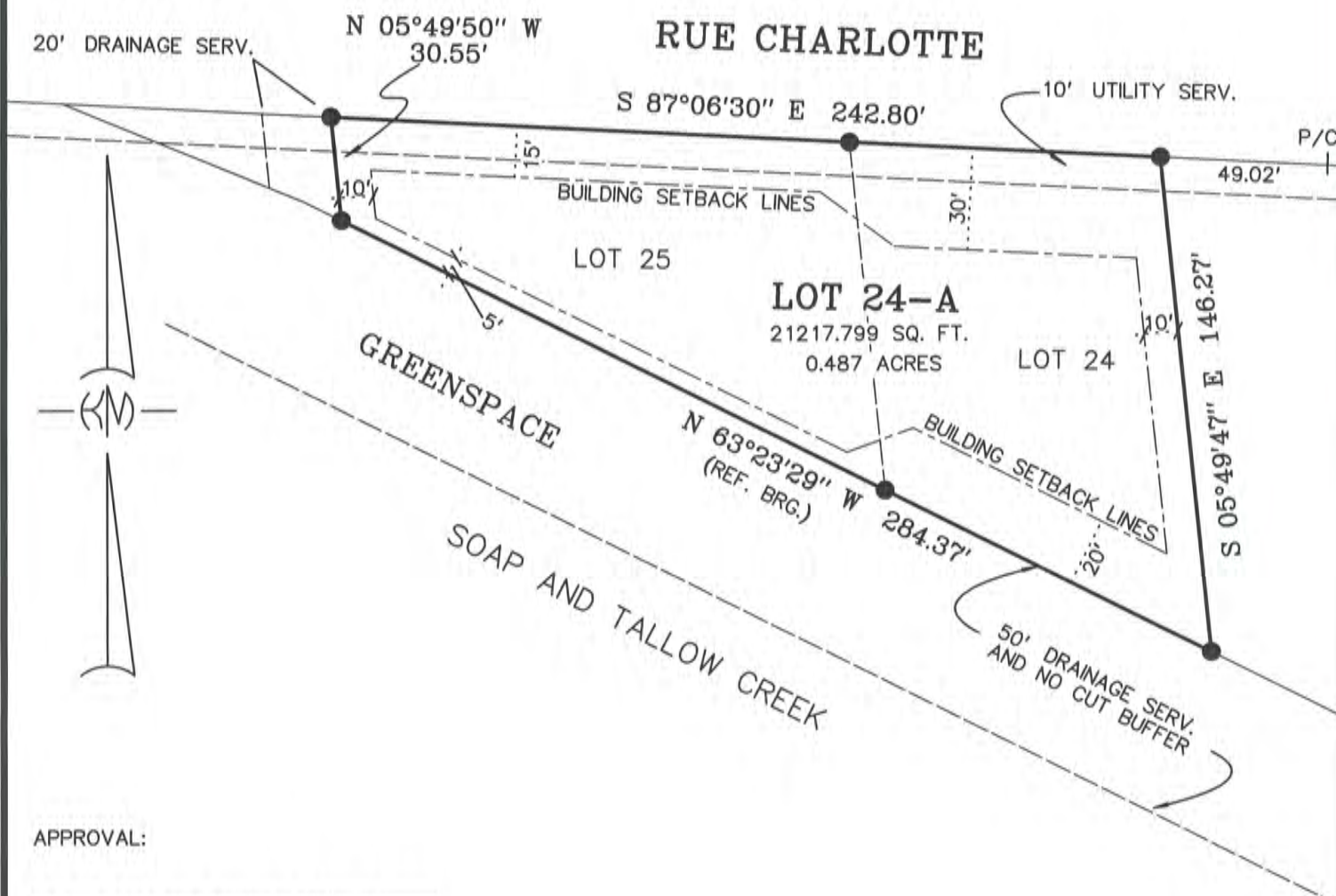
RUE CHARLOTTE

T7 - R10E

3

STILL CT

KETTLE CT



APPROVAL:

SECRETARY PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

DATE FILED FILE NO.

CLERK OF COURT

- LEGEND --
- = 1/2" IRON ROD FOUND
 - = 1/2" IRON ROD SET

THIS PROPERTY IS LOCATED IN FLOOD ZONE A ; BASE FLOOD ELEV. UNDETERMINED; F.I.R.M.PANEL NO.225205 0205 C; REV.10-17-89

NOTE:
NO ATTEMPT HAS BEEN MADE BY KELLY McHUGH & ASSOC., INC. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT



[Signature]
Kelly J. McHugh, REG. NO. 4443

CERTIFIED TO BE IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND AND COMPLYING WITH THE CURRENT APPLICABLE STANDARDS OF PRACTICE FOR A CLASS "C" SURVEY. RED STAMP SIGNIFIES CORRECT PLAT.

NOTE:
OWNER OR CONTRACTOR IS RESPONSIBLE FOR VERIFYING BUILDING SETBACKS BEFORE CONSTRUCTION BEGINS.

MINIMUM BUILDING SETBACKS AS SHOWN HERE ON

REFERENCE:
PLAT OF THE WILLOWS BY JOHN G. CUMMINGS FILED FOR RECORD 08-22-2018, MAP FILE NO. 5773 FROM WHICH SETBACKS, SERVITUDES AND BASIS OF BEARINGS WERE TAKEN.

A RESUBDIVISION OF
LOTS 24 & 25 INTO LOT 24-A
ALL IN THE WILLOWS,
SECTION 3, T-7-S, R-10-E, G.L.D.,
ST. TAMMANY PARISH, LOUISIANA.

PREPARED FOR:

STEPHEN & LOUISE HIGGINS

KELLY J. McHUGH & ASSOC., INC.
CIVIL ENGINEERS & LAND SURVEYORS
845 GALVEZ ST., MANDEVILLE, LA. 626-5611

SCALE: 1" = 50'	DATE: 09-01-22
DRAWN: MDM	JOB NO.: 22-260
REVISED:	

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RESUBDIVISION STAFF ANALYSIS REPORT

(As of October 4th, 2022)

Meeting Date: October 11, 2022

CASE FILE NO: 2022-3075-MRP

NAME OF SUBDIVISION: Alpha Industrial Park, Phase 2A

LOTS BEING DIVIDED: Lots 1A, 2A & 23A, into Lot 1A-1

SECTION: 19

WARD: 1

TOWNSHIP: 7S

PARISH COUNCIL DISTRICT: 3

RANGE: 12E

PROPERTY LOCATION: The property is located on the northeast corner of LA Highway 59 & Alpha Blvd, Mandeville, Louisiana.

ZONING: I-2 Industrial District

PROPERTY OWNER: Alpha 59 LLC - Mark Sieverding

STAFF COMMENTARY:

Department of Planning & Development and Department of Engineering

The applicant is requesting to create one (1) lot from lots 1A, 2A & 23A. The resubdivision request requires a public hearing due to:

- As stated in the restrictive covenants of the approved plat, no lots shall be further resubdivided without approval from the Planning Commission.



SOUTH LN

SOLAR CT

MARION LN

T7-R11E 24

T7-R12E 19

ALPHA BLVD

59

CALCO DR

GISELLE DR

APPROVALS:

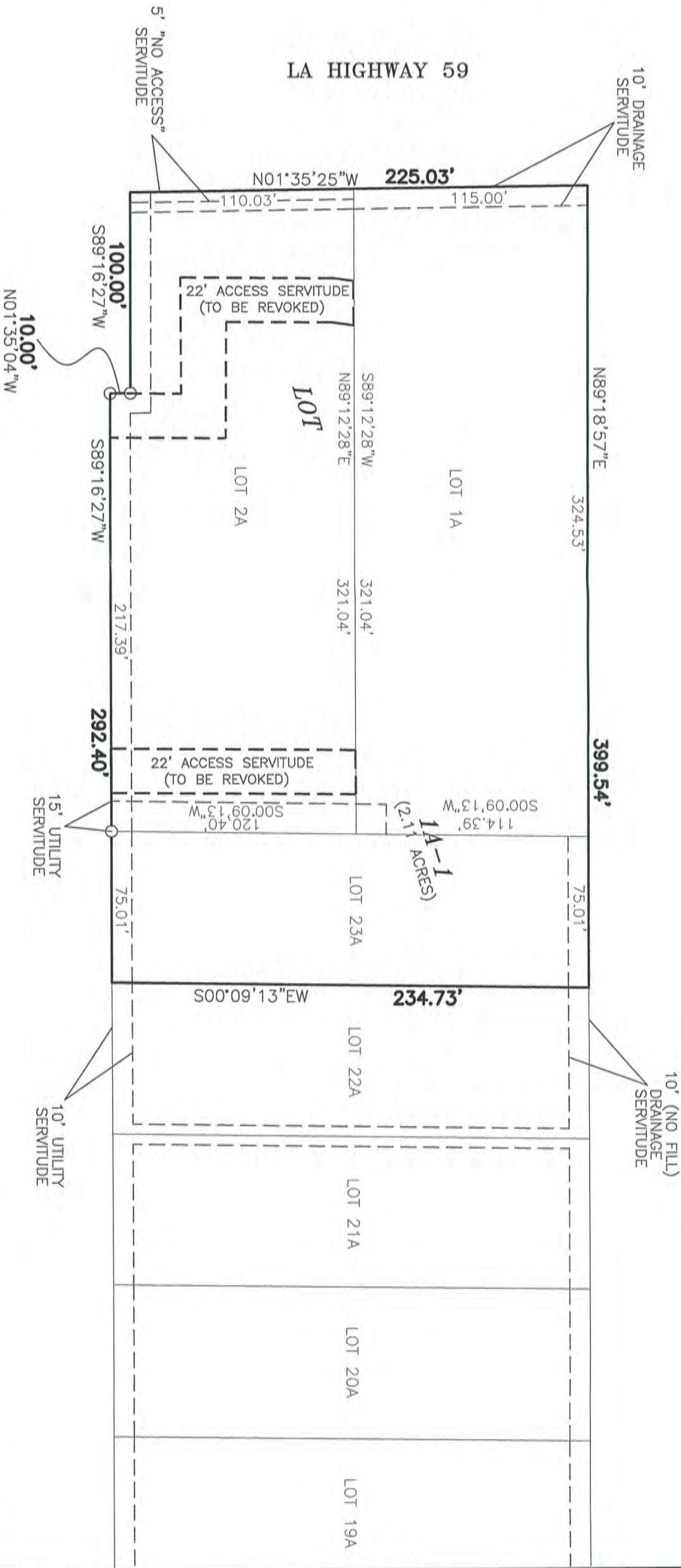
Chairman – St. Tammany Planning Commission

Secretary – St. Tammany Planning Commission

Director of the Department of Engineering

Clerk of Court

Date Filed Map File No.



- LEGEND**
- = 1/2" IRON ROD FOUND
 - = 1/2" IRON ROD SET

A RESUBDIVISION MAP OF
LOTS 1A, 2A, & 23A, PHASE 2A
ALPHA INDUSTRIAL PARK SUBDIVISION

LOT 1A-1, PHASE 2A,
ALPHA INDUSTRIAL PARK SUBDIVISION

Section 19, Township-7-South, Range-12-East
St. Tammany Parish, Louisiana
for
JAMES PETERS

Survey No. 22-140470 Drawn by: MAB Scale: 1" = 60'
Date: SEPTEMBER 08, 2022 Revised:

FLOODZONE NOTE: This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described is located in Flood Zone(s) "C" with a Base Flood Elevation of N/A in accordance with Community Panel No. 225205 0245 C; Revised: OCTOBER 17, 1989

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL; AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS C SURVEY.

ALPHA BOULEVARD

BUILDING SETBACKS
FRONT:
SIDE:
STREET:
REAR:

REFERENCE SURVEY:
A Subdivision Plat Map of Alpha Industrial Park Subdivision, Phase 2A & 2B done by John E. Bonneau & Associates dated 11/16/2010 & 02/10/2012, having Survey No. 2008-081 & 2008-081C. REF. MAP FILE #4960.
BASIS FOR BEARINGS/ANGLES:
The Reference Survey.
NOTE: This is to certify that I have done an actual ground survey and found that no encroachments exist either way across any property lines except as shown.

LOWE
ENGINEERS

Professional Land Surveyors
Planners and Consultants
1011 NORTH CAUSEWAY BLVD., SUITE 34
MANDEVILLE, LA 70471
OFFICE NO. (985)845-1012
FAX NO. (985)845-1778
www.lowengineers.com
e-mail: MandevilleTeam@lowengineers.com

NOTE: Setback lines shall be verified by owner and/or contractor prior to any construction, as an abstract has not been performed by the undersigned.

NOTE: Servitudes shown hereon are not necessarily exclusive. Servitudes of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.

This Survey is Certified
True and Correct By
JOHN E. BONNEAU
LICENSE NO. 4423
PROFESSIONAL
Surveyor
Professional Land Surveyor
Registration No. 4423

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TENTATIVE SUBDIVISION REVIEW

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TENTATIVE SUBDIVISION STAFF ANALYSIS REPORT
(As of October 4, 2022)

CASE NO.: 2022-3079-TP

PROPOSED SUBDIVISION NAME: Moore Park Subdivision

DEVELOPER: Moore 59, LLC
2900 East Causeway Approach
Mandeville, LA 70448

ENGINEER/SURVEYOR: J.V. Burkes & Associates, Inc.
1805 Shortcut Highway
Slidell, LA 70458

SECTION: 32 WARD: 4
TOWNSHIP: 7 South PARISH COUNCIL DISTRICT: 5
RANGE: 12 East

TYPE OF DEVELOPMENT: ☐ URBAN (Residential lots less than 1 acre)
 ☐ SUBURBAN (Residential lots between 1-5 acres)
 ☐ RURAL (Residential Farm Tract lots 5 acres plus)
 ☒ OTHER (Multi family, commercial or industrial) **(PUD)**

GENERAL LOCATION: The property is located on the north side of LA Highway 1088, west of Hickory Street, south of Interstate 12, Mandeville, Louisiana

SURROUNDING LAND USES: North - Professional Office
 South - Neighborhood Institutional
 East - Residential
 West - Residential

TOTAL ACRES IN DEVELOPMENT: 21.69 Acres

NUMBER OF LOTS: 10 Lots TYPICAL LOT SIZE: 1.68 Acres

SEWER AND WATER SYSTEMS: Central

PROPOSED ZONING: NC-4 Neighborhood Institutional

FLOOD ZONE DESIGNATION: A & C

STAFF COMMENTARY:

Department of Planning and Development

Staff recommends a postponement of this proposed Tentative Subdivision submittal request to allow for additional time to submit the outstanding documentation, and obtain the necessary Board of Adjustment Variances outlined in the comments and informational items below.

General Comments:

1. A Traffic Impact Analysis (T.I.A.) is required for this development in accordance with STP Ordinance Section 125-160 and as outlined in the T.I.A. scope of work issued on 10/4/2022.
2. Provide “will serve” letters from Tammany Utilities regarding water and sewer services for the proposed development.
3. A Board of Adjustment (B.O.A.) variance is required for the setbacks to the existing utility tower and associated buildings/structures in accordance with Section 130-2213(41)(a)(2)(iii)(B) “towers shall be set back from the property line a distance equal to the height of the tower or shall conform with the setbacks established from the underlying zoning district, whichever is greater”, as well as Section 130-2213(41)(a)(2)(iii)(D) “all buildings and other structures to be located on the same property as a tower shall conform with the setbacks established for the underlying zoning district”.
4. An access servitude will need to be provided to accommodate the existing utility site access and Elm Street access.

Tentative Plat:

5. Update the Tentative Plat to show wetland demarcation lines (as determined by the U.S. Army Corps of Engineers)
6. Update the Tentative Plat to show the proposed subsurface infrastructure on the typical cross-sections.

Informational Items

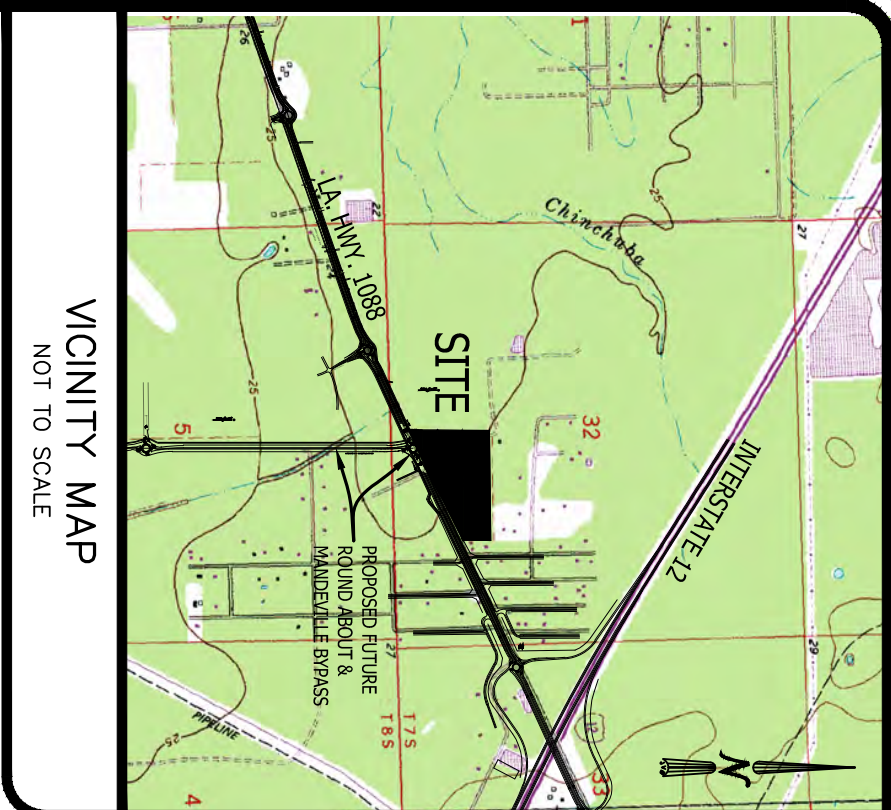
The developer is responsible for contacting the USPS Regional Growth management Coordinator to verify the appropriate street names, addresses and mail delivery location for this development.

This development is proposing to connect to a future parish roadway “The Mandeville Bypass Road” which is currently being designed as a “Three-Leg” round-about at the intersection of Hwy 1088, any modifications to this design or the addition of the northern leg “Fourth-Leg” would be the responsibility of Moore 59, LLC to receive approvals/permits from LADOTD. The project and associated state road connections are being permitted with LADOTD currently and are roughly at the 80% competition. The Parish’s intention is to bid this project out in the first quarter of 2023.

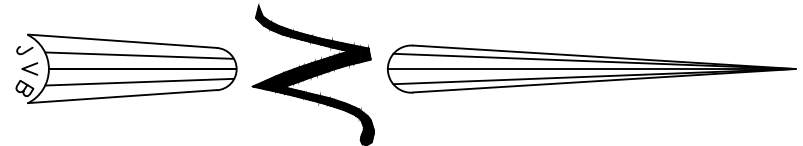
Parish code requires that a land clearing permit be applied for and obtained through the Department of Planning prior to the developer receiving a work order in conjunction with the preliminary subdivision review process.

Revised drawings will not be accepted for review or placement in the packet prior to the October 11, 2022 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.





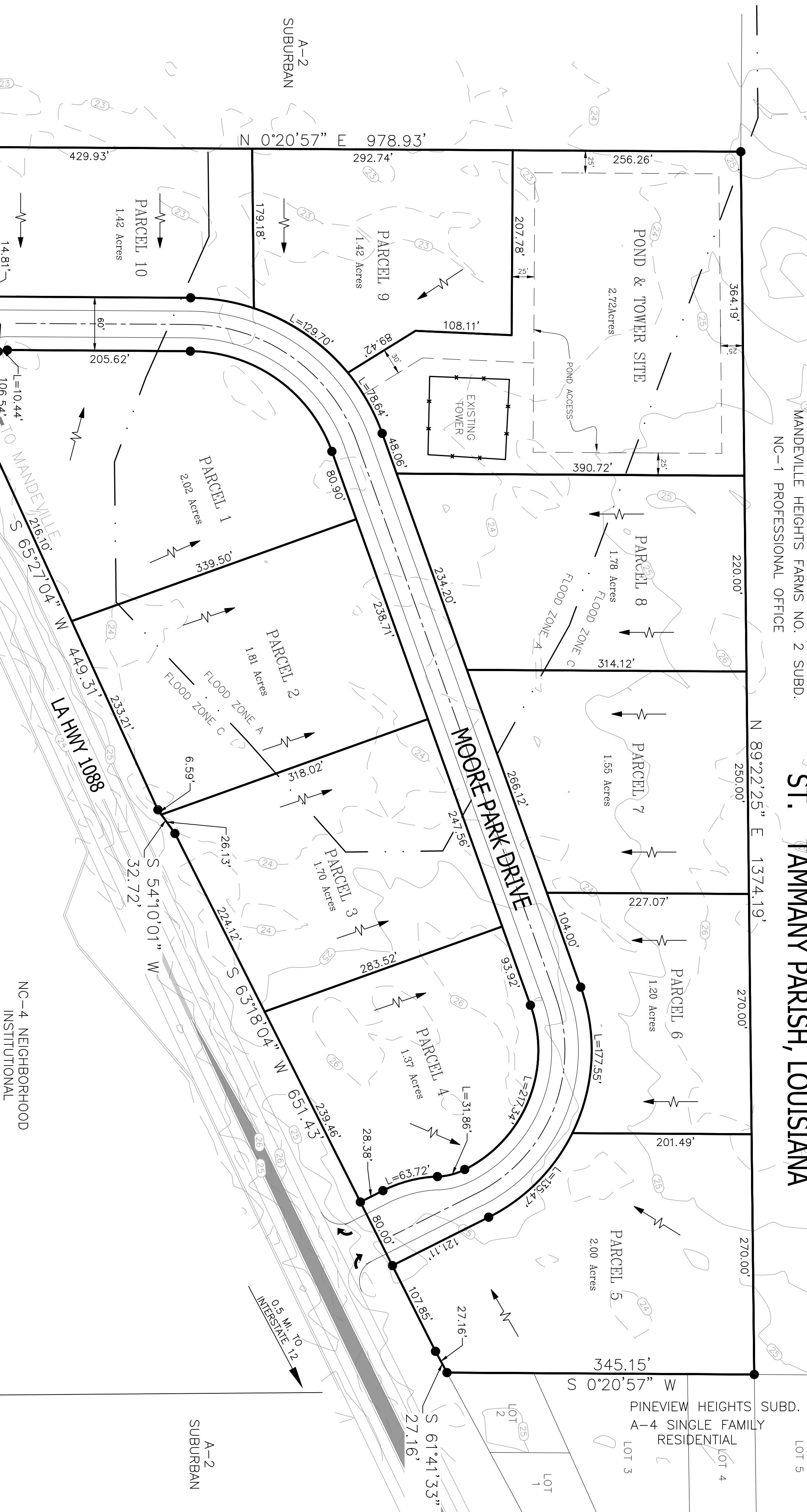
VICINITY MAP
NOT TO SCALE



MANDEVILLE HEIGHTS FARMS NO. 2 SUBD.
NC-1 PROFESSIONAL OFFICE

A 21.09 ACRE TRACT OF LAND
LOCATED IN SECTION 32, T-7-S, R-12-E,
ST. TAMMANY PARISH, LOUISIANA

TENTATIVE PLAN OF MOORE PARK (AFTER ROUND-ABOUT)



BOUNDARY DESCRIPTION

A certain place or portion of ground situated in Section 32, Township 7 South, Range 12 East, and District 4, St. Tammany Parish, Louisiana and being more fully described as follows:

From the Quarter Section corner common to Section 32, Township 7 South, Range 12 East and Section 5, Township 8 South, Range 12 East, go North 00 degrees 20 minutes 57 seconds East a distance of 331.03 feet to the POINT OF BEGINNING.

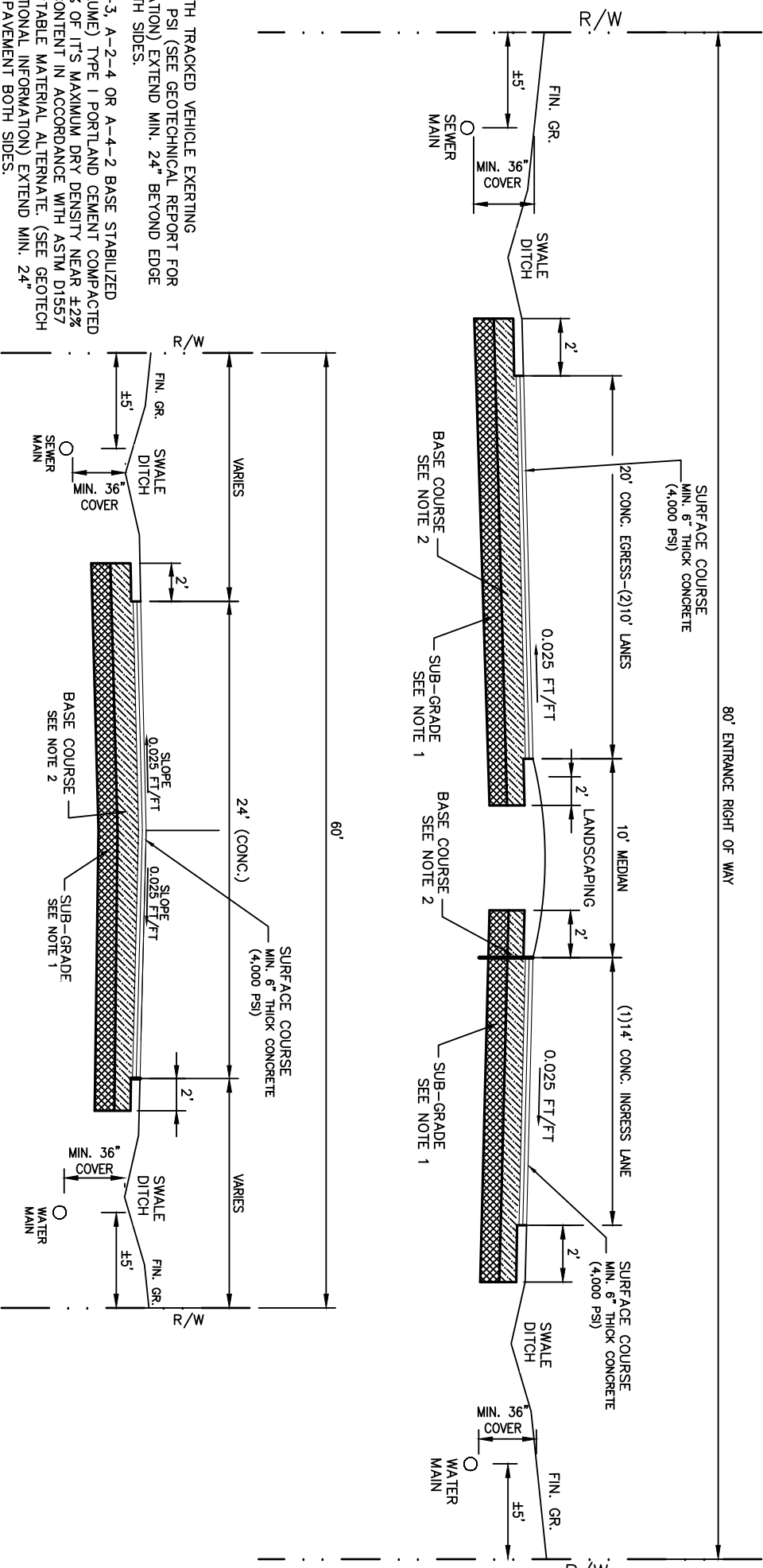
From the POINT OF BEGINNING, Thence North 00 degrees 20 minutes 57 seconds East a distance of 978.93 feet to a point; Thence, North 89degrees 22minutes 25seconds East a distance of 1374.19 feet to a point Thence South 00 degrees 20 minutes 57 seconds West a distance of 345.15 feet to a point; Thence South 61 degrees 41 minutes 33 seconds West a distance of 27.16 feet to a point; Thence South 63 degrees 18 minutes 04 seconds West a distance of 43.78 feet to a point; Thence South 54 degrees 01 minutes 43 seconds West a distance of 32.72 feet to a point; Thence South 65 degrees 27 minutes 04 seconds West a distance of 449.31 feet to a point; Thence North 88 degrees 08 minutes 21 seconds West a distance of 136.47 feet to a point; Thence South 65 degrees 27 minutes 04 seconds West a distance of 50.00 feet to a point; Thence South 48 degrees 45 minutes 07 seconds West a distance of 156.60 feet to a point; Thence South 38 degrees 52 minutes 09 seconds West a distance of 43.78 feet back to the POINT OF BEGINNING.

Said portion of ground contains 21.09 acres more or less.

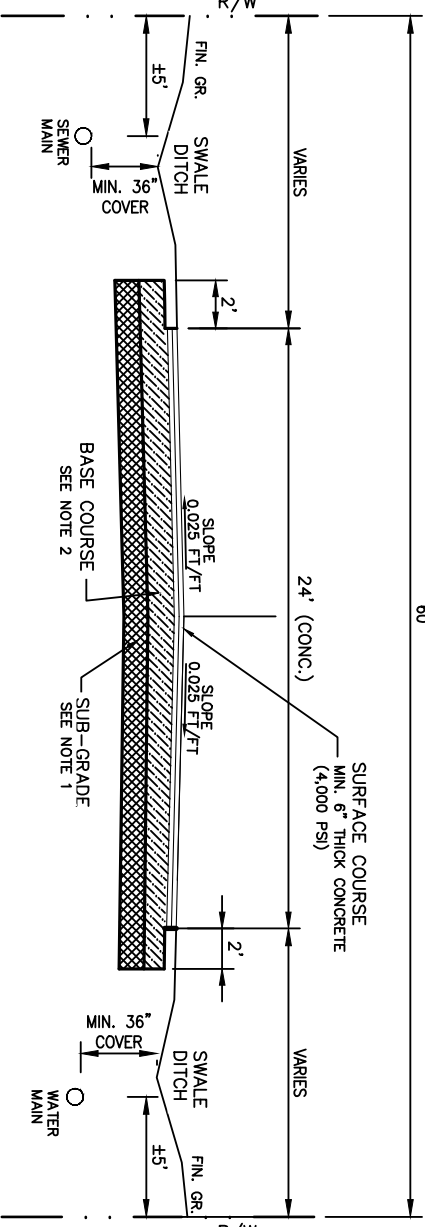
MANDEVILLE
BYPASS

REFERENCE: SURVEY BY RANDALL W. BROWN & ASSOCIATES, INC. FOR MOORE 59, LLC, SURVEY NO. 21364 DATED JULY 26, 2021.

BLVD. ENTRANCE SECTION



TYPICAL ROAD SECTION



RESTRICTIVE COVENANTS

1. MAXIMUM BUILDING SIZE SHALL BE 1,500 SQUARE FEET INCLUDING WITH NO MORE THAN 20 FEET OF EXCESSIVE HEIGHT.
2. MINIMUM LOT AREA SHALL NOT BE LESS THAN 20,000 SQUARE FEET IN AREA, AS PER ZONING REQUIREMENTS. MINIMUM LOT AREA IN THIS DEVELOPMENT IS 120 ACRES.
3. THE MINIMUM FINISH FLOOR ELEVATION REQUIRED SHALL BE AS PER THE LATEST FEMA FLOOD MAP (FE +1). MAXIMUM BUILDING HEIGHT TO BE 35' ABOVE FINISHED FLOOR ELEVATION.
4. IT SHALL BE PROHIBITED FOR ANY LOT WITHIN AN APPROVED SUBDIVISION TO HAVE A BUILDING OR STRUCTURE LOCATED WITHIN THE BOUNDARIES OF THE APPROVED SUBDIVISION DEDICATED WITHIN THE BOUNDARIES OF THE APPROVED SUBDIVISION PLAN.
5. NO LOT SHALL BE FURTHER SUBDIVIDED UNLESS OTHERWISE APPROVED BY ST. TAMMANY PARISH PLANNING COMMISSION AND THE DEPARTMENT OF ENVIRONMENTAL SERVICES.
6. STREET PLANTING AREAS SHALL COMPLY WITH THE STANDARDS OF SECTION 12.01 OF THE TAMMANY PARISH CODE OF ORDINANCES, CHAPTER 120, ARTICLE V, DIVISION 2 OF THE ST. TAMMANY PARISH CODE OF ORDINANCES.
7. CONSTRUCTION OF ANY NATURE IS PROHIBITED IN DRAINAGE AND STREET EASEMENTS.
8. NO NOXIOUS OR OFFENSIVE ACTION SHALL BE CARRIED UPON ANY LOT, NOR SHALL ANYTHING BE DONE THEREON WHICH MAY OR MAY BECOME AN ANNOYANCE OR NUISANCE TO THE NEIGHBORHOOD, PARTICULARLY THE USE OF UNITS AS DOWNS OR JUNK CAR STORAGE.
9. PINEWATER CULVERTS ARE NOT REQUIRED BECAUSE SUBDIVISION HAS SEWERAGE DRAINAGE. PINEWATER ON CORNER LOTS SHALL NOT BE LOCATED ANY CLOSER THAN 60 FEET FROM CORNER OF ANY PROPERTY ADJACENT TO THE INTERSECTION OF ANY ROAD OR HIGHWAY. THE PROPERTY WATER LINE SHALL BE MAINTAINED BY THE OWNER OF THE PROPERTY.
10. MOBILE HOMES ARE NOT PERMITTED TO OCCUPY LOTS AS A RESIDENCE IN THIS SUBDIVISION.
11. ADDITIONAL COVENANTS RECORDED IN C.O.B. _____ F.O.L.D. _____ AND C.O.B. _____ F.O.L.D. _____.
12. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED BEFORE THE SEWERAGE AND DRAINAGE SYSTEMS ARE COMPLETED AND THE SEWERAGE AND DRAINAGE SYSTEMS ARE COMPLETED AND THE SEWERAGE AND DRAINAGE SYSTEMS ARE COMPLETED.
13. THE DETENTION POND AND STRUCTURE WILL BE MAINTAINED BY ST. TAMMANY PARISH.
14. UNDERGROUND UTILITIES SHALL BE PROVIDED.

CERTIFICATION
THIS MAP IS CERTIFIED TO BE CORRECT AND IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THIS GROUND UNDER SUPERVISION OF THE UNDERSIGNED.

SEAN M. BURKES - LA P.E. No. 4785

THIS PLAN IS CERTIFIED TO CONFORM TO THE PROVISIONS OF THE STATE OF LOUISIANA LAW RS.33.505.1 AND LAWS AND ORDINANCES OF THE PARISH OF ST. TAMMANY WITH WATERS.

DEDICATION
BE IT RESOLVED BY THE INTERPRETER OF THE LAND AS SHOWN AND DESCRIBED HEREON THAT HE DOES DECARE THIS TO BE A TRUE AND ACCURATE MAP OF:

MOORE PARK

THE STREET RIGHT-OF-WAY AS SHOWN IN THIS DEVELOPMENT IS HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER USES. EASEMENTS SHALL BE RESERVED FOR DRAINAGE AND IMPROVEMENTS SHALL BE ALLOWED THAT WOULD PREVENT THEM FROM BEING USED FOR THEIR INTENDED PURPOSES.

OWNER	DATE
APPROVAL	
PARISH PLANNING COMMISSION CHAIRMAN	DIRECTOR OF PARISH ENGINEERING
PARISH PLANNING COMMISSION SECRETARY	CLERK OF COURT
DATE FILED	FILE NUMBER

21.09 ACRES	10	1.635 L.E.
AREA	NO. OF LOTS	LGTH. OF STREETS
1.63 ACRES	60 ROW	NEIGHBORHOOD
AVE. LOT SIZE	STREET WIDTH	INSTITUTIONAL DISTRICT
CONCRETE	CENTRAL	ZONING
ROAD SURFACING	SEWAGE SYSTEM	CENTRAL
		WATER SYSTEM

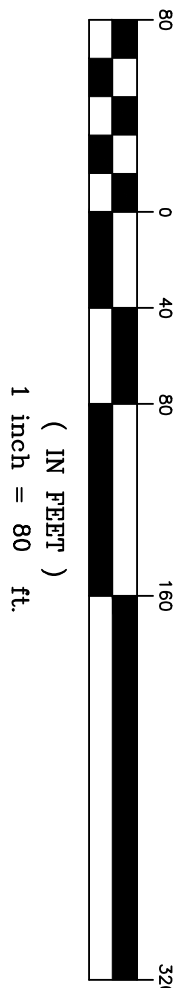
FLOOD ZONE NOTE

I HAVE CONSULTED THE FLOOD INSURANCE RATE MAPS AND DETERMINED THAT THE FLOOD ZONE FOR THIS DEVELOPMENT IS FLOOD ZONE A & C. BASE FLOOD ELEVATION 18.0 & N/A.

NOTES:

1. ALL LOTS SUBJECT TO A 10' EASEMENT ADJACENT TO STREET RIGHT OF WAY.
2. ULTIMATE DISPOSAL OF WATER IS BY FLOW CHANNELS TO LAKE PONCHARTRAIN.
3. (210) DENOTES MUNICIPAL NUMBER.
4. CENTRALIZED SEWER AND WATER WILL BE PROVIDED.
5. CONTOURS SHOWN WERE TAKEN FROM DUDY DATA AND ARE NOT FIELD VERIFIED. FOR CONCEPTUAL DESIGN ONLY.
6. TYPICAL LOT DRAINAGE FLOW DIRECTION.

GRAPHIC SCALE

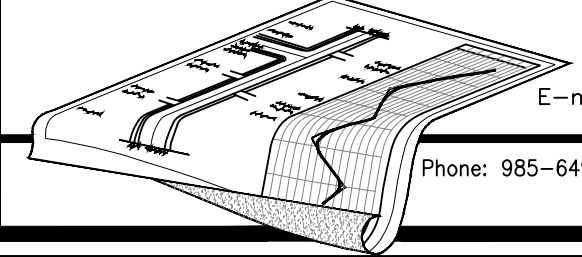


TENTATIVE SUBDIVISION PLAN OF
MOORE PARK, A 21.09 ACRE TRACT OF LAND
SITUATED IN SECTION 32, T-7-S, R-12-E,
GREENSBURG LAND DISTRICT,
ST. TAMMANY PARISH, LOUISIANA

DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL OF SURVEYOR.

MOORE 59, LLC

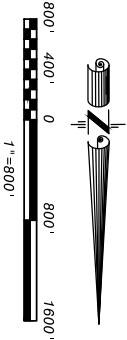
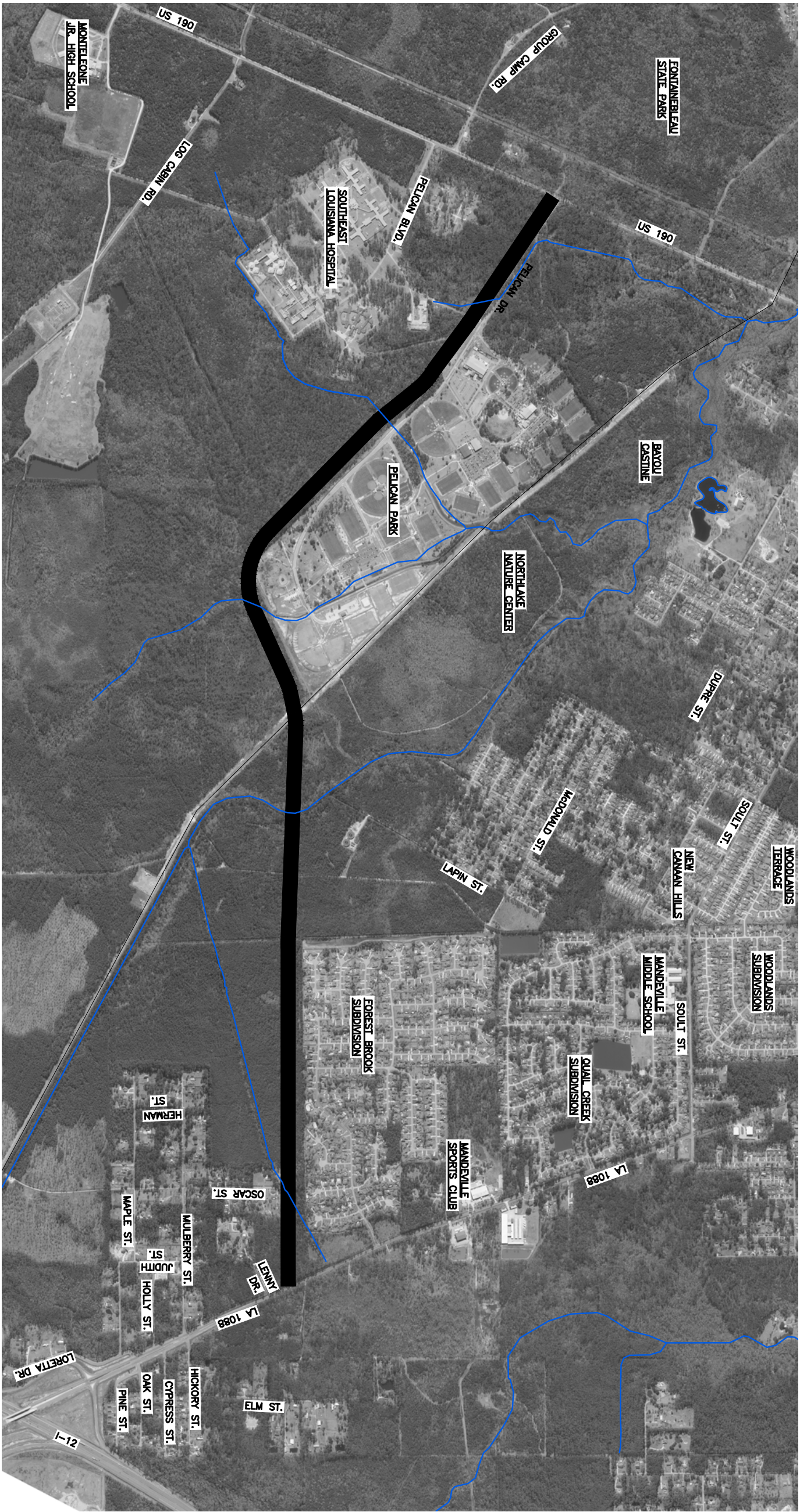
J.V. Burkes & Associates, Inc.
SURVEYING ENGINEERING • ENVIRONMENTAL



1805 Shortcut Highway
Slidell, Louisiana 70458
E-mail: jvbassoc@jvburkes.com

Phone: 985-649-0075 Fax: 985-649-0154

SEAN M. BURKES
LA REG. NO. 27642



						DESIGNED CHECKED		XXXX XXXX		BKI N-S ESI DDS RWBA			MANDEVILLE BY PASS LA 1088 TO US 190			PARISH		ST. TAMMANY PARISH		SHEET NUMBER		XXX
						DETAILED CHECKED		XXXX XXXX								PARISH PROJECT		2014EN0001				
						DATE SHEET		XXXXXXXX X OF Y								B.K.I. PROJECT		NO.15.012				
NO.	DATE	REVISION DESCRIPTION										BY										

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PRELIMINARY SUBDIVISION REVIEW

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PRELIMINARY SUBDIVISION STAFF ANALYSIS REPORT
(As of October 4, 2022)

CASE NO.: 2022-2903-PP

SUBDIVISION NAME: Maison du Village

DEVELOPER: MidSouth Developers, LLC
2160 E. Gause Boulevard; Suite 100
Slidell, LA 70461

ENGINEER/SURVEYOR: J.V. Burkes & Associates, Inc.
1805 Shortcut Highway
Slidell, LA 70458

SECTION: 40 & 37

WARD: 9

TOWNSHIP: 8 South

PARISH COUNCIL DISTRICT: 11

RANGE: 13 East

TYPE OF DEVELOPMENT: ☐ URBAN (Residential lots less than 1 acre)
 ☐ SUBURBAN (Residential lots between 1-5 acres)
 ☐ RURAL (Residential Farm Tract lots 5 acres plus)
 ☒ OTHER (Multi family, commercial or industrial)(**PUD**)

GENERAL LOCATION: The property is located west of LA Highway 433, south of US Highway 190, Slidell, Louisiana.

TOTAL ACRES IN DEVELOPMENT: 39.22 Acres

NUMBER OF LOTS: 85 Lots

AVERAGE LOT SIZE: 70' x 125'

SEWER AND WATER SYSTEMS: Central

PROPOSED OR EXISTING ZONING: PUD

FLOOD ZONE DESIGNATION: "C"

PUD APPROVAL GRANTED: February 2, 2006

STAFF COMMENTARY:

Department of Planning and Development

The engineer of record for this project requested that this case be postponed on September 28, 2022. This case was previously postponed at the June 14, 2022, the July 12, 2022, the August 9, 2022 and the September 13, 2022 meetings.

INDIAN HILLS DR
INDIAN HILLS LOOP

T8 - R13E

40

DIXIE RANCH RD
FENNER RD

HAMPTON CT

WINDSOR CT

T8 - R14E

WASHTON CT
VICTORIA WAY
E WASHTON CT

TRACEY LN
TWINS LN

TAMMANY TRACE

DUCRE RD

190

190W

SYLVER RD

JOSEPH RD

DOVE ST
DOVE ST
DOVE ST
DOVE ST

37

TIMBER RIDGE DR

39

433

ELKS RD

T9 - R13E

T9 - R14E

LARK ST

GROUSE ST

CRANE ST

THOMPSON RD

BLUEBIRD ST

PELICAN ST

ROBIN ST

JAY ST

SNIFE ST

MALLARD ST

QUAIL ST

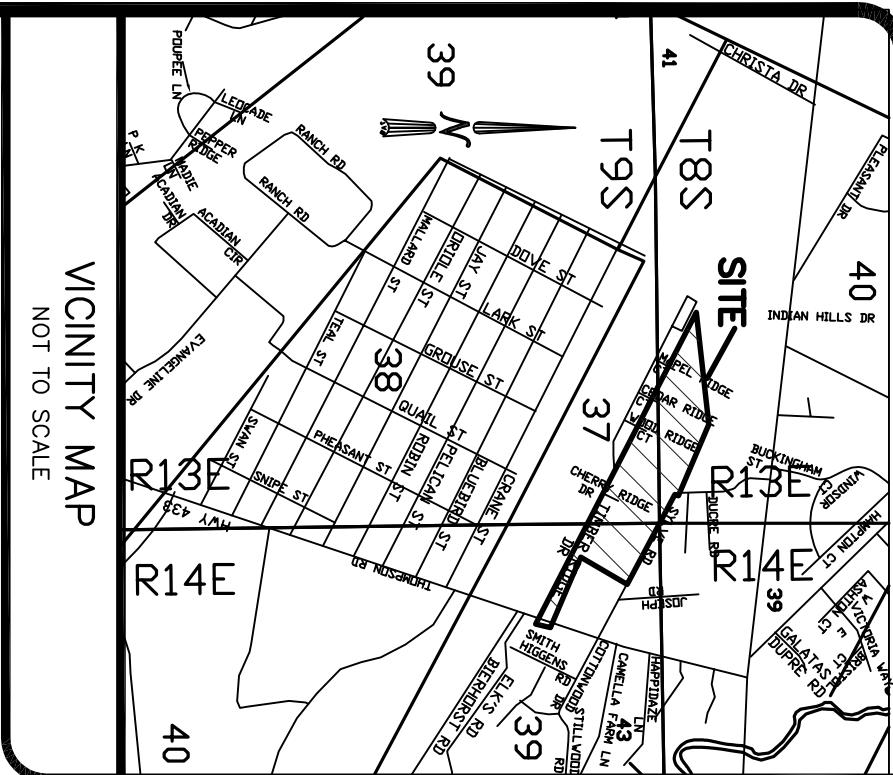
TEAL ST

ORIOLE ST

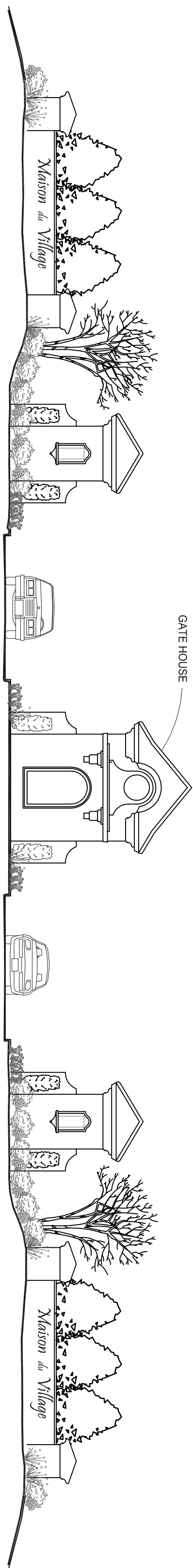
40

38

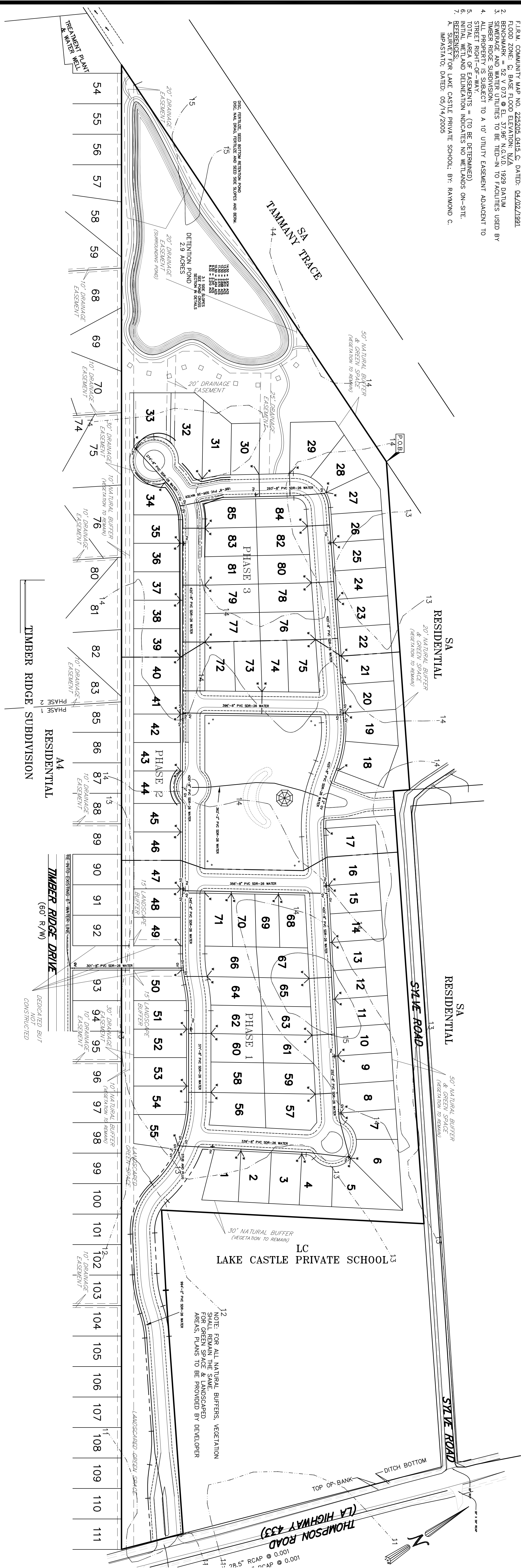
39



Maison du Village
SECTION 40, T8S-R13E, SECTION 37, T9S-R13E
SECTION 39, T9S-R14E, ST. TAMMANY PARISH, LOUISIANA



1. I HAVE CONSULTED THE FLOOD INSURANCE RATE MAPS AND FOUND THE PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA. (04/02/2001)
2. PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA. (04/02/2001)
3. FLOOD ZONE: C, BASE FLOOD ELEVATION: N/A
4. BENCHMARK: = 52.97 @ 0.0 E 37.98' N.E.D. 1929 DATUM
5. THE PROPERTY IS SUBJECTS TO BE TIED-IN TO FACILITIES USED BY TUMBER RIVER SUBDIVISION.
6. ALL PROPERTY IS SUBJECTS TO A 10' UTILITY EASEMENT ADJACENT TO TUMBER RIVER SUBDIVISION.
7. TOTAL AREA OF EASEMENTS = (TO BE DETERMINED)
8. INITIAL WETLAND DELINEATION NO METHODS ON-SITE.
9. I HAVE REVIEWED THE RECORDS OF THE TUMBER RIVER SUBDIVISION.
10. SURVEY FOR LAKE CASTLE PRIVATE SCHOOL, BY: RAYMOND C. IMPASTATO, DATED: 05/31/2005



1. ALL WATER LINES SHALL BE P.V.C. SDR-26 CLASS 160.
2. 1" SERVICE LINES LATERALS WITH 3/4" LINES TO EACH LOT.
3. PROVIDE THRUST BLOCKING FOR ALL FITTINGS AND FIRE HYDRANTS WITH A DEFLECTION OF 11.25" OR MORE.
4. WATER LINES SHALL BE DISINFECTED IN ACCORDANCE WITH STATE SANITARY CODE 12:020-2 OR AWWA -C651-92.
5. ALL PERMITS TO BE OBTAINED BY CONTRACTOR AT THEIR EXPENSE.
6. ALL VALVES ARE 8" EXCEPT AS NOTED.
7. BARREL OF FIRE HYDRANT SHALL BE PAINTED CHROME YELLOW AND THE TOP AND NOZZLE CAPS SHALL BE PAINTED RED.
8. A BLUE RAISED REFLECTOR SHALL BE AFFIXED ON THE ROADWAY IN PROXIMITY TO THE FIRE HYDRANT.
9. WATER IS SUPPLIED AND MAINTAINED BY BAYOU LIBERTY WATER, INC.
10. SEWER AND WATER LINES ARE A MINIMUM OF 10' APART.
11. CROSSING OF SEWER AND WATER LINES SHALL HAVE A MINIMUM VERTICAL SEPERATION OF 18".
12. THE INSTILLATION OF THE WATER MAIN INCORPORATES PROVISIONS OF THE AWWA STANDARDS
13. AND/OR RECOMMENDED MANUFACTURERS RECOMMENDED INSTALLATION PROCEDURES INVOLVING BUT NOT LIMITED TO BEDDING, COVER, BLOCKING, PRESSURE AND LEAKAGE TESTING, AND DISINFECTION.
14. FIRE HYDRANTS SHALL HAVE AT LEAST THREE OUTLETS PER HYDRANTS. ONE SHALL BE A STEAMER CONNECTION TO ALLOW FIRE APPARATUS TO PROVIDE WATER FROM THE HYDRANT TO THE APPARATUS AND THERE SHALL BE AT LEAST TWO 2.5-INCH OUTLETS WITH NATIONAL STANDARD THREADS.
5. PERMIT NUMBER= PWS 1103005.



DATE:	6/31/2006	
DRAWN BY:	CHECKED BY:	SMB
DWG. NO.	DLT	1061818
SHEET	OF	10
SCALE: T' = 120'		
PRELIMINARY SUBDIVISION PLAT OF MAISON du VILLAGE SEC. 39, T 9 S - R 14 E, SEC. 37, T 9 S - R 13 E, AND SEC. 40, T 8 S - R 13 E ST. TAMMANY PARISH LOUISIANA		
DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY; IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. <div style="text-align: center;">SEAL OF SURVEYOR: MIDSOUTH DEVELOPERS, LLC</div>		
NO.	DESCRIPTION	DATE BY JWB
REVISIONS		

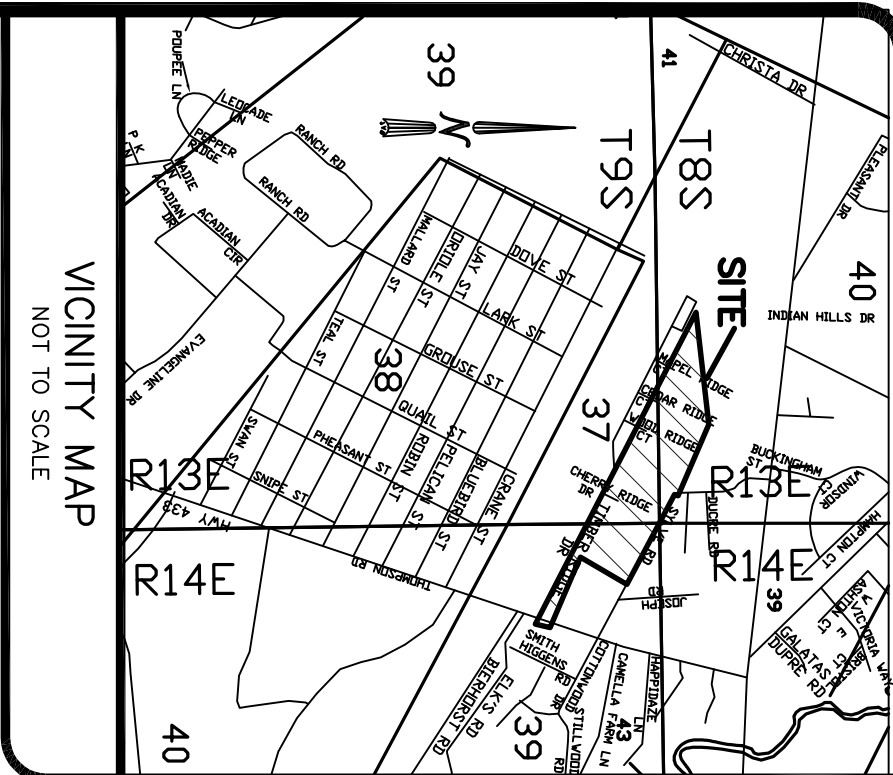
J.V. Burkes & Associates, Inc.

SURVEYING ENGINEERING • ENVIRONMENTAL

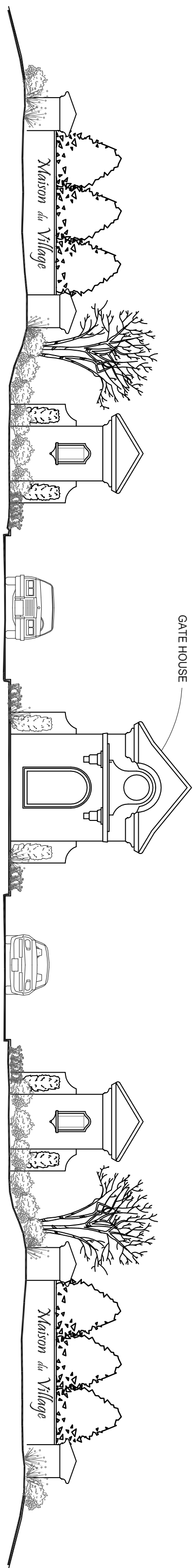
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Mississippi Phone: 228-435-5800

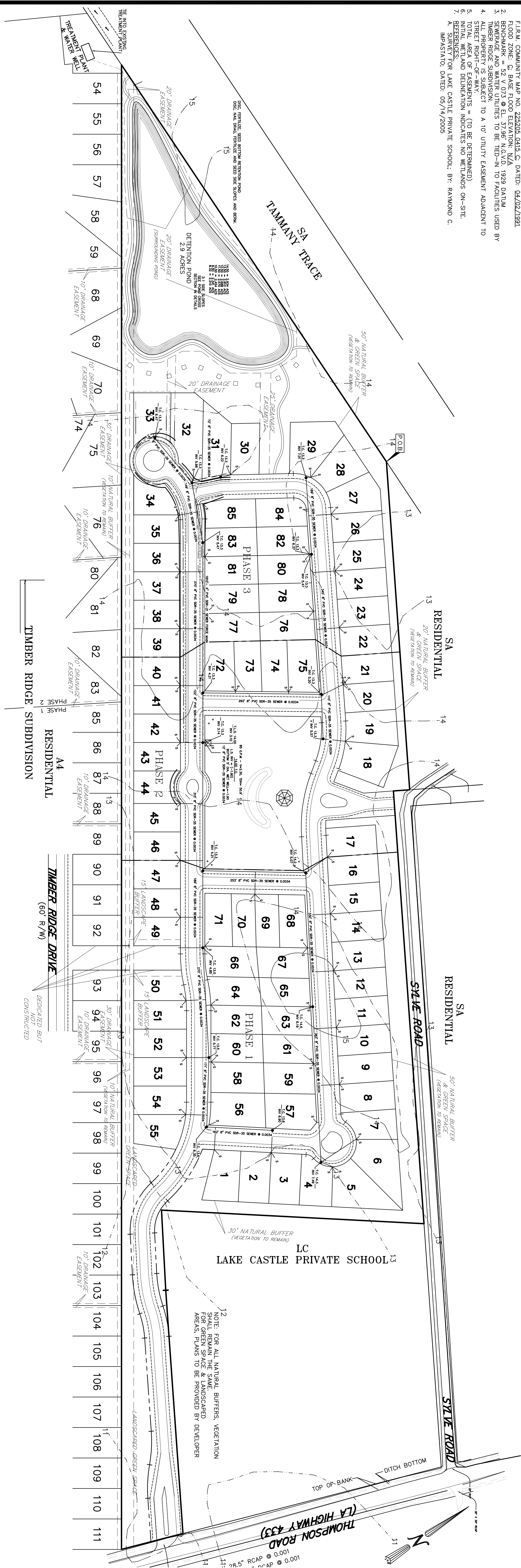
SEAN M. BURKES
 LA REG. NO. 27642



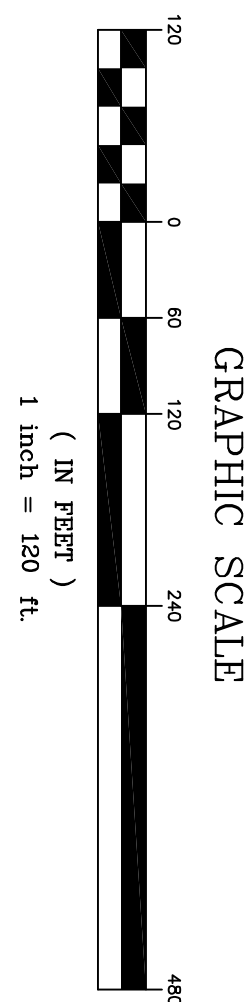
Maison du Village
SECTION 40, T8S-R13E, SECTION 37, T9S-R13E
SECTION 39, T9S-R14E, ST. TAMMANY PARISH, LOUISIANA





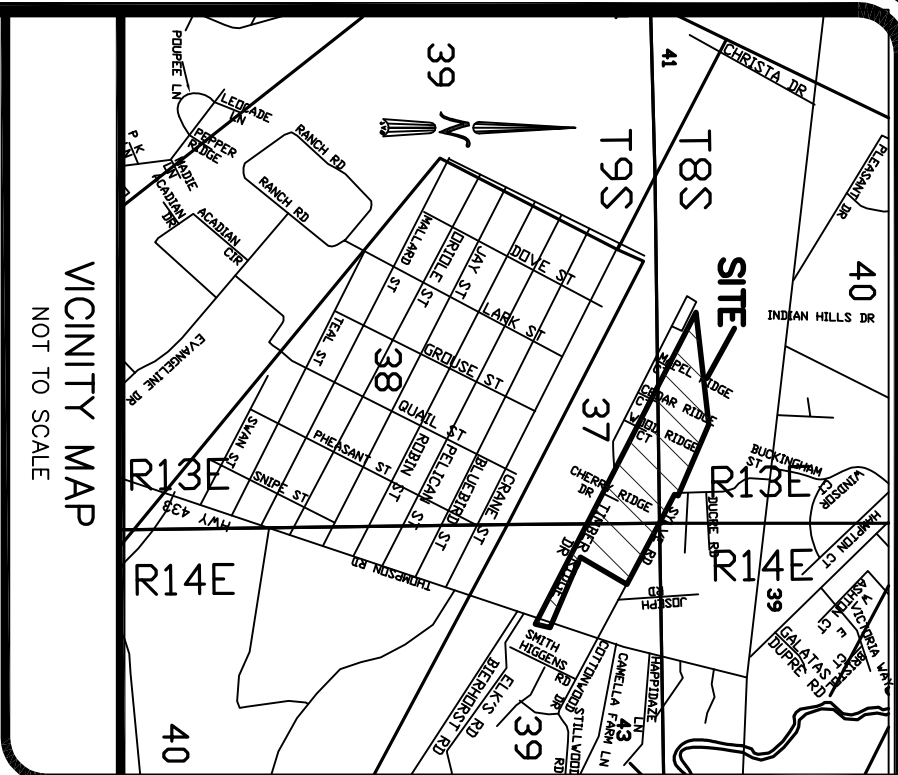
1. I HAVE CONSULTED THE FLOOD INSURANCE RATE MAPS AND FOUND THE PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA. (AL04/02/1981)
2. FLOOD ZONE: C, BASE FLOOD ELEVATION: N/A
3. BENCHMARK: = 52.5' +/- 0.0' ELEV. 37.98' N.G.D., 1929 DATUM
4. FLOOD DAMAGE: THE SUBJECTS TO BE TIED-IN TO FACILITIES USED BY TIMBER RICE SUBDIVISION.
5. ALL PROPERTY IS SUBJECT TO A 10' UTILITY EASEMENT ADJACENT TO THE TIED-IN FACILITIES.
6. TOTAL AREA OF EASEMENTS = (10' BE DETERMINED)
7. INITIAL WETLAND AND ENVIRONMENTAL NO METHODS ON-SITE.
8. IMPROVEMENTS FOR LAKE CASTLE PRIVATE SCHOOL, BY: RAYMOND C. UNIVASIO, DATED: 05/31/2005



1. SANITARY SEWER SYSTEM PIPE TO BE PVC A.S.T.M. 3034 SDR-35.
2. SEWER MAIN TO BE INSTALLED AS SHOWN ON PLANS.
3. INFILTRATION SHALL NOT EXCEED 125 GALLON/INCH OF DIAMETER/MILE OF PIPE/24 HOURS.
4. A CERTIFICATE OF INFILTRATION REQUIREMENTS SHALL BE FURNISHED BY TESTING LABORATORY.
5. SEWER LINES SHALL BE 8" WITH A MINIMUM OF 0.34% SLOPE.
6. ALL PERMITS TO BE OBTAINED BY CONTRACTOR AT THEIR EXPENSE.
7. SEWER LATERALS SHALL BE 6" PVC WITH TWO 4" WYES.
8. ● = MANHOLES.
9. SEWER FURNISHED AND MAINTAINED BY CURTIS ENVIRONMENTAL.
10. SEWER PERMIT NO. LAG 570109. NEW 45,000 GPD STP PERMIT TO BE APPLIED FOR BY CURTIS ENVIRONMENTAL.
11. COORDINATE SEWER TIE-IN TO NEW TREATMENT PLANT WITH MIKE CURTIS (504) 559-2100



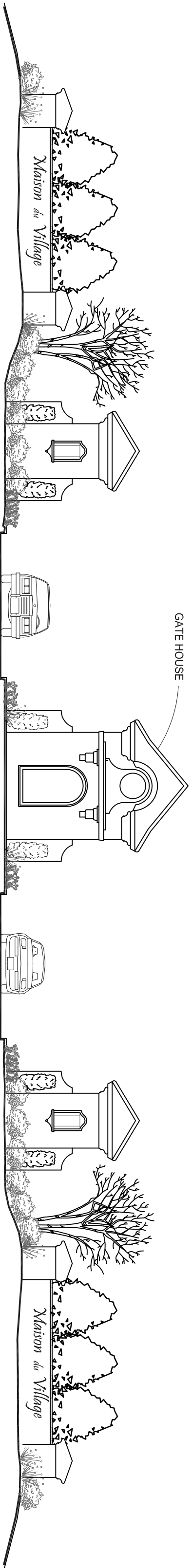
SHEET 4 OF 10	DWG. NO. 1061818	DATE 5/31/2006	SCALE 1" = 120'	PRELIMINARY SUBDIVISION PLAT OF MAISON du VILLAGE SEC. 39, T 9 S - R 14 E, SEC. 37, T 9 S - R 13 E, AND SEC. 40, T 8 S - R 13 E ST. TAMMANY PARISH LOUISIANA MIDSOUTH DEVELOPERS, LLC	NO. _____ DESCRIPTION _____ DATE BY PAK		J.V. Burkes & Associates, Inc. SURVEYING ENGINEERING • ENVIRONMENTAL  2990 East Gause Blvd., Suite B Slidell, Louisiana 70461 E-mail: jvbassoc@jvburkes.com Phone: 985-649-0075 Fax: 985-649-0154 Mississippi Phone: 228-435-5800		 SEAN M. BURKES LA REG. NO. 27642	
	CHECKED BY: SMB			DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY, IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL OF SURVEYOR.	REVISIONS					



VICINITY MAP
NOT TO SCALE

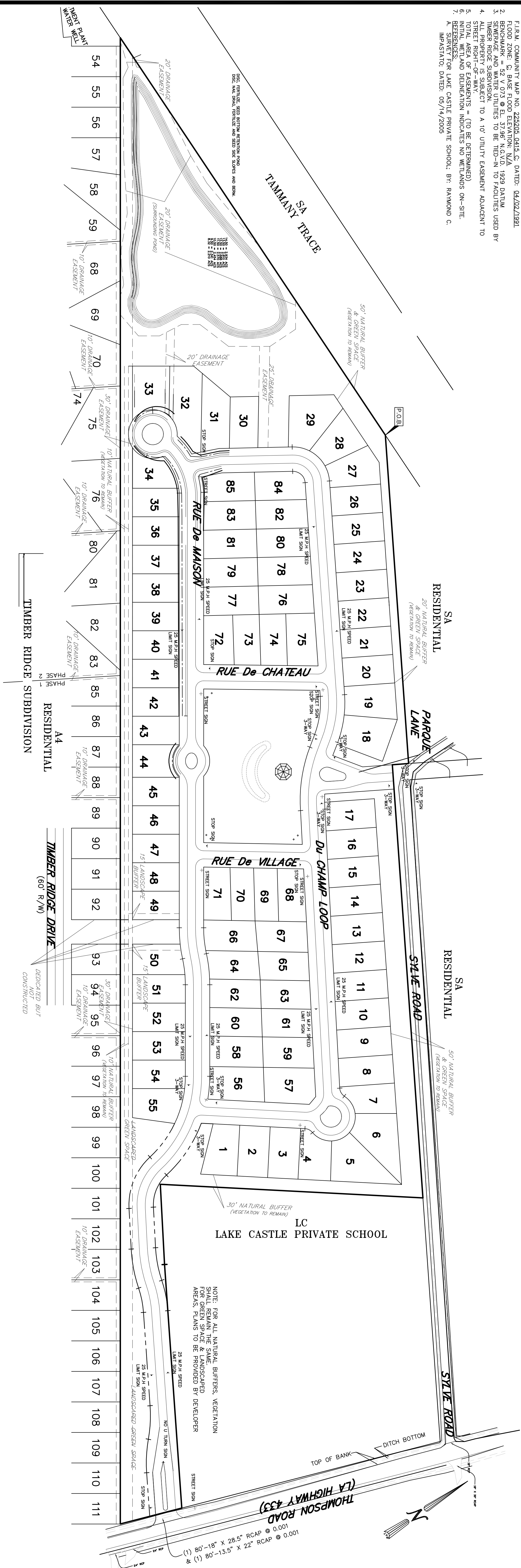
GENERAL NOTES

1. I HAVE CONSULTED THE FLOOD INSURANCE RATE MAPS AND FOUND THIS PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA.
2. F.I.R.M. COMMUNITY MAP NO. 228203, 0418.C, DATED: 04/02/1991.
3. FLOOD ZONE: C, BASE FLOOD ELEVATION: N/A.
4. SEWERAGE AND WATER UTILITIES TO BE TIED-IN TO FACILITIES USED BY TIMBER RIDGE SUBDIVISION.
5. ALL PROPERTY IS SUBJECT TO A 10' UTILITY EASEMENT ADJACENT TO SUBDIVISION.
6. TOTAL AREA OF EASEMENTS = (TO BE DETERMINED).
7. INITIAL WETLAND DELINEATION INDICATES NO WETLANDS ON-SITE.
8. REFERENCES FOR LAKE CASTLE PRIVATE SCHOOL, BY: RAYMOND C. IMPASTATO, DATED: 05/14/2009.



Maison du Village

SECTION 40, T8S-R13E, SECTION 37, T9S-R13E
SECTION 39, T9S-R14E, ST. TAMMANY PARISH, LOUISIANA

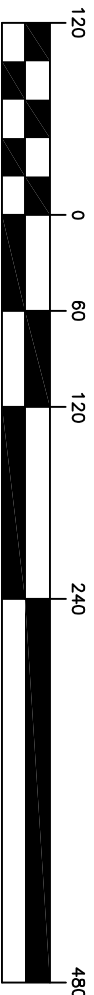


TRAFFIC NOTES

- 1) If allowable, post a No Right Turn sign for the designated hours of 7am to 9am and 2pm to 4pm at the intersection of Thompson Road (LA Highway 433) and Sylve Road prohibiting right turns onto Sylve Road.
- 2) If allowable, post No Left Turn signs for the designated hours of 7am to 9am and 2pm to 4pm for the exit driveway on Thompson Road (LA Highway 433) for the Lake Castle Private School. Having a No Left Turn sign on the exit driveway will reduce stocking on Thompson Road (LA Highway 433) and enable vehicles to use the subdivision as an alternate exit route.
- 3) If allowable, post No U-turn signs on Rue De Maisson off of the subdivision. The intersection of Rue De Maisson and Sylve Road will not be able to make U-turns on Rue De Maisson in order to make left turns onto Thompson Road (LA Highway 433). The action will allow vehicles to proceed through the subdivision and use Sylve Road as an exit route.
- 4) The intersection of Sylve Road and Parcue Lane will create a three-way all stop intersection. A three-way all stop intersection will allow traffic a continual flow out of Maison du Village and enable vehicle to proceed down Sylve Road to the Highway 190 intersection.

- + STREET SIGN
- + STOP SIGN
- + 25 M.P.H. SPEED LIMIT SIGN
- + NO OUTLET SIGN
- + NO U TURN SIGN

GRAPHIC SCALE



BOULEVARD DETAIL (N.T.S.)

SECONDARY ENTRANCE DETAIL (N.T.S.)

Signage Plan

PRELIMINARY SUBDIVISION PLAT OF MAISON du VILLAGE SEC. 39, T 9 S - R 14 E, SEC. 37, T 9 S - R 13 E, AND SEC. 40, T 8 S - R 13 E ST. TAMMANY PARISH LOUISIANA			
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MIDSOUTH DEVELOPERS, LLC			
DATE:	5/31/2006	DRAWN BY:	DLT
SCALE:	1" = 120'	CHECKED BY:	SMB
DWG. NO.	1061818	DATE:	5/31/2006
SHEET	5	OF	10

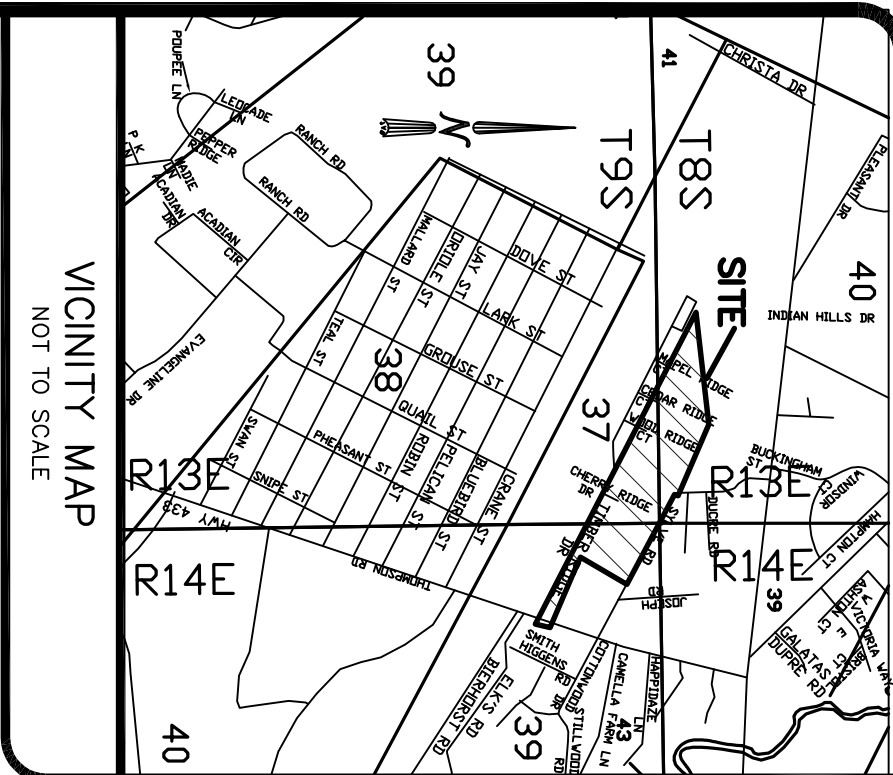
NO.	DESCRIPTION	DATE	BY
1	REMOVED NO OUTLET SIGN PER PARISH COMMENT	5/27/2008	SMB
2	TRAFFIC NOTES	5/9/2008	DLT
3	REMOVED NO U-TURN SIGN PER PARISH COMMENT	5/27/2008	SMB
4	REMOVED NO U-TURN SIGN PER PARISH COMMENT	5/27/2008	SMB

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SURVEYING ENGINEERING & ENVIRONMENTAL

2990 East Gause Blvd., Suite B
Slidell, Louisiana 70461
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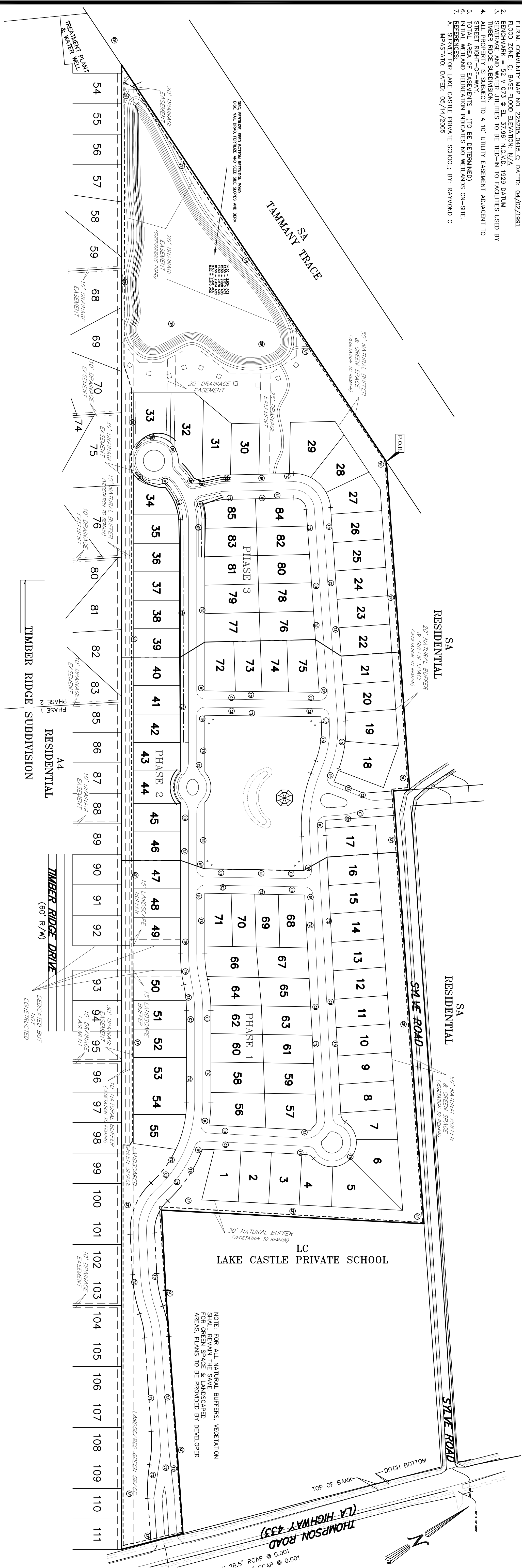
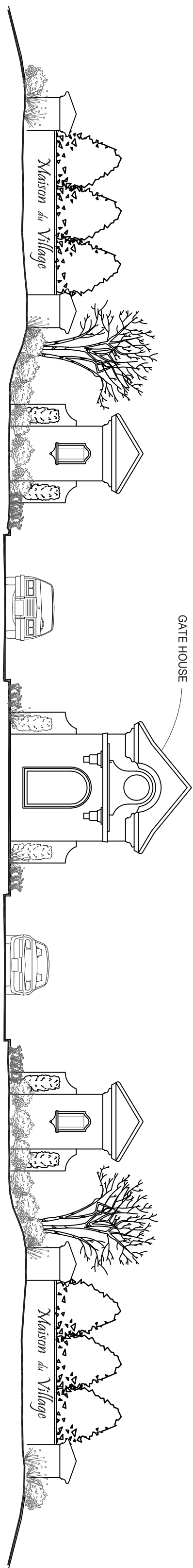
Phone: 985-649-0075 Fax: 985-649-0154
Mississippi Phone: 228-435-5800





1. I HAVE CONSULTED THE FLOOD INSURANCE RATE MAPS AND FOUND THAT THE PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA. F.I.R.M. COMMUNITY MAP NO. 225203-0415 C/D DATED: 04/02/1991.
2. THE SUBJECT PROPERTY IS LOCATED IN THE UNINCORPORATED AREA OF BLOOD CREEK ZONE C, BASED ON THE 1976 FLOOD INSURANCE RATE MAP, 1929 DATING 04/02/1991.
3. THE PROPERTY IS LOCATED IN THE UNINCORPORATED AREA OF BLOOD CREEK ZONE C, SEWERAGE AND WATER UTILITIES TO BE TIED-IN TO FACILITIES USED BY THE ADJACENT THUNDER BOLT SUBDIVISION.
4. THE PROPERTY IS LOCATED IN THE UNINCORPORATED AREA OF BLOOD CREEK ZONE C, STREET RIGHT-OF-WAY ADJACENT TO A 10' UTILITY EASEMENT ADJACENT TO THE ADJACENT THUNDER BOLT SUBDIVISION.
5. TOTAL AREA OF EASEMENTS = (70' BE DETERMINED)
6. TOTAL AREA OF EASEMENTS = (70' BE DETERMINED)
7. RENTAL WELL AND DELINEATION INFORMATION ON WELLS/05 ON-SITE.
8. SURVEY FOR LAKE CASTLE PRIVATE SCHOOL. BY: RAMON C. IMPASTATO. DATED: 05/14/2005

Maison du Village
SECTION 40, T8S-R13E, SECTION 37, T9S-R13E
SECTION 39, T9S-R14E, ST. TAMMANY PARISH, LOUISIANA



Sedimentation Plan

SHEET
6
OF
10

DWG. NO.

1061818

DATE
5/31/2006

DRAWN BY:
DLT
CHECKED BY:
SMB

SCALE:
1" = 120'

PRELIMINARY SUBDIVISION PLAT OF MAISON du VILLAGE
SEC. 39, T 9 S - R 14 E, SEC. 37, T 9 S - R 13 E,
AND SEC. 40, T 8 S - R 13 E
ST. TAMMANY PARISH
LOUISIANA

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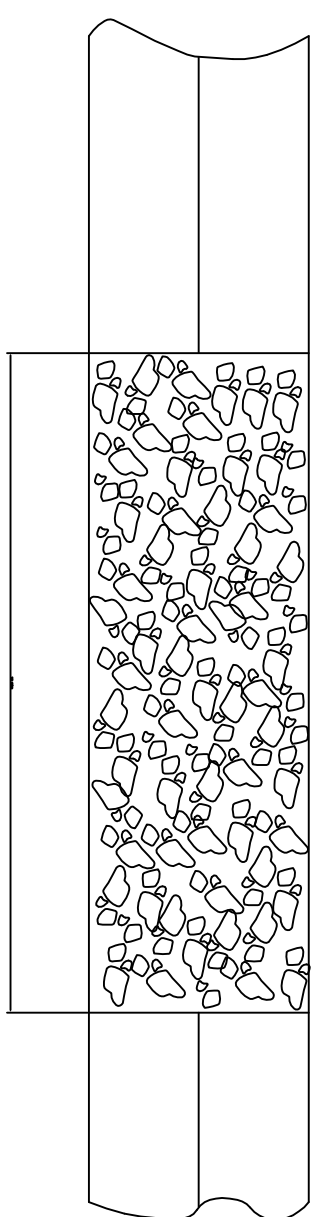
MIDSOUTH DEVELOPERS, LLC

No.	Description	Date	By	Okt		
	Revisions					

J.V. Burkes & Associates, Inc.
SURVEYING ENGINEERING • ENVIRONMENTAL

2990 East Gause Blvd., Suite B
Slidell, Louisiana 70461
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Mississippi Phone: 228-435-5800



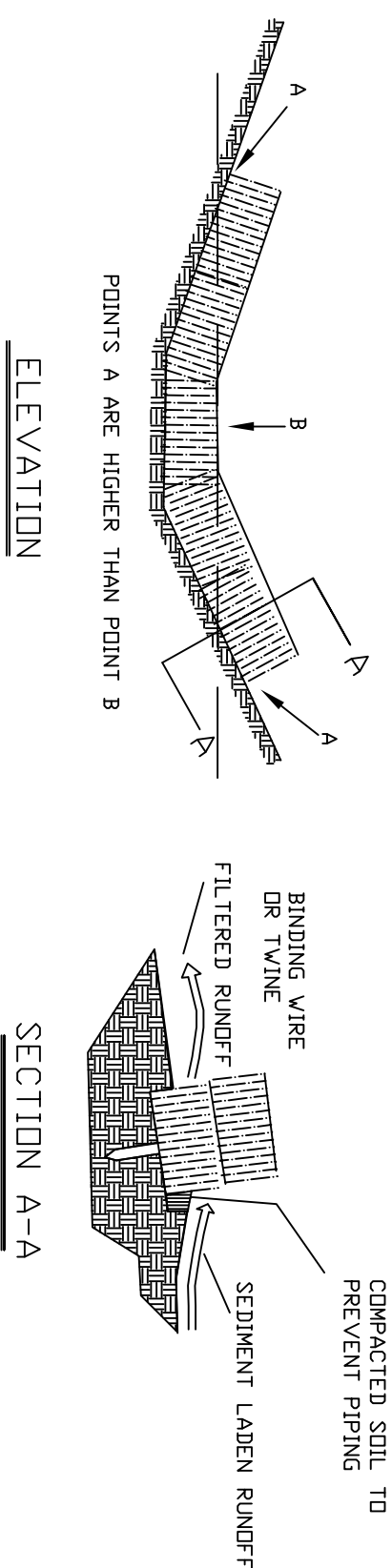
TEMPORARY STONE CONSTRUCTION ENTRANCE

NOTES:

TEMPORARY STONE CONSTRUCTION ENTRANCE AND/OR WASH RACK

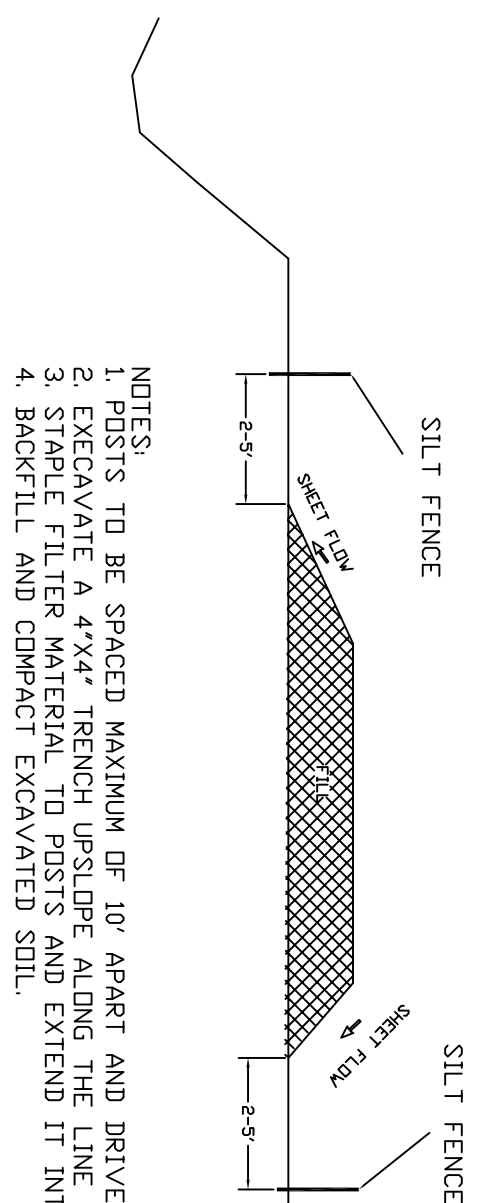
A STONE OR STABILIZED PAD LOCATED AT POINTS OF VEHICULAR INGRESS AND EGRESS ON THE CONSTRUCTION SITE TO REDUCE THE AMOUNT OF MUD TRANSPORTED ONTO PUBLIC ROADS. IF THE ACTION OF THE VEHICLE TRAVELLING OVER THE GRAVEL PAD IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLE ENTERS A PUBLIC ROAD. A FEW BASIC GUIDELINES ARE:

1. THE STONE LAYER MUST BE AT LEAST 6" THICK.
2. THE STONE SHALL CONFORM TO SECTION 7102(XCLASS 2LB) OF THE LADDD STANDARD SPECIFICATIONS.
3. THE LENGTH OF THE PAD MUST BE AT LEAST 75 FEET AND IT MUST EXTEND THE FULL WIDTH OF THE VEHICULAR INGRESS AND EGRESS.
4. A GEOTEXTILE FABRIC UNDERLIER IS REQUIRED. THE GEOTEXTILE FABRIC SHALL BE IN ACCORDANCE WITH SECTION 109(XTYPE D) OF THE LADDD STANDARD SPECIFICATIONS.
5. IF A WASH RACK IS NECESSARY, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF-SITE.

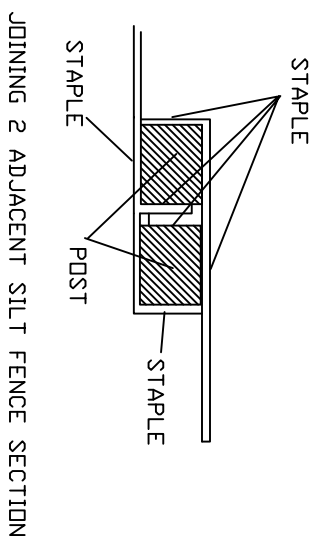
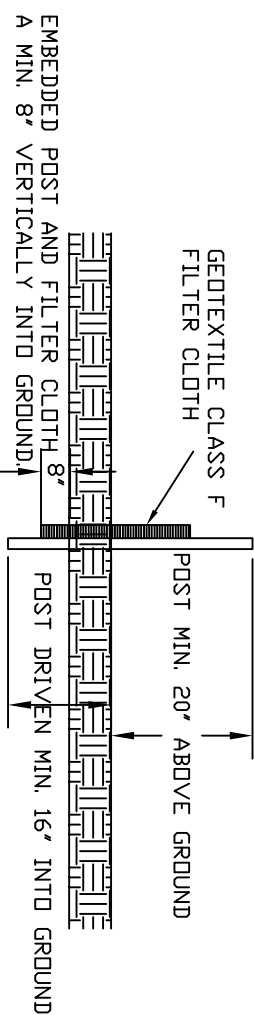


TEMPORARY SEDIMENT CHECK DAM (HAY)

NOTES:
A HAY BALE BARRIER IS A TEMPORARY SEDIMENT BARRIER CONSISTING OF A ROW OF ENTRENCHED AND ANCHORED BALES OF STRAW OR HAY. THE HAY BALE BARRIER IS ALSO USED AS A CHECK DAM TO REDUCE THE VELOCITY IN SMALL DITCHES OR SWALES. THE HAY BALES SHOULD BE IN ACCORDANCE WITH LADDDT STD. SPECIFICATIONS, SECT. 204.



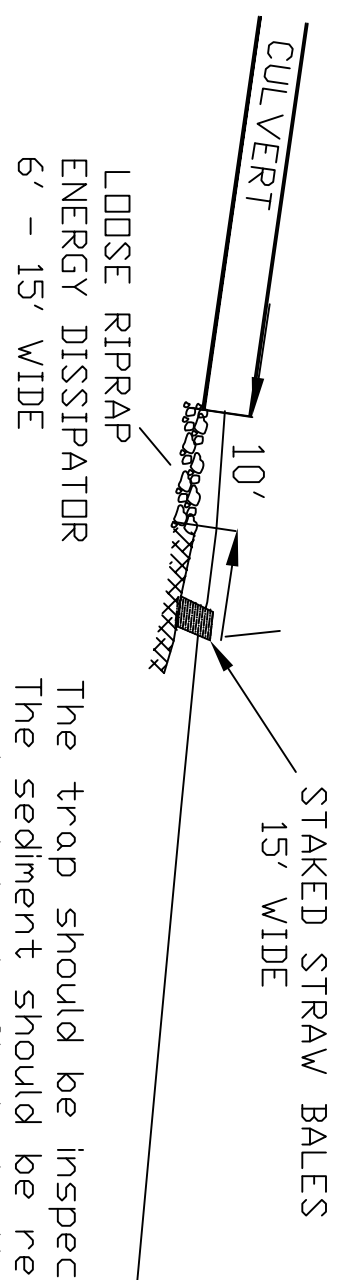
1. POSTS TO BE SPACED MAXIMUM OF 10' APART AND DRIVEN 16" INTO GROUND.
2. EXCAVATE A 4"x4" TRENCH UPSLOPE ALONG THE LINE OF STAKES.
3. STAPLE FILTER MATERIAL TO POSTS AND EXTEND IT INTO TRENCH.
4. BACKFILL AND COMPACT EXCAVATED SOIL.



SILT FENCE



TYPICAL DETAILS



LOOSE RIPRAP
ENERGY DISSIPATOR
6' - 15' WIDE

The trap should be inspected after each storm. The sediment should be removed and make sure each stake is firmly in the ground.

OUTLET CONTROL



SEEDING PROCEDURES BEHIND DITCHES

APRIL TO OCTOBER

MIX 1 PART BROWN TOP MILLET, 1 PART BAHIA GRASS (CRACKED SEED) AND 1 PART 13-13-13 FERTILIZER IN GARBAGE CAN.

THE SEEDING SHOULD BE DONE ON LOOSE SOIL, THEN THE AREA SHOULD BE BACKROLLED TO IMPLANT THE SEED. (SEEDING SHOULD BE HEAVY).

*FOR AREAS ON SLOPE, HAY SHOULD BE SPREAD AND THEN ROLLED OVER WITH A CRIMPER TO HOLD THE LOOSE DIRT ON THE SLOPE.

OCTOBER TO APRIL

MIX 1 PART BROWN TOP MILLET, 1 PART RYE GRASS, 1 PART 13-13-13 FERTILIZER IN GARBAGE CAN.



LEGEND

- | | |
|------|------------------------------------|
| (SF) | SILT FENCING |
| (TS) | TEMPORARY SEEDING |
| (TP) | OUTLET PROTECTION |
| (IP) | INLET PROTECTION |
| (CS) | TEMP. GRAVEL CONSTRUCTION ENTRANCE |
| (CD) | TEMP. SEDIMENT CHECK DAM |

Sediment Details

No.									
	DESCRIPTION	DATE	BY	CHECKED	REVISIONS				

J.V. Burkes & Associates, Inc.
SURVEYING ENGINEERING • ENVIRONMENTAL



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Mississippi Phone: 228-435-5800

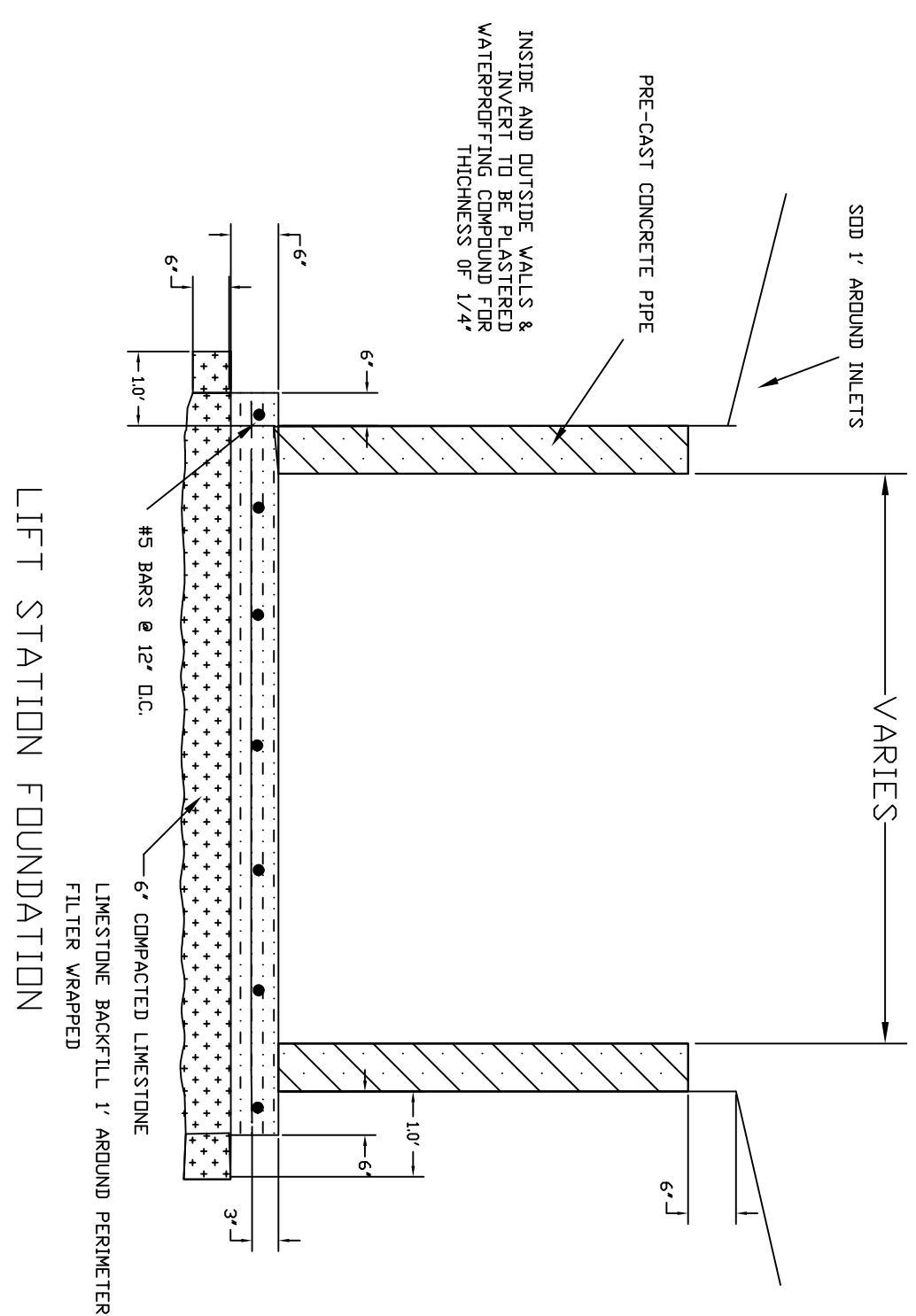
SEAN M. BURKES
LA REG. NO. 27642

SCALE:	NOT TO SCALE	
DATE:	5/31/2006	
DRAWN BY:	DLT	CHECKED BY: SMB
DWG. NO.	1061818	
SHEET	8	OF 10

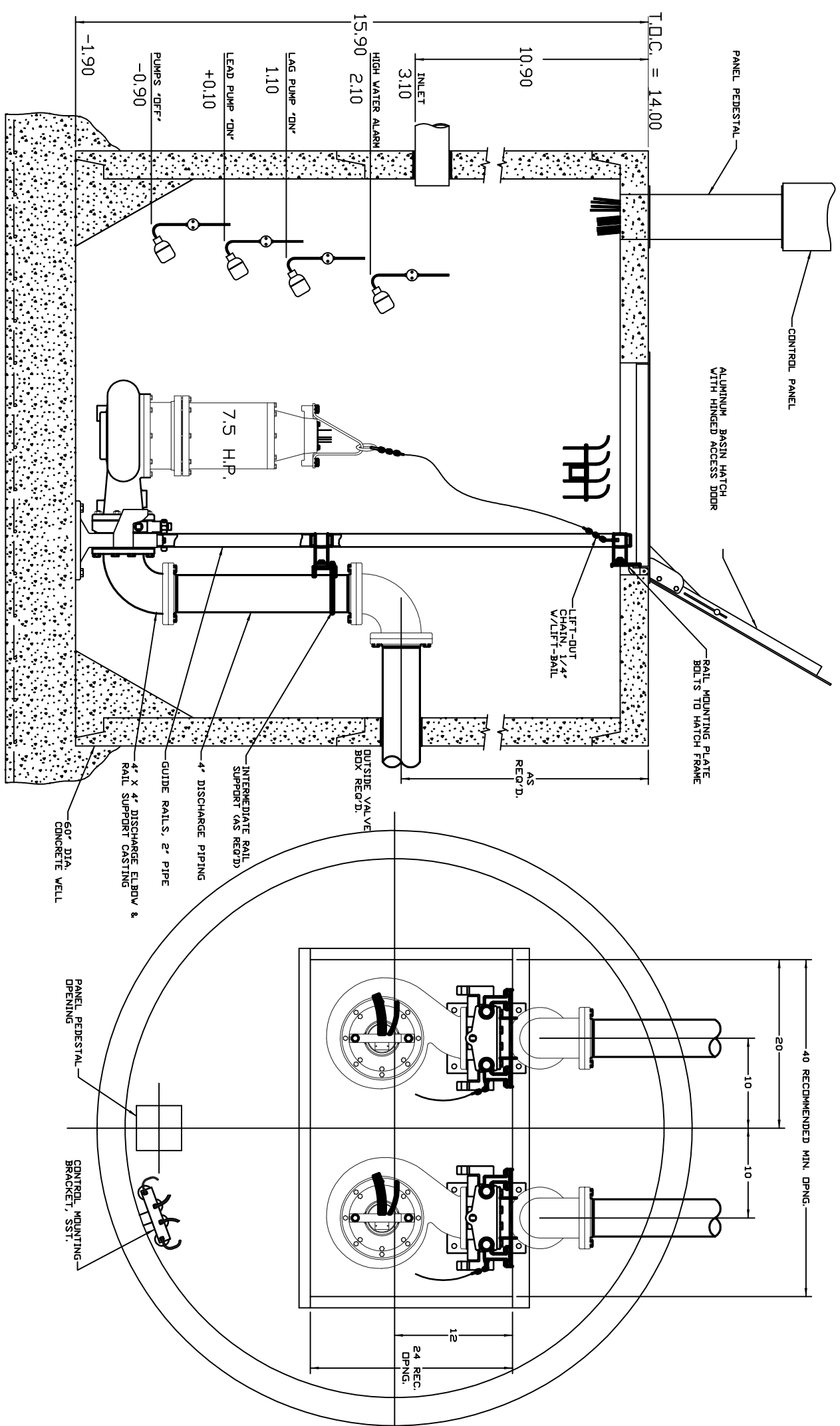
PRELIMINARY SUBDIVISION PLAT OF MAISON du VILLAGE
SEC. 39, T 9 S - R 14 E, SEC. 37, T 9 S - R 13 E
AND SEC. 40, T 8 S - R 13 E
ST. TAMMANY PARISH
LOUISIANA

DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY, IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR
SUBSEQUENT OWNERS. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL OF SURVEYOR.

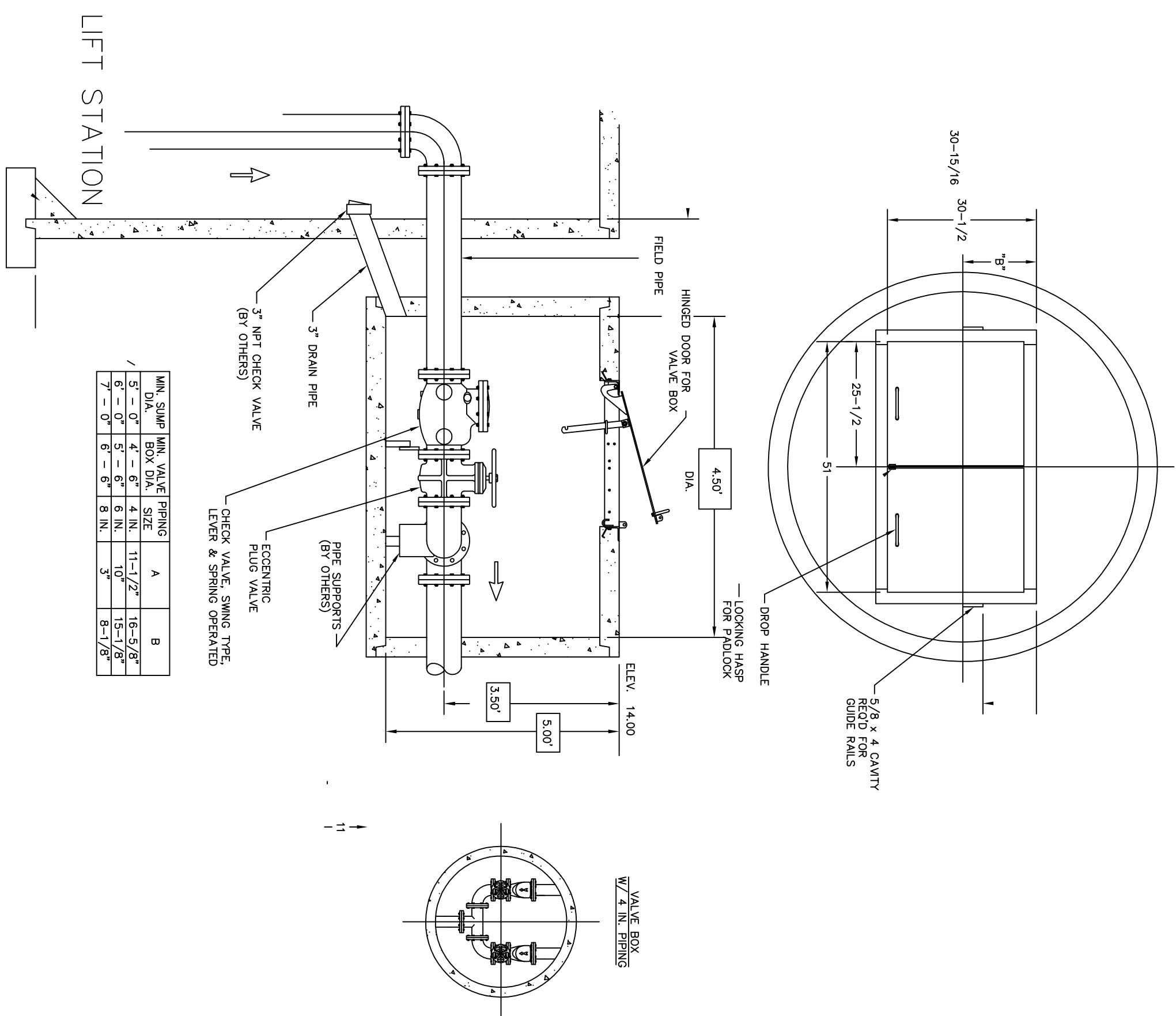
MIDSOUTH DEVELOPERS, LLC



NOTE: INSTALL HOSE BIB ADJACENT TO LIFT STATION



2-GORMAN- RUPP PUMPS MODEL JSV3G60-E6.2- 85 GPM
TDH = 50.9' - 1750 RPM - 7.5 HP. - 8.27" IMP.- 4" FORCE MAIN - V=2.30 FPS
3" NON-CLOG SUBMERISBLE, HOR. DISCHARGE WITH SLIDE RAIL. 5' DIA. WET WELL
BOTTOM OF WET WELL = (-190)



GATE AND CHECK VALVE ON DISCHARGE SIDE

NOTE: WET WELL WILL BE LINED WITH 20 MIL. WARREN ENVIRONMENTAL SYSTEM 100% SOLIDS EPOXY OR EQUAL.

Tift Station Details

NO.	DESCRIPTION	DATE	BY	OK'D	

J.V. Burkes & Associates, Inc.
SURVEYING ENGINEERING • ENVIRONMENTAL



2990 East Gause Blvd., Suite B
Slidell, Louisiana 70461
E-mail: jvbassoc@jvburkes.com

Phone: 985-649-0075 Fax: 985-649-0154
Mississippi Phone: 228-435-5800

SCALE:	NOT TO SCALE	
DATE:	5/31/2006	
DRAWN BY:	DLT	CHECKED BY: SMB
DWG. NO.	1061818	
SHEET	9	OF 10

PRELIMINARY SUBDIVISION PLAT OF MAISON du VILLAGE
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MIDSOUTH DEVELOPERS, LLC

PRELIMINARY SUBDIVISION STAFF ANALYSIS REPORT
(As of October 4, 2022)

CASE NO.: 2022-3081-PP

SUBDIVISION NAME: Rigolets Estates Subdivision, Parcel 3A-2

DEVELOPER: Succession of Frederick J. Sigur
P.O. Box 59
Arabi, LA 70032

ENGINEER/SURVEYOR: J.V. Burkes & Associates, Inc.
1805 Shortcut Highway
Slidell, LA 70458

SECTION: 37

WARD: 8

TOWNSHIP: 10 South

PARISH COUNCIL DISTRICT: 13

RANGE: 14 East

TYPE OF DEVELOPMENT: _____ URBAN (Residential lots less than 1 acre)
_____ SUBURBAN (Residential lots between 1-5 acres)
_____ RURAL (Residential Farm Tract lots 5 acres plus)
_____ **X** OTHER (Multi family, commercial or industrial)(**PUD**)

GENERAL LOCATION: The property is located south of LA Highway 433, west of US Highway 90, Slidell, Louisiana.

TOTAL ACRES IN DEVELOPMENT: 54.679 Acres

NUMBER OF LOTS: 80 Lots

AVERAGE LOT SIZE: Varies

SEWER AND WATER SYSTEMS: Central

PROPOSED OR EXISTING ZONING: P.U.D.

FLOOD ZONE DESIGNATION: V15

PUD APPROVAL GRANTED: February 1, 2022

STAFF COMMENTARY:

Department of Planning and Development

The Preliminary plans and hydrologic study have been reviewed by this office and an inspection was made of the site October 3, 2022.

Staff has no objection to the approval of the proposed preliminary subdivision request subject to the developer complying with all comments and no work order to be issued until all required items are satisfactorily completed/submitted and the required waivers are obtained or the plans revised to eliminate the required waivers.

General Comments:

1. The water system needs to be updated/modified to address the concerns of the Fire Department regarding fire flow rating and fire protection.
2. In accordance with STP Ordinance Section 125-88 all drainage rights-of-way/ servitudes shall not be located within an individual lot. The current lot configuration shows lots encumbered with private drainage servitudes, as such the plan needs to be revised to conform with Section 125-88 or a waiver of this Ordinance Section be granted by a 2/3rds majority affirmative vote of the Planning Commission Membership.
3. Since this project is within tidal range of the rigolets, no detention will be required. The fee in lieu of detention has been calculated in the amount of 54.679 acres x \$2,000/acre = \$109,358.00 (this calculation includes the entire footprint of Phase 3A-2) However, the developer is requesting a waiver of this requirement. See attached letter dated 9/15/2022 outlining the justification for this request. Staff has no objection to this request, but the waiver requires a 2/3rds majority affirmative vote of the Planning Commission Membership.
4. Pursuant to Ordinance Section 125-56(d)(2) the developer is requesting a waiver of the maximum cul-de-sac length of 700'. A waiver of this section requires a 2/3rds majority affirmative vote of the Planning Commission Membership.
5. Provide the required LADOTD access connection permit for the proposed Seaside Ave connection to Hwy 433.
6. Provide the required complete Recreational Development Plan depicting the proposed amenities, a time schedule for development, and the entity whom shall be responsible for the liability and maintenance of the recreational amenities and greenspace areas.

Preliminary Plat:

7. Update the notes, legal description and restrictive covenants on the Preliminary Plat in accordance with the markups & summary emailed to the developer and the engineer of record on 10/4/2022.

Paving & Drainage Plan:

8. Update the Paving & Drainage Plan and Plan & Profile sheets to include the required information in accordance with the markups & summary emailed to the developer and the engineer of record on 10/4/2022.

Water & Sewer Plan:

9. Provide a plan approval letter for the water and sewer lines in this phase of Rigolets Estates from Magnolia Water.

Informational Items:

The developer is responsible for contacting the USPS Regional Growth Management Coordinator to verify the appropriate mail delivery location for this development.

A D.E.S. Letter of No Objection will be required for this project regarding the water and sewer lines and systems associated with this project.

A LDH approval letter will be required for this project regarding the water and sewer lines and systems associated with this project.

No funded Maintenance Obligation is required since this subdivision fronts on a state highway.

No Mandatory Developmental fee is required at Final Submittal in accordance with St. Tammany Code of Ordinances, Part II “Land Development Code,” Chapter 125 “Subdivision Regulations,” since a public hearing was held prior to January 1, 2005.

Revised drawings will not be accepted for review or placement in the packet prior to the October 11, 2022 Planning Commission meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.

2022-3081-PP

T10 - R15E

37

37

T10 - R14E

RIGOLETS AV

433

2022-3081-PP
A-1

CHINOOK DR

BLUEGILL

REDFISH

HERRING DR

MARLIN DR

J.V. Burkes & Associates, Inc.

1805 Shortcut Highway
Slidell, Louisiana 70458

985.649.0075 office
985.649.0154 fax
www.jvburkes.com



September 15, 2022

Mr. Daniel Hill, PE
Engineering Department
St. Tammany Parish Government
21490 Koop Drive
Mandeville, LA 70471

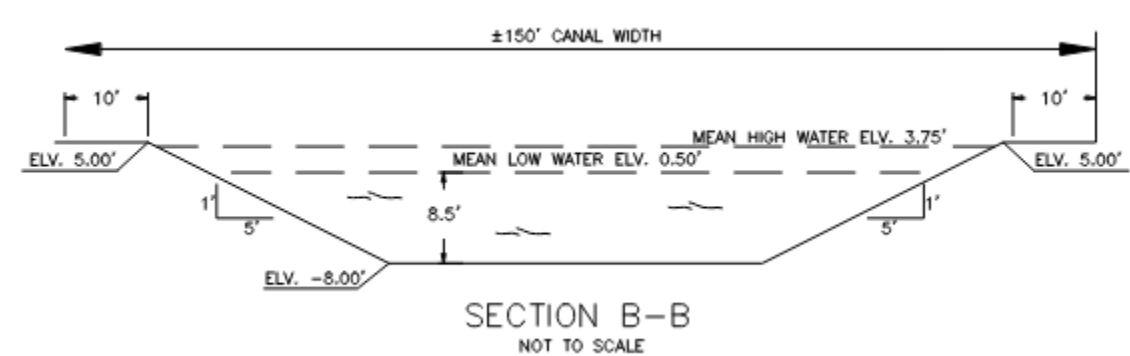
**PRELIMINARY PLANS
RECEIVED
9/15/2022
DEPARTMENT OF
ENGINEERING**

**ENGINEERING
REVIEW COPY**

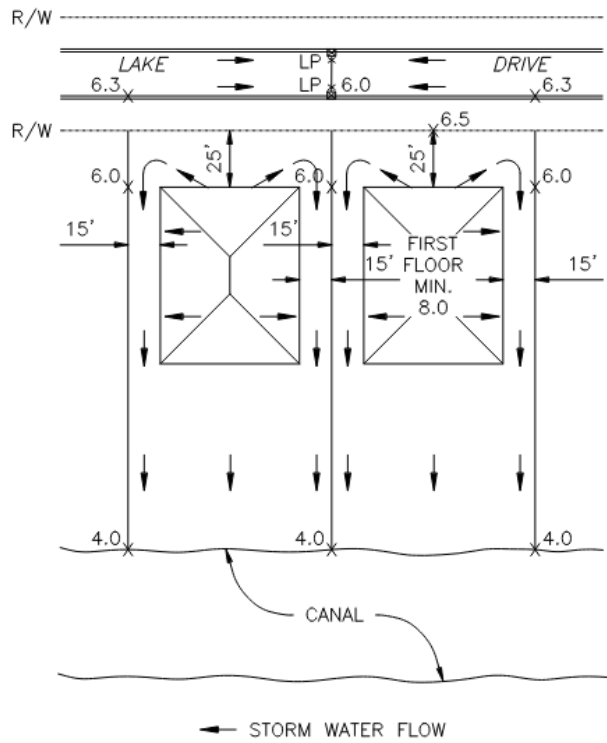
**RE: Rigolets Estates Phase 3A-2
Drainage Impact Study- Fill Letter**

Dear Mr. Hill:

In accordance with the above referenced subdivision. The developer has contacted the utility providers for water, sewer, and electrical so that these lots can get utility service. In regard to retention, this subdivision has created canals that act as direct storage increasing the volume of Lake Pontchartrain. The total canal volume excavated is approximately 230,000 cy for this phase, that is being used as direct water storage for the overall Lake Pontchartrain Basin.



There is a minimal amount of fill that will be used on the lots, since the homes will be raised. Approximately 2ft of fill on an approximate 3000 sf building pad, with slopes will be approx.. 300 cy per house x 80 lots = 24,000 cy total amount of fill. Therefore the no-net fill ordinance is met.



TYPICAL LOT GRADING

Respectfully,

Sean M. Burkes, PE, PLS
J.V. Burkes & Associates, Inc.



SMB/sb

Cc: Mr. Shelby LaSalle
Mr. Frederick J. Sigur, Jr.