

AGENDA
ST. TAMMANY PARISH ZONING COMMISSION MEETING
6:00 P.M. – WEDNESDAY, NOVEMBER 2, 2022
ST. TAMMANY PARISH ADMINISTRATIVE COMPLEX, COUNCIL CHAMBERS
KOOP DRIVE OFF OF HIGHWAY 59
MANDEVILLE, LOUISIANA

A livestream will be available for viewing on regular broadcast channels (Charter Channel 710; U-verse Channel 99) or on the Parish website: www.stpgov.org. The livestream will begin at 6:00 PM on Wednesday, November 2, 2022.

ROLL CALL

CALL TO ORDER

ANNOUNCEMENTS

- **Please silence all phones and electronic devices**
- **Appeals**
- **Speaker Cards**
- **Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal**
- **Please exit the building**

INVOCATION

PLEDGE OF ALLEGIANCE

APPROVAL OF THE OCTOBER 4, 2022 MINUTES

POSTPONING OF CASES

PUBLIC HEARINGS

APPEARERS

ZONING CHANGE REQUEST CASES - APPLICATIONS FOR A PROPOSED CHANGE OF ZONING DISTRICT OR AMENDMENTS TO THE LAND USE ORDINANCE REQUIRING REVIEW & RECOMMENDATION OF APPROVAL BY THE ZONING COMMISSION BEFORE ACTION BY THE PARISH COUNCIL ARE AS FOLLOWS:

1. 2022-2839-ZC

Existing Zoning: TND-2 (Traditional Neighborhood Development)
Proposed Zoning: TND-2 (Planned Traditional Neighborhood Development)
Location: Parcel located on the north side of US Highway 190, east and west of Honeybee Road; Slidell; S35, T8S, R13E, Ward 9, District 11
Acres: 275.33 acres
Petitioner: George Kurz
Owner: Honeybee Holdings, LLC
Council District: 11

POSTPONED FROM OCTOBER 4, 2022 MEETING

2. 2022-3005-ZC

Existing Zoning: A-2 (Suburban District)
Proposed Zoning: HC-2 (Highway Commercial District)
Location: Parcel located on the south side of Louisiana Highway 22, east of Mitcham Road, north of Cialona Road, being Parcel A-2, Madisonville; S18, T7S, R10E; Ward 1, District 4
Acres: 2 acres
Petitioner: Stephen M. Blanc Jr
Owner: TNB Properties, LLC – Stephen M. Blanc Jr.
Council District: 4

POSTPONED FROM OCTOBER 4, 2022 MEETING

3. 2022-3019-ZC

Text Change: Ordinance to amend the St. Tammany Parish Code of Ordinances, Part II-Land Development Code, Chapter 130-Unified Development Code, Article V-Overlays, Division 6-Planned Corridor District, Section 130-1814-Special Design Standards, to limit hours of operation for certain uses within the Highway 21 Planned Corridor (Ward 1, District 1).
(Dean) (Introduced 08/04/2022)

POSTPONED FROM OCTOBER 4, 2022 MEETING

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4. 2022-3046-ZC

Existing Zoning: A-1 (Suburban District)
Proposed Zoning: HC-3 (Highway Commercial District)
Location: Parcel located on the south side of US Highway 90, west of Honey Island Marina Road, Slidell; S29, T9S, R16E; Ward 8, District 13

Acres: 5.5 acres
Petitioner: Joe Strain
Owner: 46564 Highway 90, LLC – Joe Strain
Council District: 13

5. 2022-3061-ZC

Existing Zoning: A-1 (Suburban District)
Proposed Zoning: A-1 (Suburban District) and RO Rural Overlay
Location: Parcel located on the east side of Wildwood Drive, south of Tchefuncte Drive, being Lot 7-A, Square 6, River Forest Country Club Subdivision, Covington S36, T6S, R10E; Ward 1, District 3

Acres: .516 acres
Petitioner: Stephanie Jenkins Little
Owner: Stephanie Jenkins Little
Council District: 3

6. 2022-3068-ZC

Existing Zoning: HC-1 (Highway Commercial District)
Proposed Zoning: HC-2 (Highway Commercial District)
Location: Parcel located on the north side of LA Highway 22, east of Belle Pointe Drive, west of Perrilloux Road, Madisonville; S16, T7S, R10E; Ward 1, District 1

Acres: 3.010 acres
Petitioner: Beau Bryant
Owner: Highway 22-Perrilloux, LLC – Beau Bryant
Council District: 1

7. 2022-3069-ZC

Existing Zoning: A-1 (Suburban District)
Proposed Zoning: A-3 (Suburban District)
Location: Parcel located on the east side of Cypress Drive, south of Lee Settlement Road, Folsom; S6, T5S, R10E; Ward 2, District 3

Acres: 5 acres
Petitioner: Elaine Khoury
Owner: Philip Khoury
Council District: 3

8. 2022-3072-ZC

WITHDRAWN
Existing Zoning: HC-1 (Highway Commercial District)
Proposed Zoning: MD-1 (Medical Residential District)
Location: Parcel located on the east side of LA Highway 22, east of Penns Chapel Road, Mandeville; S54, T7S, R11E; Ward 4, District 4

Acres: 1 acre
Petitioner: Gloria and Michael Storms
Owner: Jason Hemel
Council District: 4

9. 2022-3073-ZC

Existing Zoning: HC-1 (Highway Commercial District)
Proposed Zoning: HC-2 (Highway Commercial District)
Location: Parcel located on the north side of LA Highway 22, west of Kathman Drive, Madisonville; S18, T7S, R10E; Ward 1, District 1

Acres: .69 acres
Petitioner: Efrain Bermudez
Owner: Yireh Buildings, LLC – Efrain Bermudez
Council District: 1

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10. ZC13-08-063

Major Amendment to the River Chase RBCO Regional Business Center Overlay
Location: Parcel located on the east and west sides of E Brewster Road, south of Interstate 12, Covington; Sections 41, S46, & S47, Township 7S, Ranges 10E and 11E; Ward 1, District 1

Acres: 192.786 acres
Petitioner: Mark Salvetti
Owner: Maurmount Properties, LLC
Council District: 1

PLAN REVIEW CASES – APPLICATIONS REQUIRING REVIEW AND APPROVAL OF SITE PLANS ALONG A PLANNED DISTRICT BY THE ZONING COMMISSION ARE AS FOLLOWS:

1. 2022-3016-PR – USE: McDaniel Dermatology: New Construction

CORRIDOR: Highway 21 Planned Corridor
ZONING: NC-1 (Highway Commercial District)
USE SIZE: 7,606 sq. ft.
PETITIONER: Jones Fussell – Jeff Schoen
OWNER: Ellison Holdings, LLC
LOCATION: Parcel located on the east side of LA Highway 21, south of Dummyline Road; Madisonville, S41, T7S, R10E, Ward 1, District 1

POSTPONED FROM OCTOBER 4, 2022 MEETING

2. 2022-3058-PR – USE: Tommy’s Carwash: New Construction

CORRIDOR: Highway 21 Planned Corridor
ZONING: HC-2 (Highway Commercial District)
USE SIZE: 5,207 sq. ft.
PETITIONER: Jordan Williams
OWNER: Revive Holdings 21, LLC
LOCATION: Parcel located on the east side of LA Highway 21, south of Hyacinth Drive; Covington S47, T7S, R11E, Ward 1, District 1

POSTPONED FROM OCTOBER 4, 2022 MEETING

3. 2022-3064-PR – USE: Take Five Carwash: New Construction

CORRIDOR: Highway 21 Planned Corridor
ZONING: HC-2 (Highway Commercial District)
USE SIZE: 4,130 sq. ft.
PETITIONER: BSREP II Cypress TRS, LLC – Michael Blank
OWNER: BSREP II Cypress TRS, LLC – Michael Blank
LOCATION: Parcel located on the east side of LA Highway 21, north of Pinnacle Parkway; Covington S47, T7S, R11E, Ward 1, District 1

POSTPONED FROM OCTOBER 4, 2022 MEETING

NEW BUSINESS
OLD BUSINESS
ADJOURNMENT

**MINUTES OF THE
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ROLL CALL

Present: Seeger, McInnis, Willie, Doherty, Barcelona, Fitzmorris, Crawford, Smail, Randolph, Truxillo

Absent Fitzmorris

STAFF PRESENT: Ross Liner, Helen Lambert, Erin Cook, Mitchell Kogan and Emily Couvillion

CALL TO ORDER

ANNOUNCEMENTS

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- **Appeals**
- **Speaker Cards**
- **Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal**
- **Please exit the building**

INVOCATION Randolph

PLEDGE OF ALLEGIANCE Willie

APPROVAL OF THE SEPTEMBER 6, 2022 MINUTES

Crawford made a motion to approve second by Randolph

YEA: Seeger, Ressa, McInnis, Willie, Doherty, Barcelona, Crawford, Smail, Randolph and Truxillo

NAY:

ABSTAIN:

POSTPONING OF CASES:

1. 2022-2839-ZC

Existing Zoning: TND-2 (Traditional Neighborhood Development)
Proposed Zoning: TND-2 (Planned Traditional Neighborhood Development)
Location: Parcel located on the north side of US Highway 190, east and west of
Honeybee Road; Slidell; S35, T8S, R13E, Ward 9, District 11
Acres: 275.33 acres
Petitioner: George Kurz
Owner: Honeybee Holdings, LLC
Council District: 11

POSTPONED FROM JULY 5, 2022 MEETING

Jeff Schoen came to the podium

Donna McDonald spoke against this request

Smail made a motion to postpone for one month, second by Truxillo

YEA: Seeger, Ressa, McInnis, Willie, Doherty, Barcelona, Crawford, Smail, Randolph and Truxillo

NAY:

ABSTAIN

3. 2022-2990-ZC

Existing Zoning: A-2 (Suburban District)
Proposed Zoning: A-2 (Suburban District) and MHO Manufactured Housing Overlay
Location: Parcel located at the southeast intersection of Heathermist Drive, east
of Sea Spray Drive; Slidell; S29, T9S, R15E, Ward 8, District 13
Acres: 1.66 acres
Petitioner: Helgin Gallardo
Owner: TRAMPROP INC-JP & WA LLC – James Lindsay
Council District: 13

POSTPONED FROM SEPTEMBER 6, 2022 MEETING

Jamie Lindsay came to the podium

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Barcelona made a motion to postpone to December, second by Crawford

YEA: Seeger, Ress, McInnis, Willie, Doherty, Barcelona, Crawford, Smail, Randolph and Truxillo

NAY:

ABSTAIN

1. 2022-3016-PR – USE: McDaniel Dermatology: New Construction

CORRIDOR: Highway 21 Planned Corridor

ZONING: NC-1 (Highway Commercial District)

USE SIZE: 7,606 sq. ft.

PETITIONER: Jones Fussell – Jeff Schoen

OWNER: Ellison Holdings, LLC

LOCATION: Parcel located on the east side of LA Highway 21, south of Dummyline Road; Madisonville, S41, T7S, R10E, Ward 1, District 1

POSTPONED FROM SEPTEMBER 6, 2022 MEETING

Jeff Schoen came to the podium

Truxillo made a motion to postpone to November, second by Barcelona

YEA: Seeger, Ress, McInnis, Willie, Doherty, Barcelona, Crawford, Smail, Randolph and Truxillo

NAY:

ABSTAIN:

2. 2022-3058-PR – USE: Tommy’s Carwash: New Construction

CORRIDOR: Highway 21 Planned Corridor

ZONING: HC-2 (Highway Commercial District)

USE SIZE: 5,207 sq. ft.

PETITIONER: Jordan Williams

OWNER: Revive Holdings 21, LLC

LOCATION: Parcel located on the east side of LA Highway 21, south of Hyacinth Drive; Covington S47, T7S, R11E, Ward 1, District 1

Jordan Williams came to the podium

Truxillo made a motion to postpone for one month, second by Barcelona

YEA: Seeger, Ress, McInnis, Willie, Doherty, Barcelona, Crawford, Smail, Randolph and Truxillo

NAY:

ABSTAIN:

Chairman Doherty motion to move cases 2022-2909-ZC and 2022-2997 to be heard at the end of the meeting

ZONING CHANGE REQUEST CASES:

1. 2022-3005-ZC

Existing Zoning: A-2 (Suburban District)

Proposed Zoning: HC-2 (Highway Commercial District)

Location: Parcel located on the south side of Louisiana Highway 22, east of Mitcham Road, north of Cialona Road, being Parcel A-2, Madisonville; S18, T7S, R10E; Ward 1, District 4

Acres: 2 acres

Petitioner: Stephen M. Blanc Jr

Owner: TNB Properties, LLC – Stephen M. Blanc Jr.

Council District: 4

Paul Mayronne came to the podium

Seeger made a motion to approve, second by Truxillo

Ress then made a motion to table and discuss at the end of the meeting, second by Willie

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6. 2022-3015-ZC

Existing Zoning: A-4 (Single-Family Residential District)
Proposed Zoning: A-4 (Single-Family Residential District) and MHO (Manufactured Housing Overlay)
Location: Parcel located on the east side of Violet Street, north of Progress Street, being Lot 17A, Square 2, West Abita Springs Subdivision, Covington; S36, T6S, R11E; Ward 10, District 6
Acres: .11 acre
Petitioner: Rosa Bouterie
Owner: Rosa Bouterie
Council District: 6

Rosa Bouterie came to the podium

Willie made a motion to approve, second by McInnis

YEA: Seeger, Ress, McInnis, Willie, Doherty, Barcelona, Crawford and Smail
NAY: Randolph and Truxillo
ABSTAIN

1. 2022-3017-ZC

Existing Zoning: A-1 (Suburban District)
Proposed Zoning: A-2 (Suburban District)
Location: Parcel located on the east side of Taylor Road, north of US Highway 190, Covington; S27, T6S, R10E; Ward 1, District 3
Acres: 5 acres
Petitioner: Taylor Thigpen
Owner: Robert Thigpen
Council District: 3

Taylor Thigpen came to the podium

Barcelona made a motion to approve, second by Crawford

YEA: Seeger, Ress, McInnis, Willie, Doherty, Barcelona, Crawford, Smail, Randolph and Truxillo
NAY:
ABSTAIN:

7. 2022-3019-ZC

Text Change: Ordinance to amend the St. Tammany Parish Code of Ordinances, Part II-Land Development Code, Chapter 130-Unified Development Code, Article V-Overlays, Division 6-Planned Corridor District, Section 130-1814-Special Design Standards, to limit hours of operation for certain uses within the Highway 21 Planned Corridor (Ward 1, District 1).
(Dean) (Introduced 08/04/2022)

Terrence Bergeron spoke against this request

Seeger made a motion to approve, second by Barcelona
Ress then made a motion to postpone, second by Willie

YEA: Seeger, Ress, McInnis, Willie, Doherty, Crawford, Smail, Randolph and Truxillo
NAY: Barcelona
ABSTAIN

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- 8. 2022-3020-ZC WITHDRAWN**
Existing Zoning: A-2 (Suburban District) and CBF-1 (Community Based Facilities District)
Proposed Zoning: PF-1 (Public Facilities District)
Location: Parcel located on the west side of US Highway 190, north of Chinchuba Cemetery Road, Mandeville; S41, T8S, R11E; Ward 4, District 10
Acres: 6.374 acres
Petitioner: Chad Wiles
Owner: The Field Church, Inc. – Chad Wiles
Council District: 1
- 10. 2022-3030-ZC**
Existing Zoning: A-1 (Suburban District) and RO (Rural Overlay)
Proposed Zoning: A-2 (Suburban District) and RO (Rural Overlay)
Location: Parcel located on the north side of Tiger Branch Road, east of Passman Road, Covington; S6, T6S, R11E; Ward 3, District 2
Acres: 3.61 acres
Petitioner: Jeanne Avery
Owner: Della Jean Steinhauer
Council District: 2

Jeanne Avery and Della Steinhauer came to the podium

Truxillo made a motion to approve as amended (remove the RO zoning from the request, second by Barcelona

YEA: Seeger, Ress, McInnis, Willie, Doherty, Barcelona, Crawford, Smail, Randolph and Truxillo
NAY:
ABSTAIN

- 11. 2022-3031-ZC**
Existing Zoning: HC-2 (Highway Commercial District)
Proposed Zoning: HC-2A (Highway Commercial District)
Location: Parcel located on the west side of LA Highway 59, north of Lonesome Road, Mandeville; S36, T7S, R11E; Ward 4, District 10
Acres: 9.35 acres
Petitioner: Zuppardo Properties, LLC
Owner: Roy Zuppardo
Council District: 10

Paul Mayronne came to the podium

Kevin Redmann and John Vanderbrook spoke against his request

Barcelona made a motion to approve, second by Willie

YEA: Willie, Doherty, Barcelona, Crawford, Smail, Randolph and Truxillo
NAY: Seeger, Ress and McInnis
ABSTAIN

- 12. 2022-3032-ZC**
Existing Zoning: A-1 (Suburban District)
Proposed Zoning: A-2 (Suburban District)
Location: Parcel located on the north side of Baham Road, west of LA Highway 1077, Covington; S28 & S33, T6S, R10E; Ward 1, District 3
Acres: 4.44 acres
Petitioner: Ricky Boles
Owner: Casa De Leon Development, LLC
Council District: 3

Ricky Boles came to the podium

Michelle Stowe spoke in favor of this request

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McInnis made a motion to approve, second by Truxillo

YEA: Seeger, Ress, McInnis, Willie, Doherty, Barcelona, Crawford, Smail, Randolph and Truxillo
NAY:
ABSTAIN

- 13. 2022-3033-ZC**

Existing Zoning: A-1 (Suburban District)
Proposed Zoning: A-4 (Single-Family Residential District)
Location: Parcel located on the southwest corner of Highway 25 and Damiano, Folsom S32 and S33, T4S, R10E; Ward 2 District 3

Acres: 40 acres
Petitioner: John H. & Sundra R. Steinhauer
Owner: John H. & Sundra R. Steinhauer
Council District: 3
- 4. 2022-3005-ZC**

Existing Zoning: A-2 (Suburban District)
Proposed Zoning: HC-2 (Highway Commercial District)
Location: Parcel located on the south side of Louisiana Highway 22, east of Mitcham Road, north of Cialona Road, being Parcel A-2, Madisonville; S18, T7S, R10E; Ward 1, District 4

Acres: 2 acres
Petitioner: Stephen M. Blanc Jr
Owner: TNB Properties, LLC – Stephen M. Blanc Jr.
Council District: 4

Crawford made a motion to postpone for one month, second by Willie

YEA: Seeger, Ress, McInnis, Willie, Doherty, Barcelona, Crawford, Smail and Randolph
NAY:
ABSTAIN

PLAN REVIEW CASES:

- 2. 2022-3064-PR – USE: Take Five Carwash: New Construction**

CORRIDOR: Highway 21 Planned Corridor
ZONING: HC-2 (Highway Commercial District)
USE SIZE: 4,130 sq. ft.
PETITIONER: BSREP II Cypress TRS, LLC – Michael Blank
OWNER: BSREP II Cypress TRS, LLC – Michael Blank
LOCATION: Parcel located on the east side of LA Highway 21, north of Pinnacle Parkway; Covington S47, T7S, R11E, Ward 1, District 1

Masih Mujadidi spoke in representation of Michael Blank

Chris Davis spoke in favor of this request

Andrew Seaboula, Donalyn Hassenboehler, Terrance Bergeron and Paula Bennett spoke against this request

Truxillo made a motion to postpone for one month, second by Seeger

YEA: Seeger, Ress, McInnis, Willie, Doherty, Barcelona, Crawford, Smail, Randolph and Truxillo
NAY:
ABSTAIN

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3. 2022-2989-ZC

TEXT CHANGE: ORDINANCE TO AMEND ST. TAMMANY PARISH CODE OF ORDINANCES, PART II – LAND DEVELOPMENT CODE, CHAPTER 130 – UNIFIED DEVELOPMENT CODE, ARTICLE IV – ZONING DISTRICTS, DIVISION 11 – A-4A(D) SINGLE-FAMILY RESIDENTIAL DISTRICT, SEC. 130-531 – PURPOSE AND SEC. 130-534 – SITE AND STRUCTURE PROVISIONS; AS WELL AS DIVISION 12 – A-5(D) TWO-FAMILY RESIDENTIAL DISTRICT, SEC. 130-566 – PURPOSE AND SEC. 130-569 – SITE AND STRUCTURE PROVISIONS; AS WELL AS ARTICLE V – OVERLAYS, DIVISION 2 – PUD PLANNED UNIT DEVELOPMENT OVERLAY, SEC. 130-1673 – GENERAL STANDARDS AND CRITERIA; TO EXCLUDE A-4A AND A-5 ZONING DISTRICTS FROM ELIGIBILITY FOR A PUD PLANNED UNIT DEVELOPMENT OVERLAY.

POSTPONED FROM SEPTEMBER 6, 2022 MEETING

Councilman Jimmie Davis spoke

Smail made a motion to approve as amended, second by Barcelona

YEA: Seeger, Ress, McInnis, Willie, Doherty, Barcelona, Crawford, Smail, Randolph and Truxillo

NAY:

ABSTAIN

4. 2022-2997-ZC

TEXT CHANGE: ORDINANCE TO AMEND ST. TAMMANY PARISH CODE OF ORDINANCES, PART II – LAND DEVELOPMENT CODE, CHAPTER 130 – UNIFIED DEVELOPMENT CODE, ARTICLE IV – ZONING DISTRICTS, DIVISION 49 – AML ADVANCED MANUFACTURING AND LOGISTICS DISTRICT, SEC. 130-1620 – PURPOSE, SEC. 130-1621– PERMITTED USES, SEC. 130-1622 – ADMINISTRATIVE PERMITS, AND SEC. 130-1623 – SITE AND STRUCTURE PROVISIONS, TO EXCLUDE CERTAIN USES IN AML ZONING DISTRICTS.

POSTPONED FROM SEPTEMBER 6, 2022 MEETING

Keith Espadron came to the podium

John Crosby spoke in favor of this request

Smail made a motion to approve with staff comments, second by Barcelona

YEA: Seeger, Ress, McInnis, Willie, Doherty, Barcelona, Crawford, Smail, Randolph and Truxillo

NAY:

ABSTAIN

ADJOURN: Chairman Doherty made a motion to adjourn



ZONING STAFF REPORT
2022-2839-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Location: Parcel located on the north side of US Highway 190, east and west of Honeybee Road; Slidell; S35, T8S, R13E, Ward 9, District 11
Posted: October 11, 2022

Owner: Honeybee Holdings, LLC
Council District: 11

Applicant: George Kurz
Prior Determination: October 4, 2022 - Postponed

Size: 275.33 acres
Commission Hearing: November 2, 2022

Determination: Approved, Denied, Postponed



Current Zoning

TND-2 Traditional Neighborhood District

Requested Zoning

TND-2 Planned Traditional
Neighborhood District

Future Land Use

Low Intensity Residential

Flood Zone

Effective Flood Zone C

Critical Drainage: No

FINDINGS

Procedures for General Implementation Plan Review

1. The current request is to utilize the site’s existing TND-2 Traditional Neighborhood Development zoning classification and provide a General Implementation Plan subject to Sec. 130-1518 – “General Implementation Plan”. The applicant has held several pre-application conferences with the Department of Planning and Development for the purpose of exchanging information and determining the eligibility of the request for consideration as a traditional neighborhood development. A preapplication meeting was held on July 19, 2022 to allow members of the Zoning Commission, members of the public, and members of the development team to discuss the project.
2. **Following the Public Workshop Session, the Zoning Commission “shall review the traditional neighborhood development request and general implementation plan and any comments submitted by any adjoining property owners and shall make a recommendation to the Council to approve, approve with conditions, or deny the general implementation plan. In its recommendation to the Council, the Commissions shall include the reasons for such recommendation”.**

Per Sec. 130-1518(2)(c), if approved by the Parish Council, the adopted General Implementation Plan will rezone the property to “TND-2 Planned Traditional Neighborhood Development” and allow the petitioner to submit a Specific Implementation Plan subject to Section 130-1519 – “Specific Implementation Plan” for review within 36 months.

Zoning History

3. The petitioned site is comprised of 275.33 acres of undeveloped property which is bisected by the existing 20 ft. wide, Parish maintained Honeybee Road. The site was zoned TND-2 Traditional Neighborhood Development through the 2009 St. Tammany Parish Comprehensive rezoning efforts and has remained undeveloped since. The same site was the subject of a rezoning request for an underlying zoning classification of A-4A Single-Family Residential District (2021-2354-ZC) and Planned Unit Development Overlay (2021-2355-ZC); both of which were denied by the Parish Council on March 3, 2022 (Resolution No’s. C-6581 and C-6582).

Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
09-2020	SA Suburban Agriculture	TND-2 Traditional Neighborhood District



ZONING STAFF REPORT
2022-2839-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

Compatibility or Suitability with Adjacent Area

4. Table 2: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Residential	A-2 Suburban District
South	Undeveloped	TND-2 Traditional Neighborhood Development District
East	Undeveloped	TND-2 Traditional Neighborhood Development District
West	Undeveloped	A-2 Suburban District and A-3 Suburban District

The subject property abuts an existing residential neighborhood zoned A-2 Suburban District to the north, undeveloped property that is also zoned TND-2 Traditional Neighborhood Development to the east and south, and undeveloped property zoned A-2 Suburban District and A-3 Suburban District to the west. There are multiple residential neighborhoods within a mile of the subject property along US Highway 190 and an existing elementary school across the street from the subject property on US Highway 190.

TND Density

5. Per Sec. 130-1512(d), “the number of residential dwelling units and the amount of nonresidential development, excluding open spaces, shall be determined as follows, provided that single-family detached dwellings shall account for at least 50% of the total number of residential units in the TND, and two-family units, townhomes, and multi-family units shall comprise less than 50% of the units...
- (1) In areas devoted to mixed residential uses:
- a. The number of single-family attached and detached units permitted shall be 5 to 8+ dwelling units per net acre.
 - b. The number of multi-family units shall be eight to 40 dwelling units per net acre”

Table 3: Allowable Density

Residential Type	Permitted Density	Acreage	Allowable Gross Density	Proposed Gross Density
Single-Family	5 to 8+ dwelling units per acre	135.9 acres	680 – 1,087 (+)	788 Lots/5.79 units per acre
Revised Submittal		112.4 acres	562-899 (+)	780 Lots/6.94 units per acre
Multi-Family	8 to 40 dwelling units per acre	36.4 acres	291 – 1,456	785 Units/21.57 units per acre
Revised Submittal		30.4 acres	243 – 1,216	530 Units/17.43 units per acre

The Honeybee TND is comprised of 275.33 acres and is proposed to be developed with roughly 1,573 residential dwellings including 788 single-family detached homes and 785 multifamily, duplex, townhomes, and residential units above commercial development. Per Sec. 130-1512, each residential category has been placed within its own area on the TND plan which includes 7 single-family residential areas totaling 135.9 acres, 2 multifamily residential areas totaling 28.6 acres, and an area for townhomes totaling 7.8 acres.

The applicant for the Honeybee TND-2 submitted revised plans on October 6, 2022 which include the following changes to the proposed density:

- Reduction of the proposed Single-Family lots by 8 and reduction of the proposed Multi-Family units by 255 units.
 - The proposed multifamily area southeast of the Neighborhood Center was removed from the new TND plan and replaced with a proposed High-Density Townhome Area.
 - The new TND plan has reduced the proposed multifamily area to the west of the Neighborhood Center, allowing the medium density single-family areas to the north and south to grow in size.

The multifamily residential units were reduced and the addition of 70 ft wide lots and a bigger areas for single family residential lots created an increase in the proposed density of single-family development from 5.79 units per acre to 6.94 units per acre and decreased the proposed density of multi-family development from 21.57 units per acre to 17.43 units per acre.

- An increase in size of the required Neighborhood Edge Area along the western and northern perimeter of the site and the addition of proposed 70’ wide lots.
 - Due to the nature of the General Implementation Plan, the applicant is not required to provide the number of proposed 70’ lots but has noted that the density will +/-5 units per acre.

As seen in Table 3 - Allowable Density Per Sec. 130-1512(d)(1), the density levels proposed on the Honeybee TND plan are below the allowable density levels indicated in the TND ordinance.



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Sec. 130-1512(e): TND Greenspace

6. Table 4: Greenspace/Open Space Regulations

Regulation	Required	Provided
Min. 20% gross acreage must be open space	55.6 acres	73.3 acres
Revised Submittal		70.9 acres
Parks and greenbelt areas must be at least 25% of common open space	13.9 acres	14.9 acres
Revised Submittal		17.7 acres
90% of lots shall be within ½-mile or 15 min. walk from open space	1,416 lots	1,573 acres
	1,179 units	1,310 units
20% max common open space devoted to paved areas and structures	11.12 acres	To be verified with specific implementation plan
Wetlands may account for open space with not less than 50% bottomland hardwood, pine savannah, or brackish marshland		To be verified with submission of jurisdictional determination

Open space is a significant part of a TND-2 district design. Formal and informal open spaces are required. These serve as areas for community gatherings, landmarks, and as organizing elements for the neighborhood. Open space includes squares, plazas, greens, preserves, parks, and greenbelts.

Open space uses may include the following: a central square, neighborhood parks, recreational facilities, playgrounds, environmental corridors, protected natural areas, community parks, streams, ponds, and other water bodies, and stormwater detention/retention facilities.

Open space uses may not include yards which are not accessible for the common use of the development, parking areas, drives, utilities with above ground improvements or road easements and servitudes, structures, drainage ditches or canals, or areas reserved for the exclusive use and benefit of an individual tenant or owner.

Currently, the open space calculations provided by the applicant for the Honeybee TND state the plan is providing 73.3 acres of common open space which exceeds the open space requirements by 17.7 acres. While this figure meets the stated goals listed within the TND greenspace/open space ordinance, staff recognizes the purpose of the General Implementation Plan is to provide a general plan of the proposed land uses and their overall impact on the subject and surrounding land. These numbers and requirements will need to be reevaluated upon submission of the Specific Implementation Plan.

The applicant for the Honeybee TND-2 submitted revised plans on October 6, 2022 which include the following changes to the proposed greenspace/open space:

1. Addition of 4.9 acres of Recreational Center and Park Space and the reduction of 2.1 acres of Bayou Paquet Greenbelt space.
2. Increase of .7 acres of Detention/Drainage/Lake area.
3. Decrease of 5.9 acres of Landscape/Open Space.

“Open space improvements may include”

- Walking trails or sidewalks along Bayou Paquet and the lake/detention areas
- Benches and other seating areas
- Additional landscaping and plantings
- Nature/informational signage
- Habitat creation along greenbelts or in lake acres
- Play structures or similar within the Rec Center and other active park areas
- Pavilions or other shade structures



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TND Use Types

7. Per Sec. 130-1510(b), a TND-2 District is divided into at least two types of areas and each area type has different land use regulations. A TND-2 district must have one neighborhood center area (otherwise known as town center or village center) and at least one mixed residential area. A TND-2 district may also have a neighborhood edge area, civic spaces, and green spaces.

Table 5: TND Use Types Required

Use Type	Definition	Provided	Staff Comment
Neighborhood Center Area	A neighborhood center serves as the focal point of a TND-2 district, containing retail, commercial, civic, and/or public services to meet the daily needs of community residents. A neighborhood center is pedestrian oriented, and is designed to encourage pedestrian movement. A square may be located in a neighborhood center area. Retail and commercial uses should generally be located adjacent to a square. The neighborhood center uses include retail shops, restaurants, offices, banks, hotels, post office, governmental offices, churches, community centers, and attached residential dwellings.	<p>The TND plan proposed a 10,000 sq. ft. commercial building on (+/-) 1.5 acres and civic uses on (+/-) 1.5 acres</p> <p><u>Proposed commercial uses may include:</u></p> <p>Professional/Medical Office; Restaurant/Lounge/Food Services; Retail and Service Uses; Neighborhood Services; Educational Services/Day Care; Bank and Financial Services; Arts, Entertainment, and Recreation Services</p> <p><u>Proposed Civic Uses may include:</u></p> <p>Police Substation; Library; Fire Station; Museum; Post Office; Church/Temple/Synagogue</p>	Per Sec. 130-1509, the purpose of the TND-2 is to provide for the daily recreational and shopping needs of the residents including shops and workplaces which promote economic opportunity. A TND should be self-sustaining, providing opportunities to work, live, and play all within a single development. Staff has determined a single 10,000 sq. ft. commercial building and a 1.5-acre space dedicated to a civic use does not meet the intent of a TND and will not meet the shopping or institutional needs for the proposed 1,573 dwelling units shown on the plan.

The applicant for the Honeybee TND-2 submitted revised plans on October 6, 2022 which include the following changes to the proposed Neighborhood Center Area:

1. An increase of 8 acres for the area designated as the Neighborhood Center Area, which is now proposed to be 18 acres.
 - a. An increase of .8 acres for areas designated as Civic Space, which has added an additional Civic Space to the plan.
 - b. The indication of the proposed general location of two Live/Work spaces within the Neighborhood Center Area.
 - c. Addition of high-density Multifamily Area into the Neighborhood Center Area.
 - d. Increase in size of the Village Green area which has been stated to “host farmers markets, food trucks, entertainment, movie nights, athletic practices, and similar events and activities”.



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Table 5: TND Use Types Required Cont.

Use Type	Definition	Provided	Staff Comment
Mixed Residential Area	A mixed residential area includes a variety of residential land uses, including single-family residential, duplex, townhome, and multi-family. Residential scale retail and commercial uses are permitted within a mixed residential area with strict architectural and land use controls. Retail and commercial uses in a mixed residential area are required to blend into the residential character of the neighborhood. A mixed residential area includes open spaces including small squares, pocket parks, community parks, and greenbelts. A mixed residential area promotes pedestrian activity through well designed and varied streetscapes that also provide for the safe and efficient movement of vehicular traffic. Mixed residential area uses include single-family homes, condominiums, townhomes, apartments, offices, short term rentals, restaurants, neighborhood scale retail, and civic uses. Mixed residential areas often utilize alleys.	<p>The TND plan shows 10 residential areas including six (6) single-family residential areas, two (2) multi-family areas, one (1) townhome area, and one (1) live-work space area.</p> <p>The revised plan now shows 11 residential areas including six (6) single-family residential areas, one (1) multi-family area, two (2) townhome areas, and two (2) live-work spaces.</p>	<p>While the applicant does not provide a mixed residential area as required by code, staff has determined the number and type of residential uses required by the TND ordinance has been met and mixing these residential uses may not create any greater benefit.</p> <p>The revised plan now shows the encroachment of a multi-family residential area into the Neighborhood Center Area and the proposed location of two live-work spaces. These changes bring the proposed TND plan into greater compliance with the “Mixed Residential Area” regulations</p>

Table 5: TND Use Types Required Cont.

Use Type	Definition	Provided	Staff Comment
Neighborhood Edge Area	A "neighborhood edge area" is the least dense portion of a TND-2 district, with larger lots and greater setbacks than the rest of the neighborhood. Alleys are not required, and direct vehicular access to streets is permitted. Only single-family residential dwellings (attached or detached) are permitted. A neighborhood edge area is appropriate along the perimeter of the neighborhood. A portion of a TND-2 district that adjoins existing or platted conventional low-density housing must be designated as a neighborhood edge area.	<p>The TND plan shows a neighborhood edge area along the northern and western side of the subject site.</p> <p>The revised plan now shows a greater acreage devoted to the “Neighborhood Edge Area” and the addition of 70’ lots.</p>	<p>While the neighborhood edge area does appear to be the least dense portion of the TND with the largest lots, staff has determined the 60’ lots do not provide a variety compared to the proposed 40’ and 50’ lots for the rest of the single-family development.</p> <p>While the addition of the 70’ lots within the neighborhood edge area does allow a greater mix of residential unit types, the <u>largest</u> potential lot within the subdivision will be 70’x130’ totaling a .20-acre lot size.</p>



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Table 5: TND Use Types Required Cont.

Use Type	Definition	Provided	Staff Comment
Civic Spaces	Civic uses that are oriented to the general public are permitted in a neighborhood center area and a mixed residential area. These uses are essential components of the social and physical fabric of a TND-2 district. Civic space shall be integrated in residential and commercial areas in the TND. TND-2 districts shall incorporate civic common open spaces to be maintained by the municipality and/or private open spaces to be maintained by the community or landowners within the TND-2 district. Special attention should be paid to the location of government offices, libraries, museums, schools, churches, and other prominent public buildings to create focal points and landmarks for the community. The locations of these major public civic uses are designated on the development plan at the time of commission approval of a particular development.	<p>The TND plan shows a proposed civic area on (+/-) 1.5 acres within the Neighborhood Center area</p> <p>Proposed Civic Uses may include: Police Substation; Library; Fire Station; Museum; Post Office; Church/Temple/Synagogue</p> <p>The revised submittal shows an increase in civic space of .8 acres, bringing the total area proposed for civic space to 2.3 acres.</p>	Per Sec. 130-1510(g), "civic spaces shall be integrated into residential and commercial areas". The current TND plan shows a single area for civic space within the neighborhood center. In order to be consistent with the requirements of the code, the applicant has placed a "live-work space" within the neighborhood center.

Commercial and Institutional Uses

- META Planning and Design, in support of DR Horton has provided a "General Implementation Plan Cover Letter" to provide insight into the design and thought processes which have formulated the bases of the Honeybee TND-2 General Implementation Plan". In this letter, the META Planning team has stated that the Honeybee site is adequately sized to be able to support and integrate the range of housing and rental options along with some commercial and civic uses to function as a "village center" as opposed to a "town center" which would be more typical with a larger development site. The META letter goes on to compare the Honeybee site to the Seaside TND in Florida which is approximately 80 acres in size but performed as a catalyst to "create a series of independent village centers" and "as each develops the commercial or other non-residential uses should look to fill in what the needs of the residents and the developing community as a whole lack at the time as possible". The letter states that the intention is "to implement a high-level framework...in order to guide its future development in line with the required ordinance as well as trying to encapsulate as many TND principles that make places like *Seaside*, *Celebration*, *Daybreak*, and other traditional neighborhood developments around the nation special and outstanding in their regions.

As a response, staff has researched the basic design and master plans of the Traditional Neighborhood Developments and Master Planned Communities specifically referenced in this letter to provide a comparison of size, density, and commercial and institutional development (see below Table 6).



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Table 6: Comparison of TND Developments Nationwide

TND	Description	Units	Density	Commercial Space	Civic Amenities
Seaside *DPZ CoDesign *The Seaside Library	Seaside is an 80-acre resort community on the shores of the Gulf of Mexico. The program for Seaside was originally conceived to approximate the scale and character of historic Southern towns. The Seaside plan proposes traditional American settlement patterns as an alternative to contemporary methods of real estate development. To this end, the retail center was designed as a downtown commercial district; the conference facility doubles as a town hall; and a portion of the recreation budget was dedicated to the creation of small civic amenities, including a chapel, a primary school, a fire station, and a post office, all to be shared by adjacent communities.	624	7.8 units per acre	84,178 sq. ft.	80 Amenities are provided in Seaside Florida including 1 Post office 1 Chapel 1 Neighborhood School 1 Academic Village 1 Amphitheater Plaza and Stage 11 Pavillions 2 Pool 1 Fitness Center etc.
Celebration *Congress for The New Urbanism	Built along the edge of Walt Disney World, Celebration is a 6,848-acre census-designated master-planned community with a population of 9,92k.	There is no public information pertaining to the density levels within Celebration. The residential development is made up of 8+ villages, each which provide various amenities, retail spaces, and workplace spaces.			2 K-8 schools 1 Highschool 1 Stetson University 1 Bank 1 Post Office More than 500 companies 6 Christian Churches 1 Jewish Congregation
Daybreak *Congress for The New Urbanism	Daybreak is comprised of 4,100 acres in the greater Salt Lake City region and is still developing to this day. This development is connected to light rail, all homes are Energy Star certified, and the community was created with a core value of sustainable development. The Daybreak development includes more than 1,000 acres of open space and a recreational lake.	20,000+	5 units per acre	15 million sq. ft. of commercial space	A town center, parks, schools, churches, and employment centers are built into the community. The urban center is home to more than 60,000 people.

As can be seen, the size, density levels, and commercial and institutional development of communities like Daybreak and Celebration are of much greater magnitude than the proposed Honeybee Development. And while the Seaside development at 80 acres may be considered a smaller comparable size, the commercial retail and amenities provided far outpace the Honeybee TND proposal. Because of this, staff has researched other TND developments of similar size located within Louisiana to compare with the acreage, density levels, and commercial and institutional development they provide (see below Table 7).



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Table 7: Comparison TND Developments of Similar Size:

TND	Description	Units	Density	Retail Space	Civic Amenities
Village of River Ranch	A 324-acre community centric traditional neighborhood development in Lafayette	800 single family residential and 750 multi-family residential structures	5 units per acre	80 acres	7 parks, 1 Health Club including a full-service health and wellness center, a day spa, a dry cleaner, and dining facilities, 3 Hotels, Post Office, Library, Banking, Community Center, Athletic Field, Medical Clinic, Pharmacy
Long Farm Village – Baton Rouge	A 237-acre traditional neighborhood development planned to include more than 1,500 housing units, consisting of single-family homes, townhomes, condominiums and multi-family units.	1,500 +	6 units per acre	600,000 sq. ft. of retail, restaurant, and office	Pool, Clubhouse, Paved Lake Walk, Benches, Bike Trials, Athletic Fields, Open Space and Parks
The Settlement at Willowgrove – Baton Rouge	A 112-acre traditional neighborhood development which provides single-family dwellings, townhome dwellings, and mixed commercial, office, retail, and mixed residential uses.	337 low density units 45 medium density units 67 high density units	4 units per acre	1.07 acres of commercial, office, retail, and mixed residential	Pool and cabana, Children's play area, 10 parks including a 14-acre park, Landscaped gardens, 2-20 ft. deep stocked ponds, Amphitheater for community activities, Open field for sports

TND	Description	Units	Density	Retail Space	Civic Amenities
Honeybee	A proposed Traditional Neighborhood Development located on 275.33 undeveloped areas along the north side of Highway 190	Around 1,573 1,310 units	5.7 units per acre 9.2 units per acre	10,000 sq. ft. 1.5 acres of commercial development 10,000 sq. ft. 1.3 acres of commercial development	10,000 sq. ft. commercial totaling 1.3 acres 2 civic spaces totaling 2.3 acres Bayou Paquet Greenbelt Pipeline Servitude Detention/Drainage/Lake Village Green Area Town Hall/Rec Center <hr/> Open space improvements may include walking trails or sidewalks along Bayou Paquet and the lake/detention areas; Benches and other seating areas; Additional landscaping and plantings; Nature/informational signage; Habitat creation along greenbelts or in lake areas; Play structures or similar within the rec center and other active park areas; Pavilions and other shade structures



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Commercial and Institutional Uses Cont.

As can be seen by the information found in Table 7, there are more similar Traditional Neighborhood Developments which have been developed within Louisiana that have comparable sizes, lower density levels, and heightened commercial and civic uses. While the TND ordinance does not require a specific amount of commercial or civic uses based on the proposed density of a development, the purpose statements of a TND state that the development should provide economic opportunity and the daily recreational and shopping needs of the residents.

On average, the typical size of a Dollar General store is roughly 10,000 sq. ft. in size which is the same amount of commercial development the Honeybee TND is proposing. Staff has determined that 10,000 sq. ft. of commercial development will not adequately provide the shopping needs of 1,500 new home sites. In addition, based on the number of amenities and commercial development provided for in the Traditional Neighborhood Developments referenced in Table 7, staff recommends the applicant increase the amount of land proposed for commercial and civic uses or decrease the proposed density.

The applicant for the Honeybee TND-2 submitted revised plans on October 6, 2022 and a Market Feasibility Study on October 19, 2022. Based on the outcome of the Market Feasibility Study, the applicant has taken the position that the Slidell area does not have enough established residential uses to accommodate large commercial developments and the neighboring areas already have a saturated commercial market to contend with. The study states that there is a population of 686 people within a 1-mile radius of the subject site, a population of 12,423 people within 3 miles of the subject site, and a population of 27,036 within 5 miles of the subject site. This data provides information that the proposed Honeybee development is seeking to almost double the population in the area while providing only 10,000 sq. ft. of commercial development.

The Market Analysis studied unoccupied retail square footage in the Slidell market, including a 22 unit-345,000 sq. ft. shopping center at 61103 Airport Road, a 12 unit-113,989 sq. ft. shopping center at 104-110 Gause Boulevard, and a 17 unit-117,937 sq. ft. shopping center at 176 Gause Blvd. Its findings state that the current available inventory illustrates an oversupply of retail space within the vicinity of the Honeybee development thus, demonstrating why new commercial growth consistent with the requirements of the TND-2 ordinance would fail.

Staff has determined that the analysis does not take interest in the benefit of commercial or retail development within close proximity to residential development. While retail markets may be failing in the Slidell mall area, there is still a need for closer services. According to the U.S. Census Bureau and American Community Survey data, the average household in St. Tammany Parish contains 2.73 people. This means that the new proposed 1,310 home subdivision will contain an average of 3,576 new residents to the immediate area, which is 1.77 times greater than the .32% projected growth of the population within a 15-minute drive of the subject property as mentioned in the Market Feasibility Executive Summary. If the provided study is correct, this will increase demand to the already lacking commercial and retail services to the immediate area. Although it is widely known that most older regional malls are failing, every day retail needs of the general public have not decreased and in fact, the rise of the urban center, where goods and services are located within close proximity to housing and work are on the rise.

Based on data from ICSC Research and CoStar Realty Information, Inc., regional malls in the U.S. typically have an average size of 589,659 sq. ft., are located on between 10-40 acres of land with at least 2 anchor stores, and have a trade size of 5-15 miles. In contrast, strip or convenience stores have an average size of 13,218 sq. ft., are located on less than three acres of land with no anchor stores, and have a trade size of less than one mile. The failing and outdated mall in Slidell should not dictate the market conditions for a new mixed-use, compact development such as a Traditional Neighborhood Development.

The three comparable retail spaces analyzed within the Market Rent Study are at least 11 times larger than the proposed commercial development within Honeybee. Section 130-1509(6) – states a purpose of the TND is “to include compatibility of buildings and other improvements as determined by their arrangement, bulk, form, character and landscaping to establish a livable, harmonious and diverse environment”. A TND-2 district diversifies and integrates land uses within close proximity to each other, and it provides for the daily recreational and shopping needs of the residents.

According to page 55 of the Market Feasibility Study, the national average retail square footage per capita is 24 square feet. Using the 2.73 people that comprise the average household in St. Tammany Parish as provided by the U.S. Census Bureau and the American Community Survey data, this means the approximate 3,576 new residents produced by the Honeybee TND will require 85,831 sq. ft. of commercial space. Therefore, the proposed 10,000 sq. ft. of commercial development on 1.3 acres (.47% of the total TND) does not meet the daily needs of residents and is not accomplishing the purpose of the TND ordinance.



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TND PURPOSE

9. Per Section 130-1509, the purpose of a TND-2 Traditional Neighborhood Development Zoning District ("TND-2 district") is to encourage mixed-use, compact development and facilitate the efficient use of services. A TND-2 district diversifies and integrates land uses within close proximity to each other, and it provides for the daily recreational and shopping needs of the residents. A TND-2 district is a sustainable, long-term community that provides economic opportunity and environmental and social equity for the residents. This division's intent is to encourage its use by providing incentives, rather than prohibiting conventional development. Traditional neighborhood development:

- a. Is designed for the human scale

Per Sec. 130-1512(e), 90% of lots shall be within ½-mile or 15 min. walk from open space. The proposed TND plan allows all dwelling units and all areas of the development site to be within a ½-mile radius or a 10-minute walk. **In addition, as seen in the Open Space Exhibit, almost every home will be within ¼ mile from at least one open space.**

- b. Provides a mix of uses, including residential, commercial, civic, and open space uses in close proximity to one another within the neighborhood

The Honeybee TND plan provides **four** types of residential uses including single-family, duplexes, multi-family residential, **and live-work units**. The General Implementation Plan also shows **1.3** acres set aside for commercial development and **2.3** acres set aside for civic development, and exceeds the total amount of greenspace/open space required for TND developments.

- c. Provides a variety of housing types, and sizes to accommodate households of all ages, sizes, and incomes

The proposed TND Plan is providing the following housing types:

- a. Low Density Provided: Neighborhood Edge Area – 60' **and 70'** lots at a density of (+/-) 5 units per acre
b. Medium Density Provided: 7 Single-Family Residential Areas – 40' and 50' lots at a density of (+/-) 8 units per acre
c. High Density Provided: **2** Townhome **Areas** at a density of (+/-) 10 units per acre and **1** Multi-Family Residential Area at a density of (+/-) **25** units per acre

Staff has determined that a difference of **30** ft. in lot sizes for the proposed **780** single-family units does not meet the purpose of a TND which is to provide a variety of housing types, and sizes to accommodate households of all ages, sizes, and incomes.

In addition, staff has determined the low-density area which is proposed at 5 units per acre does not meet the intent of the ordinance requiring "low density". The second highest density zoning classification within the UDC is A-4 Single-Family Residential District and allows four units per acre. This proposed TND is providing a density of five units per acre for the "low density" portion of the TND.

The restrictive covenants for the proposed TND state "products will range in depth from 85'-130' deep". With the largest width being proposed at 70', this means the biggest lot proposed is 70'x130' (.20 acre/9,100 sq. ft.). For comparison, this is in between the allowable sizes of a lot in the A-4 District (.25 acre) and the A-4A District (.166 acre). Setbacks proposed are a 0' front yard, 5' side yards, and 30' rear yards.

- d. Includes residences, shops, workplaces and civic buildings interwoven within the neighborhood, all within close proximity

Per Sec. 130-1509, the purpose of the TND-2 is to provide for the daily recreational and shopping needs of the residents including shops and workplaces which promote economic opportunity. A TND should be self-sustaining providing opportunities to work, live, and play all within a single development. Staff has determined a single 10,000 sq. ft. commercial building ~~and a 1.5-acre space dedicated to a civic use~~ does not meet the intent of a TND and will not meet the shopping ~~or institutional~~ needs for the proposed ~~1,573~~ **1,310** dwelling units shown on the plan.

- e. Incorporates a system of relatively narrow, interconnected streets, roads, drives, and other thoroughfare types with sidewalks and bikeways, that offer multiple routes for motorists, pedestrians, and bicyclists and provides for the connections of those thoroughfare types to existing and future developments



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The Honeybee General Implementation Plan provides Avenues, Sub-Collector Drives, Local Streets, and Alleys, most of which provide bicycle lanes and sidewalks in accordance with Sec. 130-1512(h). In addition, the plan is providing two "potential stub streets to reduce block lengths" as a potential to tie into future developments. Staff will study these concepts more thoroughly at the Specific Implementation stage.

New Traffic Counts to LADOTD in July 2022 which produce an approximation of an additional 14,310 vehicles per day from the development. Staff has determined that Honeybee Road should be reconstructed into a four-lane Boulevard to accommodate the level of density being proposed. ~~and heightened the safety for the only entrance and exit into the subdivision.~~

- f. Includes compatibility of buildings and other improvements as determined by their arrangement, bulk, form, character and landscaping to establish a livable, harmonious and diverse environment

The applicants for the Honeybee TND have submitted preliminary Architectural Drawings that satisfy the requirements listed in Sec. 130-1512(j). While conceptual in nature at this time, the applicants recognize that more detailed plans will be needed at the Specific Implementation Plan stage which insure compatibility and harmonious design within all uses of the TND.

- g. Incorporates environmental features into the design

Based on the wetland delineation, 77.08% of the total acreage of the Honeybee TND is wetlands. The 275.33-acre site contains approximately 212.33 acres or more of wetlands including 21.18 acres of Marginal Mixed Wetlands and 191.04 acres of Pine Savannah Wetlands. Per Sec. 130-1512(e), the TND greenspace ordinance allows for preserved wetlands to count towards open space requirements. Staff recommends the TND plan preserve more of these wetlands on site so as not to disturb the natural storage capacity of rainfall.

The applicant has submitted a formal application with the Army Corps of Engineers to clear, grade, excavate and fill, directly impacting 182.9 acres of wetlands. The applicant proposed to contract with an approved mitigation bank to offset the adverse impact to jurisdictional wetlands.

- h. Coordinates transportation systems with a hierarchy of appropriately designed facilities for pedestrians, bicycles, and vehicles

The TND plan provides 46.5 acres of various types of roadways which include travel lanes, bike lanes, sidewalks, and planting strips. In addition, the Honeybee TND is providing a 50' Pedestrian Greenbelt which will run north-south along the existing 30' Pipeline Easement to the eastern portion of the plan. An additional Pedestrian Greenbelt which will run north-south along the existing Bayou Paquet along the western side of the plan will also be added. There are also various other "Multi-Use Trails" which run throughout the plan.

- i. Provides well-configured squares, plazas, greens, landscaped streets, preserves, greenbelts and parks woven into the pattern of the neighborhood

Currently, the open space calculations provided by the applicant for the Honeybee TND state the plan is providing ~~73.3~~ 70.9 acres of common open space which exceeds the open space requirements by ~~47.7~~ 15.3 acres. The TND Plan is currently showing several locations of greenspace provided within each residential type, all connected by various pedestrian corridors. Staff does have concerns about the total amount of greenspace being provided which is accounted for by the ~~nine~~ eight pond areas and will look to further evaluate the greenspace/open space requirements upon submittal of the Specific Implementation Plan.

- j. Incorporates architecture, landscape, lighting and signage standards integrated with the zoning provisions that respond to the unique character of the region.

Comprehensive sign guideline, landscape guideline, and lighting plan will be required for the entire TND district with the production of the Specific Implementation Plan.

- k. Provides an increased range of options than are allowed by conventional zoning

Section 125-84 – "Contiguous Lot Rule" of the St Tammany Parish Subdivision Ordinance requires 50' of lot width for a parcel to be considered a buildable lot of record. This prohibition does not apply to lots created within the TND-2 ordinance primarily because the purpose of a Traditional Neighborhood Development is to provide a dense village-style development which addresses typical modern growth patterns such as neighborhood sprawl. Instead, a well-designed TND ensures a range of housing options, a network of well-connected streets with a diversity of public spaces, and enough amenities to ensure the daily recreational and shopping needs of the residents. The TND-2 ordinance provides developers with the ability to essentially create a village where high density and small lot sizes are permitted in exchange for abundant



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MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING DEPARTMENT
Ross Liner
Director

and diverse amount of commercial and civic uses that enables residents to live, work, and play within their own community. The developer is proposing single-family lots with widths of 40', 50', 60', and 70' and are in exchange proposing 10,000 sq. ft. commercial building area and a ~~single~~ two civic spaces which would encompass ~~1.5~~ 3.6 acres of the 275-acre tract. Staff has determined that the amount of commercial ~~and singular civic area~~ designated for the proposed Honeybee development do not satisfy the purpose of a TND and will not meet the ~~commercial and institutional~~ retail needs of over ~~1,573~~ 1,310 households.

Consistency with New Directions 2040

Low Intensity Residential: Predominantly single family, detached homes on very large lots. The lower residential density creates a more spacious character appropriate as a transition between the Parish's Rural or Conservation areas and more intense land uses. The dispersed development pattern makes public services and amenities less efficient and more expensive to provide, and so residents typically must travel farther to access them.

10. The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:

- i. Goal 1.8: A variety of safe, affordable, and attractive housing types will meet the needs of our diverse community.
- ii. Strategy 1.6.3: Encourage traditional neighborhood developments featuring attractive, compact, walkable, mixed-use patterns throughout the Parish by maintaining zoning classifications and districts that permit traditional neighborhood development at various scales.
- iii. Goal: 4.2: Our Neighborhood design will support physical activity and healthy living for people of all ages and abilities, helping maintain our status as one of the state's healthiest communities.

The proposed zoning change is not consistent with the following goals, policies, and strategies of the Comprehensive Plan:

- i. Goal 1.3: The character of existing residential areas, expansive rural landscapes, and sensitive ecological areas will be preserved.
- ii. ~~Goal 1.4: Land and buildings will be developed in ways that lower the risk and incidence of flooding and flood damages caused by rainfall and storm surge.~~
- iii. ~~Goal 1.7: Resilient building and land development practices will reduce or eliminate the potential impact of flood and wind hazards, particularly at critical facilities.~~
- iv. Goal 1.5: Adequate infrastructure and utilities will be available in areas permitted for new development
- v. Strategy 1.5.1: Locate new residential and commercial development within, adjacent to, or near existing towns and activity centers and associated infrastructure, services, and amenities
- vi. ~~Strategy 1.5.2: Locate high intensity land uses adjacent to high capacity transportation corridors.~~
- vii. Goal 2.2: Roadway function, design, and capacity will be compatible with and support existing and anticipated land uses in adjacent areas.
- viii. Goal 3.2: Viable examples of our critical and sensitive areas, including native plant and animal habitats, tree resources, and wetlands, will be conserved, protected, stable, and flourishing.
- ix. ~~Goal 3.3: Our waterways, watersheds, floodplains, and groundwater will be protected, maintained, and restored to maximize water quality and sustain a drinkable water supply.~~

INFORMATIONAL ITEMS:

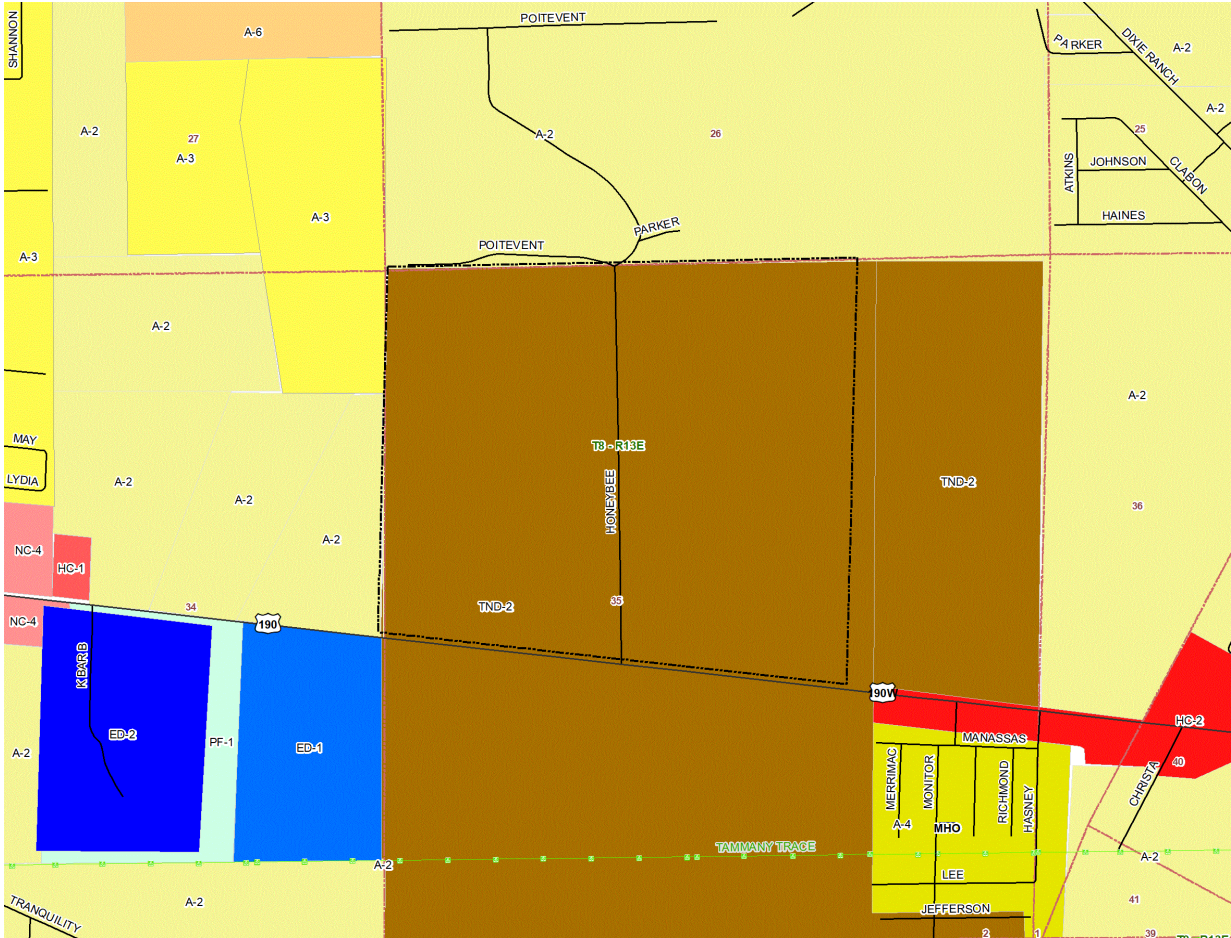
11. Road names and addresses must be requested and approved by 911
12. The developer for all new residential single-family sites must notify the U.S. Postal Service's local Grown Manager to determine the appropriate mode of mail delivery. Applicant must provide the location of the proposed centralized mail delivery services with the production of the Specific Implementation Plan.



ZONING STAFF REPORT
2022-2839-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING DEPARTMENT
Ross Liner
Director



Honeybee Subdivision
TND-2 General Implementation Plan
Lacombe, Louisiana
DDG #20-889



October 6, 2022 (Rev 10/25/2022)

St. Tammany Parish Government
Planning & Development
21454 Koop Drive
Mandeville, LA 70434

Dear Mr. Liner:

In response to the Zoning Staff Report dated July 19, 2022 regarding the referenced project, below is commentary and responses regarding select topics discussed in the Staff Report and revised General Implementation Plan Exhibits.

TND Density

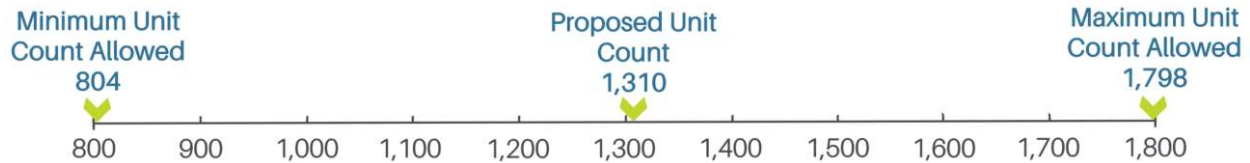
In the revised General Implementation Plan (GIP) for Honeybee, adjustments were made to the density designations on the site in favor of reducing the total number of residential units being proposed. Below is a list of adjustments.

1. The Neighborhood Edge Area increased in size along the western and northern perimeter of the site. Please note 70' wide lots have been listed as a product type to be used in this area. These larger 70' lots will be located along the perimeter. To meet the minimum density requirement of 5 units/net acre, it limited the width of the lot. The nature of a TND requires more compact lots offset by green spaces and mixed uses within a neighborhood center.
2. The Multifamily area southeast of the Neighborhood Center has been replaced with medium density single family residential.
3. The Multifamily area west of the Neighborhood Center was also reduced in size allowing the medium density single family areas to the north and south of it to grow.

These adjustments assign larger areas with lower densities than designated in the previous GIP submitted. The following is a summary of the permitted densities and unit counts.

Residential Type	Permitted Density (Units/Net Acre)	Projected Net Acreage	Allowable Units	Currently Proposed Density (Units/Net Acre)	Currently Proposed Units	Previously Submitted Units	Previously Submitted Density (Units/Net Acre)
Detached Residential (40'/50' Medium Density & 60'/70' Low Density)	5 to 8+	112.4	561 to 898	6.9	780	788	7.7
Attached Residential							
Multifamily	8 to 40	16	128 to 640	21.9	350	785	21.6
Townhomes	8 to 40	14.4	115 to 576	12.5	180		
Overall		142.8	804 to 1,796*	9.2	1,310	1,573	11.3

*Per Sec 130-1512(d), "...the single family detached dwellings shall account for at least 50% of the total number of residential units in the TND." Therefore, the maximum allowed attached residential units in the above table are controlled by the unit count of detached residential units instead of the 40 units/acre listed in the Ordinance.



As the above chart shows, the total density proposed in this GIP is directly in the middle between the minimum and maximum allowable units of the TND Zoning for the property. This indicates that the applicant is proposing a balanced approach toward the development of the property wherein enough units are proposed to support the amount of commercial area proposed in the development at full occupancy. At the same time, there are not so many units provided that the development is pushing the density limits and overcrowding the area.

The previously submitted GIP showed a total unit count of 1,573 between single family and multifamily units. The revised plan shows a total count of 1,310 units. That is a decrease of 16.7% between the two GIPs. The Staff Report issued on July 19, 2022 stated that the proposed units fall within the allowable density levels. As seen in the above table, the revised plan still complies with the allowable density levels and further decreases the overall density of the site.

TND Greenspace

As stated in the Staff Report, the TND Ordinance requires that 20% of the gross acreage of the development is to be open space. This open space can be passive or active in nature. The provided open space takes up 25% of the development's gross acreage, which is 5% beyond what the Code requires. To encourage the walkability of the development, sidewalks and trails will connect multiple open spaces to allow a resident to be within ¼ mile from at least one open space. As seen in the Open Space Exhibit, almost every home will be within ¼ mile from not just one but multiple open spaces. Pocket parks will be located throughout the neighborhood along with the amenities within the Neighborhood Center, like the Village Green and amenity center. The recreational center will provide residents access to a community pool and pavilion. Lastly, Bayou Paquet and the green belt that encompasses the gas servitude will be amenitized with benches, walking paths, and will preserve a number of mature trees within these corridors.

As Staff points out, greenspace is a significant part of a TND-2, and the provided GIP shows that it will be provided in compliance with the Ordinance. The Staff Report states, "Formal and informal open spaces are required. These serve as areas for community gatherings, landmarks, and as organizing elements for the neighborhood. Open spaces include squares, plazas, greens, preserves, parks, and greenbelts." Included in the Village Center is a Village Green. This area will be able to support sports practices, farmers markets, food truck rallies, and similar events thus providing an area for community gatherings and events. This will complement the activities that can take place at the community amenity center.

The Report continues to say, "Open space uses may include the following: a central square, neighborhood parks, recreational facilities, playgrounds, environmental corridors, protected natural areas, community parks, streams, ponds, and other water bodies, and stormwater detention/retention facilities." As can be seen on the GIP, all of these uses are provided within Honeybee. In addition to the amenity center and Village Green, Bayou Paquet will be utilized as an environmental corridor, and the gas servitude will be amenitized into a greenbelt. These will connect to sidewalks throughout the development to further integrate the community into nature and promote walkability while sustaining compact development in accordance with the purpose of a TND.

Staff clarifies that "Open space uses may not include yards which are not accessible for the common use of the development, parking areas, drives, utilities with aboveground improvements or road easements and servitudes, drainage ditches or canals, or areas reserved for the exclusive use and benefit of an individual tenant or owner." There are no aboveground improvements within the gas servitude. All gas infrastructure will remain underground. Regardless, this servitude is not counted towards the green space calculations. The area contained between the tops of bank for Bayou Paquet is also excluded from green

space calculations. The exclusion of these areas shows compliance with Staff's comment and supports that only the appropriate spaces are counted towards greenspace.

The last paragraph under TND Greenspace explains that what is proposed exceeds the minimum open space requirements. Therefore, not only does our GIP meet the goals of the TND, it exceeds it. We acknowledge that Specific Implementation Plan will provide specifics and greenspace will be reevaluated for continued compliance.

TND Use Types

Neighborhood Center Area

In the revised GIP, you can see a red line outlining the limits of the Neighborhood Center. This area is approximately 18 acres. The area for the Neighborhood Center in the previous GIP measured closer to 10 acres. The new GIP increased the size of the Neighborhood Center by 80%. This allows more room for the community to gather, host events, and provide for the needs of the neighborhood. The enlarged footprint consists of an additional civic site to the east of Honeybee Road as well as a Village Green. The Village Green will be designed to encourage hosting farmers markets, food trucks, entertainment, movie nights, athletic practices, and similar events and activities. Something that was also clarified on the revised GIP is the location of potential live-work units that allow the opportunity for offices to be adjacent to the Neighborhood Center.

Commercial

Within three miles of the Honeybee Subdivision, there is 621,000 SF of commercial between the Northshore Square Mall, Sam's Club, Walmart Supercenter, Home Depot, and adjacent strip mall. As one can see by driving south along Airport Road towards Hwy 190 (and even north of I-12), there is a mall with very few tenants and multiple vacant commercial spaces. The forthcoming feasibility study by The McEnery Company (McEnery) will show the existing vacancies in adjacent commercial and adding more than 10,000 SF of commercial will dilute the market even further and lead the commercial within Honeybee to meet the same fate of sitting vacant. One of the goals with the Neighborhood Center is for it to be designed in a way to help facilitate farmers markets, food trucks, and local entertainment that allows for scalability of services and goods available to the residents in addition to the 10,000 SF of commercial.

Based on the traffic counts performed on Hwy 190 just west of Honeybee Road in August 2021, the average vehicles per day among the 5 weekdays data collected was 11,437 vehicles per day. Based on Appendix B resubmitted by the development's traffic consultant to LADOTD in July 2022, there was an approximation of an additional 14,310 vehicles per day from the development. The weekday trips that are expected to occur with the revised GIP is 12,318 trips, which is 1,992 trips less than the previous GIP. Even though the traffic splits leaving the development with some heading east on Hwy 190 and some heading west, for the sake of this letter and comparison, let's add them together to get 23,755 vehicles per day on Hwy 190.

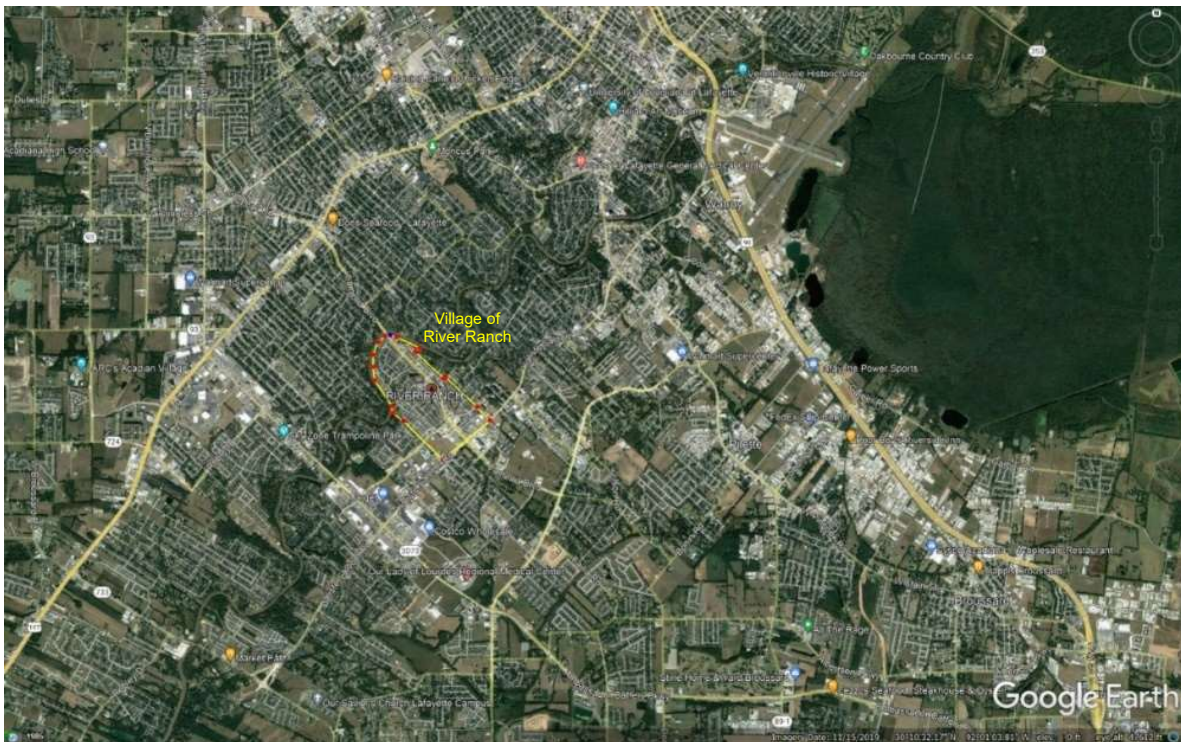
To continue setting context, McEnery was able to pull the population within a 1 mile, 3 mile, and 5 mile radius of Honeybee and the other Staff picked TNDs to compare the sites to each other. Within a 1 mile radius of Honeybee Road, there is a population of 686 people, population of 12,423 within 3 miles, and a population of 27,036 within 5 miles. This is a fraction of the population in proximity to the other TND developments, which further demonstrates the commercial that the Honeybee development could actually sustain when comparing the amount of commercial they have relative to the adjacent population.

In the Staff Report, Staff provided three different Louisiana Traditional Neighborhood Developments under the title "Table 7: Comparison of TND Developments of Similar Size." Therefore, a comparison with each of the Louisiana TNDs was done and summarized below.

The Village of River Ranch

The Village of River Ranch (River Ranch) is approximately 49 acres larger than Honeybee at 324 acres in size per the Staff Report, and it straddles Camellia Boulevard in Lafayette. The total unit count of the development is 1,550 units between single family and multifamily, which is very similar to the previously submitted TND GIP. The big difference between the two developments is the amount of commercial. The Staff Report states that there are 80 acres of retail space.

Per The Village of River Ranch's website (<https://www.riverranchdev.com/>), it states 2,553 people live within the development with 2,000 people coming from outside the development to “work and play every day.” One key difference between River Ranch and Honeybee is that it is sandwiched between two major roadways. River Ranch can be accessed from the south via Kaliste Saloom Rd, which is a four lane undivided highway. Per LADOTD’s public information, they took counts in 2011 on Kaliste Saloom Road and came up with an AADT of 39,996 vpd north of its intersection with Camellia Boulevard. River Ranch can be accessed from the north via Hwy 167, which is also a four lane undivided highway in the vicinity of Camellia Boulevard. Similar to Kaliste Saloom Road, LADOTD took counts in 2011 and derived an AADT of 42,480 vpd. Therefore, there were 82,476 vpd passing by the access to the River Ranch development in 2011. This is 3.5 times the amount of traffic that will pass in front of Honeybee. If it is assumed the town center for River Ranch is the same area as the retail acreage stated in the Staff Report, then the town center is 80 acres in size. If the town center for River Ranch is divided by 3.5 to scale down to the size of Honeybee, then that would equate to 22.9 acres needed for Honeybee’s village center.

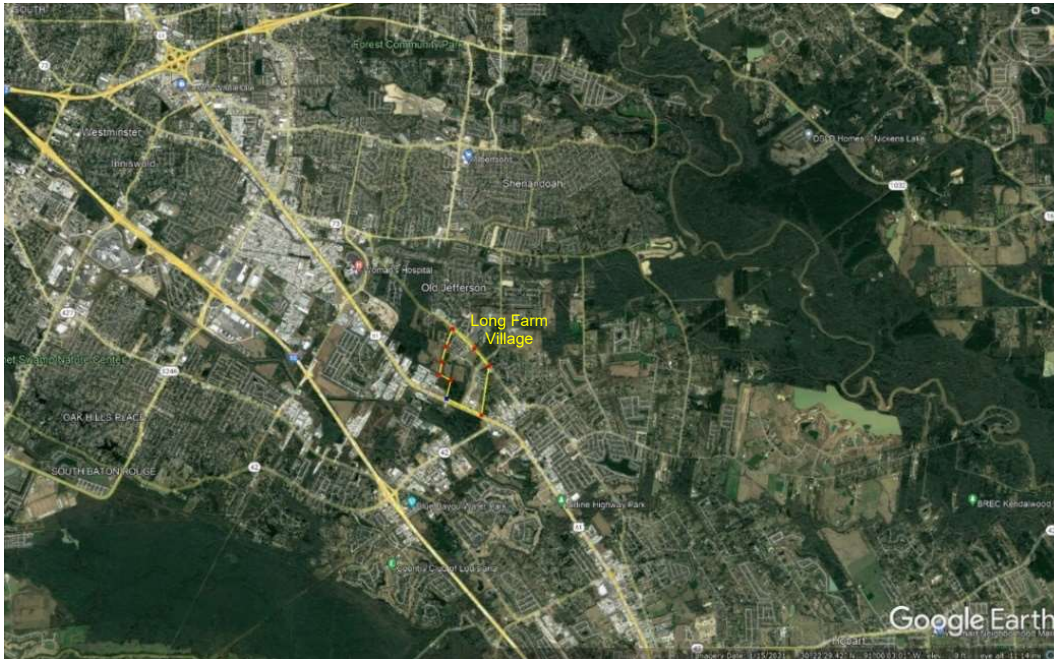


Long Farm Village – Baton Rouge

Long Farm Village in Baton Rouge (Long Farm) is approximately 38 acres smaller than Honeybee at 237 acres in size per the Staff Report, and it straddles Antioch Road with frontage along Airline Highway and Jefferson Highway. Similar to River Ranch, there are well-traveled highways on either side of the development. From looking at the MoveBR program in place, there are plans to expand Airline Highway from a four lane divided highway to a six lane highway. Long Farm is more commercial centric than the other Louisiana TNDs listed in the Staff Report. The Developer actually built the commercial ahead of any residential, so that’s an indicator that the commercial was at the forefront of the developer’s mind

opposed to the residential. In other words, the existing homes and work places were already in place ahead of the commercial being built opposed to the rooftops within the TND generating the need for the commercial. This is the opposite of Honeybee. The rooftops are needed in order to generate the need for the commercial.

Based on 2005 LADOTD counts on Jefferson Highway, they came up with an AADT of 15,053 vpd just east of the Antioch Road and Jefferson highway intersection. Along Airline Highway, LADOTD took counts in 2020 and came up with an AADT of 31,956 vpd. Without applying any growth rates, the total trips passing by the Long Farm development is 47,009 vpd. That is around twice as many trips expected on Hwy 190 after Honeybee is developed. Whenever Airline Highway is widened, the capacity for Airline Highway will increase allowing more vehicles to pass in front of the development.

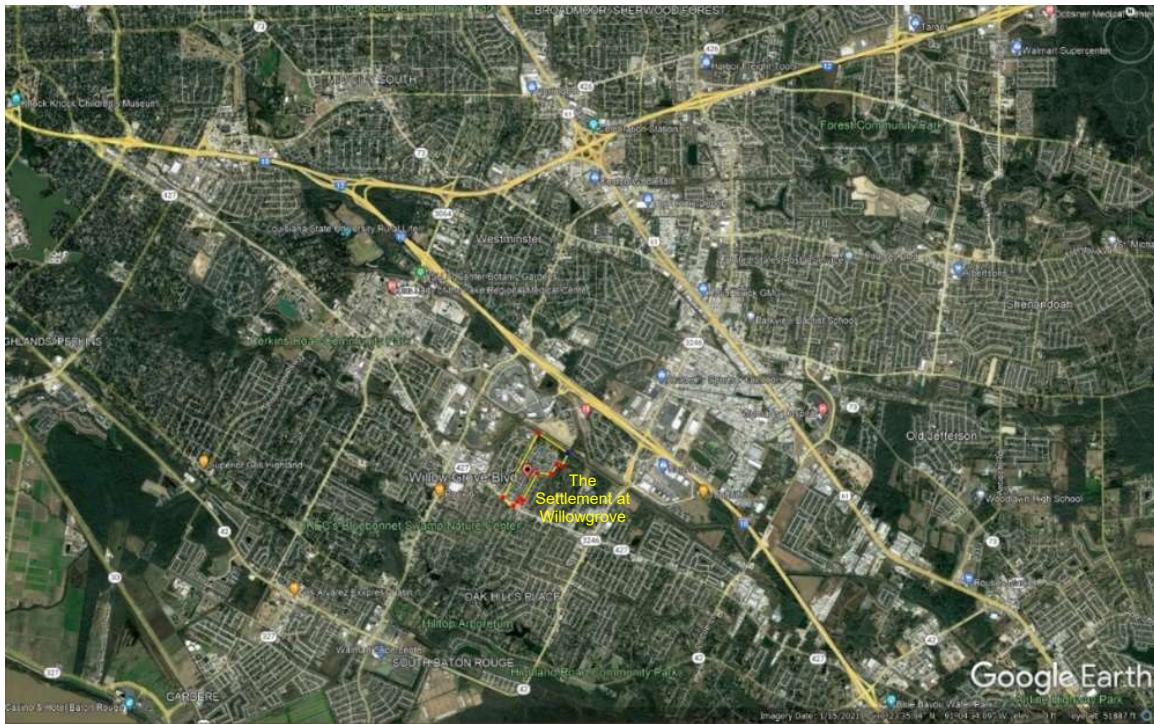


The Settlement at Willowgrove

The Settlement at Willowgrove (Willowgrove) is similar to Honeybee with regard to its proximity to a mall. Willowgrove is within 3 miles of the Mall of Louisiana, Perkins Rowe, a Walmart Supercenter, and a Sam's Club. It's about 5 miles from a Home Depot and Costco. This development is accessed off of Perkins Road only. It's not sandwiched between multiple highways with a cut through connecting the highways like Long Farm and River Ranch. This makes its access another similarity it has with Honeybee.

Without counting the live-work units, Village Green, nor rights-of-way, Honeybee proposes more than 3x the commercial, office, civic, & retail space when compared to Willowgrove. If you take the residential units in Willowgrove (449 total units per the Staff Report) and multiply it by 3, that brings the unit count to 1,347. That is relatively close to the unit count in the revised Honeybee GIP. Therefore, this further shows that the commercial and civic is scaled appropriately for the context that Honeybee resides.

LADOTD doesn't have counts immediately adjacent to this development. However, they were able to determine that there are 11,148 vpd in 2021 that travels along Bluebonnet near where Bluebonnet intersects Perkins Road. Additionally, LADOTD determined an AADT of 18,558 vpd in 2021 along Perkins Road near its intersection with Siegen Lane. That totals to 29,706 vpd traveling in proximity to the Willowgrove development. This is a few thousand more trips than Hwy 190 in proximity to Honeybee Road after the Honeybee Development is completed.



Please see below table summarizing McEnery's findings with regard to adjacent population to Honeybee as it is today versus the other TND developments. Based on the below table, there is far more population in proximity to the other staff selected TNDs to support the commercial within and in near proximity to those developments. Honeybee is by far the lowest in population. This helps explain the vacancies in the nearby commercial and shows that the population needs to drastically increase in the 1-5 mile radius of Honeybee to support the existing commercial in the area.

TND Name	Population Within 1 Mile	Population Within 3 Miles	Population Within 5 Miles
The Village of River Ranch	8,000	70,537	141,994
Long Farm Village	4,639	51,336	122,893
The Settlement at Willowgrove	8,790	60,664	149,928
Honeybee	686	12,423	27,036

On Page 6 of the Staff Report, it states, "...staff recommends the applicant increase the amount of land proposed for commercial and civic uses or decrease the density." Based on the revised GIP, the applicant did both: another area of Honeybee was designated to have a civic use increasing the total number of civic site to two, overall density was decreased, and potential for local vendors to sell their services/products has been provided. In summary, the commercial provided along with the potential for local vendors is scaled appropriately for the size of the Honeybee development as well as proximity to existing commercial less than 3 miles from the site.

TND Purpose

One of the purposes of the TND is to provide "a variety of housing types, and sizes to accommodate households of all ages, sizes, and incomes." The revised GIP shows a mixture of 60' and 70' wide lots within the Neighborhood Edge Area when it previously only stated 60' wide lots. Therefore, the size of the detached single family residential lots will vary from 40' wide to 70' wide. The addition of 70' wide lots further increases the range of ages, sizes, and incomes of residents that the development can attract

while keeping the development compact and walkable. When the attached single family is considered (townhomes and live-work units), this range increases even more.

The other Louisiana TNDs were evaluated to see the lot size variation they provided. For Long Farm, the vast majority of the lot sizes range between 40' to 70'. The Settlement at Willowgrove has lot sizes ranging from 40' to 70'. The Village of River Ranch had the largest variation with lot sizes ranging from 25' to 100'. This range includes the attached single family residential part of the development. The distribution of lot sizes in Honeybee are consistent with the other TNDs referenced while keeping with the parameters of the minimum and maximum density stated in the Ordinance.

At the bottom of Page 7 of the Staff Report, it starts to draw a comparison of the density provided versus A-4 Single Family Zoning. The A-4 zoning has a maximum density of 4 units per acre. The Staff Report continues to state, "...staff has determined the low-density area which is proposed at 5 units per acre does not meet the intent of the ordinance requiring "low density"." The TND zoning designations specified by St. Tammany Parish's Zoning Ordinance are unique due to the fact that they have a minimum density listed opposed to only a maximum density like the other residential zonings. The density of 5 units/net acre is set as a **minimum** density for an area zoned TND-2. This parameter limits what the developer can propose as lot sizes. One of the TND's purposes is to "encourage mixed-use, **compact** development..." Considering that one of the purposes of a TND is to encourage compact development, it makes sense that a minimum density is part of the zoning ordinance and is intentionally more dense than other single family residential zonings. With that being said, the variety in lot sizes provided in Honeybee meet the goal in encouraging diversity (ages, sizes, and income) in residents while still meeting the density requirements of the zoning.

On the 8th page of the Staff Report, it states, "In addition, staff has determined that Honeybee Road should be reconstructed into a four-lane Boulevard to accommodate the level of density being proposed and heighten the safety for the only entrance and exit into the subdivision." Please note that there are three entrances into the development. At the same time, we do acknowledge that Honeybee Road will be the main entrance into the development. Additionally, the TND-2 has very specific criteria with regard to the roadway sections (Section 130-1532). The provided GIP shows Honeybee having the Avenue section up to the village center, which is the largest section the Ordinance describes. On top of that, Purpose #5 under Section 130-1509 is for a TND to "incorporate a system of relatively narrow, interconnected streets, roads, drives, and thoroughfare types with sidewalks and bikeways..." Requesting a section larger than what the Ordinance allows contradicts this purpose stated.

With regard to the wetlands present onsite, the wetlands that are currently out there are being exacerbated by the manmade berm along Bayou Paquet that came from digging Bayou Paquet. As the federal government dug Bayou Paquet with the WPA program, the dirt from the ditch was piled all on the east side preventing stormwater from getting into Bayou Paquet thus creating wetlands. On top of that, per the wetland consultant, the wetlands are lower quality bedded loblolly pine plantation that appear to have been created through bedding, rowing, and historic clearing activity related to the forestry operation. As the property was logged, proper drainage was not provided throughout the site. This land was never intended to be used for conservation but continued logging. There is no indication that the Corp. of Engineers will not allow permitting.

Although Section 125-84 of the STP Subdivision Ordinance requires 50 feet of lot width for a parcel to be considered a buildable lot of record (often referred to as the "Contiguous Lot Rule"), there is no relevance in referring to the "Contiguous Lot Rule" in connection with a TND-2 GIP. In order to achieve diversification of product (lot widths) and provide a broad spectrum of opportunity for residents, lesser lot widths are both appropriate and necessary. There is no prohibition in the TND-2 ordinance as to buildable lots with lesser lot widths (30 feet, 35 feet, 40 feet, 45 feet).

Consistency with New Directions 2040

At the time of filing the first GIP with Staff on March 25, 2022, New Directions 2040 was not adopted as the Parish's land use plan. The intent of New Directions 2040 is to be a guide and aid with rezoning cases. A GIP is the first step in getting planning approval to continue with a Specific Implementation Plan

in the TND-2 approval process. This is not a rezoning but implementation of the current zoning. New Directions 2040 is not legally binding, like zoning. Zoning requires properties to be developed through following rules and requirements stated in the Ordinance in order to get a permit. New Directions 2040 does not contain that power. It does not have requirements that a developer has to follow to get a permit. What has been submitted is consistent with the TND-2 Zoning Ordinance, which dictates what and how the property is to be developed. If a plan was submitted consistent with the Low Intensity Residential designation, it would not be code compliant. Regardless, there are some goals stated that the development does not meet on Page 9 of the Staff Report that should be reevaluated.

Goal 1.4: Land and buildings will be developed in ways that lower the risk and incidence of flooding and flood damages caused by rainfall and storm surge.

A preliminary drainage study has been reviewed by Parish's Engineering Staff and approval has been provided. Our preliminary study showed that the development will be providing a 21% reduction to the peak runoff of the Bayou Paquet basin upstream of Hwy 190 in a 100 yr storm. Due to this project creating storage upstream of Hwy 190, it relieves some burden on storage present downstream of Hwy 190 for those areas to utilize during storm events. The drainage impact study takes into account the increased runoff created by the development, yet the drainage study still shows a reduction of the peak runoff by use of the proposed detention ponds. We have performed extensive studies of the site and have found no adverse impact to neighboring properties nor increased flood risk. This site is not subject to surge flooding unlike other neighborhoods and homes further downstream and will not increase other properties' susceptibility to surge flooding. Therefore, Goal 1.4 has been met with the information that is known and available now. When the final drainage study is completed at the Specific Implementation Plan step, it will continue to comply with the Parish's drainage requirements thus achieving Goal 1.4.

Goal 1.7: Resilient building and land development practices will reduce or eliminate the potential impact of flood and wind hazards, particularly at critical facilities.

We request that Staff clarify what has been provided that shows that Goal 1.7 will not be met. Like stated above, a preliminary drainage study has been reviewed by Parish's Engineering Staff and approval has been provided. Our preliminary study showed that the development will be providing a 21% reduction to the peak runoff of the Bayou Paquet basin upstream of Hwy 190 in a 100 yr storm. Due to this project creating storage upstream of Hwy 190, it relieves some burden on storage present downstream of Hwy 190 for those areas to utilize during storm events. The drainage impact study takes into account the increased runoff created by the development, yet the drainage study still shows a reduction of the peak runoff by use of the proposed detention ponds. We have performed extensive studies of the site and have found no adverse impact to neighboring properties nor increased flood risk. This site is not subject to surge flooding unlike other neighborhoods and homes further downstream and will not increase other properties' susceptibility to surge flooding. Therefore, Goal 1.7 has been met with the information that is known and available now. When the final drainage study is completed at the Specific Implementation Plan step, it will continue to comply with the Parish's drainage requirements thus achieving Goal 1.7.

Goal 1.5: Adequate infrastructure and utilities will be available in areas permitted for new development.

The Developer will be building their own water supply and sewer treatment facilities to support the development allowing for this goal to be attained. This developer has successfully built other water and wastewater treatment facilities in a variety of sizes in St. Tammany Parish and neighboring areas. They have experience in constructing them and in working with the local utility providers.

Strategy 1.5.1: Locate new residential and commercial development within, adjacent to, or near existing towns and activity centers and associated infrastructure, services, and amenities.

This development is located within 3 miles of an existing elementary school, mall, Walmart Supercenter, Sam's Club, and Home Depot. The development is located within 5 miles of an existing golf course, trampoline park, airport, The Trace bike trail, movie theater, Camp Salmen, and other amenities. Therefore, this is located adjacent to an existing town and activities that support the community.

Strategy 1.5.2: Locate high intensity land uses adjacent to high capacity transportation corridors.

Honeybee is located along Hwy 190, which is a state highway owned and maintained by LADOTD, that runs east-west across the Parish connecting multiple towns. It is not located off a local roadway that is owned and maintained by the Parish or private entity with insufficient right-of-way for improvements. This development is also under 3.5 miles from I-12.

Goal 2.2: Roadway function, design, and capacity will be compatible with and support existing and anticipated land uses in adjacent area.

This development is going through the LADOTD approval process. That means that LADOTD has to review and approve the traffic counts taken, confirm the peak hours, approve the projected traffic, and approve the improvements needed in order to support the development while maintaining acceptable Level of Services of the impacted corridors. This review process will determine improvements that will have to be made in order to keep Hwy 190 operating at what LADOTD considers to be an acceptable Level of Service. Based on the traffic counts taken in August 2021, Hwy 190 is currently operating at an acceptable Level of Service.

Goal 3.2: Viable examples of our critical and sensitive areas, including native plant and animal habitats, tree resources, and wetlands, will be conserved, protected, stable, and flourishing.

Multiple state and federal agencies have been engaged with the development of this site. For instance, the State Historic Preservation Office has reviewed the site and stated no historic properties will be affected by the project. The proper wetlands permit is currently being procured. In the public notice period for the wetlands permit, the United States Fish and Wildlife (USFW) as well as Louisiana Department of Wildlife & Fisheries (LDWF) will be allowed to comment. The project's environmental consultant has already had discussions with the Corp of Engineers regarding a study for the Red-Cockaded Woodpecker, and it is the consultant's professional opinion that the understory and midstory of the trees onsite are not typical of the Red-Cockaded Woodpeckers' habitat. Additionally, the USACE agreed that the soils onsite are not sandy enough for a gopher tortoise habitat. This will be further finalized through the wetlands permitting process.

Goal 3.3: Our waterways, watersheds, floodplains, and groundwater will be protected, maintained, and restored to maximize water quality and sustain a drinkable water supply.

A consultant has been hired and has been working on a water quality model due to the development that is to be reviewed and approved by Staff. This will demonstrate the development will not have a negative impact on the receiving waterways. See above response to Goal 1.4 as it pertains to protecting floodplains. This site is not located in the flood plain and is proposing additional storage onsite that benefits the overall watershed on top of reducing the peak runoff for the site from its existing condition. Please note that Bayou Paquet is being preserved and enhanced with this development. Lastly, the water wells for this development will be drilled per LDH requirements and will be monitored regularly to confirm continued compliance with drinking water standards. We request that Staff clarify how this development is not meeting this goal.

Conclusion

The applicant requests that the above responses as well as revised General Implementation Plan be reviewed and new Staff Report issued. The revised GIP makes some key changes to the Honeybee TND.

1. The overall unit count for the property was reduced by nearly 17% thus lowering the overall density to a unit count of 1,310, which is a decrease of 263 units from the previous GIP that shows 1,578 units. Additionally, this is 488 units (27%) lower than the code allowed maximum density.
2. 70' wide lots have been added to the neighborhood edge areas while still complying the with minimum density requirement of the TND-2. This further widened the range of potential residents that the development can support by providing 40', 50', 60' and 70' lot fronts.
3. A multifamily area was eliminated and replaced by a less dense residential designation.
4. Another area was specified for civic use bringing the total to two civic sites.
5. The Village Center was enlarged by 80% (10 acres to 18 acres).
6. 25% of open space is provided, which is 5% more than the required amount.

Additionally, justification has been provided showing that the provided commercial site and two civic sites are the appropriate scale for the development. This is considering it only has frontage along one highway opposed to multiple highways and its proximity to a large shopping area less than 3 miles from the site. There is also opportunity being provided for farmers markets, food trucks, and entertainment to further support the needs of the area that is scalable based on demand of the residents. The potential for live-work allows for economic opportunity to be available to residents within the community.

All the above was achieved while still complying with the required green space, densities, product diversity, maintaining a walkable community, and providing compact yet sustainable development with the potential of being a catalyst for growth in the area.

Sincerely,

A handwritten signature in blue ink that reads "Elizabeth Songy". The signature is fluid and cursive, with the first name "Elizabeth" and the last name "Songy" clearly distinguishable.

Elizabeth Songy, PE
Senior Project Manager
Duplantis Design Group,

2022-2839-ZC



ST. TAMMANY PARISH

MICHAEL B. COOPER
PARISH PRESIDENT

October 5, 2022

Via email to Stephanie.L.Castaing@usace.army.mil

Ms. Stephanie Castaing, Project Manager

United States Army Corps of Engineers

New Orleans District

Attention: REGULATORY DIVISION, RGE, Stephanie Castaing

RE: Application of Single-Family Residential Development in St. Tammany Parish

COE Permit Application Number MVN-2021-00435-EPP

Location of Work: Approximately Latitude: 30.31021, Longitude: -89.86569, off Highway 190 at Honeybee Road, in Slidell, Louisiana

St. Tammany Parish, North Shore of Lake Pontchartrain

Hydrologic Unit Code: 08090201 (Liberty Bayou-Tchefuncta River)

Dear Ms. Castaing,

The proposed project lies in St. Tammany Parish, on Bayou Paquet in the historic Bayou Liberty Watershed, a waterway designated as Scenic and an Outstanding Natural Resource Water (ONRW). St. Tammany Parish has concerns about the location of this development that are discussed below:

There are significant wetlands that will be directly impacted by the development in this area. Page 1 of the Corps application states that the 275.34-acre PUD will include 1,005 residential lots, ponds, roadways, associated utilities and drainage infrastructure. Per the Corps application, approximately 70% of this site contains wetlands (191.04 acres of 275.34 total acres in the project area), of which 182.9 acres of wetlands will be mitigated and only 8.09 acres of wetlands will be avoided. Wetlands provide significant ecosystem services that benefit habitat and the adjacent community. The developer proposes to mitigate wetland impacts by purchasing credits in a Corps-approved mitigation bank outside of the watershed.

- The Parish questions how mitigation outside of the historic Bayou Liberty watershed will preserve its designations of "Scenic" and "Outstanding Natural Resource Water."

The ponds, density and residential type shown in Figures 2 and 2A of the Corps application, are not consistent with the applications submitted to St. Tammany Parish Department of Planning & Development (STP P&D). Specifically, STP P&D has never seen a document that denotes assumed lot lines like Figures 2 and 2A. The most recent version of the TND2 development was submitted to STP P&D on June 24, 2022 showing 1,575 residences (788 single-family and 785 multi-family) with 10,000 ft² commercial/civic use and some greenspaces.

- The Parish requests that the Corps communicate with the permit applicant and the STP P&D to ensure that the most current plans are provided and impacted wetlands are appropriately calculated.

The project may impact downstream drainage. The development is located in FEMA Flood Zone C (per Effective FIRM) and was not modeled in the 2008 Preliminary Flood Insurance Study (FIS), because of its

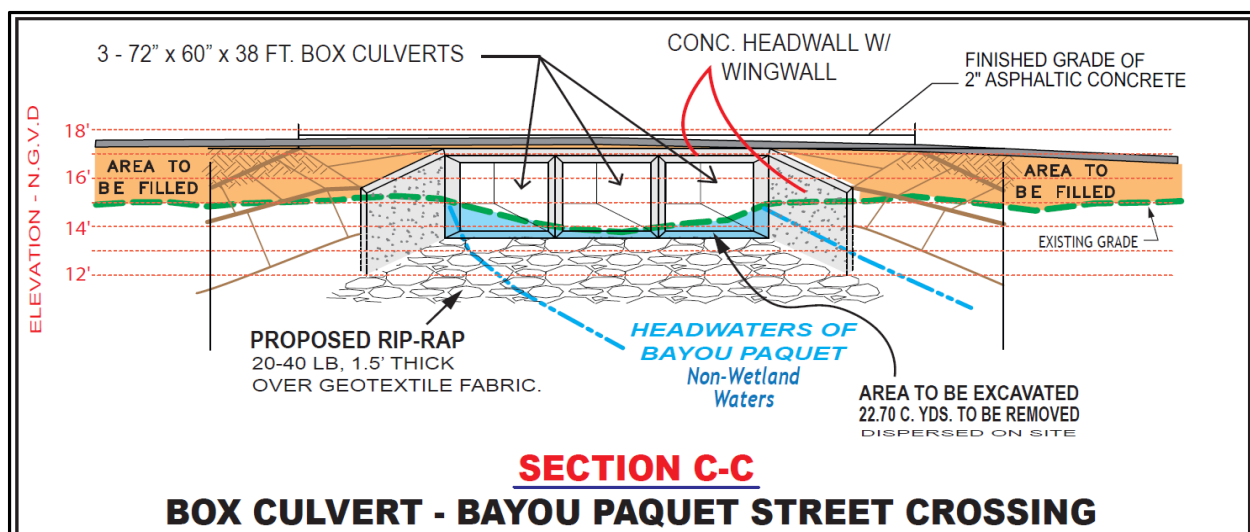
undeveloped state. Thus, it is not in a Parish-designated Critical Drainage Area (CDA), yet has portions with up to one or two feet of inundation in 100-year event per FEMA's BLE Viewer.

Figure 2 in the Corps permit application shows multiple outfalls from stormwater detention ponds discharging into the north side of US Hwy 190 roadside ditch, which then discharges under US Hwy 190 into Bayou Paquet. The preliminary hydrology study submitted to STP Department of Engineering (April 8, 2021) shows a single outfall from the west side of the development under Hwy 190 into Bayou Paquet. Bayou Paquet south of Hwy 190 is designated as Flood Zone A and has a number of homes that are listed on FEMA's repetitive loss and severe repetitive loss (RL/SRL) list. Modeling of stormwater runoff with TR-55 assumes that 1/8 acre lots are estimated to be 65% impervious. At the proposed level of density in the development, there may be as much as 95% impervious surface in certain areas. The Parish is concerned that removal of the wetlands and bringing in fill will reduce the native hydraulic storage, may incur greater runoff from the impervious surfaces and exacerbate downstream flooding.

- The Parish requests that the Corps, when determining mitigation for this proposed development, require the developer to demonstrate that the mitigation of these wetlands elsewhere will not have an impact on the local hydrology.
- The developer has agreed to run a 2-D model that includes a 100-year and 500-year events to assure that homes located near the detention ponds and Bayou Paquet within the development will be adequately removed from inundation from potential flood sources, and that adequate sewer effluent drawdown will maintain the zero-discharge permit requirements of LDEQ.

Excavation of Bayou Paquet. Figure 3A (Section C-C) of the Corps application shows excavation of Bayou Paquet, squaring the bottom to 13.5 ft elevation, and constructing 3 - 72" x 60" x 38 ft. box culverts, installing concrete headwalls with wingwalls, and 1.5 ft deep riprap over geotextile fabric. Fill will be added from the approximate 15 ft natural grade to 18 ft when including the asphalt overlay. This will require widening of Bayou Paquet from 12 ft to 18 ft in that location to accommodate the box culverts. Bayou Paquet downstream of the widening is not shown, but the Bayou at Hwy 190 has 3 existing 48" culverts.

- There are concerns that the discharge from the widened section must match the downstream capacity in order to avoid erosion or inundation.



The proposed project area may exacerbate water quality in the already-impaired subsegments of Bayou Paquet and Bayou Liberty ecosystem. The development is proposed to discharge into Bayou Paquet, Subsegment 040915 (“Bayou Liberty- From LMRAP Ecoregion Boundary to LA 433”) and Subsegment 040916 (“Bayou Paquet – From headwaters to Bayou Liberty (Estuarine).” Per the 2022 LA Water Quality Inventory Integrated Report (Table 1), Subsegment 040915 is currently not supporting its designated uses of fish and wildlife propagation (FWP). The causes of impairment are dissolved oxygen, mercury and fecal coliform. The sources of these impairments are on-site treatment systems (septic systems and similar decentralized systems), and package plants or other permitted small flow discharges; and atmospheric depositions – toxics, unknown sources. Subsegment 040916 is currently not supporting its designated uses of primary contact recreation (PCR) fish and wildlife propagation (FWP). The causes of impairment are dissolved oxygen and enterococcus (Table 1). Additionally, Total Maximum Daily Loads (TMDLs) for oxygen-demanding substances have been approved by EPA for Subsegments 040915 and 040916.

Homeowner overuse of lawn fertilizers and pet waste in such a densely populated area may become a problem. Urban pollutants will flow into the stormwater retention ponds, which may cause them to become eutrophic and further exacerbate the already-degraded condition of the receiving waterbody (Bayou Paquet) and the Bayou Liberty Scenic ecosystem.

Bayou Liberty is a Scenic River (LA Legislature, LDWF); thus, it is held to a higher water quality standard. Because of this designation and the TMDL, the development must conform with the federal Clean Water Act (CWA) Antidegradation Rule and may not degrade dissolved oxygen (DO) more than 0.2 mg/L. Water Quality Certification letters from LDEQ and STP P&D will be required before the Corps permit is issued.

Table 1. Appendix A: Final Draft 2022 Integrated Report (Appendix A) of Water Quality in LA (March 18, 2022)

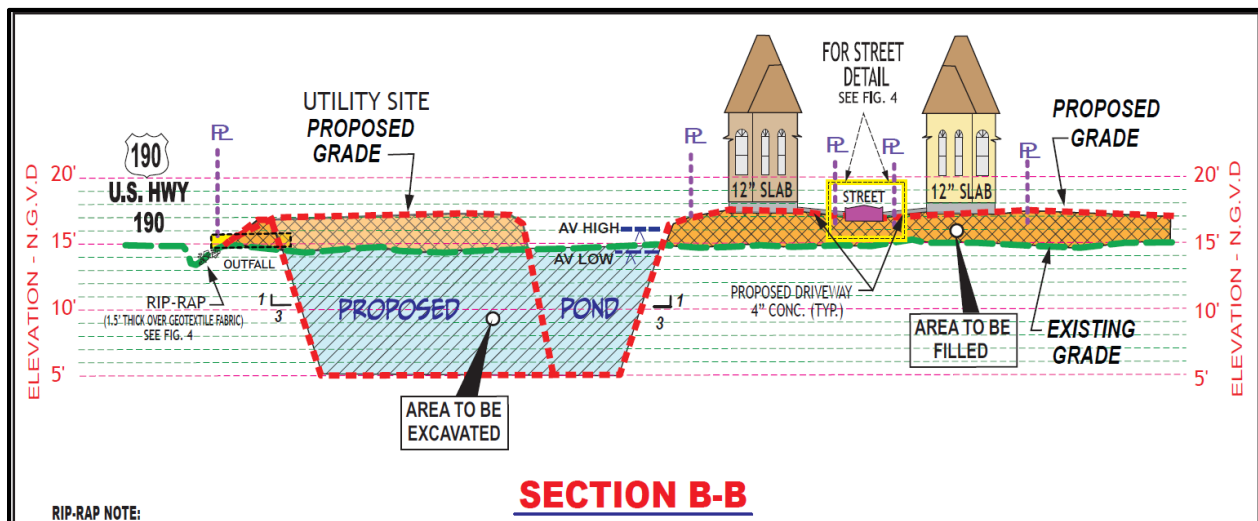
Subsegment Number	Subsegment Description	Designated Water Body Uses			Impaired Use for Suspected Cause	Suspected Causes of Impairment	IR Category for Suspected Causes	Suspected Sources of Impairment
		PCR	SCR	FWP				
LA040915_00	Bayou Liberty-From LMRAP Ecoregion boundary to La. Highway 433	N	F	N	FWP	DISSOLVED OXYGEN	IRC 4a (TMDL)	ON-SITE TREATMENT SYSTEMS (SEPTIC SYSTEMS AND SIMILAR DECENTRALIZED SYSTEMS)
LA040915_00	Bayou Liberty-From LMRAP Ecoregion boundary to La. Highway 433	N	F	N	FWP	DISSOLVED OXYGEN	IRC 4a (TMDL)	PACKAGE PLANT OR OTHER PERMITTED SMALL FLOWS DISCHARGES
LA040915_00	Bayou Liberty-From LMRAP Ecoregion boundary to La. Highway 433	N	F	N	FWP	MERCURY - FISH CONSUMPTION ADVISORY	IRC 4a (TMDL)	ATMOSPHERIC DEPOSITION - TOXICS
LA040915_00	Bayou Liberty-From LMRAP Ecoregion boundary to La. Highway 433	N	F	N	FWP	MERCURY - FISH CONSUMPTION ADVISORY	IRC 4a (TMDL)	PACKAGE PLANT OR OTHER PERMITTED SMALL FLOWS DISCHARGES
LA040915_00	Bayou Liberty-From LMRAP Ecoregion boundary to La. Highway 433	N	F	N	PCR	FECAL COLIFORM	IRC 5	ON-SITE TREATMENT SYSTEMS (SEPTIC SYSTEMS AND SIMILAR DECENTRALIZED SYSTEMS)
LA040916_00	Bayou Paquet-From headwaters to Bayou Liberty (Estuarine)	N	F	N	FWP	DISSOLVED OXYGEN	IRC 4a (TMDL)	PACKAGE PLANT OR OTHER PERMITTED SMALL FLOWS DISCHARGES
LA040916_00	Bayou Paquet-From headwaters to Bayou Liberty (Estuarine)	N	F	N	PCR	ENTEROCOCCUS	IRC 5	ON-SITE TREATMENT SYSTEMS (SEPTIC SYSTEMS AND SIMILAR DECENTRALIZED SYSTEMS)
LA040916_00	Bayou Paquet-From headwaters to Bayou Liberty (Estuarine)	N	F	N	PCR	ENTEROCOCCUS	IRC 5	PACKAGE PLANT OR OTHER PERMITTED SMALL FLOWS DISCHARGES
Designated Use Descriptions:	PCR = Primary Contact Recreation (swimming)					IR Category for Suspected Causes:	IRC 5 = 303(d) List	
	SCR = Secondary Contact Recreation (boating)						IRC 4a = TMDL completed	
	FWP = Fish and Wildlife Propagation (fishing)							

- The Parish requests that the Corps evaluate the impacts to Bayou Paquet and Bayou Liberty as a result of the proposed mitigation and development to verify that the loss of wetlands and development will not result in further degradation of these waterbodies.

The proposed development is in an area with no available central utilities. LDEQ has determined that the proposed 450,000 GPD wastewater will meet tertiary treatment limits (5 mg/L BOD₅ / 2 mg/L ammonia / 5 mg/L O₂) and will not leave the property (zero discharge), except during a significant storm event (25-year, 24-hour event, or greater). The proposal is to draw-down 450,000 gallons per day (GPD) of treated sewer effluent for use as irrigation of greenspaces within the development. Figure 2 of the Corps application shows a utility site, but does not show a discharge location for sewer effluent presumably because it is zero-discharge. However, Figure 3 (Section B-B) of the Corps application shows a high-water discharge from the effluent holding pond to US Hwy 190.

The sewer effluent holding pond should not co-mingle into stormwater retention ponds, even during rainfall events where it will overtop its high-water weir. St. Tammany Parish does not allow this co-mingling of effluent and stormwater, except for LDEQ-permitted discharges into Parish-maintained ditches..

- The developer has committed to providing the Parish with a 2-D hydraulic analysis demonstrating the feasibility of this drawdown such that zero-discharge is maintained.



Thank you for your consideration in this matter.

Sincerely,

Elizabeth deEtte Smythe, Ph.D.
Regulatory Manager

Attachment: MVK-2021-225

cc: Honorable Michael B. Cooper, President, St. Tammany Parish
Honorable James Davis, Councilman District 7, St. Tammany Parish
Ross Liner, AICP, PTP, CFM, Director, Department of Planning & Development
Daniel Hill, P.E., Director, Department of Engineering
Sabrina Schenk, Coastal Zone Manager/ MS4 Administrator

2022-2839-ZC



LAND USE & ACREAGE ANALYSIS

LEGEND		
RESIDENTIAL ±142.8 Ac. (51.9%)		
	SINGLE FAMILY DETACHED	780 LOTS ±112.4 Ac.
	MULTIFAMILY / ATTACHED	530 UNITS ±30.4 Ac.
NON-RESIDENTIAL ±3.6 Ac. (1.3%)		
	COMMERCIAL	±1.3 Ac.
	CIVIC	±2.3 Ac.
	LIVE WORK UNIT AREA	
COMMON OPEN SPACE ±70.9 Ac. (25.8%)		
	REC. CENTER & PARKS	±13.0 Ac.
	DETENTION / DRAINAGE / LAKE	±47.2 Ac.
	BAYOU PAQUET GREENBELT	±4.7 Ac.
	LANDSCAPE / OPEN SPACE	±6.0 Ac.
UTILITIES & SERVITUDES ±11.5 Ac. (4.2%)		
	UTILITY SITES	±2.3 Ac.
	BAYOU PAQUET SERVITUDE	±7.0 Ac.
	PIPELINE SERVITUDE	±2.2 Ac.
ROADWAYS ±46.5 Ac. (16.9%)		
	COLLECTORS/LOCALS	±46.5 Ac.
PROJECT TOTAL ±275.3 Ac.		

* ALL LAND USE ACREAGES AND LOCATIONS ARE CONCEPTUAL AND SUBJECT TO CHANGE PENDING COMPLETION OF THE SPECIFIC IMPLEMENTATION PLAN.

* A MINIMUM OF TWENTY-FIVE (25) PERCENT OF THE COMMON OPEN SPACE WILL BE DEDICATED TO THE PUBLIC AS PARKLAND.

* THIS DEVELOPMENT WILL MAINTAIN NO GREATER THAN 50.0% ATTACHED/MF UNITS IN ACCORDANCE WITH TND-2 REGULATIONS.

DISTRICT DENSITY ASSUMPTIONS

	SINGLE FAMILY (60'/70's) - ±5.0/ACRE
	SINGLE FAMILY (40'/50's) - ±8.0/ACRE
	TOWNHOME/DUPLEX - ±10.0/ACRE
	MULTIFAMILY - ±25.0/ACRE

RESIDENTIAL UNIT PROJECTIONS

SINGLE FAMILY DETACHED - 780 LOTS
MULTIPLE FAMILY UNITS - 530 UNITS
(DUPLEX/TOWNHOME/MF)

* UNIT PROJECTIONS FOR SINGLE FAMILY DETACHED ARE CALCULATED BASED ON AN APPROXIMATED NET ACREAGE BASIS.

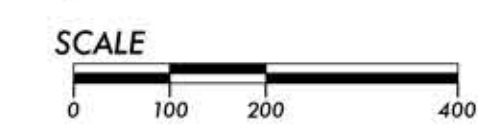
* NEIGHBORHOOD CENTER - ±18.0 Ac.

HONEYBEE TND-2
GENERAL IMPLEMENTATION PLAN

± 275.3 ACRES OF LAND
prepared for



24275 Katy Freeway, Ste. 200
Katy, Texas 77494
Tel: 281-810-1422



MTA-21052
OCTOBER 24, 2022

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2022-2839-ZC



RECREATION CENTER - MAJOR PARK SPACE
MAY INCLUDE POOL, AMENITY CENTER,
PLAYGROUND, PAVILION, SPLASH PAD, ETC.



NEIGHBORHOOD PARK -
MAY INCLUDE PLAZA, GREAT LAWN,
PAVILION, TRAILS, PLAYGROUND, ETC.



POCKET PARK -
MAY INCLUDE PLAYGROUND, BENCHES,
PAVILION, TRAILS, ETC.

OPEN SPACE CALCULATIONS

±72.7 ACRES (26.4% OF SITE) OF COMMON OPEN SPACE
INCLUDING: POCKET PARKS, RECREATION CENTER, VILLAGE
SQUARE, BAYOU PAQUET (OUTSIDE THE PROPOSED 100'
SERVITUDE), AND LAKE/DETENTION AREAS.
A PEDESTRIAN GREENBELT IS PROPOSED OVER THE 30'
PIPELINE SERVITUDE EAST OF HONEYBEE ROAD, BUT IS
NOT CURRENTLY CALCULATED INTO THE COMMON OPEN
SPACE REQUIREMENT.
ALL PROPOSED RESIDENTIAL USES WILL BE WITHIN
1/2 MILE OR 15 MINUTE WALK OF COMMON OPEN SPACE

* ALL PARK AND OPEN SPACE IMPROVEMENTS ARE CONCEPTUAL
AT THIS TIME FOR PURPOSES OF THE GENERAL IMPLEMENTATION
PLAN AND ARE SUBJECT TO CHANGE. LOCATION AND AMENITIES/
IMPROVEMENTS WILL BE FURTHER DEVELOPED AND PROGRAMMED
AS THE DEVELOPMENT PROGRESSES.

THIS SUBMITTAL WAS PREPARED AND SUBMITTED BASED ON
THE ST. TAMMANY PARISH UNIFIED DEVELOPMENT CODE
THAT WAS LAST UPDATED MARCH 9, 2022.

HONEYBEE TND-2 GENERAL IMPLEMENTATION PLAN

± 275.3 ACRES OF LAND
prepared for

D.R. HORTON DHI
NYSE
America's Builder

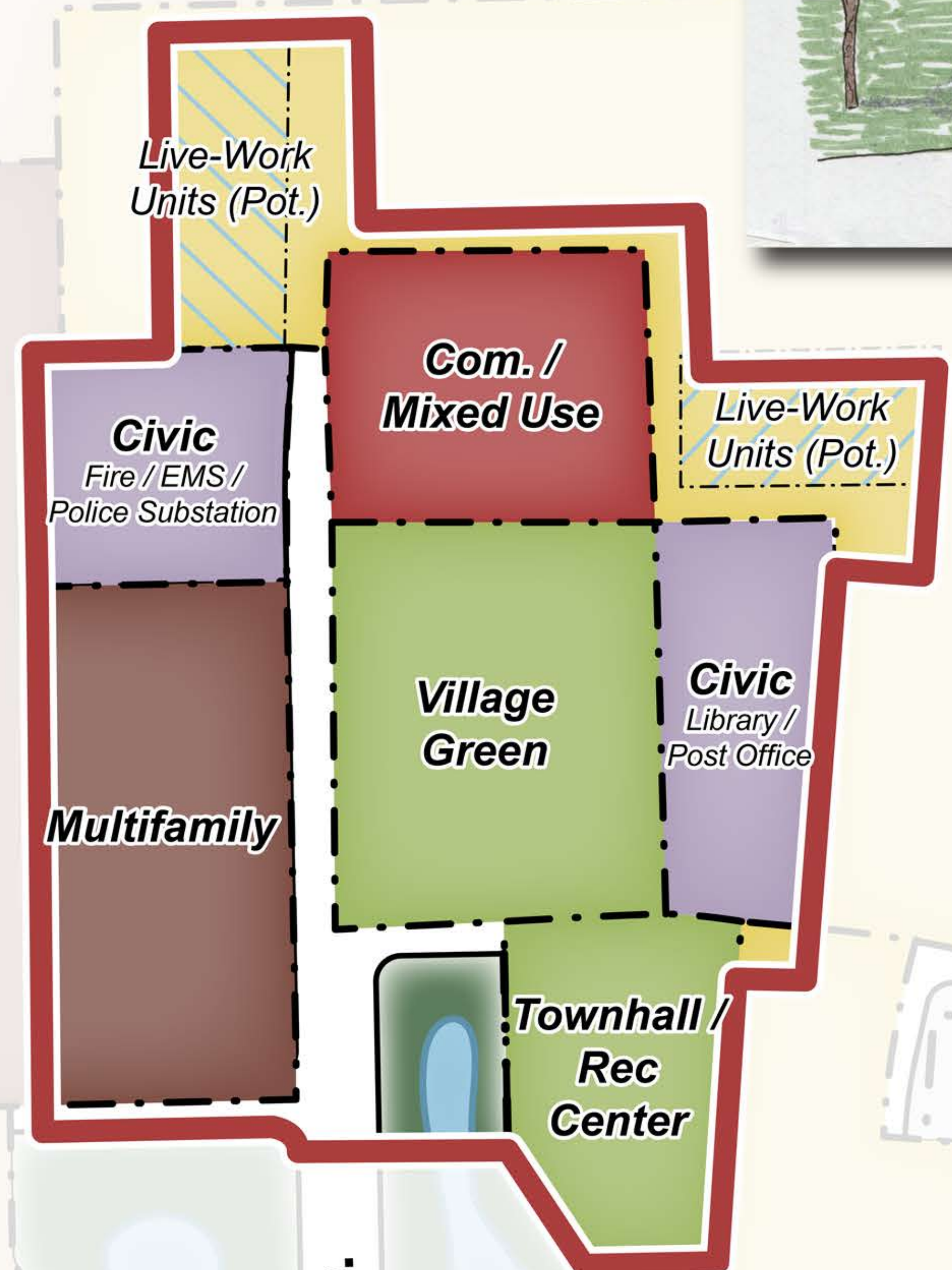
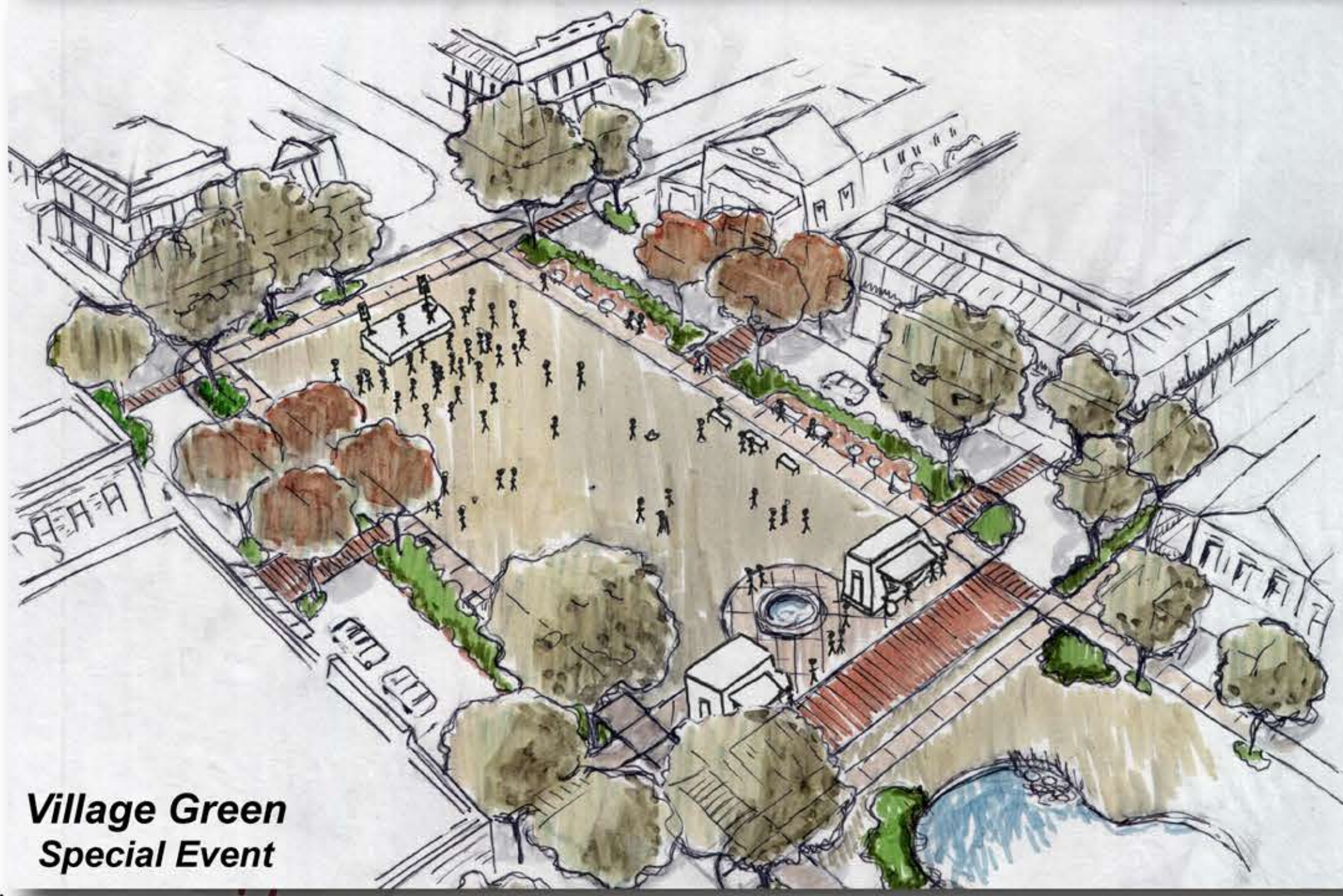
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PLANNING + DESIGN

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Katy, Texas 77494
Tel: 281-810-1422

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HONEYBEE RD.

THE AREA DELINEATED AS THE VILLAGE CENTER COMPRISES ±18.0 ACRES OF LAND AND IS PROPOSED TO CONTAIN A MIXTURE OF COMPARABLE LAND USES DESIGNED AT A HUMAN SCALE, WITH A MAJOR FOCUS ON WALKABILITY.

POTENTIAL LAND USES ARE LISTED ON THIS EXHIBIT AS WELL AS OTHERS LISTED WITHIN THIS SUBMITTAL PACKAGE.

ALL RENDERINGS ARE AN ARTIST'S REPRESENTATION AND SHOULD NOT BE CONSIDERED AN ACTUAL DEPICTION OF THE STRUCTURE OR BUILDING MASSING/ARRANGEMENT TO BE CONSTRUCTED IN THE FUTURE.

THIS SUBMITTAL WAS PREPARED AND SUBMITTED BASED ON THE ST. TAMMANY PARISH UNIFIED DEVELOPMENT CODE THAT WAS LAST UPDATED MARCH 9, 2022.

HONEYBEE TND-2 GENERAL IMPLEMENTATION PLAN ± 275.3 ACRES OF LAND

prepared for
D.R. HORTON DHI NYSE
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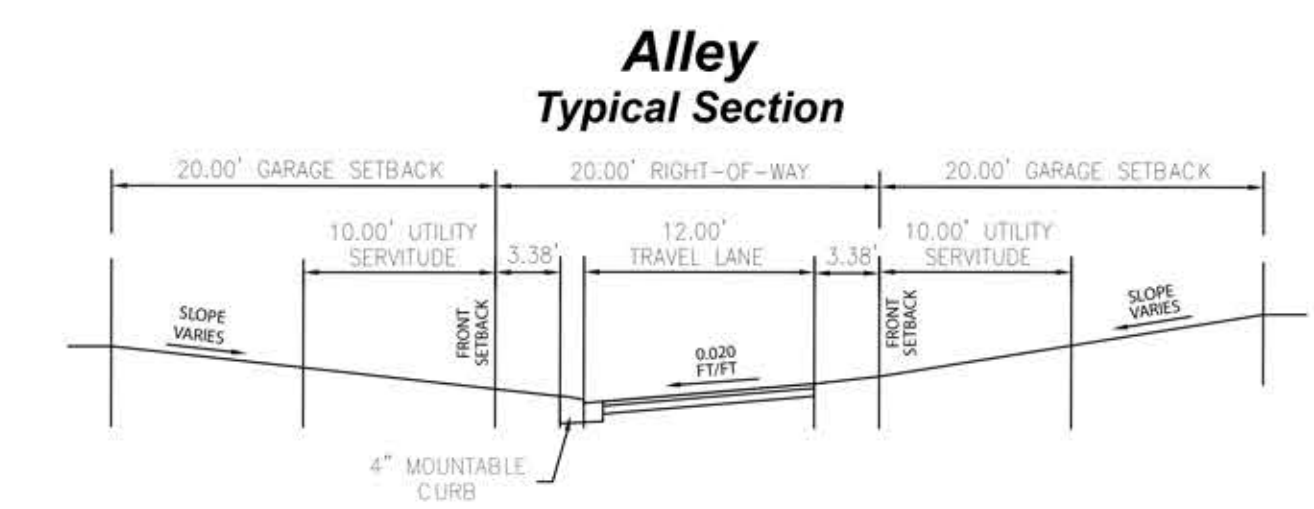
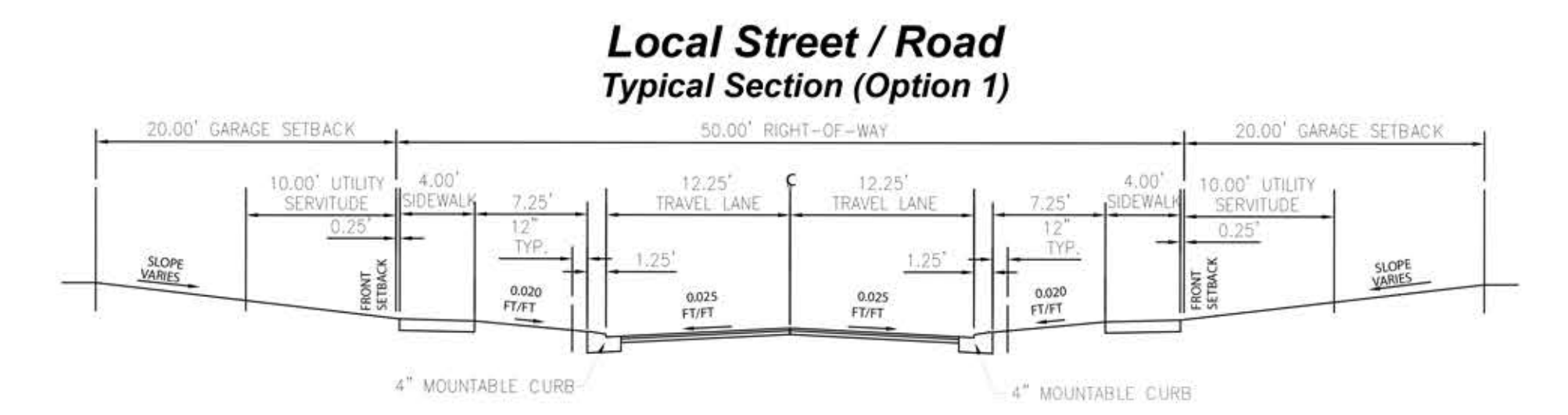
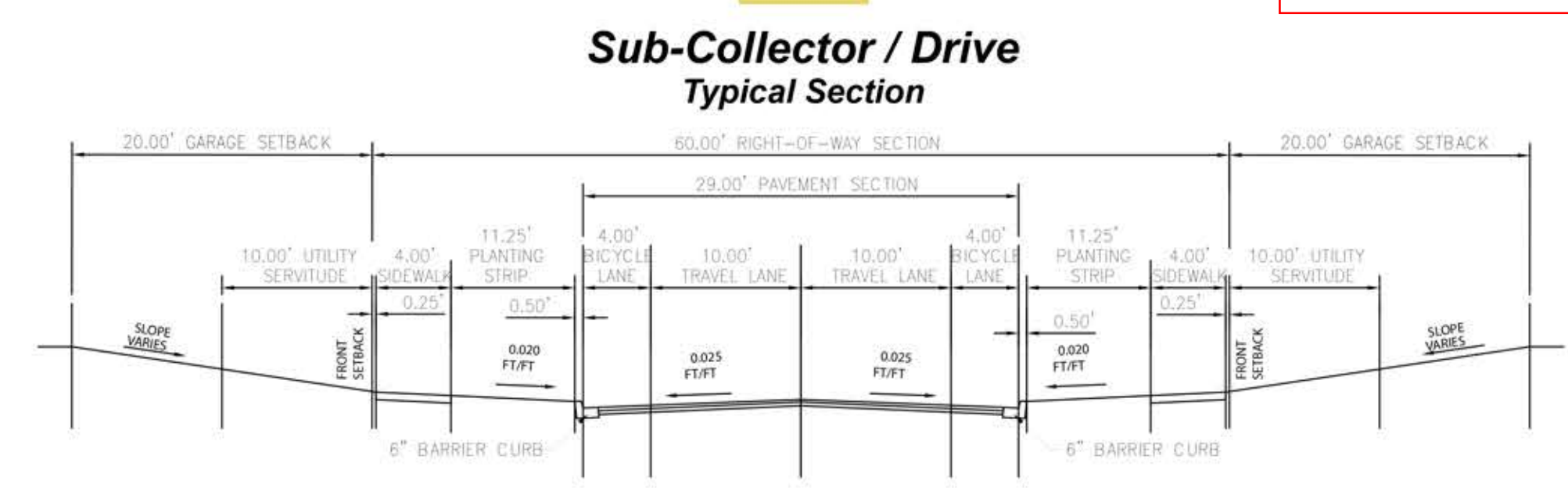
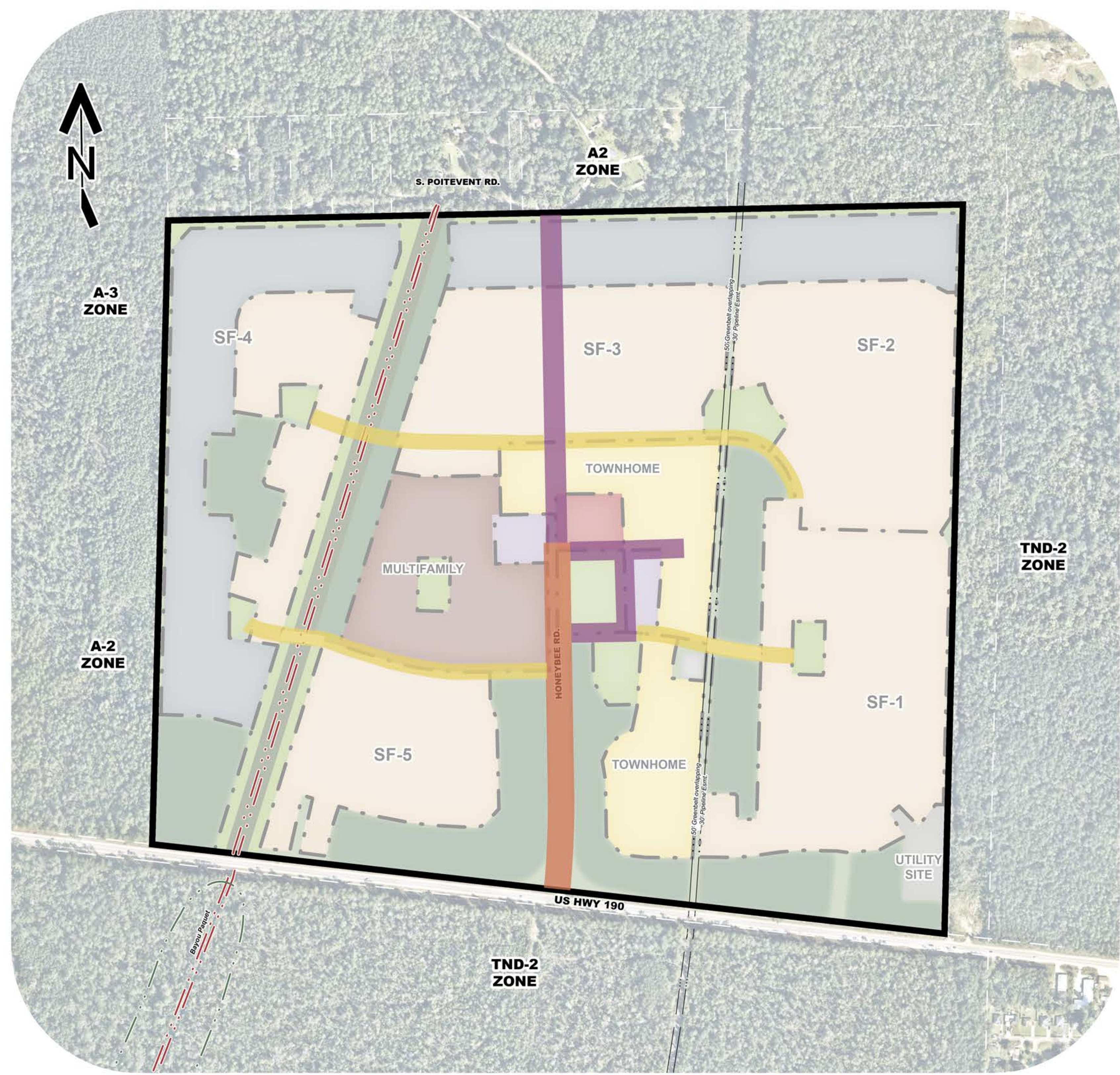
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2022-2839-ZC



- II - LOT AND BLOCK STANDARDS
- ALL BLOCK PERIMETER DEPTHS AND LENGTHS WILL BE PROVIDED WITH THE SPECIFIC IMPLEMENTATION PLAN UPON COMPLETION OF STREET AND LOT LAYOUT.
 - BLOCK LENGTHS WILL BE LESS THAN 2,000' IN PERIMETER AND WILL ALLOW FOR ROAD EXTENSIONS INTO FUTURE NEIGHBORHOODS WHERE APPLICABLE.
 - BLOCKS LONGER THAN 500' WILL BE TRAVERSED NEAR THE MIDPOINT OF THE BLOCK WITH A PEDESTRIAN RESERVE/PATH.

* ALL CROSS SECTIONS AND ROAD DESIGNATIONS ARE SUBJECT TO CHANGE PENDING FURTHER STUDY AS PART OF THE SPECIFIC IMPLEMENTATION PLAN AND ANY ADDITIONAL COMMENTS WHICH MAY COME AS PART OF TRAFFIC STUDY AND/OR PUBLIC AGENCY REVIEW.

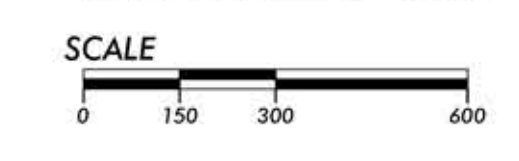
HONEYBEE TND-2 GENERAL IMPLEMENTATION PLAN

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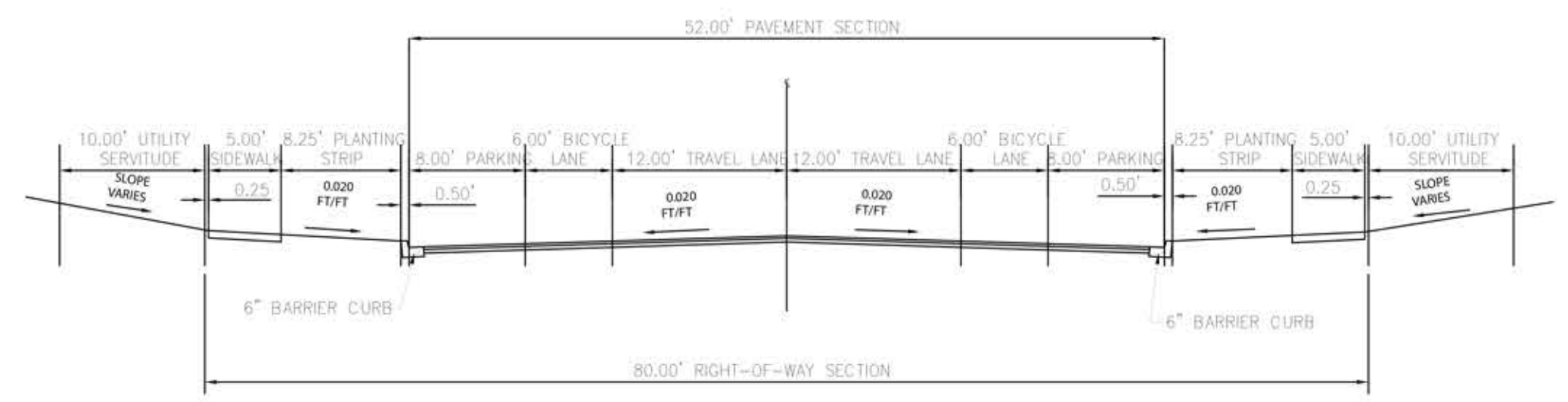
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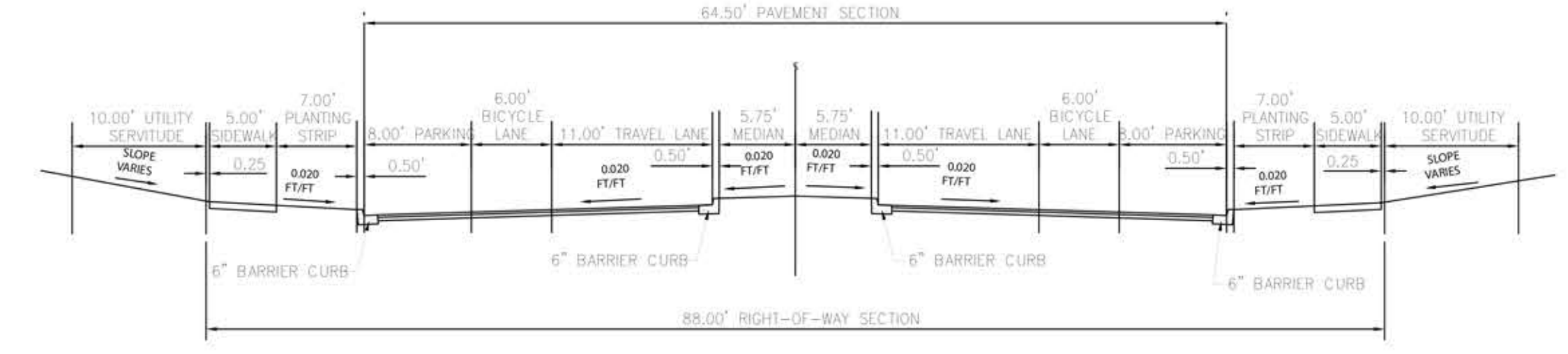
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Collector / Avenue
Typical Section (Option 1)



Collector / Avenue
Typical Section (Option 2)



THIS SUBMITTAL WAS PREPARED AND SUBMITTED BASED ON THE ST. TAMMANY PARISH UNIFIED DEVELOPMENT CODE THAT WAS LAST UPDATED MARCH 9, 2022.

Restrictive Covenants:

1. No Certificate of Occupancy shall be issued before the sewerage and water systems are installed and operable or otherwise connected to a community (central) sewerage and/or water systems, all as approved by the Department of Environmental Services of the Parish. Whenever a subdivision is served by a community (central) water system (supply), no private water supply may be drilled or otherwise constructed on any lot for the purpose of supplying potable water to any building or structure, except for the purpose of irrigation, and in no event shall there be a physical connection between any such source and any element of the community (central) water system (supply).
2. Construction of any nature is prohibited in drainage or street easements.
3. Lots may not be used for the storage of trash or junk vehicles.
4. The minimum floor elevation shall be established by National Flood Elevation Criteria (FEMA) and/or St. Tammany Parish, whichever is higher.
5. No lot will be further subdivided without approval of the Planning Commission and the Department of Environmental Services of the Parish.
6. Residential driveways on corner lots shall not be located any closer than 60 feet from a corner of said property closest to the intersection as measured from the property lines on the corner of the property where the said two street rights-of-way intersect. If there are residential lots that do not comply with this as front-loaded lots, they are to be side-loaded in order to comply with intersection clearance mentioned above.
7. It shall be prohibited for any lot within an approved subdivision to have rear access via a driveway to or from any street or road that is not dedicated within the boundaries of the approved subdivision plat.
8. The home builder is responsible for the construction of the sidewalk along the lot frontage.
9. The proposed storm water detention system, including the lakes, are to be owned and maintained by the Community Development District.
10. Fences: All fences must be maintained and kept in good repair so as not to detract from the appearance of the development. The height of fences shall not exceed six (6') feet. Fences must be made of masonry, wood or other Homeowners Association approved material. Any portion of the fence that faces a street or common area must have a "finished side" appearance. Retaining walls must be constructed entirely with architectural reviewer approved materials, however railroad ties may not be used for a retaining wall visible from a street. Fences may not be constructed nearer than five (5') feet from the front edge of the dwelling's foundation, and in no event may fences be constructed between the front of a dwelling and the street. Fences may not be constructed on any common areas. The use of barbed wire and chain link fencing is prohibited. The use or application of a stain that cures in a solid color or paint is prohibited. Wood fences may be left in their natural state. No wood fence may stained to alter the fence color from a natural wood color. Without prior approval of the architectural reviewer, clear sealants may be applied. Fences on lots which are adjacent to any lakes, ponds, park areas, recreational fields, pathways or common area ("common area restricted fence lots") shall be constructed in such manner as to reasonably preserve the view of such lakes, ponds, park areas, recreational fields, pathways or common area to all other owners, and as such, these fences must be a minimum of 50% open (non-privacy). The height of the first twenty (20') feet of side fencing from the rear property line shall not exceed four (4') feet, and after the first twenty (20') feet of side fencing, the side fencing may transition to a height not to exceed six (6') feet on an angle not to exceed 45 degrees (side fences may contain privacy fencing). An exception to this is when lots share a common property line with the amenity center. Those lots are to have a six (6') feet wooden fence as described above. Fencing shall not be built over or through any servitude or easement on any lot.
11. The aforementioned restrictions shall be recited in each title or deed in addition to the required listing on the final subdivision plat.

General Density Assumptions Table

Development Type	Product	Projected Net Acreage	Projected Lots/Units	Totals
Detached Residential	40'/50' Lots - Medium Density	84.1	630	780
	60'/70' Lots - Low Density	28.3	150	
Attached Residential				530
	Multifamily	16.0	350	
	Townhome	14.4	180	

THIS SUBMITTAL WAS PREPARED AND SUBMITTED BASED ON THE ST. TAMMANY PARISH UNIFIED DEVELOPMENT CODE THAT WAS LAST UPDATED MARCH 9, 2022.

- The total ground floor area of non-residential development uses, including off-street parking areas, shall not exceed twenty-five (25) percent of the TND District.

- Residential areas will be comprised of single-family residential, multi-family residential, or townhomes.
- Products will range in depth from 85'-130' deep.
- Potential products include attached townhomes or duplexes, detached 40', 50', and 60' or larger single family residences.

- Where blocks are longer than 500', a reserve will be added near the midpoint in order to serve as a pedestrian corridor and block lengths shall not exceed 2,000'.

- 0' Front building setbacks are requested for Single-Family Attached and Detached products along with all other Mixed Use components or land uses within the Village Center and the overall development.

- Minimum 5' side setbacks will be required between lot lines and residential structures.

- Minimum lot width for Single Family Detached will be 40'. This minimum lot width is smaller than current development code standards within Tammany Parish and is requested as part of this TND-2 application to provide additional product variety and housing opportunities for future home buyers.

- Single Family Attached units will include Duplex or Multifamily units and will not require a minimum lot size.

- Rear building setbacks for the principle building on lots devoted to Single-Family Detached residences will be a minimum of 30' from the rear lot line.

- Reciprocal access easement and pedestrian access to the rear yard for zero (0) lot-line single-family dwellings will be required.

- In Mixed Use Areas, clear and well-lighted walkways will connect building entrances to the adjacent public sidewalk and associated parking areas.

- Residential areas will be well lit to allow for clear pedestrian mobility along sidewalks and between sidewalks and residential units.

- Sidewalks will be seperated a minimum of 7' from the curb.

- All streets, except for alleys, are bordered by sidewalks on both sides.

- In accordance with Parish code and TND-2 requirements, Single Family dwellings will account for at least 50% of all residential units. Any lot projection on this application is an estimate for each particular mixed use residential area and exact lot counts will be provided with the Specific Implementation Plan.

- No more than 20% of the proposed common open space shall be devoted to paved areas and structures such as courts or recreation buildings. Exact acreages for all proposed common open spaces will be provided with the Specific Implementation Plan.

Dedication Statement:

All street rights-of-way shown hereon are not dedicated to the Parish of St. Tammany but are dedicated to the perpetual use of the Community Development District and is to be owned and maintained by the Community Development District with the exception of Honeybee Road. Easements shall be reserved for drainage and utilities as indicated hereon and no obstructions or improvements shall be allowed that would prevent them from being used for intended use. The Developer or Homeowners Association is responsible for maintenance of all green spaces, drainage servitudes, street signs, and traffic control signs.

All drainage will be owned and maintained by the Community Development District. The TND presented will be serviced by a new wastewater treatment plant. Two new water wells will be drilled and new storage tank will be constructed in conjunction with the water wells. All improvements will be in compliance with Louisiana Department of Health, Louisiana Department of Environmental Quality, and St. Tammany Parish regulations. The water well facility, water distribution system, sewer collection system, and wastewater treatment facility will be owned and maintained by a private utility provider. The water well facility and wastewater treatment facility will be located in the southeast corner of the site as seen on the provided Implementation Plan. Gas, telecom, and electric services have been confirmed to be located nearby and are available for tie-in for the development.

All Common Open Spaces shall be permanently set aside for the sole benefit, use, and enjoyment of present and future occupants of the development. Common open space shall be protected against the construction and use of habitable structures of residential dwellings or commercial structures.

Offsite stormwater that is currently conveyed through the project site currently will be accounted for in drainage calculations and proposed conveyance. Ditches and subsurface pipes will be utilized to convey the existing offsite stormwater through the site and proposed drainage system. The proposed drainage system will consist of a series of detention ponds, outlet control structures, and enhancing Bayou Paquet in order to meet St. Tammany Parish stormwater requirements.

Improvements to Bayou Paquet will include widening from Hwy 190 to the first road crossing with box culverts being installed under the first proposed road crossing connecting to the rest of Bayou Paquet. Existing culverts under the existing LA Hwy 190 will be utilized for outfalls.

1. All utilities are to be placed underground.

2. Conditions, covenants, and restrictions for all the property within the TND District must be filed in the Parish records by the Owner before a Lot is sold and/or a building permit is issued.

3. In addition to other terms and conditions acceptable to the applicant, the conditions, covenants, and restrictions must create one (1) or more property owners Associations with mandatory membership for each property Owner, governed by Articles of Incorporation and Bylaws, which shall:

a. be organized by the applicant and operated with a financial subsidy from the applicant before the sale of any Lots within the TND District;

b. provide for the conditions and timing of transferring control of the Association from the applicant to the property Owners;

c. be responsible for maintenance of insurance and taxes on all Common Open Space, enforceable by liens placed on the Association by the Parish, as provided in the Association Bylaws;

d. at all times, cause all Owners to have Access to the Common Open Space within the TND District;

e. establish architectural standards that are in conformity with the requirements of this ordinance which shall be subject to review and approval by the Board of Directors of the Association or the Architectural Control Committee, as described below;

f. create an Architectural Control Committee to review Development for compliance with the architectural standards, to issue certificates of approval, and to review and approve the Development's architect, designer, and/or other professionals contributing to the Development;

g. provide for the ownership, Development, management, and maintenance of private open space (except plazas owned by individual property Owners), community parking facilities, community meeting hall, and other common areas;

h. provide for a maintenance program for all property within the TND, including landscaping and Trees within the streetscape;

i. require the collection of assessments from members in an amount sufficient to pay for its functions; and

j. be effective for a term of not less than fifty (50) years.

Commercial Uses:

- Developer proposes a 10,000 square foot of commercial land use within this development to be designed and arranged in accordance with a similar architectural style as the other structures within this development and any other regulations or requirements as specified within this document.

- General uses within the commercial land use may include but not limited to the same or similar land uses as listed below. Final commercial land uses and/or occupancy of the proposed commercial use will be subject to change in accordance to market conditions and need as the development progresses.

Proposed commercial uses may include:

- Professional / Medical Office
- Restaurant / Lounge / Food Services
- Retail & Service Uses
- Neighborhood Services
- Educational Services / Day Care
- Bank & Financial Services
- Arts, Entertainment, & Recreation Services

Proposed civic uses may include:

- Police Substation
- Library
- Fire Station
- Museum
- Post Office
- Church / Temple / Synagogue

Open space improvements may include:

- Walking trails or sidewalks along Bayou Paquet and the lake/detention areas
- Benches and other seating areas
- Additional landscaping and plantings
- Nature/informational signage
- Habitat creation along greenbelts or in lake areas
- Play structures or similar within the Rec Center and other active park areas
- Pavilions or other shade structures

New structures in Single-Family Residential areas will be no more than 3 stories.

New structures in commercial, multi-family residential or mixed use areas will be no more than 5 stories.

The architectural features, materials, and the articulation of a facade of a building shall be continued on all sides visible from a public Thoroughfare.

The front facade of the Principle Building on any lot in a TND District shall face onto a public thoroughfare.

The front facade shall not be oriented to face directly toward a parking lot.

Porches, pent roofs, roof overhangs, hooded front doors or other similar architectural elements shall define the front entrance to all residences.

For commercial buildings, a minimum of fifty (50) percent of the front facade on the ground floor shall be glass (transparent), including window or door openings allowing views into and out of the interior.

New structures on opposite sides of the same thoroughfare should follow similar design guidelines. This provision shall not apply to buildings bordering civic uses.

Building and parking placement within the Neighborhood Center, or Town Center, should be arranged to create appropriately scaled continuous building facades with as few non-pedestrian oriented breaks as possible.

Building wall materials may be combined on each facade only horizontally, with the heavier generally below the lighter.

Walls along thoroughfares shall be made of brick, or block and stucco, or other material to match the facade of the principle building.

Windows shall use clear glass panels.

All openings including porches, galleries, arcades and windows, with the exception of storefronts, shall be square or vertical in proportion.

Openings above the first story shall not exceed fifty (50) percent of the total building wall area, with each facade being calculated independently.

The facades on retail frontages shall be detailed as storefronts and glazed no less than fifty (50) percent of the sidewalk-level story.

Doors and windows that operate as slidders are prohibited along frontages.

Pitched roofs, if provided, shall be symmetrically sloped no less than 5:12, except that porches may be attached to sheds with slopes no less than 2:12.

Flat roofs shall be enclosed by parapets a minimum of forty-two (42) inches high, or as required to conceal mechanical equipment to the satisfaction of the Developer, Board or Directors and Architectural Control Committee.

HONEYBEE TND-2 GENERAL IMPLEMENTATION PLAN

± 275.3 ACRES OF LAND

prepared for

D-R HORTON

DH
Listed
NYSE

America's Builder

META
PLANNING + DESIGN

24275 Katy Freeway, Ste. 200
Katy, Texas 77494
Tel: 281-810-1422

SCALE
0 100 200 400

MTA-21052
OCTOBER 24, 2022

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Louisiana East Farmhouse Facade Renderings

Duplex Facades



ELEVATION FL
1/8" = 1'-0"



ELEVATION GL
1/8" = 1'-0"



ELEVATION FL
1/8" = 1'-0"



ELEVATION GL
1/8" = 1'-0"



ELEVATION FL
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ELEVATION GL
1/8" = 1'-0"



ELEVATION FL
1/8" = 1'-0"



ELEVATION GL
1/8" = 1'-0"

Louisiana East Farmhouse Facades

Multifamily Townhome Facades

* ALL RESIDENTIAL AND MULTIFAMILY FACADES ARE SAMPLE IMAGERY FROM OTHER CURRENT OR PREVIOUS DEVELOPMENTS WITHIN THE REGION BY THE DEVELOPER AND MAY NOT ILLUSTRATE THE EXACT FACADES AND/OR FLOOR PLANS ULTIMATELY USED FOR THIS DEVELOPMENT. A SIMILAR STYLE AND DESIGN ELEMENTS WILL BE UTILIZED TO THESE EXAMPLES AND WILL BE SUBMITTED FOR REVIEW AT THE APPROPRIATE TIME IN THE DEVELOPMENT PROCESS AS REQUIRED.

* THE COMMERCIAL, CIVIC AND OTHER MIXED USE LAND USES AND STRUCTURES WITHIN THE VILLAGE CENTER WILL UTILIZE SIMILAR DESIGN ELEMENTS TO THESE IMAGES AND THE SINGLE FAMILY DESIGNS TO ENSURE VISUAL COHESION AND BEING REPRESENTATIVE OF THE LOCATION AND REGION AS A WHOLE.

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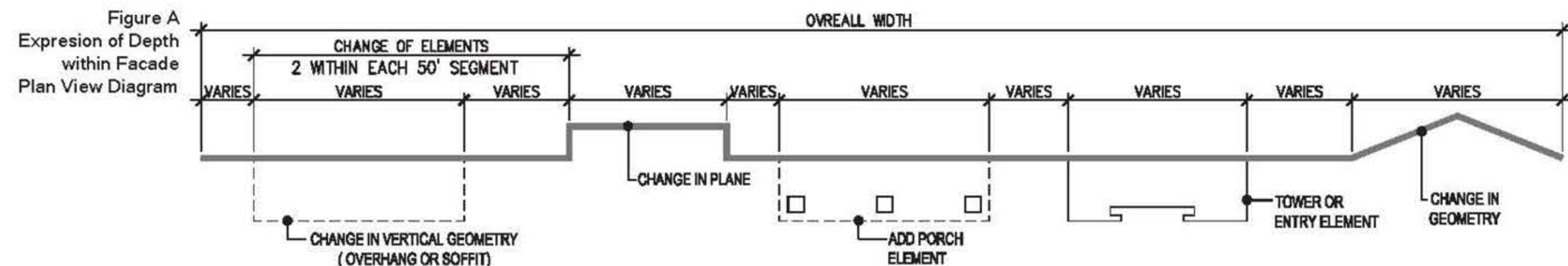
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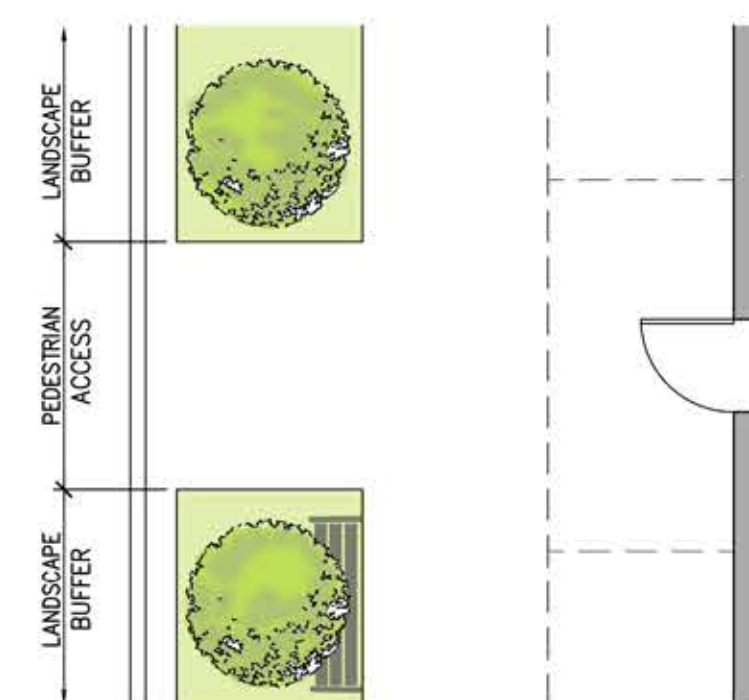
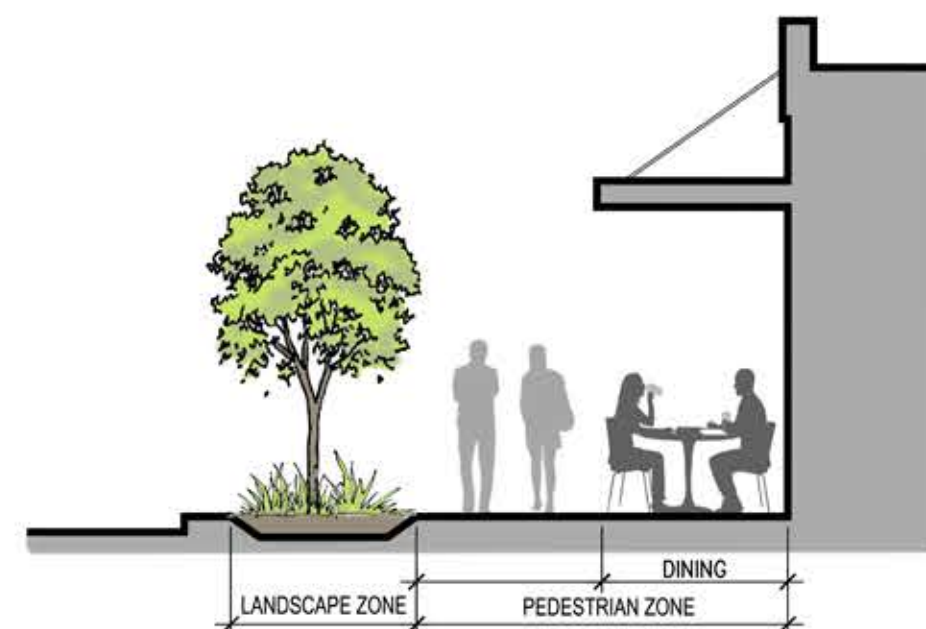
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Sample Facade Articulation Treatments



Mixed Materials and Facade Articulation



Retail Facade Treatments & Pedestrian Zone



Outdoor Lighting at Entries and along Paths



On-Street Parking



Parking in Rear / Removed from Major View Corridors

* ALL COMMERCIAL AND MIXED USE FACADES ARE SAMPLE IMAGERY FROM OTHER SIMILAR DEVELOPMENTS OR ADHERE TO SIMILAR DESIRABLE DESIGN CRITERIA AND MAY NOT ILLUSTRATE THE EXACT FACADES AND/OR STRUCTURES ULTIMATELY USED FOR THIS DEVELOPMENT. A SIMILAR STYLE AND DESIGN ELEMENTS WILL BE UTILIZED TO THESE EXAMPLES AND WILL BE SUBMITTED FOR REVIEW AT THE APPROPRIATE TIME IN THE DEVELOPMENT PROCESS AS REQUIRED.

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META PLANNING + DESIGN

June 24, 2022

Mr. Ross Liner
Ms. Helen Lambert
Ms. Erin Cook
Department of Planning and Development
PO Box 628
Covington, Louisiana 70434

RE: Honeybee TND-2 General Implementation Plan

Dear Commission Members,

Our firm, META Planning + Design, on behalf of our client, DR Horton, would like to submit this letter as supplement to the current proposed Honeybee TND-2 General Implementation Plan before you for your review and comment. Our intention with this letter is to provide some insight into the design and thought processes which have formulated the basis for the plan you have before you.

In reviewing the Parish's TND-2 ordinance, many of the design principles and elements that are fundamental in traditional neighborhood developments are echoed in those regulations. Our intention is to implement a high-level framework with this Honeybee TND-2 General Implementation Plan in order to guide its future development in line with the required ordinance as well as trying to encapsulate as many of those TND principles that make places like Seaside, Celebration, Daybreak and the other traditional neighborhood developments around the nation special and outstanding in their regions.

Counter to the typical urban sprawl that has spread around major urban areas in decades past, these smart growth principles that drive such TND projects, infill developments and other new urbanist type developments have a focus on increased density and should offer a wide variety of housing options. It does not take long to find countless articles published by ULI or within any of the planning related journals or magazines that tout the necessity and overall benefits these smart growth principles will play in current and future developments. These two elements play hand in hand to help with one of the major issues in new development today with housing affordability. Rising land prices and overall development costs contribute to higher home prices or rents for the homebuyer or renter usually and having a development with a TND focus allows some abatement in that regard in being allowed to create more lots or units in a similar area when compared to a more typical suburban development and is assisted by a range of housing products within a TND project.

Housing

A major goal in most successful TND developments is to provide a variety of housing options that would fit with the various and appeal to all or most of the various life stages of the future residents. The more product types available

within a development allow greater choice and opportunity for the future homebuyer or renters and helps to appeal to a greater spectrum of the overall market. The overall product types for this Honeybee development are still in development at this time, but our anticipation is the products would include some mix of multifamily apartments, townhomes, duplexes, live-work units, and a variety of detached single family home options within 40', 50' and 60' lots. Our assumption is a minimum of 10-15 different housing options when considering multiple home plans, facades and material/finish choices for the detached homes coupled with several different layouts and bedroom options in the multifamily and smaller for sale products within the project. The goal is to be able to provide housing options at multiple price points in order to meet the needs for anyone in their respective life stage. This generally helps with the overall lot absorption in order to get more people in homes quicker, along with contributing to a greater diversity and opportunity for a project such as this one to develop into a community of its own. That is one of the major elements within a TND-styled project that is often overlooked or is more difficult to grasp from a quick glance.

Open Space

The focus on walkability and interconnected open spaces are two of the major calling cards for most TND developments across the nation. Within Honeybee, we have planned some typical amenities and open space you would find in most new residential developments but also to include smaller open spaces or plazas within the more residential sections of the development to have their own more inclusive open space area outside what would be provided in the village center portion of the development that would look and feel more public. In addition to the required common open space through the ordinance, we are looking to utilize some of the existing features present on the property including a portion of Bayou Paquet and a pipeline servitude to provide more pedestrian/bicycle circulation and greenbelts to connect the smaller neighborhoods and other parks/open spaces as the project progresses through its development.

Civic & Placemaking

The challenge is to combine the above features along with other TND elements in order to create the opportunity to develop a community within the development. We see it a lot in many of our master planned communities that the ones which seem to succeed better for the residents are those which generate within itself that sense of community as opposed to those that lack those efforts. That is not necessarily something we can design for as it is ultimately up to the future residents of the development, but we can provide for the opportunity to do so and is something essential tied into the Village Center concept as has been presented on this plan. The Village Center is central to the development and will house many of the integral elements that can make this development into a community. Within the code we are required certain land uses for this type of area, but it is the mixture of these land uses and the interactions and spaces that are created within it that can become the focus of the community. Having this village center at the core of the development provides equal access for all residents and both literally and figuratively becomes the epicenter for this project where there can be any number of events, socials or other similar activities you would find in a small town.

Scale

Truth be told, we have had some difficulties and challenges in other projects integrating TND type developments. Often, that problem comes from an economy of scale and how large of an area, product diversity and other factors to create an effective traditional neighborhood styled development. A TND project does not work well in 20-30 acres or other similarly sized pods, which is where we have run into problems before trying to make a TND section work into a larger master planned community. With Honeybee, we do not have that problem. It is adequately sized to be able to support and integrate that range of housing and rental options along with some commercial and civic uses to function as a village center as opposed to a "town center" which would be more typical with a development in the 1,000 acre or greater

range. While it may not be large enough to support a major grocery store or similar commercial uses, Honeybee can serve as one piece of the puzzle to integrate with other future TND-2 projects that may develop on the neighboring properties. In comparison, Seaside in Florida is approximately 80 acres, but it took multiple TND communities to develop in conjunction with Seaside before they reached a critical mass in which a grocery store came into those collective communities. Honeybee is not of a great enough size to accomplish that feat on its own, but the effort should be to create a series of these independent village centers and as each develops the commercial or other non-residential uses should look to fill in what the needs of the residents and the developing community as a whole lack at that time as possible.

Those future integrations and linkages are key for this project and others which may spring up around it similar to the need for interconnecting the trails and open spaces within this development and that creation of a sense of community and connectivity. It all goes back to the different levels of scale and how all the parts of the development mesh together. There are a lot of elements which are still to be worked out in order to meet these goals, but that is our overall intent with this Honeybee General Implementation Plan and future Specific Implementation Plan for this project. The parts highlighted in this letter are meant to provide some insight into our general thought processes at this stage of the project, most of which are not as easily presented within the plans and tables presented on the submitted sheets and exhibits.

Sincerely,

A handwritten signature in dark ink, consisting of a stylized 'K' followed by a long horizontal line extending to the right.

Kent Milson, AICP

St. Tammany Parish Panning & Zoning Commission



TND General Implementation Plan Submittal Checklist

2022-2839-ZC

Project Name: Honeybee TND-2 Project

Date Submitted: 3/25/2022

Consultant: META Planning & Design/Duplantis Design Group

The following information is required on all TND General Implementation Plan Submittals.

I. Existing Site Conditions Map: This map or series of maps shall be drawn to a scale determined by the Planning Department Staff and shall indicate:

- ☒ Title of the TND and name of developer _____
- ☒ North arrow, graphic scale, and date _____
- ☒ Vicinity map(this may be shown on the cover sheet) _____
- ☒ A general location quadrangle map encompassing a one (1) mile radius showing the relationship of the site to such external facilities as highways, shopping areas, and cultural complexes _____
- ☒ Boundary lines and existing improvements _____
 - ☒ 1. All existing streets and buildings _____
 - ☒ 2. Existing and proposed major streets _____
 - ☒ 3. Water courses _____
 - ☒ 4. Easements _____
 - ☒ 5. Section lines _____
 - ☒ 6. Any unique physical features within the proposed project _____
- ☒ Existing topography (latest U.S. Department of the Interior Geological Survey seven and one half minute series, reproduced to scale of other use data will be acceptable) _____
 - ☒ 1. Flood Zone designation and delineate on map if more than one zone applies _____
 - ☒ 2. 100 Year Base Flood Elevation(if not in flood zone, list the nearest adjacent) _____
 - ☒ 3. Inundation(if available) N/A _____
 - ☒ 4. Additionally a statement shall be lettered on the Concept Plan setting forth these facts. _____
- ☒ The location and size (as appropriate) of all existing drainage, water, sewer, and other utility provisions _____
- ☒ Land Characteristics (pasture, woodland, etc.) _____
- ☒ The location and function of all other existing public facilities, which would serve the site such as schools, parks (within a one (1) mile radius), and fire stations. Notation of this information is acceptable. _____
- ☒ An aerial photograph to a scale of 1 inch equals 200 feet taken within twenty-four (24) months of the application _____
- ☒ Existing contours shown at a maximum contour interval of one (1) feet (Latest LIDAR is acceptable) _____

II. General Implementation Plan: This plan shall be prepared at the same scale as the above existing site conditions map and shall indicate:

- ☒ A general plan for the use of all lands within the proposed TND. Such plans shall indicate the general function and extent of all components or units of the General Implementation Plan, including the following: _____
 - ☒ 1. Specify the types of area/district within the TND _____
 - ☒ a. Neighborhood Center or Town Center/Village Center(required) _____
 - ☒ b. Mixed Residential Area(required) _____
 - ☒ c. Neighborhood Edge Area _____
 - ☒ d. Civic Spaces _____
 - ☒ e. Common Open Space _____



2022-2839-ZC

- ☒ 2. Indicate on plans low, medium, and high density residential areas _____
- ☒ 3. Indicate the proposed density for each category _____
- ☒ 4. Indicate office, commercial and industrial uses (indicate proposed intensity (square footage per acre) of all nonresidential uses) _____
- ☒ 5. Indicate Common Open Space Provisions. Common Open Spaces must satisfy the following minimum criteria (minimum twenty (20%) percent of gross acreage of the TND District) _____
 - ☒ a. Total Common Open Space is minimum twenty (20%) percent of gross acreage of the TND District _____
 - ☒ b. At least twenty-five (25%) percent of the Common Open Space must be dedicated to the public as parkland _____
 - ☒ c. Ninety (90%) percent of the lots within the areas devoted to mixed residential uses shall be within ½ mile or a 15 minute walk from Common Open Space _____
 - ☒ d. Common Open Space must satisfy Sec. 130-1512 requirements. _____
- ☒ Development Units (Single-family detached dwellings shall account for at least fifty (50%) of the total number of residential units within the TND district. Two-family units, Townhomes, and multi-family units shall comprise less than fifty (50%) of units within the TND district _____
 - 1. In areas devoted to mixed residential uses:
 - ☒ a. Maximum number of single-family attached and detached units is 5 – 8± dwelling units per net acre _____
 - ☒ b. Maximum number of multi-family units is 8 - 40 dwelling units per net acre _____
 - ☒ c. The number of secondary dwelling units shall not be comprised of more than ten (10%) percent of the total number of single-family attached and detached units _____
 - 2. In areas devoted as mixed areas:
 - ☒ a. Maximum number of single-family attached and detached units is 5-8 dwelling units per net acre plus an additional number of units not to exceed ten (10%) percent _____
 - ☒ b. Maximum number of multi-family units is 8 - 40 dwelling units per net acre plus an additional number of units not to exceed ten (10%) percent _____
 - ☒ c. All dwelling units constructed above commercial uses shall be permissible in addition to the number of dwelling units authorized under Sec. 130-1512 as long as the total number of dwelling units is not increased by more than 10 units or ten (10%) percent, whichever is greater. _____
 - ☒ d. The total ground floor area of nonresidential development uses, including off-street parking areas, shall not exceed twenty-five (25%) percent of the TND District. _____
- ☒ Indicate current zoning of adjacent properties on all plan sheets _____
- ☒ Indicate the proposed methods for handling offsite storm water and the proposed outfall locations _____
- ☒ If this development is to be built in Phases than, delineate the boundaries. All data that is required for the project, as a whole, is required for each Phase. _____
- ☒ Lot and Block Standards
 - ☒ 1. Block's Perimeter depths and lengths _____
 - ☒ 2. Block lengths are less than 2000 ft in perimeter _____
 - ☒ 3. Blocks longer than 500 ft are traversed near the midpoint by a pedestrian path _____
 - ☒ 4. Lot widths _____
 - ☒ 5. Front building Setbacks for Mixed Used Areas (no minimum) _____
 - ☒ 6. Front Building Setbacks for Mixed-Residential Uses _____
 - ☒ a. 0-25 ft for Single-family detached _____
 - ☒ b. 0-15 ft for Single-Family attached and multifamily _____
 - ☒ 7. Rear Building Setbacks for the principle building on lots devoted to single-family detached residences is greater than thirty (30) feet from the rear lot line _____



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- ☒ 8. Reciprocal access easement and pedestrian access to the rear yard for zero (0) lot-line single-family dwellings _____
- ☒ A separate sketch plan for pedestrians and vehicular circulation showing/noting;
- ☒ 1. the general locations and rights-of-way, widths and the general design capacity of the system as well as access points to the major thoroughfare _____
 - ☒ 2. the preservation and enhancement of any existing pedestrian routes _____
 - ☒ 3. that all streets, except for alleys, are bordered by sidewalks on both sides _____
 - ☒ 4. that in residential areas, all dwelling entrances are connected to the adjacent public sidewalk with clear and well-lighted sidewalks _____
 - ☒ 5. the sidewalks are separated at least seven (7') feet from the curb _____
 - ☒ 6. that in mixed-use areas, clear and well-lighted walkways connect building entrances to the adjacent public sidewalk and associated parking areas _____
 - ☒ 7. that intersections of sidewalks with thoroughfares are well lit and clearly marked with contrasting paving materials at the edges or with striping _____
 - ☒ 8. that bicycle circulation is accommodated on streets and/or dedicated bicycle paths _____
 - ☒ 9. the provisions for minimizing conflicts with pedestrians and bicycles _____
 - ☒ 10. thoroughfares and utilities in TND Districts are connected to existing thoroughfares and utilities, or dead-end as stubs that are intended for connection to future thoroughfares _____
 - ☒ 11. the longest distance for a resident to an existing or proposed commercial, civic, or open open space area (should be approximately ½ mile or a 15 minute walk) _____
 - ☒ 12. Where public transit service is available or planned, convenient Access to Transit Stops shall be provided. Where transit shelters are provided, they shall be placed in highly visible locations that promote security through surveillance, and shall be well lighted. _____
- ☒ Notes to be placed on the plans
- ☒ All utilities are placed underground and/or shall run within Alley Easements _____
 - ☒ Conditions, covenants, and restrictions for all the property within a TND District must be filed in the Parish records by the Owner before a Lot is sold and/or a Building permit is issued. _____
 - ☒ In addition to other terms and conditions acceptable to the applicant, the conditions, covenants, and restrictions must create one (1) or more property owners Associations with mandatory membership for each property Owner, governed by Articles of Incorporation and Bylaws, which shall:
 - a. be organized by the applicant and operated with a financial subsidy from the applicant before the sale of any Lots within the TND District;
 - b. provide for the conditions and timing of transferring control of the Association from the applicant to the property Owners;
 - c. be responsible for maintenance of insurance and taxes on all Common Open Space, enforceable by liens placed on the Association by the Parish, as provided in the Association Bylaws;
 - d. at all times, cause all Owners to have Access to the Common Open Space within the TND District;
 - e. establish architectural standards that are in conformity with the requirements of this ordinance which shall be subject to review and approval by the Board of Directors of the Association or the Architectural Control Committee, as described below;
 - f. create an Architectural Control Committee to review Development for compliance with the architectural standards, to issue certificates of approval, and to review and approve the Development's architect, designer, and/or other professionals contributing to the Development;
 - g. provide for the ownership, Development, management, and maintenance of private open space (except plazas owned by individual property Owners), community parking facilities, community meeting hall, and other common areas;

- h. provide for a maintenance program for all property within the TND, including landscaping and Trees within the streetscape;
- i. require the collection of assessments from members in an amount sufficient to pay for its functions; and
- j. be effective for a term of not less than fifty (50) years.

III. General Description:

- ☒ A general description of the proposed TND shall include the following:
 - ☒ 1. The total acreage involved in the project. _____
 - ☒ 2. The number of acres devoted to the various categories of land use shown on the General Implementation Plan, percentage of total acreage represented by each category of use and component of development, plus an itemized list of uses proposed for each of the components which shall be the range of uses permitted for that section of the TND. This may be satisfied by a reference to all authorized uses within an existing zoning classification. _____
 - ☒ 3. Number of buildings _____
 - ☒ 4. The total number of residential units proposed for the project _____
 - ☒ 5. Density (residential units) _____
 - ☒ 6. The total square footage of office/commercial/industrial buildings proposed for the project _____
 - ☒ 7. Front, rear, and side building setbacks _____
 - ☒ 8. Minimum lot sizes _____
 - ☒ 9. State if this development is to be built in phases. If so, then provide all of the required data (items 1-8) for each phase. _____
 - ☒ 10. Architectural Drawings or renderings that address and/or satisfy the following:
 - ☒ a. Historic or architecturally significant existing structures are protected from demolition or encroachment by incompatible structures for landscape development _____
 - ☒ b. New structures in single-family residential are no more than three (3) stories _____
 - ☒ c. New structures in commercial, multi family residential or mixed use are no more than five (5) stories _____
 - ☒ d. Entries, facades, windows, doors, and roofs
 - ☒ 1. The architectural features, materials, and the articulation of a facade of a Building shall be continued on all sides visible from a public Thoroughfare. _____
 - ☒ 2. The front facade of the Principal Building on any Lot in a TND District shall face onto a public Thoroughfare. _____
 - ☒ 3. The front facade shall not be oriented to face directly toward a parking Lot. _____
 - ☒ 4. Porches, pent roofs, roof overhangs, hooded front doors or other similar architectural elements shall define the front entrance to all residences. _____
 - ☒ 5. For commercial Buildings, a minimum of fifty (50%) percent of the front facade on the ground floor shall be glass (transparent), including window or door openings allowing views into and out of the interior. _____
 - ☒ 6. New Structures on opposite sides of the same Thoroughfare should follow similar design guidelines. This provision shall not apply to Buildings bordering civic Uses _____
 - ☒ 7. Building and parking placement within the Neighborhood Center, or Town Center, should be arranged to create appropriately scaled continuous Building facades with as few non-pedestrian oriented breaks as possible. _____
 - ☒ 8. Building wall materials may be combined on each facade only horizontally, with the heavier generally below the lighter. _____
 - ☒ 9. Walls along Thoroughfares shall be made of brick, or block and stucco, or other material to match the facade of the Principal Building. _____



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- ☒ 10. Windows shall use clear glass panels. _____
- ☒ 11. All openings including porches, galleries, arcades and windows, with the exception of storefronts, shall be square or vertical in proportion. _____
- ☒ 12. Openings above the first Story shall not exceed fifty (50%) percent of the total Building wall area, with each façade being calculated independently. _____
- ☒ 13. The facades on retail frontages shall be detailed as storefronts and glazed no less than fifty (50%) percent of the sidewalk-level Story. _____
- ☒ 14. Doors and windows that operate as sliders are prohibited along frontages. _____
- ☒ 15. Pitched roofs, if provided, shall be symmetrically sloped no less than 5:12, except that porches may be attached sheds with slopes no less than 2:12. _____
- ☒ 16. Flat roofs shall be enclosed by parapets a minimum of forty-two (42") inches high, or as required to conceal mechanical equipment to the satisfaction of the Developer, Board or Directors and Architectural Control Committee. _____
- ☒ A statement indicating whether streets or roads (and pedestrian ways as appropriate) are proposed for public ownership and maintenance and whether approval is sought as part of the General Implementation Plan for private roads, if any, within the TND. _____
- ☒ A statement indicating what proposed arrangements are made with the appropriate agencies for the provision of needed utilities to and within the TND, including, if appropriate, water supply, treatment and distribution where on site treatment is proposed; storm drainage collection and disposal; electric power, gas, sewage collection, treatment and disposal where on-site treatment is proposed: and communications (telephone, cable television) _____

IV. Submittal:

- ☒ Plat (Ten (10) full scale prints, one (1) 11" x 17" reduced print), and one (1) 11" x 17" reduced print submitted in electronic form (.pdf file) _____
- ☒ Adjoining Property Owners Form (electronic). The subdivider must submit, in electronic format, a copy of the list indicating the names of the adjacent property owners, addresses and lot and square numbers as shown in the parish assessor's records. At least fourteen (14) days prior to review and determination by the Commissions, all Abutting property Owners shall be notified by regular mail by the Zoning Official of the Traditional Neighborhood Development and given an opportunity to submit written comments. Notice shall also be published in a newspaper of regular and general circulation in St Tammany Parish at least ten (10) days prior to the review. _____
- ☒ Review Fees as required by the subdivision ordinance and/or the development code _____
- ☒ Checklist that is fully completed and signed and dated by the Surveyor, Engineer, or Architect _____
- ☒ Legal Description of Site. This description shall be prepared by a land surveyor and shall be accompanied by a map showing bearings and dimensions at a suitable scale as determined by the Planning Commission Staff for reproduction, advertising and public hearing. _____
- ☐ Drainage Impact Study-Drainage Impact Analyses in accordance with the current Drainage Impact Policy. The requirements for the drainage impact study will be determined by the Engineering Department at the Pre-Application Conference. The applicant should indicate on a map the methods proposed for handling offsite discharge of storm water. _____
- ☐ Traffic impact study of the TND project on the surrounding area. The requirements for the traffic study and the intersections that are to be analyzed will be determined by the Engineering Department at the Pre-Application Conference. _____

Elizabeth Sonoy

HONEYBEE HOLDINGS, LLC

7283 WOODSTOCK DR.
BATON ROUGE, LA 70809

April 5, 2022

To Whom It May Concern:

Please allow this letter to serve as the statement required by St. Tammany Parish Ordinance Section 130-1517. Honeybee Holdings, LLC has sufficient funds to complete the public improvements shown on the conceptual plan provided.

If you have any further questions or need additional information, please don't hesitate to contact me. I can be reached at 225-326-4689.

Sincerely,



George "Adam" Kurz



DEPARTMENT OF THE ARMY
U.S. ARMY CORPS OF ENGINEERS, NEW ORLEANS DISTRICT
7400 LEAKE AVENUE
NEW ORLEANS, LOUISIANA 70118-3651

September 19, 2022

2022-2839-ZC

Project Manager:
Stephanie Castaing
(504) 862-1564
Stephanie.L.Castaing@usace.army.mil

Permit Application Number: MVN-2021-00435-EPP

PUBLIC NOTICE

Interested parties are hereby notified that a permit application has been received by the New Orleans District of the U.S. Army Corps of Engineers pursuant to: [] Section 10 of the Rivers and Harbors Act of March 3, 1899 (30 Stat. 1151; 33 USC 403); and/or [X] Section 404 of the Clean Water Act (86 Stat. 816; 33 USC 1344).

SINGLE-FAMILY RESIDENTIAL DEVELOPMENT IN ST. TAMMANY PARISH

NAME OF APPLICANT: D.R. Horton, c/o Hydrik Wetlands Consultants, Attn: Michael Henry, 2323 Highway 190, Suite 2, Hammond, Louisiana 70401 or mike@hydrik.com

LOCATION OF WORK: At approximately Latitude: 30.31021, Longitude: -89.86569, off Highway 190 at Honeybee Road, in Slidell, Louisiana, in St. Tammany Parish, as shown on the enclosed drawings.

Hydrologic Unit Code: 08090201 (Liberty Bayou-Tchfuncta River)

CHARACTER OF WORK: Clear, grade, excavate and fill for a single-family residential development-Honeybee Subdivision. The project will include 1,005 residential lots, ponds, roadways, associated utilities, and drainage infrastructure. The project as proposed would directly impact approximately 182.9 acres of wetlands and/or waterbottoms. The applicant proposed to contract with an approved mitigation bank to offset the adverse impact to jurisdictional wetlands.

The comment period for the Department of the Army Permit will close **20 days** from the date of this public notice. Written comments, including suggestions for modifications or objections to the proposed work, stating reasons thereof, are being solicited from anyone having interest in this permit and must be mailed so as to be received before or by the last day of the comment period. Letters and/or comments concerning the subject permit application must reference the Applicant's Name and the Permit Application Number and can be preferably emailed to the Corps of Engineers project manager listed above or forwarded to the Corps of Engineers at the address above, ATTENTION: REGULATORY DIVISION, RGE, Stephanie Castaing. This public notice is also available for review online at <https://go.usa.gov/xennJ>. Individuals or parties may also request an extension of time in which to comment on the proposed work by mail or preferably by emailing the specified project manager listed above. Any request for an extension of time to comment must be specific and substantively supportive of the requested extension and received by this office prior to the end of the initial comment period. The Branch Chief will review the request and the requestor will be promptly notified of the decision to grant or deny the request. If granted, the time extension will be continuous and inclusive of the initial comment period and will not exceed a total of 30 calendar days.

Corps of Engineers Permit Criteria

The decision whether to issue a permit will be based on an evaluation of the probable impacts, including cumulative impacts of the proposed activity on the public interest. That decision will reflect the national concern for both protection and utilization of important resources. The benefit which reasonably may be expected to accrue from the proposal must be balanced against its reasonably foreseeable detriments. All factors which may be relevant to the proposal will be considered including the cumulative effects thereof; among those are conservation, economics, aesthetics, general environmental concerns, wetlands, historic properties, fish and wildlife values, flood hazards, floodplain values, land use, navigation, shoreline erosion and accretion, recreation, water supply and conservation, water quality, energy needs, safety, food and fiber production, mineral needs, considerations of property ownership and, in general, the needs and welfare of the people.

The U.S. Army Corps of Engineers is soliciting comments from the public, federal, state, and local agencies and officials, Indian Tribes, and other interested parties to consider and evaluate the impacts of this proposed activity. Any comments received will be considered by the U.S. Army Corps of Engineers to determine whether to make, modify, condition, or deny a permit for this proposal. To make this decision, comments are used to assess impacts on endangered species, historic properties, water quality, general environmental effects, and other public interest factors listed above. Comments are used in the preparation of an Environmental Assessment and/or an Environmental Impact Statement pursuant to the National Environmental Policy Act. Comments are also used to determine the need for a public hearing and to determine the overall public interest of the proposed activity.

The New Orleans District has determined that additional information is required for NHPA compliance review. The possibility exists that the proposed work may damage or destroy presently unknown archeological, scientific, prehistorical, historical sites, or data. Issuance of this public notice solicits input from the State Archeologist and State Historic Preservation Officer regarding potential impacts to cultural resources.

The New Orleans District has determined that the activity will have no effect on the threatened Gopher Tortoise and the endangered Red-cockaded Woodpecker, based on the Information & Planning Consultation for Endangered Species in Louisiana (IPaC), dated January 27, 2020, between the U.S. Army Corps of Engineers, New Orleans and U.S. Fish and Wildlife Service, Ecological Services Office.

Our initial finding is that the proposed work is Not Likely to Adversely Affect any species listed as endangered by the U.S. Departments of Commerce, nor affect any habitat designated as critical to the survival and recovery of such species.

This notice initiates the Essential Fish Habitat (EFH) consultation requirements of the Magnuson-Stevens Fishery Conservation and Management Act. The applicant's proposal would result in the destruction or alteration of 0.0 acres of EFH utilized by various life stages of red drum and penaeid shrimp. Our initial determination is that the proposed action would have no adverse impact on EFH or federally managed fisheries in the Gulf of Mexico. Our final determination relative to project impacts and the need for mitigation measures is subject to review by and coordination with the National Marine Fisheries Service.

If the proposed work involves deposits of dredged or fill material into navigable waters, the evaluation of the probable impacts will include the application of guidelines established by the Administrator of the Environmental Protection Agency. Also, a certification that the proposed activity will not violate applicable water quality standards will be required from the Department of Environmental Quality, Water Quality Certifications, before a permit is issued.

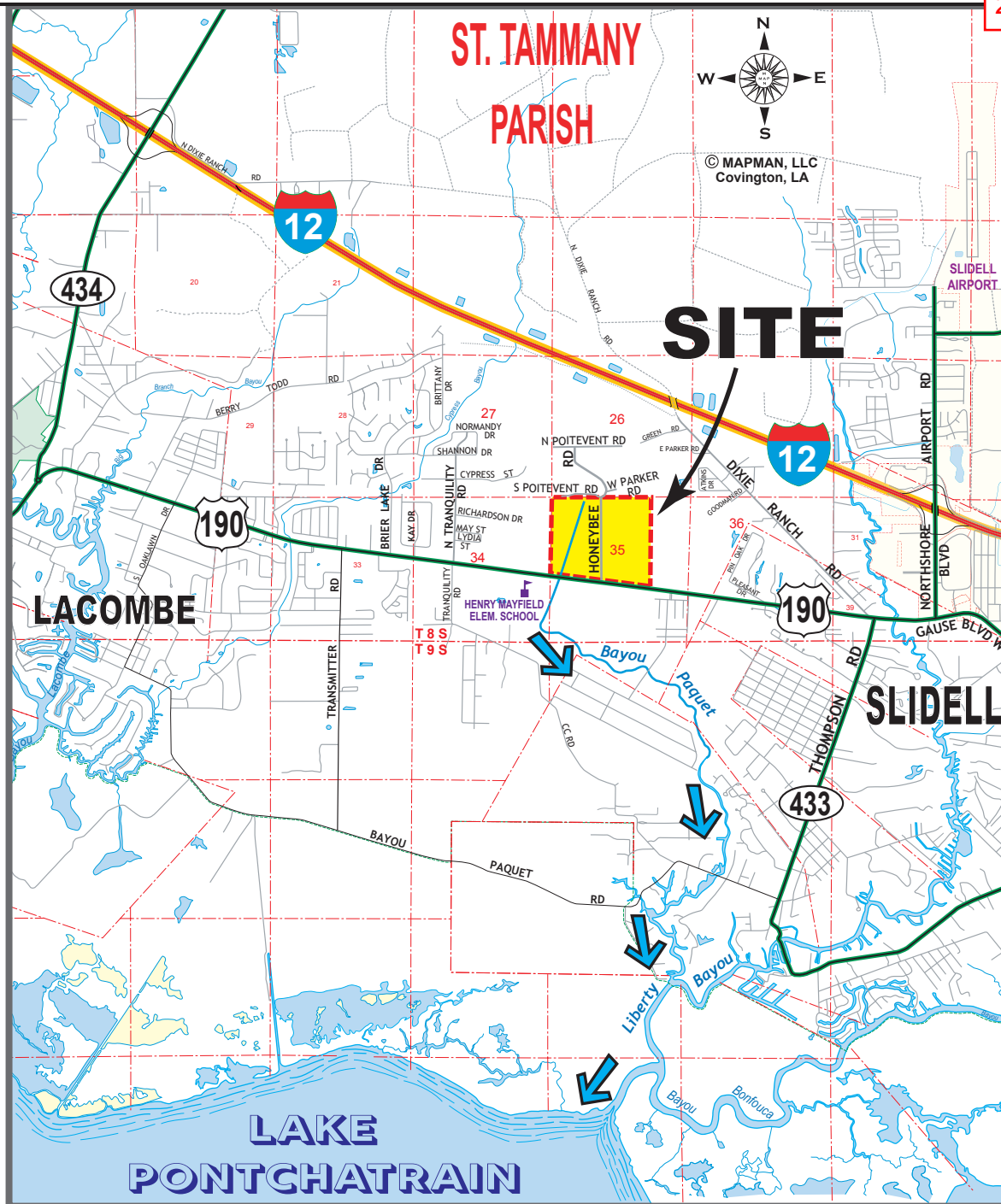
Any person may request, in writing, within the comment period specified in this notice, that a public hearing be held to consider this application. Requests for public hearings shall state, with particularity, the reasons for holding a public hearing.

The applicant has certified that the proposed activity described in the application complies with and will be conducted in a manner that is consistent with the Louisiana Coastal Resources Program. The Department of the Army permit will not be issued unless the applicant received approval or a waiver of the Coastal Use Permit by the Department of Natural Resources.

You are requested to communicate the information contained in this notice to any other parties whom you deem likely to have interest in the matter.

Brad P. LaBorde
Chief, Eastern Evaluation Branch

TO MANDEVILLE



TO SLIDELL

SCALE - MILE



SITE VICINITY

HONEY BEE SUBDIVISION
 SLIDELL, LOUISIANA
 SECTION 35, T8S-R13E
 ST. TAMMANY PARISH



HYDRİK
 WETLANDS - GIS CONSULTING

WWW.HYDRİK.COM (985)429-0333

APPLICANT:

D.R. HORTON, INC. - GULF COAST

LEGEND

= PROJECT LOCATION

= DRAINAGE DISCHARGE DIRECTION

FIGURE

1

SITE COORDINATES:

30.31021 N, -89.86569 W

PLEASE NOTE: MAP DATA IS FOR REFERENCE ONLY. THIS IS NOT A LEGAL SURVEY AND SHOULD NOT BE USED AS SUCH.

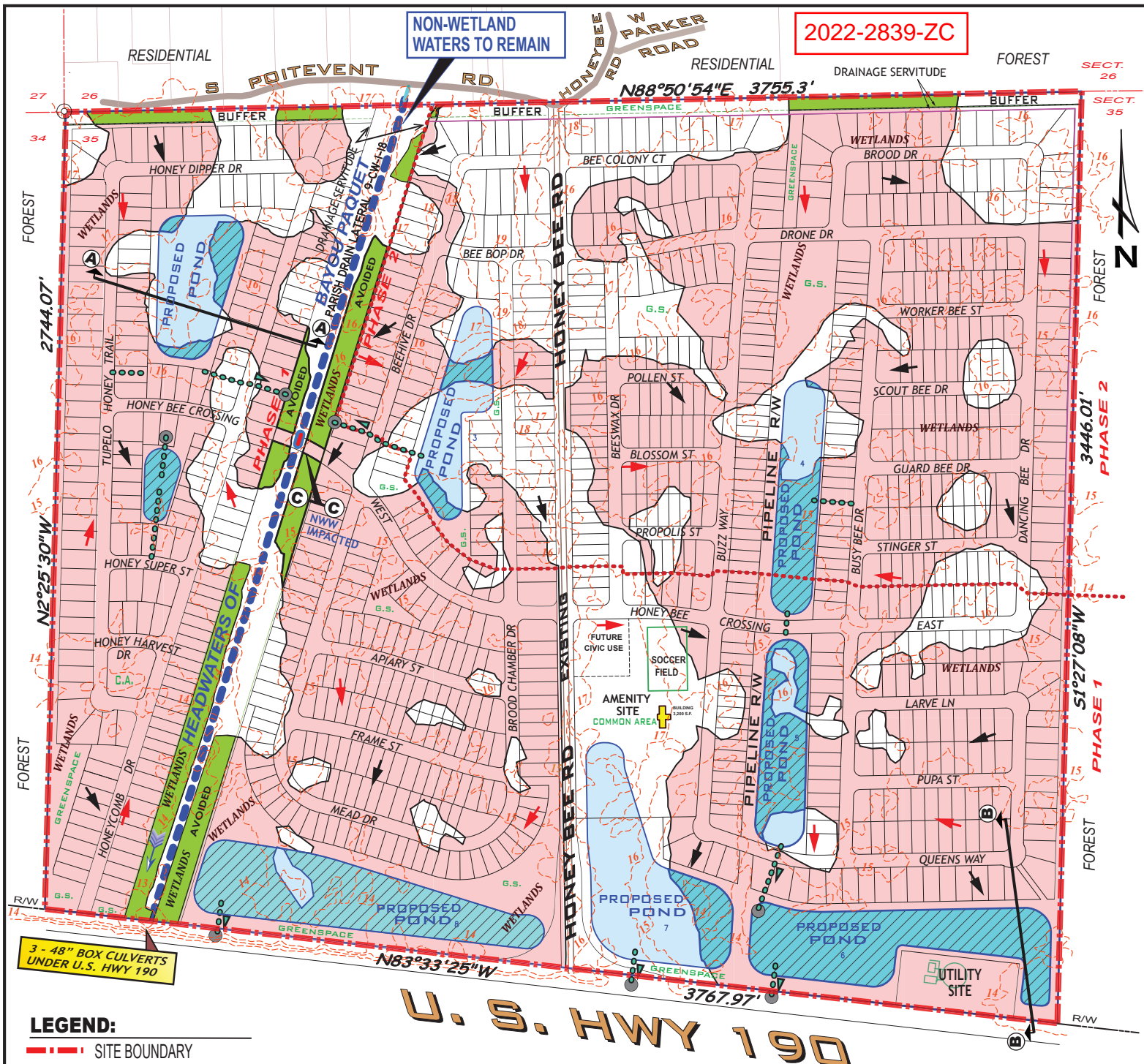
HF:

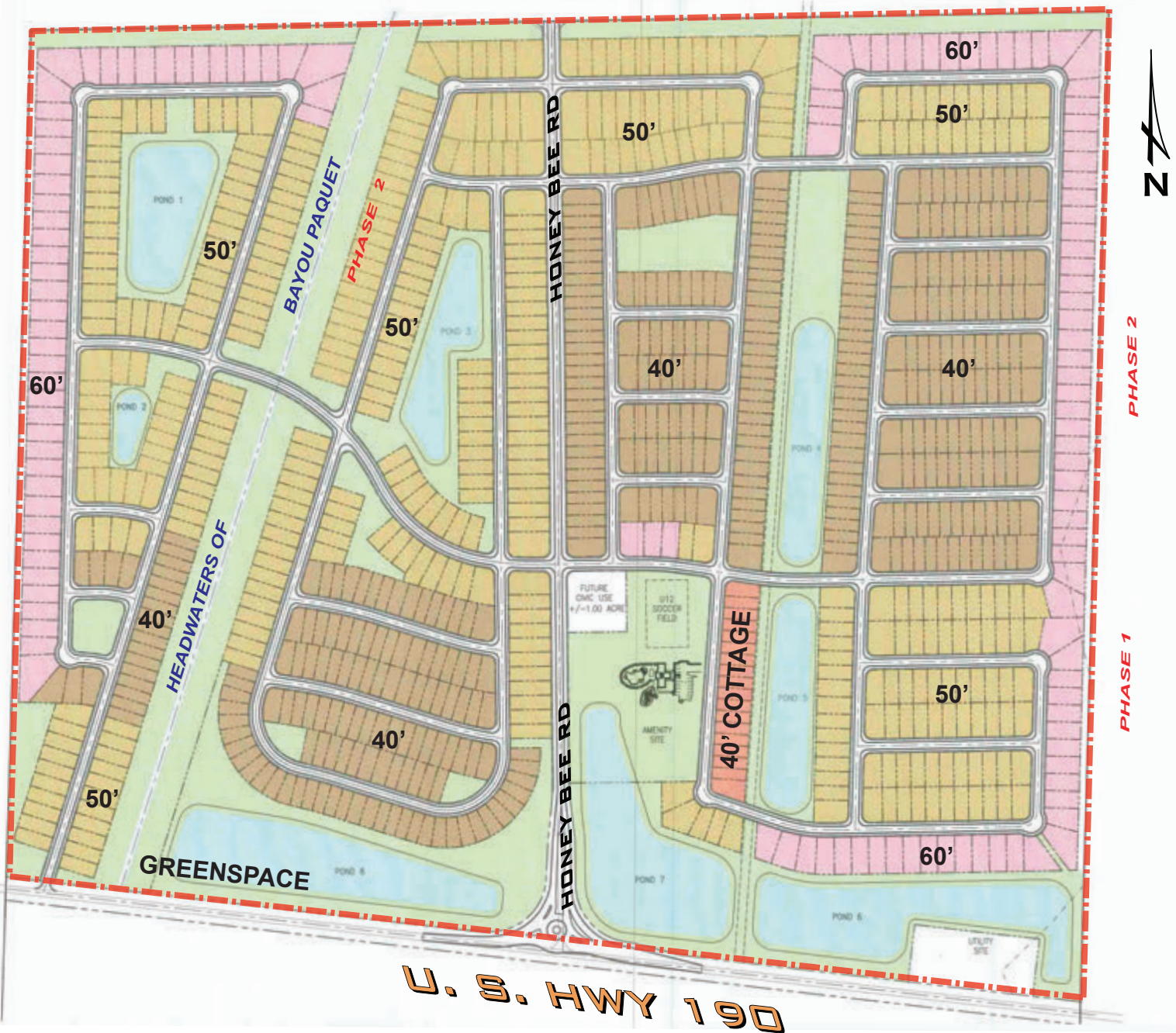
21011 BC

DATE:

3-01-2021

APPROVED:

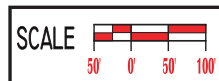




LOT SIZE KEY MAP

COLORING REFERENCED ABOVE:

- 40' x 120' LOTS
- 50' x 120' LOTS
- 60' x 120' LOTS
- 40' x 120' COTTAGE STYLE HOME



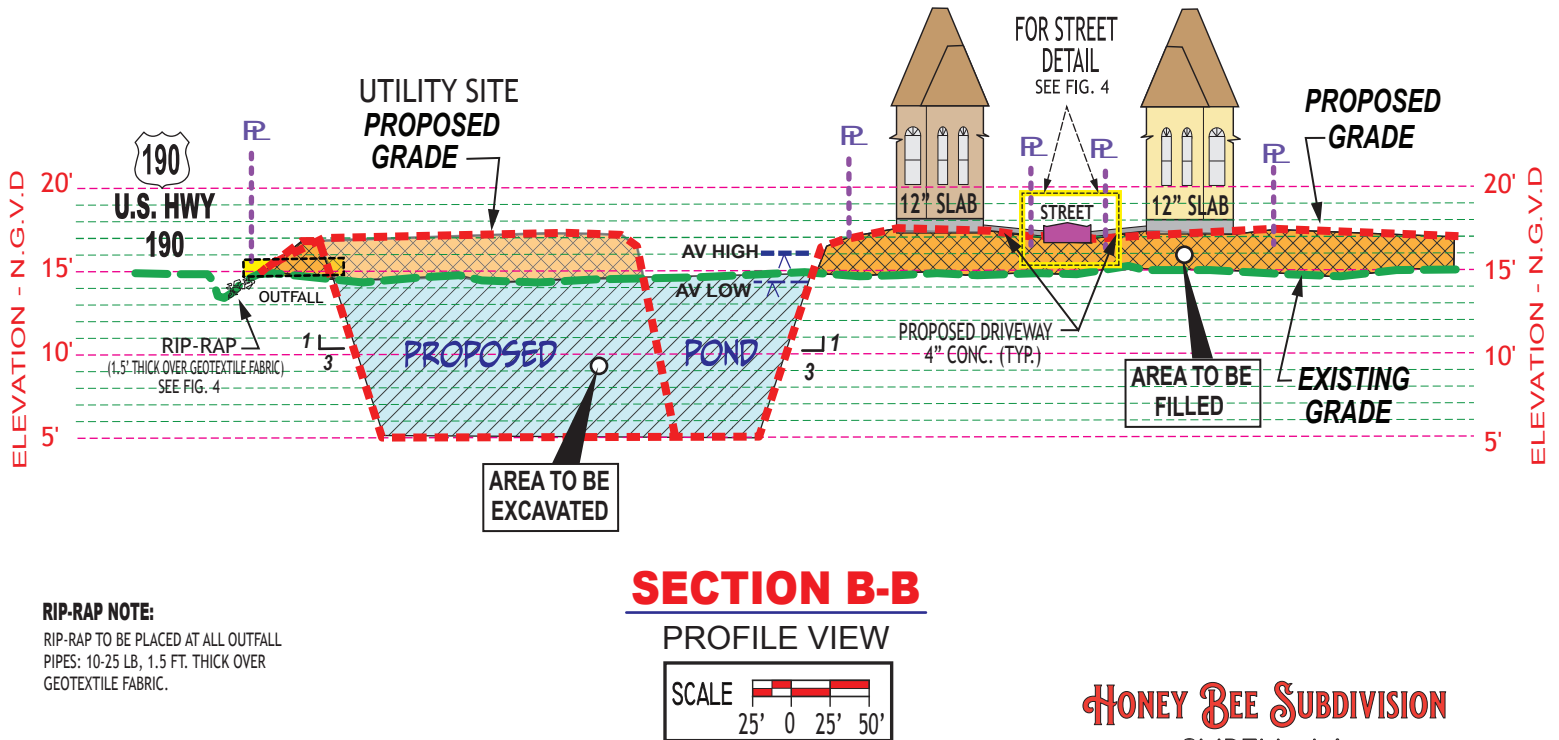
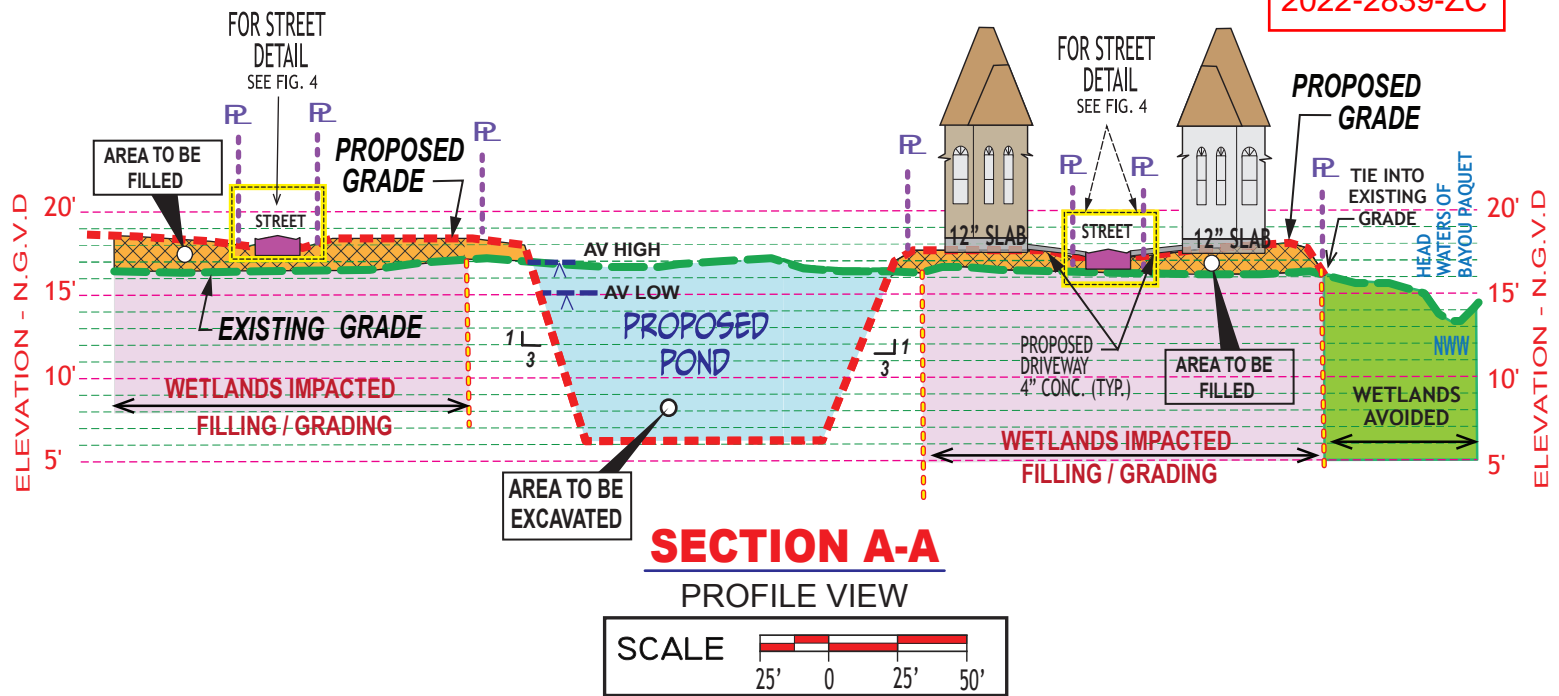
APPLICANT:
D.R. HORTON, INC. - GULF COAST

HYDRIK
WETLANDS - GIS CONSULTING
WWW.HYDRIK.COM (985)429-0333

HONEY BEE SUBDIVISION
SLIDELL, LOUISIANA
SECTION 35, T8S-R13E
ST. TAMMANY PARISH

FIGURE
2A

HF: 21011 BC DATE: 8/24/2021 APPROVED:



RIP-RAP NOTE:
RIP-RAP TO BE PLACED AT ALL OUTFALL
PIPES: 10-25 LB, 1.5 FT. THICK OVER
GEOTEXTILE FABRIC.

LEGEND:

- EXISTING GRADE
- PROPOSED GRADE
- PROPOSED CONCRETE
- AREA TO BE FILLED
- WETLANDS TO BE FILLED
- WETLANDS TO BE EXCAVATED
- AREA TO BE EXCAVATED

HONEY BEE SUBDIVISION
SLIDELL, LA

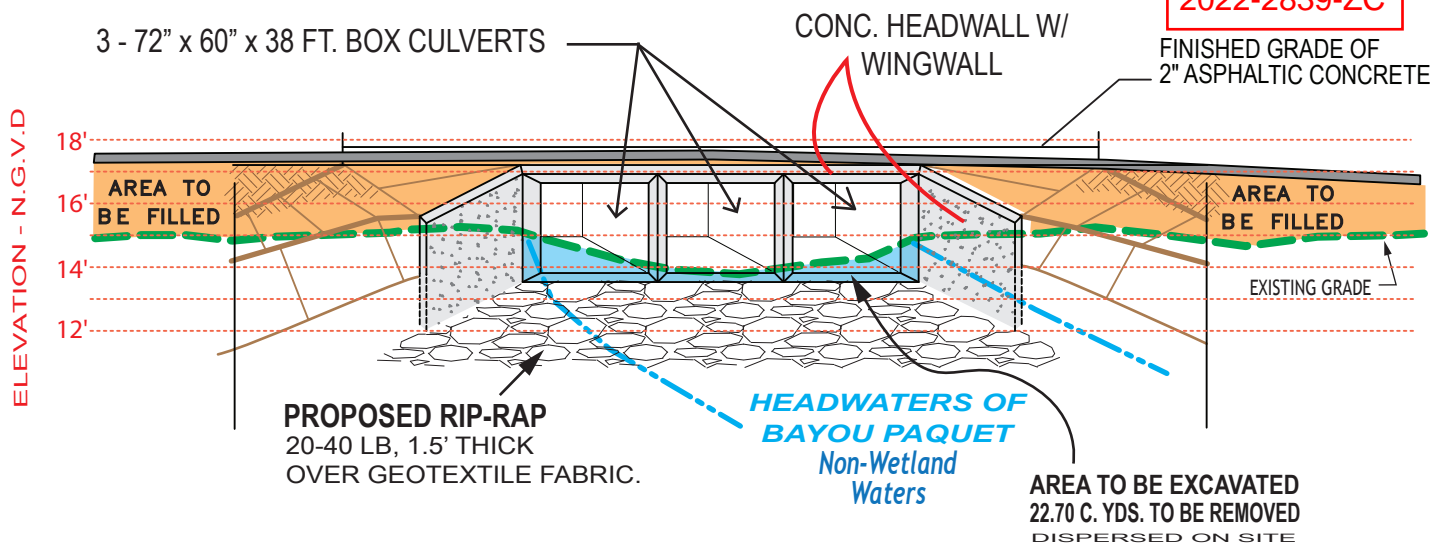
APPLICANT:
D.R. HORTON, INC. - GULF COAST

HYDRIK
WETLANDS - GIS CONSULTING
WWW.HYDRIK.COM (985)429-0333

HONEY BEE SUBD.
SECTION 35, T8S-R13E
ST. TAMMANY PARISH, LA

FIGURE
3

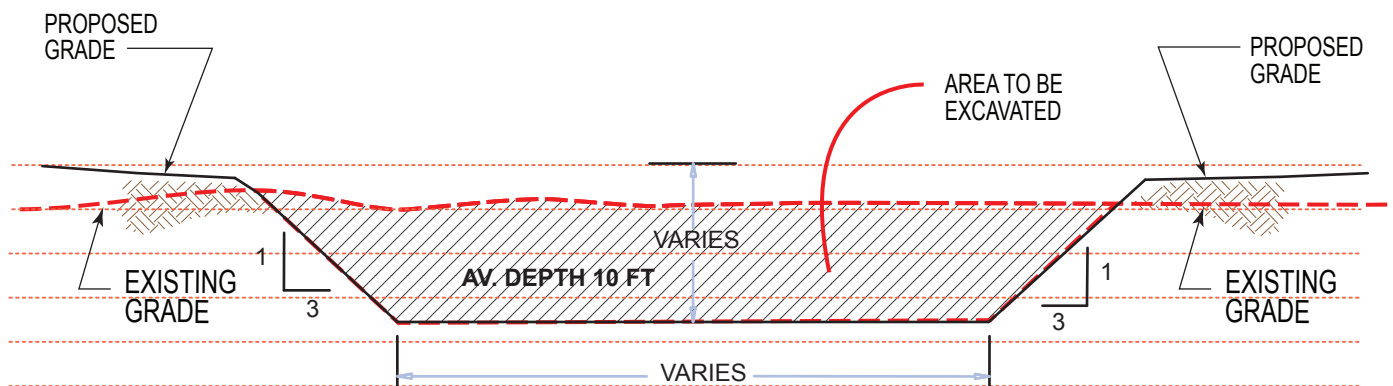
HF:21011 BC DATE 3/01/21 8/25/21 APPROVED:

**SECTION C-C****BOX CULVERT - BAYOU PAQUET STREET CROSSING**

PROFILE VIEW
NOT TO SCALE

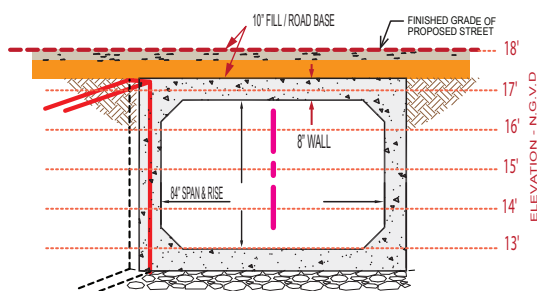
RIP-RAP NOTE:

20-40 LB RIP-RAP TO BE PLACED
1.5 FT. THICK OVER GEOTEXTILE FABRIC.

**TYPICAL DETENTION POND SECTION**

PROFILE VIEW
NOT TO SCALE

HONEY BEE SUBDIVISION
SLIDELL, LA

**TYPICAL CONCRETE BOX CULVERT DETAIL**

NOT TO SCALE

APPLICANT:

D.R. HORTON, INC. - GULF COAST

HYDRIK

WETLANDS - GIS CONSULTING

WWW.HYDRIK.COM (985)429-0333

HONEY BEE SUBD.
SECTION 35, T8S-R13E
ST. TAMMANY PARISH, LA

FIGURE
3A

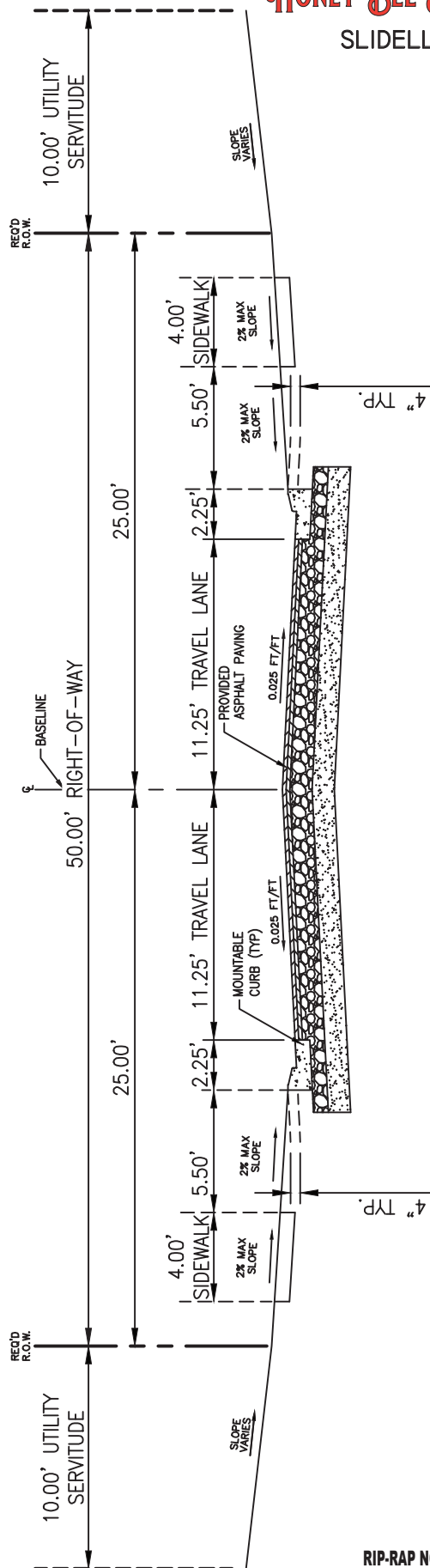
HF:21011 BC

DATE 3-01-2021

APPROVED:

HONEY BEE SUBDIVISION

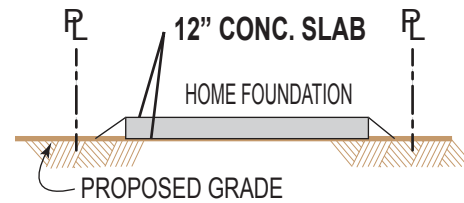
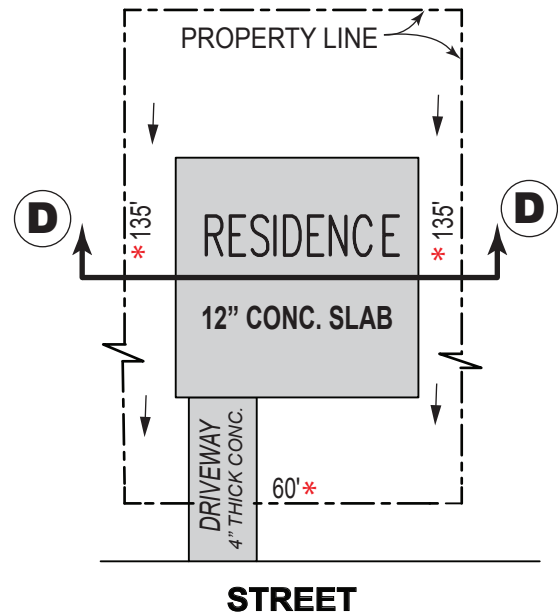
SLIDELL, LA



50' ROW
TYPICAL SECTION
 NOT TO SCALE

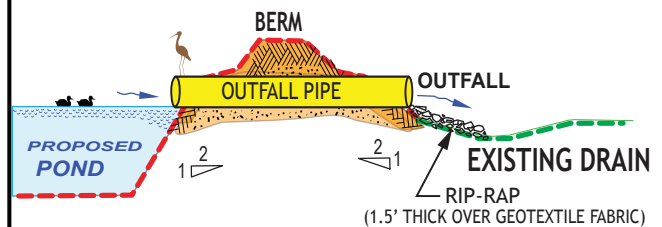
RIP-RAP NOTE:

RIP-RAP TO BE PLACED AT ALL OUTFALL
 PIPES: 10-25 LB, 1.5 FT. THICK OVER
 GEOTEXTILE FABRIC.

**SECTION D-D****TYPICAL LOT LAYOUT**

NOT TO SCALE

* NOTE: LOT DEMINSION VARIES

**POND OUTFALL PROFILE**

NOT TO SCALE

APPLICANT:

D.R. HORTON, INC. - GULF COAST



HONEY BEE SUBD.
SECTION 35, T8S-RI3E
ST. TAMMANY PARISH, LA

FIGURE
4



ZONING STAFF REPORT
2022-3005-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Location: Parcel located on the south side of Louisiana Highway 22, east of Mitcham Road, north of Cialona Road, being Parcel A-2, Madisonville; S18, T7S, R10E; Ward 1 **Council District:** 4

Owner: TNB Properties, LLC – Stephen M. Blanc Jr. **Posted:** October 11, 2022

Applicant: Stephen M. Blanc Jr. **Commission Hearing:** November 2, 2022

Size: 2 acres **Prior Determination:** Postponed – October 4, 2022

Determination: Approved, Denied, Postponed



Current Zoning

A-2 Suburban District

Requested Zoning

HC-2 Highway Commercial District

Future Land Use

Mixed-Use

Highway 22 Expansion

Flood Zone

Effective Flood Zone C

Critical Drainage: No

Findings

1. The petitioner is requesting to change the zoning classification from A-2 Suburban District to HC-2 Highway Commercial District. The site is located on the south side of Louisiana Highway 22, east of Mitcham Road, north of Cialona Road, being Parcel A-2, as shown on the submitted resubdivision survey attached hereto.

Zoning History

2. Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
09-2116	Unknown	A-2 Suburban District – Comprehensive Rezoning

Compatibility or Suitability with Adjacent Area

3. Table 2: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification	Zoning Ordinance
North	Commercial	HC-1 Highway Commercial District	09-2116 – Comprehensive Rezoning
South	Residential	A-2 Suburban District	09-2116 – Comprehensive Rezoning
East	Residential	A-2 Suburban District	09-2116 – Comprehensive Rezoning
West	Undeveloped	HC-2 Highway Commercial District	ZC # 2019-1353-ZC - C.S. 19-4079

4. The subject property is currently undeveloped and abuts a residential neighborhood to the south, an undeveloped commercially-zoned parcel to the west, an undeveloped residentially zoned parcel to the east, and a commercial development and undeveloped property to the north across Highway 22. The purpose of the existing A-2 Suburban District is to provide for the location of single-family residences at a density of one dwelling unit per acre.
5. The purpose of the requested HC-2 Highway Commercial District is to provide for the location of moderately scaled, intense retail, office and service uses. Staff would note that if rezoned to a commercial zoning classification, this property must comply with commercial regulations including parking, landscaping, and drainage among others.

Zoning Commission
October 4, 2022

Department of Planning and Development
St Tammany Parish, Louisiana

MSK
2022-3005-ZC



ZONING STAFF REPORT
2022-3005-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

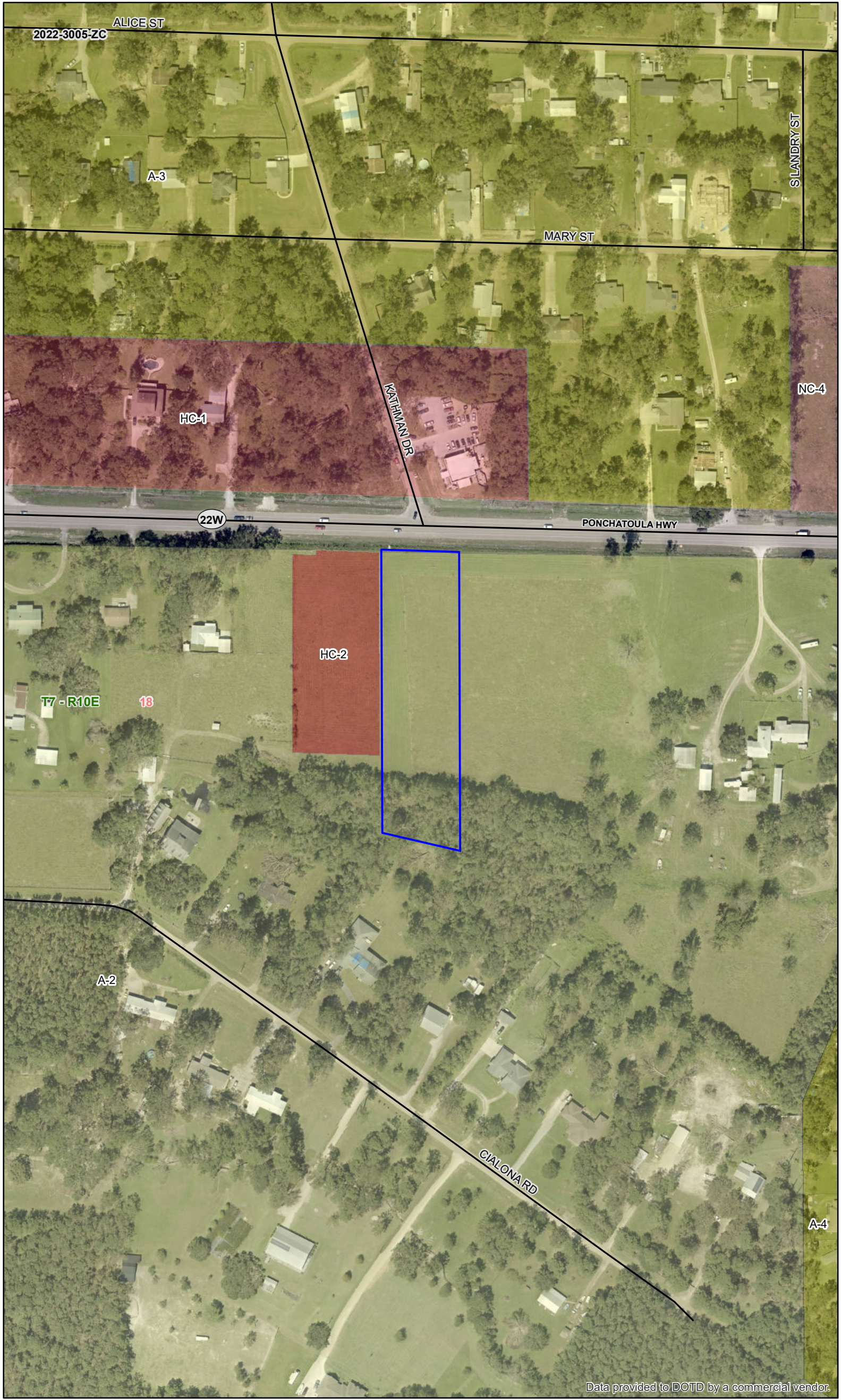
6. Based on the typical rezoning pattern for the property situated along Highway 22, west of Highway 1085 and east of the Parish line, there seems to be a majority of parcels that were either rezoned to accommodate commercial uses during the 2009 Comprehensive Rezoning or rezoned via submission of an application to the Zoning Commission and Parish Council. Based on the current zoning patterns and associated zoning maps, this section of Highway 22 appears to be trending towards commercial zoning classifications which allow for commercial uses although the rezoning application did not state the reason for the request.
7. A change in zoning will allow the applicant to operate any of the following permitted commercial uses: All uses permitted in the HC-1 Highway Commercial District and Banks and financial institutions; Convenience stores with gas; Drive-in restaurants; Liquor stores; Any private office use that is a permitted use in the NC district over 20,000 sq. ft.; Clubs, lodges, fraternal and religious institutions, meeting halls (over 20,000 sq. ft.); Veterinary clinics (with outdoor kennels); Parcel post delivery stations; Mini-warehouses; Commercial kennels; Outdoor storage yards that do not occupy an area greater than 50 percent of land area, and are enclosed by an eight-foot opaque perimeter fence, located on the same parcel as, and are accessory to an existing mini-warehouse, not to be located on the street side; Lodging, 100 rooms or less (including apartments, hotels, motels); Automotive sales not to exceed two acres of display and storage; Outdoor retail and storage yards; Potable storage containers use for storage; Outdoor display area of pre-assembles building, pool and playground equipment.

Consistency with New Directions 2040

Mixed-Use: These areas are flexible and appropriate for higher concentration of residential and commercial uses, allowing shorter trips between destinations and opportunities for walkable, compact development patterns. Mixed Use areas are typically located at or near the Parish's existing hubs of activity and intersections of major roads, as well as along major traffic corridors. Mixed Use areas may also include higher density residential uses, such as garden apartments and condominiums.

Highway 22 Expansion: Per the 2040 New Directions Future Land Use Map and LADOTD, Highway 22 West will be refurbished to include a roundabout at the intersection of Louisiana Highway 1085 and Louisiana Highway 22. There are also plans for Highway 22 to be widened to three lanes along the St. Tammany and Tangipahoa border.

8. The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:
 - i. Strategy 1:5:1: Locate new residential and commercial development within, adjacent to, or near existing towns and activity centers and associated infrastructure, services, and amenities.
 - ii. Strategy 1:5:2 Locate high intensity land uses adjacent to high capacity transportation corridors.
 - iii. Goal 5:1: The Parish will designate adequate land served by supporting infrastructure for use by businesses and industries seeking to begin or expand.



2022-3005-ZC

ALICE ST

A-3

SLANDRY ST

MARY ST

HC-1

KITHMAN DR

NC-4

22W

PONCHATOULA HWY

HC-2

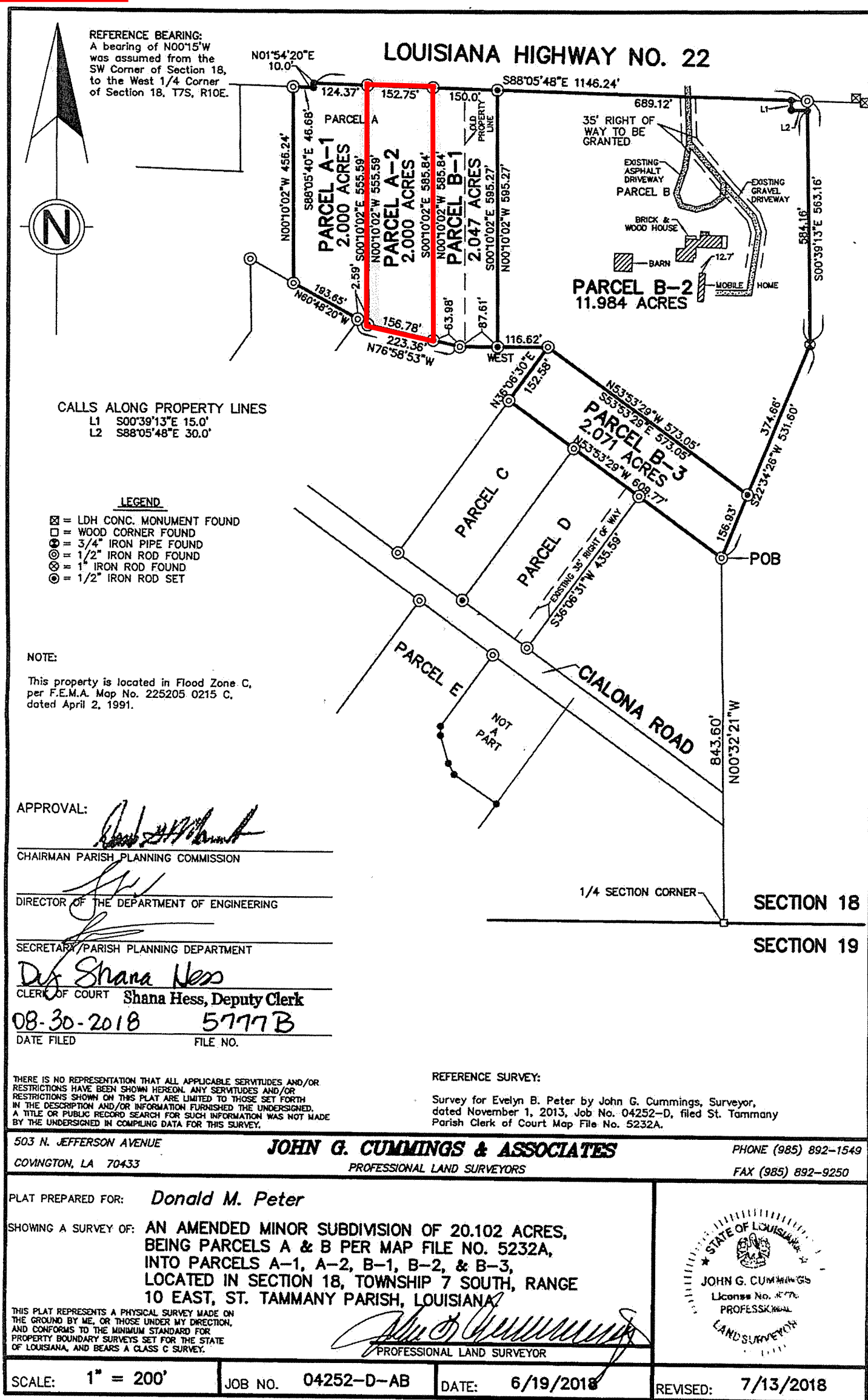
T7 - R10E

13

A-2

CIALONA RD

A-4



ST. TAMMANY PARISH COUNCIL

ORDINANCE

ORDINANCE CALENDAR NO. 7079 ORDINANCE COUNCIL SERIES NO. _____

COUNCIL SPONSOR DEAN PROVIDED BY: CIVIL DISTRICT ATTORNEY

INTRODUCED BY: MR. DEAN SECONDED BY: MR. FITZGERALD

ON THE 4TH DAY OF AUGUST, 2022

ORDINANCE TO AMEND THE ST. TAMMANY PARISH CODE OF ORDINANCES, PART II-LAND DEVELOPMENT CODE, CHAPTER 130-UNIFIED DEVELOPMENT CODE, ARTICLE V-OVERLAYS, DIVISION 6-PLANNED CORRIDOR DISTRICT, SECTION 130-1814-SPECIAL DESIGN STANDARDS, TO LIMIT HOURS OF OPERATION FOR CERTAIN USES WITHIN THE HIGHWAY 21 PLANNED CORRIDOR (WARD 1, DISTRICT 1).

WHEREAS, St. Tammany Parish Code of Ordinance Sec. 130-1809, et seq., establishes a planned corridor overlay district for property located on Highway 21 between the Tchefuncte River and Highway 1077; and

WHEREAS, the purpose of the Highway 21 Planned Corridor District is to provide for the preservation of the certain existing special standards for all commercial development in the District to ensure continuous conformance to all applicable standards and the integrity of the District; and

WHEREAS, the Highway 21 Planned Corridor District incorporates special design standards in order to maintain enhanced aesthetics, traffic flow, and sensitivity to long-established residential neighborhoods abutting the District; and

WHEREAS, stringent development criteria are required in the Highway 21 Planned Corridor District to ensure that harmony and compatibility with adjacent land uses are not adversely affected; and

WHEREAS, the proliferation of automated car washes in St. Tammany Parish has underscored the importance of protecting abutting residential property owners from increased noise, illumination, and traffic caused by automated car washes; and

WHEREAS, in order to ensure that existing residential property owners are not adversely affected by automated car washes in the Highway 21 Planned Corridor District, it is necessary to limit hours of operation for such businesses which abut residentially-zoned properties; and

WHEREAS, in order to balance the interest of business operators and residential property owners, hours of operation for automated car washes in the Highway 21 Planned Corridor District must be limited to 7:00 am to 7:00 pm.

THE PARISH OF ST. TAMMANY HEREBY ORDAINS: that the St. Tammany Parish Code of Ordinances, Part II-Land Development Code, Chapter 130-Unified Development Code, Article V-Overlays, Division 6-Planned Corridor District, Section 130-1814-Special Design Standards, be amended as follows:

The minimum standards for the Highway 21 planned corridor overlay will be the same as the standards for all commercial development unless otherwise stated below:

(1) *Site and structure provisions.*

- a. Minimum lot area.
- b. Minimum area regulations.
- c. Height regulations.
- d. Off-street parking and loading requirements. The parking area shall be located no less than 50 feet from the property line nor shall it encroach on the required street planting area.
- e. Landscaping regulations. Landscape regulations shall be the same as for other commercial properties, except that the following additional standards shall apply:

1. *Planting requirements.*

(i) *Street planting area requirements.*

- A. The street planting area shall be a minimum of 25 feet in depth. For lots greater than 150 feet in depth, the street planting area shall include one additional foot for every ten feet in depth.
- B. The street planting area shall contain a minimum of one Class A tree per every 300 square feet of the street planting area and one Class B tree per every 200 square feet of the street planting area.
- C. Planting beds near signage and structures are recommended.
- D. Grass or groundcover are recommended for areas without trees.

(ii) *Buffer planting area requirements.* A nonresidential property abutting a residential district shall have a minimum side yard and rear yard requirement of 30 feet.

(iii) *Parking area requirements.*

- A. The parking area shall be screened from view when the parking area is oriented to the side and/or the front of the structure to reduce visibility of the parking area from the highway using one of the following methods:
 - i. 70 percent sight obscuring screen of living material.
 - ii. 100 percent sight obscuring screen six feet in height of non-living material.
 - iii. Earth berm with a minimum height of three feet.
- B. Planting areas shall be a minimum of ten percent of the paved parking area.

2. *Protection of landscape areas.* The placement of barrier curbs or wheel stops to protect landscape areas from vehicular damage shall be required.

f. Sign regulations. Sign regulations shall be the same as for other commercial properties, except that the following additional standards shall apply:

1. Area and height provisions for ground signs.

(i) Single occupancy.

- A. Area allowed: 25 square feet.
- B. Height allowed: six feet.

(ii) Multiple occupancy.

- A. Area allowed: 50 square feet.
- B. Height allowed: eight feet.

2. No internal illumination.

3. White light only, no colored lighting.

4. Spectrum colors only, no iridescent colors permitted.

5. Personal identification signs with any dimensions exceeding 24 inches shall require an administrative permit. Such signs shall not exceed four square feet.

g. Lighting requirements.

h. Utility requirements.

i. Setback requirements. For lots with frontage along Highway 21 only, the following setback requirements shall be applied:

- 1. Principal buildings: 100 feet from the property line.
- 2. Accessory structures: 100 feet from the property line.

j. Hours of operation for automated car washes abutting residentially-zoned property shall be
limited to 7:00 am to 7:00 pm.

REPEAL: All ordinances or parts of Ordinances in conflict herewith are hereby repealed.

SEVERABILITY: If any provision of this Ordinance shall be held to be invalid, such invalidity shall not affect other provisions herein which can be given effect without the invalid provision and to this end the provisions of this Ordinance are hereby declared to be severable.

EFFECTIVE DATE: This Ordinance shall become effective immediately upon final adoption.

MOVED FOR ADOPTION BY: _____SECONDED BY: _____

WHEREUPON THIS ORDINANCE WAS SUBMITTED TO A VOTE AND
RESULTED IN THE FOLLOWING:

YEAS:

NAYS:

ABSTAIN:

ABSENT:

THIS ORDINANCE WAS DECLARED DULY ADOPTED AT A REGULAR
MEETING OF THE PARISH COUNCIL ON THE 1ST DAY OF SEPTEMBER, 2022; AND
BECOMES ORDINANCE COUNCIL SERIES NO. 22-

JERRY BINDER, COUNCIL CHAIRMAN

ATTEST:

KATRINA L. BUCKLEY, COUNCIL CLERK

MICHAEL B. COOPER, PARISH PRESIDENT

Published Introduction: AUGUST 17, 2022
Published Adoption: _____, 2022
Delivered to Parish President: _____, 2022 at _____
Returned to Council Clerk: _____, 2022 at _____



ZONING STAFF REPORT
2022-3046-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

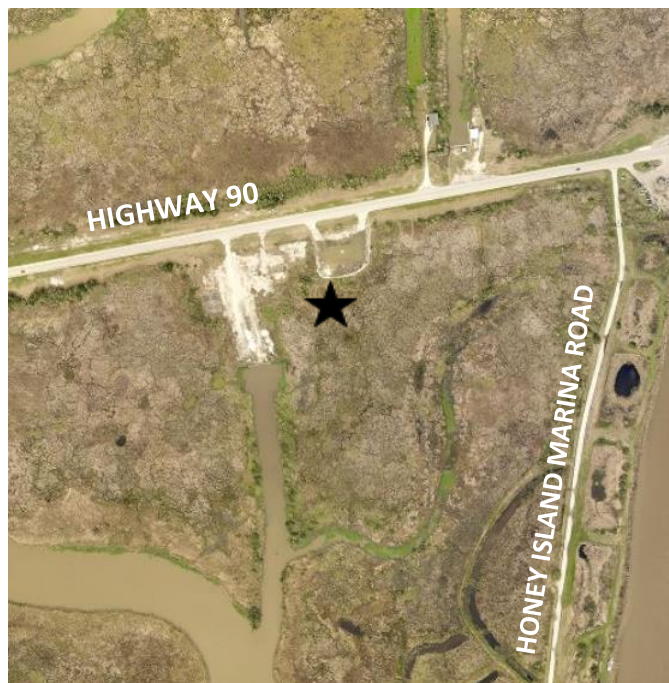
985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Location: Parcel located on the south side of US Highway 90, west of Honey Island Marina Road, Slidell; S29, T9S, R16E; Ward 8, District 13
Council District: 13

Owner: 46564 Highway 90, LLC – Joe Strain
Posted: October 13, 2022

Applicant: Joe Strain
Commission Hearing: November 2, 2022

Size: 5.5 acres
Determination: Approved, Denied, Postponed



Current Zoning

A-1 Suburban District

Requested Zoning

HC-3 Highway Commercial District

Future Land Use

Coastal Conservation Area

Flood Zone

Effective Flood Zone A10

Preliminary Flood Zone VE-18

Critical Drainage:

Yes

Findings

1. The petitioner is requesting to change the zoning classification from A-1 Suburban District to HC-3 Highway Commercial District. The site is located on the south side of US Highway 90, west of Honey Island Marina Road, Slidell.

Zoning History

Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
86-051A	Rural	SA Suburban Agriculture
09-2117	SA Suburban Agriculture	A-1 Suburban District – Comprehensive Rezoning

2. The subject property is a 5.5-acre parcel that was previously occupied by commercial uses prior to St. Tammany's Comprehensive Rezoning. The property now sits cleared and vacant of any structures. Per the applicant's zoning request application, the most previous structure was a convenience store that is no longer in service.

Compatibility or Suitability with Adjacent Area

3. Table 2: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification	Ordinance
North	Residential Undeveloped	A-1 Suburban District HC-2 Highway Commercial District PF-2 Public Facilities District	09-2117 16-3607 09-2117
South	Undeveloped	A-1 Suburban District	09-2117
East	Undeveloped	A-1 Suburban District	09-2117
West	Undeveloped	HC-2 Highway Commercial District PF-2 Public Facilities District	17-3720 09-2117



ZONING STAFF REPORT
2022-3046-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

4. The subject property abuts undeveloped land to the east, a single residence to the north across the street from US Highway 90, and undeveloped property to the south and west. The site is flanked by property zoned A-1 Suburban District to the east and south, but is also adjacent to property zoned HC-2 Highway Commercial District and PF-2 Public Facilities District to the west as well as across the Highway to the north. Based on the typical rezoning pattern for the undeveloped property along this portion of US Highway 90 and the Parish line, there seems to be a number of parcels that have been rezoned for Highway Commercial or Industrial uses and/or Public Facilities.
5. If approved, the applicant would be able to have the following uses on the site: Any uses permitted in the NC districts, the HC-1 District, and the HC-2 District and: Automotive service, stations, centers, and sales; Indoor recreation establishments, such as bowling alleys, skating rinks and movie theaters; Drive-in movie theaters; Storage facilities associated with insurance companies or related offices for wrecked or impounded vehicles (minimum standards apply); Commercial recreation, excluding riverboat gaming and associated facilities, outdoor (no lights); Lodging, greater than 100 rooms (including apartments, hotels, motels); Nightclubs, bars and lounges; Entertainment which typically consists of live or programmed performances; Bus, truck or other transportation terminals; Outdoor retail sales and storage yards; Portable storage containers used for storage; Outdoor display area of pre-assembled building, pool and playground equipment; Crematorium; Cemeteries.

Consistency with New Directions 2040

Coastal Conservation: areas that are within the Parish's "coastal zone" (all areas south of Interstate 12, per Louisiana Revised Statute § 49:214.24) that are not currently developed with intense uses, and are within the 100-year floodplain. Coastal Conservation areas are critically important for a variety of fisheries and wildlife, essential to water quality and groundwater recharge, and should be conserved to ensure species and habitat sustainability. Coastal wetlands also serve as storm buffers, and help to minimize storm runoff and subsequent flood damage to area homes and businesses. The areas include undisturbed coastal marshes, swamps, and tidal wetlands and adjacent lands accommodating very low-intensity human land uses - namely, highly dispersed residences, though low-impact agricultural, commercial, and public and institutional uses, such as recreation, tourism, research, and education may be appropriate.

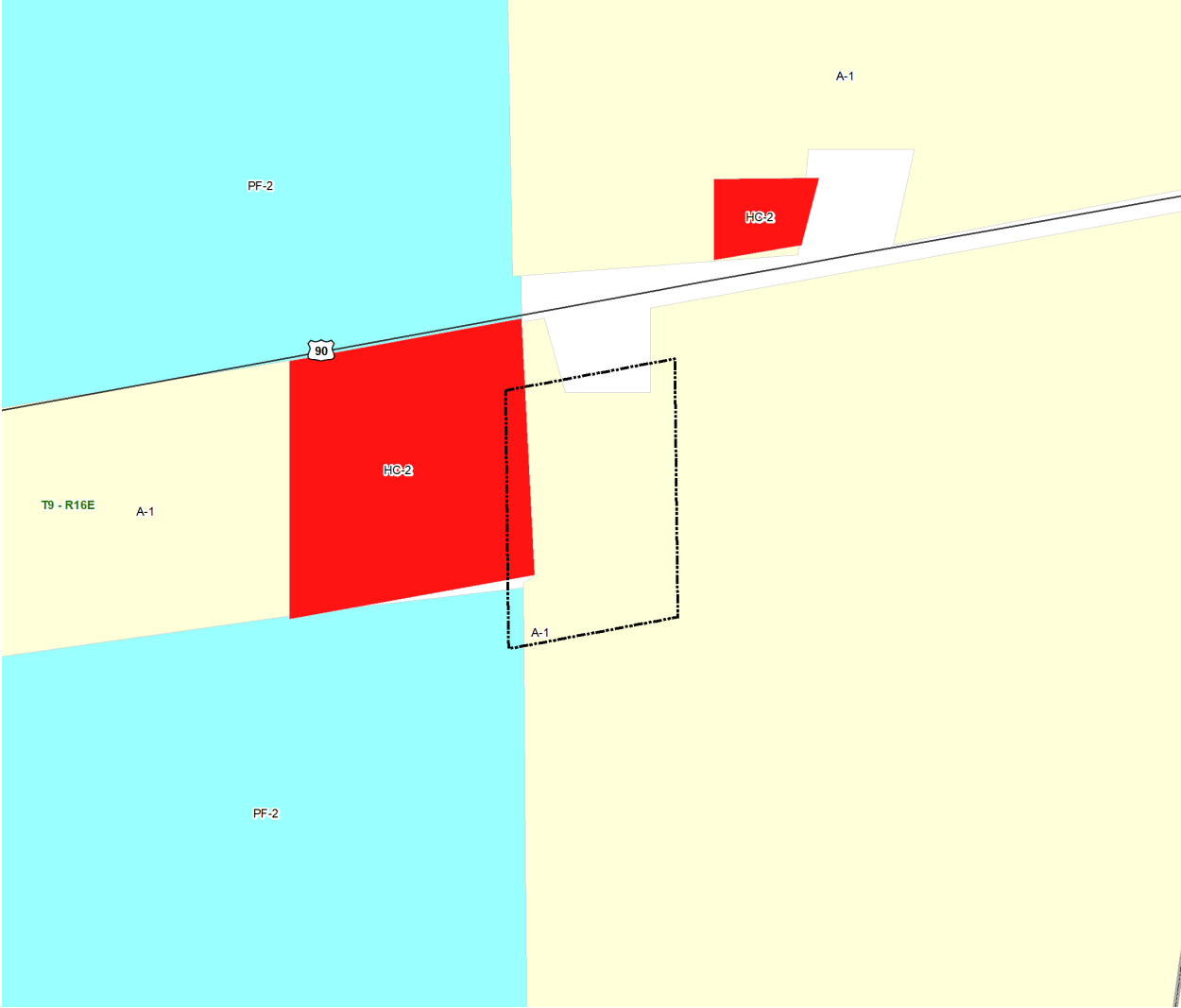
1. The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:
 - i. Strategy 1:5:2: Locate high intensity land uses adjacent to high capacity transportation corridors
 - ii. Goal 5:1: The Parish will designate adequate land served by supporting infrastructure for use by businesses and industries seeking to begin or expand



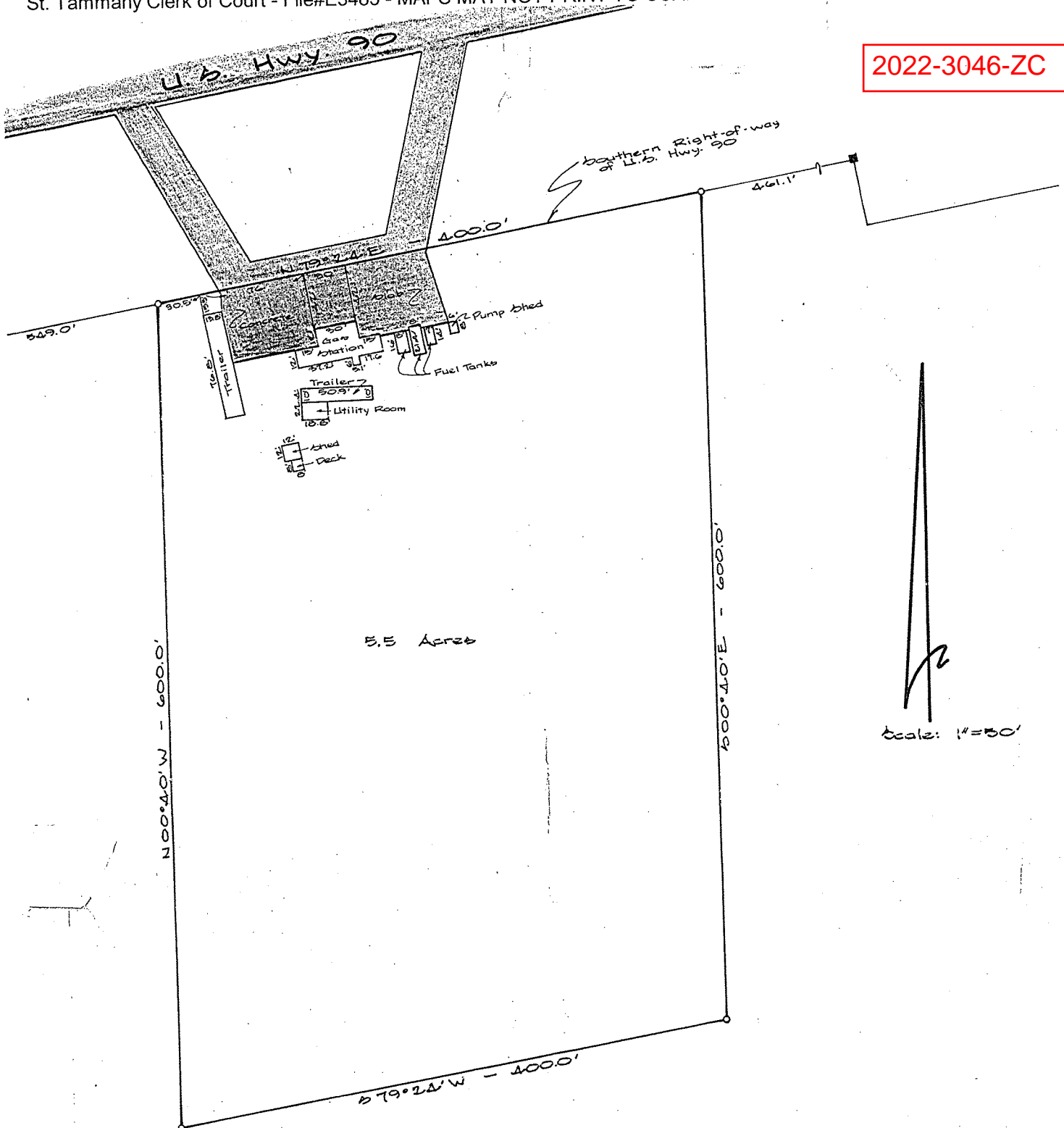
ZONING STAFF REPORT
2022-3046-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director



2022-3046-ZC



Certified Correct To:
**LAWYER'S TITLE INSURANCE CORPORATION,
PARISH NATIONAL BANK AND
WILLIAM G. KIEFER**

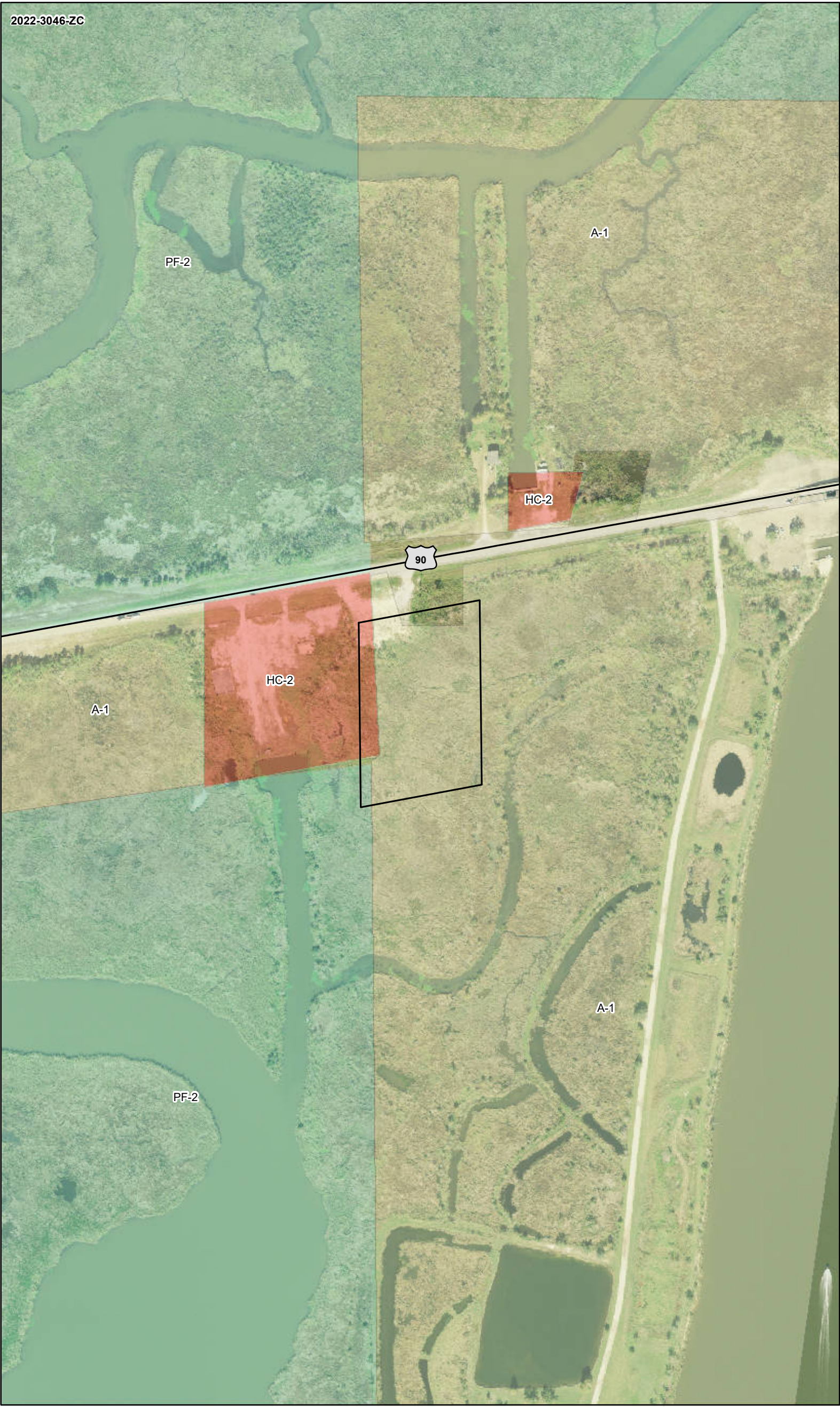
Property located in Section 29, Township 9 South,
Range 16 East, St. Tammany Parish, Louisiana

30	29
31	32

EXTRA MAP FILE # 3485
INSTRUMENT # 690766
ORIGINALLY FILED DATE 01/29/1988
EXTRA MAP FILED DATE 06/01/1999
St. Tammany Parish Clerk of Court
Deputy Clerk *Michael J. Rogers*

Ned R. Wilson
Prepared By:
NRW & ASSOCIATES, INC.
1905 Highway 59
Mandeville, Louisiana
70448







ZONING STAFF REPORT
2022-3061-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Location: Parcel located on the east side of Wildwood Drive, south of Tchefuncte Drive, being Lot 7-A, Square 6, River Forest Country Club Subdivision, Covington; S36, T6S, R10E; Ward 1 **Council District:** 3

Owner: Stephanie Jenkins Little **Posted:** October 11, 2022

Applicant: Stephanie Jenkins Little **Commission Hearing:** November 2, 2022

Size: .516 acres **Determination:** Approved, Denied, Postponed



Current Zoning

A-1 Suburban District

Requested Zoning

A-1 Suburban District

RO Rural Overlay

Future Land Use

Residential: Low-Intensity

Flood Zone

Effective Flood Zone A4

Critical Drainage:

Yes

Findings

1. The petitioner is requesting to change the zoning classification from A-1 Suburban District to A-1 Suburban District and RO Rural Overlay. The site is located on the east side of Wildwood Drive, south of Tchefuncte Drive, being Lot 7-A, Square 6, River Forest Country Club Subdivision, Covington.

Zoning History

Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
88-060	Unknown	SA Suburban Agriculture
09-2116	SA Suburban Agriculture	A-1 Suburban District – Comprehensive Rezoning

2. The .566-acre parcel is currently developed with a single-family residence located on lot 7-A of the River Forest Country Club Subdivision, which was established in 1961.

Compatibility or Suitability with Adjacent Area

3. Table 2: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Residential	A-1 Suburban District
South	Residential	A-1 Suburban District
East	Residential	A-1 Suburban District
West	Residential	A-1 Suburban District

4. The purpose of the Rural Overlay is primarily to allow for agricultural uses. Several of the uses listed under the RO Rural Overlay require the submission and approval of an Administrative Permit application to provide for a staff review of required minimum standards. This includes Short Term Rentals, recently added to the list of Administrative Permits under the RO Rural Overlay, as per Council Ordinance Number 21-4593.
5. The reason for the applicant's request is so that they may apply for a short-term rental permit.



ZONING STAFF REPORT
2022-3061-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

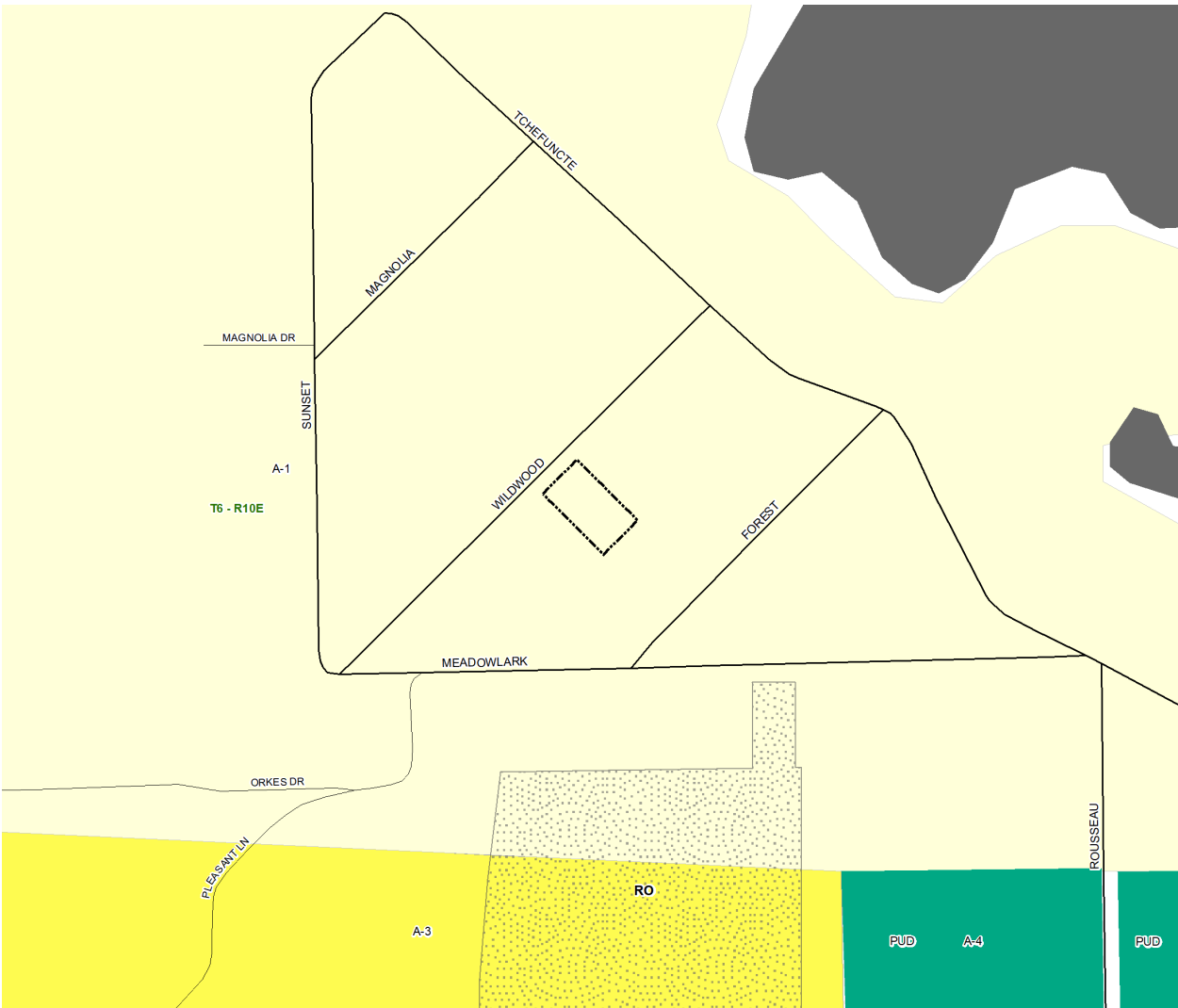
PLANNING & DEVELOPMENT
Ross Liner
Director

6. There is only one lot within the River Forest Country Club Subdivision which is zoned with the requested RO Rural Overlay. Lot 8, Square 2 which is on the southern boundary of the subdivision was rezoned to A-1 Suburban District and RO Rural Overlay in 2014 (Council Ordinance No. 14-3198), which was before the regulations for Short Term Rentals were in adopted.

Consistency with New Directions 2040

Residential - Low-Intensity: Predominantly single family, detached homes on very large lots. The lower residential density creates a more spacious character appropriate as a transition between the Parish's Rural or Conservation areas and more intense land uses. The dispersed development pattern makes public services and amenities less efficient and more expensive to provide, and so residents typically must travel farther to access them.

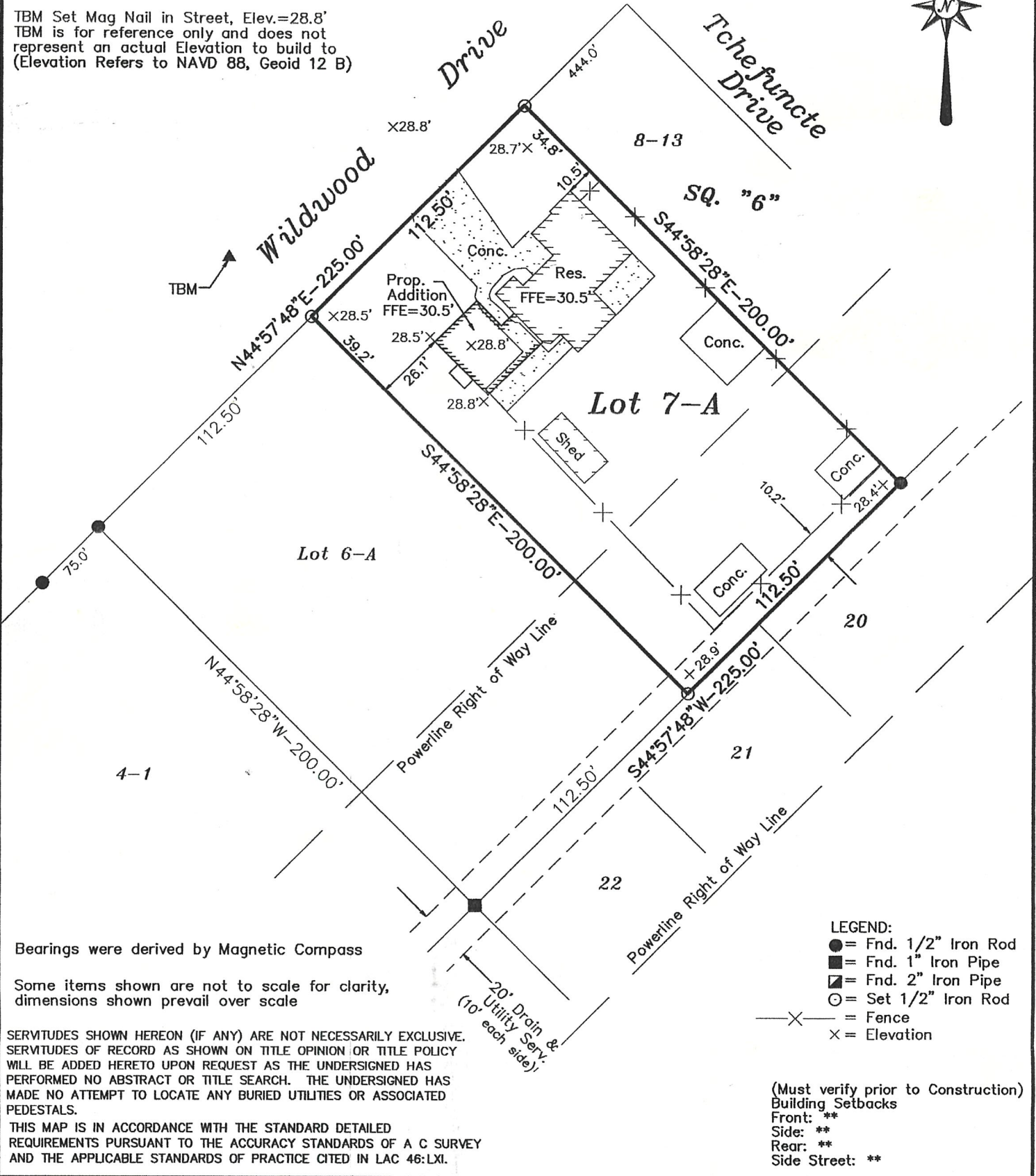
1. The proposed zoning change is **not** consistent with the following goals, policies, and strategies of the Comprehensive Plan:
- i. Goal 1.3: The character of existing residential areas, expansive rural landscapes, and sensitive ecological areas will be preserved.



Reference:
1) The Recorded Plat of River Forest Country Club S/D
2) A Survey Plat by Jeron Fitzmorris, Dated 4-20-00, #8833
3) A Survey Map by this Firm, Dated 3-21-2017, #17991
4) A Resub Map by this Firm, Dated 7-10-2018, No. 5756B
Clerk of Court

This property is located in Flood Zone A4, per
Fema Map No. 225205 0210 C, Dated
10-17-1989 (BFE=25')

TBM Set Mag Nail in Street, Elev.=28.8'
TBM is for reference only and does not
represent an actual Elevation to build to
(Elevation Refers to NAVD 88, Geoid 12 B)



MAP PREPARED FOR **JASON DERICK LITTLE JR.**

SHOWN A SURVEY MADE OF PROPERTY LOCATED IN LOT 7-A, SQUARE 6, RIVER FOREST COUNTRY CLUB S/D, ST. TAMMANY PARISH, LOUISIANA

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED. SIGNATURE AND STAMPED SEAL MUST BE IN RED OR THIS PLAT IS NOT A TRUE COPY.

LAND SURVEYING LLC

518 N. Columbia Street, Covington, LA 70433
(985) 892-6277 office (985) 898-0355 fax
landsur@bellsouth.net email

BRUCE M. BUTLER, III
LOUISIANA PROFESSIONAL LAND SURVEYOR
LICENSE NO. 4894

SCALE: 1"= 50'

DATE: 8-8-2018

NUMBER: 17991AB



MEADOWLARK DR

WILDWOOD DR

FOREST DR

MAGNOLIA DR

TCHEFUNCTE DR

ORKE

PLEASANT

R0

A-3

PUD A-4

A-1



ZONING STAFF REPORT
2022-3068-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Location: Parcel located on the north side of LA Highway 22, east of Belle Pointe Drive, west of Perrilloux Road, Madisonville; S16, T7S, R10E; Ward 1, District 1
Council District: 1

Owner: Highway 22-Perrilloux, LLC – Beau Bryant **Posted:** October 11, 2022

Applicant: Beau Bryant **Commission Hearing:** November 2, 2022

Size: 3.010 acres **Determination:** Approved, Denied, Postponed



Current Zoning

HC-1 Highway Commercial District

Requested Zoning

HC-2 Highway Commercial District

Future Land Use

Mixed-Use

Flood Zone

Effective Flood Zone C

Preliminary Flood Zone X

Critical Drainage:

No

Findings

1. The petitioner is requesting to change the zoning classification from HC-1 Highway Commercial District to HC-2 Highway Commercial District. The site is located on the north side of LA Highway 22, east of Belle Pointe Drive, west of Perrilloux Road, being Lots A & B, Madisonville.

Zoning History

Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
85-034B	Unknown	C-2 Commercial
09-2116	C-2 Commercial	HC-1 Highway Commercial District

2. The subject property was recently a part of a minor subdivision that was approved in 2021 that split the singular 3.010-acre parcel into 1.968 acres and 1.042 acres as Lots A & B, respectively.

Compatibility or Suitability with Adjacent Area

3. Table 2: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Residential	A-2 Suburban District A-4 Single-Family Residential
South	Undeveloped and Commercial	HC-1 Highway Commercial District HC-2 Highway Commercial District
East	Undeveloped	HC-1 Highway Commercial District HC-3 Highway Commercial District
West	Undeveloped and Commercial	HC-1 Highway Commercial District

4. The subject property is adjacent to properties that are zoned Highway Commercial on all sides except the north side, where it abuts existing residential uses. The parcel(s) are also directly adjacent to property across Perrilloux Road to the east that has been zoned to the requested HC-3 Highway Commercial District.



5. The property’s existing HC-1 Highway Commercial District designation and the requested HC-2 Highway Commercial District designation differ as far as regulations in land use & building size as show in Table 3:

6. Table 3: Zoning Regulations

ZONING CLASSIFICATION	PERMITTED USES	MAX BUILDING SIZE	PURPOSE
HC-1 Highway Commercial District	Any uses permitted in the NC districts and: Automotive parts stores. Business college or business schools operated as a business enterprise, Catering establishments, Department stores, Funeral homes and mausoleums, Instruction of fine arts, Physical culture and health establishment, Enclosed plumbing, electrical and home building supply showrooms and sales centers with associated assembly processes, Printing, lithography and publishing establishments, Wholesale merchandise broker/agent including associated offices and indoor storage facilities. Any warehousing uses provided shall not exceed 3,000 square feet. However, if more than one use occupies a building, the entire building shall not exceed 9,000 square feet gross floor area, Drug stores, Dry cleaning, laundries and self-service laundries, Food stores, Public parking lots and garages, Single-family dwelling units above the first floor in a building designed for business uses. Dwelling units shall not exceed one story in height, Veterinary clinics (no outdoor kennels). Public or private auditoriums, Restaurants and restaurants with lounges, Car wash, Warehouse and distribution centers and associated uses such as offices and retail sales with a maximum of combined uses totaling 9,000 square feet or less of gross floor area, Indoor research and testing laboratories, Specialty food processing.	20,000 sq. ft.	To provide for the location of limited-scale highway commercial uses, generally located along major collectors and arterials designed to provide services to a portion of the parish.
(Requested) HC-2 Highway Commercial District	All uses permitted in the HC-1 Highway Commercial District; Banks and financial institutions (greater than 3,000 square feet); Convenience stores (with gas), when the criteria of section 130-2213(51)a are met; Drive-in restaurants; Liquor stores; Any private office use that is a permitted use in the NC district over 20,000 square feet; Clubs, lodges, fraternal and religious institutions, meeting halls (over 20,000 square feet); Veterinary clinics (with outdoor kennels); Parcel post delivery stations; Mini-warehouses; Commercial kennels; Outdoor storage yards that do not occupy an area greater than 50 percent of land area, and are enclosed by an eight-foot opaque perimeter fence, located on the same parcel as, and are accessory to an existing mini-warehouse, not to be located on the street side; Lodging, 100 rooms or less (including apartments, hotels, motels); Automotive repair and service facilities not to exceed 10,000 square feet; Automotive sales not to exceed two acres of display and storage; Outdoor retail sales and storage yards; Portable storage containers use for storage; Outdoor display area of pre-assembled building, pool and playground equipment.	40,000 sq. ft.	To provide for the location of moderately scaled, intense retail, office and service uses, generally located along major collectors and arterials designed to provide services to a portion of the parish.

7. If approved, the applicant will have to maintain all buffers for commercially-zoned property as well as following all remaining landscaping, parking and drainage requirements.

8. The purpose of the request is so that the applicant may construct a retail shopping center.



ZONING STAFF REPORT
2022-3068-ZC

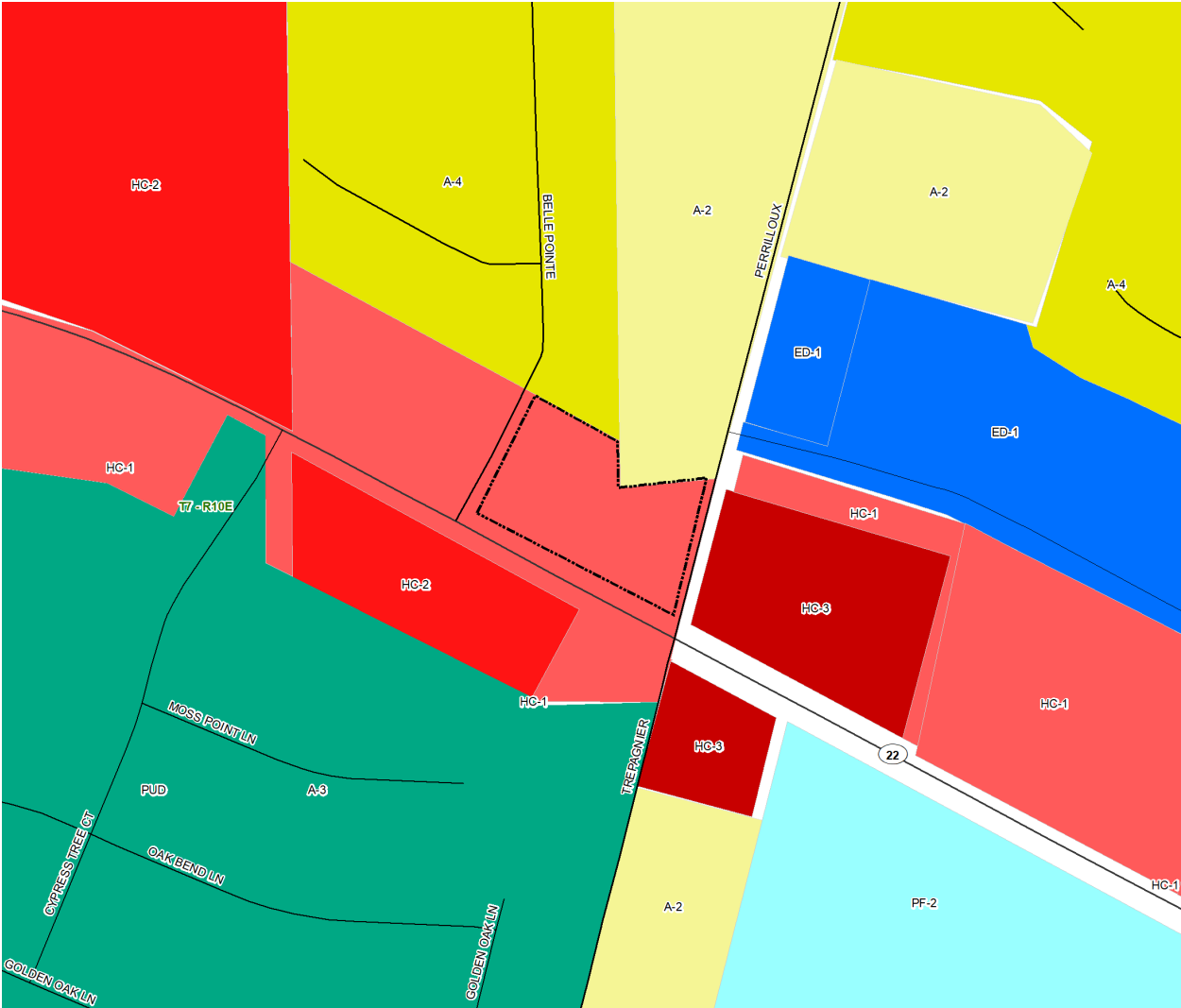
MICHAEL B. COOPER
PARISH PRESIDENT

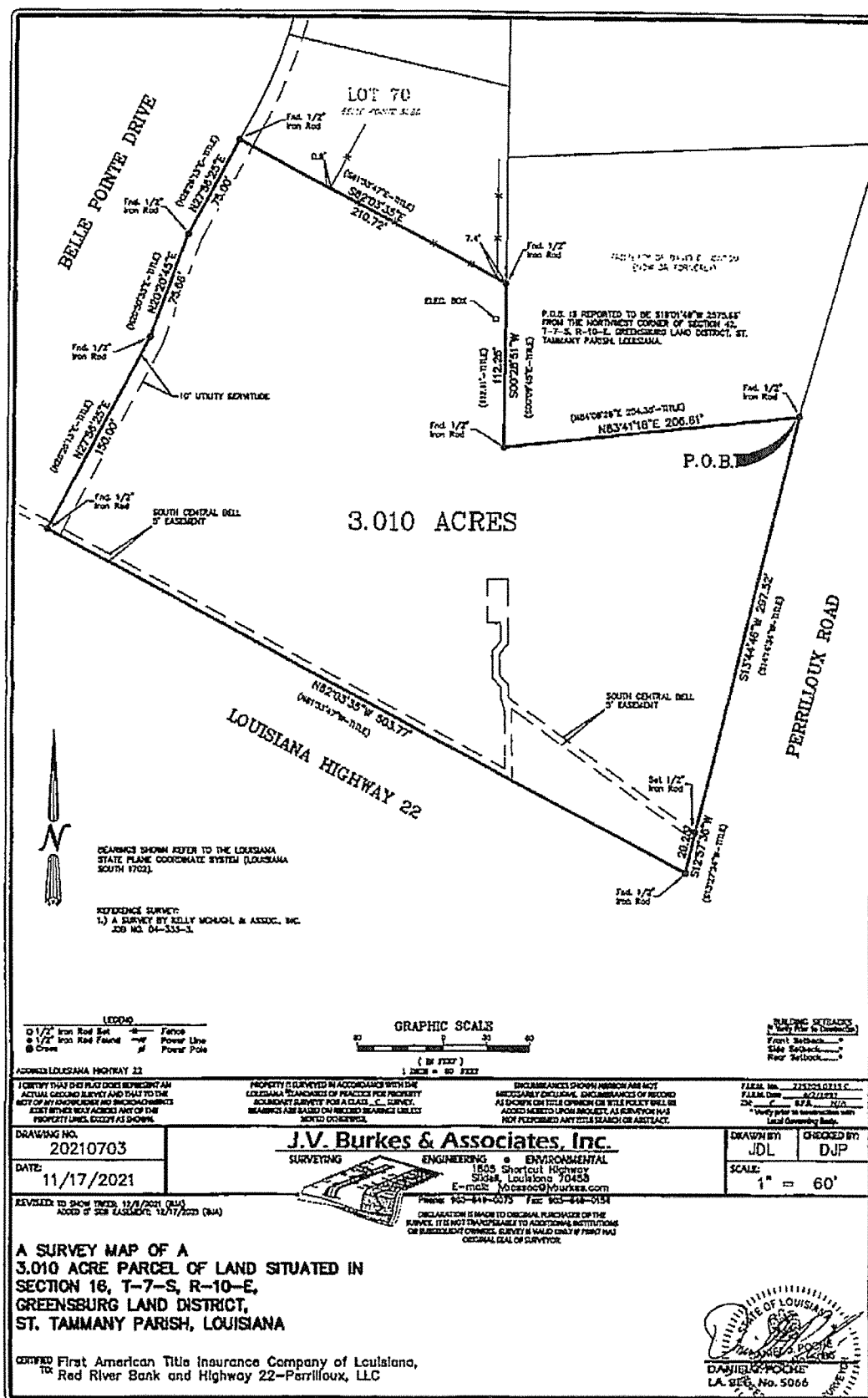
PLANNING & DEVELOPMENT
Ross Liner
Director

Consistency with New Directions 2040

Mixed-Use: Areas that are flexible and appropriate for higher concentration of residential and commercial uses, allowing shorter trips between destinations and opportunities for walkable, compact development patterns. Mixed Use areas are typically located at or near the Parish’s existing hubs of activity and intersections of major roads, as well as along major traffic corridors. Mixed Use areas may also include higher density residential uses, such as garden apartments and condominiums.

1. The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:
 - i. Strategy 1:5:1: Locate new residential and commercial development within, adjacent to, or near existing towns and activity centers and associated infrastructure, services, and amenities.
 - ii. Strategy 1:5:2 Locate high intensity land uses adjacent to high capacity transportation corridors.
 - iii. Goal 5:1: The Parish will designate adequate land served by supporting infrastructure for use by businesses and industries seeking to begin or expand.









ZONING STAFF REPORT
2022-3069-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Location: Parcel located on the east side of Cypress Drive, south of Lee Settlement Road, Folsom; S6, T5S, R10E; Ward 2, District 3
Council District: 3

Owner: Philip Khoury
Posted: October 11, 2022
Applicant: Elaine Khoury
Commission Hearing: November 2, 2022

Size: 5 acres
Determination: Approved, Denied, Postponed



Current Zoning

A-1 Suburban District

Requested Zoning

A-3 Suburban District

Future Land Use

Rural and Agricultural

Flood Zone

Effective Flood Zone C

Preliminary Flood Zone X

Critical Drainage:

No

Findings

1. The petitioner is requesting to change the zoning classification from A-1 Suburban District to A-3 Suburban District. The site is located on the east side of Cypress Drive, south of Lee Settlement Road, Folsom.

Zoning History

2. Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
10-2234	Unknown	A-1 Suburban District

Compatibility or Suitability with Adjacent Area

3. Table 2: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Residential	A-1 Suburban District
South	Undeveloped	A-1 Suburban District
East	Undeveloped	A-1 Suburban District
West	Residential	A-1 Suburban District

4. The subject property abuts A-1 Suburban District properties on all sides with either undeveloped lots or large properties that contain one-two single-family homes.
5. The site's current A-1 Suburban District zoning calls for 5-acre parcel size with a density requirement of 1 unit per every 5 acres. The requested A-3 Suburban District classification allows for a minimum of half-acre parcel sizes and a density requirement of 2 units per every 1 acre.
6. If approved, the applicant can apply to obtain building permits to place 2 units per acre on the subject property. In addition, the applicant can also apply for a minor subdivision to create a variety of parcel configurations with minimum lot sizes of half an acre or greater.



ZONING STAFF REPORT
2022-3069-ZC

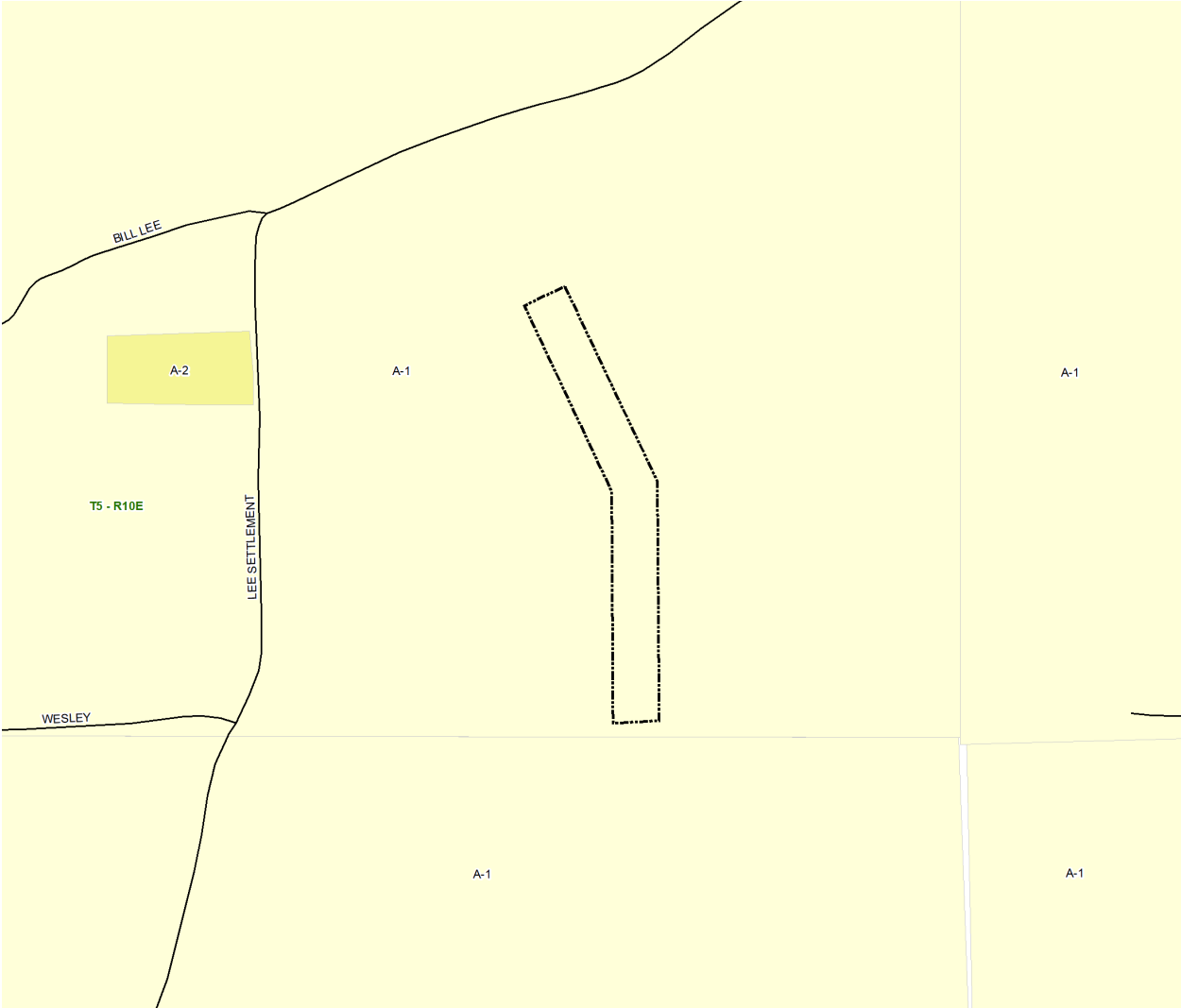
MICHAEL B. COOPER
PARISH PRESIDENT

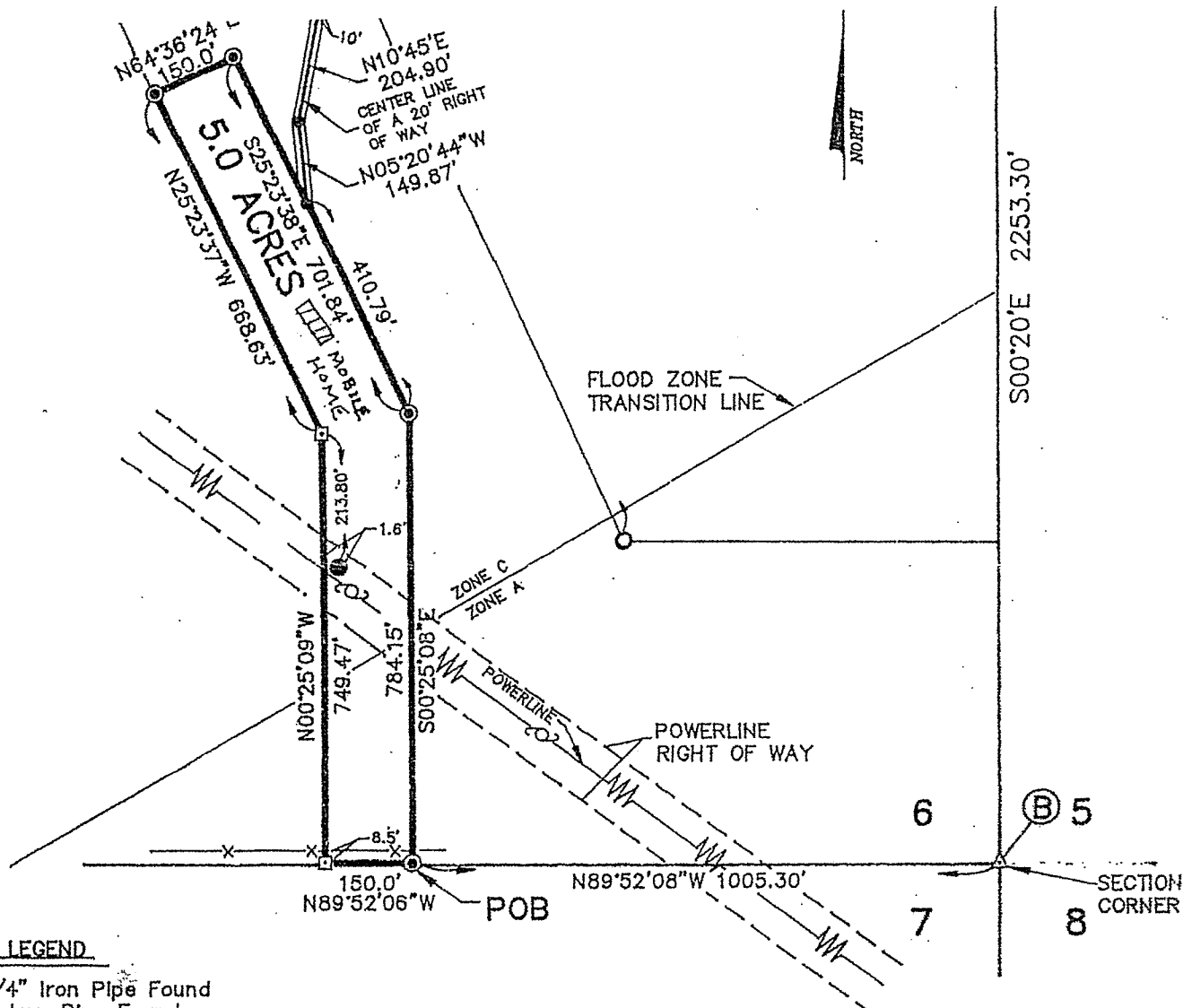
PLANNING & DEVELOPMENT
Ross Liner
Director

Consistency with New Directions 2040

Rural-Agriculture: Areas that include mostly very low intensity uses in non-urbanized areas, such as agriculture, horse farms, timberlands, ranches, and very large single-family lots typically larger than three acres. No large traffic generators or noisy or pollution causing uses are located in Rural and Agricultural areas. Low-capacity country roads—typically two-lanes—serve these areas. Septic systems and wells are typical. The Parish’s abundant rural areas provide ample space for low-intensity uses, offering residents privacy and access to the outdoors. The countryside also fosters a number of commercial activities, such as production farms, horse boarding, and lumber harvesting. The Rural and Agricultural category includes these commercial uses, as well as small rural-serving businesses such as small groceries, gas stations, restaurants, and auto repair shops. St. Tammany’s countryside supports a growing tourism industry, whose businesses in this area include bed and breakfasts, retreat centers, nature tours, and “u-pick” farms.

1. The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:
 - i. Goal 1.8
A variety of safe, affordable, and attractive housing types will meet the needs of our diverse community.
2. The proposed zoning change is **NOT** consistent with the following goals, policies, and strategies of the Comprehensive Plan:
 - i. Goal 1.3
The character of existing residential areas, expansive rural landscapes, and sensitive ecological areas will be preserved.
 - ii. Goal 1.5
Adequate infrastructure and utilities will be available in areas permitted for new development.





LEGEND

- = 3/4" Iron Pipe Found
- △ = 1" Iron Pipe Found
- ⊙ = 1-1/4" Iron Pipe Found
- ⊠ = 1/2" Square Round Bar Found
- = 1/2" Iron Rod Found
- ⊞ = 5/8" Iron Rod Found
- ⊙ = 1/2" Iron Rod Set
- RS = Reference Survey

NOTE: This property is located in Flood Zone A & C, per F.E.M.A. Map No. 225205 0025 B, dated March 1, 1984.

THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND/OR RESTRICTIONS HAVE BEEN SHOWN HEREON. ANY SERVITUDES AND/OR RESTRICTIONS SHOWN ON THIS PLAT ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION AND/OR INFORMATION FURNISHED THE UNDERSIGNED. A TITLE OR PUBLIC RECORD SEARCH FOR SUCH INFORMATION WAS NOT MADE BY THE UNDERSIGNED IN COMPILING DATA FOR THIS SURVEY.

REFERENCE SURVEY:

Survey for Mrs. Lula L. Manton & Mrs. Hazel L. Regan, Et. Al. by Gerald Fussell, Surveyor, dated 4/14/84.

(504) 892-1549

John G. Cummings and Associates

509 N. JEFFERSON AVE.

Professional Land Surveyors

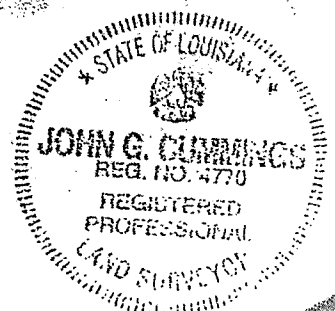
COVINGTON, LA. 70433

PLAT PREPARED FOR: *Judy Behler*

SHOWING A SURVEY OF: A PARCEL OF LAND LOCATED IN SECTION 6, TOWNSHIP 5 SOUTH, RANGE 10 EAST, ST. TAMMANY PARISH, LOUISIANA.

THIS PLAT REPRESENTS A PHYSICAL SURVEY MADE ON THE GROUND BY ME, OR THOSE UNDER MY DIRECTION, AND CONFORMS TO ALL APPLICABLE STANDARDS SET FORTH BY THE STATE OF LOUISIANA, AND BEARS A CLASS C SURVEY.

PROFESSIONAL LAND SURVEYOR



SCALE: 1" = 300'

JOB NO. 01232A

DATE: 9/20/02

REVISED: 12/10/02

LEE SETTLEMENT RD

A-1

A-1





ZONING STAFF REPORT
2022-3073-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Location: Parcel located on the north side of LA Highway 22, west of Kathman Drive, Madisonville; S18, T7S, R10E; Ward 1, District 1
Council District: 1

Owner: Yireh Buildings, LLC – Efrain Bermudez
Posted: October 11, 2022

Applicant: Efrain Bermudez
Commission Hearing: November 2, 2022

Size: .69 acres
Determination: Approved, Denied, Postponed



Current Zoning

HC-1 Highway Commercial District

Requested Zoning

HC-2 Highway Commercial District

Future Land Use

Mixed-Use

Highway 22 Expansion

Flood Zone

Effective Flood Zone C

Preliminary Flood Zone X

Critical Drainage:

No

Findings

1. The petitioner is requesting to change the zoning classification from HC-1 Highway Commercial District to HC-2 Highway Commercial District. The site is located on the north side of LA Highway 22, west of Kathman Drive, Madisonville.

Zoning History

2. Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
09-2116	Unknown	HC-1 Highway Commercial District – Comprehensive Rezoning

Compatibility or Suitability with Adjacent Area

3. Table 2: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification	Zoning Ordinance
North	Residential	A-3 Suburban District	09-2116
South	Residential Undeveloped	A-2 Suburban District HC-2 Highway Commercial District	09-2116 19-4079
East	Commercial	HC-1 Highway Commercial District	09-2116
West	Residential	HC-1 Highway Commercial District	09-2116

4. The subject property is currently undeveloped and abuts a residential neighborhood to the north, an undeveloped commercially-zoned parcel to the south, and commercially-zoned parcels to the east and west.
5. The purpose of the requested HC-2 Highway Commercial District is to provide for the location of moderately scaled, intense retail, office and service uses. Staff would note that if rezoned to a commercial zoning classification, this property must comply with commercial regulations including parking, landscaping, and drainage among others.



ZONING STAFF REPORT
2022-3073-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

6. Based on the typical rezoning pattern for the property situated along Highway 22, west of Highway 1085 and east of the Parish line, there seems to be a majority of parcels that were either rezoned to accommodate commercial uses during the 2009 Comprehensive Rezoning or rezoned via submission of an application to the Zoning Commission and Parish Council. Based on the current zoning patterns and associated zoning maps, this section of Highway 22 appears to be trending towards commercial zoning classifications which allow for commercial uses although the rezoning application did not state the reason for the request.
7. A change in zoning will allow the applicant to operate any of the following permitted commercial uses: All uses permitted in the HC-1 Highway Commercial District and Banks and financial institutions; Convenience stores with gas; Drive-in restaurants; Liquor stores; Any private office use that is a permitted use in the NC district over 20,000 sq. ft.; Clubs, lodges, fraternal and religious institutions, meeting halls (over 20,000 sq. ft.); Veterinary clinics (with outdoor kennels); Parcel post delivery stations; Mini-warehouses; Commercial kennels; Outdoor storage yards that do not occupy an area greater than 50 percent of land area, and are enclosed by an eight-foot opaque perimeter fence, located on the same parcel as, and are accessory to an existing mini-warehouse, not to be located on the street side; Lodging, 100 rooms or less (including apartments, hotels, motels); Automotive sales not to exceed two acres of display and storage; Outdoor retail and storage yards; Potable storage containers use for storage; Outdoor display area of pre-assembles building, pool and playground equipment.
8. The reason for the request is to accommodate a drive-thru restaurant.

Consistency with New Directions 2040

Mixed-Use: These areas are flexible and appropriate for higher concentration of residential and commercial uses, allowing shorter trips between destinations and opportunities for walkable, compact development patterns. Mixed Use areas are typically located at or near the Parish's existing hubs of activity and intersections of major roads, as well as along major traffic corridors. Mixed Use areas may also include higher density residential uses, such as garden apartments and condominiums.

Highway 22 Expansion: Per the 2040 New Directions Future Land Use Map and LADOTD, Highway 22 West will be refurbished to include a roundabout at the intersection of Louisiana Highway 1085 and Louisiana Highway 22. There are also plans for Highway 22 to be widened to three lanes along the St. Tammany and Tangipahoa border.

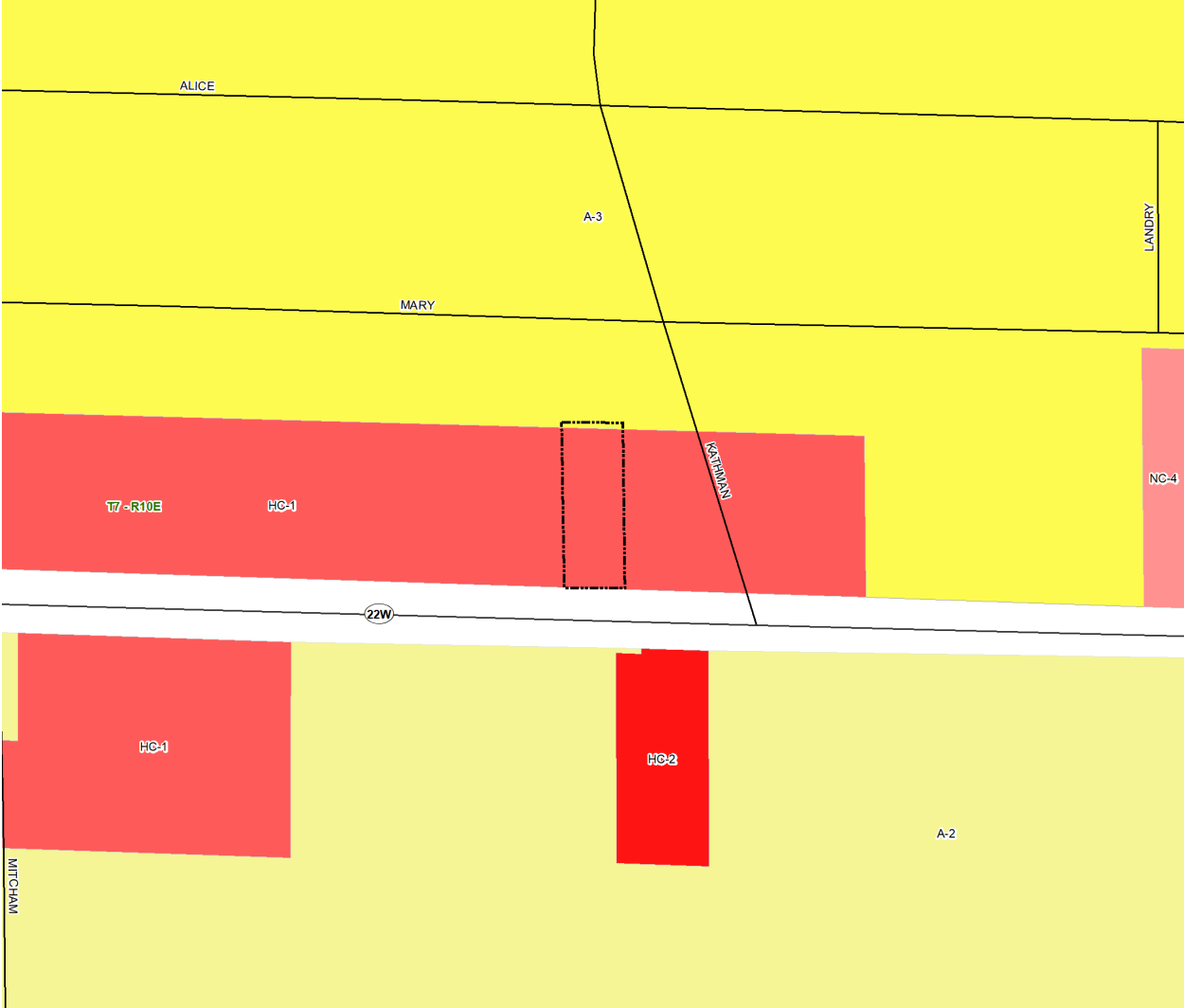
1. The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:
 - i. Strategy 1:5:1: Locate new residential and commercial development within, adjacent to, or near existing towns and activity centers and associated infrastructure, services, and amenities.
 - ii. Strategy 1:5:2 Locate high intensity land uses adjacent to high capacity transportation corridors.
 - iii. Goal 5:1: The Parish will designate adequate land served by supporting infrastructure for use by businesses and industries seeking to begin or expand.

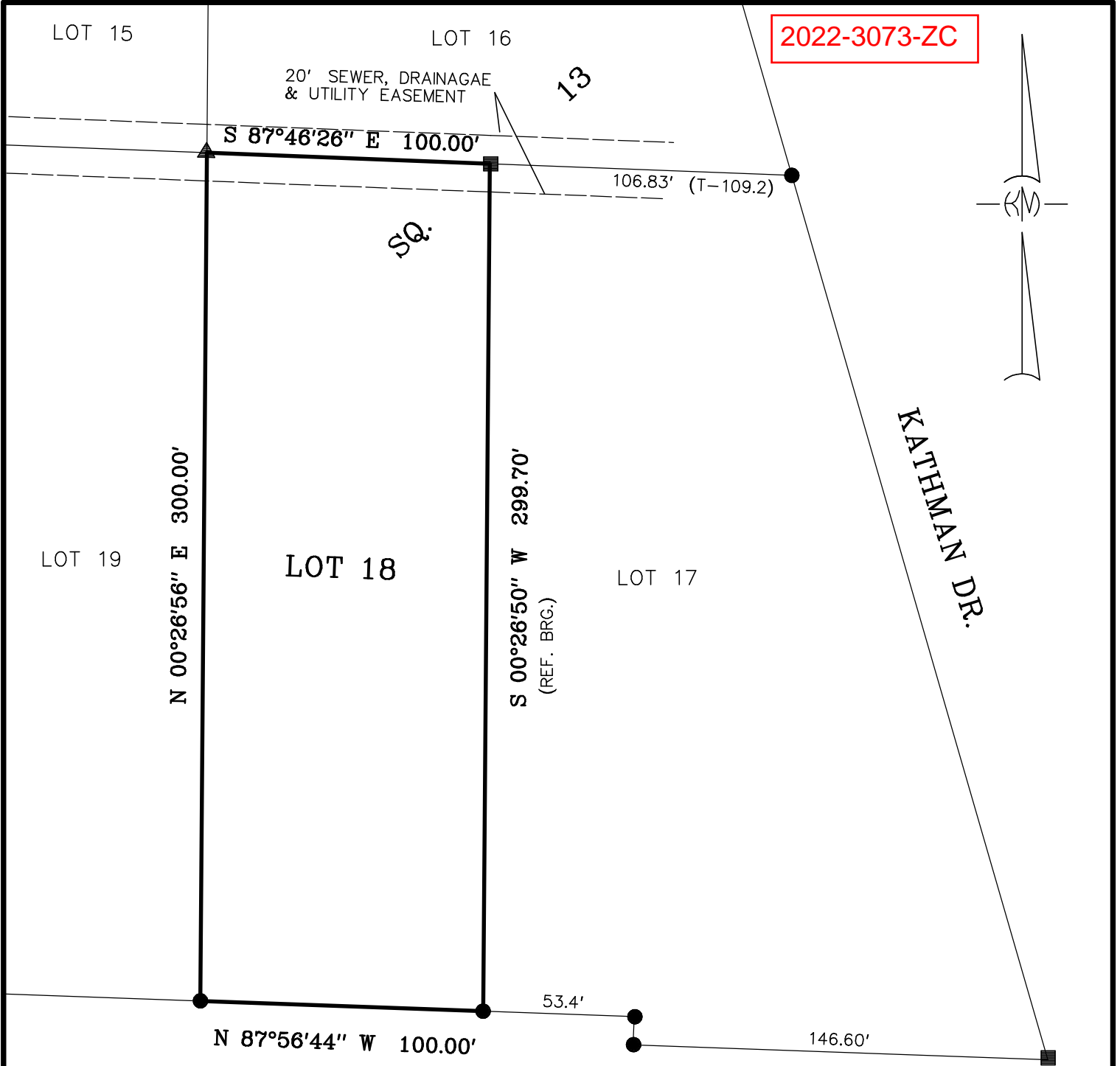


ZONING STAFF REPORT
2022-3073-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director





NOTE:
OWNER OR CONTRACTOR IS RESPONSIBLE
FOR VERIFYING BUILDING SETBACKS
BEFORE CONSTRUCTION BEGINS.

NO BUILDING SETBACKS SHOWN HEREON

- LEGEND ---
- = 1/2" IRON ROD FOUND
 - = 1/2" IRON ROD SET
 - ▲ = RAILROAD SPIKE FOUND
 - = 1/2' IRON PIPE FOUND

THIS PROPERTY IS LOCATED IN FLOOD
ZONE C ; BASE FLOOD ELEV. N/A ; F.I.R.M.
PANEL NO. 225205 0215C ; REV. 04-02-1991

NOTE:
NO ATTEMPT HAS BEEN MADE BY KELLY McHUGH & ASSOC., INC. TO
VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS,
RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL
ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN
THOSE FURNISHED BY THE OWNER.

KELLY J. McHUGH
License No. 4443
PROFESSIONAL

[Signature]
LAND SURVEYOR
08-15-22
Kelly J. McHugh, REG. NO. 4443

CERTIFIED TO BE IN ACCORDANCE WITH A PHYSICAL
SURVEY MADE ON THE GROUND AND COMPLYING WITH THE
CURRENT APPLICABLE STANDARDS OF PRACTICE FOR A CLASS
"C" SURVEY. RED STAMP SIGNIFIES CORRECT PLAT.

REFERENCE: 1. A SURVEY BY JOHN G. CUMMINGS AND ASSOC.
DATED 03-26-2004, JOB NO. 04054, FROM WHICH BASIS OF
BEARING WAS TAKEN.
2. A PLAT BY ROBERT A. BERLIN DATED 06-02-1962
DATED 10-05-1962

BOUNDARY SURVEY OF: LOT 18, LIVE OAK HILLS (FORMERLY KATHMAN ACRES) SECTION 18, T-7-S, R-10-E GREENSBURG LAND DISTRICT ST. TAMMANY PARISH, LA.	
PREPARED FOR: YIREH BUILDING, LLC	
KELLY J. McHUGH & ASSOC., INC. CIVIL ENGINEERS & LAND SURVEYORS 845 GALVEZ ST., MANDEVILLE, LA. 626-5611	
SCALE: 1" = 50'	DATE: 08-12-22
DRAWN: MDM	JOB NO.: 22-225
REVISED:	



ALICE ST

A-3

MARY ST

HC-1

KATHMAN DR

22

PONCHATOULA HWY

HC-1

HC-2

A-2

CIALONA RD



ZONING STAFF REPORT
ZC-13-08-063

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Location: Parcel located on the east and west sides of E Brewster Road, south of Interstate 12, Covington; S41, S46, and S47, T7S, R10E and R11E Ward 1, District 1
Council District: 1

Owner: Stirling Properties – Mark Salvetti
Posted: October 21, 2022

Applicant: Mark Salvetti
Commission Hearing: November 2, 2022

Size: 192.786 acres
Determination: Approved, Denied, Postponed



Current Zoning

River Chase Regional Business Center Overlay (RBCO)

Requested Zoning

Major Amendment to the River Chase Regional Business Center Overlay (RBCO)

Future Land Use

Mixed Use

Flood Zone

Effective: C Preliminary: X

Critical Drainage: No

Findings

1. The petitioner is requesting a Major Amendment to the River Chase RBCO Regional Business Center Overlay. The site is located on the east and west sides of East Brewster Road, south of Interstate 12, Covington.
2. The purpose of the Regional Business Center Overlay is to provide for coordinated flexible design standards for planned commercial or office developments. RBCO development sites are required to submit and abide by individualized architectural and design guidelines which are imposed upon the development of the site including building site and design guidelines, landscaping guidelines, parking, signage, and lighting guidelines etc.
3. The current request is to revise the existing River Chase “Architectural Guidelines”, “Landscape Guidelines”, “Signage”, and “Miscellaneous Guidelines” to clarify site usage and update the regulating document. Staff has no objection to the requested changes which are as follows:



ZONING STAFF REPORT

ZC-13-08-063

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT

Ross Liner
Director

River Chase Regional Business Center Overlay Design Standards: Major Amendment Changes		
	Section	Requested Change
Architectural Guidelines	(i)	Revise “Setbacks between Multi-Family Residential and Retail to be maximum of 20’” to “Where the side or rear lot line of a retail development coincide with a side or rear lot line of a multi-family residential development, the setback shall be a minimum of 20 ft.”
Landscape Guidelines	(I)	Revise “No more than twelve (12) parking spaces shall be permitted in a continuous row without being interrupted or terminated by a landscaped island or median of not less than six (6) feet in width (exclusive of curbs) and not less than the length of the parking space. In the event an existing tree is to be saved within the parking it will be allowed to exceed 12 spaces in order for tree preservation ” to “located within the proposed parking area, the tree’s preservation shall take precedence and the parking spaces can exceed 12 continuous spaces”
	(M)	Revise “The chosen plant palette should consider hardiness of species, maintenance, application and consistency with the adjacent micro-climatic zones of the region’s established landscapes. Plants chosen for their sustainability and drought resistance is encouraged ” to “plants which demonstrate sustainability and drout resistance are encouraged”.
	(P)	Revise “Any retention/detention ponds shall be designed as a visual amenity to the area in which it is situated. A strip of land, a minimum of five (5) feet in width, shall surround the retention/detention pond on the front, rear and all sides, which strip shall be at grade level and shall not be excavated or made a part of the slope of the retention/detention pond. This strip of land shall contain the required landscaping for the area in which the retention/detention pond is located, or as potential Tree Mitigation area for development .” to “and/or as the Tree Mitigation area for the relocation of trees development”.
	(T)	Revise “A continuous buffer along main roads between parcels of varying depth should be adjusted to present a more uniform buffer of no less or more than 25’ with the appropriate number of Class A and Class B trees as follows: 1 Class A Tree and 1 Class B Tree per 30 linear feet (or fraction thereof) of street or road frontage. 1 Shrub per 10 linear feet (or fraction thereof) of street or road frontage ”. as determined by STP Department of Planning, but the Department of Planning and as directed by Developer should have the ability to approve removal of groups of fewer than (5) pine trees or gum trees in buffers if needed to create a safer long-term buffer planting ”.
	(U)	Revise “Site Fill: If site fill requirements and placement of building require fill in close proximity to buffer trees, those trees may be removed. Tree mitigation areas may be used for replacement of trees in species approved by Developer” to “required buffers, tree mitigation efforts may be used to remove and replace buffer plantings within the “Tree Mitigation” areas when it is proven that fill placement could present a negative effect on the long-term health of the required buffer trees, or within the development site itself. Mitigation tree species must be approved by the Developer”.
	(V)	Revise “Shared drives at property lines: In areas where a shared driveway is servicing two parcels the buffer between parcels will be reduced by that length of driveway, and a shared driveway will be considered a buffer between parcels ” To “will be considered a buffer between parcels. The reallocation of the buffers will be required along the shared drives to the interior drive so as to ensure the development site is providing perimeter landscaping at a minimum”.
	(X)	Revise “Buffer areas defined as 10’ on each side of property line may be cleared of trees that constrain site development, building placement, drainage or functionality of site. Protected tree species removed from buffer areas larger than 6” diameter may be replaced in buffers either on site or in Tree Mitigation areas within the RBCO defined areas when there is no room on site” to “Side and rear buffer landscaping requirements are as follows: 1 Class A Tree and 1 Class B Tree per 30 linear feet (or fraction thereof) of street or road frontage”.
	(Z)	Add the following: When required by landscape code total number of trees required to be planted in buffers and/or shared property lines may be planted in grouped areas on site or within the Tree Mitigation area. The purpose of this is to allow flexibility of planting on a particular site.

Zoning Commission
November 2, 2022

Department of Planning and Development
St Tammany Parish, Louisiana

EDC
ZC13-08-063

October 14, 2022

Helen Lambert
Assistant Director
Department of Planning & Development
St. Tammany Parish Government
21454 Koop Drive, Suite 1B
Mandeville, LA 70434

RE: RIVER CHASE RBCO No. ZC13-08-063

Dear Helen,

We are requesting an amendment change to the RBCO at River Chase to clarify site usage pursuant to the attached and update RBCO Document.

The attached revision incorporates remedy to grammatical errors and clarifications to articles pursuant to our most recent discussion.

If you have any questions or need further information please let me know.

Sincerely,

STIRLING PROPERTIES



Mark Salvetti
Director of Project Management

Attachment : RBCO Document Dated 10-14-22

RIVER CHASE **ARCHITECTURAL GUIDELINES**

RETAIL

BUILDING SITE GUIDELINES:

- a. Temporary Buildings.
No structure of a temporary character, trailer, tent, shack, garage, barn or other outbuilding shall be built, used or maintained on any Lot within River Chase at any time other than during the construction period of buildings and other permanent structures on the respective Lots within River Chase.
- b. Building Materials and Colors.
 - i. Exterior building materials, textures and colors are to be selected so as to be in harmony with the environment and/or existing structures.
 - ii. Mirrored glass is prohibited. Reflective or color tinted glass is discouraged and will not be permitted without written approval by the ARB. Where necessary, smoked or tinted glass is preferred.
- c. Roofs and Mechanical Systems.
Roof top equipment which is or potentially could be visually offensive to a taller neighboring structure shall be either fully enclosed, painted to match roofing aggregate, the color palette of the primary structure, or similarly treated in a manner acceptable to the ARB. No Roof top equipment shall be visible from public streets or adjacent structures of equal or lesser height must be similarly treated.
- d. Building Wall Footings.
Building wall footings shall not encroach from one Tract onto another Tract. The design and construction shall be of high quality.
- e. Setbacks.
Except for the more restrictive requirements set forth below, all buildings or other permanent structures shall be constructed, placed and maintained in conformity with the applicable requirements set forth in the UDC, as it relates to Public ROW however no setback will be required along adjoining property boundaries to encourage cross access and ease of pedestrian flow between internal lots.
- f. Exception to Setback Restrictions. The following improvements are expressly excluded from these setback restrictions:
 - i. Surface parking areas exclusive of parking structures.
 - ii. Steps, walks, and driveway access to the site.
 - iii. Landscaping, including berms, irrigation and accent lighting.
 - iv. Planters not exceeding 4' in height or within motorist sight lines at intersections or entries.
 - v. Project identification graphics.

- g. Height Limitations. All height limitations shall be as set forth below:
 - i. On the Retail Area I: - Thirty-two (32) feet provided that a Building having greater than fifty thousand (50,000) square feet of gross leasable area may have an architectural entry feature not to exceed a height of thirty-six (36) feet not to exceed thirty (30) percent of the total frontage of such Building, Outparcel Buildings shall not exceed twenty-six (26) feet provided that a Building may have any architectural entry feature not to exceed thirty (30) feet.
 - ii. On the Target Tract (Retail Area II): - Fifty (50) feet
 - iii. On the Remaining Portion of Retail Area II: - Thirty-Five Feet (35')
 - iv. On the Retail Area III: - Forty (40) feet.
- h. Drive-Up Pickup Areas: Drive Up Pickup Areas to be defined as pre-purchased item pickup for commercial establishments. Parking spaces used to create pickup areas are 1.5 standard parking spaces to create 1 new pickup parking space.
 - i. Signage and wayfinding allowable in non-illuminated and illuminated signage. Above Canopy Mounted signs are allowed, 1sf per of length of open canopy, outline of letters to be basis of area calculation. (see attached example from Target signage package for reference)
 - ii. Wayfinding signage for the purpose of drive-in pick up areas may be installed in parking stalls, ends of parking rows and placed on covered canopies.
- i. Where the side or rear lot line of a retail development coincides with a side or rear lot line of a multi-family residential development, the setback shall be a minimum of 20ft.

RIVER CHASE **ARCHITECTURAL GUIDELINES**

OFFICE

BUILDING SITE GUIDELINES:

- a. Temporary Buildings.
No structure of a temporary character, trailer, tent, shack, garage, barn or other outbuilding shall be built, used or maintained on any Lot within River Chase at any time other than during the construction period of buildings and other permanent structures on the respective Lots within River Chase.
- b. Building Materials and Colors.
 - 1. Exterior building materials, textures and colors are to be selected so as to be in harmony with the environment and/or existing structures.
 - 2. Mirrored glass is prohibited. Reflective or color tinted glass is discouraged and will not be permitted without written approval by the ARB. Where necessary, smoked or tinted glass is preferred.
- c. Roofs and Mechanical Systems.
Roof top equipment which is or potentially could be visually offensive to a taller neighboring structure shall be either fully enclosed, painted to match roofing aggregate, the color palette of the primary structure, or similarly treated in a manner acceptable to the ARB. No Roof top equipment shall be visible from public streets or adjacent structures of equal or lesser height must be similarly treated.
- d. Small Scale Low-Rise.
 - i. No building shall exceed thirty-five (35) feet in height above the natural grade of the property at the location of the structure or base flood elevation as established in Flood Ordinance 791, whichever is higher.
 - ii. Roofs may be flat or pitched. Pitched roof shall be standing seam metal, clay or concrete tile. No composition shingles shall be permitted.
 - iii. Exterior Walls shall be masonry to include stucco, textured concrete, brick, stone, granite or marble or tinted glass.
- e. Mid-Rise Building.
 - i. No building shall exceed one hundred (100) feet in height above the natural grade of the property at the location of the structure or base flood elevation as established in Flood Ordinance 791, whichever is higher.
 - ii. Roofs may be flat or pitched. Pitched roof shall be standing seam metal, clay or concrete tile. No composition shingles shall be permitted.
 - iii. Exterior Walls shall be primarily masonry to include stucco, textured concrete, brick, stone, granite or marble or tinted glass.
- f. Permitted Uses: Uses as listed in underlying zoning shall supersede except temporary uses.

RIVER CHASE LANDSCAPE GUIDELINES

RETAL/OFFICE

LANDSCAPING GUIDELINES

- A. Landscaping shall be installed and maintained within those portions of a Lot improved by buildings, parking areas and the like, including the Street Planting Area: Trees, shrubs, landscaping, fountains and any other landscape architectural feature, specifically approved by the Department of Planning, are allowed.
- B. Also allowed are sidewalks, driveways, signs, utility easements and servitudes, retention/detention ponds, drainage ways and facilities or other non-building improvements approved by Staff, but every effort will be made to protect any trees within the Street Planting Area and maintain the minimum number of trees required within this area, but if such trees must be removed for the placement of certain utility lines and building/parking structures replacement trees will be planted with appropriate Class A or B species within another area of the zone to maintain the provisions of the River Chase Development Regulations. Replacement of protected species of live oak or cypress if required can be modified to allow substitution of other Class A species as determined by the Department of Planning to achieve a more sustainable buffer.
- C. All required trees and shrubs shall be located within the street planting area as follows:
 - i. If no servitude or easement within street planting area locate Class A and B trees and shrubs anywhere within street planting area.
 - ii. If overhead line servitude or easement, along street or road, within street planting area locate Class A trees outside of servitude or easement; locate Class B trees within servitude or easement; locate shrubs anywhere within street planting area.
 - iii. If underground line servitude or easement is located along street or road, within street planting area locate Class A and B trees outside servitude or easement; locate shrubs within servitude or easement
 - iv. If crossing servitude or easement is located overhead or underground, within street planting area locate all Class A trees outside servitude or easement; if overhead, locate some Class B trees within servitude or easement; if underground, locate some shrubs within servitude or easement.
- D. In the specific zones (Retail, Small Scale Office) driveways may be parallel to and over property lines so as to service each contiguous parcel, the landscape buffers will be placed on either side of the driveway; parking lots may be located over property lines where cross parking servitudes allow for parking on each contiguous parcel; and in no event shall less than 10 percent of the total improved area be landscaped.
- E. Landscaping shall be an effective combination of trees, grass, ground cover and shrubbery. The preservation of existing trees on the Lot shall be done wherever possible.

- F. Landscaping shall be designed so as to permit reasonable access to any and all public and private utility lines and easements situated on or adjacent to Lot(s), for installation and repair.
- G. The interior parking landscaped areas shall be curbed with permanently anchored material at least six (6) inches in height. Curb material shall be concrete.
- H. A required interior parking landscaped area may be connected with a required street or buffer planting area so long as the interior parking landscaped area is in addition to the area of the required street planting or buffer areas.
- I. No more than twelve (12) parking spaces shall be permitted in a continuous row without being interrupted or terminated by a landscaped island or median of not less than six (6) feet in width (exclusive of curbs) and not less than the length of the parking space. In the event an existing tree is located within the proposed parking area, the tree's preservation shall take precedence and the parking spaces can exceed 12 continuous spaces.
- J. Every parking row shall terminate in a landscaped island not less than the length of the parking space; provided that, a landscape island shall not be required at the end of a parking row where the end of the parking row abuts a street planting area or buffer planting area.
- K. All undeveloped properties shall be maintained by the Owner of that property in accordance with applicable requirements of Governmental Authorities, and such Owner shall be obligated to maintain such undeveloped property free and clear of any man-made debris and to maintain all weeds and underbrush at an elevation of not more than nine inches (9") in height by cutting the same not less than four times each year.
- L. Exposed concrete culverts for drainageways shall be discouraged. All drainage-ways shall be maintained free of all man-made debris and under-brush, fences, or any other man-made structures or obstructions of any kind.
- M. The chosen plant palette should consider hardiness of species, maintenance, application and consistency with the adjacent micro-climatic zones of the region's established landscapes. Plants which demonstrate sustainability and drought resistance are encouraged.
- N. The Owner shall be responsible for the design, installation, maintenance and proper utilization of automatically controlled landscape irrigation systems for each site. Irrigation installation shall be performed by a licensed irrigation contractor as regulated by the Louisiana Horticulture Commission. Irrigation devices shall not be installed above finish grade or in such a manner as to be hazardous to pedestrian traffic.
- O. Landscape lighting used outdoors shall be aimed, directed, or focused so as not to create glare perceptible to persons operating motor vehicles.

- P. Any retention/detention ponds shall be designed as a visual amenity to the area in which it is situated. A strip of land, a minimum of five (5) feet in width, shall surround the retention/detention pond on the front, rear and all sides, which strip shall be at grade level and shall not be excavated or made a part of the slope of the retention/detention pond. This strip of land shall contain the required landscaping for the area in which the retention/detention pond is located, and/or as the Tree Mitigation area for the relocation of trees development.
- Q. If the banks of the retention/detention pond are sloped, the slope shall be at such a ratio so that vegetation will grow thereon so that it can be maintained. Vegetation is required on such slopes. Water quality ponds may have a vegetative shelf for certain aquatic plants.
- R. Any fences around the retention/detention pond shall be an ornamental fence.
- S. The plan for the retention/detention pond shall be shown on the landscape and tree preservation plan or on a separate plan. This plan shall be submitted to the Department of Planning and Engineering for its review and approval in connection with the issuance of the landscape permit.
- T. A continuous buffer along main roads between parcels of varying depth should be adjusted to present a more uniform buffer of no less or more than 25' with the appropriate number of Class A and Class B trees as follows: 1 Class A Tree and 1 Class B Tree per 30 linear feet (or fraction thereof) of street or road frontage. 1 Shrub per 10 linear feet (or fraction thereof) of street or road frontage. Removal of groups of fewer than (5) pine trees or gum trees in buffers is permitted when the removal will create a safer long term buffer planting area.
- U. Site Fill: If Site fill and placement of building require fill in close proximity to **required** buffers, tree mitigation efforts may be used to remove and replace buffer plantings within the "Tree Mitigation" areas where it is proven that fill placement could present a negative effect on the long-term health of the required buffer trees, or within the development site itself. Mitigation tree species must be approved by the Developer.
- V. Shared Drives at Property Lines: In areas where a shared driveway is servicing two parcels the buffer between parcels will be reduced by that length of driveway, and a shared driveway will be considered a buffer between parcels. The reallocation of the buffers will be required along the shared drives to the interior drive so as to ensure the development site is providing minimum perimeter landscaping.
- W. Tree Mitigation Areas are established within the RBCO to be utilized at Owner/Developer's discretion where necessary. These tree mitigation areas shall not impede access for maintenance to ponds or utilities within the site. Updated drawing to be provided showing maintenance access to pond and utilities at a later date.
- X. Buffer areas defined as 10' on each side of property line may be cleared of trees that constrain site development, building placement, drainage or functionality of site.

Protected tree species removed from buffer areas larger than 6" diameter shall be replaced in buffers either on site or in Tree Mitigation areas within the RBCO defined areas when there is no room on site. Side and Rear Buffer Landscaping Requirements are as follows: 1 Class A Tree and 1 Class B Tree per 30 linear feet (or fraction thereof) of street or road frontage.

- Y. When required by landscape code total number of trees required to be planted in buffers and/or shared property lines may be planted in grouped areas on site or within the Tree Mitigation area. The purpose of this is to allow flexibility of planting on a particular site.
- Z. Green Space : Flexibility of depth of street planning areas will allow the required depth of the street planting area to be adjusted so the depth of the street planting area may be reduced to a minimum of 10', up to a maximum of 20% of the length of the street planting area, provided that a depth greater than the required depth is added to other areas of the street planting area to maintain the overall required street planting area. Side setback and planting areas between parcels may be reduced to a minimum of 5'.

RIVER CHASE **SIGNAGE GUIDELINES**

Retail/Office

SIGNAGE DEVELOPMENT GUIDELINES.

A. **Design Precept.** Exterior signage should closely reflect the architectural style of primary structures. Sign structures should integrate with the landscape and should be designed as a part of the overall site development.

i. No signs shall be permitted except permanent signs to identify the subdivision, those necessary for directional or information purposes, and those necessary to identify the establishment. Signs design and materials shall contain a stone base and maintain the use of stone as a primary design element. Signs for directional or informational purposes shall not exceed ten (10) square feet per sign. Signs necessary to identify an establishment shall be included within the architectural design of the building. In no event shall signs be permitted to be placed on the roofs of any building or permanent structures. Banners, pennants, spinners and streamers shall not be permitted. No neon, intermittent or flashing signs shall be permitted within the subdivision.

ii. Undeveloped properties shall be limited to one sign per lot which shall identify only the prospective use or development of that property, or the fact that such property is available for sale, build to suit and/or ground lease. All signs shall be kept in a neat and orderly appearance, free of chips and smudges, and in a plumb, vertical position. Prohibited signs include signs mounted above parapets or roof lines, bench signs, billboards, pennants, political campaign signs, trailer signs, signs with beacons, any sign containing statements, pictures or words of an objectionable nature or any sign that obstructs "safe" sight lines at street or road intersection.

iii. **Temporary Signage.** Temporary signage will be allowed on the building exterior or on the premises, but not within ten (10) feet of adjoining public street Rights-of-way, for "For Lease" or "For Sale", but not general business promotion. Any such signs shall not exceed 2 in number per Lot or be larger than 64 square feet or more than 8 feet high. Temporary signage, applied to glass, and visible from the building exterior, is prohibited. Temporary signage intended to identify a site user is allowed.

B. Pylon Signs

- a) Pylon Signs shall be located at the designated locations as shown on the River Chase Pylon & Entry Sign Concepts plan dated February 2, 2010 page 1.
Pylon Signs can display users, tenants, owners on any parcel anywhere in the River Chase Project
- b) Number of Pylon Signs. Two Pylon Signs shall be located along Stirling Blvd adjacent to Interstate 12 ROW as shown on the River Chase Pylon & Entry Sign Concepts plan dated February 2, 2010 page 1. One Pylon Sign shall be located at the Highway 21 and Brewster Road entrance to River Chase as shown on the River Chase Pylon and Entry Sign Concepts plan dated February 2, 2010 page 1.
- c) Location of Pylon Signs.
 - i. A pylon sign must be located within one hundred feet of the highway or frontage road right of way.
 - ii. If a pylon sign is located on the development side of an internal public road it must be setback at least fifteen feet from the right of way of said public road.
 - iii. If a pylon sign is located between an internal road and an Interstate highway right of way, the sign must be at least 5 feet from the internal road right of way, and may be placed immediately adjacent to the Interstate Highway right of way, if there is no objection to such placement from the Louisiana Department of Transportation and Development.
 - iv. A pylon sign may not be located within a triangular area formed by the street or driveway right-of-way lines and a line connecting them at points fifty (50) feet from the intersection of said right-of-ways.
- d) Standards for Pylon Signs
 - i. Area - The total sign face area (multiple tenant signs) for each allowed pylon sign shall not exceed 450 square feet per side.
 - ii. Height of Pylon Signs - The height of monument signs shall not be greater than 45 feet from grade.
 - iii. The total structure face shall not exceed 1500 square feet, inclusive of the total sign face.
 - iv. A logo or graphic identified with the development may be placed on each side of the structure not to exceed 100 square feet in area per side.

C. Entry Identification Monument Signs

- a) Entry Identification Monument Signs shall be located at the River Chase east entry and west entry on Brewster Road as shown on the River Chase Pylon & Entry Sign Concepts plan dated February 2, 2010 page 1.

D. Outparcel Small Pylon Sign

- a) Single user allowed off premises
- b) The Outparcel Small Pylon Sign shall be located at the north entrance from Highway 21 to the Outparcel "A" building.
- c) Height of Monument Signs - The height of monument signs shall not be greater than nine (9) feet.
- d) Area - The total sign area for each allowed monument sign constructed shall not exceed the following limits:

Building Type Square Footage Per Side

Single Occupancy 32 sq. ft.

Multiple Occupancy 100 sq. ft.

E. Single Tenant Monument Sign

- a) The total sign area permitted for a single tenant building shall not exceed 20 sq. ft. per side.

F. Multi-Tenant Monument Signs

- a) Allowed to display any users within the project area including off premise users
- b) Multi-Tenant Monument Signs shall be located at the entrance to the retail, office and small scale office areas located on Stirling Blvd, Brewster Road and River Chase Drive within the River Chase Regional Business Center Overlay District.
- c) Height of Monument Signs - The height of monument signs shall not be greater than nine (9) feet.
- d) Area - The total sign area for each allowed monument sign constructed shall not exceed the following limits:

Building Type Square Footage Per Side

Multiple Occupancy 100 sq. ft.

G. Retail Building Signage.

- a) Signs, Location - One wall sign per occupant to be sized at a ratio of one square foot of sign area per linear foot of the facade of the store front. For store fronts of less than thirty-two (32) linear feet the allowable size sign shall be thirty-two (32) square feet.
- b) Corner Buildings - On store frontages located at the corner of a building, which face two different street frontages (or parking lot), or if a business occupies an entire separate structure within a center, additional wall signs, the area of which shall be calculated as above.
- c) Tenant's sign shall be store identity sign only and shall be placed on the exterior facade above the storefront
- d) Tenant's sign shall be individual, 3 dimensional, internally illuminated channel letters mounted directly to the signboard. No raceways are allowed.
- e) Tenant's sign shall be limited to letters not to exceed that allowed by code.
- f) Rear Doors - One rear identification wall sign must be displayed on or at a rear door of each separate business entity for purposes of emergency access and deliveries only. Such sign shall be limited in size to the minimum size required by the state fire marshal.
- g) Address Signs - An occupant shall place 6" numbers for the street address of the store above the main entrance door(s).

RIVER CHASE

PARKING GUIDELINES

Retail/Office

PARKING GUIDELINES

- A. Parking. All present and future vehicle parking shall be constructed and maintained on the premises. The number of parking spaces to be included in the parking area shall be the greater of 4.5 per 1,000 square feet of leasable area of Retail I thru IV or the requirements of Section 7.0704 Supplemental District Regulations and conform to all other applicable government regulations including and pursuant to underlying zoning designations. All such areas shall be paved with permanent surfacing materials, such as asphalt or concrete. Parking areas shall be curbed and paved with appropriate materials. No parking area shall be allowed to be constructed within 10 feet from any public street right-of-way line. Parking areas for trucks and vans shall be provided at the rear of the building or at the side of the building within properly screened areas in accordance with the landscaping provision. No on-street parking of any vehicle shall be permitted and the parking area shall be designed so as to ensure that no on-street parking will occur.

- B. Surface Parking. Driveways and Sidewalk. Adequate off-street parking shall be provided to accommodate all parking needs for employees, visitors and company vehicles for each site. All parcels shall be designed to have self-sustaining parking. Cross parking easements can be utilized. The intent of this provision is to eliminate the need for any on-street parking.

Parking of equipment on a regular basis in parking areas will not be allowed. The development and use of parking structures architecturally compatible with the surrounding buildings, land usage, and natural environment is encouraged.

- C. Construction Materials. The construction of parking areas, driveways and sidewalks shall comply with the following requirements:
- a. All parking areas and drives shall be paved with concrete or asphalt and properly marked.
 - b. Where a curb or gutter is used at the pavement edge, top of curb shall be placed at natural grade. Where no curb is utilized, pavement must terminate with a suitable edging to ensure stability of the pavement edge and drainage away from landscape areas.
 - c. A curb or other wheel stop shall be provided at the perimeter of planted areas to prevent vehicular intrusion.
 - d. Expanded walks with curb or perimeter curb sections are preferred over free-standing wheel stops.

- e. Parking lot and vehicular use area surface markings shall be painted in a semi-reflective white or yellow paint manufactured for such purposes. Red surface marking is prohibited unless required by UDC.
- D. Structured Parking. Parking structures shall be compatible in material, color, and design to the primary commercial structure(s). The maximum height permitted for any parking structure is the lesser of forty-five feet (45') from adjacent ground level or the height of the adjacent building. When used, parking structures should maintain adequate setbacks from adjacent rights-of-way. No part of the automobile below the hood line shall be visible from any point on the site, or from adjacent sites or roads. Garages shall be constructed with internal ramps such that horizontal floor planes are present when viewed externally. The use of planters, trees and vines is encouraged to mask or break up the elevations of parking structures. Light sources located within parking structures should be so placed or shielded so as to conceal their source and not create a negative impact on adjacent properties.
- E. Landscaping Requirements. All landscaping at the parking lots shall meet the guidelines herein.

RIVER CHASE

MISCELLANEOUS GUIDELINES

Retail/Office

A. MISCELLANEOUS GUIDELINES.

a. Refuse and Storage Areas.

- i. Refuse and outside storage areas shall be visibly screened from streets and adjacent properties with a 7'-0" tall screen. All such areas shall be located to the rear of the building or to the side of a building, other than street side, at least three-fourths ($\frac{3}{4}$ ths) of the way from the front of the building.
- ii. All waste and exterior trash shall be situated so as to be inconspicuous from adjacent public streets. 7'-0" tall dumpster enclosures shall completely screen the unit and shall incorporate an opaque 7'-0" tall gate for access.
- iii. On site storage of materials, supplies, equipment, trucks, trailers and other commercial or industrial vehicles is prohibited.

b. Utilities.

- i. All onsite utility service lines, including electrical lines and telephone lines, located within a Lot shall be placed underground from the property line. Any transformer or terminal equipment provided within or immediately adjacent to the parcel area shall be visibly screened from view from streets and adjacent properties, with appropriate screening material provided by, maintained by and at the sole cost and expense of the Lot Owner.
- ii. Transformers, mechanical equipment, electric, gas or other meters of any type shall be painted to blend with the native planting or the color of the building. Full coordination with the local utility companies is recommended to ensure the most aesthetic siting of utility equipment.
- iii. Internet and Phone services shall be permitted.

c. Roofs.

Placement of any objects such as air conditioning units or exhaust fans on the roof of any building or other permanent structure shall be effectively screened from view.

d. Walls and Fences.

- i. No fence, wall, or hedge shall be built or maintained in front of any buildings. Rear yard fencing shall not extend nearer than 15 feet to the front wall line of the building or nearer than 15 feet to any adjoining building. Side yard fencing is permitted, but shall not extend nearer than 15 feet to the front wall line of the building, nor nearer than 15 feet to any adjoining building. Chain link fencing shall not be permitted under any circumstances.

- ii. The design, materials, textures and colors of such elements must be architecturally compatible with those of the building. Where practical, they are to be integrated with the building so as to be an extension thereof.
- iii. No Fence-on-Fence placement is allowed at any time. For privacy a “living fence” will be allowed with prior approval of Architectural Review of Development.

e. Lighting.

- i. All exterior light fixtures shall be designed and placed to illuminate structures within the confinement of the Lot boundary lines.
- ii. On each site, lighting fixtures shall be from the same family of fixtures with regard to design, materials, color of fixture and light source. Exterior building and parking lot lighting is required on all sites. All exterior lighting shall be directed so as to avoid glare or light throw onto streets or adjoining properties. The lighting guideline shall be established to provide a minimum of 4 foot candles in all areas of the site.
- iii. Encouragement will be given to the illumination of tree groupings within these buffers using ground or tree mounted up-lights. Light sources shall not be visible from the street.
- iv. Accent illumination of building or site entry points is encouraged. Identification signage shall be interior illuminated or illuminated by an approved ground mounted fixtures. Blinking, flashing or multi-colored illumination is generally unacceptable. All exterior illumination shall be fully operational each night from dusk until midnight or as required by the Parish of St. Tammany. All wiring shall be installed underground.

f. Screening.

- i. All required screening within any Lot in the subdivision shall be constructed of 100 percent masonry or stucco. Berms or shrubs shall be allowed to be used for screening if properly landscaped and continuously maintained.
- ii. Screening devices shall be of a height at least equal to that of the materials or equipment being screened.

g. Loading Areas.

- i. No loading docks shall be permitted on the front of any building. The truck docks shall be properly screened with the appropriate screening material so as not to be visible from public streets.
- ii. Adequate area shall be provided on site for all loading and maneuvering of trucks and other vehicles. No such operations will be permitted within any street, private access drives or rights-of-way. Truck loading and service areas shall be sited and screened so as not to be visible from adjacent public streets and should minimize the potential for negative impacts on adjacent site users. No such areas shall encroach into any public right-of-way, fire lane, parking area, or interior drive.

- h. Solar Panels and Equipment.
 - i. Roof-mounted solar panels must match the roof material. Panels must be an integrated part of the roof design and mounted directly to the roof plane. Solar units must be screened from neighboring property.
- i. Satellite Dishes/Transmission Equipment. Large exterior utility equipment, such as satellite dishes, cooling towers, and the like, shall be placed to the rear or side of buildings, out of view from the street, or shall be screened from view by landscaping, fences, wells or berms. Antennas or other pieces of equipment taller than the building will generally not be permitted. All federal and state law regarding satellite dishes, antennae, and microwave dishes must be met in full compliance.
- j. Site Furniture. Site furniture consists of benches, mailboxes, bollards, bicycle racks, trash receptacles and the like. The specification and design of all site furniture should be consistent with, and complementary of, its context. These elements should be of uniform design and material wherever possible. Site furniture cannot be placed along drainage easements.



ZONING STAFF REPORT
2022-3016-PR

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Proposed Use: McDaniel Dermatology: New Construction **Gross Area Lot Size:** 1.56 acres
Previous/Current Use: Undeveloped land **Use Size:** 7,606 sq. ft.
Owner: Ellison Holdings, LLC **Council District:** 1
Applicant: Jones Fussell - Jeff Schoen **Posted:** October 21, 2022
Commission Hearing: November 2, 2022 **Prior Determination:** Postponed until November 2, 2022
Determination: Approved, Denied, Postponed

Location: Parcel located on the east side of LA Highway 21, south of Dummyline Road; Madisonville, S41, T7S, R10E, Ward 1, District 1



Current Zoning
NC-1 Professional Office District
Planned Corridor Overlay
Highway 21 Planned Corridor
Future Land Use
Commercial
Flood Zone
Preliminary: Flood Zone AE10
Critical Drainage: Yes

Site Information:

1. The petitioned property consists of a total of 1.56 acres of a total 3.847-acre site which is located on the east side of Highway 21, south of Dummy Line Road, Madisonville. The applicant has expressed intent to apply for a minor subdivision of the subject property to create two lots from the existing 3.847 acres.
2. The applicant has a concurrent request to rezone the subject property from NC-1 Professional Office District to NC-4 Neighborhood Institutional District. This case was recommended for approval by the Zoning Commission on September 6, 2022 and will be heard on the next available Parish Council agenda (Case No. 2022-2996-ZC). The reason for the request is to allow for the construction of a 7,606 sq. ft. building to accommodate the dermatology practice.

3. Table 1: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Undeveloped	A-1 Suburban District
South	Animal Hospital Undeveloped	NC-1 Professional Office District A-3 Suburban District
East	Undeveloped	NC-1 Professional Office District
West	Residential Office Use	NC-5 Retail and Service District NC-1 Professional Office District



ZONING STAFF REPORT
2022-3016-PR

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

Findings:

The applicant has submitted a site plan, a grading and drainage plan, a landscape plan and tree survey, and a lighting plan which provides the limits of work for the proposed dermatology clinic. Staff has reviewed the application and provides the following comments:

1. Per Sec. 130-1814(1)(e)(1)(i), principal buildings must be set back 100 feet from the property line.
 - **The proposed dermatology clinic is encroaching within the 100 ft. required front yard setback by roughly 33 feet and will therefore require a waiver by the Zoning Commission.**
2. Per Sec. 130-1813(e)(2), the applicant must submit the following documentation:
 - a. An illustrative approved drainage plan by the Department of Engineering.
 - **The applicant has provided a grading and drainage plan which has been reviewed and approved by the Department of Engineering.**
 - b. A landscape plan of the site showing the type, size, and number of plants; location of existing trees to be preserved; the location and dimensions of planting bends, barrier curbs, sight triangles, fences, buffers, and screening; elevations of all fences and type of materials to be used; and the total square footage of landscaping.
 - **The applicant has submitted a tree survey and landscape plan which have been revised to be consistent and meet regulations.**
3. Per Sec. 125-88(b)(6)(b), no part of a permanent structure, including a driveway and/or fence shall be located within 20 feet of the top of bank of an open drainage ditch, channel, canal, or similar drainage feature, including a natural river or stream, unless subsurface drainage is installed.
 - **The proposed location of the building and the parking lot encroach within the required 20 ft. setback. The applicant has submitted a letter stamped by a licensed professional engineer justifying that the proposed foundation's structural integrity will not be comprised due to its vicinity to the existing drainage feature. Therefore, the Department of Engineering is not opposed to the waiver request of STP Ordinance Sec. 125-88(b)(6)(b).**

Informational Items:

1. The applicant must provide a LADOTD driveway permit or written verification that a driveway permit is not required at the permitting phase.
2. The applicant must contact applicable utility companies to inquire about capacity and or cost of service to accommodate the proposed addition. If capacity is unavailable, the applicant must contact LDH to inquire about sewer and water expansions/updates.
3. An STP Stormwater Agreement is required to be completed by the owner or contractor per Sec. 115-106.
4. The property owner shall be responsible for the maintenance and the replacement of the required plant materials.
5. During construction, planting or open ground areas surrounding preserved trees shall be wired off with a properly flagged, reinforced & rolled wire mesh.

Consistency with New Directions 2040

Commercial: Concentrations of offices, retailers, services, and other employers that generate varying levels of traffic. They range from neighborhood-serving uses such as personal care and convenience goods, to large-scale shopping centers. May also include high intensity residential uses.

1. The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:
 - i. Goal 5:1: The Parish will designate adequate land served by supporting infrastructure for use by businesses and industries seeking to begin or expand.
 - ii. Strategy 5:1:1 Reserve land fronting existing, undeveloped corridors for commercial uses.
 - iii. Goal 5:2: St. Tammany Parish will attract and grow businesses that expand the Parish's tax base and provide living wage jobs to residents of varying skill levels.

A-2

HC-1

ED-1

A-1

21

COVINGTON HWY

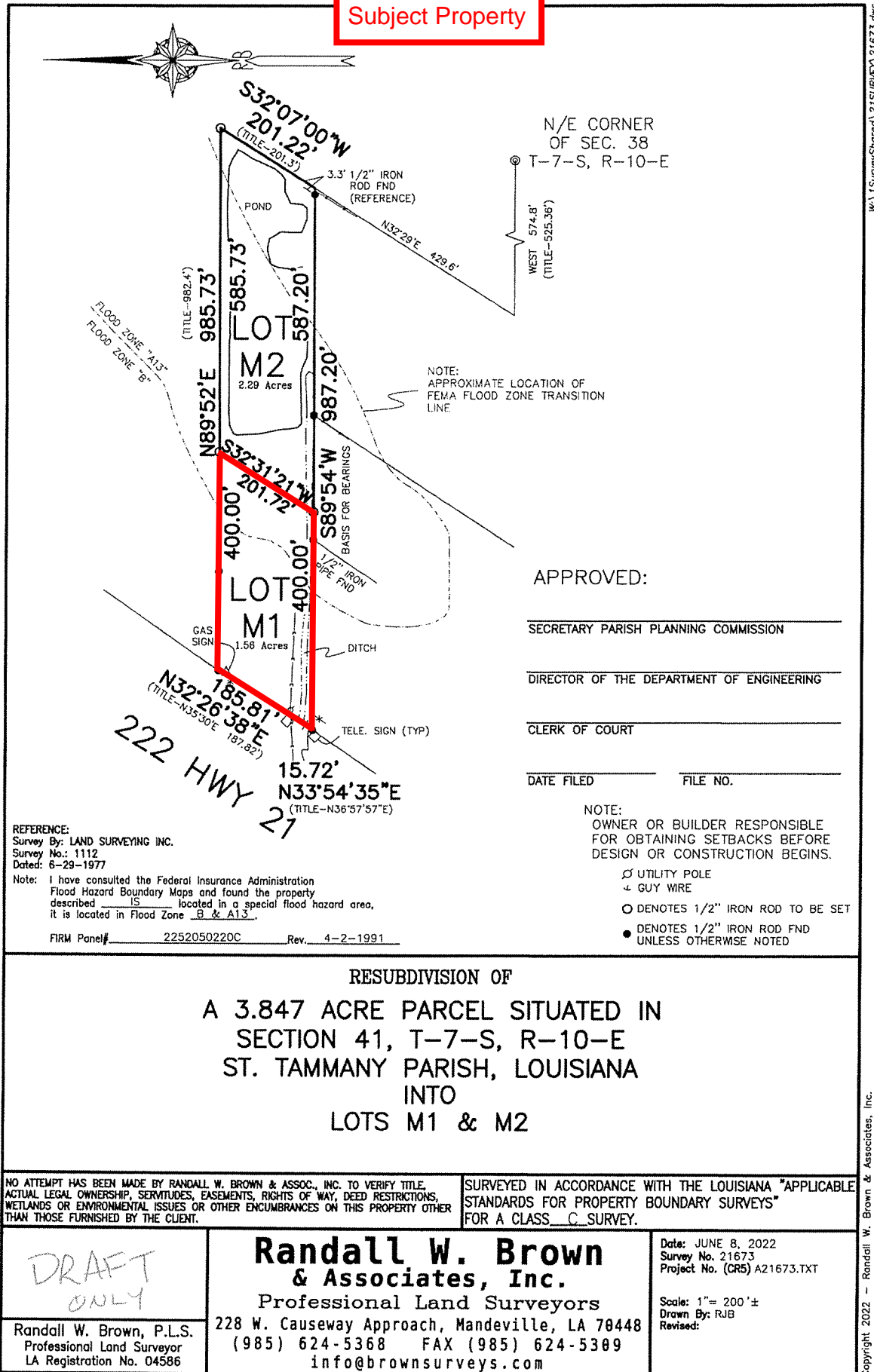
NC-5

NC-1

NC-4

A-3

Subject Property



2022-3016-PR

NOTE:
TOTAL AREA OF PARKING AREA: 39,350 SQ FT
REQUIRED PLANTING AREA IN PARKING AREA 3,935 SQ FT (10%)
PROVIDED PLANTING AREA IN PARKING AREA 4,520 SQ FT (11%)

PARKING REQUIREMENTS:

BUILDING AREA 7,606 SF / 200 = 38 (REQUIRED)
TOTAL PARKING PROVIDED = 38

fl+
WB
architects
a professional corporation *continuous practice since 1981*

architecture
planning
interiors
sustainable design
consulting

1404 GREENGATE DRIVE, SUITE 101
COVINGTON, LA 70433
985-893-4100

[illegible]

McDANIEL
DERMATOLOGY PRACTICE
222 HIGHWAY 21
MADISONVILLE, LA

CONSTRUCTION
DOCUMENT

Date
03.OCT.22

Owner/Developer:
Ellison Holdings, LLC

Designer:

FLWB Architects, APC
1404 Greengate Drive, Suite 101
Covington, LA 70433

Fairway Consulting & Engineering
403 N. Jefferson Ave.,
Covington, LA 70433

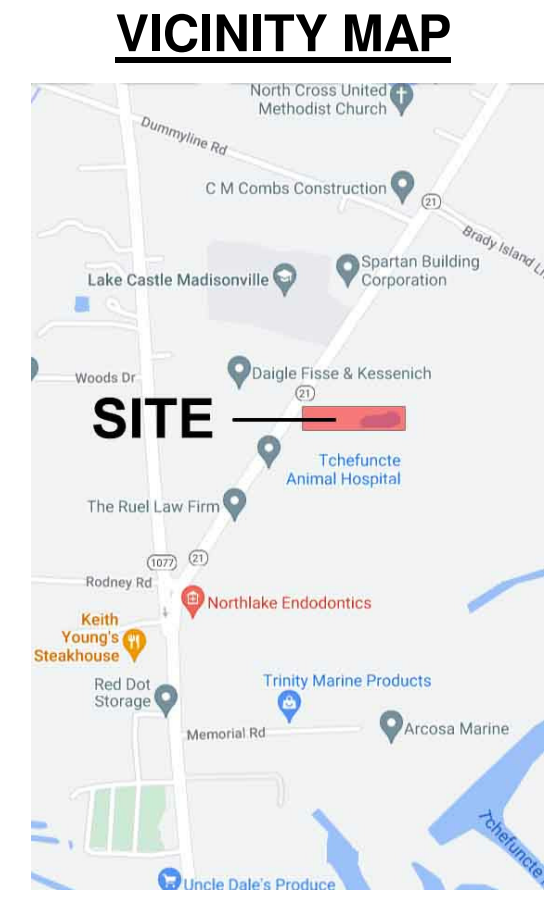
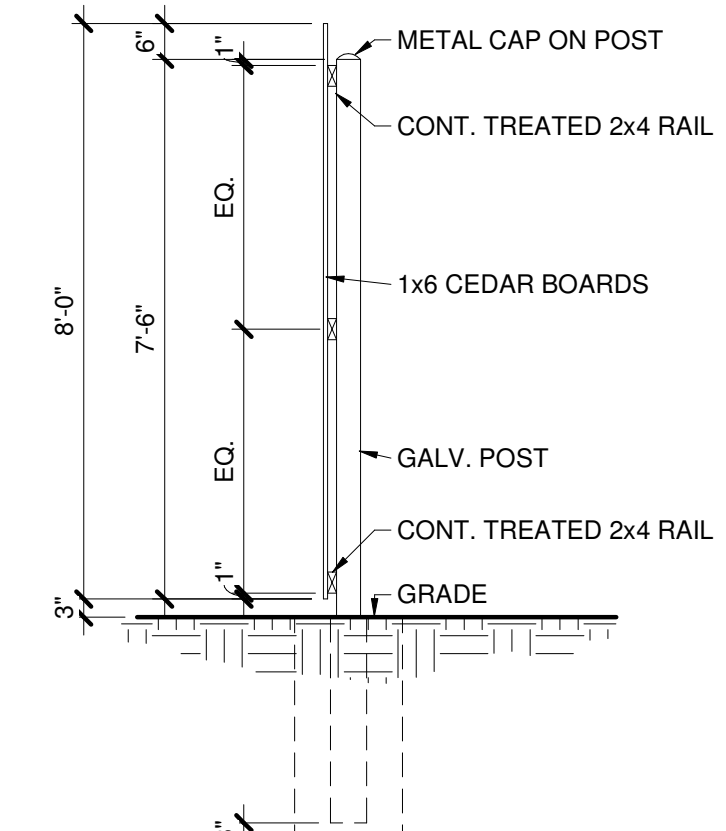
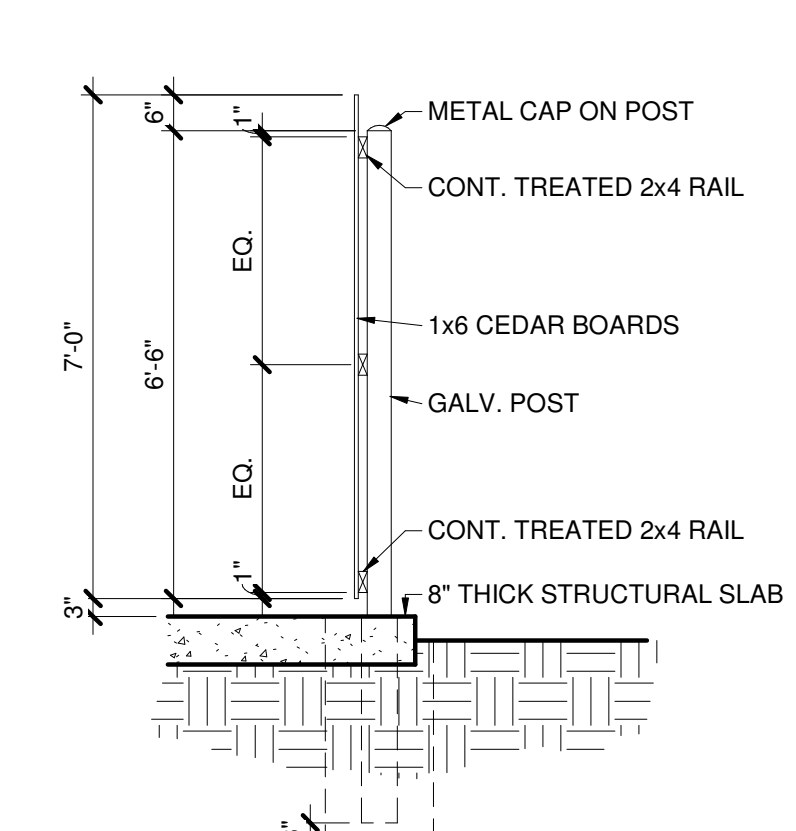
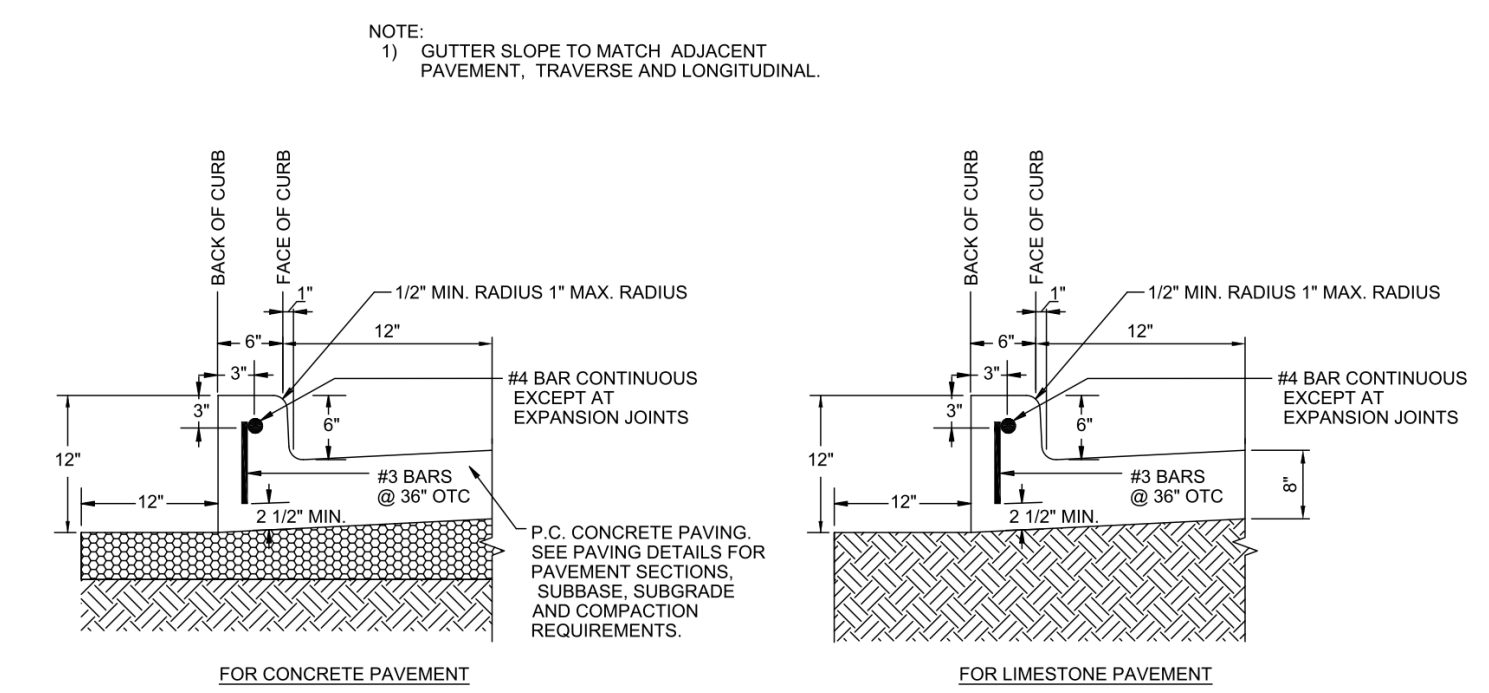
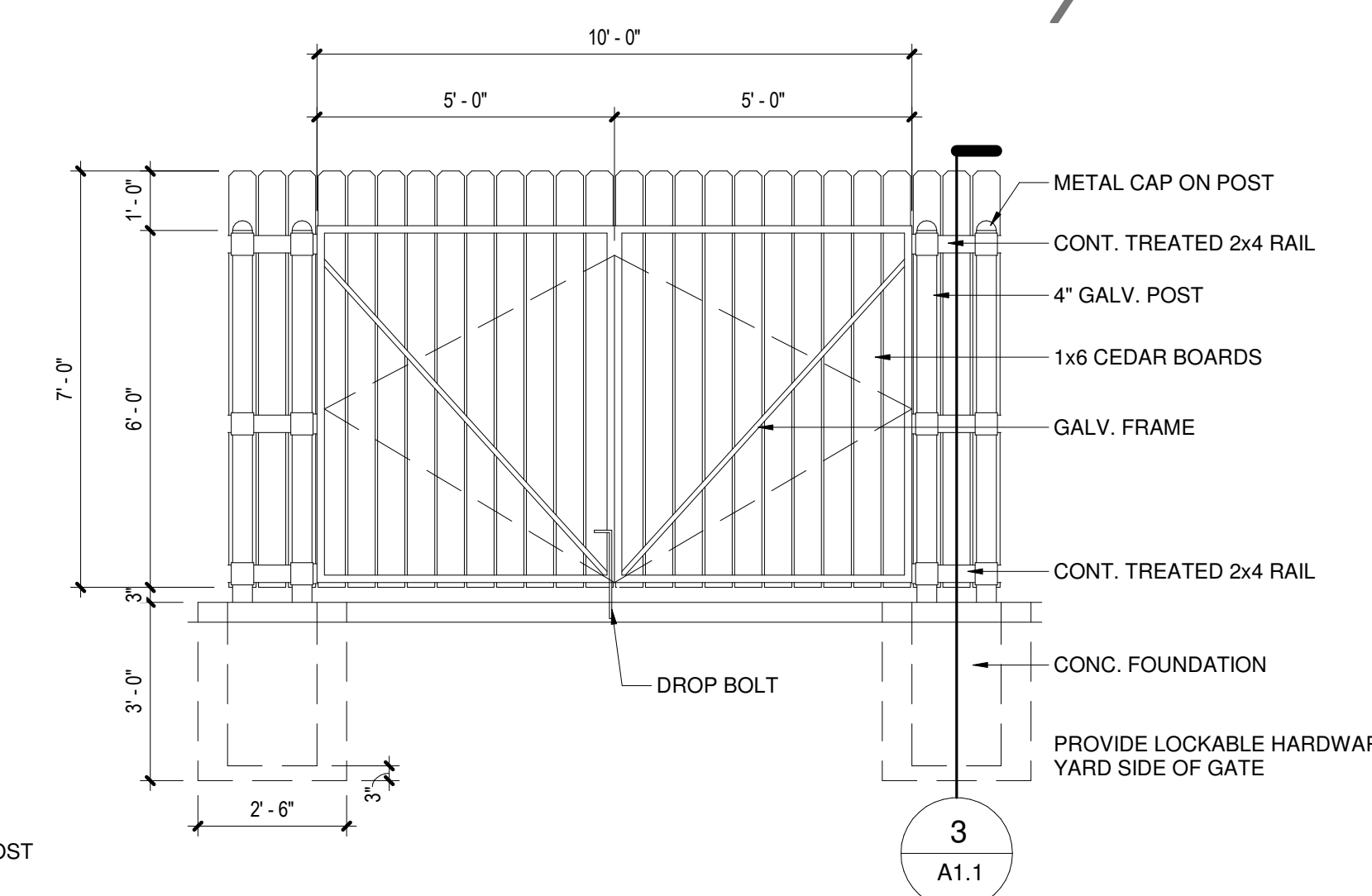
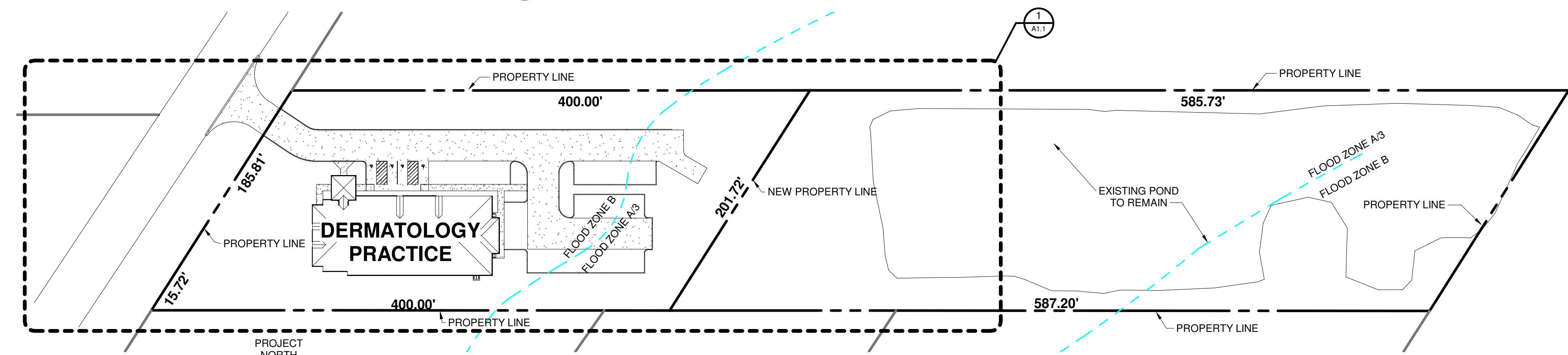
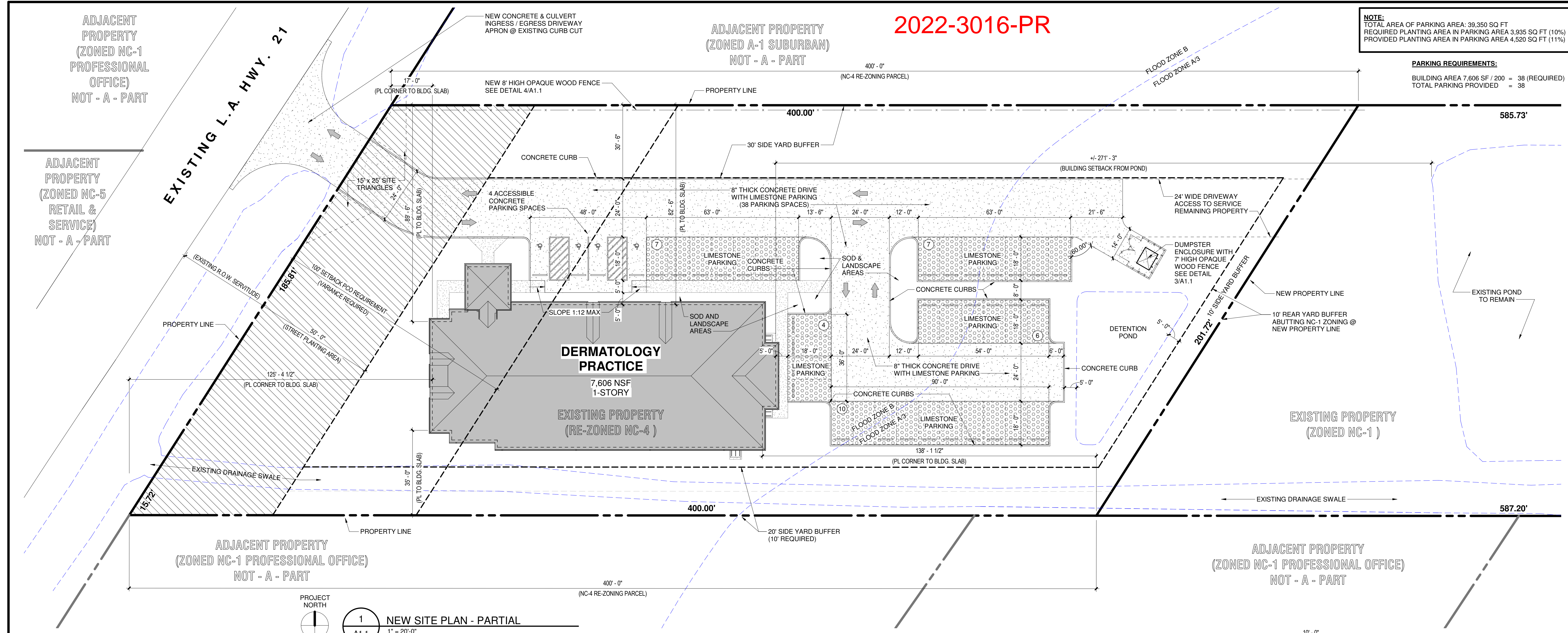
SITE PLAN

Job No. 221057.01

MAH KJW

A1.1

Sheet NO. _____



C-906 TYPE "B" INTEGRAL CURB AND GUTTER
N.T.S.

3
A1.1

DUMPSTER FENCE DETAIL

3/8" = 1'-0"

4 PROPERTY FENCE DETAIL
A1.1 3/8" = 1'-0"



FAIRWAY
CONSULTING + ENGINEERING

A1.1

2022-3016-PR

FLOOD STORAGE REPORT			
BFE	FILL	CUT	NET (CUT)
10.0'	341 CU YDS	356 CU YDS	15 CU YDS

NOTE: FLOOD STORAGE ANALYSIS WAS COMPUTED BY COMPARING THE EXISTING AND PROPOSED GROUND SURFACES WITH THE BASE FLOOD ELEVATION SURFACE IN AUTOCAD CIVIL3D. THE POND STORAGE WAS NOT FACTORED INTO THE FLOOD STORAGE CALCULATIONS.

LEGEND

	SUBSURFACE DRAINAGE
	AREA INLET
	YARD INLET
	PROPOSED CONTOUR
	SWALE
	SPOT ELEVATION
	SPOT ELEVATION (MATCH EXISTING)
	SLOPE

GRADING NOTES

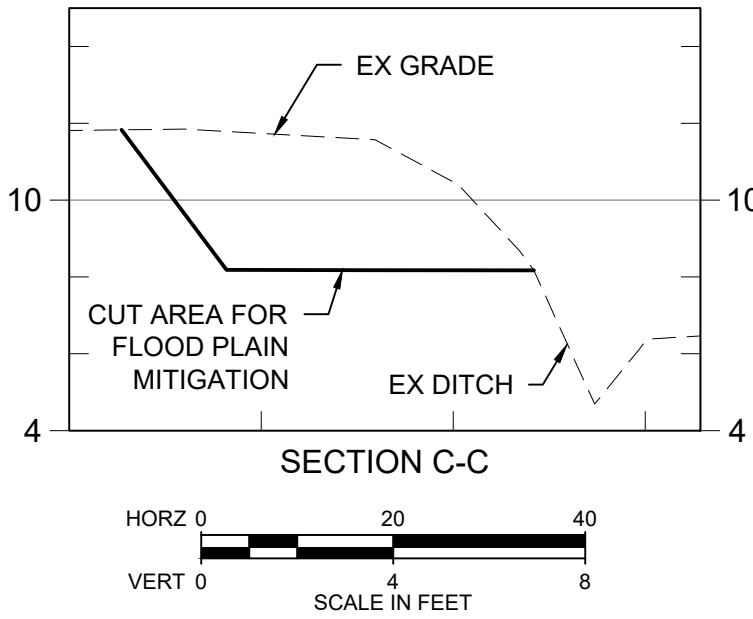
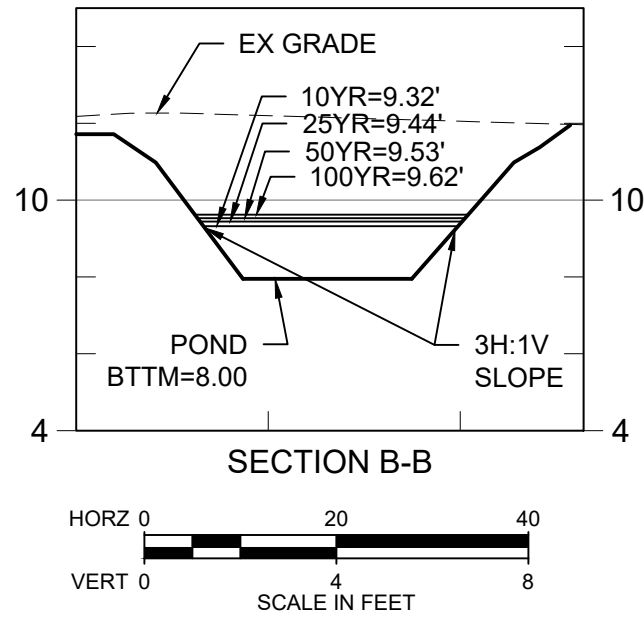
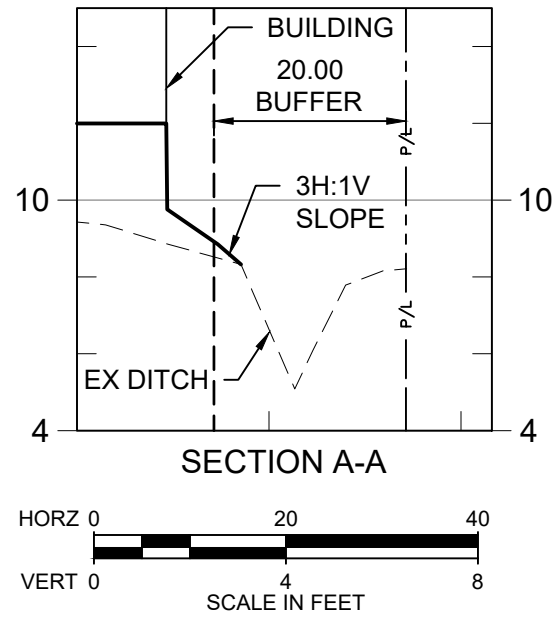
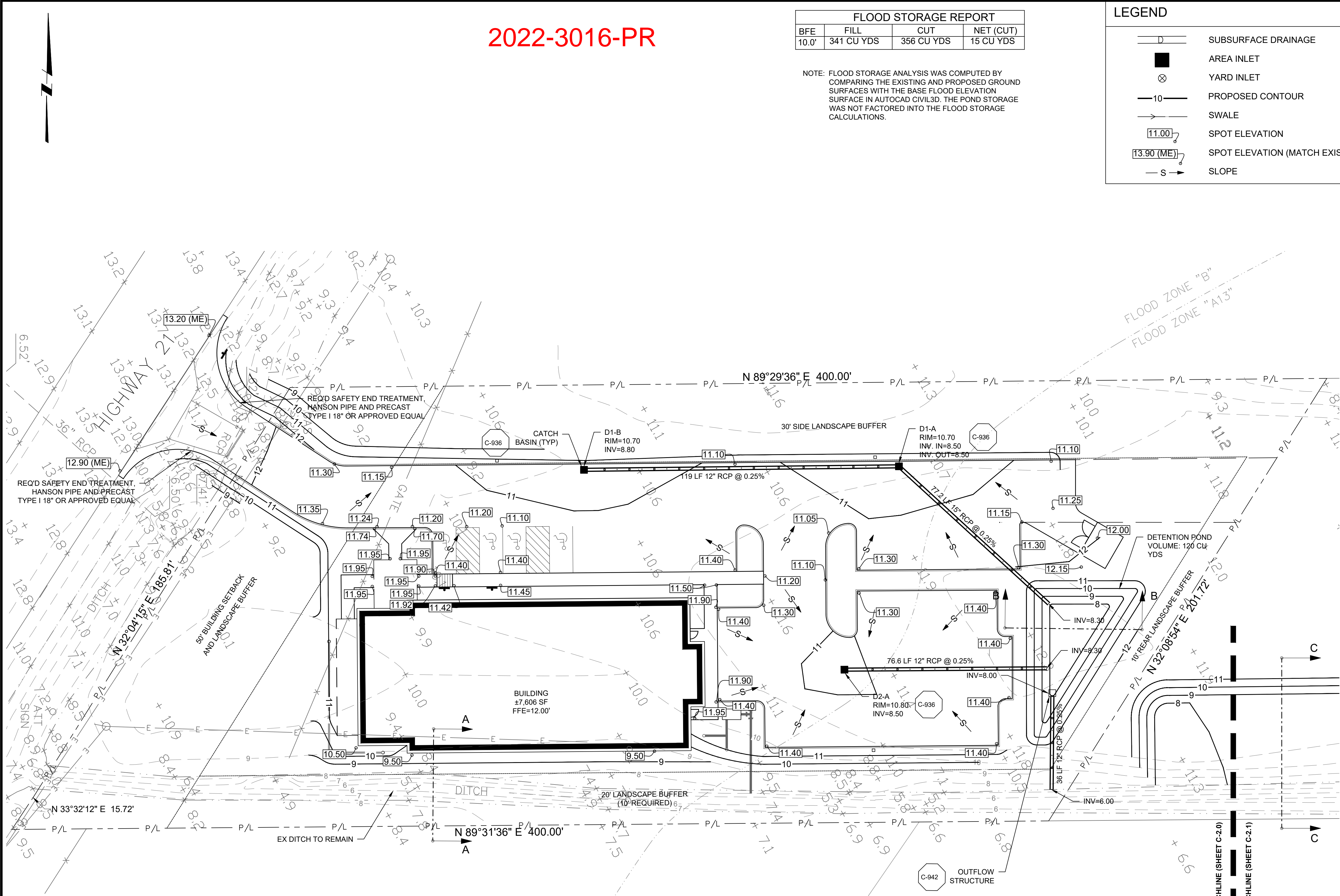
- TOPOGRAPHIC INFORMATION WAS TAKEN FROM A TOPOGRAPHIC SURVEY BY RANDALL W. BROWN & ASSOCIATES, INC. DATED APRIL 22, 2022. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR & SUBMIT IT TO THE OWNER FOR REVIEW.
- EXISTING GRADE CONTOURS INTERVAL SHOWN AT ONE FOOT (1').
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION &/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES & WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE REQUIRED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES & NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY HORIZONTAL & VERTICAL LOCATION OF ALL EXISTING STORM DRAINAGE STRUCTURES, PIPES, & ALL UTILITIES PRIOR TO CONSTRUCTION.
- CLEARING & GRUBBING LIMITS SHALL INCLUDE ALL AREAS DISTURBED BY GRADING OPERATIONS. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UNDISTURBED AREAS, ALL PROPERTY CORNERS, & REPLACING ALL PINS ELIMINATED OR DAMAGED DURING CONSTRUCTION.
- THE EARTHWORK FOR ALL BUILDING FOUNDATIONS & PAVEMENT AREAS SHALL BE IN ACCORDANCE WITH THE SITE PREPARATION NOTES.
- CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL PLANS, POWER COMPANY, & TELEPHONE COMPANY FOR ACTUAL ROUTING OF POWER & TELEPHONE SERVICE TO THE BUILDING.
- CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES & BE CONSTRUCTED TO THE SAME.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE SOD, SEED, MULCH, WATER, ETC. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH LANDSCAPE PLAN UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARD OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION & TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, & OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT LIMITED TO, ACCESS & EGRESS FROM ALL EXCAVATION & TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
- CONSTRUCTION TRAFFIC OVER THE COMPLETED SUBGRADE SHALL BE AVOIDED. THE SITE SHALL ALSO BE GRADED TO PREVENT PONDING OF SURFACE WATER ON THE PREPARED SUBGRADE OR IN EXCAVATIONS.
- CONTRACTOR TO COORDINATE BENCHMARK LOCATION AND ELEVATION WITH SURVEYOR. ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD83(GEOD12A).

STORM DRAINAGE NOTES

- ALL PIPES ENTERING STORM DRAINAGE STRUCTURES SHALL BE SEALED TO ASSURE CONNECTION AT STRUCTURE IS WATER TIGHT.
- ALL PIPES & STRUCTURES ON STREET RIGHT-OF-WAY SHALL BE PER LOUISIANA DEPARTMENT OF TRANSPORTATION STANDARDS & SPECIFICATIONS.
- ALL "PVC" STORM DRAINAGE PIPE SHOWN ON THE PLANS SHALL BE POLYVINYL CHLORIDE PIPE OR HIGH DENSITY POLYETHYLENE PIPE (HDPE OR CPP).
- REFERENCE DETAIL SHEETS FOR CONSTRUCTION DETAILS.
- PRIOR TO ORDERING STORM DRAIN STRUCTURES CONTRACTOR SHALL VERIFY EXISTING INVERT AND PIPE TYPE/SIZE AT TIE IN POINTS AND NOTIFY CIVIL ENGINEER OF ANY DEVIATIONS FROM WHAT IS SHOWN ON PLANS.

SITE PREPARATION NOTES

- THE EARTHWORK EFFORTS SHALL BE MONITORED UNDER THE DIRECTION OF THE GEOTECHNICAL ENGINEER. MONITORING SHALL INCLUDE DOCUMENTATION OF ADEQUATE REMOVAL OF VEGETATION AND TOPSOIL, PROOFROLLING, AND MITIGATION OF AREAS DELINEATED BY THE PROOFROLL TO REQUIRE MITIGATION.
- REFER TO GEOTECHNICAL REPORT FOR SITE PREPARATION NOTES.



REV	DATE	BY	DESCRIPTION
02	10/3/22	JAC	CUT/FILL TABLE UPDATE
01	09/26/22	JAC	ADA PARKING CHANGES
0	08/25/22	JAC	PERMIT SET

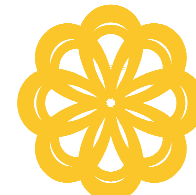
SCALE
1" = 20'

WARNING
IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE

DESIGNED M LOKER
DRAWN D JENKINS
CHECKED D SILBERNAGEL

NOT FOR CONSTRUCTION

This document is an interim document and not suitable for construction. As an interim document, it may contain data that is potentially inaccurate or incomplete and is not to be relied upon without the express written consent of the preparer.



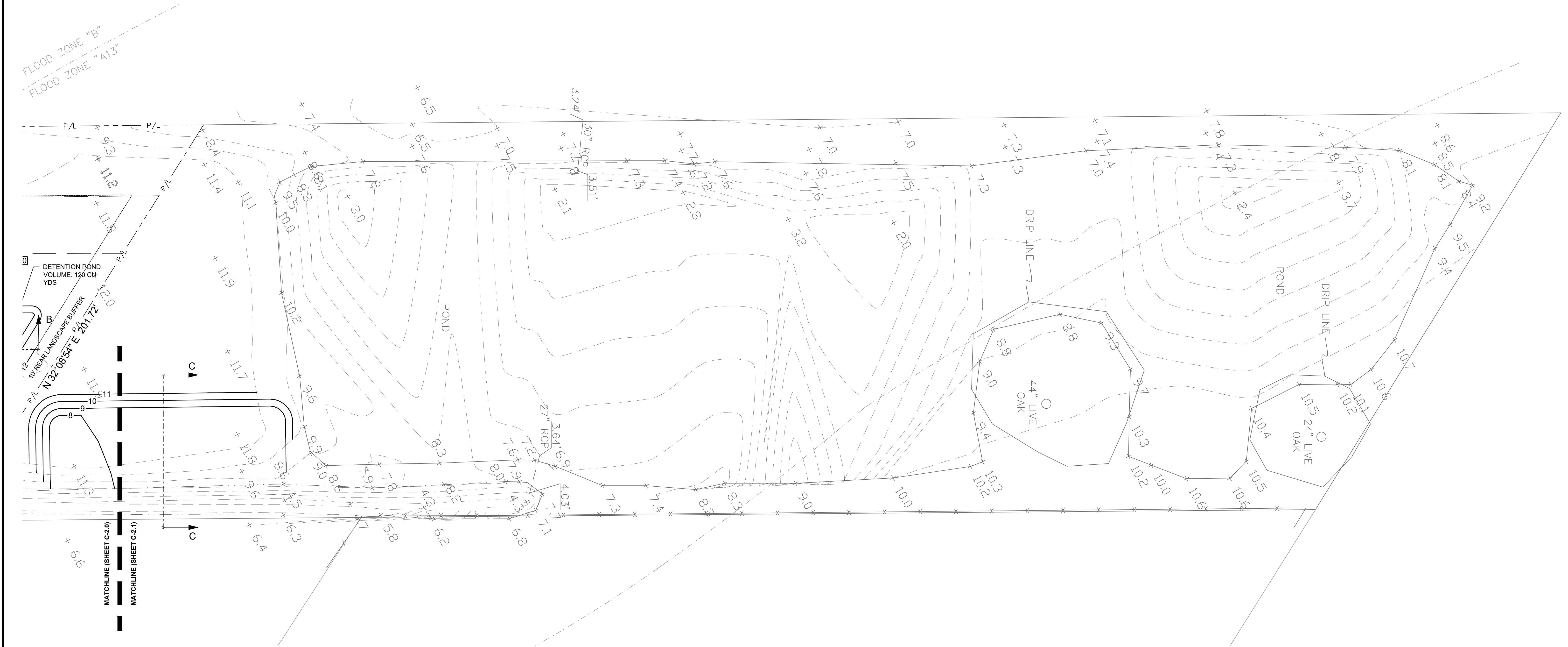
FAIRWAY
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MCDANIEL DERMATOLOGY
CLINIC

DRAINAGE AND GRADING PLAN
COVINGTON, LA
ST. TAMMANY PARISH

SHEET
C-2
FCE22-009A





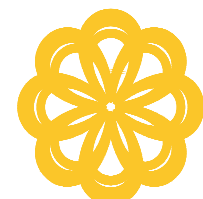
REV	DATE	BY	DESCRIPTION
01	09/29/22	JAC	ADA PARKING CHANGES
0	08/25/22	JAC	PERMIT SET

SCALE
1" = 20'

WARNING
0 1/2 1
IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE

DESIGNED M LOKER
DRAWN D JENKINS
CHECKED D SILBERNAGEL

NOT FOR CONSTRUCTION
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CLINIC

GRADING PLAN
COVINGTON, LA
ST. TAMMANY PARISH

SHEET
C-2.1
FCE22-009A

LANDSCAPE INFORMATION:

THIS DRAWING IS FOR LANDSCAPE CODE COMPLIANCE ONLY.

TREE CREDITS
2.5" - 4" = 1 TREE
5" - 8" = 2 TREES
9" - 14" = 3 TREES

STREET PLANTING AREA - HWY 21 (201.52):

[1] CLASS "A" TREE PER 300 SQUARE FEET OF BUFFER.
[1] CLASS "B" TREE PER 200 SQUARE FEET OF BUFFER.
[1] SHRUB PER 10 LINEAR FEET OF FRONTAGE

REQUIRED:
[34] CLASS "A" TREES REQUIRED
[51] CLASS "B" TREES REQUIRED
201.52 / 10 = [21] SHRUBS REQUIRED

PROVIDED:
EXISTING CLASS "A" TREE CREDITS (17)
[17] CLASS "A" TREES
[51] CLASS "B" TREES
[21] SHRUBS

BUFFER PLANTING AREA:

NORTH BUFFER (400')
REQUIRED:
400 / 30 = [13] CLASS "A" & "B" TREES REQUIRED

PROVIDED:
EXISTING CLASS "A" TREE CREDITS (37)
[10] CLASS "B" TREES

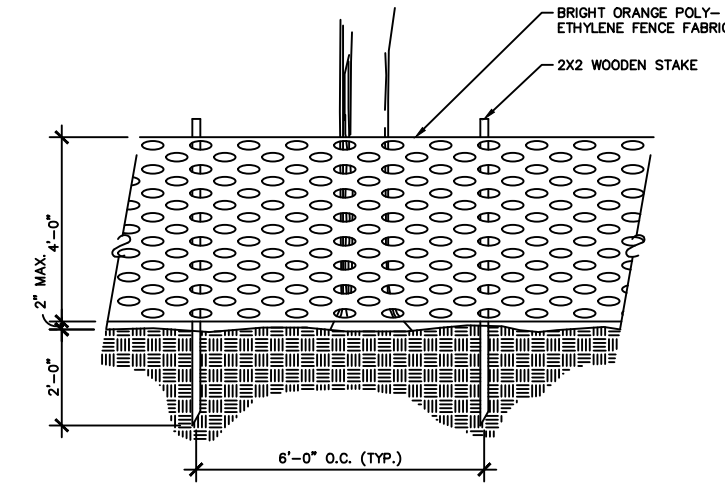
EAST BUFFER (201.72')
REQUIRED:
201.72 / 30 = [7] CLASS "A" & "B" TREES REQUIRED

PROVIDED:
[7] CLASS "A" TREES & [7] CLASS "B" TREES

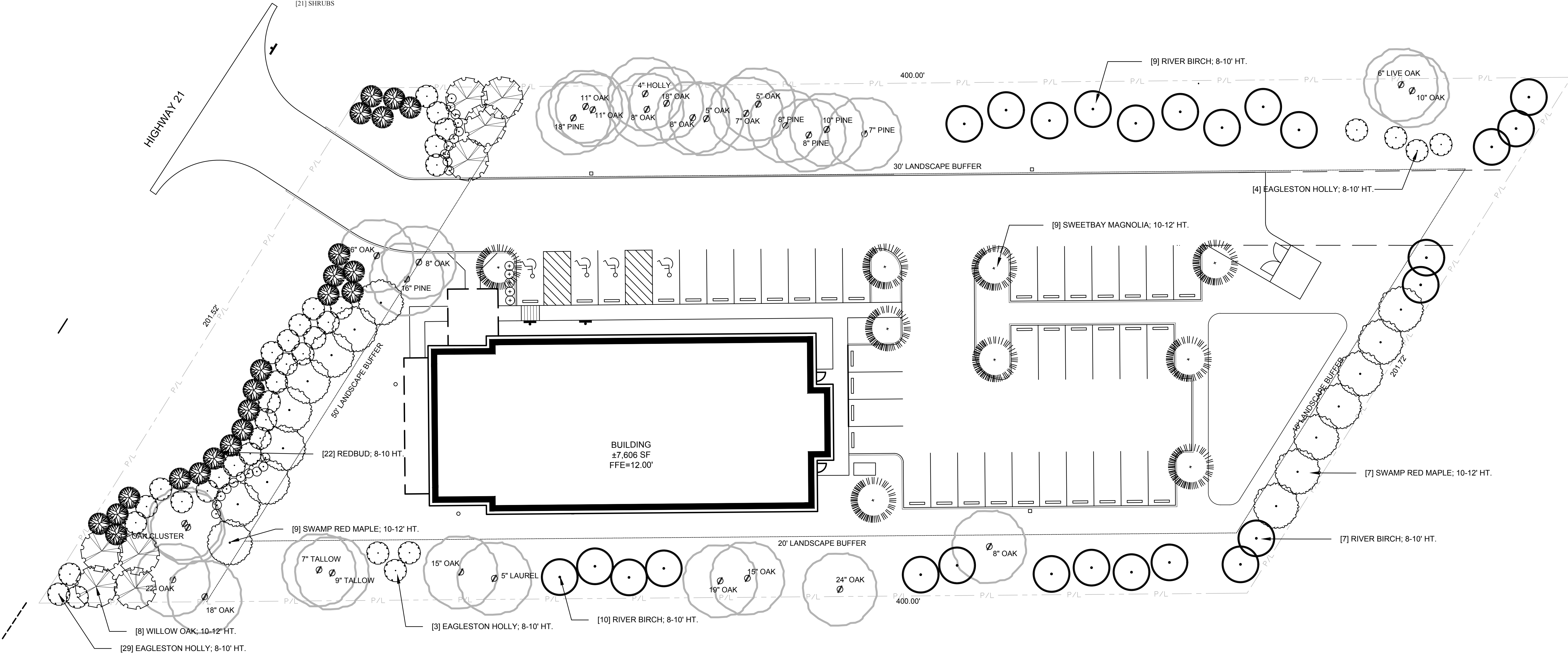
SOUTH BUFFER (400')
REQUIRED:
400 / 30 = [13] CLASS "A" & "B" TREES REQUIRED

PROVIDED:
EXISTING CLASS "A" TREE CREDITS (21)
[13] CLASS "B" TREES

PLANT SCHEDULE				
	Qty.	Scientific Name	Common Name	size
	16	<i>Acer rubrum</i>	Swamp Red Maple	2.5" cal., 10-12 ht. min.
	36	<i>Ilex x attenuata 'Eagleston'</i>	Eagleston Holly	2" cal., 8-10' ht. min.
	5	<i>Ilex burfordii 'Nana'</i>	Dwarf Burford Holly	3 gal.
	26	<i>Betula nigra</i>	River Birch	2" cal., 8-10' ht. min.
	22	<i>Cercis canadensis</i>	Redbud	2" cal., 8-10' ht. min.
	9	<i>Magnolia virginiana</i>	Sweetbay Magnolia	2.5" cal., 10-12 ht. min.
	8	<i>Quercus phellos</i>	Willow Oak	2.5" cal., 10-12 ht. min.
	21	<i>Rhododendron indicum 'George Tabor'</i>	George Tabor Azalea	3 gal.



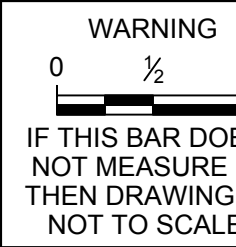
LIVE OAK PROTECTION FENCE DETAIL
SCALE: 1/4" = 1'-0"



SCALE: 1/16" = 1'-0"

REV	DATE	BY	DESCRIPTION

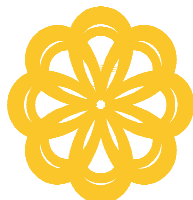
SCALE



DESIGNED: M. LOKER
DRAWN: D. JENKINS
CHECKED: D. SILBERNAGEL

OCTOBER 3 2022

THESE DRAWINGS ARE FOR PERMITTING PURPOSES.



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MCDANIEL DERMATOLOGY
CLINIC

COVINGTON, LA
ST. TAMMANY PARISH

SHEET

PL-1

FCE22-009A

October 3, 2022

Fauntleroy Latham Weldon & Barre Arch.
Attn: Mr. Kieran Weldon
1404 Greengate Drive, Suite 101
Covington, Louisiana 70433

**Re: McDaniel Dermatology
SEF Project No. 7010**

Dear Mr. Weldon:

As you know Schrenk Endom & Flanagan Engineers, LLC (SEF) is the consulting structural engineer for the McDaniel Dermatology Clinic. We have reviewed the project's site plan and geotechnical investigation report.

Please know that the building's foundation along its southern edge has been designed appropriately, with due consideration to its proximity to the existing ditch.

Sincerely,


Ryan M. Flanagan, P.E.
Schrenk Endom & Flanagan, LLC





ZONING STAFF REPORT
2022-3058-PR

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Proposed Use: Tommy’s Carwash: New Construction **Gross Area Lot Size:** 1.32 acres
Previous/Current Use: Gas Station **Use Size:** 5,207 sq. ft.
Owner: Revive Holdings 21, LLC **Council District:** 1
Applicant: Jordan Williams **Posted:** October 21, 2022
Commission Hearing: November 2, 2022 **Determination:** Postponed - October 4, 2022
Location: Parcel located on the east side of LA Highway 21, south of Hyacinth Drive; Covington S47, T7S, R11E, Ward 1, District 1



Current Zoning
HC-2 Highway Commercial District
Planned Corridor Overlay
Highway 21 Planned Corridor
Future Land Use
Commercial
Flood Zone
Preliminary: Flood Zone X
Effective Flood Zone C
Critical Drainage: No

Site Information:

- 1. The petitioned property consists of a total of 1.32 acres which is located on the east side of Highway 21, south of Hyacinth Drive, Covington. The property is currently developed with a non-operational Chevron gas station including an existing building, carwash, and gas station canopy.
- 2. The applicant is currently proposing to demolish the existing building, carwash, and gas station canopy and construct a new 5,207 sq. ft. carwash facility.

3. Table 1: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Commercial - Retail	HC-2 Highway Commercial District
South	Commercial – Gas Station	HC-2 Highway Commercial District
East	Residential	A-2 Suburban District
West	Commercial - Retail	HC-2 Highway Commercial District

Per Table 1 above, the subject site is within the Highway 21 Planned Corridor district and abuts an existing residential subdivision known as Flowers Estates to the east and several existing commercial uses to the north, south, and west.



ZONING STAFF REPORT
2022-3058-PR

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

Findings:

The applicant has submitted a survey, a site plan, and a landscape plan which provides the limits of work for the proposed carwash. Staff has reviewed the application and provided the applicant with a markup summary that notes several potential conflicts subject to the Planned Corridor Regulations including the following:

1. Per Sec. 130-1814(1)(e)(1)(i)(B), the street planting area shall contain a minimum of one Class A tree per every 300 sq. ft. of the street planting area and one Class B tree per every 200 sq. ft. of the street planting area.
 - **The property is 170 ft. wide and is required 44 ft. of landscaped tree buffer requiring 24 Class A trees and 37 Class B trees.**
 - **The proposed LS-1 and LS-2 landscape plans shows 6 Class A and 6 Class B trees required with six Class A tree credits and 6 Class B trees proposed to be planted. This plan is incorrect and per the above calculations is deficient by 18 Class A trees and 31 Class B trees.**
 - **The applicant must revise sheets LS-1 and LS-2 or request a waiver to the Street Planting Area regulations.**
 - **Staff recognizes there are two existing 14'-15' concrete drives on the site which could prohibit the planting of the required number of Class A and Class B trees. The applicant has submitted a request to DOTD to keep these driveways as they are today. However, if the request is denied and DOTD requires the applicant modify the plan to show a singular two way entrance, this will provide more planting area for the applicant to provide the required number of Class A and B trees.**
2. Per Sec. 130-1977(b) buffer planting area width shall be a minimum of ten feet.
 - **The current site plan and landscape plan show an existing 7.5 ft. side yard setback along the northern side property line. The applicant must revise the plans to show a 10 ft. side yard buffer or request a waiver to the Side Yard Planting Area regulations.**
3. Per Sec. 130-1977(b) buffer planting area width shall be a minimum of ten feet.
 - **The current site plan and landscape plan show an existing 7.2 ft. side yard setback along the southern side property line. The applicant must revise the plans to show a 10 ft. side yard buffer or request a waiver to the Side Yard Planting Area regulations.**
4. Per Sec. 130-1813(e)(2), the applicant must submit the following documentation:
 - a. An illustrative approved drainage plan by the Department of Engineering.
 - **The applicant has provided a hydrological analysis in accordance with Sec. 115-111. This document has been reviewed by the Department of Engineering and sent back to the applicant with required revisions on October 20, 2022.**
 - b. A lighting plan in accordance with Chapter 130, Article VI, Division 4.
 - **The applicant has submitted a photometric plan which appears to meet the requirements listed by ordinance.**
 - c. A landscape plan of the site showing the type, size, and number of plants; location of existing trees to be preserved; the location and dimensions of planting bends, barrier curbs, sight triangles, fences, buffers, and screening; elevations of all fences and type of materials to be used; and the total square footage of landscaping.
 - **The applicant must revise sheet LS-1 to note classification of all Oaks on the property and show protection details for any live oaks or cypress to remain.**
 - **The applicant must provide curbing detail with a permanently anchored material at least six inches in height.**
 - d. The applicant must provide the parking layout indicating the number of required and proposed parking spaces, the location of ingress, egress, and street access, and the location of pedestrian and vehicular ways; circulation element indicating the movement of pedestrians, goods and vehicles.
 - **The applicant must indicate parking counts of the number of required and proposed parking spaces. Car washes are required 1 space per each employee plus reservoir space for at least 6 times the bay capacity of the facility, with a minimum of 10 spaces.**
 - e. The location of trash disposal system and details of screening, including type, height and elevation of dumpster and fence.



ZONING STAFF REPORT

2022-3058-PR

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT

Ross Liner
Director

- All dumpsters must be screened on all sides with a minimum seven-foot-high opaque fence of wood or masonry. The applicant must revise plans to reflect this requirement or request a waiver.
- 5. Per Sec. 130-1814(1)(e)(1)(iii)(B), planting areas shall be a minimum of ten percent of the paved parking area.
 - The applicant has provided an interior calculation of the parking area of 10.8% which is consistent with the requirements listed above.

Staff recommends postponement of the project subject to all applicable staff comments in order to all the applicant time to provide all required documentation.

Informational Items:

1. The applicant must provide a LADOTD driveway permit or written verification that a driveway permit is not required at the permitting phase.
2. The applicant must provide utilities and civil plans to avoid conflicts with existing and proposed trees per code.
3. The applicant must contact applicable utility companies to inquire about capacity and or cost of service to accommodate the proposed addition. If capacity is unavailable, the applicant must contact LDH to inquire about sewer and water expansions/updates.
4. An STP Stormwater Agreement is required to be completed by the owner or contractor per Sec. 115-106.
5. The property owner shall be responsible for the maintenance and the replacement of the required plant materials.
6. During construction, planting or open ground areas surrounding preserved trees shall be wired off with a properly flagged, reinforced & rolled wire mesh.

Consistency with New Directions 2040

Commercial: Concentrations of offices, retailers, services, and other employers that generate varying levels of traffic. They range from neighborhood-serving uses such as personal care and convenience goods, to large-scale shopping centers. May also include high intensity residential uses.

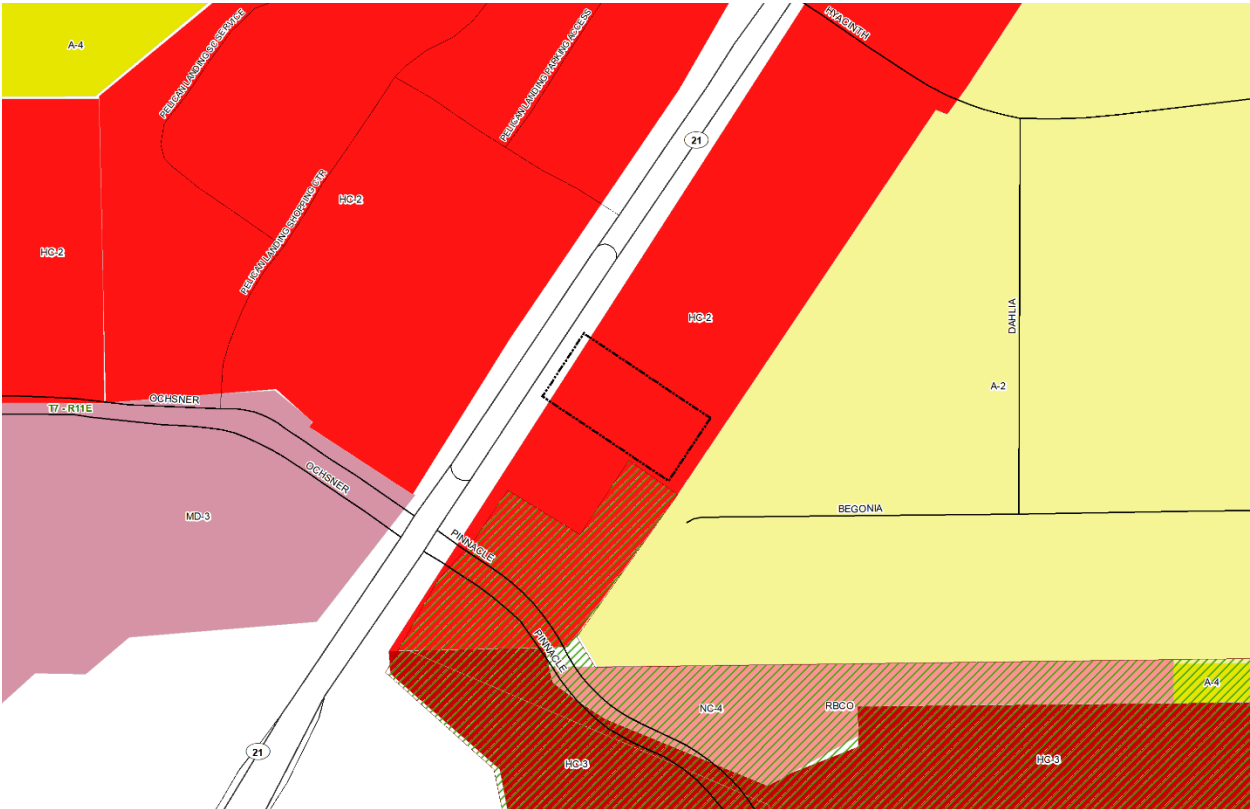
1. The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:
 - i. Strategy 1:9:3 Encourage redevelopment and adaptive reuse of existing, vacant buildings.
 - ii. Goal 5:1: The Parish will designate adequate land served by supporting infrastructure for use by businesses and industries seeking to begin or expand.
 - iii. Goal 5:2: St. Tammany Parish will attract and grow businesses that expand the Parish's tax base and provide living wage jobs to residents of varying skill levels.



ZONING STAFF REPORT
2022-3058-PR

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director



HC-2

PELICAN LANDING SHOPPING CTR

PELICAN LANDING PARKING ACCESS

HYACINTH DR

21

STYLER ST

STYLER ST

OCHSNER BLVD
47
OCHSNER BLVD

MD-3

21

PINNACLE PKWY
PINNACLE PKWY

A-2
T7-R1E
BEGONIA DR

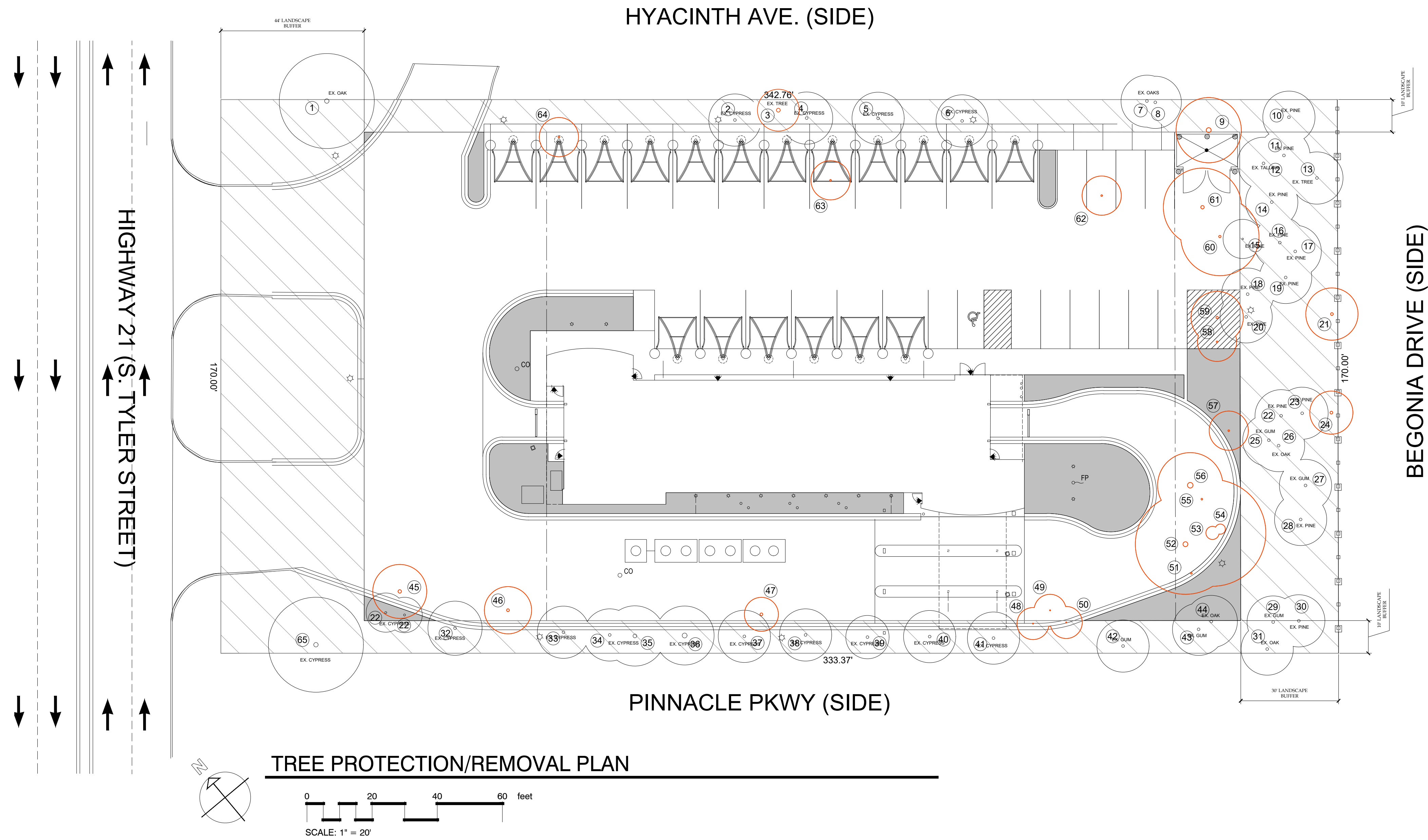
NC-4

RECO

HC-3



Randall W. Brown, P.L.S.
Professional Land Surveyor
LA Registration No. 04586



TREE PROTECTION/REMOVAL PLAN

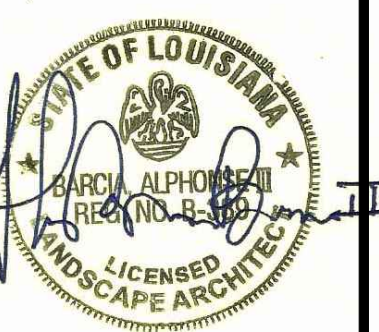
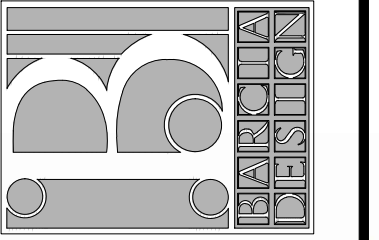
HIGHWAY 21 ROW - (S. TYLER STREET)				
44' BUFFER REQUIRED			44' BUFFER PROVIDED	
170 LF / 30 = 5.6				
6 CLASS A & 6 CLASS B PLUS 17 SHRUBS REQUIRED				
TREE #	SIZE	TYPE	REMAIN/REMOVE	CREDIT/MITIGATE
1	28"	WILLOW OAK	REMAIN	4 TREE CREDIT
65	8"	CYPRESS	REMAIN	2 TREE CREDIT
6 TOTAL TREE CREDIT				

HYACINTH AVE. STREET (SIDE)				
10' BUFFER REQUIRED			7'-6" BUFFER PROVIDED	
342.76 LF / 30 = 11.43			526SF IMPACTED	
12 CLASS A & 12 CLASS REQUIRED				
TREE #	SIZE	TYPE	REMAIN/REMOVE	CREDIT/MITIGATE
2	6"	CYPRESS	REMAIN	2 TREE CREDIT
3	8"	DEAD	REMOVE	
4	10"	CYPRESS	REMAIN	3 TREE CREDIT
5	10"	CYPRESS	REMAIN	3 TREE CREDIT
6	10"	CYPRESS	REMAIN	3 TREE CREDIT
7	12"	WATER OAK	REMAIN	3 TREE CREDIT
8	6"	WATER OAK	REMAIN	2 TREE CREDIT
9	18"	PINE	REMOVE	
10	6"	PINE	REMAIN	2 TREE CREDIT
18 TOTAL TREE CREDIT				

BEGONIA STREET (SIDE)				
ROW BUFFER 30' BUFFER REQUIRED			30' BUFFER PROVIDED	
170 LF / 30 = 5.67				
6 CLASS A & 6 CLASS REQUIRED				
TREE #	SIZE	TYPE	REMAIN/REMOVE	CREDIT/MITIGATE
11	16"	PINE	REMAIN	4 TREE CREDIT
12	6"	TALLOW	REMAIN	INVASIVE
13	6"	TREE	REMAIN	2 TREE CREDIT
14	8"	PINE	REMAIN	2 TREE CREDIT
15	6"	PINE	REMAIN	2 TREE CREDIT
16	14"	PINE	REMAIN	3 TREE CREDIT
17	10"	PINE	REMAIN	3 TREE CREDIT
18	18"	PINE	REMAIN	4 TREE CREDIT
19	8"	PINE	REMAIN	2 TREE CREDIT
20	18"	PINE	REMAIN	4 TREE CREDIT
21	8"	TALLOW	REMOVE	INVASIVE
22	10"	PINE	REMAIN	3 TREE CREDIT
23	10"	PINE	REMAIN	3 TREE CREDIT
24	6"	TALLOW	REMOVE	INVASIVE
25	6"	GUM	REMAIN	2 TREE CREDIT
26	12"	PINE	REMAIN	3 TREE CREDIT
27	10"	GUM	REMAIN	3 TREE CREDIT
28	12"	PINE	REMAIN	3 TREE CREDIT
29	10"	GUM	REMAIN	3 TREE CREDIT
30	16"	PINE	REMAIN	3 TREE CREDIT
31	10"	WATER OAK	REMAIN	3 TREE CREDIT
49 TOTAL TREE CREDIT				

PINNACLE PKWY (SIDE)				
ROW BUFFER 10' BUFFER REQUIRED			7'-3" BUFFER PROVIDED	
333.37 LF / 30 = 11.11			528SF IMPACTED	
12 CLASS A & 12 CLASS REQUIRED				
TREE #	SIZE	TYPE	REMAIN/REMOVE	CREDIT/MITIGATE
32	10"	CYPRESS	REMAIN	3 TREE CREDIT
33	8"	CYPRESS	REMAIN	2 TREE CREDIT
34	8"	CYPRESS	REMAIN	2 TREE CREDIT
35	10"	CYPRESS	REMAIN	3 TREE CREDIT
36	14"	CYPRESS	REMAIN	2 TREE CREDIT
37	8"	CYPRESS	REMAIN	3 TREE CREDIT
38	10"	CYPRESS	REMAIN	3 TREE CREDIT
39	8"	CYPRESS	REMAIN	2 TREE CREDIT
40	6"	CYPRESS	REMAIN	2 TREE CREDIT
41	10"	CYPRESS	REMAIN	3 TREE CREDIT
42	6"	GUM	REMAIN	2 TREE CREDIT
43	10"	GUM	REMAIN	3 TREE CREDIT
44	12"	WATER OAK	REMAIN	3 TREE CREDIT
33 TOTAL TREE CREDIT				

INTERIOR TREES				
1 TREE IN EACH PARKING ISLAND				
TREE #	SIZE	TYPE	REMAIN/REMOVE	CREDIT/MITIGATE
45	12"	CYPRESS	REMOVE	12" TO MITIGATE
46	8"	CYPRESS	REMOVE	8" TO MITIGATE
47		CRAPE	REMOVE	
48		CRAPE	REMOVE	
49		CRAPE	REMOVE	
50		CRAPE	REMOVE	
51		WATER OAK	REMOVE	
52	18"	CLUSTER	REMOVE	
53	24"	PINE	REMOVE	
54	26"	PINE	REMOVE	
55	6"	GUM	REMOVE	
56	20"	GUM	REMOVE	
57	6"	PINE	REMOVE	
58	6"	TALLOW	REMOVE	
59	8"	WATER OAK	REMOVE	
60	12"	PINE	REMOVE	
61	12"	WATER OAK	REMOVE	
62		CRAPE	REMOVE	
63		CRAPE	REMOVE	
64	6"	HOLLY	REMOVE	
20" CALIPER OF CYPRESS TREES TO MITIGATE				



9/27/2022

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Tommy's Car Wash
70330 Highway 21 (S. Tyler Street)
St. Tammany Parish, LA.

Sheet Title: Tree Protection/Removal Plan

JOB No.:
SCALE: AS SHOWN
DRAWN BY: AB3
CHECKED BY: AB3

SHEET:
LS-1

REV.
DATE: SEPTEMBER 27TH 2022

SECTION 7.0112 MAINTENANCE & REPLACEMENT

- A. MAINTENANCE: The Owner or his agent shall be responsible for the maintenance and repair of all landscaping materials and barriers as may be required by the provisions of this Section.
1. Planting Beds shall be mulched to prevent weed growth and maintain soil moisture.
 2. Plant Materials shall be pruned as required to maintain good health and character.
 3. Turf areas shall mowed periodically.
 4. All roadways, curbs and sidewalks shall be edged when necessary in order to prevent encroachment from the adjacent grassed areas.
 5. The Owner of the Property shall be responsible for the provision of adequate water, fertilizer and nutrients to the required plant materials.
- B. REPLACEMENT: Subject to the provisions of Section 7.0105.E entitled, "Replacement of Preserved Trees that Die", trees and plants that die must be replaced within six (6) months of the death of the tree or plant with trees or plants that meet the requirements of Section 7.01. Barriers and curbs that are damaged or destroyed beyond repair shall be replaced within six (6) months after the damage or destruction.

LANDSCAPE CALCULATIONS

HIGHWAY 21 ROW - (S. TYLER STREET)

44' WIDE LANDSCAPE BUFFER REQUIRED (44' WIDE BUFFER PROVIDED)

170 LF * 44 = 7,480 / 300 = 25 CLASS A 6 TOTAL TREE CREDIT

170 LF * 44 = 7,480 / 200 = 37 CLASS B 8 CLASS B TREES PROVIDED

17 REQUIRED SHRUBS +/-350 PROVIDED SHRUBS TREE VARIANCE REQUIRED

HYACINTH AVE. STREET (SIDE)

10' WIDE LANDSCAPE BUFFER REQUIRED (526.21SF ENCROACHMENT INTO SIDE BUFFER)

342.76 LF / 30 = 11.42 12 CLASS A AND 12 CLASS B REQUIRED

18 EXISTING TREE CREDIT 6 CLASS B PROVIDED BUFFER VARIANCE REQUIRED

BEGONIA STREET (SIDE)

30' WIDE LANDSCAPE BUFFER REQUIRED (30' WIDE BUFFER PROVIDED)

170 LF / 30 = 5.6 6 CLASS A AND 6 CLASS B REQUIRED

49 EXISTING TREE CREDIT NO ADDITIONAL TREES PROVIDED

7' OPAQUE FENCE WITH BAMBOO SCREEN PROVIDED

PINNACLE PKWY (SIDE)

10' WIDE LANDSCAPE BUFFER REQUIRED (528.19 SF ENCROACHMENT INTO SIDE BUFFER)

333.37 LF / 30 = 11.11 12 CLASS A AND 12 CLASS B REQUIRED

33 EXISTING TREE CREDIT NO ADDITIONAL TREES PROVIDED BUFFER VARIANCE REQUIRED

INTERIOR TREES

1 CLASS A TREE PER LANDSCAPE ISLAND (3) CLASS A TREES PROVIDED

11 PARKING SPACES PROPOSED

58,302SF TOTAL PROPERTY

-17,957SF TOTAL BUFFERS

-5,210SF TOTAL BUILDING

-35,135SF TOTAL VUA X 10% = 3,514 SF REQUIRED

3,796 SF PROVIDED 10.8% PROVIDED








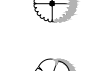
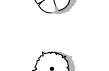

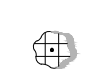
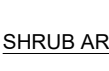
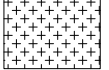



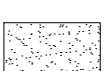
MITIGATED TREES

REPLACE REMOVED PROTECTED TREES

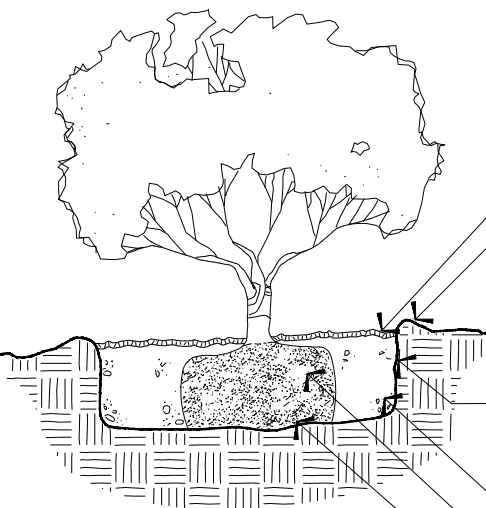
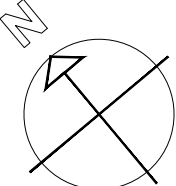
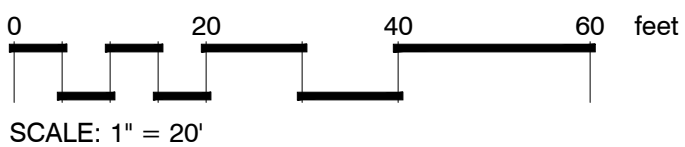
20" CALIPER INCHES TO BE REMOVED AND MITIGATED ON SITE

(5) 4" CALIPER CYPRESS TREES TO BE PROVIDED

PLANT SCHEDULE

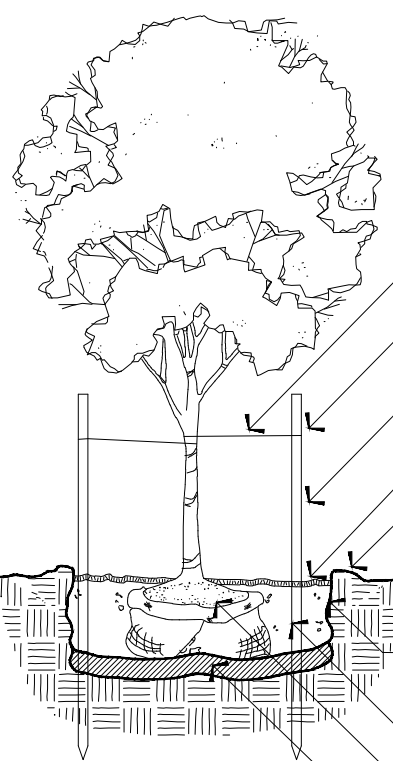
CLASS 'B'	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	IX	2	Ilex x 'Magland' / Oakland™ Holly	30 Gal. Full to the Ground	1 1/2" Cal.	8'-10' ht.
	IE	12	Ilex x attenuata 'Eagleston' / Eagleston Holly	Gallon or B&B	1.5" Cal.	8'-10' ht.
CLASS 'A'	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	UB	3	Ulmus parvifolia 'UPMTF' / Bosque® Lacebark Elm	Gallon or B&B	2.50" Cal.	10' - 12' Ht.
MITIGATED TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	TD	5	Taxodium distichum / Bald Cypress	Gallon or B&B	4" Cal.	14' - 16' Ht.
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	
	AA	33	Agapanthus africanus / African Lily	1-Gal.	Full Pots	
	BA	22	Bambusa multiplex 'Alphonse Karr' / Alphonse Karr Hedge Bamboo	B&B	4' Tall Clumping	
	BW	349	Buxus sinica insularis 'Wintergreen' / Wintergreen Korean Boxwood	1-Gal.	Full Pots	
	BW2	18	Buxus sinica insularis 'Wintergreen' / Wintergreen Korean Boxwood	7-Gal.	2' Topiary Globe	
	CG	27	Camellia sasanqua 'Shishi Gashira' / Shishi Gashira Camellia	7-Gal.	18"ht. 18"sp.	
	PM	30	Podocarpus macrophyllus / Japanese Yew	3-Gal.	18" Min. Ht.	
	RG	17	Rhododendron indicum 'George L. Taber' / George L. Taber Indica Azalea	3-Gal.	2' ht. at the time of planting	
	RF	22	Rhododendron obtusum 'Fashion' / Fashion Azalea	3-Gal.	18"ht. 18"sp.	
SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	
	RI	34	Rosa x 'Mejocosa' TM / Pink Drift Groundcover Rose	3-Gal.		36" o.c.
	RR	54	Rosa x 'Radwhite' TM / White Knock Out Rose	3-Gal.		42" o.c.
	SA	508	Seasonal Color / Annuals	To be selected	Full Pots	10" o.c.
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	REMARKS	
	SOD	10,411 sf	Cynodon dactylon / Bermuda Grass	Squares or Mini Rolls	Class 'A'	
	MULCH	3,229 sf	Existing Buffer (Woods) / Pine Straw Mulch	SF	3" Depth	

LANDSCAPE PLANTING PLAN



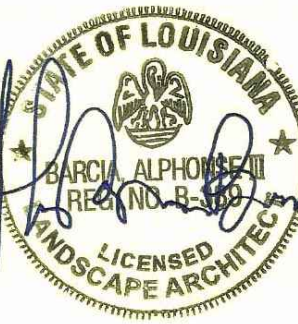
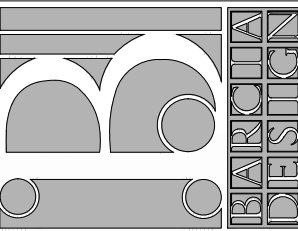
- 4" PINE STRAW MULCH
- FORM SAUCER WITH 3" CONTINUOUS EARTHEN RIM AROUND PLANTING HOLE
- PLANTING PIT DEPTH SHALL EQUAL DEPTH OF ROOT BALL. PLANTING PIT WIDTH SHALL BE TWICE THE DIAMETER FOR ROOT BALLS 2" AND UNDER, OR 2" LARGER IN DIAMETER FOR ROOT BALLS OVER 2".
- BACKFILL MEDIUM SHOULD BE A MIXTURE OF 50% REMOVED MATERIAL, WITH 50% MIXTURE OF PREPARED PLANTING SOIL MIXTURE
- PLANT TOP OF ROOT BALL EVEN WITH FINISHED GRADE
- PLACE ROOT BALL AT BOTTOM OF PLANTING PIT ON UNDISTURBED SUBGRADE

1 SHRUB PLANTING DETAIL
LS-1 N.T.S.



- DEEPROOT ARBORTIE
- EACH END SHOULD BE TIED AROUND "T" STAKE WITH A ROLLING HITCH. THE ENDS SHOULD BE TIED OFF WITH A SECOND HITCH ON THE ARBORTIE THAT LEADS TO THE TREE.
- 6" METAL TEE POST
- INSTALL THREE (3) POSTS PER TREE
- SPACED EQUALLY AROUND TREE (KEEP STAKES INSIDE MULCH RING)
- 4" PINE STRAW MULCH
- FORM SAUCER WITH 4"-6" CONTINUOUS EARTHEN RIM AROUND PLANTING HOLE
- PLANTING PIT DEPTH SHALL EQUAL DEPTH OF ROOT BALL PLUS 6" FOR SETTING LAYER OF COMPACTED BACKFILL. PLANTING PIT WIDTH SHALL BE TWICE THE DIAMETER OF ROOT BALL.
- BACKFILL MEDIUM SHOULD BE A MIXTURE OF 50% REMOVED MATERIAL, WITH 50% MIXTURE OF PREPARED PLANTING SOIL MIXTURE.
- PLANT TOP OF ROOTBALL EVEN WITH OR SLIGHTLY HIGHER THAN FINISHED GRADE
- PLACE ROOTBALL AT BOTTOM OF PLANTING PIT ON 6" LAYER OF COMPACTED BACKFILL

2 TREE PLANTING DETAIL
LS-1 N.T.S.



9/27/2022

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JOB No.:

SCALE: AS SHOWN

DRAWN BY: AB3

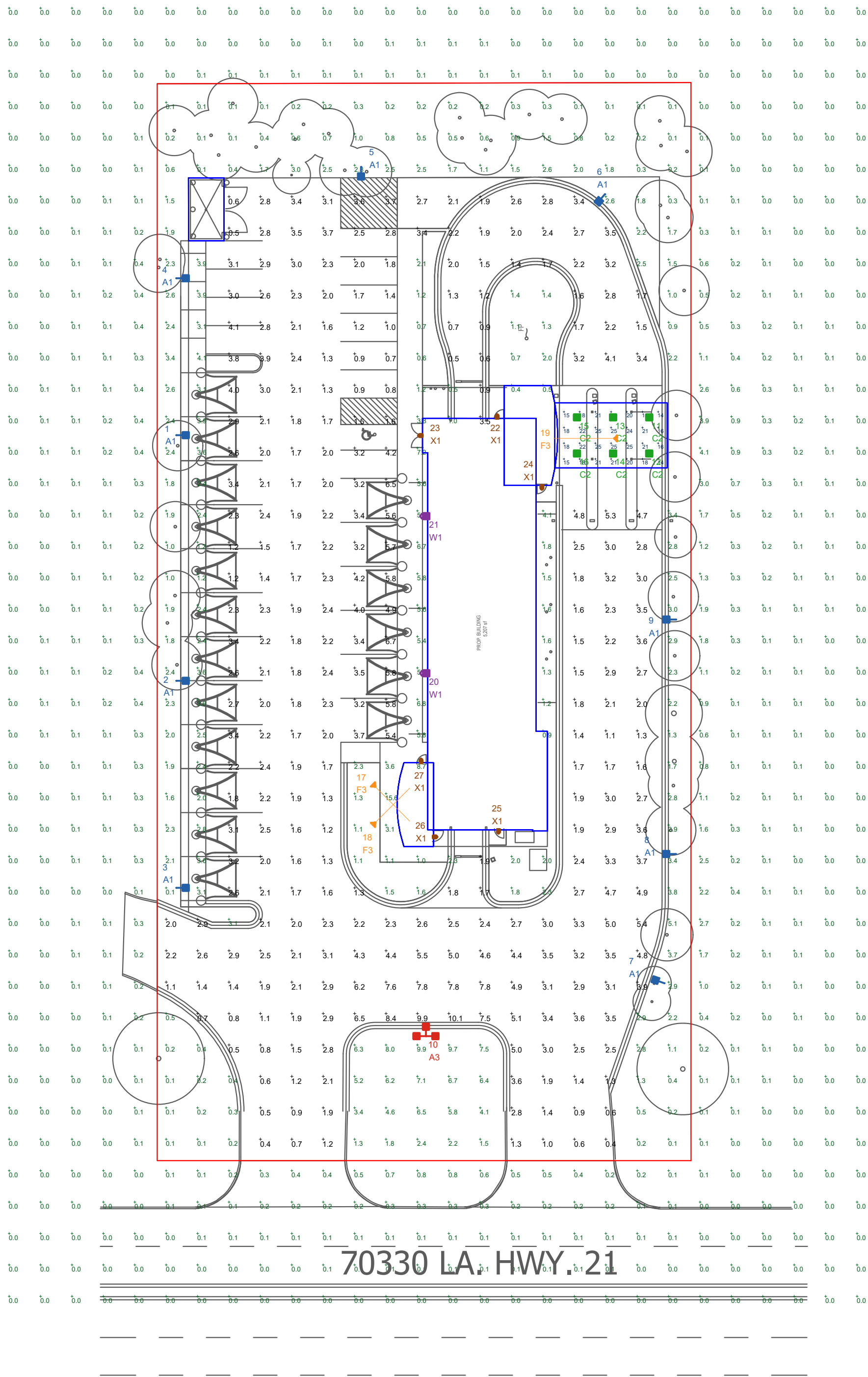
CHECKED BY: AB3

SHEET:

LS-2

REV.

DATE: SEPTEMBER 27TH 2022



NOTE:
- ALL AREA LIGHTS ON NEW 17 FT. POLES MOUNTED ON 3 FT. CONCRETE BASES

THIS SITE IS LOCATED IN A REGION WHERE LIGHTING IS
REGULATED BY LOCAL ORDINANCES

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
CANOPY	19.89	25	14	1.42	1.79
PAVED	2.67	10.1	0.4	6.68	25.25
UNDEFINED	0.70	15.6	0.0	N.A.	N.A.

LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
1	A1	20
2	A1	20
3	A1	20
4	A1	20
5	A1	20
6	A1	20
7	A1	20
8	A1	20
9	A1	20
10	A3	20
11	C2	15
12	C2	15
13	C2	15
14	C2	15
15	C2	15
16	C2	15
17	F3	1
18	F3	1
19	F3	15
20	W1	15
21	W1	15
22	X1	9
23	X1	9
24	X1	9
25	X1	9
26	X1	9
27	X1	9

LUMINAIRE SCHEDULE										
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	CATALOG LOGIC
	9	A1	SINGLE	8574	1.010	B1-U0-G2	72	648	Cree Inc	OSQM-B-11L-57K7-4M-XX-NM-XX-Q9 + OSQ-BLSMF
	1	A3	3 @ 90°	11174	1.010	B2-U0-G2	72	216	Cree Inc	OSQM-B-11L-57K7-4M-UL-NM-XX
	6	C2	SINGLE	5249	1.010	B2-U0-G1	45	270	CREE, INC.	CAN-304-SL-XX-04-E-UL-XX-350-57K
	3	F3	SINGLE	3048	1.010	B2-U0-G0	25	75	CREE, INC.	FLD-EDG-N6-AA-02-E-UL-XX-350-57K
	2	W1	SINGLE	11259	1.010	B3-U0-G3	134	268	CREE, INC.	SEC-EDG-4M-WM-06-E-UL-XX-700-57K-DIM
	6	X1	SINGLE	1530	1.000	N.A.	15.8	94.8	BARRON LGHTING GROUP	SLW-15-4K-XX-EM (BY OTHERS)

QTY	LABEL	DESCRIPTION
AREA	9	A1 OSQM-B-11L-57K7-4M-XX-NM-XX-Q9 • OSQ-BLSMF
	1	A3 OSQM-B-11L-57K7-4M-UL-NM-XX

ADDITIONAL FIXTURE INFO

OSQ Series

OSQ™ LED Area/Flood Luminaire featuring Cree TrueWhite® Technology - Medium & Large

Product Description
The OSQ™ Area/Flood luminaire blends extreme optical control, advanced thermal management and modern, clean aesthetics. Built to last, the housing is rugged cast aluminum with an integral, lightweight LED driver compartment. Versatile mounting configurations offer simple installation. Its slim, low profile design minimizes wind load requirements and blends seamlessly into the site providing even, quality illumination. The 4L lumen package is a suitable upgrade for HID applications up to 200 Watts, and the 11L Lumen package is a suitable upgrade for HID applications up to 400 Watt. The 22L lumen package is a suitable upgrade for HID applications up to 750 Watts, and the 30L lumen package is a suitable upgrade for HID applications up to 1000 Watts.

Applications: Parking lots, walkways, campuses, car dealerships, office complexes, tunnels, universities, and internal roadways.

Performance Summary
Utilizes Cree TrueWhite® Technology on 5000K Luminaire

Patented NanoOptic® Product Technology

Assembled in the U.S.A. of U.S. and imported parts

Initial Delivered Lumen: 4,000 - 30,000

Efficacy: Up to 172 LPW

CRB: Minimum 70 CRB (5000K, 4000K & 5000K), 70 CRB (5000K)

CT: 5000K, 4000K, 5000K, 5700K

Limited Warranty: 10 years on luminaire, 10 years on Colorfast DataGuard® finish, up to 5 years for Synapse® accessories, 1 year on luminaire accessories.

See [this link](#) for information on warranty terms. See [this link](#) for information on warranty terms. See [this link](#) for information on warranty terms.

Ordering Information
The OSQ Series is composed of two components that must be ordered separately.

Example: Mount: 102L ML-B, AA, 10L, Luminaire: 1020-B, 10L, 200W, 20L, 50L, 50L

Mount Luminaire must be ordered separately:

Luminaire **Weight**
OSQM 28.1 lbs. (13 kg)
OSQL 29.4 lbs. (14 kg)

Color Options: **50° Beam:** **80° Beam:**
 50° Beam: **80° Beam:**
 50° Beam: **80° Beam:**

OSQM-B-AA Adjustable Arm
OSQM-B-11L 11" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-22L 22" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-30L 30" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-40L 40" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-50L 50" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-60L 60" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-70L 70" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-80L 80" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-90L 90" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-100L 100" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-110L 110" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-120L 120" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-130L 130" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-140L 140" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-150L 150" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-160L 160" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-170L 170" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-180L 180" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-190L 190" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-200L 200" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-210L 210" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-220L 220" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-230L 230" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-240L 240" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-250L 250" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-260L 260" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-270L 270" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-280L 280" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-290L 290" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-300L 300" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-310L 310" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-320L 320" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-330L 330" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-340L 340" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-350L 350" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-360L 360" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-370L 370" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-380L 380" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-390L 390" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-400L 400" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-410L 410" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-420L 420" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-430L 430" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-440L 440" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-450L 450" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-460L 460" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-470L 470" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-480L 480" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-490L 490" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-500L 500" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-510L 510" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-520L 520" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-530L 530" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-540L 540" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-550L 550" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-560L 560" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-570L 570" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-580L 580" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-590L 590" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-600L 600" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-610L 610" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-620L 620" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-630L 630" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-640L 640" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-650L 650" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-660L 660" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-670L 670" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-680L 680" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-690L 690" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-700L 700" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-710L 710" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-720L 720" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-730L 730" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-740L 740" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-750L 750" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-760L 760" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-770L 770" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-780L 780" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-790L 790" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-800L 800" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-810L 810" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-820L 820" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-830L 830" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-840L 840" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-850L 850" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-860L 860" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-870L 870" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-880L 880" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-890L 890" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-900L 900" Luminaire Mount (distances stated, do not specify feet)

QTY	LABEL	DESCRIPTION
CANOPY	6	C2 CAN-304-SL-XX-04-E-UL-XX-350-57K

ADDITIONAL FIXTURE INFO

304 Series™

LED Recessed Canopy Luminaire

Product Description
Luminaire housing is constructed from rugged die cast aluminum components (RS Mount) or die cast and extruded aluminum components (RD Mount). LED driver is mounted in a sealed, waterproof center chamber that allows for access from below the luminaire. Luminaire mounts directly to the canopy deck and is secured in place with the cast aluminum trim frame. Luminaire housing is provided with factory applied foam gasket that provides a watertight seal between luminaire housing and canopy deck. Suitable for use in single or double deck canopies with 1/2 inch mild steel panels. Designed for canopies of 19-22 gauge (maximum 0.047" 1 mil) thickness.

Applications: Petroleum stations, convenience stores, drive thru banks and restaurants, retail and grocery

Performance Summary
Patented NanoOptic® Product Technology

Assembled in the U.S.A. of U.S. and imported parts

CRB: Minimum 70 CRB

CT: 4000K (+/- 300K), 5700K (+/- 500K) standard

Limited Warranty: 10 years on luminaire/10 years on Colorfast DataGuard® finish

See [this link](#) for information on warranty terms. See [this link](#) for information on warranty terms. See [this link](#) for information on warranty terms.

Ordering Information
The 304 Series is composed of two components that must be ordered separately.

Example: Mount: 102L ML-B, AA, 10L, Luminaire: 1020-B, 10L, 200W, 20L, 50L, 50L

Mount Luminaire must be ordered separately:

Luminaire **Weight**
OSQM 28.1 lbs. (13 kg)
OSQL 29.4 lbs. (14 kg)

Color Options: **50° Beam:** **80° Beam:**
 50° Beam: **80° Beam:**
 50° Beam: **80° Beam:**

OSQM-B-AA Adjustable Arm
OSQM-B-11L 11" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-22L 22" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-30L 30" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-40L 40" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-50L 50" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-60L 60" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-70L 70" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-80L 80" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-90L 90" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-100L 100" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-110L 110" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-120L 120" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-130L 130" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-140L 140" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-150L 150" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-160L 160" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-170L 170" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-180L 180" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-190L 190" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-200L 200" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-210L 210" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-220L 220" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-230L 230" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-240L 240" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-250L 250" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-260L 260" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-270L 270" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-280L 280" Luminaire Mount (distances stated, do not specify feet)

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OSQM-B-300L 300" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-310L 310" Luminaire Mount (distances stated, do not specify feet)

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OSQM-B-340L 340" Luminaire Mount (distances stated, do not specify feet)

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OSQM-B-360L 360" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-370L 370" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-380L 380" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-390L 390" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-400L 400" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-410L 410" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-420L 420" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-430L 430" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-440L 440" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-450L 450" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-460L 460" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-470L 470" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-480L 480" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-490L 490" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-500L 500" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-510L 510" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-520L 520" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-530L 530" Luminaire Mount (distances stated, do not specify feet)



OSQM-B-540L 540" Luminaire Mount (distances stated, do not specify feet)

OSQM-B-550L 550" Luminaire Mount (distances stated, do not specify feet)



OSQM-B-560L 560" Luminaire Mount (distances stated, do not specify feet)

OSQM



AREA





CANOPY



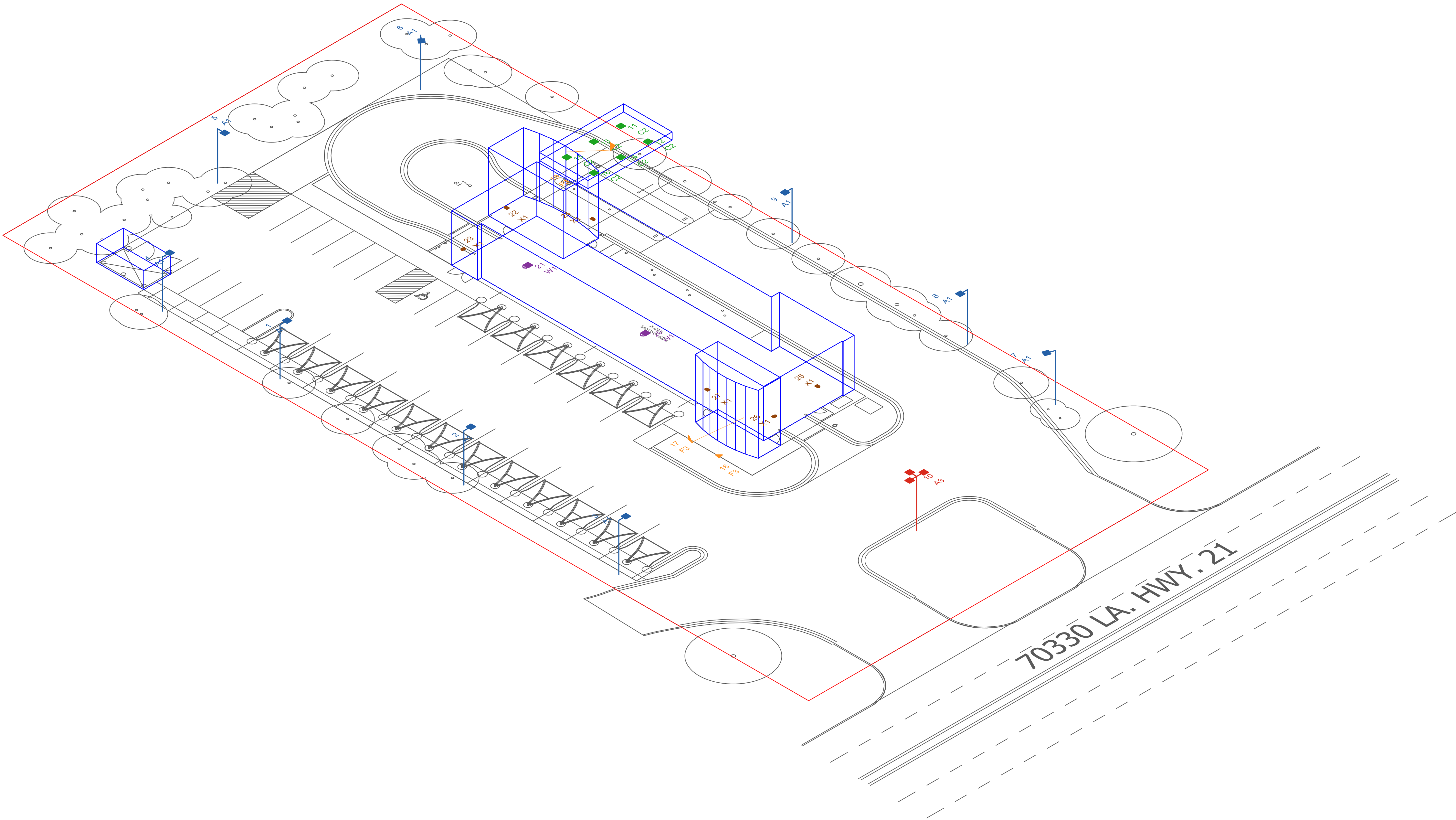
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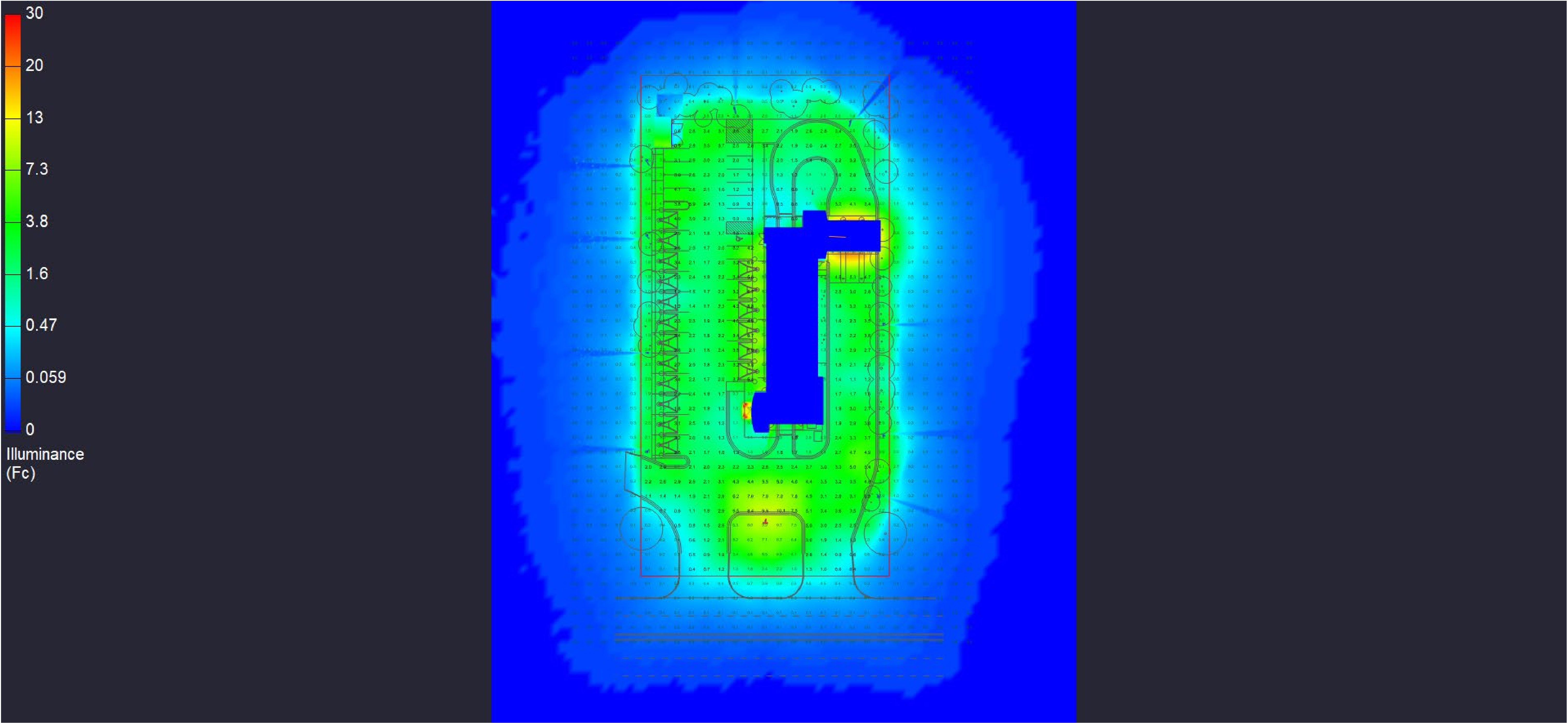


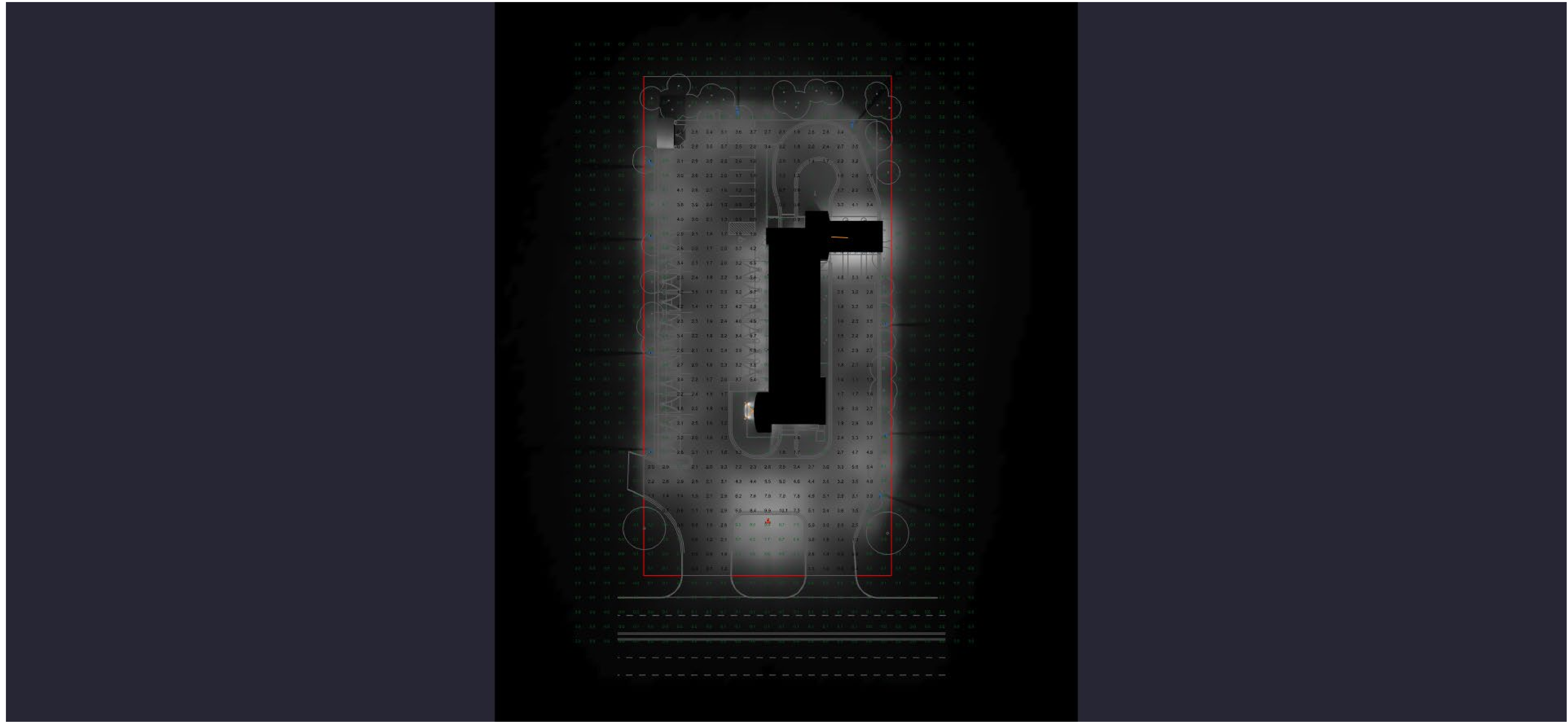
WALL MOUNTED



2022-3058-PR









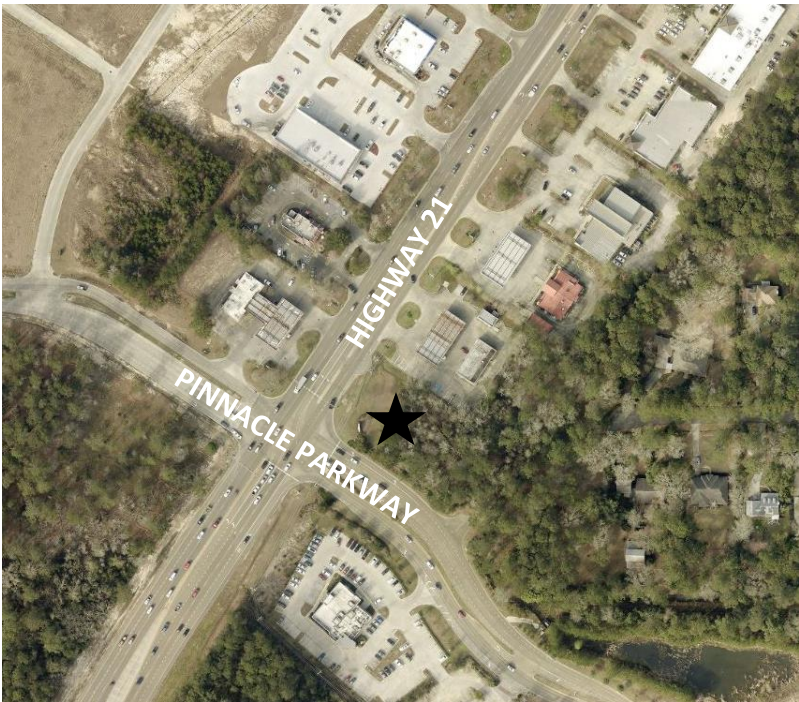
ZONING STAFF REPORT
2022-3064-PR

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Proposed Use: Take 5 Carwash: New Construction **Gross Area Lot Size:** 1.77 acres
Previous/Current Use: Undeveloped **Use Size:** 4,130 sq. ft.
Owner: BSREP II Cypress TRS, LLC – Michael Blank **Council District:** 1
Applicant: BSREP II Cypress TRS, LLC – Michael Blank **Posted:** October 21, 2022
Commission Hearing: November 2, 2022 **Prior Determination:** Postponed – October 4, 2022
Location: Parcel located on the east side of LA Highway 21, north of Pinnacle Parkway; Covington S47, T7S, R11E, Ward 1, District 1



Current Zoning
HC-2 Highway Commercial District
Planned Corridor Overlay
Highway 21 Planned Corridor
Future Land Use
Commercial
Flood Zone
Preliminary: Flood Zone X
Effective Flood Zone C
Critical Drainage: No

Site Information:

1. The petitioned property consists of a total of 1.77 acres which is located on the northeast corner of Highway 21 and Pinnacle Parkway, Covington. The applicant is currently proposing to construct a new 4,225 sq. ft. carwash facility which will have a single access point from Pinnacle Parkway.
2. Table 1: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Commercial - Retail	HC-2 Highway Commercial District
South	Pinnacle Parkway	N/A
East	Residential	A-2 Suburban District
West	Commercial - Retail	HC-2 Highway Commercial District

Per Table 1 above, the subject site is within the Highway 21 Planned Corridor district and abuts an existing residential subdivision known as Flowers Estates to the east, several existing commercial uses to the north and the west, and Pinnacle Parkway to the south.

Findings:

The petitioner has submitted two concurrent applications for a site work permit (2022-2379) and a building permit (2022-2019). All corresponding and required documentation and plans have been provided showing the limits of work for the proposed carwash. Staff has reviewed the application and notes the following waivers are required subject to the Planned Corridor Regulations including the following:



ZONING STAFF REPORT

2022-3064-PR

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT

Ross Liner
Director

1. Per Sec. 130-1814(1)(e)(1)(ii), a nonresidential property abutting a residential district shall have a minimum side yard and rear yard requirement of 30 feet.
 - **The current proposed plans show a proposed 8 ft. sound barrier wall located along the eastern line of the required 30-foot eastern buffer abutting the adjoining Flowers Estates subdivision. This location will require the removal of a 28" pine tree, a 14" pine tree, and an 8" red maple within the no cut buffer and will therefore require a waiver to the Side and Rear Planting Area Regulations.**
 - **Should the Zoning Commission be in favor of the proposed 8 ft. sound barrier wall, it should be subject to revisions of the civil and landscape plans to provide cross section details, setbacks from the property line, and construction details.**

Informational Items:

1. The applicant is proposing to remove 9 of 20 existing live oaks where it has been determined by the project team's landscape architect that too much of their critical root zones are in areas of new paving construction.
 - a. Removal of live oaks require mitigation, and the applicant is required to flag all live oaks in the field and schedule an inspection with the Department of Planning and Development. The Planning Department's landscape architect will grade the live oaks and provide the number of mitigation inches required based on the average quality of the trees. The landscape plan is currently proposing the mitigation planting of 29 live oak trees.
 - b. Staff has concerns regarding the number of proposed live oaks to be planted on the site and recommends reducing the proposed total of live oaks to ensure future growth and survival. Staff recommends that the applicant revise the proposed planting plan to fit a reasonable number of live oaks on the site and pay the remaining credits into the tree bank at a maximum 50% of the required mitigation inches.
2. While the landscape plan meets code and shows the required number of Class A and Class B plantings, staff recommends reduction of live oaks proposed to be planted to a maximum of three in order to ensure survival and appropriate growth.
3. The applicant has submitted lighting plans which are currently being revised based on staff comments to be consistent with Chapter 130, Article VI, Division 4.
4. The applicant has provided written verification by LADOTD that a driveway permit is not required.
5. The applicant has contacted UIL and provided information that a tap in connection is available for community sewer and water services.
6. The property owner shall be responsible for the maintenance and the replacement of the required plant materials.
7. During construction, planting or open ground areas surrounding preserved trees shall be wired off with a properly flagged, reinforced & rolled wire mesh as indicated in detail A – Tree Protection Fencing Detail on sheet TP100.
8. The applicant must apply for a land clearing permit application prior to clearing any trees on the property.

Consistency with New Directions 2040

Commercial: Concentrations of offices, retailers, services, and other employers that generate varying levels of traffic. They range from neighborhood-serving uses such as personal care and convenience goods, to large-scale shopping centers. May also include high intensity residential uses.

1. The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:
 - i. Strategy 1:9:3 Encourage redevelopment and adaptive reuse of existing, vacant buildings.
 - ii. Goal 5:1: The Parish will designate adequate land served by supporting infrastructure for use by businesses and industries seeking to begin or expand.
 - iii. Goal 5:2: St. Tammany Parish will attract and grow businesses that expand the Parish's tax base and provide living wage jobs to residents of varying skill levels.



ZONING STAFF REPORT
2022-3064-PR

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director



Page 1 of 1
Map#4559D - MAPS MAY NOT PRINT TO SCALE
St Tammany Parish Clerk of Court

APPROVALS:
SECRETARY - ST. TAMMANY PLANNING COMMISSION
PARISH ENGINEER
CLERK OF COURT
DATE FILED 10-26-2007
MAP FILE NO. 4559D

2022-3064-PR
Subject Property

COMMENCING FROM THE CORNER COMMON TO SECTIONS 12, 13 & 48 TOWNSHIP 7 SOUTH, RANGE 10 EAST, ST. TAMMANY PARISH, LOUISIANA RUN NORTH 00 DEGREES 40 MINUTES 50 SECONDS EAST FOR A DISTANCE OF 1423.63 FEET TO A POINT; THENCE RUN NORTH 89 DEGREES 23 MINUTES 30 SECONDS EAST FOR A DISTANCE OF 1109.12 FEET TO A POINT; THENCE RUN NORTH 89 DEGREES 14 MINUTES 55 SECONDS EAST FOR A DISTANCE OF 95.62 FEET TO A POINT; THENCE RUN NORTH 89 DEGREES 17 MINUTES 06 SECONDS EAST FOR A DISTANCE OF 700.84' TO THIS POINT.

REFERENCE DRAWING:
SURVEY PLAT BY THIS FIRM DATED 02-18-00.

NOTE: THE PROPERTY IS LOCATED WITHIN FLOOD ZONE "C" ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 225205 0210 C REVISED 10-17-89. BASE FLOOD ELEVATION IS N/A. FLOOD ZONE IS DETERMINED BY GRAPHIC PLOTTING ONLY.

NOTE: Servitudes shown hereon are not necessarily exclusive. Servitudes of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.

NOTE: Setback lines shall be verified by owner and/or contractor prior to any construction, as an abstract has not been performed by the undersigned.

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY SUPERVISION AND CONTROL; AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS "C" SURVEY.

This is to certify that I have done an actual ground survey and found that no encroachments exist either on the property or on any property shown.

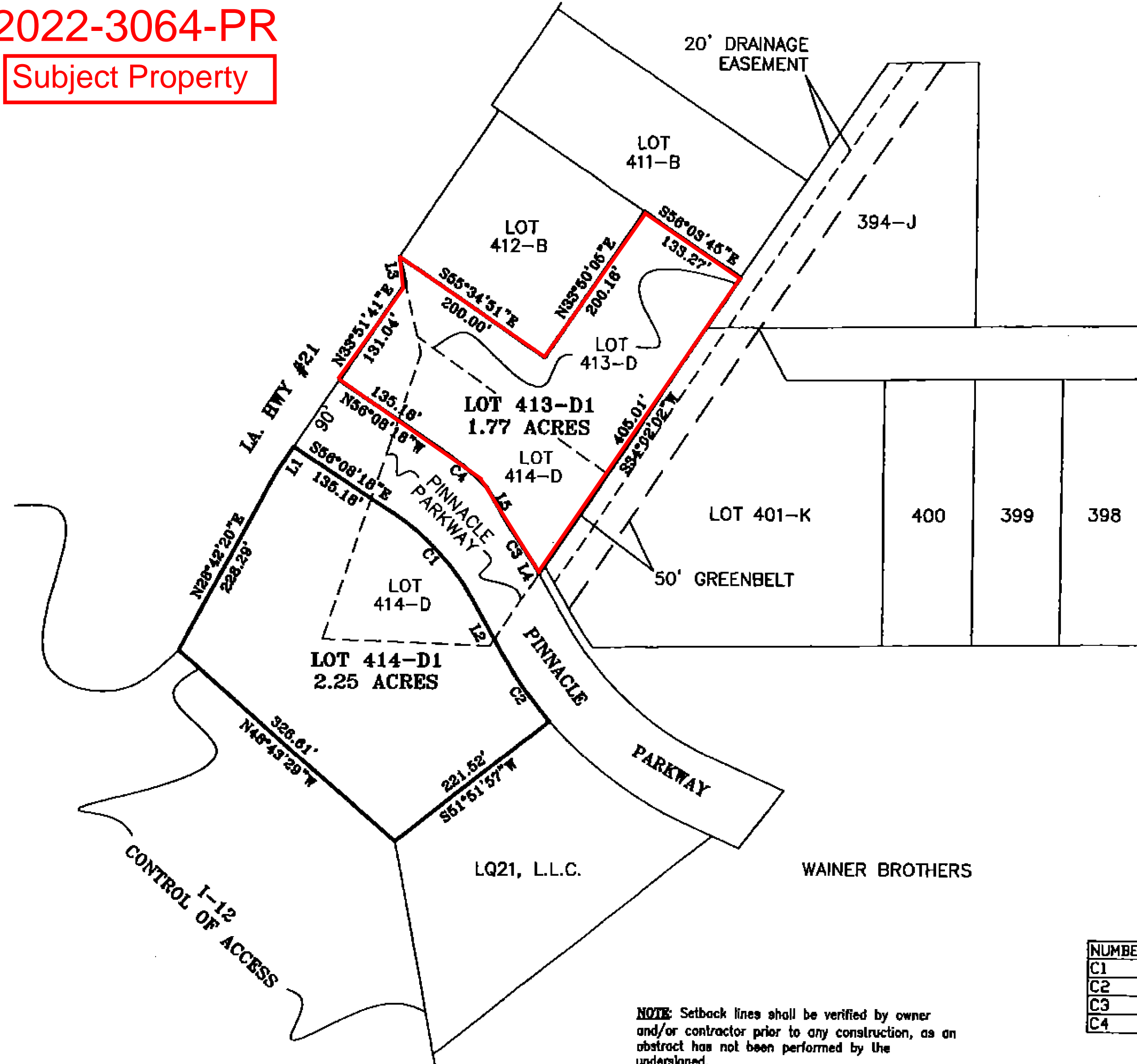
RESUBDIVISION MAP OF
LOTS 413-D & 414-D, FLOWER ESTATES SUBDIVISION, SECTION "A" & A PORTION OF
PINNACLE PARKWAY AND A NON DESIGNATED PARCEL OF GROUND INTO
LOT 413-D1 AND LOT 414-D1, FLOWER ESTATES SUBDIVISION, SECTION "A" & PINNACLE PARKWAY
St. Tammany Parish, Louisiana
for
FLOWERS, INC.

Survey No. 2005 477 A
Date: SEPTEMBER 27, 2007
Drawn by: JBM
Revised: OFFICE 10-24-07
Scale: 1" = 100'

JOHN E. BONNEAU & ASSOCIATES, INC.
Professional Land Surveyors • Planners and Consultants

420 HWY. 1085, EXIT 57, MADISONVILLE, LA. 70447
(985) 845-1012 • (985) 845-1013 • (985) 845-1351 • FAX No.: (985) 845-1778
www.JEBCOLandSurveying.com • e-mail: jebco1@bellsouth.net

Survey No. 4423
JOHN E. BONNEAU
REGISTERED
PROFESSIONAL
LAND SURVEYOR
Registration No. 4423



LINE TABLE

NUMBER	DIRECTION	DISTANCE
L1	N33°51'41"E	37.00'
L2	S29°34'34"E	77.97'
L3	N12°58'10"W	31.42'
L4	N29°34'34"W	14.39'
L5	N29°52'30"W	50.74'

CURVE TABLE

NUMBER	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
C1	CH = S42°51'26"E	R = 280.00'	A = 129.81'	CL = 128.65 FT
C2	CH = S35°20'52"E	R = 440.00'	A = 88.65'	CL = 88.50 FT
C3	CH = N33°26'30"W	R = 360.00'	A = 48.58'	CL = 48.54 FT
C4	CH = N50°37'49"W	R = 370.00'	A = 71.14'	CL = 71.03 FT



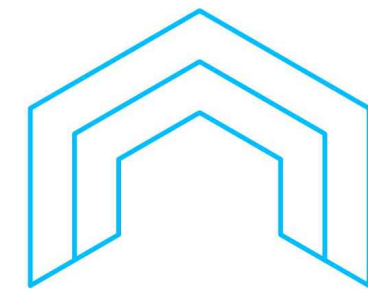
125' PROTOTYPE

DATE	2022-06-16
DESCRIPTION	PERMIT ISSUE
DELTA	1

TAKE 5 CAR WASH

125 PINNACLE PKWY
COVINGTON, LA 70433

ARCHITECT:



ARCHITECTURE
ENGINEERING

STAMPS



SHEET TITLE

LAYOUT &
DIMENSIONAL
CONTROL PLAN

PROJECT NUMBER

21-055

DATE	09/06/22
SCALE	AS NOTED
DRAWN	KC
CHECKED	AH
SHEET NO	

C-100

LEGEND

	SAWCUT LIMITS
	PROPOSED FIRE LANE
	ELECTRIC TRANSFORMER
	BARRIER FREE RAMP
	VAN ACCESSIBLE PARKING
	ACCESSIBLE PARKING
	SIGN
	LIGHT

SITE FEATURES KEYNOTES

- A1 NOT USED
- A2 VACUUM EQUIPMENT. REFERENCE ELECTRICAL DETAILS.
- A3 VENDING MACHINE. REFERENCE ARCH PLANS FOR DETAILS.
- A4 REFUSE AND VACUUM EQUIPMENT ENCLOSURE. REFERENCE ARCH SHEET SP2 FOR DETAIL.
- A5 VACUUM CANOPY. REFERENCE ARCH SITE DETAILS.
- C1 PAVEMENT MARKINGS. REFERENCE SHEET C-510 FOR DETAILS.
- C2 POLE MOUNTED TRANSFORMER. REFERENCE SHEET C-300 FOR DETAILS.
- C3 WHEEL STOP. REFERENCE SHEET C-510 FOR DETAILS.
- C4 LIGHT POLE. REFERENCE PHOTOMETRIC PLAN.
- C5 4" WHITE STRIPING. REFERENCE SHEET C-510 FOR DETAILS.
- C6 BOLLARD TYPE I. REFERENCE SHEET C-510 FOR DETAILS.
- C7 6" REINFORCED CONCRETE CURB.
- C8 ACCESSIBLE PARKING. REFERENCE SHEET C-510 FOR DETAILS.
- C9 WATER RECLAMATION SUMP. REFERENCE MEP DETAILS.
- C10 SAND AND OIL INTERCEPTOR. REFERENCE MEP DETAILS.
- C11 BOLLARD TYPE II. REFERENCE SHEET C-510 FOR DETAILS.
- C12 4" SOLID WHITE LANE STRIPE.
- C13 ACCESSIBLE SIGN IN BOLLARD. REFERENCE SHEET C-510 FOR DETAILS.
- 14 PROPOSED 8 FEET SOUND BARRIER WALL.

SITE DATA SUMMARY TABLE

ZONING:	C-2 HEAVY COMMERCIAL ZONE
SITE AREA:	1.77 AC (76,935 S.F.)
BUILDING AREA:	0.10 AC (4,225 S.F.)
REQUIRED LANDSCAPE AREA:	= 10% OF PAVEMENT AREA = (0.10 x 0.52) = 0.052 AC (2,265 S.F.)
LANDSCAPE AREA:	1.15 AC (50,000 S.F.)
PAVEMENT AREA:	0.52 AC (22,651 S.F.)
TOTAL IMPERVIOUS COVER	0.62 AC (26,935 S.F.)
CONVEYOR LENGTH	125'-0"
REQUIRED PARKING:	1x3 (1 PER EACH EMPLOYEE)
EMPLOYEE PARKING:	6X2 (6 PER BAY CAPACITY)
OTHER	15 SPACES
TOTAL	
PARKING PROVIDED	15 SPACES (1 HC)
VAC:	3 SPACES
EMPLOYEE PARKING:	1 SPACE
HANDICAP:	19 SPACES
TOTAL:	
CAR STACKING	9 CARS
AT XPT	3 CARS
AT ENTRANCE	

DIMENSIONAL CONTROL NOTES

- GENERAL CONSTRUCTION NOTES:** REFER TO SHEET C-002 FOR THE GENERAL CONSTRUCTION NOTES FOR THE PROJECT.
- SURVEYING:** ALL SURVEYING REQUIRED FOR CONSTRUCTION STAKING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE DEVELOPER SHALL PROVIDE THE PROPERTY CORNERS AND TWO BENCHMARKS FOR USE AS HORIZONTAL AND VERTICAL DATUM. THE CONTRACTOR SHALL EMPLOY A REGISTERED PROFESSIONAL LAND SURVEYOR TO PERFORM ALL ADDITIONAL SURVEY, LAYOUT AND MEASUREMENT WORK NECESSARY FOR THE COMPLETION OF THE PROJECT.
- PROTECTION OF PROPERTY CORNERS AND BENCHMARKS:** THE CONTRACTOR SHALL PROTECT ALL PROPERTY CORNER MARKERS AND BENCHMARKS, AND WHEN ANY SUCH MARKERS OR MONUMENTS ARE IN DANGER OF BEING DISTURBED, THEY SHALL BE PROPERLY REFERENCED AND IF DISTURBED, SHALL BE RESET BY A REGISTERED PUBLIC SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
- DIMENSIONAL CONTROL:** ALL PAVING DIMENSIONS AND COORDINATES SHOWN ARE TO FACE OF CURB WHERE APPLICABLE. ALL DIMENSIONS SHOWN AT PL CURB POINTS ARE AT THE INTERSECTION OF THE FACE OF CURB.
- CURB RADI:** ALL CURB RADI SHALL BE 3 FEET TO FACE OF CURB UNLESS OTHERWISE NOTED.
- BUILDING DIMENSIONS:** CONTRACTOR SHALL REFER TO BUILDING PLANS FOR ACTUAL BUILDING DIMENSIONS. THE DIMENSIONS AND CORNERS SHOWN ARE TO FACE OF OUTSIDE WALLS OF BUILDING.
- TOPOGRAPHIC BOUNDARY SURVEY:** SURVEY INCLUDES PROPERTY LINE, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY:
RIVERLANDS SURVEYING COMPANY
505 HEMLOCK STREET
LAPLACE, LOUISIANA 70068
CONTACT: KENNY BRAZAN
PHONE: 985-652-6356
EMAIL: KBRAZAN@RIVERLANDSSURVEYING.COM
- HANDICAP PARKING:** HANDICAPPED PARKING AREAS SHALL BE CONSTRUCTED PER CITY STANDARDS AND SHALL COMPLY WITH REQUIREMENTS OF THE CURRENT, ADOPTED INTERNATIONAL BUILDING CODE.
- FIRE LANE:** FIRE LANES SHALL BE CONSTRUCTED AND MARKED PER CITY STANDARDS REFERENCE PAVING PLAN FOR DETAILS.
- SIGNS:** CONTRACTOR TO PROVIDE HANDICAPPED PARKING SIGNS AND POLES.

NOTES:

REFERENCE SHEET C-510 FOR SITE PLAN DETAILS

SIGN KEYNOTES

- S1 "ENTER" SIGN
- S2 "WELCOME" SIGN
- S3 "STAY SHINY" SIGN
- S4 "EXIT" SIGN
- S5 MONUMENT SIGN
- B1 TAKE 5 LOGO
- B2 CAR WASH LOGO

INSET A
SCALE: 1" = 10'

PAY KIOSK KEYNOTES

- X1 PAY STATION CANOPY. REFERENCE ARCH SHEET A101 FOR DETAILS.
- X2 XPT MENU BOARD. REFERENCE ARCH SHEET A101 FOR DETAILS.
- X3 KIOSK. REFERENCE ARCH SHEET A101 FOR DETAILS.
- X4 FAST PASS READER. REFERENCE ARCH SHEET A101 FOR DETAILS.
- X5 GATE. REFERENCE ARCH SHEET A101 FOR DETAILS.

PINNACLE PARKWAY

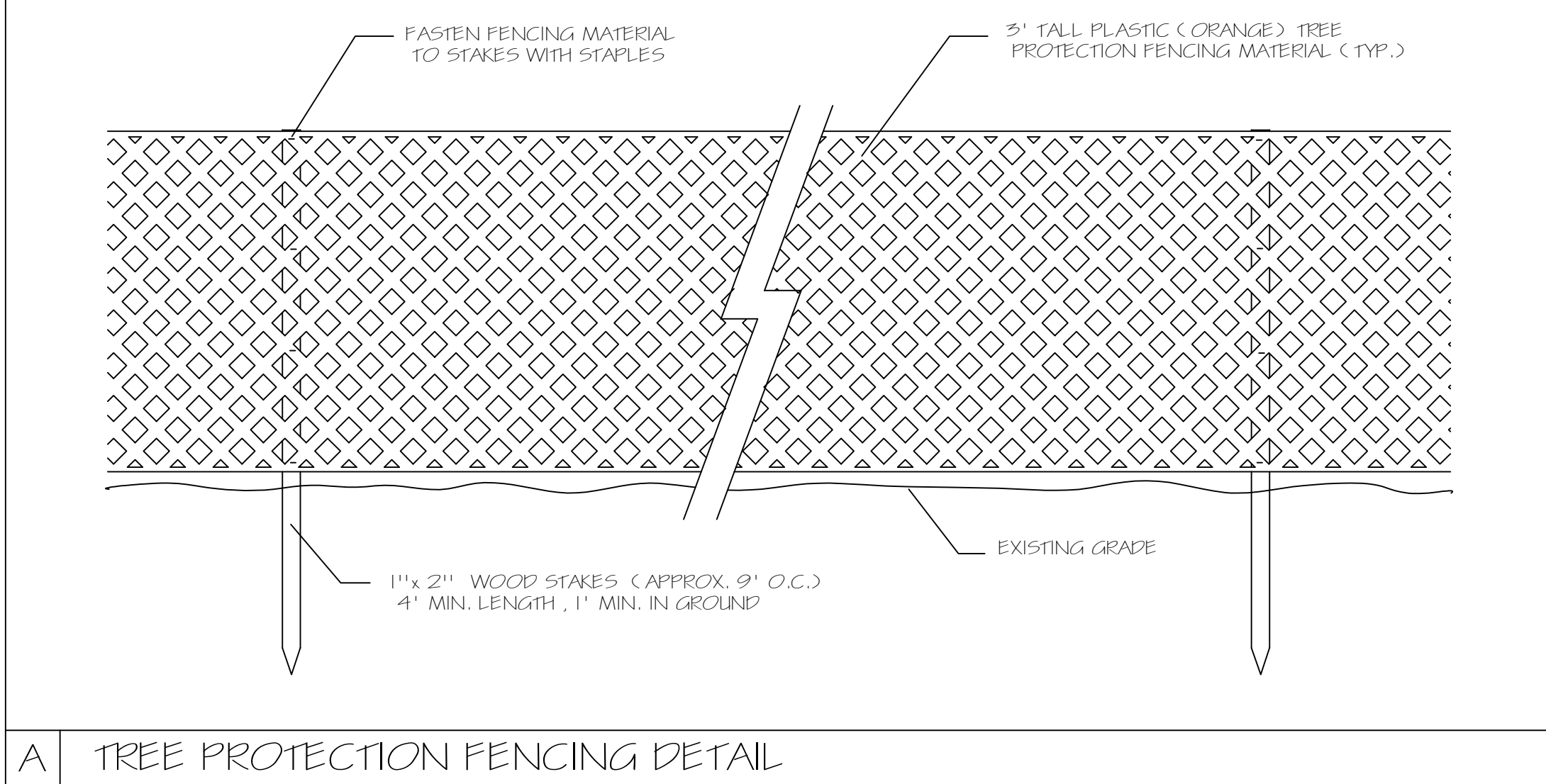
289.22'

AREA TO REMAIN
WOODED

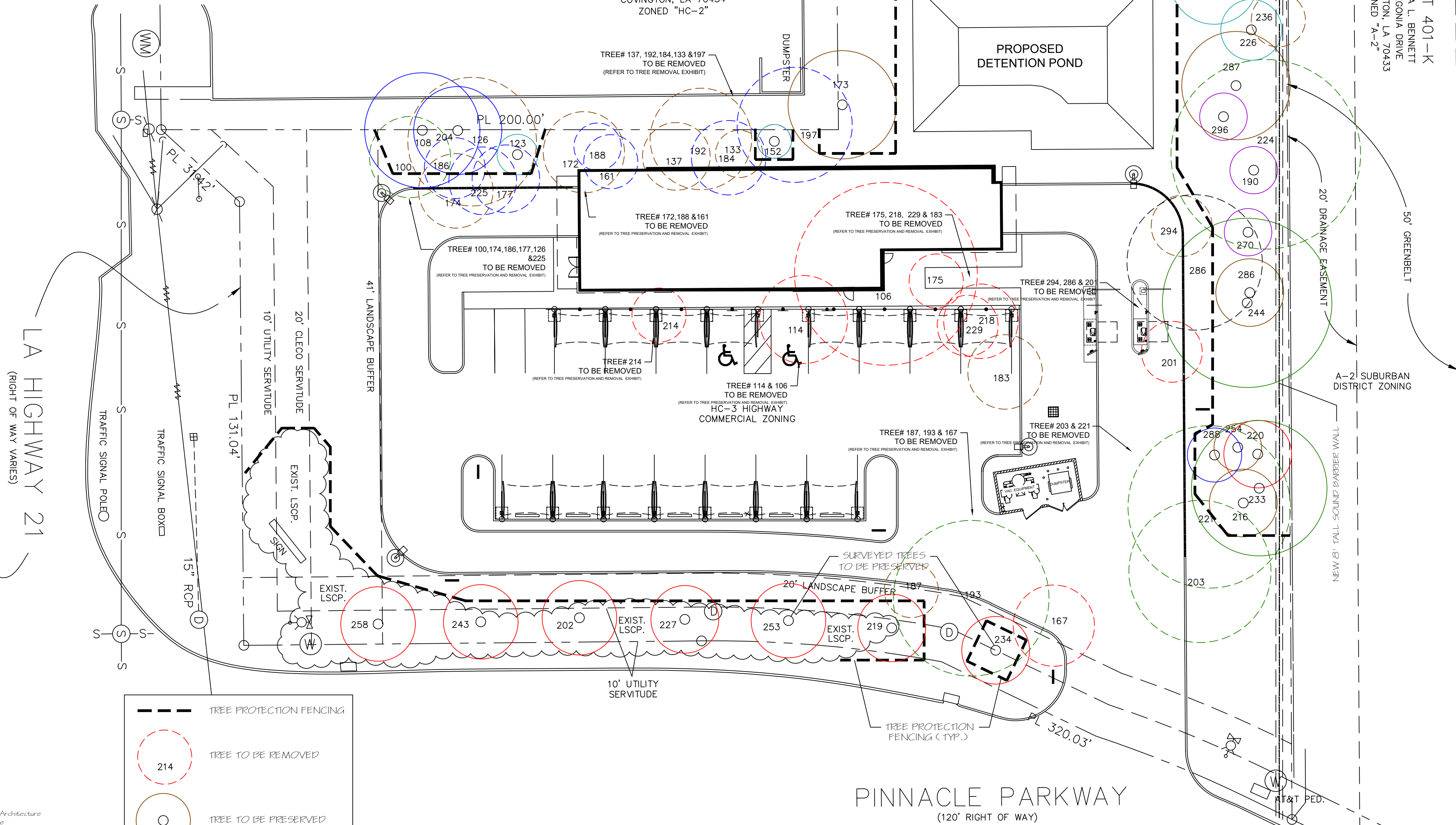
PROPOSED
DETENTION POND

BEGONIA DRIVE (SIDE)

LA HIGHWAY 21
(ASPHALT) (RIGHT-OF-WAY VARIES) (PUBLIC)



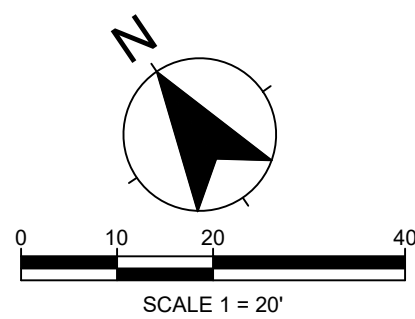
- TREE PROTECTION SPECIFICATIONS:
- 1.) Install Tree Protection Fencing in areas indicated on plan prior to site clearing, grading and construction. Remove only when necessary or prior to landscape and irrigation installation.
 - 2.) Prevent storage or operation of heavy equipment within tree protection fencing.
 - 3.) Prevent storage or mixing of any deleterious chemicals or other construction materials within tree protection fencing.
 - 4.) When grading or trenching must occur adjacent to protected trees any necessary cutting of tree roots must be done in a clean fashion using appropriate cutting tools such as chain-saws, pruners or hand saws to avoid ripping or fraying roots that may result in rotting and disease.
 - 5.) Minimize any additional fill soils on top of root zones. When new sidewalks are constructed in the root zones of protected trees contractor should try to install walkway "on top" of the root system and not "through" the root system in order to minimize damage to "significant" surface roots.



TREE TABLE			
Tree Number	TREE CIRCUMFERENCE	TREE TYPE	DIAMETER
106	86	LIVE OAK	27
114	40	LIVE OAK	13
126	59	LIVE OAK	19
131	49	LIVE OAK	16
139	56	LIVE OAK	18
167	39	LIVE OAK	12
168	91	LIVE OAK	29
175	26	LIVE OAK	8
201	28	LIVE OAK	9
202	34	LIVE OAK	11
214	24	LIVE OAK	8
218	36	LIVE OAK	11
219	31	LIVE OAK	10
220	30	LIVE OAK	10
227	31	LIVE OAK	10
229	28	LIVE OAK	9
243	34	LIVE OAK	11
253	33	LIVE OAK	11
258	36	LIVE OAK	11
284	26	LIVE OAK	8
190	23	CHINA BALL	7
270	21	CHINA BALL	7
296	21	CHINA BALL	7
123	18	ELM	6
152	16	ELM	5
195	35	ELM	11
223	20	ELM	6
226	28	ELM	9
247	31	ELM	10
249	41	ELM	13
280	51	ELM	16
281	22	ELM	7
282	51	ELM	16
267	22	ELM	7
268	41	ELM	13
278	19	ELM	6
100	39	PINE	12
140	20	PINE	6
169	29	PINE	9
179	48	PINE	15
193	72	PINE	23
203	65	PINE	21
221	75	PINE	24
233	63	PINE	20
241	24	PINE	8
244	79	PINE	25
255	64	PINE	20
266	86	PINE	27
279	30	PINE	10
133	23	RED MAPLE	7
134	54	RED MAPLE	17
137	30	RED MAPLE	10
146	27	RED MAPLE	9
172	37	RED MAPLE	12
173	51	RED MAPLE	16
174	35	RED MAPLE	11
183	33	RED MAPLE	11
187	26	RED MAPLE	8
192	46	RED MAPLE	15
210	61	RED MAPLE	19
216	31	RED MAPLE	10
254	21	RED MAPLE	7
286	30	RED MAPLE	10
287	51	RED MAPLE	16
293	19	RED MAPLE	6
294	28	RED MAPLE	9
295	20	RED MAPLE	6
108	53	WATER OAK	17
122	48	WATER OAK	15
161	24	WATER OAK	8
177	32	WATER OAK	10
184	34	WATER OAK	11
186	27	WATER OAK	9
188	22	WATER OAK	7
197	52	WATER OAK	17
204	40	WATER OAK	16
212	48	WATER OAK	15
225	30	WATER OAK	10
232	56	WATER OAK	18
248	42	WATER OAK	13
250	50	WATER OAK	16
288	25	WATER OAK	8
211	53	UNKNOWN	17
242	84	UNKNOWN	27
282	72	UNKNOWN	23
286	63	UNKNOWN	20

TREE REMOVAL TABLE			
Tree Number	TREE CIRCUMFERENCE	TREE TYPE	DIAMETER
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175	26	LIVE OAK	8
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214	24	LIVE OAK	8
218	36	LIVE OAK	11
229	28	LIVE OAK	9
100	39	PINE	12
193	72	PINE	23
203	65	PINE	21
221	75	PINE	24
224	87	PINE	28
252	43	PINE	14
133	23	RED MAPLE	7
137	30	RED MAPLE	10
172	37	RED MAPLE	12
174	35	RED MAPLE	11
183	33	RED MAPLE	11
187	26	RED MAPLE	8
192	46	RED MAPLE	15
236	24	RED MAPLE	8
294	28	RED MAPLE	9
161	24	WATER OAK	8
177	32	WATER OAK	10
184	34	WATER OAK	11
186	27	WATER OAK	9
188	22	WATER OAK	7
197	52	WATER OAK	17
225	30	WATER OAK	10
286	63	UNKNOWN	20

- NOTES:
- 1.) TREES 100, 203, 221, 224, 256, 244, 252, 133, 137, 172, 183, AND 192 ARE BEING REMOVED BECAUSE IT HAS BEEN DETERMINED THAT TOO MUCH OF THEIR CRITICAL ROOT ZONES ARE IN AREAS OF NEW PAVING CONSTRUCTION AND NEW SOUND BARRIER WALL.
 - 2.) TREES PROPOSED TO BE REMOVED IN BUFFER AREAS DUE TO PROXIMITY OF PAVING SHALL BE REVIEWED DURING PRE-LC INSPECTION. BUFFERS MUST BE STAKED PRIOR TO INSPECTION SO STAFF CAN CERTIFY WHICH TREES ARE APPLICABLE FOR REMOVAL.
 - 3.) SEE SHEET 1100 FOR INFORMATION REGARDING MITIGATION OF 9 LIVE OAK TREES SLATED FOR REMOVAL.



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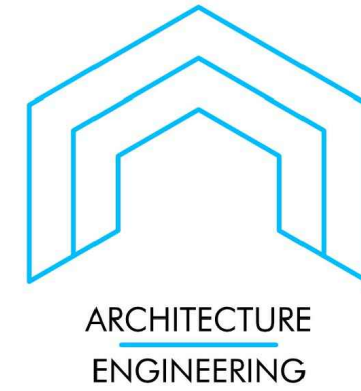
125' PROTOTYPE

DATE	DESCRIPTION	DELTA
2022-02-02	1 DD REVIEW	
2022-06-23	2 CITY COMMENTS	
2022-07-26	3 PERMIT RESUBMITTAL	
X2022-08-26	4 CITY COMMENTS	
XX-XX-XX	5 X	
XX-XX-XX	6 X	

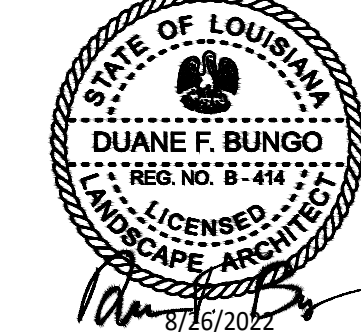
TAKE 5 CAR WASH

12-L7-L1 PKWY & LA 70433
NEC PINNACLE PKWY & LA 70433
COVINGTON, LA 70433

ARCHITECT:



STAMPS



SHEET TITLE

TREE PRESERVATION
PLAN

PROJECT NUMBER
21-042

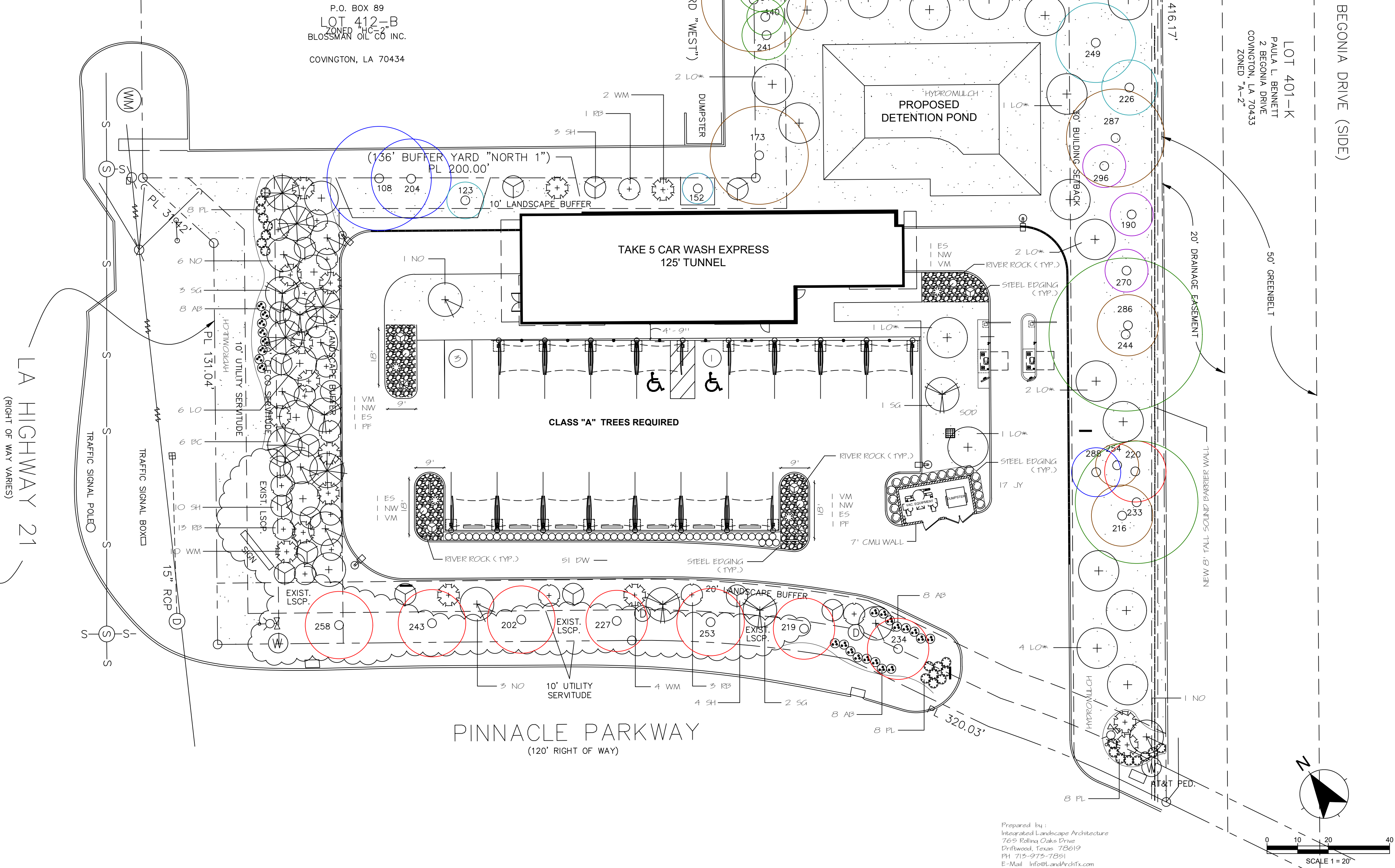
DATE	08.26.2022
SCALE	1" = 20'
DRAWN	DB
CHECKED	AH
SHEET NO	

TP100

PLANT LIST				
QUANT.	SYMBOL	PLANT TYPE	SIZE	NOTES
24	AB	ABELIA, PINK	3 GAL / 5 GAL	3' O.C., FULL, HEALTHY
7	BC	Abelia grandiflora 'Edward Goucher'	65 GAL	24" - 30" HT. X 24" - 30" SPR.
51	DW	DWARF WAX MYRTLE	2.75" CAL. MIN.	SINGLE-TRUNK, DOUBLE-STAKED
4	ES	YELLOW ESPERANZA	3 GAL / 5 GAL	10" - 12" HT. X 4" - 5" SPR., MATCHING
17	JY	JAPANESE YEW	5 GAL / 7 GAL	2" - 3" O.C., FULL, HEALTHY, MATCHING
29	LO	LIVE OAK	100 GAL	12" - 14" HT. X 10" - 12" SPR.
7	LO	Quercus virginiana	4" CAL. MIN.	3' O.C., FULL, HEALTHY, MATCHING
11	NO	NUTTALL OAK	2.75" CAL. MIN.	22" - 28" HT. X 18" - 22" SPR.
4	NW	PINK SHRUB ROSE, NEARLY WILD	3 GAL / 5 GAL	SINGLE-TRUNK, DOUBLE-STAKED
2	PF	PURPLE FOUNTAINGRASS	3 GAL / 5 GAL	11" - 12" HT. X 5" - 6" SPR., MATCHING
24	PL	BLUE PLUMBAGO	3 GAL / 5 GAL	11" - 12" HT. X 5" - 6" SPR., MATCHING
18	RB	RIVERBIRCH	30 GAL	2.75" CAL. MIN.
6	SG	SWEETGUM	65 GAL	11" - 12" HT. X 4" - 5" SPR., MATCHING
20	SH	SAVANNAH HOLLY	30 GAL	11" - 12" HT. X 4" - 5" SPR., MATCHING
4	VM	VARI. MISCANTHUS, "CABARET"	3 GAL / 5 GAL	11" - 12" HT. X 4" - 5" SPR., MATCHING
18	WM	WAX MYRTLE	30 GAL	11" - 12" HT. X 4" - 5" SPR., MATCHING
	HYDRO	COMMON BERMUDAGRASS	SQ. FT.	8" - 10" HT. X 4" SPR. MINIMUM
	SOD	COMMON BERMUDAGRASS	SQ. YD.	WITH GREEN CELLULOSE FIBER AND FERTILIZER, APPLY WHERE INDICATED
		Cynodon dactylon		SOLID SOD, ROLLED
				INSTALL WHERE INDICATED

SAINT TAMMANY PARISH LANDSCAPE ANALYSIS FORM									
STREET PLANTING AREAS									
LA. HWY. 21		6,480 SF / 300 = 22	- 1 EXIST. TREE CREDIT = 21	CLASS "A" TREES REQUIRED					
		6,480 SF / 200 = 33	CLASS "B" TREES REQUIRED						
		162.46' / 10 = 16	SHRUBS REQUIRED						
PINNACLE PKWY.		320.03' / 30 = 11	- 6 EXIST. TREE CREDITS = 5	CLASS "A" TREES REQUIRED					
		320.03' / 30 = 11	CLASS "B" TREES REQUIRED						
		320.03' / 10 = 32	SHRUBS REQUIRED						
BUFFER YARDS									
NORTH (1)		136.00'	30 = 5	CLASS "A" TREES REQUIRED		1 NEW	4 EXIST.		
		136.00'	30 = 5	CLASS "B" TREES REQUIRED		5 NEW			
WEST		200.16'	30 = 7	CLASS "A" TREES REQUIRED			15 EXIST.		
		200.16'	30 = 7	CLASS "B" TREES REQUIRED					
NORTH (2)		133.27'	30 = 5	CLASS "A" TREES REQUIRED		3 NEW	2 EXIST.		
		133.27'	30 = 5	CLASS "B" TREES REQUIRED		5 NEW			
EAST (RES.)		383.00'	30 = 13	CLASS "A" TREES REQUIRED			26 EXIST.		
		383.00'	30 = 13	CLASS "B" TREES REQUIRED					
PARKING LANDSCAPE AREA									
PARKING AND VACUUM AREA		5160 S.F.							
ADJACENT LANDSCAPE AREA		2730 S.F.							
		2730 S.F. / 5160 S.F. = 53% LANDSCAPE AREA PROVIDED							
TREE MITIGATION									
REMOVE 9 LIVE OAK TREES TOTALING 116" (SEE SHEET TP100)									
MITIGATE BY PLANTING 29 (4" CAL. / 100 GAL.) LIVE OAK (DESIGNATED ON PLAN AS LO*)									

- NOTES:
- UNLESS SPECIFICALLY LABELED AS "SOD" EDGE ALL NEW PLANTING BEDS, CURBS, WALKWAYS, BUILDING FOUNDATIONS AND ANY OTHER PAVING WITH 1 ROW OF SOLID SOD (1.5' WIDTH) AND HYDROMULCH ALL REMAINING CONSTRUCTION DISTURBED SURF AREAS.
 - ALL NEW LANDSCAPE AREAS AND PLANTINGS TO BE IRRIGATED WITH A PROFESSIONALLY DESIGNED AND INSTALLED AUTOMATIC LANDSCAPE IRRIGATION SYSTEM WITH RAIN SWITCH. SEE IRRIGATION PLAN TO BE PROVIDED AFTER SITE AND LANDSCAPE PLAN APPROVAL.
 - LANDSCAPE BUFFER LINES ON DRAWING ARE ALSO BUILDING SETBACK LINES.
 - SEE SITE PLAN (SHEET C-1000) FOR PARKING CALCULATIONS, CURBS, PARKING STOPS ETC. SEE LIGHTING PLAN FOR LIGHTING DATA.



LEGEND		
LO*	(Symbol)	LIVE OAK (100 GAL.)
LO	(Symbol)	LIVE OAK (65 GAL.)
NO	(Symbol)	NUTTALL OAK
BC	(Symbol)	BALD CYPRESS
SG	(Symbol)	SWEETGUM
RB	(Symbol)	RIVERBIRCH
SH	(Symbol)	SAVANNAH HOLLY
WM	(Symbol)	WAX MYRTLE
BP	(Symbol)	BLUE PLUMBAGO
AB	(Symbol)	PINK ABELLIA
DW	(Symbol)	DWARF WAX MYRTLE
ES	(Symbol)	YELLOW ESPERANZA
PF	(Symbol)	PURPLE FOUNTAINGRASS
NW	(Symbol)	DWARF PINK SHRUB ROSE
JY	(Symbol)	JAPANESE YEW
VM	(Symbol)	VARIATED MISCANTHUS
	(Symbol)	COMMON BERMUDAGRASS
	(Symbol)	RIVER ROCK



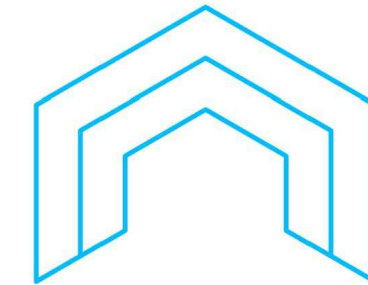
125' PROTOTYPE

DATE	DESCRIPTION	DATE	DESCRIPTION
2022-02-02	1 DD REVIEW	2022-06-23	2 CITY COMMENTS
2022-06-23	3 PERMIT RESUBMITTAL	2022-07-26	4 CITY COMMENTS
2022-08-26	5 X	XX-XX-XX	6 X
XX-XX-XX		XX-XX-XX	

TAKE 5 CAR WASH

NEC PINNACLE PKWY & LA-21
COVINGTON, LA 70433

ARCHITECT:



ARCHITECTURE
ENGINEERING

STAMPS



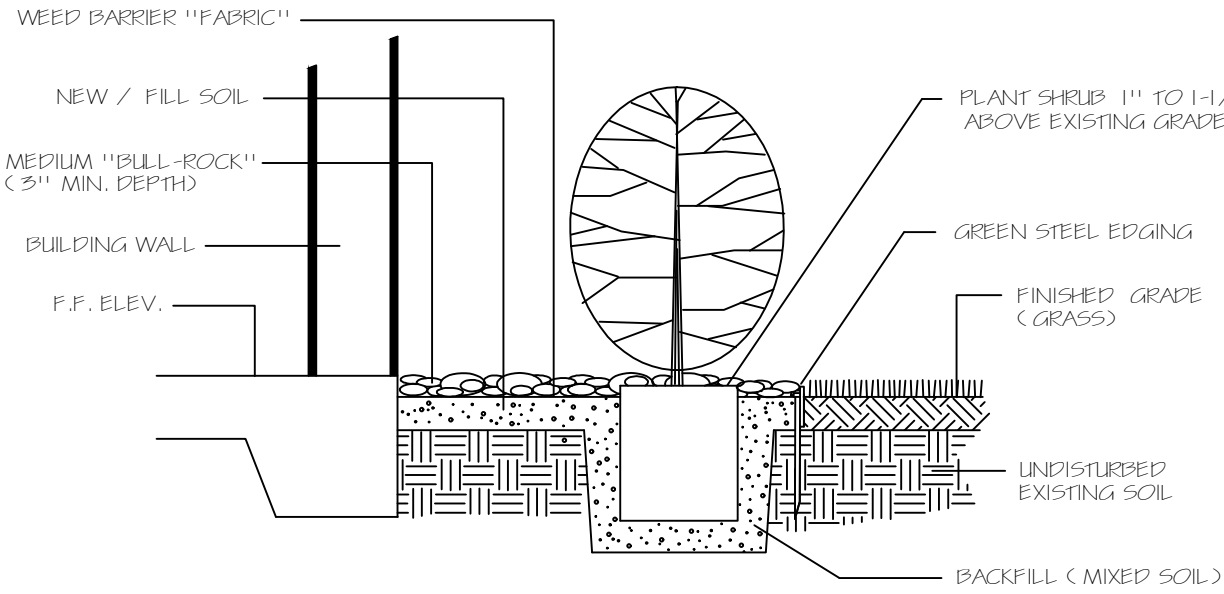
SHEET TITLE

LANDSCAPE PLAN

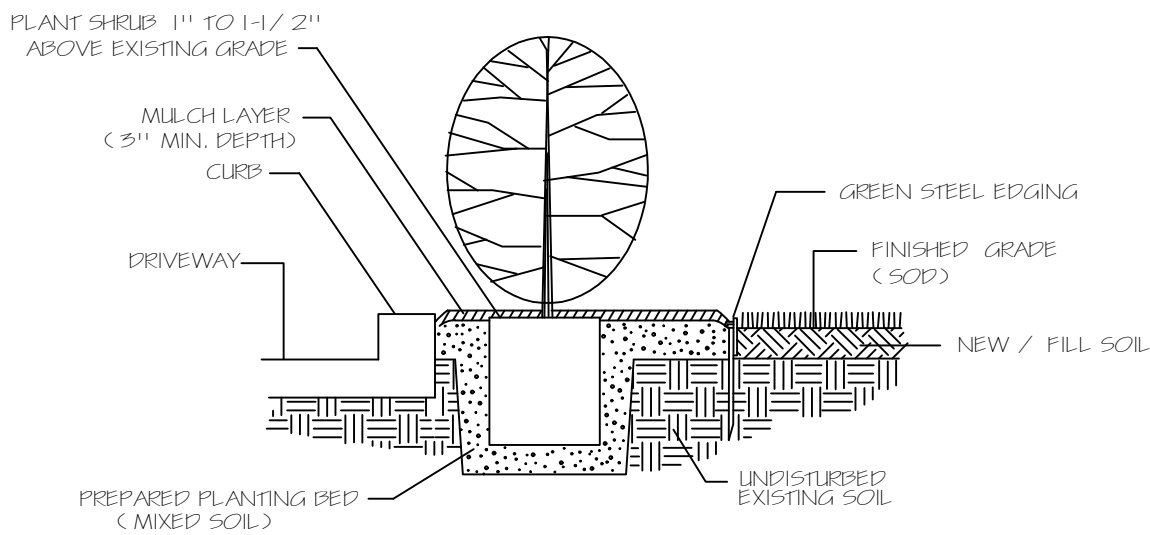
PROJECT NUMBER
21-042

DATE	08.26.2022
SCALE	1" = 20'
DRAWN	DB
CHECKED	AH
SHEET NO	

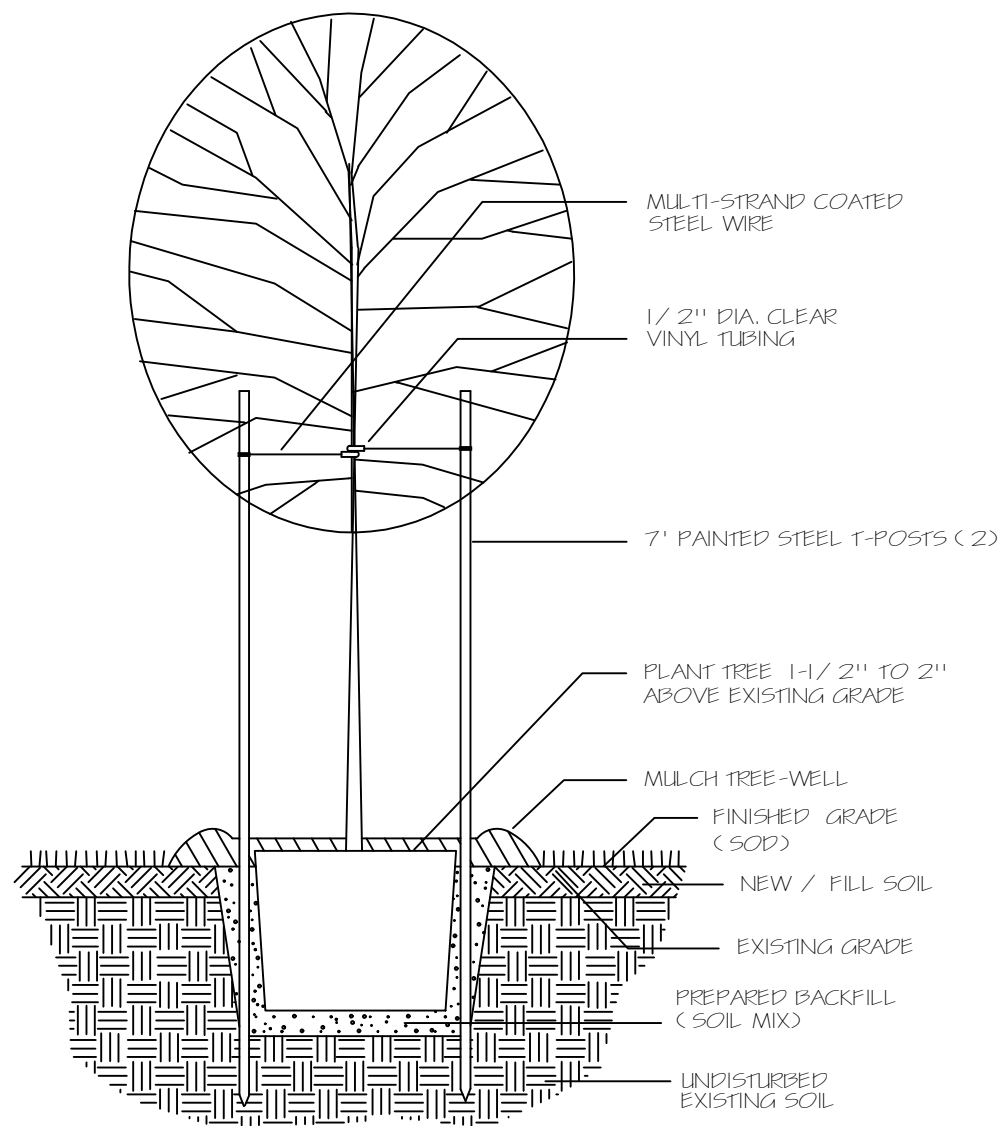
L100



A RIVER ROCK / PLANTING DETAIL
(NO SCALE)



B HEDGE PLANTING DETAIL
(NO SCALE)



C CONTAINER TREE PLANTING DETAIL
(NO SCALE)

LANDSCAPE CONSTRUCTION SPECIFICATIONS :

- 1.) General Contractor to bring all areas to final grade with a boxblade using a good quality, gradable topsoil.
- 2.) Prepare all new planting beds by removing all rocks, concrete and construction debris and till in 5" to 4" of new Soil Mix and pre-emergant herbicide (such as Pennant or Eptam) at the recommended rates, then rake all bed areas smooth prior to planting.
- 3.) Grade all planting beds to edges of beds and away from buildings prior to planting for positive drainage away from foundation. Install green Ryerson Steel landscape edging (1/8" thick x 4" tall) between turf and planting beds. Cut exposed corners at 45 degrees when steel butts up against curbs or walkways for pedestrian safety.
- 4.) Fertilize all new trees, shrubs and groundcovers with Osmocote (or equal) time-release fertilizer.
- 5.) Mulch all new planting beds and trees with a 3" (avg.) layer of shredded hardwood topdress mulch. Apply 'Colorado' River Rock or other local type (2" to 4" aggregate size) on DeWitt tupe permeable weed barrier "fabric" in areas indicated in lieu of mulch to a minimum depth of 3" .
- 6.) Double-Stake all specified trees (see plant list) with 2 x 7" tall painted metal T-Posts, multi-strand coated steel wire and clear vinyl tubing.
- 7.) Root-Stimulate all new trees with Superthrive brand root-stimulator (or equal) as per manufacturers recommendations.
- 8.) Plant sizes shown are the minimum acceptable. Plants will be inspected and measured for conformance. Plants specified with container size only shall be of or better than locally accepted nursery standards. Obviously undersized, mishapen, weak or inadequately rooted plants will be rejected. The Owner's decision will be final in matters concerning plant size, condition and health. Plants larger in size than specified may be used if approved by the Landscape Architect or the Owner, but the use of larger plants will not automatically increase the contract amount.
- 9.) Thoroughly hand water all new plantings immediately after planting.
- 10.) Fine grade all new turf areas (by hand if necessary) prior to installation of grass. This is for a nice smooth turf-bed as well as for normal drainage purposes.
- 11.) Solid sod within property to be 99 percent pure Common Bermudagrass. Sod to be rolled immediately after wetting and installation. Hydromulch to be Common Bermudagrass hydromulch at a rate of 2 lbs. hulled seed per 1000 s.f. and includes green cellulose fiber and fertilizer.
- 12.) Landscape contractor is responsible for keeping jobsite neat, clean and safe at all times in reference to their landscape work. Excess excavated soil, accumulations of landscape related trash, plant containers etc. to be removed from jobsite by Landscape Contractor daily and at the end of the project.
- 13.) The Owner, Landscape Architect and general Contractor reserve the right to inspect the progress of the project and any or all of the materials and procedures used at any time. Such materials and procedures will be subject to approval or rejection at that time and promptly followed up in writing to all concerned parties.

LANDSCAPE MAINTENANCE SPECIFICATIONS :

- 1.) The owner, tenant, or their agent, if any, shall be jointly and severally responsible for the maintenance, repair, and replacement of all required landscape materials, fences, steps, retaining walls, and similar landscape elements over the entire life of the development.
- 2.) All plant materials shall be maintained in a healthy and growing condition as is appropriate for the season of the year.
- 3.) Plant materials which die shall be replaced with similar healthy plant materials at the first available, optimal time for planting.
- 4.) Landscape areas within site triangles shall be maintained in an appropriate manner to ensure that no plant material obstructs cross-visibility above three (3) feet or below six (6) feet from the street or accessway grade.
- 5.) All landscaping shall be maintained in a neat and orderly manner at all times; maintenance shall include mowing, edging, pruning, fertilizing, watering, weeding, mulching, and similar activities common to the maintenance of landscaping.
- 6.) Landscaped areas shall be kept free of trash, litter, weeds, and similar materials or plants not part of the landscaping.
- 7.) The use of cypress mulch and impervious weed barriers is prohibited. Mulch, a minimum depth of three (3) inches, shall be provided within the root zone of trees and shrubs at the time of planting, and must be kept from direct contact with tree trunks and shrub stems.
- 8.) Trees shall attain their normal and mature size and shall not be severely pruned, topped, or " hatracked " in order to permanently maintain growth at a reduced height or spread.
- 9.) Shrubs shall not be trimmed in unnatural, topiary-style shapes and shall attain their normal and mature size or a minimum height of Two (2) feet for a hedge in a perimeter buffer abutting non-residential uses.
- 10.) The placement of barrier curbs or wheel stops is required to protect all landscaped areas from vehicular damage. Breaks in barrier curbs are encouraged to assist with stormwater management so long as the barrier curb still provides protection of the landscaped area.
- 11.) An operable automatic electrical underground irrigation system shall be installed in all landscaped areas with one hundred (100) percent coverage of these areas. See sheet L-2 - Irrigation Plan, for details.

CLIENT



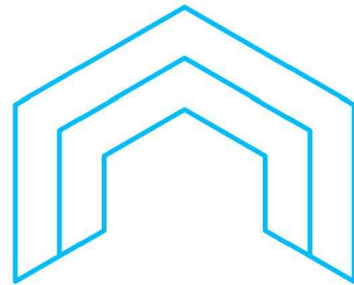
125' PROTOTYPE

DATE	DESCRIPTION	DETA
2022-02-02	DD REVIEW	1
2022-06-23	CITY COMMENTS	2
2022-07-26	PERMIT RESUBMITTAL	3
2022-08-26	CITY COMMENTS	4
XX-XX-XX	X	5
XX-XX-XX	X	6

TAKE 5 CAR WASH

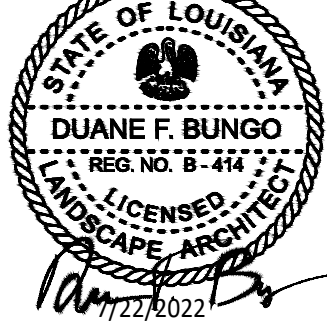
NEC PINNACLE PKWY & LA-21
COVINGTON, LA 70433

ARCHITECT:



ARCHITECTURE
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SHEET TITLE

LANDSCAPE DETAILS
AND SPECIFICATIONS

PROJECT NUMBER
21-042

DATE	08.26.22022
SCALE	NO SCALE
DRAWN	DB
CHECKED	AH
SHEET NO	

L200