

AGENDA
ST. TAMMANY PARISH ZONING COMMISSION MEETING
6:00 P.M. – TUESDAY, JANUARY 3, 2023
ST. TAMMANY PARISH ADMINISTRATIVE COMPLEX, COUNCIL CHAMBERS
KOOP DRIVE OFF OF HIGHWAY 59
MANDEVILLE, LOUISIANA

A livestream will be available for viewing on regular broadcast channels (Charter Channel 710; U-verse Channel 99) or on the Parish website: www.stpgov.org. The livestream will begin at 6:00 PM on Tuesday, January 3, 2023

ROLL CALL

CALL TO ORDER

ANNOUNCEMENTS

- **Please silence all phones and electronic devices**
- **Appeals**
- **Speaker Cards**
- **Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal**
- **Please exit the building**

INVOCATION

PLEDGE OF ALLEGIANCE

APPROVAL OF THE DECEMBER 6, 2022 MINUTES

ELECTION OF OFFICERS

POSTPONING OF CASES

PUBLIC HEARINGS

APPEARERS

ZONING CHANGE REQUEST CASES - APPLICATIONS FOR A PROPOSED CHANGE OF ZONING DISTRICT OR AMENDMENTS TO THE LAND USE ORDINANCE REQUIRING REVIEW & RECOMMENDATION OF APPROVAL BY THE ZONING COMMISSION BEFORE ACTION BY THE PARISH COUNCIL ARE AS FOLLOWS:

1. 2022-2990-ZC

Existing Zoning: A-2 (Suburban District)
Proposed Zoning: A-2 (Suburban District) and MHO Manufactured Housing Overlay
Location: Parcel located at the southeast intersection of Heathermist Drive, east of Sea Spray Drive; Slidell; S29, T9S, R15E, Ward 8, District 13
Acres: 1.66 acres
Petitioner: Helgin Gallardo
Owner: TRAMPROP INC-JP & WA LLC – James Lindsay
Council District: 13

POSTPONED FROM DECEMBER 6, 2022 MEETING

2. 2022-3096-ZC

Existing Zoning: A-4 (Single-Family Residential District)
Proposed Zoning: A-4 (Single-Family Residential District) and MHO Manufactured Housing Overlay
Location: Parcel located on the east side of Broom Road, north of Receiving Station Road, Slidell; S22, T8S, R14E; Ward 9, District 9
Acres: 2 acres
Petitioner: Marina Stevens
Owner: Cinthia Juarez Diaz
Council District: 9

POSTPONED FROM DECEMBER 6, 2022 MEETING

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3. 2022-3113-ZC

Existing Zoning: HC-2 (Highway Commercial District)
Proposed Zoning: PBC-1 (Planned Business Center)
Location: Parcel located on the east and south sides of McKinney Road, north of US Highway 190, Slidell; S11, T9S, R14E; Ward 8, District 14

Acres: 11.3 acres
Petitioner: McKinney Development, LLC - Rachel Guarisco
Owner: McKinney Development, LLC - Rachel Guarisco
Council District: 14

POSTPONED FROM DECEMBER 6, 2022 MEETING

4. 2022-3104-ZC

Existing Zoning: A-2 (Suburban District), NC-2 (Indoor Retail and Service District)
Proposed Zoning: NC-6 (Public, Cultural and Recreational District)
Location: Parcel located on the east side of LA Highway 25, south of River Road, Covington; S17, T6S, R11E, Ward 3, District 2

Acres: 3.37 acres
Petitioner: Michael Combel
Owner: Michael Combel
Council District: 2

5. 2022-3118-ZC

Existing Zoning: A-2 (Suburban District)
Proposed Zoning: I-1 (Industrial District)
Location: Parcel located on the south side of LA Highway 22, east of Mitcham Road, Mandeville; S18, T7S, R10E; Ward 1, District 4

Acres: 2.047 acres
Petitioner: Jonathan and Caitlyn Pizzitola
Owner: Jonathan and Caitlyn Pizzitola
Council District: 4

6. 2022-3122-ZC

Existing Zoning: A-1A (Suburban District)
Proposed Zoning: NC-5 (Retail and Service District)
Location: Parcel located on the east side of LA Highway 21, south of Alexander Drive, Covington; S5, T6S, R12E; Ward 10, District 6

Acres: 2.048 acres
Petitioner: Dorsey Development DG, LLC - Ed Voltolina
Owner: Kivett & Reel, LLC
Council District: 6

7. 2022-3130-ZC

Existing Zoning: NC-6 (Public, Cultural and Recreational District)
Proposed Zoning: I-2 (Industrial District)
Location: Parcel located on the east side of Commercial Drive, north of Browns Village Road, Slidell; S27, T8S, R14E; Ward 9, District 14

Acres: 1.07 acres
Petitioner: Jeffrey Schoen
Owner: Paris Properties, LLC – Chris Jean
Council District: 14

8. 2022-3131-ZC

Existing Zoning: NC-6 (Public, Cultural and Recreational District)
Proposed Zoning: I-2 (Industrial District)
Location: Parcel located on the east side of Commercial Drive, north of Browns Village Road, Slidell; S27, T8S, R14E; Ward 9, District 14

Acres: 1.07 acres
Petitioner: Jeffrey Schoen
Owner: Johnny F. Smith Testamentary Trust - Chris Jean
Council District: 14

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- 9. 2022-3135-ZC**

Existing Zoning: HC-3 (Highway Commercial District)

Proposed Zoning: HC-3 (Highway Commercial District) and Entertainment Overlay

Location: Parcel located on the south side of LA Highway 435, east of Merrimeade Lane and west of White Oaks Road, being 28484 Hwy 435 Abita Springs; S18, T6S, R13E; Ward 6, District 6

Acres: 10 acres

Petitioner: Ivan Milicevic

Owner: Ivan Milicevic

Council District: 6
- 10. 2022-3136-ZC**

Existing Zoning: A-2 (Suburban District)

Proposed Zoning: A-2 (Suburban District) and MHO Manufactured Housing Overlay

Location: Parcel located on the south side of Lake Ramsay Road, East of Beverly Road, being Lot 61, Lake Ramsay Heights Subdivision, Covington; S13, T6S, R10E; Ward 3, District 3

Acres: 4.306 acres

Petitioner: Yaritza Garcia Rosario and Jeffrey Elliot, Jr.

Owner: Yaritza Garcia Rosario and Jeffrey Elliot, Jr.

Council District: 3
- 11. 2022-3139-ZC**

Existing Zoning: A-1 (Suburban District)

Proposed Zoning: A-2 (Suburban District)

Location: Parcel located on the east side of Henderson Road, south of Gottschalk Road, Covington; S18, T6S, R10E; Ward 1, District 3

Acres: 1 acre

Petitioner: Kimberly Jarrell

Owner: Kimberly Jarrell

Council District: 3
- 12. 2022-3146-ZC**

Existing Zoning: A-1 (Suburban District)

Proposed Zoning: A-2 (Suburban District)

Location: Parcel located on the north side of Fitzgerald Church Road, East of U F Keating Road, Covington; S28, T5, R11E; Ward 2, District 6

Acres: 6.957 acres

Petitioner: Stefan Montgomery

Owner: Stefan Montgomery

Council District: 6
- 13. 2022-3151-ZC**

Existing Zoning: A-2 (Suburban District)

Proposed Zoning: A-2 (Suburban District) and MHO Manufactured Housing Overlay

Location: Parcel located on the west side of Beverly Drive, north of Lake Ramsey Road, Covington; S12, T6S, R10E; Ward 3, District 3

Acres: 2.846 acres

Petitioner: Mitzi Eliza Crain-Dillon

Owner: Mitzi Eliza Crain-Dillon and Titus Levell Dillon

Council District: 3
- 14. 2022-3152-ZC**

Existing Zoning: A-4A (Single-Family Residential District)

Proposed Zoning: HC-1 (Highway Commercial District)

Location: Parcel located at the southeast intersection of 4th Street and LA Highway 36, Abita Springs; S42, T6S, R11E; Ward 3, District 2

Acres: .25 acres

Petitioner: Susan Gasen and Sheri Graham

Owner: Susan Gasen and Sheri Graham

Council District: 2

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- 15. 2022-3153-ZC**
Existing Zoning: HC-1 (Highway Commercial District)
Proposed Zoning: HC-2 (Highway Commercial District)
Location: Parcel located on the northwest corner of LA Highway 22 and Belle Pointe Drive, Madisonville; S16, T7S, R10E; Ward 1, District 1
Acres: .633 acres
Petitioner: Duane and Connie Superneau
Owner: Duane and Connie Superneau
Council District: 1

**PLAN REVIEW CASES – APPLICATIONS REQUIRING REVIEW AND APPROVAL OF SITE PLANS
ALONG A PLANNED DISTRICT BY THE ZONING COMMISSION ARE AS FOLLOWS:**

- 1. 2022-3058-PR – USE: Tommy’s Carwash: New Construction**
CORRIDOR: Highway 21 Planned Corridor
ZONING: HC-2 (Highway Commercial District)
USE SIZE: 5,207 sq. ft.
PETITIONER: Jordan Williams
OWNER: Revive Holdings 21, LLC
LOCATION: Parcel located on the east side of LA Highway 21, south of Hyacinth Drive; Covington S47, T7S, R11E, Ward 1, District 1

POSTPONED FROM DECEMBER 6, 2022 MEETING

- 2. 2022-3168-PR – USE: Metairie Bank: New Construction**
CORRIDOR: Highway 21 Planned Corridor
ZONING: HC-2 (Highway Commercial District)
USE SIZE: 5,477 sq. ft.
PETITIONER: Paul A Myers, IV
OWNER: Metairie Bank & Trust Company
LOCATION: Parcel located on the southeast corner of Zinnia Drive and LA Highway 21, Covington; S47, T7S, R11E, Ward 1, District 1

NEW BUSINESS
OLD BUSINESS
ADJOURNMENT

**MINUTES OF THE
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MANDEVILLE, LOUISIANA**

ROLL CALL

Present: Ress, McInnis, Willie, Doherty, Barcelona, Crawford, Smail, Randolph,

Absent Seeger, Fitzmorris and Truxillo

STAFF PRESENT: Helen Lambert, Erin Cook, Mitchell Kogan and Drew Joiner

CALL TO ORDER

ANNOUNCEMENTS

- **Please silence all phones and electronic devices**
- **Appeals**
- **Speaker Cards**
- **Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal**
- **Please exit the building**

INVOCATION Randolph

PLEDGE OF ALLEGIANCE Willie

APPROVAL OF THE NOVEMBER 2, 2022 MINUTES

Randolph made a motion to approve second by Crawford

YEA: Ress, McInnis, Willie, Doherty, Barcelona, Crawford, Smail and Randolph

NAY:

ABSTAIN:

POSTPONING OF CASES:

7. 2022-3113-ZC

Existing Zoning: HC-2 (Highway Commercial District)
Proposed Zoning: PBC-1 (Planned Business Center)
Location: Parcel located on the east and south sides of McKinney Road, north of US Highway 190, Slidell; S11, T9S, R14E; Ward 8, District 14
Acres: 11.3 acres
Petitioner: McKinney Development, LLC - Rachel Guarisco
Owner: McKinney Development, LLC - Rachel Guarisco
Council District: 14

Paul Mayronne came to the podium

Crawford made a motion to postpone for one month, second by Randolph

YEA: Ress, McInnis, Willie, Doherty, Barcelona, Crawford, Smail and Randolph

NAY:

ABSTAIN

1. 2022-3058-PR – USE: Tommy’s Carwash: New Construction

CORRIDOR: Highway 21 Planned Corridor

ZONING: HC-2 (Highway Commercial District)

USE SIZE: 5,207 sq. ft.

PETITIONER: Jordan Williams

OWNER: Revive Holdings 21, LLC

LOCATION: Parcel located on the east side of LA Highway 21, south of Hyacinth Drive; Covington S47, T7S, R11E, Ward 1, District 1

POSTPONED FROM NOVEMBER 2, 2022 MEETING

Jordan Williams came to the podium

Crawford mad a motion to postpone for one month, second by Barcelona

YEA: Ress, McInnis, Willie, Doherty, Barcelona, Crawford, Smail and Randolph

NAY:

ABSTAIN

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ZONING CHANGE REQUEST CASES:

1. 2022-2990-ZC

Existing Zoning: A-2 (Suburban District)
Proposed Zoning: A-2 (Suburban District) and MHO Manufactured Housing Overlay
Location: Parcel located at the southeast intersection of Heathermist Drive, east of Sea Spray Drive; Slidell; S29, T9S, R15E, Ward 8, District 13
Acres: 1.66 acres
Petitioner: Helgin Gallardo
Owner: TRAMPROP INC-JP & WA LLC – James Lindsay
Council District: 13

POSTPONED FROM OCTOBER 4, 2022 MEETING

Crawford made a motion to postpone for one month, second by Randolph

YEA: Ress, McInnis, Willie, Doherty, Barcelona, Crawford, Smail and Randolph

NAY:

ABSTAIN

2. 2022-3096-ZC

Existing Zoning: A-4 (Single-Family Residential District)
Proposed Zoning: A-4 (Single-Family Residential District) and MHO Manufactured Housing Overlay
Location: Parcel located on the east side of Broom Road, north of Receiving Station Road, Slidell; S22, T8S, R14E; Ward 9, District 9
Acres: 2 acres
Petitioner: Marina Stevens
Owner: Cinthia Juarez Diaz
Council District: 9

Marina Stevens came to the podium

Barbara Broom spoke against this request

Willie made a motion to postpone for one month, second by Smail

YEA: Ress, McInnis, Willie, Doherty, Barcelona, Crawford, Smail and Randolph

NAY:

ABSTAIN

3. 2022-3098-ZC

Existing Zoning: A-4 (Single-Family Residential District)
Proposed Zoning: A-4 (Single-Family Residential District) and MHO Manufactured Housing Overlay
Location: Parcel located on the north side of Eden Street and the east side of Spruce Street, being lots 1 & 2, Square 9, Abita Nursery Subdivision; S36, T6S, R11E; Ward 3, District 2
Acres: .33 acres
Petitioner: Della Laurent and Adrian Laurent Sr.
Owner: Della Laurent and Adrian Laurent Sr.
Council District: 2

Adrian Laurent Sr. came to the podium

Crawford made a motion to approve, second by Randolph

YEA: Ress, McInnis, Willie, Doherty, Barcelona, Crawford, Smail and Randolph

NAY:

ABSTAIN

**MINUTES OF THE
ST. TAMMANY PARISH ZONING COMMISSION MEETING
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4. 2022-3106-ZC

Existing Zoning: A-1 (Suburban District)
Proposed Zoning: A-1 (Suburban District) and MHO Manufactured Housing Overlay
Location: Parcel located at the end of Family Court, east of Press Sharp Road, Bush; S60 and S50, T4S & T5S, R12E; Ward 2, District 6

Acres: 6.853 acres
Petitioner: Brittany Ruiz
Owner: Brittany Marie Fuzette Ruiz
Council District: 6

Brittany Ruiz came to the podium

Billy Fuzette spoke in favor of this request

Patricia Williams spoke against this request

Ress made a motion to approve, second by Randolph

YEA: Ress, McInnis, Willie, Doherty, Barcelona, Crawford, Smail and Randolph

NAY:

ABSTAIN

5. 2022-3110-ZC

Existing Zoning: A-1 (Suburban District)
Proposed Zoning: A-1 (Suburban District) and MHO Manufactured Housing Overlay
Location: Parcel located on the northeast side of Booth Road and Bessie Booth Road, Folsom; S27, T5S, R10E; Ward 2, District 3

Acres: 1 acre
Petitioner: Michael Allen
Owner: Deborah Allen
Council District: 3

Michael Allen and Ron Allen came to the podium

Mark Chase, Larry Ardoin, William Claudio, Alicia Ardoin and A.J. Haufmann spoke against this request

Crawford made a motion to deny, second by Willie

YEA: Ress, McInnis, Willie, Barcelona, Crawford, Smail and Randolph

NAY: Doherty

ABSTAIN:

6. 2022-3112-ZC

Existing Zoning: A-2 (Suburban District)
Proposed Zoning: A-2 (Suburban District) and MHO Manufactured Housing Overlay
Location: Parcel located on the west side of Riverbend Lane, west of Tantela Ranch Road, being Lot 17, Phases 2-A and 2-B, Tantela Ranch Estates Subdivision, Folsom; S4, T6S, R10E; Ward 1, District 3

Acres: 6 acres
Petitioner: Leslie Anne Mackenroth
Owner: Leslie Mackenroth
Council District: 3

Leslie Mackenroth came to the podium

Crawford made a motion to deny, second by Willie

YEA: Ress, McInnis, Willie, Doherty, Barcelona, Crawford, Smail and Randolph

NAY:

ABSTAIN:

**MINUTES OF THE
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PLAN REVIEW CASES:

2. **2022-3128-PR – USE: Magnolia Wellness Urgent Care**
CORRIDOR: Highway 21 Planned Corridor
ZONING: NC-4 (Neighborhood Institutional District)
USE SIZE: 2,400 sq. ft.
PETITIONER: Chris Combs
OWNER: Chris Combs Properties, LLC
LOCATION: Parcel located on the west side of LA Highway 21, north of Dummy Line Road, Madisonville S41. T7S, R10E, Ward 1, District 1

Shiloh Moates came to the podium representing Mr. Combs

Willie made a motion to approve with waivers, second by Barcelona

YEA: Willie, Barcelona, Smail and Randolph
NAY: Ress, Doherty, McInnis and Crawford
ABSTAIN:

The motion to approve failed.

ADJOURN: Crawford made a motion to adjourn



ZONING STAFF REPORT
2022-2990-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Location: Parcel located at the southeast intersection of Heathermist Drive, east of Sea Spray Drive; Slidell; S29, T9S, R15E, Ward 8, District 13
Council District: 13

Owner: TRAMPROP INC-JP & WA LLC – James Lindsay **Posted:** December 16, 2022

Applicant: Helgin Gallardo **Commission Hearing:** January 3, 2023

Size: 1.66 acres **Prior Determination:** Postponed until December 6, 2022 – October 4, 2022

Prior Determination: Postponed until January 3, 2022 – December 6, 2022

Determination: Approved, Denied, Postponed



Current Zoning

A-2 Suburban District

Requested Zoning

A-2 Suburban District

MHO Mobile Home Overlay District

Future Land Use

Coastal Conservation Area

Flood Zone

Preliminary: AE-14

Critical Drainage: Yes

Findings

1. The petitioner is requesting to change the zoning classification from A-2 Suburban District to A-2 Suburban District and MHO Manufactured Housing Overlay. The site is located at the southeast intersection of Heathermist Drive, east of Sea Spray Drive; Slidell.

Zoning History

Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
86-051A	Rural	SA Suburban Agriculture
09-2117	SA Suburban Agriculture	A-2 Suburban District – Comprehensive Rezoning

2. The 1.66-acre parcel is currently developed with a mobile home located on lot 43 in the Avery Estates Subdivision.
3. Per Sec. 130-161, the existing mobile home on the property is considered a non-conforming use and the property owner must obtain a rezoning to MHO Manufactured Housing Overlay to allow for the reconnection of electricity or to obtain a building permit to place a new mobile home on the property.

Compatibility or Suitability with Adjacent Area

4. Table 2: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Undeveloped	A-2 Suburban District
South	Residential	A-2 Suburban District
East	Residential	A-2 Suburban District
West	Residential	A-2 Suburban District



ZONING STAFF REPORT
2022-2990-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

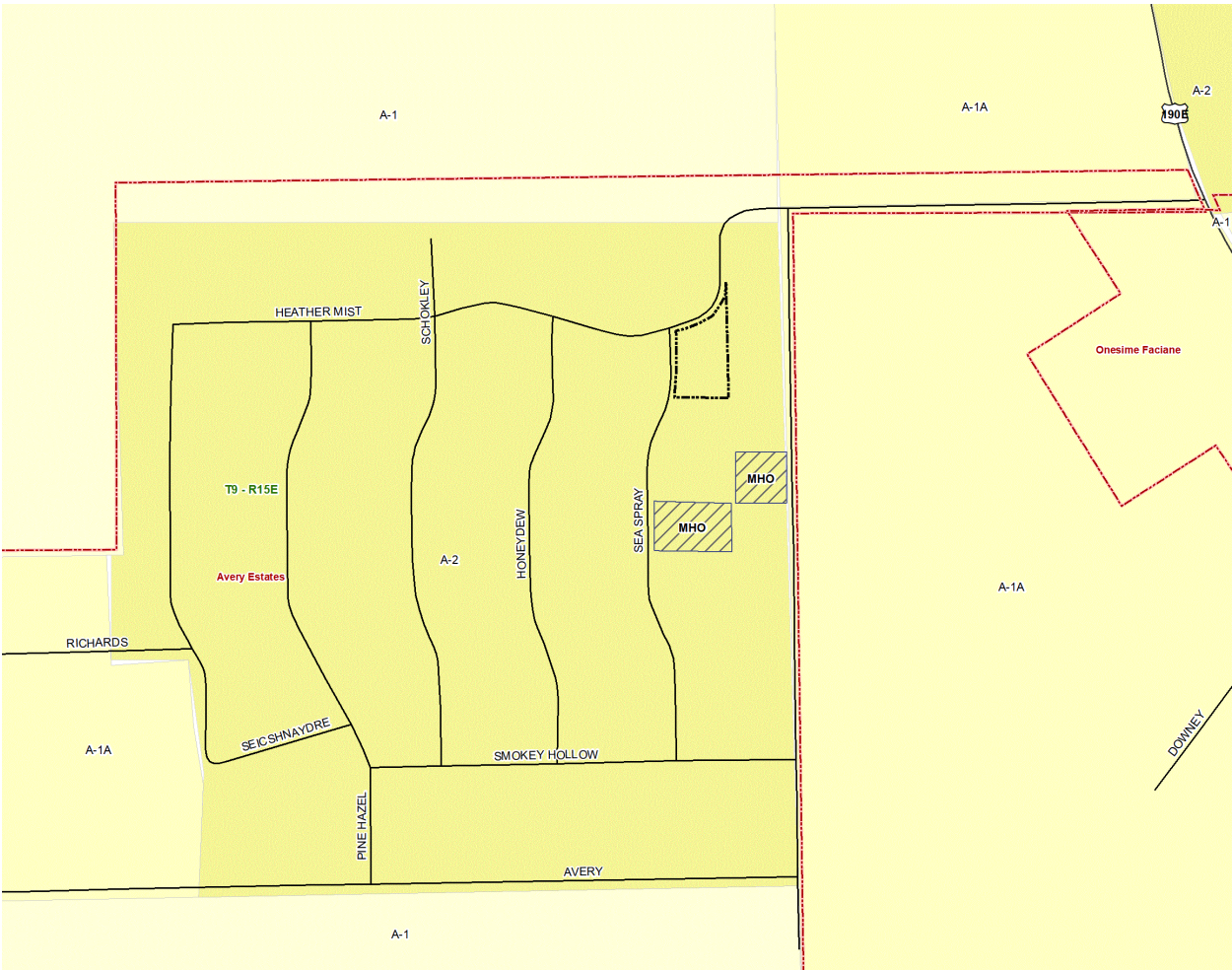
PLANNING & DEVELOPMENT
Ross Liner
Director

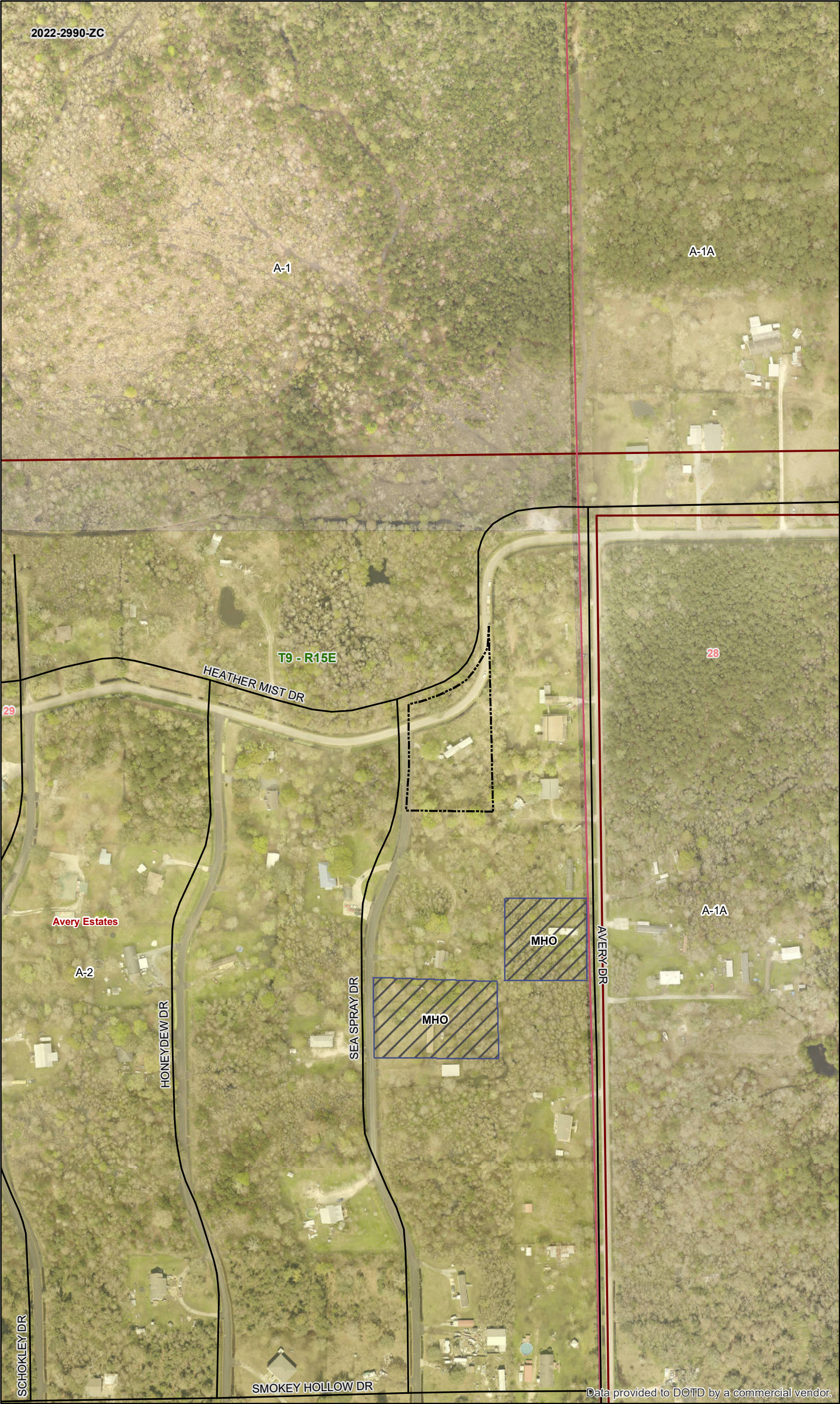
- 5. The Avery Estates Subdivision contains multiple manufactured homes that sit along properties in the area that are subject to legal non-conforming uses.
- 6. Lot 19 & lot 40 of the Avery Estates subdivision specifically (both directly south of the subject property) contain the MHO Manufactured Housing Overlay that were approved by Parish Council just two years apart from one another. Lot 40 was approved as per ordinance 14-3104, and lot 19 the same as per 15-3332.

Consistency with New Directions 2040

Coastal Conservation: areas that are within the Parish’s “coastal zone” (all areas south of Interstate 12, per Louisiana Revised Statute § 49:214.24) that are not currently developed with intense uses, and are within the 100-year floodplain. Coastal Conservation areas are critically important for a variety of fisheries and wildlife, essential to water quality and groundwater recharge, and should be conserved to ensure species and habitat sustainability. Coastal wetlands also serve as storm buffers, and help to minimize storm runoff and subsequent flood damage to area homes and businesses. The areas include undisturbed coastal marshes, swamps, and tidal wetlands and adjacent lands accommodating very low-intensity human land uses - namely, highly dispersed residences, though low-impact agricultural, commercial, and public and institutional uses, such as recreation, tourism, research, and education may be appropriate.

- 1. The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:
 - i. Goal 1.3: The character of existing residential areas, expansive rural landscapes, and sensitive ecological areas will be preserved.
 - ii. Goal 1.8: A variety of safe, affordable, and attractive housing types will meet the needs of our diverse community.



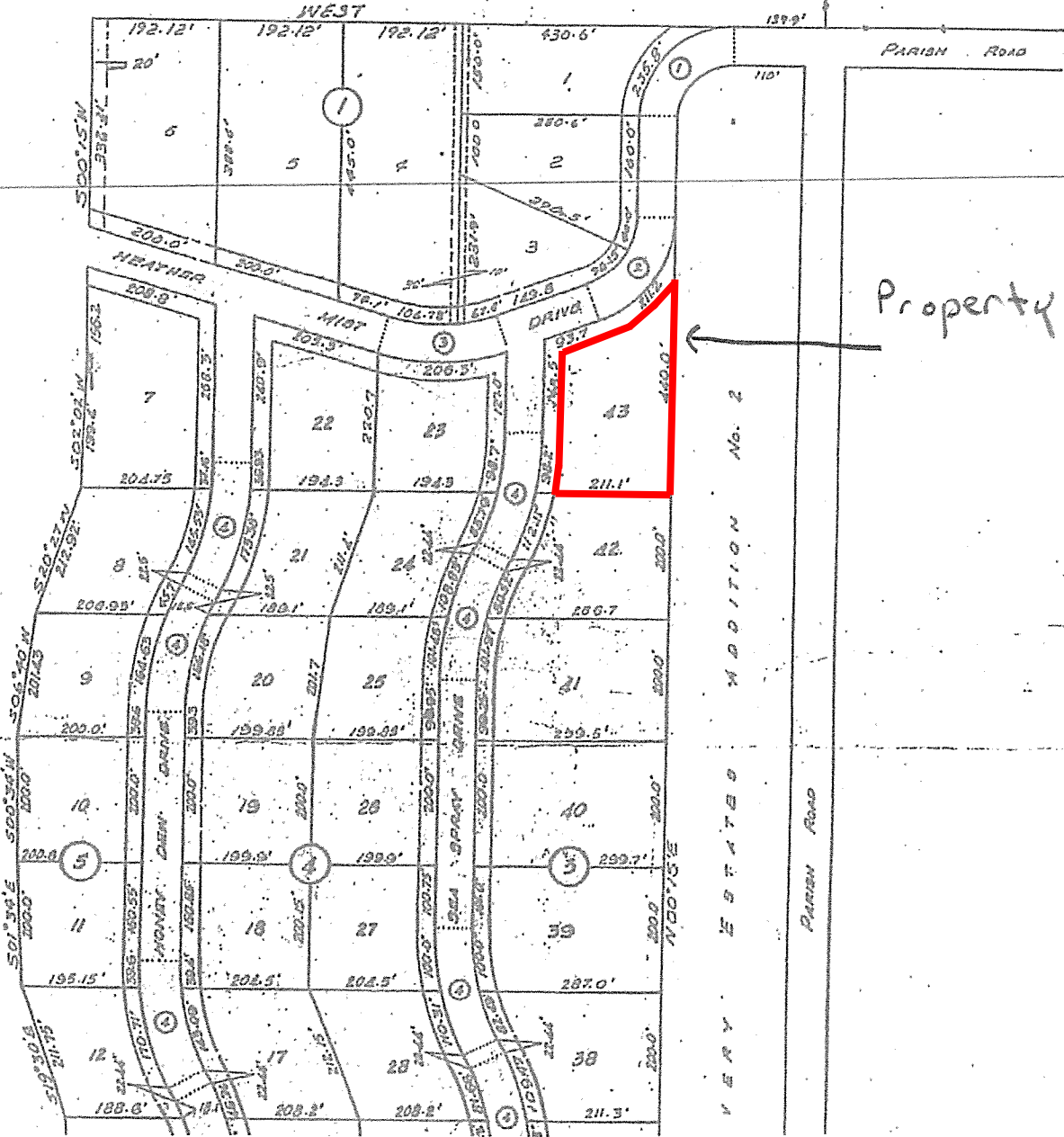


2022-2990-ZC

Subject Property

No.	A	B	C	Lc	R
①	89°45'	47°43.58'	120.05'	188.82'	120.53'
②	69°45'	39°55.93'	100.00'	174.67'	143.48'
③	36°23'	18°49.72'	100.00'	193.23'	304.30'
④	26°34'	13°31.60'	100.00'	196.40'	423.58'

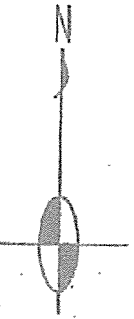
Number of lots 43



VERY ESTATES ADDITION No. 2

PARISH ROAD

Property





ZONING STAFF REPORT
2022-3096-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Location: Parcel located on the east side of Broom Road, north of Receiving Station Road, Slidell; S22, T8S, R14E; Ward 9, District 9
Council District: 9

Owner: Cinthia Juarez Diaz
Posted: December 15, 2022

Applicant: Marina Stevens
Commission Hearing: January 3, 2023

Size: 2 acres
Prior Determination: Postponed until January 3, 2022 – December 6, 2022

Determination: Approved, Denied, Postponed



Current Zoning

A-4 Single Family Residential District

Requested Zoning

A-4 Single Family Residential District
MHO Mobile Home Overlay District

Future Land Use

Rural & Agricultural

Flood Zone

Effective Flood Zone A10

Critical Drainage:

Yes

Findings

- 1. The petitioner is requesting to change the zoning classification from A-4 Single Family Residential District to A-4 Single Family Residential District and MHO Manufactured Housing Overlay. The site is located on the east Side of Broom Road, north of Receiving Station Road; Slidell.

Zoning History

Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
87-001A	Unknown	SA Suburban Agriculture
09-2020	SA Suburban Agriculture	A-4 Single Family Residential District – Comprehensive Rezoning

- 2. The 2-acre parcel is currently developed with a stick-built home.

Compatibility or Suitability with Adjacent Area

- 3. Table 2: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Residential	A-4 Single-Family Residential District
South	Undeveloped	A-4 Single Family Residential District
East	Undeveloped	A-4 Single-Family Residential District
West	Undeveloped & Residential	A-2 Suburban District

- 4. There are some large sections of MHO Manufactured Housing Overlay in close proximity to the the east and the south of the subject site, approved through the Comprehensive Rezoning (Council Ordinance No. 09-2087). This area includes developments/subdivisions such as Alton, West Alton, Eagle Lake Development, Belle Gardens, Morgan, W Addition to Morgan, and Browns Village Annex, all of which are zoned residential with MHO Manufactured Housing Overlay.
- 5. The site's current A-4 Single-Family Residential Zoning District designation allows for a density of 4 units per acre; however, the applicant's request is to be able to place a single mobile home on site in addition to the existing stick-built home.



ZONING STAFF REPORT
2022-3096-ZC

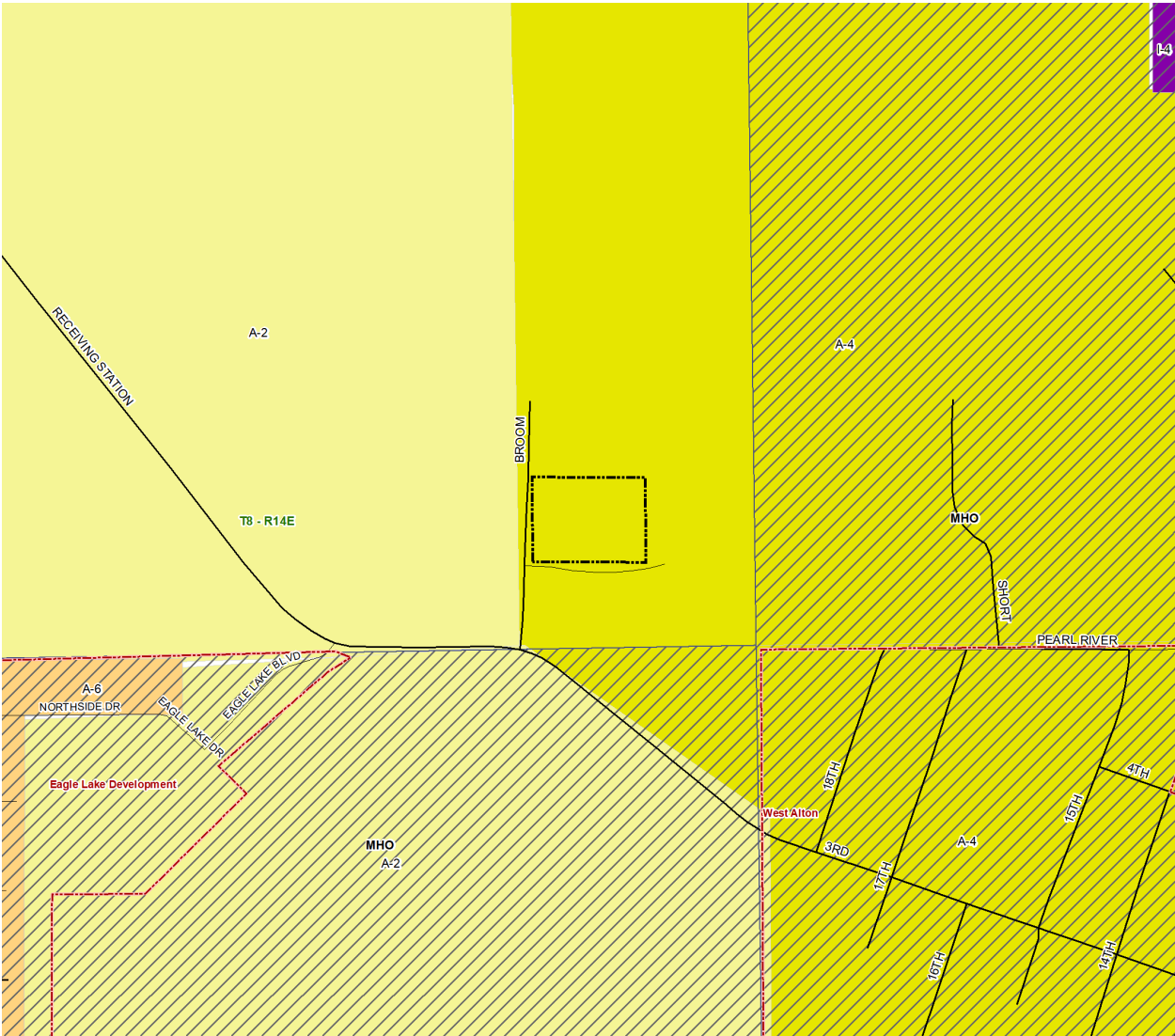
MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

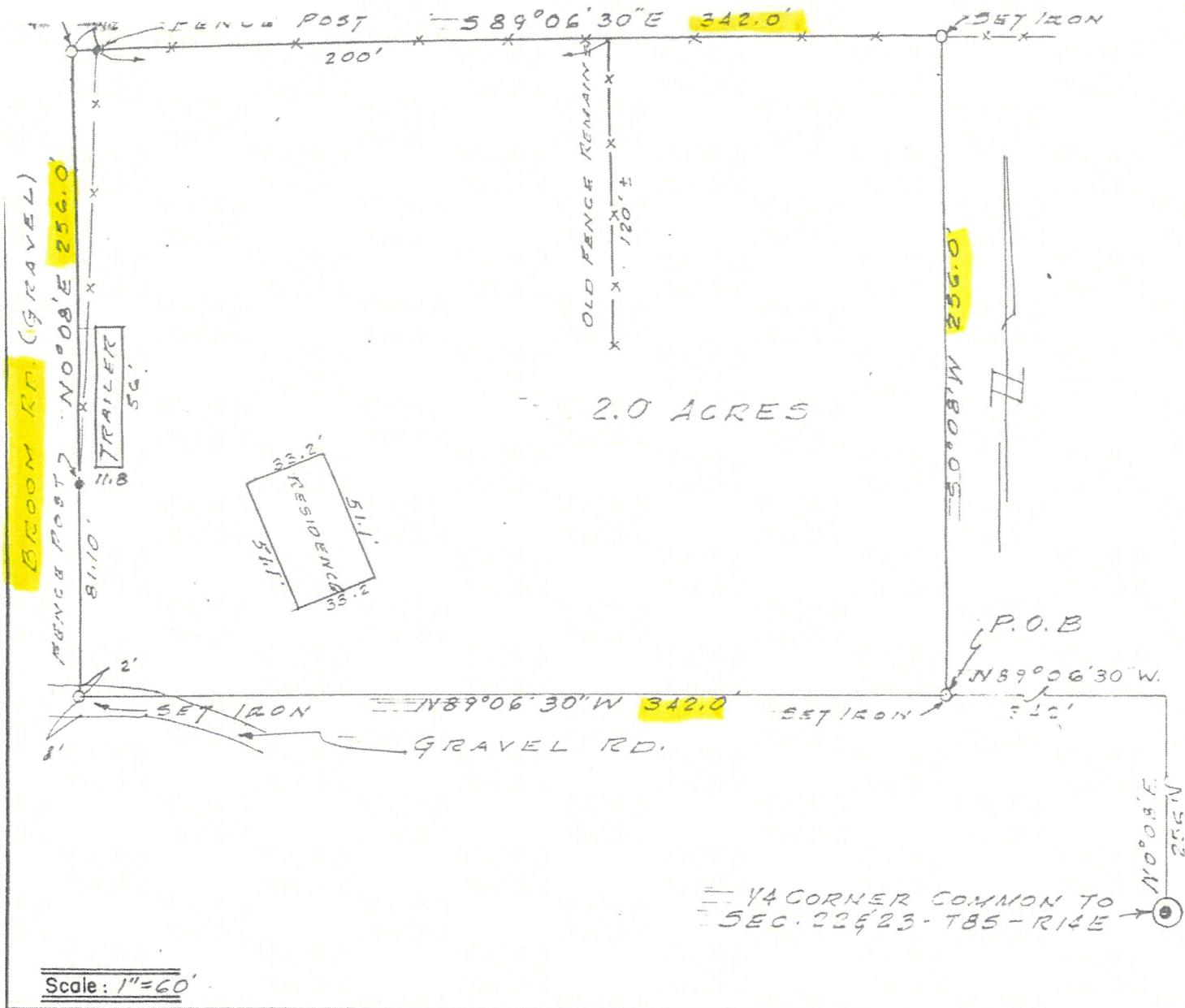
Consistency with New Directions 2040

Rural-Agriculture: areas that include mostly very low intensity uses in non-urbanized areas, such as agriculture, horse farms, timberlands, ranches, and very large single-family lots typically larger than three acres. No large traffic generators or noisy or pollution causing uses are located in Rural and Agricultural areas. Low-capacity country roads—typically two-lanes—serve these areas. Septic systems and wells are typical. The Parish’s abundant rural areas provide ample space for low-intensity uses, offering residents privacy and access to the outdoors. The countryside also fosters a number of commercial activities, such as production farms, horse boarding, and lumber harvesting. The Rural and Agricultural category includes these commercial uses, as well as small rural-serving businesses such as small groceries, gas stations, restaurants, and auto repair shops. St. Tammany’s countryside supports a growing tourism industry, whose businesses in this area include bed and breakfasts, retreat centers, nature tours, and “u-pick” farms.

1. The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:
 - i. Goal 1.3: The character of existing residential areas, expansive rural landscapes, and sensitive ecological areas will be preserved.
 - ii. Goal 1.8: A variety of safe, affordable, and attractive housing types will meet the needs of our diverse community.







Survey Map

of

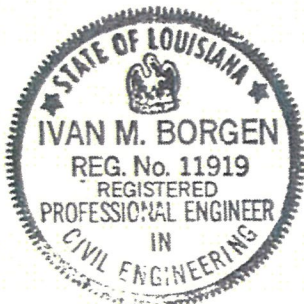
A CERTAIN PARCEL OF LAND SITUATED IN SEC. 22, T85 - R14E

in

St. Tammany Parish, Louisiana

for

DAUNETTE L. WILLIS



Survey Number: 24719
Date: AUG. 14, 1980
Revision:

This Survey is Certified
True and Correct by

Ivan M. Borgen
No. 686

DRAWN BY: J.M.C. CHK'D. BY: L.S.



ZONING STAFF REPORT
2022-3113-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Location: Parcel located on the east and south sides of McKinney Road, north of US Highway 190, Slidell; S11, T9S, R14E; Ward 8, District 14

Commission Hearing: December 6, 2022

Owner: McKinney Development, LLC - Rachel Guarisco **Posted:** December 19, 2022

Applicant: McKinney Development, LLC - Rachel Guarisco **Council District:** 14

Size: 11.3 acres **Prior Determination:** Postponed until January 3, 2022 – December 6, 2022

Determination: Approved, Denied, Postponed



Current Zoning

HC-2 Highway Commercial District

Requested Zoning

PBC-1 Planned Business Campus

Future Land Use

Residential: Medium Intensity

Flood Zone

Effective Flood Zone C

Critical Drainage:

Yes

Findings

1. The petitioner is requesting to change the zoning classification from HC-2 Highway Commercial District to PBC-1 Planned Business Campus. The site is located on the east and south sides of McKinney Road, north of US Highway 190, Slidell.

Zoning History

Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
86-051A	Unknown	C-2 Commercial
09-2117	C-2 Commercial	HC-2 Highway Commercial District

2. The subject property is an 11.3-acre parcel that was zoned C-2 Commercial through Police Jury ordinance 86-051A and subsequently amended to HC-2 Highway Commercial District through the 2009 comprehensive rezoning ordinance.

Compatibility or Suitability with Adjacent Area

3. Table 2: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Undeveloped	NC-4 Neighborhood Institutional District
South	Commercial	Slidell City Limits: C-4 Highway Commercial
West	Residential	A-4 Single-Family Residential District (Pine Shadows Subdivision)
East	Residential	HC-2 Highway Commercial District RO Rural Overlay



ZONING STAFF REPORT
2022-3113-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

- 4. The purpose of the requested PBC-1 Planned Business Campus District is to allow for the location of office space and supporting high-density residential uses in a campus like setting, while the HC-2 allows intense retail, office and service uses.
- 5. Noticeable site and structure provision differences between the HC-2 Highway Commercial District and the requested PBC-1 Planned Business Campus District include the allowable building size per each zoning classification. The HC-2 Highway Commercial District allows for a maximum building size of 40,000 square ft, whereas the PBC-1 Planned Business Campus allows for a maximum floor area ratio (FAR) of 3.0. The FAR is calculated by the acreage of the site x 3.0, divided by 50% as all principle structures & accessories cannot exceed this % of the lot size. In the case of this particular site, the FAR would be (11.3 acres) x (3.0 Floor Area Ratio) ÷ 50%, which calculates to a maximum allowable building size of 738,342 square feet.

6. Table 3: Zoning Comparisons

Zoning	F.A.R	Max Den./Lot Coverage	Max Height	Permitted Uses	Purpose
HC-2 (Existing)	N/A	max building size be 40,000 square feet. Max Lot Coverage: 50% of the total area of the lot	Within 100 ft of res. zoned property, max height of 35. Past 100ft from res. zoned property – 60 ft	All uses permitted in the HC-1, Banks and financial institutions; Convenience stores with gas; Drive-in restaurants; Liquor stores; use permitted use in the NC Veterinary (with outdoor kennels, Mini-warehouses; Commercial kennels; Outdoor storage yards that do not occupy an area greater than 50 percent of land area, and are enclosed by an eight-foot opaque perimeter fence, located on the same parcel as, and are accessory to an existing mini-warehouse, Lodging, 100 rooms or less (including apts, hotels, motels); Automotive sales not to exceed two acres of display, Outdoor retail and storage yards; Portable storage containers use for storage; Outdoor display area of pre-assembles building, pool and playground equipment.	The purpose of the HC-2 Highway Commercial District is to provide for the location of moderately scaled, more intense retail, office and service uses, generally located along major collectors and arterials designed to provide services to a portion of the parish.



ZONING STAFF REPORT
2022-3113-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

PBC-1 (Proposed)	FAR = 3* 738,34 2 sq. ft. of all princip al and access ory buildin gs	Max Density: N/A Max Lot Coverage: Not to exceed 50% of the total area of the lot	75 ft.	Mid-rise office and residential buildings. Hotels, motels and convention centers. College, universities, and research centers. Public utility facilities. Parking lots and decks. Freestanding restaurants (no drive through service permitted). Mixed use centers, including residential, restaurants and retail uses provided they do not exceed 20 percent of the developed floor area of any structures located in the district.	The purpose of the PBC-1 district is to provide for Class A office space with supporting uses in a campus-type setting. This district is located particularly near the intersection of major arterials or a major and a minor arterial. The PBC-1 district is intended to provide flexibility in meeting the needs of both the public and private sectors for large-scale office development. The site must be large enough to accommodate internal traffic flows, parking, buffer and landscape, and a variety of uses and building types. In no case shall the PBC-1 district be less than ten acres in area.
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Consistency with New Directions 2040

The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:

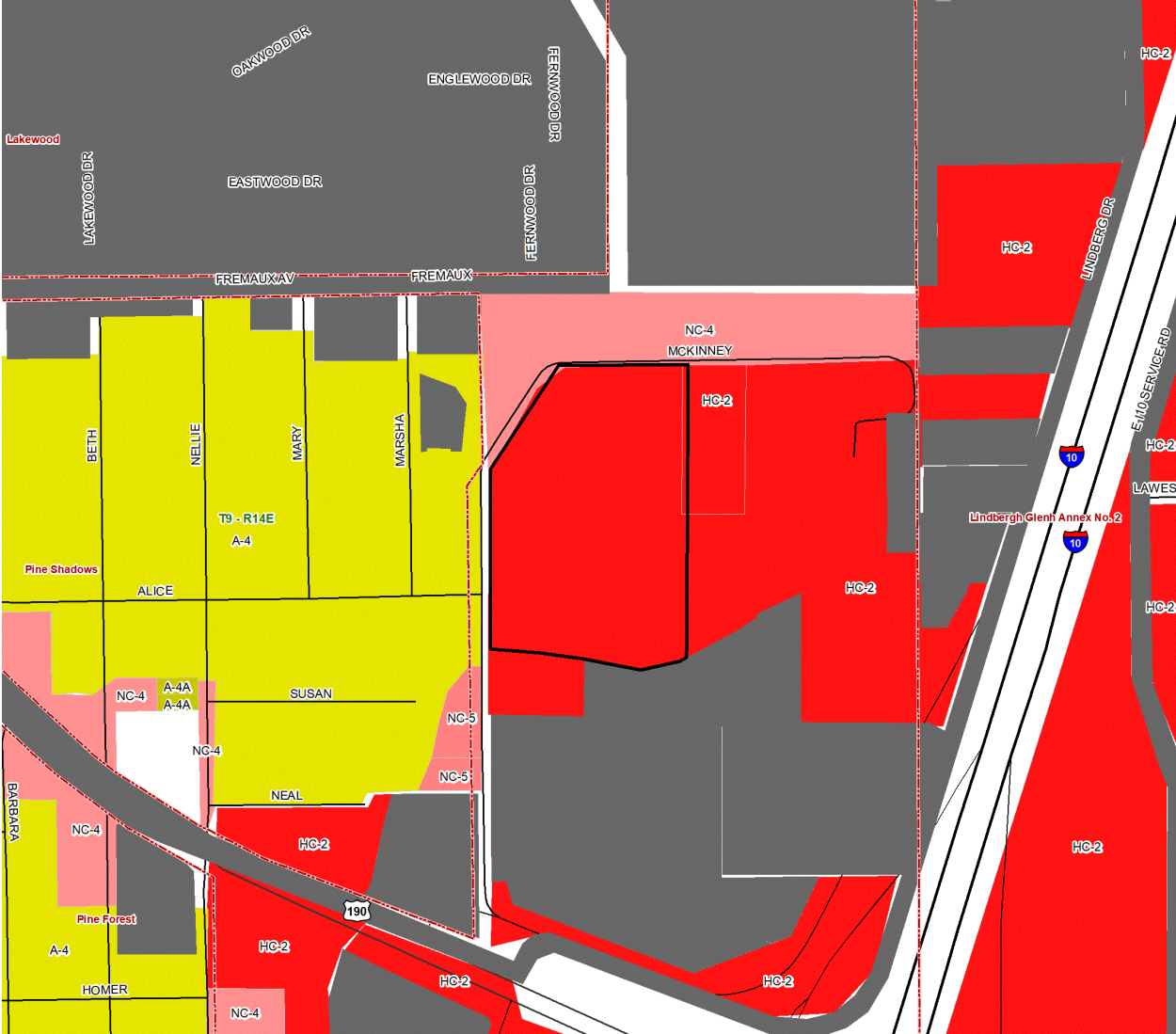
- i. Goal 1.5: Adequate infrastructure and utilities will be available in areas permitted for new development.
- i. .



ZONING STAFF REPORT
2022-3113-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director



TOWN CENTER

Subject Property



ZONING STAFF REPORT
2022-3104-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Location: Parcel located on the east side of LA Highway 25, south of River Road, Covington; S17, T6S, R11E, Ward 3, District 2
Council District: 2

Owner: Michael Combel
Posted: December 8, 2022

Applicant: Michael Combel
Commission Hearing: January 3, 2023

Size: 3.37 acres
Determination: Approved, Denied, Postponed



Current Zoning

A-2 Suburban District

NC-2 Indoor Retail and Service District

Requested Zoning

NC-6 Public, Cultural, and Recreational District

Future Land Use

Mixed-Use

Flood Zone

Effective Flood Zone B

Preliminary Flood Zone X

Critical Drainage: Yes

Findings

1. The petitioner is requesting to change the zoning classification from A-2 Suburban District and NC-2 Indoor Retail and Service District to NC-6 Public, Cultural, and Recreational District. The site is located on the east side of LA Highway 25, south of River Road, Covington.

Zoning History

Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
10-2234	Unknown	A-2 Suburban District – Comprehensive Rezoning

2. The 3.37-acre parcel known was created through a recent minor subdivision.

Compatibility or Suitability with Adjacent Area

3. Table 2: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Undeveloped and Residential	A-2 Suburban District NC-1 Professional Office District
South	Commercial/ banquet hall	NC-2 Indoor Retail and Service District
East	Commercial/religious facility & residential	NC-2 Indoor Retail and Service District
West	Undeveloped & mini storage	NC-2 Indoor Retail and Service District HC-2 Highway Commercial District

4. The subject property is currently split zoned both A-2 Suburban District and NC-2 Indoor Retail and Service District. The objective of the A-2 zoning district is intended to provide a single-family residential environment on parcel sizes of a minimum of 1 acre. The objective of the NC-2 zoning district is to provide for the location of small retail and services in close proximity to residential development with minimal impact.
5. The objective of the requested NC-6 zoning district is to provide for the location of public, cultural, and recreational facilities. The NC-6 zoning district differs both in its allowable uses and size/structure provisions from property's current A-2 Suburban District and NC-2 Indoor Retail and Service District as shown in Table 3.
- 6.



ZONING STAFF REPORT
2022-3104-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

7. Table 3: Zoning District Site and Structure Comparison

Zoning District	Max. Building Size	Allowable Uses	Purpose
A-2 Suburban District (Existing)	Not to exceed 15% of the total area of the lot	One single-family dwelling; Private garages and accessory structures; Garage Apartment or guest house under 1,000 sq. ft. when subject lot is no less than one acre in area; Community central water treatment, well, and storage facilities; Household Agriculture	To provide a single-family residential environment on large, multi-acre lots. The A-2 District is located primarily in less populated areas where the character of the area shall be preserved through low densities.
NC-2 Indoor Retail and Service District (Existing)	5,000 sq. ft.	All uses permitted in the NC-1 District; Antique Shops; Art and School Supply Stores; Art Galleries; Bakeries; Barbershops and Beauty Shops; Book or stationary stores; Utility Collection offices; Custom dressmaking and sewing shops; Florists; Delicatessens; Drug stores; Dry cleaning; Garden Supply centers and greenhouses; Gift shops; Hardware stores; Hobby Shops; Ice cream shops; Interior decorating shops; Jewelry stores; Photography shops and studios; Restaurants without lounge; Shoe stores and repair shops; Sporting goods stores; Toy stores; Wearing apparel shops	To provide for the location of small retail and services in close proximity to residential development in order to provide goods and services to the residents of the neighborhood with minimal impact.
NC-6 Public, Cultural, and Recreational District (Proposed)	15,000 sq. ft. with no more than 20% additional upstairs mezzanine space for storage.	All uses permitted in the NC-1, NC-2, NC-3, NC-4, and NC-5 Districts; Golf courses and practice ranges; Community Centers; Parks and Playgrounds; Sports or gymnasiums; Athletic fields; Convention and conference centers; Marinas; Recreational vehicle parks	To provide for the location of public, cultural, and recreational facilities in near proximity to residential areas while mitigating the impacts of these facilities, such as traffic and lighting.

8. The applicant is requesting the entire 3.37-acre parcel be rezoned to NC-6 Public, Cultural and Recreational District in order to allow for more intense uses and correct the current split zoned parcel. If the zoning change is approved, any development on the property will be subject to the UDC parking, landscaping, lighting & signage requirements and all other applicable Parish regulations.



ZONING STAFF REPORT
2022-3104-ZC

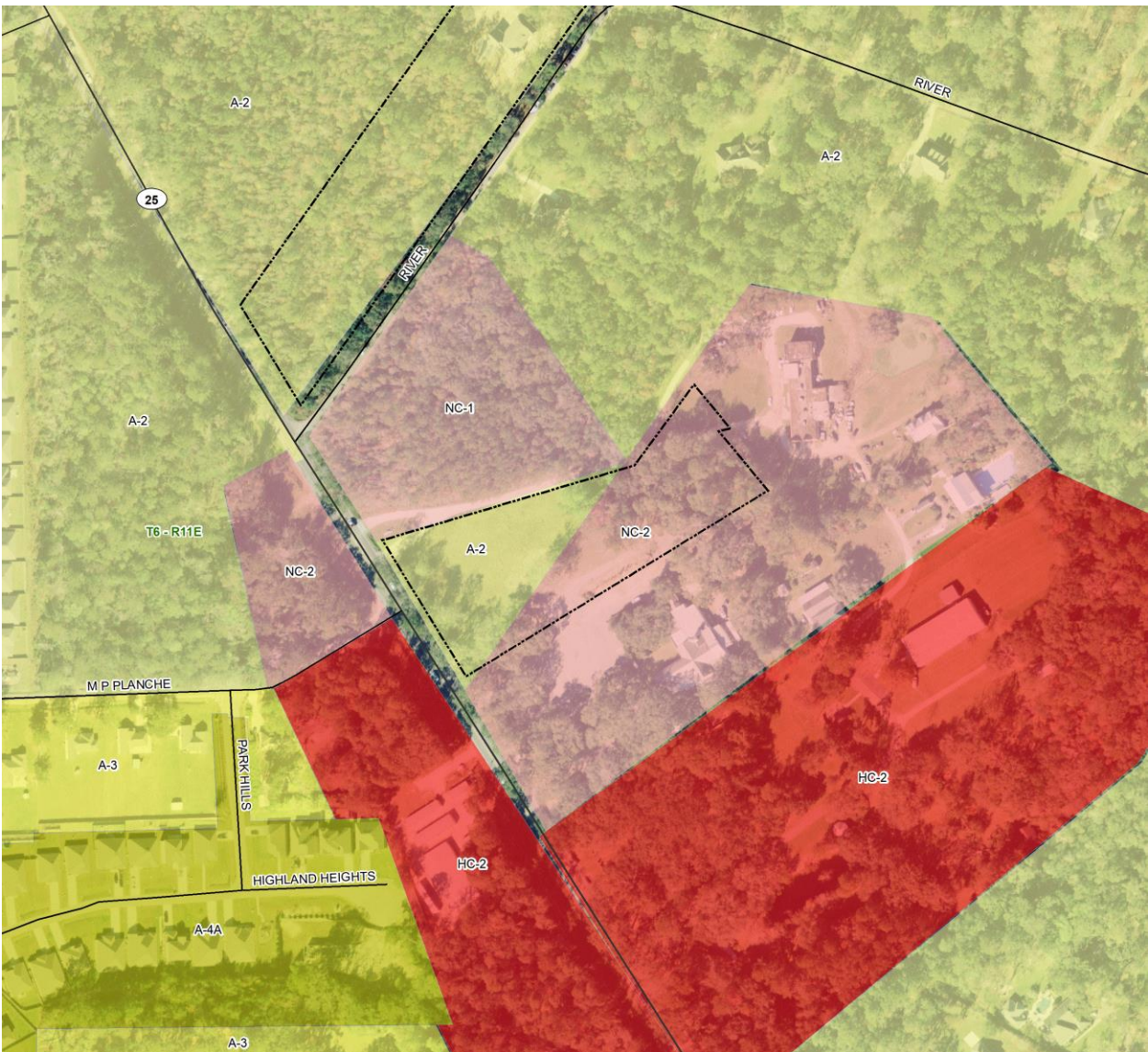
MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

Consistency with New Directions 2040

Mixed-Use: areas that are flexible and appropriate for higher concentration of residential and commercial uses, allowing shorter trips between destinations and opportunities for walkable, compact development patterns. Mixed Use areas are typically located at or near the Parish’s existing hubs of activity and intersections of major roads, as well as along major traffic corridors. Mixed Use areas may also include higher density residential uses, such as garden apartments and condominiums.

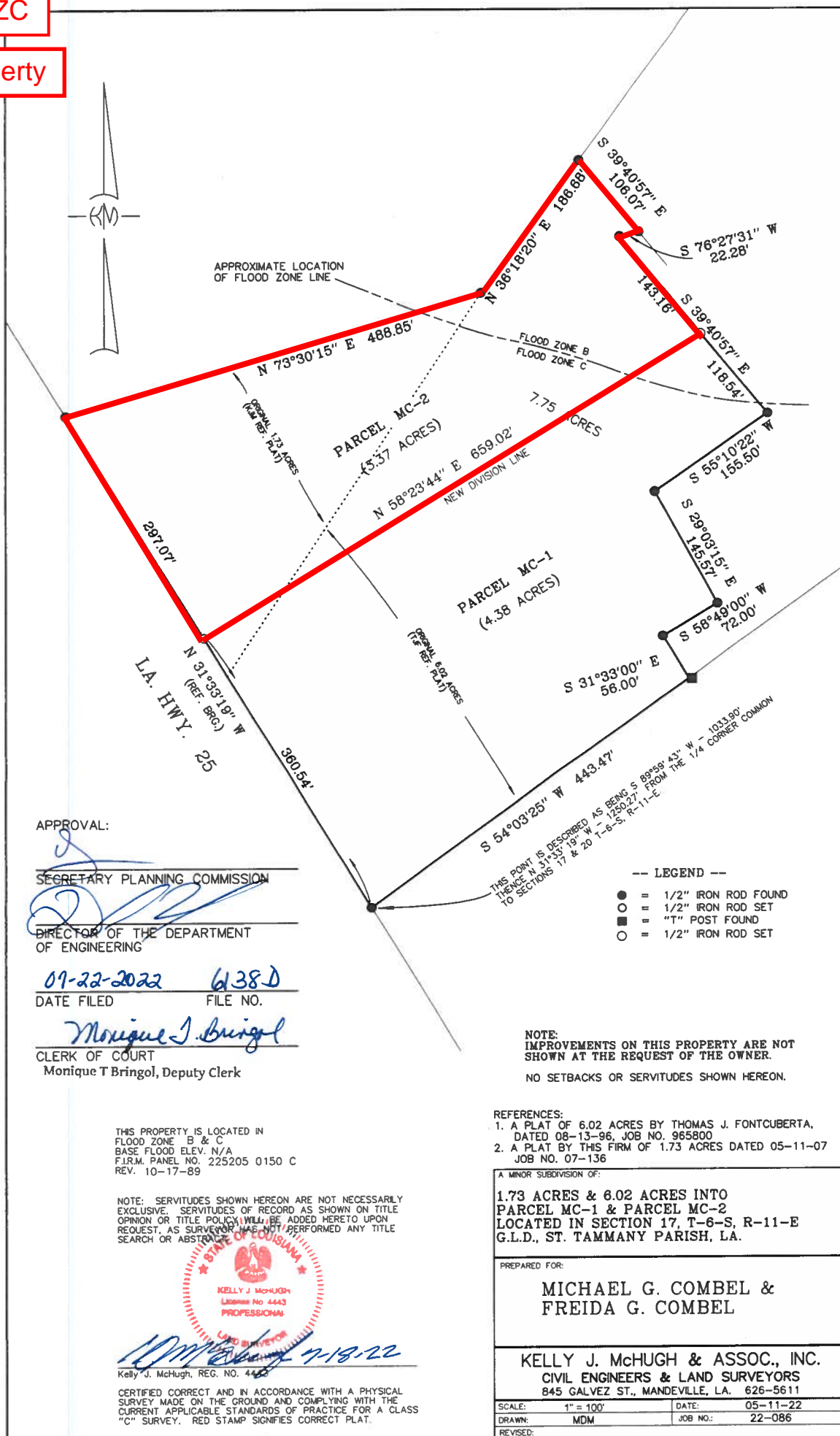
1. The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:
 - i. Goal 1.2: New development and redevelopment will be orderly, carefully planned, and predictable.
 - ii. Goal 1.5: Goal 5: Adequate infrastructure and utilities will be available in areas permitted for new development.





2022-3104-ZC

Subject Property





ZONING STAFF REPORT
2022-3118-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Location: Parcel located on the south side of LA Highway 22, east of Mitcham Road, Madisonville; S18, T7S, R10E; Ward 1, District 4
Council District: 4

Owner: Jonathan and Caitlyn Pizzitola
Posted: December 7, 2022

Applicant: Jonathan and Caitlyn Pizzitola
Commission Hearing: January 3, 2023

Size: 2.047 acres
Determination: Approved, Denied, Postponed



Current Zoning

A-2 Suburban District

Requested Zoning

I-1 Industrial District

Future Land Use

Mixed-Use (Northern Portion)

Residential: Low-Intensity
(Southern Portion)

Flood Zone

Effective Flood Zone C

Preliminary Flood Zone X

Critical Drainage: No

Findings

1. The petitioner is requesting to change the zoning classification from A-2 Suburban District to I-1 Industrial District. The site is located on the south side of LA Highway 22, east of Mitcham Road, Madisonville.

Zoning History

Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
09-2116	Unknown	A-2 Suburban District – Comprehensive Rezoning

Compatibility or Suitability with Adjacent Area

2. Table 2: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North (across Hwy 22 W)	Commercial/Restaurant	HC-1 Highway Commercial District
South	Residential & Undeveloped	A-2 Suburban District
East	Residential & Undeveloped	A-2 Suburban District
West	Undeveloped	A-2 Suburban District

3. The purpose of the existing A-2 Suburban District is to provide for the location of single-family residences at a density of one dwelling unit per acre.
4. The purpose of the I-1 Industrial District is to provide for the location of industrial uses of moderate size and intensity along major collectors and arterials in such a fashion and location as to minimize the conflict with nearby residential uses.



ZONING STAFF REPORT
2022-3118-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

5. Based on the typical rezoning pattern of the properties situated along Highway 22, west of Highway 1085 and east of the Parish line, multiple parcels were either rezoned to accommodate commercial uses during the 2009 Comprehensive Rezoning or rezoned via submission of an application to the Zoning Commission and approved by Parish Council.

The current zoning patterns and associated zoning maps of this section of Highway 22 appears to be trending towards commercial zoning classifications. There are no industrially-zoned parcels within the vicinity of the subject property. The most intense zoning classification in the immediate area is HC-2 Highway Commercial District which focuses on retail-oriented uses.

6. Table 3: Zoning District Site and Structure Comparison

Zoning District	Max Density & Building Size	Allowable Uses	Purpose
A-2 Suburban District (Existing)	One dwelling unit per acre with a minimum of a 1-acre lot size Not to exceed 15% of the total area of the lot	One single-family dwelling; Private garages and accessory structures; Garage Apartment or guest house under 1,000 sq. ft. when subject lot is no less than one acre in area; Community central water treatment, well, and storage facilities; Household Agriculture	To provide a single-family residential environment on large, multi-acre lots. The A-2(D) district is located primarily in less populated areas where the character of the area should be preserved through low densities.
I-1 Industrial District (Proposed)	Max Building Size: 40,000 sq. ft. Max Density: Not to exceed 50% of the total sq. ft. of the subject property	Radio & television studios and broadcasting stations, Auto body shops (minimum standards apply), Outdoor storage yards and lots and contractor's storage yards in conjunction with an affiliated office provided that this provision shall not permit wrecking yards or yards used in whole or in part for a scrap or salvage operation. Minimum standards for contractor's yards apply, Welding shops (greater than 3,000 square feet), Indoor recreational facilities including a restaurant without lounge, Office warehouse, Portable storage containers use for storage, Outdoor display pre-assembled building, pool and playground equipment, Specialty food processing, and crematoriums.	To provide for the location of industrial uses of moderate size and intensity along major collectors and arterials in such a fashion and location as to minimize the conflict with nearby residential uses.

7. If the zoning change is approved, any development on the property will be subject to the UDC parking, landscaping, lighting & signage requirements and all other applicable Parish regulations.
8. Note that the property is proposed to be developed with an 18-wheeler mechanic shop and outdoor storage.



ZONING STAFF REPORT
2022-3118-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

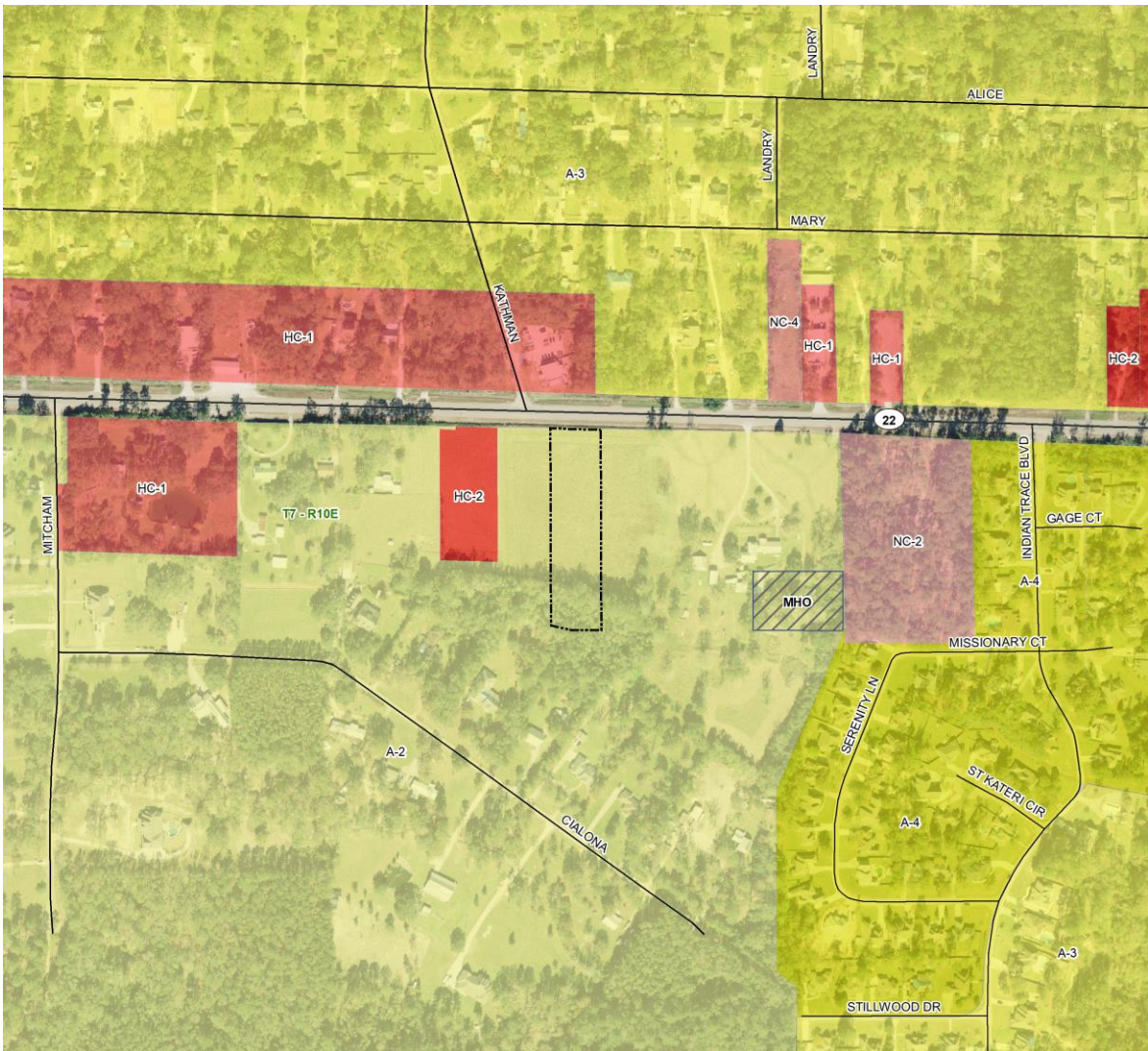
PLANNING & DEVELOPMENT
Ross Liner
Director

Consistency with New Directions 2040

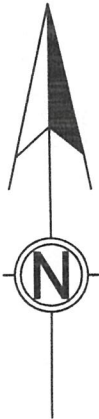
Mixed-Use: areas that are flexible and appropriate for higher concentration of residential and commercial uses, allowing shorter trips between destinations and opportunities for walkable, compact development patterns. Mixed Use areas are typically located at or near the Parish’s existing hubs of activity and intersections of major roads, as well as along major traffic corridors. Mixed Use areas may also include higher density residential uses, such as garden apartments and condominiums.

Residential: Low-Intensity: Predominantly single family, detached homes on very large lots. The lower residential density creates a more spacious character appropriate as a transition between the Parish’s Rural or Conservation areas and more intense land uses. The dispersed development pattern makes public services and amenities less efficient and more expensive to provide, and so residents typically must travel farther to access them.

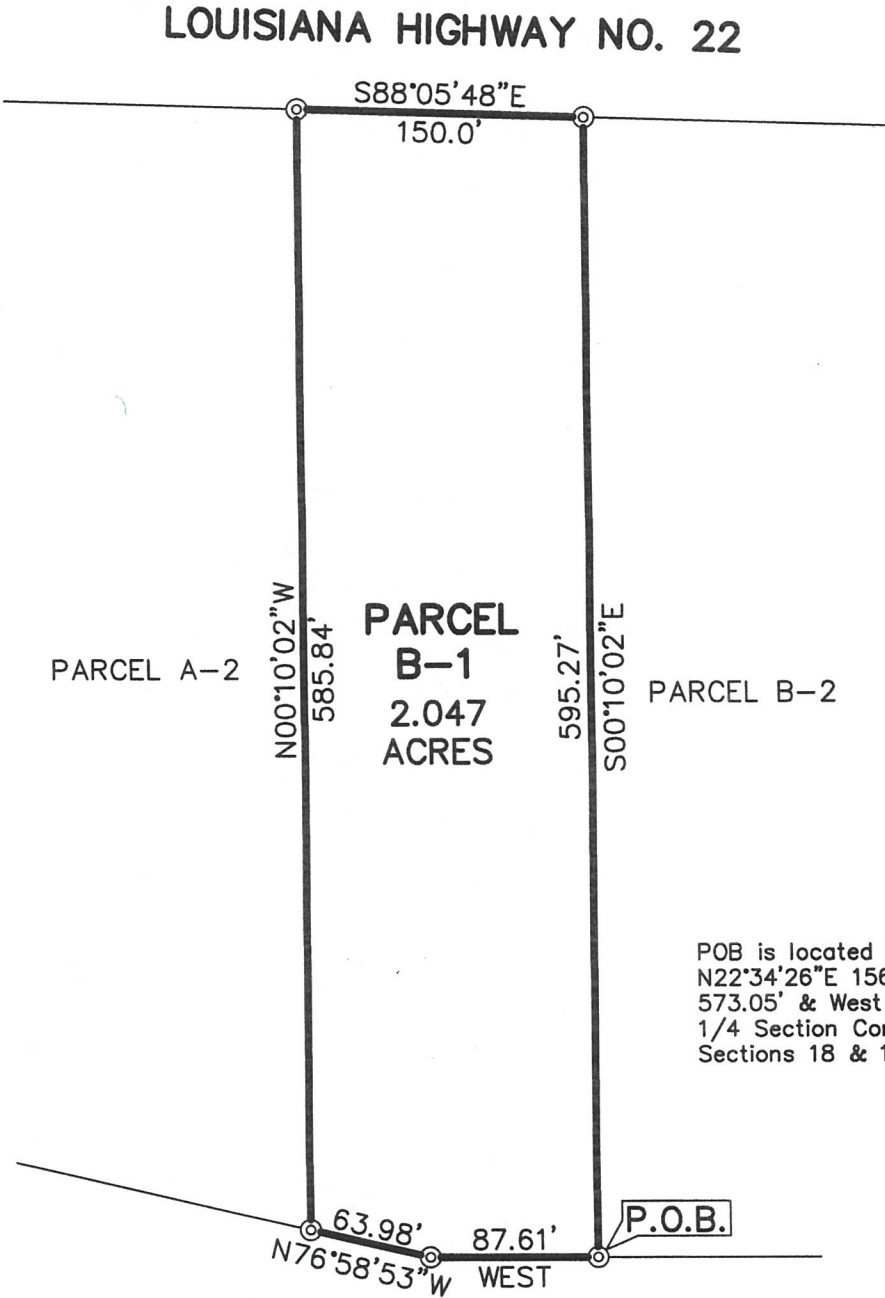
- 1. The proposed zoning change is NOT consistent with the following goals, policies, and strategies of the Comprehensive Plan:
 - i. Goal 1.3: The character of existing residential areas, expansive rural landscapes, and sensitive ecological areas will be preserved.
 - ii. Goal 3.7: Light and noise pollution will be minimal.







REFERENCE BEARING:
A bearing of N00°15'W
was assumed from the
SW Corner of Section 18,
to the West 1/4 Corner
of Section 18, T7S, R10E.



POB is located N00°32'21"W 843.60';
N22°34'26"E 156.93'; N53°53'29"W
573.05' & West 116.62' from the
1/4 Section Corner common to
Sections 18 & 19, T7S, R10E.

NOTES:

1. This property is located in Flood Zone C, per F.E.M.A. Map No. 225205 0215 C, dated April 2, 1991.
2. Building Setback Lines must be determined by the St. Tammany Parish Planning Department.
3. Fieldwork performed on October 3, 2018.

THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND/OR RESTRICTIONS HAVE BEEN SHOWN HEREON. ANY SERVITUDES AND/OR RESTRICTIONS SHOWN ON THIS PLAT ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION AND/OR INFORMATION FURNISHED THE UNDERSIGNED. A TITLE OR PUBLIC RECORD SEARCH FOR SUCH INFORMATION WAS NOT MADE BY THE UNDERSIGNED IN COMPILING DATA FOR THIS SURVEY.

LEGEND

⊙ = 1/2" IRON ROD FOUND

REFERENCE SURVEY:

Amended Minor Subdivision for Donald M. Peter by John G. Cummings, Surveyor, dated 06/19/2018, revised 7/13/2018, filed in the St. Tammany Parish Clerk of Court Map File No. 5777B.

(985) 892-1549

John G. Cummings and Associates
PROFESSIONAL LAND SURVEYORS

FAX (985) 892-9250

503 N. JEFFERSON AVENUE

COVINGTON, LA 70433

PLAT PREPARED FOR: **JONATHAN PIZZITOLA**

SHOWING A SURVEY OF: PARCEL B-1, LOCATED IN SECTION 18, TOWNSHIP 7 SOUTH, RANGE 10 EAST, ST. TAMMANY PARISH, LOUISIANA.

THIS PLAT REPRESENTS A PHYSICAL SURVEY MADE ON THE GROUND BY ME, OR THOSE UNDER MY DIRECTION, AND IS IN ACCORDANCE WITH THE APPLICABLE STANDARDS OF PRACTICE AND BEARS A CLASS C SURVEY.

John G. Cummings
PROFESSIONAL LAND SURVEYOR



SCALE: 1" = 100'

JOB NO. 04252-PB1

DATE: 07/25/2022

REVISED:



ZONING STAFF REPORT
2022-3122-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

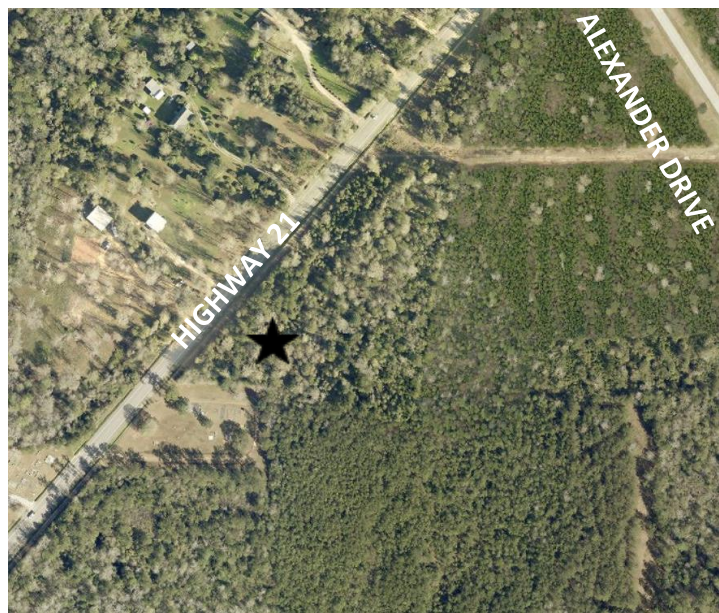
985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Location: Parcel located on the east side of LA Highway 21, south of Alexander Drive, Covington; S5, T6S, R12E; Ward 10, District 6
Council District: 6

Owner: Kivett & Reel, LLC
Posted: December 9, 2022

Applicant: Dorsey Development DG, LLC - Ed Voltolina
Commission Hearing: January 3, 2023

Size: 2.047 acres
Determination: Approved, Denied, Postponed



Current Zoning

A-1A Suburban District

Requested Zoning

NC-5 Retail and Service District

Future Land Use

Rural & Agriculture

Flood Zone

Effective Flood Zone C

Preliminary Flood Zone X

Critical Drainage: No

Findings

1. The petitioner is requesting to change the zoning classification from A-2 Suburban District to NC-5 Retail and Service District. The site is located on the south side of LA Highway 22, east of Mitcham Road, Madisonville.

Zoning History

Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
10-2233	Unknown	A-1A Suburban District – Comprehensive Rezoning

Compatibility or Suitability with Adjacent Area

2. Table 2: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Undeveloped & Milne Homes	MD-1 Medical Residential District
South	Cemetery (Legal Non-Conforming)	A-2 Suburban District
East	Undeveloped & Milne Homes	MD-1 Medical Residential District
West (Across Hwy 21)	Residential	A-2 Suburban District

3. The purpose of the property's A-1A Suburban District zoning is to provide for the location of single-family residences at a density of one dwelling unit per every 3 acres, with a minimum parcel size of 3 acres or more.
4. The purpose of the proposed NC-5 Retail and Service District is to provide for the location of small-scale retail and services near residential neighborhood to provide products and services to nearby residents. Permitted uses include all uses allowable in the NC-4 Neighborhood Institutional District; farmers markets; restaurants greater than 5,000 square feet; restaurants with lounges; food stores under 3,000 square feet (no gas service allowed), and dry cleaning, laundries, and self-service laundries.



ZONING STAFF REPORT
2022-3122-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

- 5. The maximum building size allowable within the NC-5 Retail and Service District is 12,500 square feet with a minimum lot size of 20,000 square feet. If approved, any development on the property must comply with all Parish-required commercial drainage, landscaping, and parking regulations.
- 6. The purpose of the request is to allow the applicant to apply to construct a retail store.

Consistency with New Directions 2040

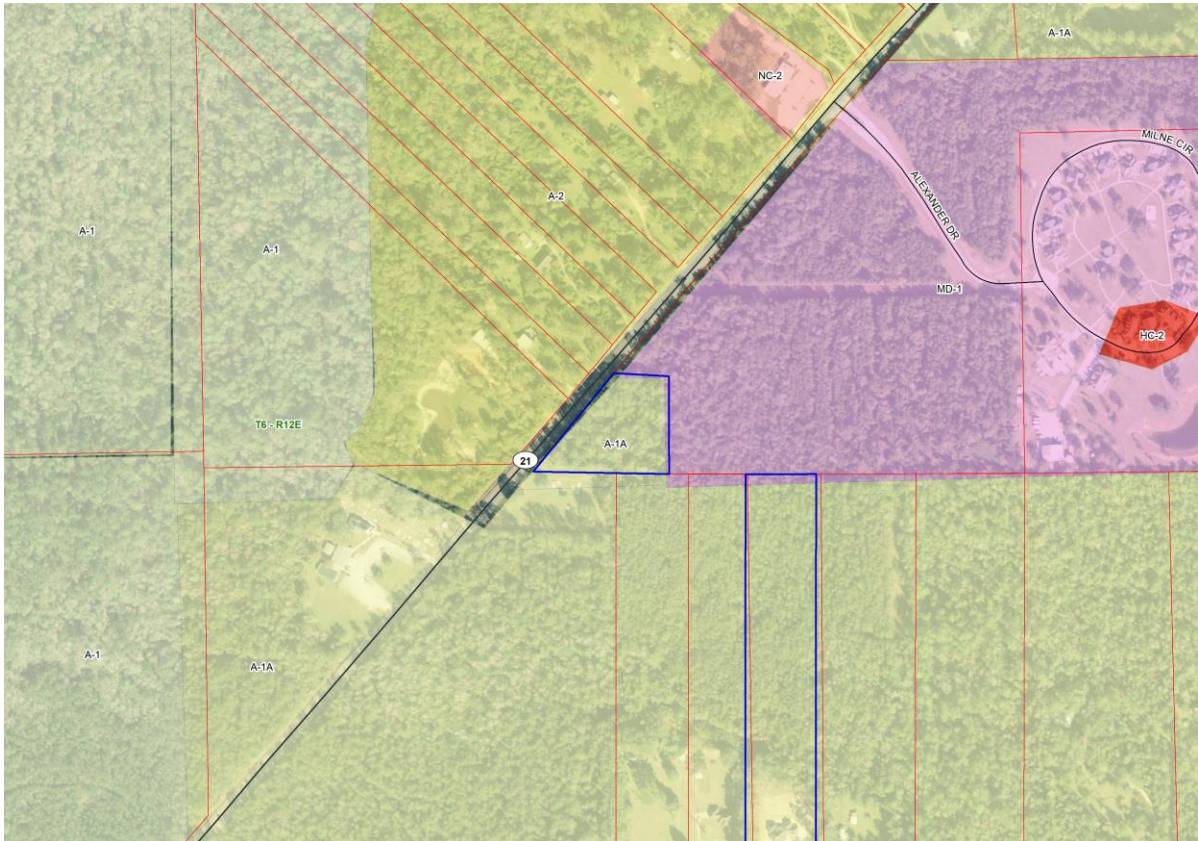
Rural & Agriculture: areas include mostly very low intensity uses in non-urbanized areas, such as agriculture, horse farms, timberlands, ranches, and very large single-family lots typically larger than three acres. No large traffic generators or noisy or pollution causing uses are located in Rural and Agricultural areas. Low-capacity country roads—typically two-lanes—serve these areas. Septic systems and wells are typical. The Parish’s abundant rural areas provide ample space for low-intensity uses, offering residents privacy and access to the outdoors. The countryside also fosters a number of commercial activities, such as production farms, horse boarding, and lumber harvesting. The Rural and Agricultural category includes these commercial uses, as well as small rural-serving businesses such as small groceries, gas stations, restaurants, and auto repair shops. St. Tammany’s countryside supports a growing tourism industry, whose businesses in this area include bed and breakfasts, retreat centers, nature tours, and “u-pick” farms.

The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:

- i. Strategy 1:5:2 Locate high intensity land uses adjacent to high capacity transportation corridors.
- ii. Goal 5:1: The Parish will designate adequate land served by supporting infrastructure for use by businesses and industries seeking to begin or expand.

The proposed zoning change is NOT consistent with the following goals, policies, and strategies of the Comprehensive Plan:

- i. Goal 1.3: The character of existing residential areas, expansive rural landscapes, and sensitive ecological areas will be preserved.



2022-3122-ZC

GARDEN

NC-2

A-2

5

A-1

MD-1

A-1A

T6 - R12E

21

A-1A

8

A-1A

EUGENE WALLACE

A-3

A-5

Subject Property

TRACT 1
29.298 ACRES
(INCLUDES SERVITUDE OF PASSAGE)

TRACT 2
3.714 ACRES
(3.84 ACRES - TITLE)

LA. STATE HWY. NO. 21

SECTION 5
SECTION 8

SUBJECT

CEM.

KNOWN AS POINT 'X'

FLOOD ZONE 'C'
FLOOD ZONE 'A'

NOTE:
P.O.B. IS DESCRIBED AS THE 1/4 SECTION CORNER OF SECTIONS 5 + 8
6" WOOD POST FOUND WITH 1/2" IRON ROD INSIDE

225205 0150 C Rev. 10-17-1989

THE SEARCHES AND RESULTS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION FORMED BY US AND THERE IS NO REPRESENTATION THAT ALL APPROPRIATE SERVICES AND RESULTS ARE SHOWN HEREON. THE SURVEYOR HAS MADE AN EXTENSIVE SEARCH OF PUBLIC RECORDS. SEARCH IN COMPILING THE DATA FOR THIS SURVEY

RANDALL W. BROWN
REG. NO. 04586
REGISTERED
PROFESSIONAL
SURVEYOR
LA Registration No. 04586

228 W. Causeway App. Mandeville, LA 70448
(985) 624-5368 FAX (985) 624-5309

Scale: 1" = 200' ±
Drawn By: BRC
Revised:

RICHARD T. KIVETT 985-516-9742



ZONING STAFF REPORT
2022-3130-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

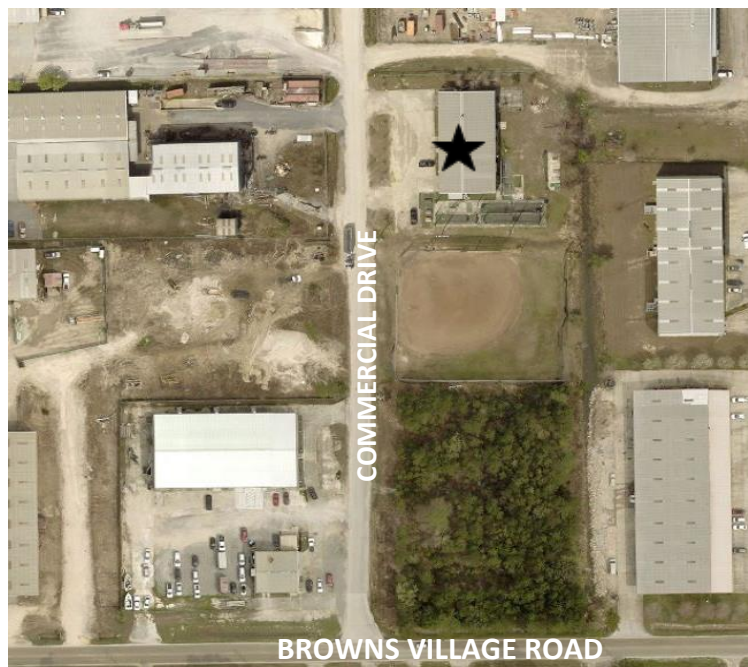
985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Location: Parcel located on the east side of Commercial Drive, north of Browns Village Road, Slidell; S27, T8S, R14E; Ward 9, District 14
Council District: 14

Owner: Paris Properties, LLC – Chris Jean
Posted: December 8, 2022

Applicant: Jeffrey Schoen
Commission Hearing: January 3, 2023

Size: 1.07 acres
Determination: Approved, Denied, Postponed



Current Zoning

NC-6 Public, Cultural and Recreational District

Requested Zoning

I-2 Industrial District

Future Land Use

Manufacturing & Logistics

Flood Zone

Effective Flood Zone A1

Preliminary Flood Zone AE

Critical Drainage: Yes

Findings

1. The petitioner is requesting to change the zoning classification from NC-6 Public, Cultural and Recreational District to I-2 Industrial District. The site is located on the east side of Commercial Drive, north of Browns Village Road, Slidell.

Zoning History

Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
85-141A	Unknown	M-1 Manufacturing District
09-2020	M-1 Manufacturing District	I-2 Industrial District
12-2833	I-2 Industrial District	NC-6 Public, Cultural, and Recreational District

Compatibility or Suitability with Adjacent Area

2. Table 2: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Office Warehouse & Outdoor Storage	I-2 Industrial District
South	Baseball Field	NC-6 Public, Cultural and Recreational District
East	Office Warehouse	I-1 Industrial District & I-2 Industrial District
West	Office Warehouse	I-1 Industrial District

3. The property is south of JF Smith Business Park, which encompasses 80 acres that was zoned to I-2 Industrial District as per Ordinance No. 14-3105. In addition, the property is surrounded by industrial zoning that was achieved either via comprehensive rezoning in 2009, or through individual parcels rezoning in 2013 (Ord. 13-2926) and 2021 (Ord. 21-4513).



ZONING STAFF REPORT
2022-3130-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

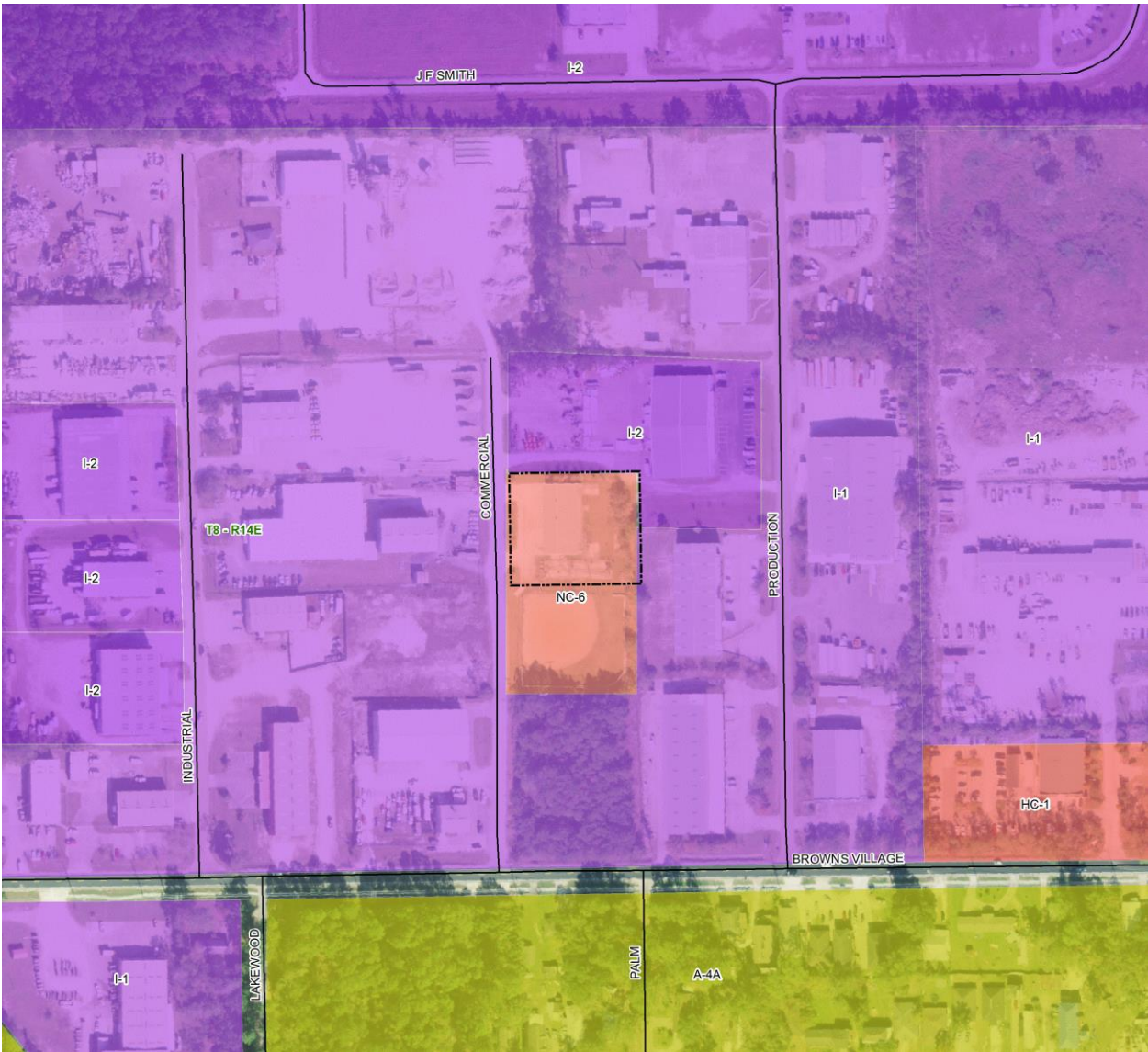
- 4. The purpose of the I-2 Industrial District is to provide for the location of industrial uses of large-scale and highly intense industrial uses along major collectors and arterials in such a fashion and location as to minimize the conflict with nearby residential uses.
- 5. If approved, the property would match the surrounding zoning classifications of the area and the existing business park to the north.

Consistency with New Directions 2040

Manufacturing & Logistics: areas provide abundant space and access to infrastructure for a range of uses including advanced manufacturing, storage and distribution, maritime uses, and utilities. These uses serve important economic goals, including provision of living-wage jobs and contribution to a strong tax base. However, some of these uses can negatively impact surrounding communities through truck traffic, noise, and pollution. Manufacturing and Logistics areas are therefore located away from sensitive ecological areas and existing and planned residential areas, and should be located adjacent to high capacity transportation corridors.

The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:

- i. Strategy 1:5:2 Locate high intensity land uses adjacent to high capacity transportation corridors.
- ii. Goal 5.1: The parish will designate adequate land served by supporting infrastructure for use by businesses and industries seeking to begin or expand.



2022-3130-ZC

I-2

J.F. SMITH

27

I-1

T8 - R14E

COMMERCIAL

I-2

NC-6

PRODUCTION

I-1

HC-1

INDUSTRIAL

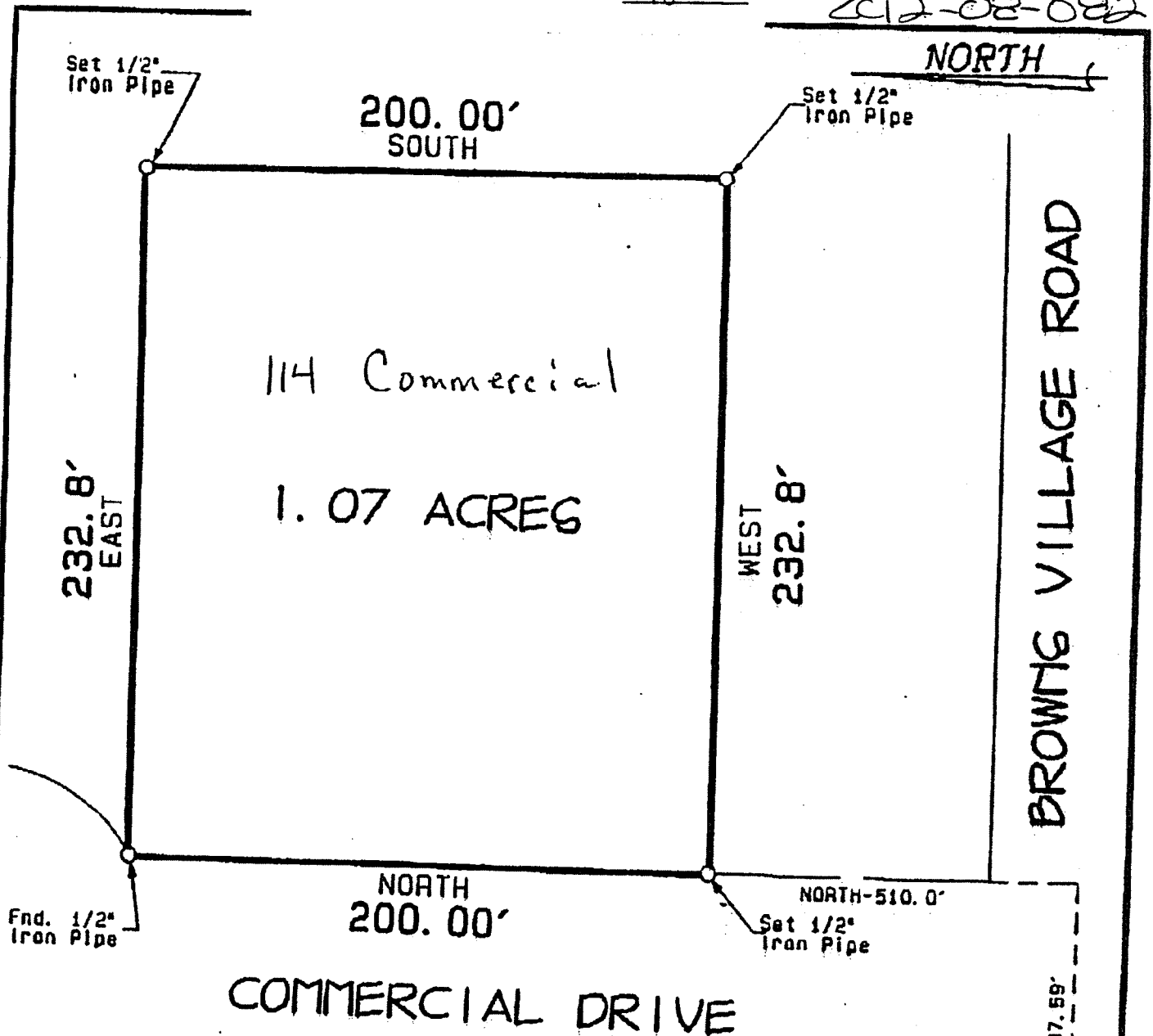
LAKELWOOD

I-1

34

A-4A
HILLCREST

PALM



NOTE: Setback lines shall be verified by owner or contractor prior to any construction, as an abstract has not been performed by the undersigned.

Note: Servitudes shown hereon are not necessarily exclusive. Servitudes of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.

Note: This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described is located in a special flood hazard area. It is located in Flood Zone "A-1".

This is to certify that I have done an actual ground survey and found that no encroachments exist either way across any property lines except as shown.

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL; AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA. BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS "A" SURVEY.

SURVEY MAP OF
A 1.07 ACRE PARCEL OF LAND SITUATED
IN SECTION 27, T-8-S, R-14-E.

In
St. Tammany Parish, Louisiana
for

JOHNNY F. SMITH

Survey No. 94466

Date: APRIL 22, 1994

Drawn by: BMD

Revised:

Scale: 1" = 50'

JOHN E. BONNEAU & ASSOCIATES, INC.
Professional Land Surveyors • Planners and Consultants
1011 N. CAUSEWAY BLVD. - SUITE 34 • MANDEVILLE, LA. 70448 (504) 626-0808
SLIDELL (504) 643-2508 • MANDEVILLE (504) 626-3546 • N.O. (504) 456-2042
FAX NO. (504) 626-0057

This Survey is Certified
True and Correct By

John E. Bonneau
Professional Land Surveyor
Registration No. 4423



ZONING STAFF REPORT
2022-3131-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

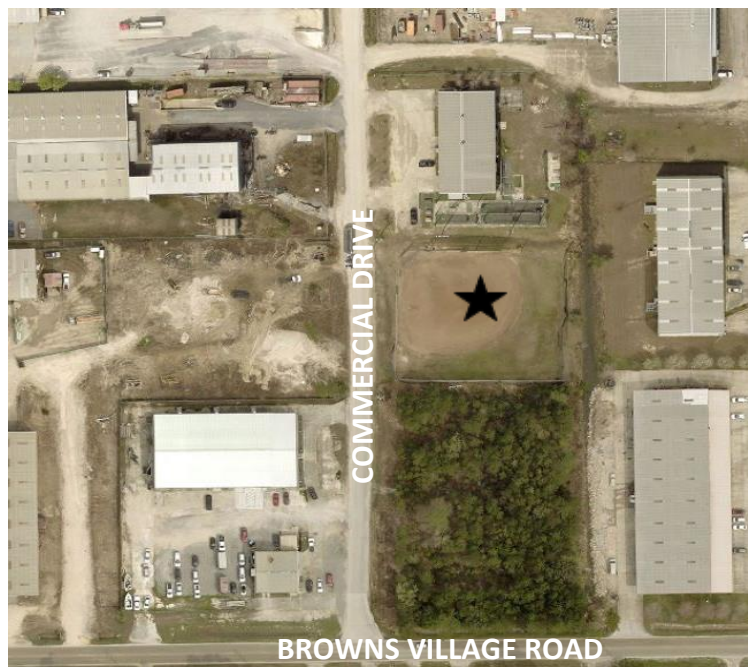
985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Location: Parcel located on the east side of Commercial Drive, north of Browns Village Road, Slidell; S27, T8S, R14E; Ward 9, District 14
Council District: 14

Owner: Johnny F. Smith Testamentary Trust - Chris Jean **Posted:** December 8, 2022

Applicant: Jeffrey Schoen **Commission Hearing:** January 3, 2023

Size: 1.07 acres **Determination:** Approved, Denied, Postponed



Current Zoning

NC-6 Public, Cultural and Recreational District

Requested Zoning

I-2 Industrial District

Future Land Use

Manufacturing & Logistics

Flood Zone

Effective Flood Zone A1

Preliminary Flood Zone AE

Critical Drainage: Yes

Findings

1. The petitioner is requesting to change the zoning classification from NC-6 Public, Cultural and Recreational District to I-2 Industrial District. The site is located on the east side of Commercial Drive, north of Browns Village Road, Slidell.

Zoning History

Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
85-141A	Unknown	M-1 Manufacturing District
09-2020	M-1 Manufacturing District	I-2 Industrial District
12-2833	I-2 Industrial District	NC-6 Public, Cultural, and Recreational District

Compatibility or Suitability with Adjacent Area

2. Table 2: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Indoor Batting Cage	NC-6 Public, Cultural, and Recreational District
South	Undeveloped	I-1 Industrial District
East	Office Warehouse	I-1 Industrial District
West	Office Warehouse	I-1 Industrial District

3. The site is currently developed with a baseball field and is adjacent to a sister parcel that is developed as an indoor batting cage to the north, and is otherwise flanked by industrial uses to the north, east, and west.
4. The property is south of JF Smith Business Park, which encompasses 80 acres that was zoned to I-2 Industrial District as per Ordinance No. 14-3105. In addition, the property is surrounded by industrial zoning that was achieved either via comprehensive rezoning in 2009, or through individual parcels rezoning in 2013 (Ord. 13-2926) and 2021 (Ord. 21-4513).



ZONING STAFF REPORT
2022-3131-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

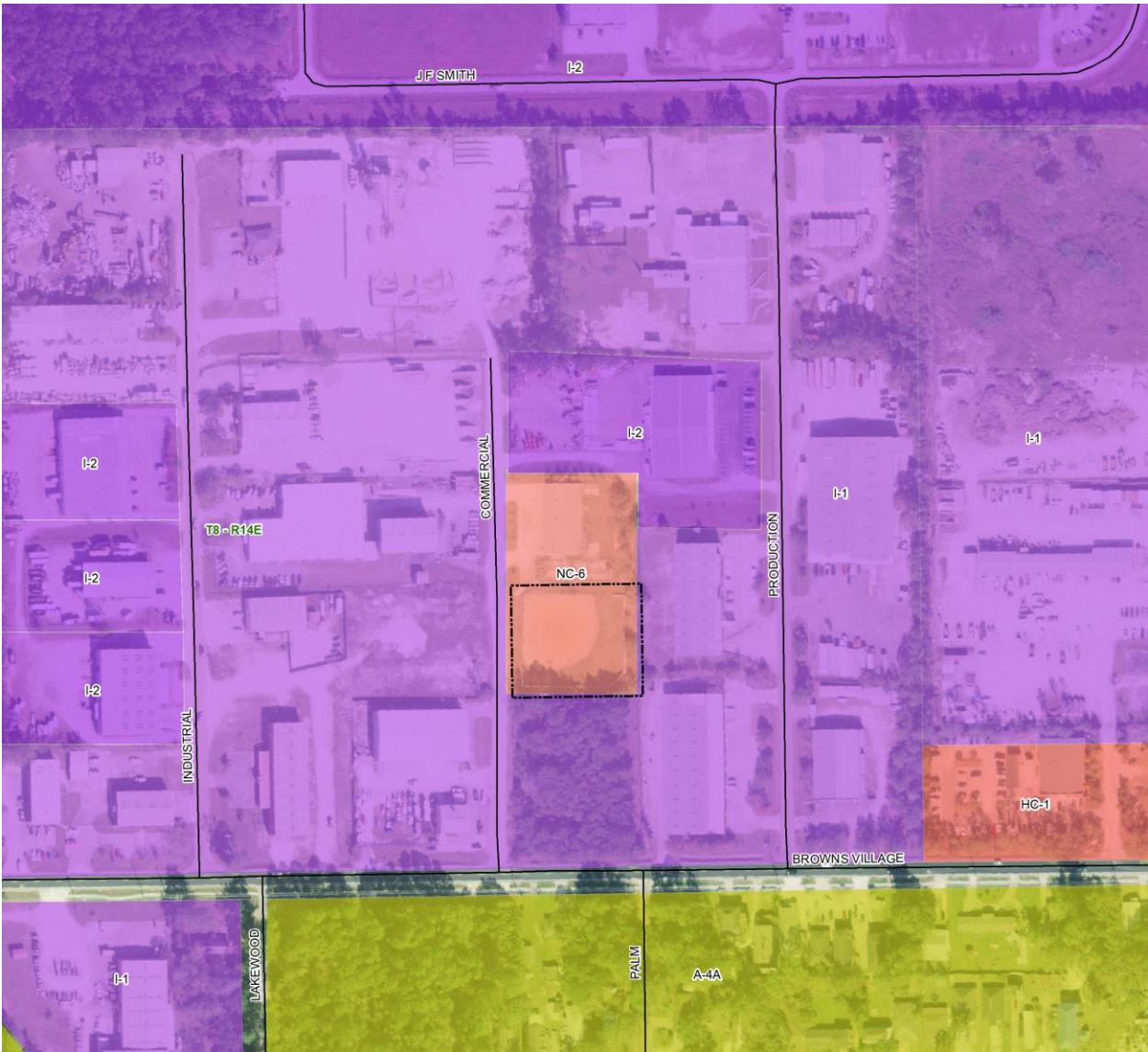
- 5. The purpose of the I-2 Industrial District is to provide for the location of industrial uses of large-scale and highly intense industrial uses along major collectors and arterials in such a fashion and location as to minimize the conflict with nearby residential uses.
- 6. If approved, the property would match the surrounding zoning classifications of the area and the business park to the north.

Consistency with New Directions 2040

Manufacturing & Logistics: areas provide abundant space and access to infrastructure for a range of uses including advanced manufacturing, storage and distribution, maritime uses, and utilities. These uses serve important economic goals, including provision of living-wage jobs and contribution to a strong tax base. However, some of these uses can negatively impact surrounding communities through truck traffic, noise, and pollution. Manufacturing and Logistics areas are therefore located away from sensitive ecological areas and existing and planned residential areas, and should be located adjacent to high capacity transportation corridors.

The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:

- i. Strategy 1:5:2 Locate high intensity land uses adjacent to high capacity transportation corridors.
- ii. Goal 5.1: The parish will designate adequate land served by supporting infrastructure for use by businesses and industries seeking to begin or expand.



2022-3131-ZC

I-2

J.F. SMITH

27

I-1

T8 - R14E

COMMERCIAL

I-2

NC-6

PRODUCTION

I-1

HC-1

INDUSTRIAL

LAKEWOOD

I-1

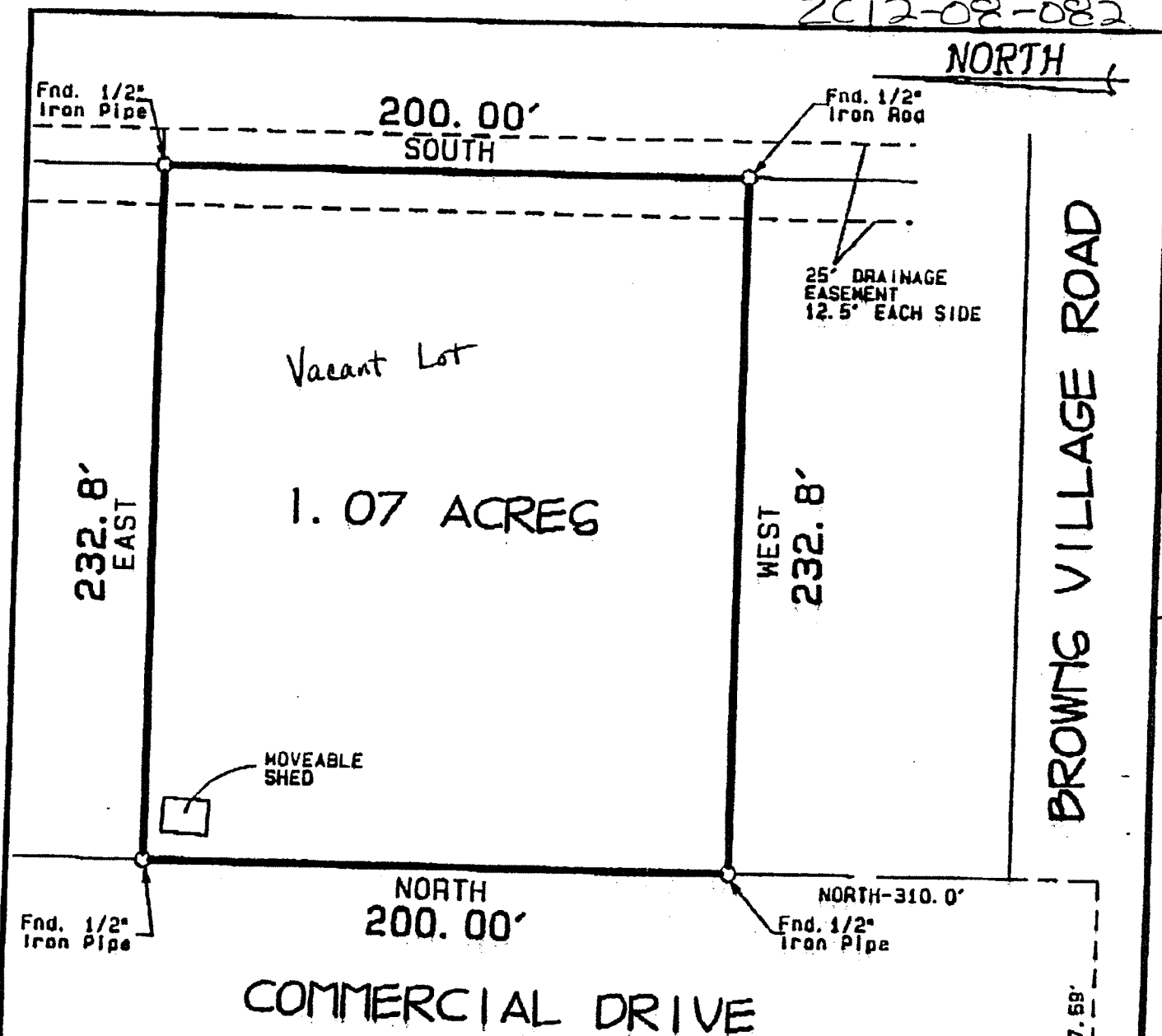
34

A-4A
HILLCREST

PALM

ORDINANCE CALENDAR NO. 4870

ZC12-08-082



Note: Servitudes shown hereon are not necessarily exclusive. Servitudes of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.

NOTE: Setback lines shall be verified by owner or contractor prior to any construction, as an abstract has not been performed by the undersigned.

Note: This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Map and found the property described is located in Flood Zone(s) A-1 with a Base Flood Elevation of 18.5' in accordance with Community Panel No. 225205 0410 D; Revised: APRIL 21, 1999

This is to certify that I have done an actual ground survey and found that no encroachments exist either way across any property lines except as shown.

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL; AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS "B" SURVEY.

SURVEY MAP OF

A 1.07 ACRE PARCEL OF LAND SITUATED
IN SECTION 27, T-8-S, R-14-E,

in
St. Tammany Parish, Louisiana
for

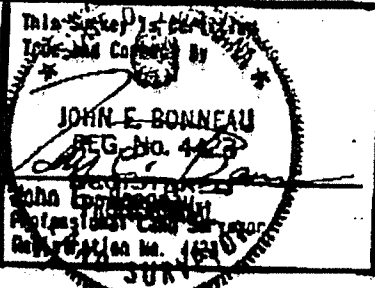
JANICE S. SMITH

Survey No. 2001 324
Date: MAY 25, 2001

Drawn by: RAK/JEB
Revised:

Scale: 1" = 50'

JOHN E. BONNEAU & ASSOCIATES, INC.
Professional Land Surveyors • Planners and Consultants
1011 N. CAUSEWAY BLVD. • SUITE 34 • MANDEVILLE, LA. 70471 (504) 626-0808
SLIDELL (504) 643-2508 • MANDEVILLE (504) 626-3546 • N.O. (504) 456-2042
HAMMOND (504) 345-7641 • FAX NO. (504) 626-0057





ZONING STAFF REPORT
2022-3135-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Location: Parcel located on the south side of LA Highway 435, east of Merrimeade Lane and west of White Oaks Road, being 28484 Hwy 435 Abita Springs; S18, T6S, R13E; Ward 6, District 6
Owner: Ivan Milicevic **Council District:** 6
Applicant: Ivan Milicevic **Posted:** December 8, 2022
Size: 10 acres **Commission Hearing:** January 3, 2023
Determination: Approved, Denied, Postponed



Current Zoning
HC-3 Highway Commercial District
Requested Zoning
HC-3 Highway Commercial District
Entertainment Overlay
Future Land Use
Rural & Agriculture
Flood Zone
Effective Flood Zone C
Preliminary Flood Zone X
Critical Drainage: No

Findings

- 1. The petitioner is requesting to change the zoning classification from HC-3 Highway Commercial District to HC-3 Highway Commercial District and Entertainment Overlay. The site is located on the south side of LA Highway 435, east of Merrimeade Lane and west of White Oaks Road, being 28484 Hwy 435, Abita Springs.

Zoning History

Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
10-2233	Unknown – Comprehensive Rezoning	A-1 Suburban District
19-4029	A-1 Suburban District	HC-3 Highway Commercial District

Compatibility or Suitability with Adjacent Area

2. Table 2: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Undeveloped	A-2 Suburban District
South	Residential	A-1 Suburban District
East	Residential	A-1 Suburban District
West	Residential	A-1 Suburban District

- 3. The subject property is currently developed with an entertainment/wedding venue that is permissible under the HC-3 Highway Commercial District classification. Per Sec. 6-34(b), a sale of high alcohol content is not permitted on premises that are located adjacent to single-family residentially zoned property or within 500 feet or less of single-family residentially zoned property unless the property owner has applied for and received the Entertainment Overlay or maintains a 100-foot no cut buffer between the development and single-family residentially zoned property. Because this property does not have a buffer in-between the subject property and the adjacent single-family residentially zoned parcels, the applicant has applied for the current request to rezone the property to obtain the Entertainment Overlay.



ZONING STAFF REPORT
2022-3135-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

4. The purpose of the Entertainment Overlay is to accommodate a limited number of entertainment based uses required to obtain a permit for the sale of beverages of high alcoholic content, other than beer and wine, in a limited geographic area, adjacent to residentially zoned neighborhood, to maintain a balance of uses that are compatible with the surrounding residential neighborhoods and properties and to protect the character of surrounding residential neighborhoods and properties.
5. If approved, the applicant would be permitted to apply for a liquor license with the St. Tammany Parish Sheriff's Office as well as with the Louisiana ATC Office to serve/sell higher alcohol content on-site.

Consistency with New Directions 2040

Rural & Agriculture: areas include mostly very low intensity uses in non-urbanized areas, such as agriculture, horse farms, timberlands, ranches, and very large single-family lots typically larger than three acres. No large traffic generators or noisy or pollution causing uses are located in Rural and Agricultural areas. Low-capacity country roads—typically two-lanes—serve these areas. Septic systems and wells are typical. The Parish's abundant rural areas provide ample space for low-intensity uses, offering residents privacy and access to the outdoors. The countryside also fosters a number of commercial activities, such as production farms, horse boarding, and lumber harvesting. The Rural and Agricultural category includes these commercial uses, as well as small rural-serving businesses such as small groceries, gas stations, restaurants, and auto repair shops. St. Tammany's countryside supports a growing tourism industry, whose businesses in this area include bed and breakfasts, retreat centers, nature tours, and "u-pick" farms.





2022-3135-ZC

Subject Property

2018-1275-ZC

MAP IS LOCATED IN FLOOD ZONE C, AS PER
FIRM, COMM. PANEL NO. 225205 0175 C,
MAP DATED 10-17-89

The P.O.B. is Reported to be N00°08'W-
361.87', from the Section Corner common
to Section 17, 18, 19 & 20, T6-S, R-13-E,
St. Tammany Parish, Louisiana

*Building Setbacks (if Any) should be
verified prior to construction

LEGEND:

- = Fnd. 1/2" Pipe
- = Fnd. 1/2" Rebar
- = End. Highway Monument
- ⊙ = Powerpole

Reference: A Boundary Survey by this Company
Dated 10-26-14, Drawing #16572
(Basis of Bearing)

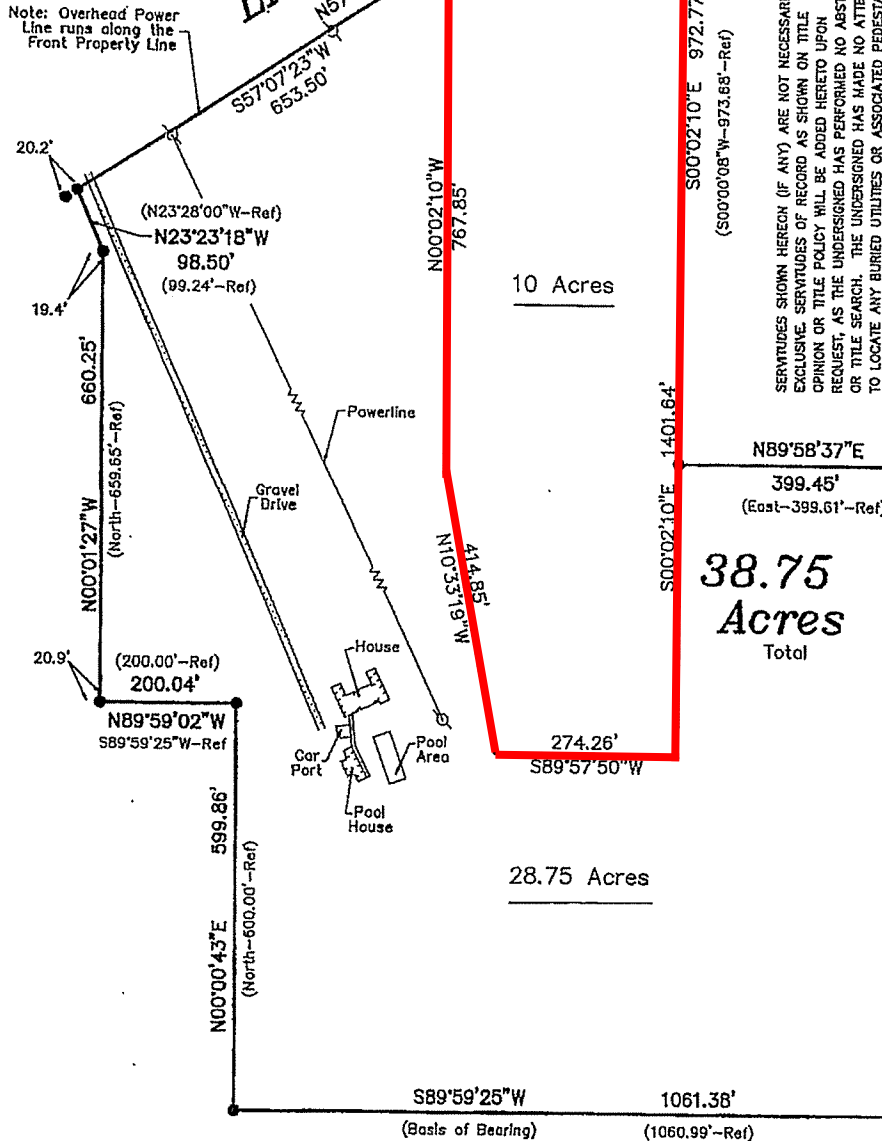
Land Surveying, LLC
518 N. Columbia Street
Covington, LA 70433
(855) 842-6211 Office (855) 849-0355 Fax



IVAN MILICEVIC

SCALE: 1" = 180'
DATE: 10-12-2018
DRAWN BY: JWG
Property Located in Section 18, T-6-S, R-13-E,
St. Tammany Parish, Louisiana

Note: Overhead Power
Line runs along the
Front Property Line



SERVICES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY
EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE
OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON
REQUEST, AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT
OR TITLE SEARCH. THE UNDERSIGNED HAS MADE NO ATTEMPT
TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS.

THIS MAP IS NOT IN ACCORDANCE WITH THE STANDARD
DETAILED REQUIREMENTS PURSUANT TO THE ASSOCIATION OF
STANDARDS OF A BOUNDARY SURVEY AND THE ASSOCIATION OF
OF PRACTICE CITED IN LAC 46:10.

THIS MAP IS NOT IN ACCORDANCE WITH THE STANDARD
DETAILED REQUIREMENTS PURSUANT TO THE ASSOCIATION OF
STANDARDS OF A BOUNDARY SURVEY AND THE ASSOCIATION OF
OF PRACTICE CITED IN LAC 46:10.

BRUCE M. BUTLER, III
LICENSE NO. 4884
PROFESSIONAL
10-12-2018

A Sketch Map (For Zoning Purpose Only)
of a 10 Acre Parcel, And a 28.75 Acre Parcel
of Land in Section 18, T-6-S, R-13-E,
St. Tammany Parish, Louisiana

P.O.B.



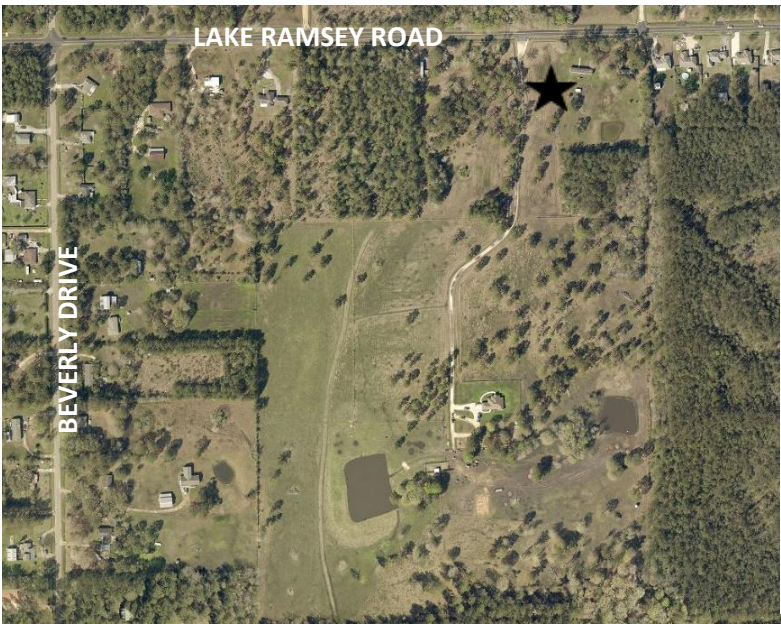
ZONING STAFF REPORT
2022-3136-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Location: Parcel located on the south side of Lake Ramsey Road, East of Beverly Road, being Lot 61, Lake Ramsey Heights Subdivision, Covington; S13, T6S, R10E; Ward 3, District **Council District:** 3
Owner: Yaritza Garcia Rosario and Jeffrey Elliot, Jr. **Posted:** December 7, 2022
Applicant: Yaritza Garcia Rosario and Jeffrey Elliot, Jr. **Commission Hearing:** January 3, 2023
Size: 4.306 acres **Determination:** Approved, Denied, Postponed



Current Zoning

A-2 Suburban District

Requested Zoning

A-2 Suburban District

MHO Manufactured Housing Overlay

Future Land Use

Residential: Medium-Intensity

Flood Zone

Effective Flood Zone C

Preliminary Flood Zone X

Critical Drainage: No

Findings

1. The petitioner is requesting to change the zoning classification from A-2 Suburban District to A-2 Suburban District and MHO Manufactured Housing Overlay. The site is located on the south side of Lake Ramsey Road, East of Beverly Road, being Lot 61, Lake Ramsey Heights Subdivision, Covington.

Zoning History

Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
10-2234	Unknown – Comprehensive Rezoning	A-2 Suburban District

Compatibility or Suitability with Adjacent Area

2. Table 2: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Residential	A-2 Suburban District
South	Undeveloped and Residential	A-2 Suburban District
East	Residential	A-2 Suburban District
West	Undeveloped and Residential	A-2 Suburban District

3. Some parcels located in the vicinity of the subject property that have been rezoned to MHO Manufactured Housing Overlay, see below list:
 - **Karrie Lane:**
 1. Ord. No. 17-3662
 - **Charlene Lane:**
 1. Ord. No. 11-2251
 2. Ord. No. 22-4844
 - **Corner of Elaine Lane and Stephanie Lane:**
 1. Ord. No.17-3802
 - **Stephanie Lane**
 1. Ord. No. 19-4166
 2. Ord. No. 12-2689



ZONING STAFF REPORT
2022-3136-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

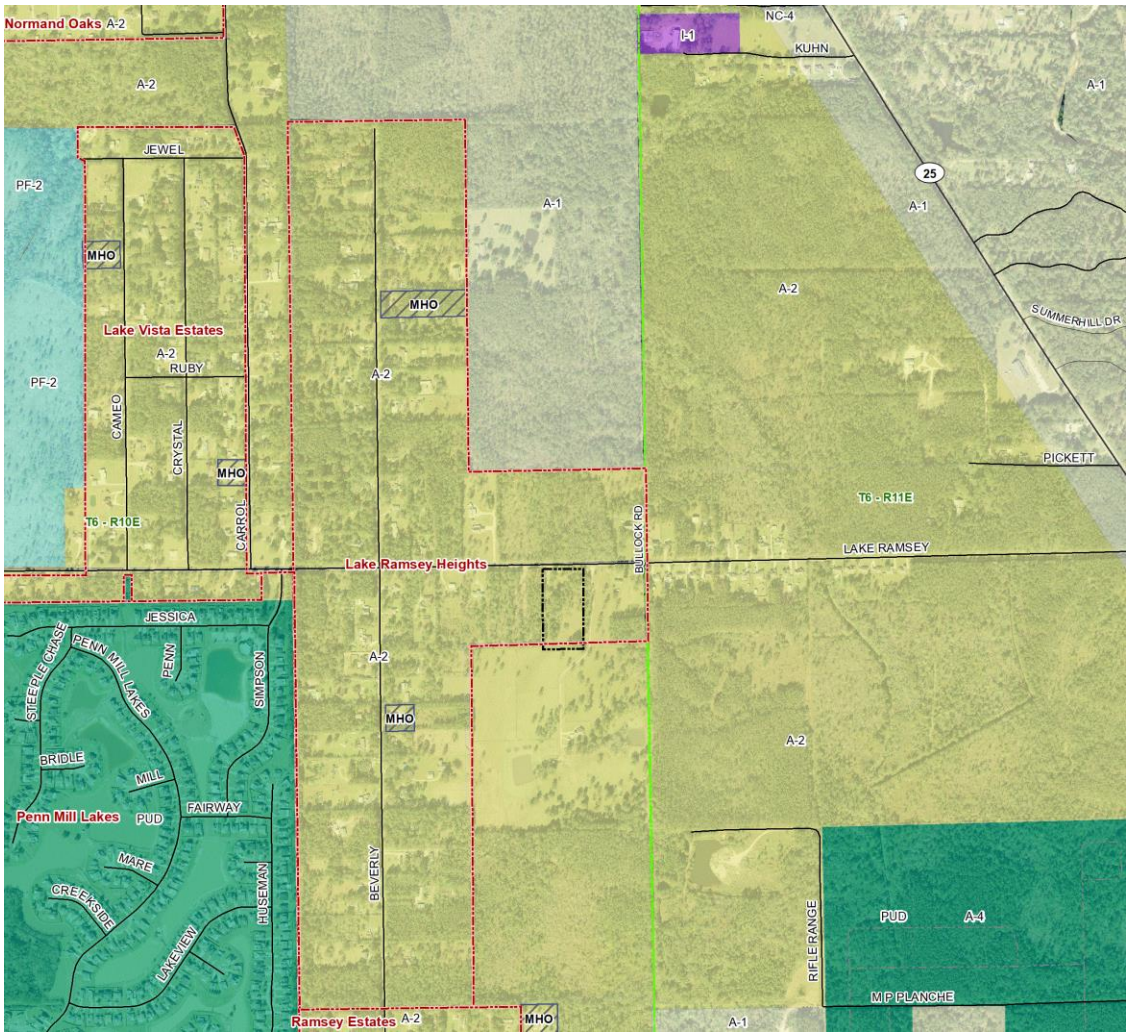
- 4. The site and structure provisions of the A-2 Suburban District allow for a minimum of 1-acre parcel size with a density of one dwelling unit per acre.
- 5. If approved, the applicant can apply for building permits to place a maximum of 3 mobile homes on the parcel.

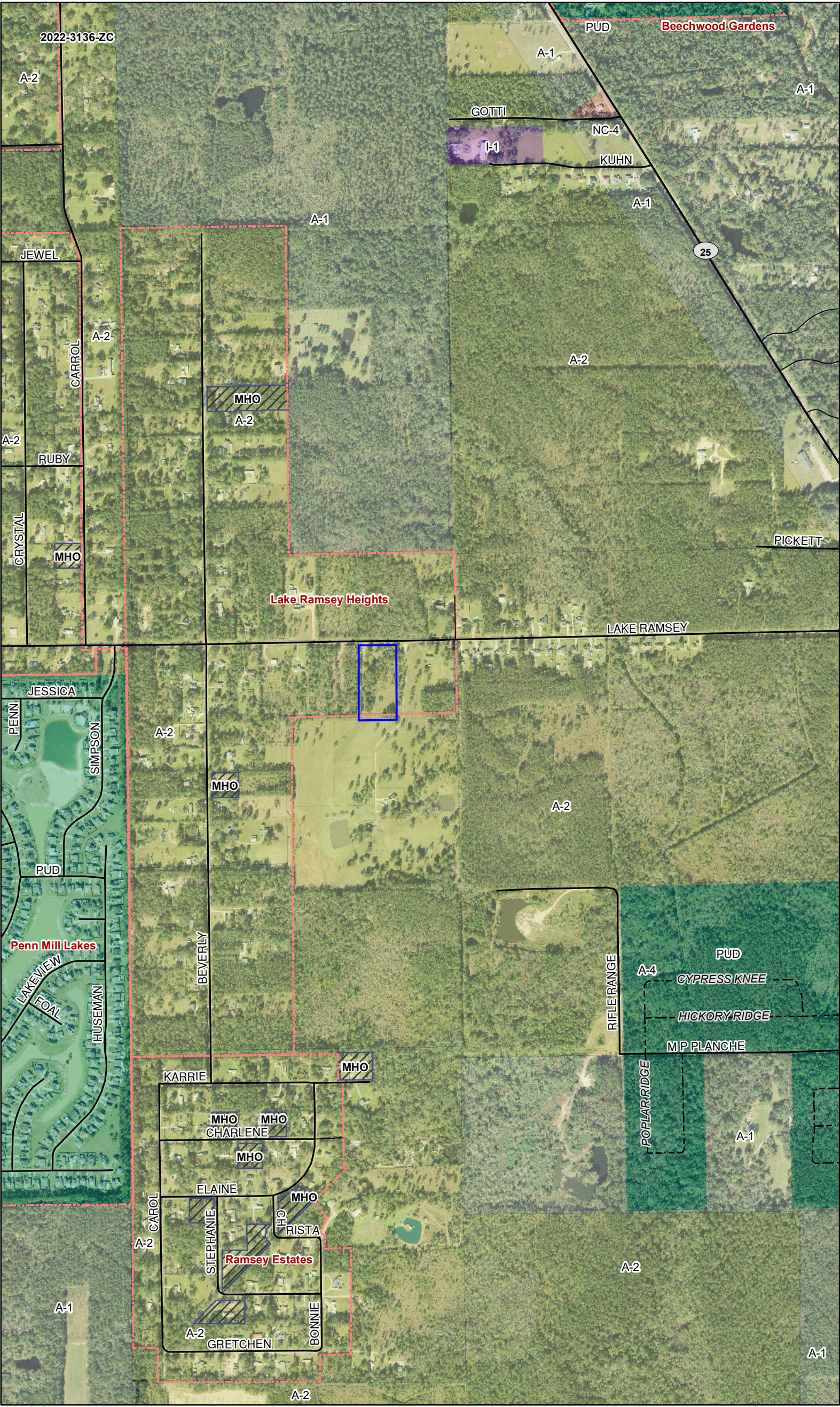
Consistency with New Directions 2040

Residential: Medium-Intensity: Medium Intensity neighborhoods include a broader mix of large and small lots but remain predominantly, single-family detached homes. Attached homes such as townhomes and 2-unit homes, as well as assisted living centers may fit into the character of Medium Intensity Residential Neighborhoods. The higher density of development makes central water and sewer more practical than on-site water and wastewater systems, and infrastructure like sidewalks, subsurface drainage, and street lighting are more common. These areas are appropriate buffers between Rural or Low Intensity Residential Neighborhoods and High Intensity Residential Neighborhoods or Commercial and Institutional areas.

The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:

- i. Goal 1.8: A variety of safe, affordable, and attractive housing types will meet the needs of our diverse community.
- ii. Goal 1.3: The character of existing residential areas, expansive rural landscapes, and sensitive ecological areas will be preserved.

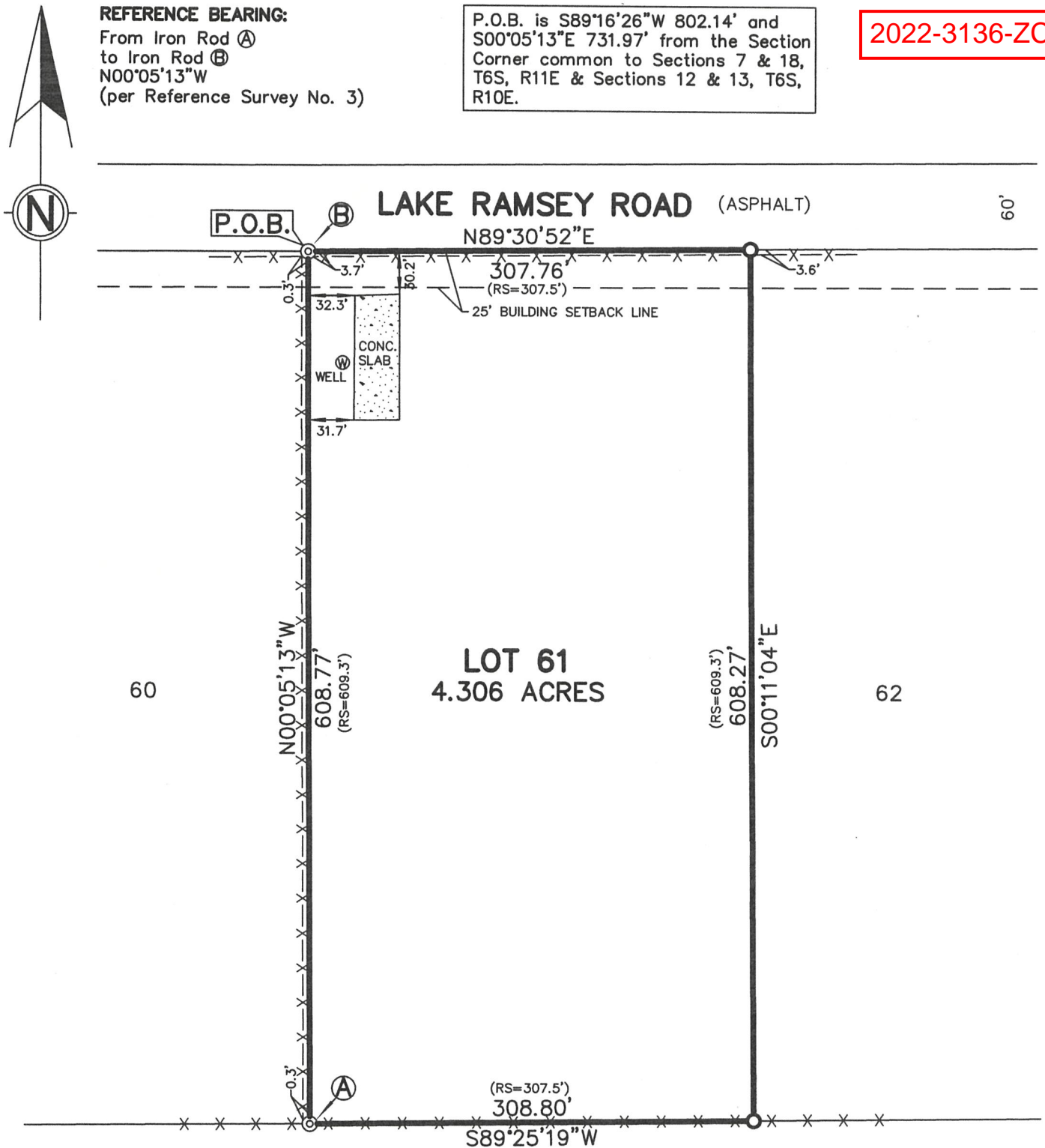




REFERENCE BEARING:
From Iron Rod (A)
to Iron Rod (B)
N00°05'13"W
(per Reference Survey No. 3)

P.O.B. is S89°16'26"W 802.14' and
S00°05'13"E 731.97' from the Section
Corner common to Sections 7 & 18,
T6S, R11E & Sections 12 & 13, T6S,
R10E.

2022-3136-ZC



LEGEND

- = 1/2" IRON PIPE FOUND
⊙ = 1/2" IRON ROD FOUND
RS = REFERENCE SURVEY NO. 1
-X- = FENCE

NOTES:

- This property is located in Flood Zone C, per F.E.M.A. Map No. 225205 0125 C, dated October 17, 1989.
- Building Setback Lines must be verified by the St. Tammany Parish Planning Department.

THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND/OR RESTRICTIONS HAVE BEEN SHOWN HEREON. ANY SERVITUDES AND/OR RESTRICTIONS SHOWN ON THIS PLAT ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION AND/OR INFORMATION FURNISHED THE UNDERSIGNED. A TITLE OR PUBLIC RECORD SEARCH FOR SUCH INFORMATION WAS NOT MADE BY THE UNDERSIGNED IN COMPILING DATA FOR THIS SURVEY.

REFERENCE SURVEYS:

- Plat of Lake Ramsey Heights by Eddie J. Champagne, Surveyor, filed in the St. Tammany Parish Clerk of Court Map File No. 1293.
- Survey for Gerald Moise by John G. Cummings, Surveyor, dated 12/09/2014, Job No. 98139-A.
- Survey for Luke Beene Lucero by John G. Cummings, Surveyor, dated 08/04/2021, Job No. 21158.

(985) 892-1549

John G. Cummings and Associates
PROFESSIONAL LAND SURVEYORS

FAX (985) 892-9250

503 N. JEFFERSON AVENUE

COVINGTON, LA 70433

PLAT PREPARED FOR: YARITZA GARCIA

SHOWING A SURVEY OF: LOT 61, LAKE RAMSEY HEIGHTS, LOCATED IN SECTION 13, TOWNSHIP 6 SOUTH, RANGE 10 EAST, ST. TAMMANY PARISH, LOUISIANA.

THIS PLAT REPRESENTS A PHYSICAL SURVEY MADE ON THE GROUND BY ME, OR THOSE UNDER MY DIRECTION, AND IS IN ACCORDANCE WITH THE APPLICABLE STANDARDS OF PRACTICE AND BEARS A CLASS C SURVEY.

PROFESSIONAL LAND SURVEYOR



SCALE: 1" = 100'

JOB NO. 22233

DATE: 11/08/2022

REVISED:



ZONING STAFF REPORT
2022-3139-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

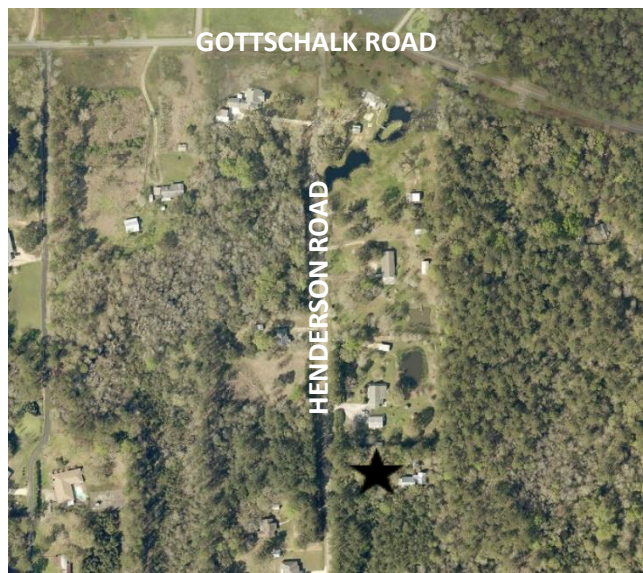
985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Location: Parcel located on the east side of Henderson Road, south of Gottschalk Road, Covington; S18, T6S, R10E; Ward 1, District 3
Council District: 3

Owner: Kimberly Jarrell
Posted: December 9, 2022

Applicant: Kimberly Jarrell
Commission Hearing: January 3, 2023

Size: 1-acre
Determination: Approved, Denied, Postponed



Current Zoning

A-1 Suburban District

Requested Zoning

A-2 Suburban District

Future Land Use

Residential: Low-Intensity

Flood Zone

Effective Flood Zone C

Preliminary Flood Zone X

Critical Drainage:

No

Findings

1. The petitioner is requesting to change the zoning classification from A-1 Suburban District to A-2 Suburban District. The site is located on the east side of Henderson Road, south of Gottschalk Road, Covington.

Zoning History

Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
09-2116	Unknown – Comprehensive Rezoning	A-1 Suburban District

Compatibility or Suitability with Adjacent Area

2. Table 2: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Residential	A-1 Suburban District
South	Undeveloped & Residential	A-1 Suburban District
East	Undeveloped & Residential	A-1 Suburban District
West	Residential	A-1 Suburban District

3. Table 3: Zoning District Comparison

Zoning District	Max. Density/Min. Lot Area
A-1 Suburban District (Existing)	One unit per five acres
A-2 Suburban District (Proposed)	One unit per acre

4. The subject property is currently undeveloped and is flanked by A-1 Suburban District Zoning on all sides. The parent tract totals 6 acres which meets the minimum parcel size for the A-1 Suburban District. The applicant would like to apply for a subsequent minor subdivision to separate one acre from the larger 6-acre tract, creating a 1-acre parcel which meets the minimum lot size requirements under the requested A-2 Suburban District zoning classification and a 5-acre parcel which meets the minimum lot size requirements under the existing A-1 Suburban District zoning classification.



ZONING STAFF REPORT
2022-3139-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

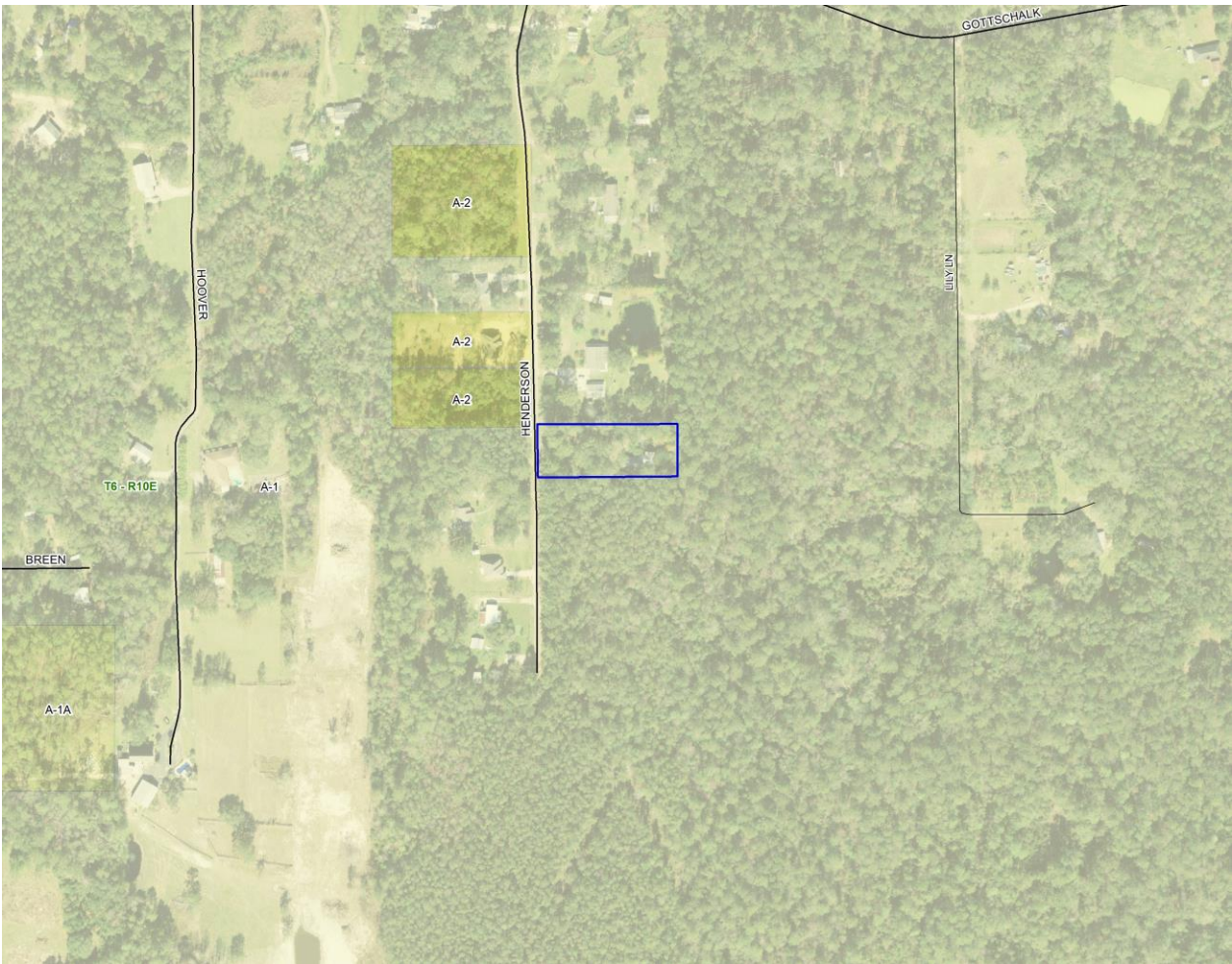
PLANNING & DEVELOPMENT
Ross Liner
Director

Consistency with New Directions 2040

Residential: Low-Intensity: Predominantly single family, detached homes on very large lots. The lower residential density creates a more spacious character appropriate as a transition between the Parish’s Rural or Conservation areas and more intense land uses. The dispersed development pattern makes public services and amenities less efficient and more expensive to provide, and so residents typically must travel farther to access them.

The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:

- i. Goal 1.8: A variety of safe, affordable, and attractive housing types will meet the needs of our diverse community.
- ii. Goal 1.3: The character of existing residential areas, expansive rural landscapes, and sensitive ecological areas will be preserved.





A Minor Subdivision of Parcel B-1 into
Parcel B-1A & B-1B in Section 18, T-6-S,
R-10-E, St. Tammany Parish, Louisiana

Final Approval:

PRELIMINARY

Chairman, Planning Commission

Secretary, Planning Comm.

Director, Dept. of Engineering

Clerk of Court

Date Filed

Map File No.

Reference:

- 1) A Survey by Lowell E. Cummings dated 7-14-1971 for Thomas M. Brown
- 2) A Survey by H.C. Sanders dated 11-22-1976 #ST-76-374
- 3) A Survey by John Cummings dated 4-18-2001 #0211A
- 4) Survey by Kelly McHugh dated 7-14-1998 #98-210
- 5) Survey by Jeron Fitzmorris dated 5-10-1985 in Inst. #583408 Clerks Office
- 6) Survey by Jeron Fitzmorris dated 6-29-1982 in Inst. #493720 Clerk of Court Office (Base Bearings)
- 7) Survey by Land Surveying, LLC Map File No. 6109C filed in Clerk of Court office, St. Tammany Parish, LA
- 8) Survey by Land Surveying, LLC Map File No. 6166A filed in Clerk of Court office, St. Tammany Parish, LA

Reference calls not shown

The P.O.B. is described as being S31°51'W-631.76'; S00°22'W-1320.0' from the 1/4 Section Corner common to Sections 7 & 18, T-6-S, R-10-E, St. Tammany Parish, La. (as per Ref 6)

Note: Powerlines along Henderson Road are not shown

PRELIMINARY

(Must verify prior to Construction)

Building Setbacks

Front:

Side:

Rear:

Side Street:

This is a preliminary document and should not be used for construction, bidding, recordation, conveyance, sales, or as the basis for the issuance of a permit

Line Table:

L1=N89°34'47"E-330.00'-Total

L2=S89°34'47"W-329.86'-Total

Legend:

- = Fnd. 1/2" Iron Rod
- = Fnd. 3/4" Triangle Iron Rod
- = Fnd. 5/8" Iron Rod
- = Set 1/2" Iron Rod
- X- = Fence

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS.

THIS MAP IS IN ACCORDANCE WITH THE STANDARD DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A "D" SURVEY AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46:104.

MAP PREPARED FOR **KIMBERLY JARRELL**

SHOWN A SURVEY MADE OF PROPERTY LOCATED IN SECTION 18, TOWNSHIP 6 SOUTH, RANGE 10 EAST, ST. TAMMANY PARISH, LOUISIANA

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED: SIGNATURE AND STAMPED SEAL MUST BE IN RED OR THIS PLAT IS NOT A TRUE COPY.

LAND SURVEYING LLC

518 N. Columbia Street, Covington, LA 70433
(985) 842-6277 office (985) 840-0355 fax
landsurveyingllc@gmail.com

CERTIFIED CORRECT

PRELIMINARY

BRUCE M. BUTLER, III
LOUISIANA PROFESSIONAL LAND SURVEYOR
LICENSE NO. 4894

SCALE: 1" = 200'

DATE: 10-12-2022

NUMBER: 20995



ZONING STAFF REPORT
2022-3146-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Location: Parcel located on the north side of Fitzgerald Church Road, East of U F Keating Road, Covington; S28, T5, R11E; Ward 2, District 6
Council District: 6

Owner: Stefan Montgomery
Posted: December 9, 2022

Applicant: Stefan Montgomery
Commission Hearing: January 3, 2023

Size: 6.957 acres
Determination: Approved, Denied, Postponed



Current Zoning

A-1 Suburban District

Requested Zoning

A-2 Suburban District

Future Land Use

Rural & Agriculture

Flood Zone

Effective Flood Zone C

Preliminary Flood Zone X

Critical Drainage: No

Findings

1. The petitioner is requesting to change the zoning classification from A-1 Suburban District to A-2 Suburban District. The site is located on the north side of Fitzgerald Church Road, East of U F Keating Road, Covington.

Zoning History

Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
10-2234	Unknown	A-1 Suburban District

Compatibility or Suitability with Adjacent Area

2. Table 2: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Residential	A-1 Suburban District
South	Undeveloped & Residential	A-1 Suburban District
East	Residential	A-1 Suburban District
West	Residential	A-1 Suburban District

3. The subject property is currently undeveloped and is flanked by properties zoned A-1 Suburban District Zoning on all sides. The parcel presently consists of 6.957 total acres which meets the minimum parcel size for the A-1 Suburban District, which is 5 acres. As such, the applicant is currently allowed to place one dwelling unit on the site, per the A-1 Suburban District density allowances.
4. The requested A-2 Suburban District allows for one-acre parcel sizes with an allowable density of one unit per acre. If approved, the applicant will be able to apply to place 4 dwelling units on the property (with the fifth and sixth triggering the full subdivision procedure), or be able to subdivide the property into a variety of configurations.



ZONING STAFF REPORT
2022-3146-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

5. Table 3: Zoning Classification Comparison

Zoning Classification	Minimum Lot Size & Density	Purpose
A-1 Suburban District	Minimum 5-acre parcel size 1 Dwelling unit per every five 5 acres	The A-1(D) Suburban District is intended to provide a single-family residential environment at a low-density level. The A-1(D) district is located primarily in less populated areas where the character of the area should be preserved through low densities.
A-2 Suburban District	Minimum 1-acre parcel size 1 Dwelling unit per every 1 acre	The A-2(D) Suburban District is intended to provide a single-family residential environment on large, multi-acre lots. The A-2(D) district is located primarily in less populated areas where the character of the area should be preserved through low densities.

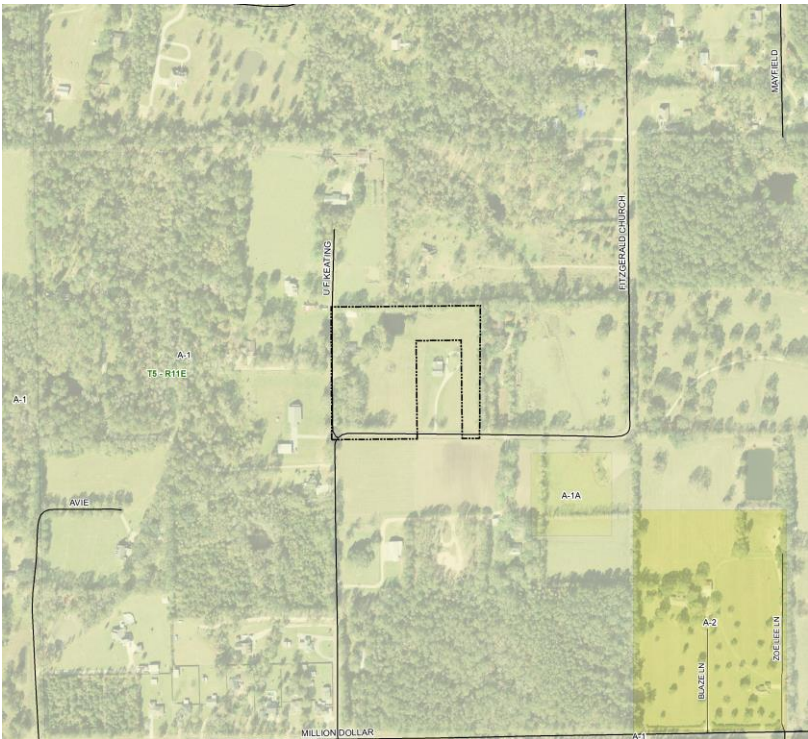
6. Per the application, the purpose of the request is to allow to create four 1+ acre lots.

Consistency with New Directions 2040

Rural & Agriculture: areas include mostly very low intensity uses in non-urbanized areas, such as agriculture, horse farms, timberlands, ranches, and very large single-family lots typically larger than three acres. No large traffic generators or noisy or pollution causing uses are located in Rural and Agricultural areas. Low-capacity country roads—typically two-lanes—serve these areas. Septic systems and wells are typical. The Parish’s abundant rural areas provide ample space for low-intensity uses, offering residents privacy and access to the outdoors. The countryside also fosters a number of commercial activities, such as production farms, horse boarding, and lumber harvesting. The Rural and Agricultural category includes these commercial uses, as well as small rural-serving businesses such as small groceries, gas stations, restaurants, and auto repair shops. St. Tammany’s countryside supports a growing tourism industry, whose businesses in this area include bed and breakfasts, retreat centers, nature tours, and “u-pick” farms.

The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:

- i. Goal 1.8: A variety of safe, affordable, and attractive housing types will meet the needs of our diverse community.
- ii. Goal 1.3: The character of existing residential areas, expansive rural landscapes, and sensitive ecological areas will be preserved.



2022-3146-ZC

OLD BARKER

FITZGERALD CHURCH

UP KEATING

A-1

28

T5 - R11E

AVIE

A-1A

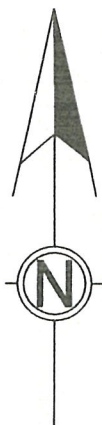
A-2

BLAZE

MILLION DOLLAR

A-1

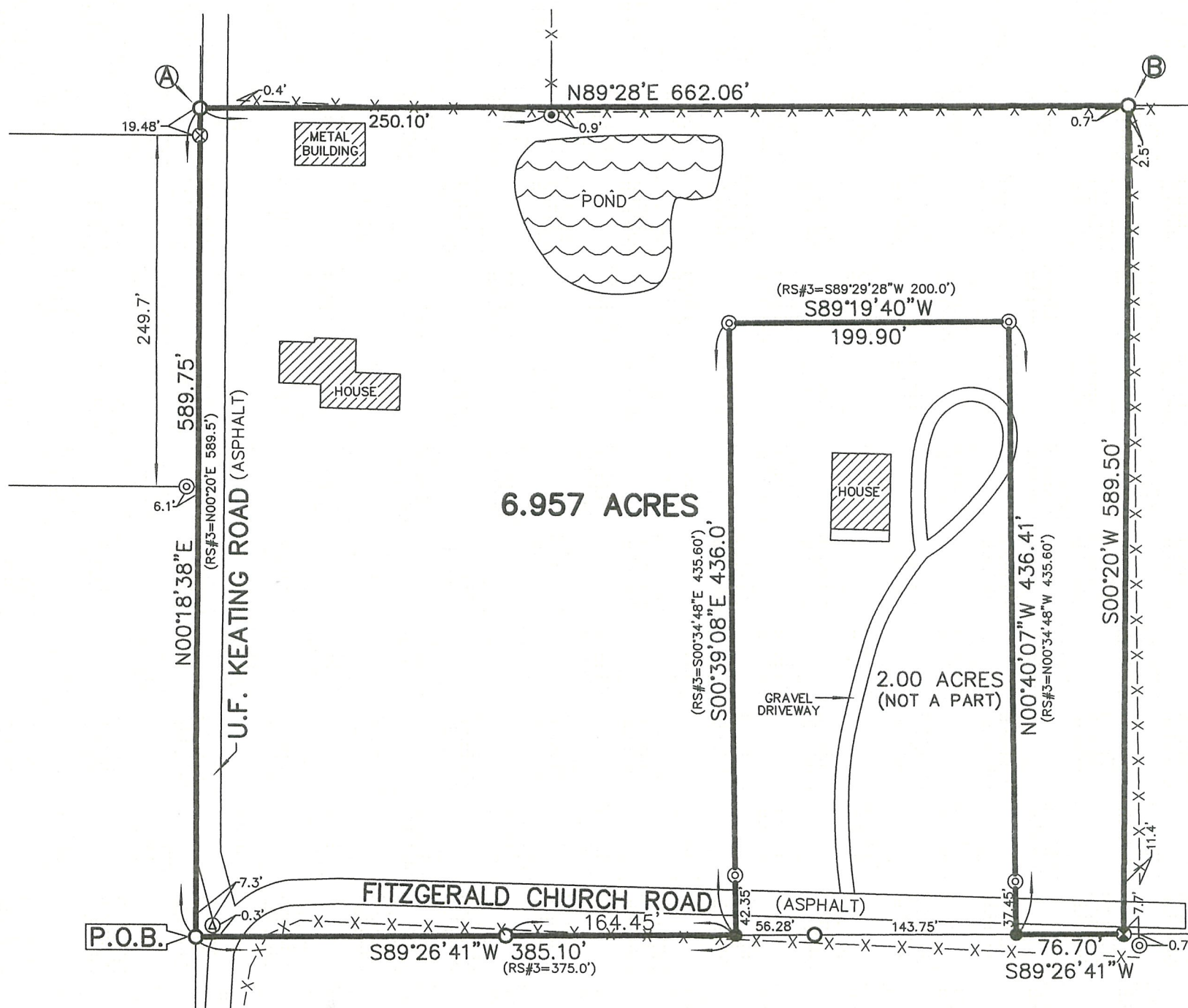
33



REFERENCE BEARING:
From Iron Rod A
to Iron Rod B
N89°28'E
(per Reference Survey No. 2.)

LEGEND

- = 3/8" IRON ROD FOUND
- ⊗ = 1-1/2" IRON PIPE FOUND
- ⊙ = 1/2" IRON ROD FOUND
- ⦿ = 2" IRON PIPE FOUND
- = FENCE CORNER POST
- Ⓐ = MAGNETIC NAIL FOUND
- ⊗ = 1/2" IRON ROD SET
- RS = REFERENCE SURVEY



P.O.B. is reported to be East 1320.0'
N00°20'E 1320.0' from the Section
Corner common to Sections 28, 29,
32, & 33, T5S, R11E.

NOTES:

- This property is located in Flood Zone C,
per F.E.M.A. Map No. 225205 0150 C,
dated October 17, 1989.
- Building Setback Lines must be determined by
the St. Tammany Parish Planning Department.

THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND/OR
RESTRICTIONS HAVE BEEN SHOWN HEREON. ANY SERVITUDES AND/OR
RESTRICTIONS SHOWN ON THIS PLAT ARE LIMITED TO THOSE SET FORTH
IN THE DESCRIPTION AND/OR INFORMATION FURNISHED THE UNDERSIGNED.
A TITLE OR PUBLIC RECORD SEARCH FOR SUCH INFORMATION WAS NOT MADE
BY THE UNDERSIGNED IN COMPILING DATA FOR THIS SURVEY.

REFERENCE SURVEYS:

- Survey of land located in Section 28, Township 5 South, Range 11 East, by
C. R. Schultz, Surveyor, dated July 24, 1964.
- Survey for R.T. Keating by C.R. Schultz, Surveyor, dated August 17, 1964.
- Survey for Camille Keating Reeves by Ned R. Wilson, Surveyor, dated September
4, 1980.
- Survey for Sherri Spell wife of and Stefan Montgomery by Bruce W. Pope,
Surveyor, dated August 13, 1999, revised December 20, 1999.
- Survey for Rodney Keating by Bruce M. Butler, III, Surveyor, dated April 8, 2020,
Job No. 19792.

503 N. JEFFERSON AVENUE
COVINGTON, LA 70433

JOHN G. CUMMINGS & ASSOCIATES
PROFESSIONAL LAND SURVEYORS

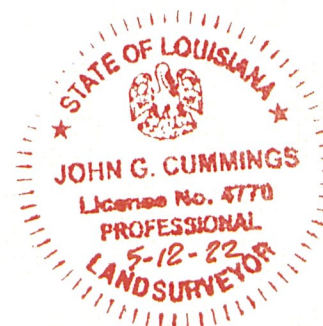
PHONE (985) 892-1549
FAX (985) 892-9250

PLAT PREPARED FOR: **STEFAN MONTGOMERY**

SHOWING A SURVEY OF: **A PARCEL OF LAND LOCATED IN SECTION 28, TOWNSHIP
5 SOUTH, RANGE 11 EAST, ST. TAMMANY PARISH,
LOUISIANA.**

THIS PLAT REPRESENTS A PHYSICAL SURVEY MADE ON
THE GROUND BY ME, OR THOSE UNDER MY DIRECTION,
AND IS IN ACCORDANCE WITH THE APPLICABLE STANDARDS
OF PRACTICE AND BEARS A CLASS C SURVEY.

PROFESSIONAL LAND SURVEYOR



SCALE: 1" = 100'

JOB NO. 21237-A

DATE: 05/12/2022

REVISED:



ZONING STAFF REPORT
2022-3151-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

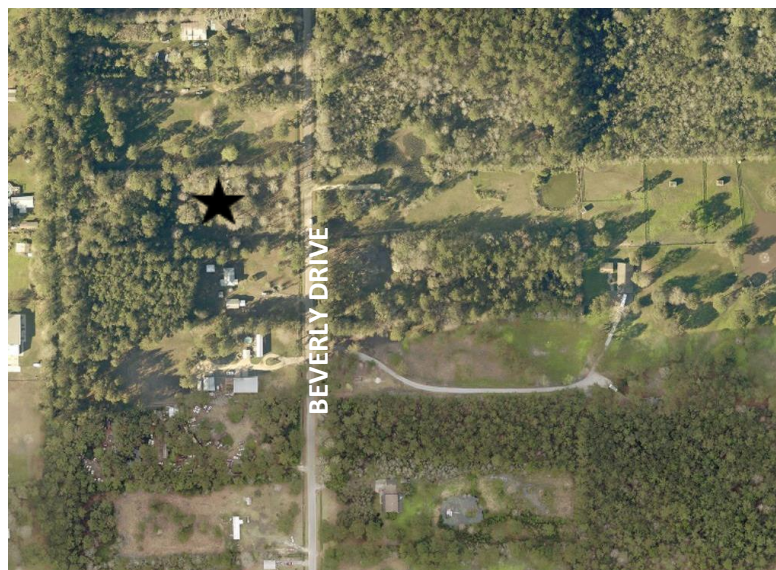
985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Location: Parcel located on the west side of Beverly Drive, north of Lake Ramsey Road, Covington; S12, T6S, R10E; Ward 3, District 3
Council District: 3

Owner: Mitzi Eliza Crain-Dillon
Posted: December 9, 2022

Applicant: Mitzi Eliza Crain-Dillon and Titus Levell Dillon
Commission Hearing: January 3, 2023

Size: 2.846 acres
Determination: Approved, Denied, Postponed



Current Zoning

A-2 Suburban District

Requested Zoning

A-2 Suburban District
MHO Manufactured Housing Overlay

Future Land Use

Rural & Agriculture

Flood Zone

Effective Flood Zone C
Preliminary Flood Zone X

Critical Drainage: No

Findings

1. The petitioner is requesting to change the zoning classification from A-2 Suburban District to A-2 Suburban District and MHO Manufactured Housing Overlay. The site is located on the west side of Beverly Drive, north of Lake Ramsey Road, Covington.

Zoning History

Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
10-2234	10-2234 – Comprehensive Rezoning	A-2 Suburban District

Compatibility or Suitability with Adjacent Area

2. Table 2: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Residential	A-2 Suburban District
South	Residential	A-2 Suburban District
East	Residential	A-2 Suburban District
West	Residential	A-2 Suburban District

1. The subject property is currently undeveloped and is comprised of 6.9570 acres within the Lake Ramsey Heights Subdivision. Some parcels located in the vicinity of the subject property that have been rezoned to MHO Manufactured Housing Overlay, see below list:
 - **Karrie Lane:**
 1. Ord. No. 17-3662
 - **Charlene Lane:**
 1. Ord. No. 11-2251
 2. Ord. No. 22-4844
 - **Corner of Elaine Lane and Stephanie Lane:**
 1. Ord. No.17-3802
 - **Stephanie Lane**
 1. Ord. No. 19-4166
 2. Ord. No. 12-2689



ZONING STAFF REPORT
2022-3151-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

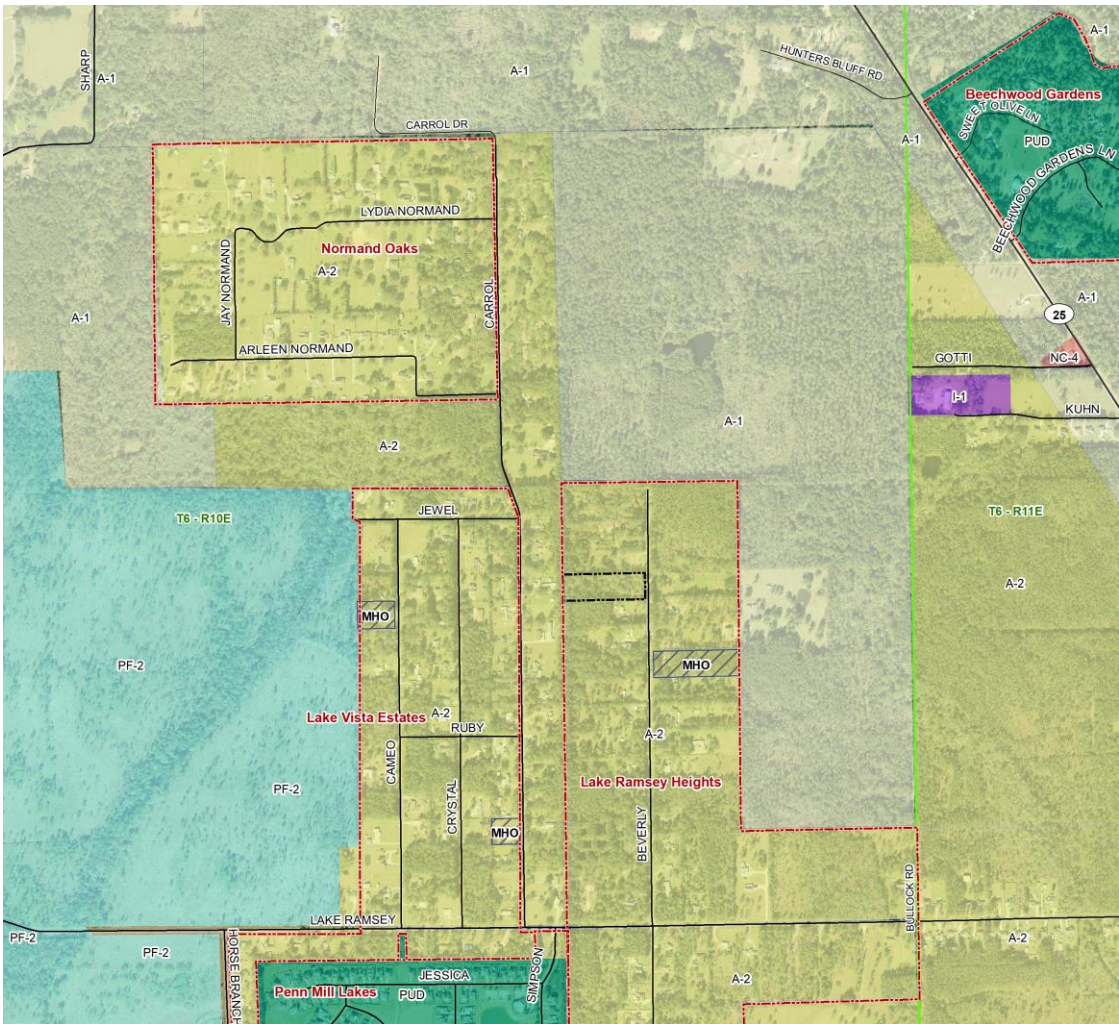
- 2. The site and structure provisions within the A-2 Suburban District require a 1-acre minimum parcel size and allows a density of one dwelling unit per acre.
- 3. If approved, the applicant will be able to apply for a building permit to place a maximum of 2 mobile homes on the parcel.

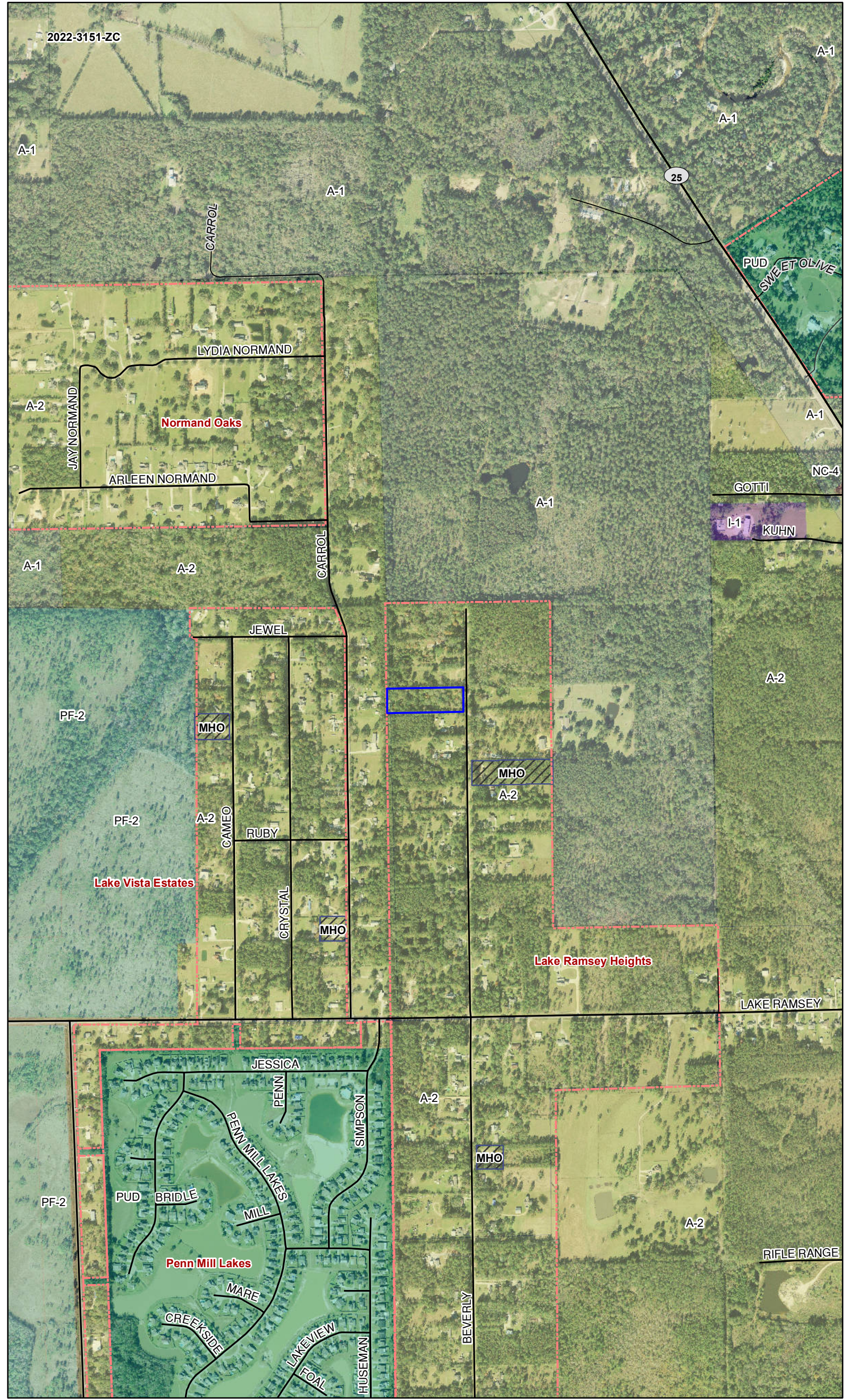
Consistency with New Directions 2040

Rural & Agriculture: areas include mostly very low intensity uses in non-urbanized areas, such as agriculture, horse farms, timberlands, ranches, and very large single-family lots typically larger than three acres. No large traffic generators or noisy or pollution causing uses are located in Rural and Agricultural areas. Low-capacity country roads—typically two-lanes—serve these areas. Septic systems and wells are typical. The Parish’s abundant rural areas provide ample space for low-intensity uses, offering residents privacy and access to the outdoors. The countryside also fosters a number of commercial activities, such as production farms, horse boarding, and lumber harvesting. The Rural and Agricultural category includes these commercial uses, as well as small rural-serving businesses such as small groceries, gas stations, restaurants, and auto repair shops. St. Tammany’s countryside supports a growing tourism industry, whose businesses in this area include bed and breakfasts, retreat centers, nature tours, and “u-pick” farms.

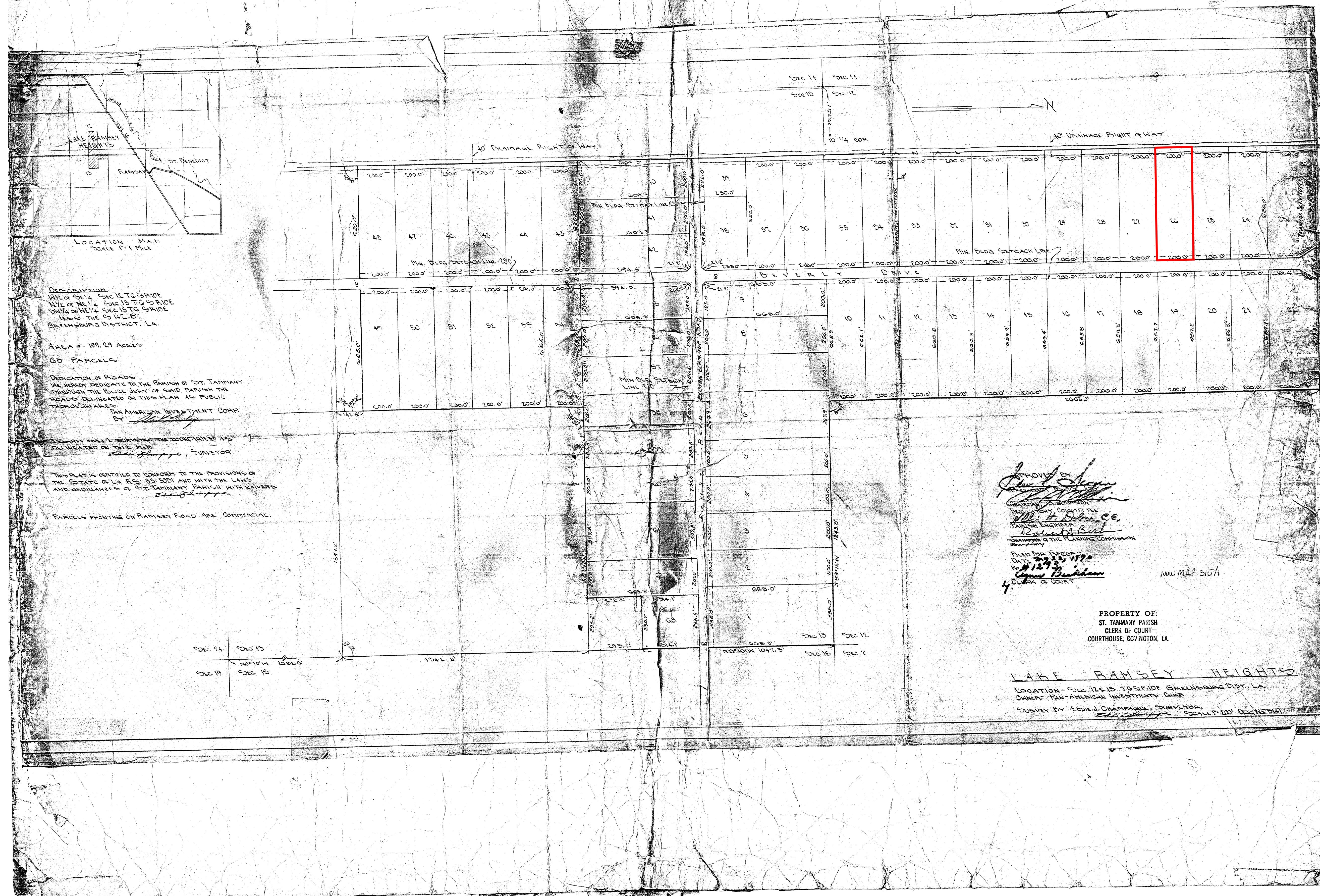
The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:

- i. Goal 1.8: A variety of safe, affordable, and attractive housing types will meet the needs of our diverse community.
- ii. Goal 1.3: The character of existing residential areas, expansive rural landscapes, and sensitive ecological areas will be preserved.





Subject Property





ZONING STAFF REPORT
2022-3152-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Location: Parcel located at the southeast intersection of 4th Street and LA Highway 36, Abita Springs; S42, T6S, R11E; Ward 3, District 2
Council District: 2
Owner: Susan Gasen and Sheri Graham
Posted: December 7, 2022
Applicant: Susan Gasen and Sheri Graham
Commission Hearing: January 3, 2023
Size: .25 acres
Determination: Approved, Denied, Postponed



Current Zoning
A-4A Single-Family Residential District
Requested Zoning
HC-1 Highway Commercial District
Future Land Use
Commercial
Flood Zone
Effective Flood Zone C
Preliminary Flood Zone AE
Critical Drainage: Yes

Findings

1. The petitioner is requesting to change the zoning classification from A-4A Single-Family Residential District to HC-1 Highway Commercial District. The site is located at the southeast intersection of 4th Street and LA Highway 36, Abita Springs.

Zoning History

Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
97-067	SA Suburban Agriculture	C-1 Commercial
10-2234	C-1 Commercial	A-4A Single-Family Residential District

Compatibility or Suitability with Adjacent Area

2. Table 2: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Commercial & Residential	NC-4 Neighborhood Institutional District
South	Undeveloped & Residential	A-4A Single-Family Residential District
East	Residential	A-4A Single-Family Residential District
West	Residential	A-4A Single-Family Residential District

3. The purpose of the existing A-4A Single-Family Residential District is to provide single-family residential dwellings in a setting of moderate urban density.
4. The purpose of the requested HC-1 Highway Commercial District is to provide for the location of limited-scale highway commercial uses, generally located along major collectors and arterials designed to provide services to a portion of the Parish.



ZONING STAFF REPORT
2022-3152-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

5. The site was previously rezoned by the St. Tammany Council in 1997 from SA to C-1 Commercial, and rezoned to its residential classification during comprehensive rezoning.

6. Allowable uses within the HC-1 Highway Commercial District include the following:

Any uses permitted in the NC Districts and: Automotive parts stores, Business college or business schools operated as a business enterprise, Catering establishments, Department stores, Funeral homes and mausoleums, Instruction of fine arts, Physical culture and health establishments, Enclosed plumbing, electrical and home building supply showrooms and sales centers with associated assembly processes, Printing, lithography and publishing establishments, Wholesale merchandise broker/agent including associated offices and indoor storage facilities. Any warehousing uses provided shall not exceed 3,000 square feet. However, if more than one use occupies a building, the entire building shall not exceed 9,000 square feet gross floor area, Drug stores, Dry cleaning, laundries and self-service laundries, Food stores, Public parking lots and garages, Single-family dwelling units above the first floor in a building designed for business uses. Dwelling units shall not exceed one story in height, Veterinary clinics (no outdoor kennels), Public or private auditoriums, Restaurants and restaurants with lounges, Car wash, Warehouse and distribution centers and associated uses such as offices and retail sales with a maximum of combined uses totaling 9,000 square feet or less of gross floor area, Indoor research and testing laboratories, Specialty food processing.

Consistency with New Directions 2040

Commercial: areas are concentrations of offices, retailers, services, and other employers that generate varying levels of traffic. They range from small clusters of neighborhood-serving uses such as personal care and convenience goods, to large-scale retail centers that employ hundreds and attract thousands of shoppers, to office complexes that employ workers commuting from around Southeast Louisiana and Mississippi. Higher density housing, such as garden apartments and condominiums, may also be located amid Commercial Areas with appropriate buffering to protect resident safety and health. Commercial use intensities correspond to the capacity of infrastructure available to support it.

The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:

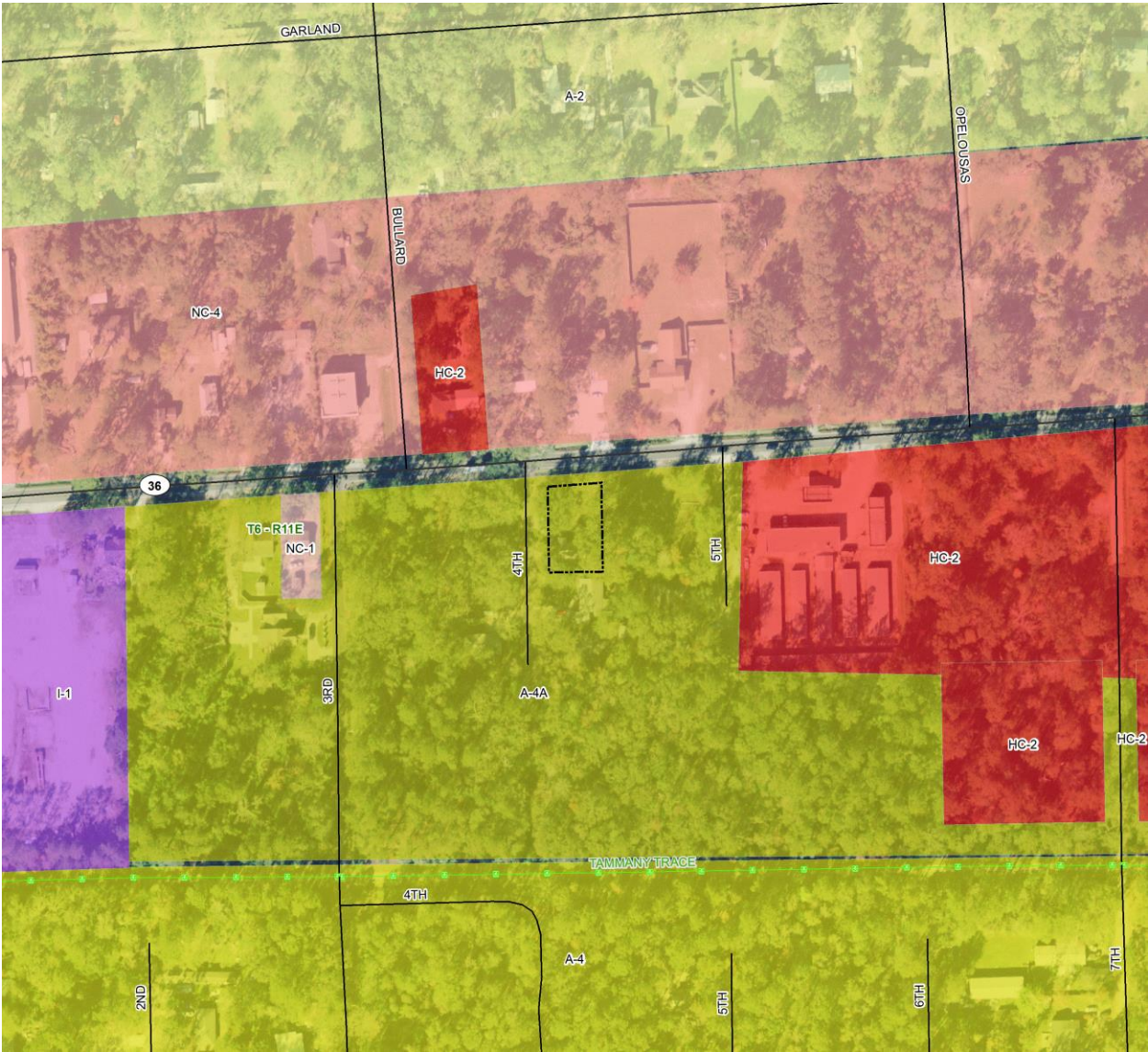
- i. Strategy 1:5:2 Locate high intensity land uses adjacent to high capacity transportation corridors.
- ii. Goal 5.1: The Parish will designate adequate land served by supporting infrastructure for use by businesses and industries seeking to begin or expand.



ZONING STAFF REPORT
2022-3152-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director



2022-3152-ZC

A-2

NC-4

BULLARD

HC-2

36

T6 - R11E

42

NC-1

4TH

5TH

HC-2

A-4A

TAMMANY TRACE

4TH

A-4

3RD

5TH



ZONING STAFF REPORT
2022-3153-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Location: Parcel located on the northwest corner of LA Highway 22 and Belle Pointe Drive, Madisonville; S16, T7S, R10E; Ward 1, District 1
Council District: 1
Owner: Duane and Connie Superneau
Posted: December 7, 2022
Applicant: Duane and Connie Superneau
Commission Hearing: January 3, 2023
Size: .633 acres
Determination: Approved, Denied, Postponed



Current Zoning
HC-1 Highway Commercial District
Requested Zoning
HC-2 Highway Commercial District
Future Land Use
Mixed-Use
Flood Zone
Effective Flood Zone C
Preliminary Flood Zone X
Critical Drainage: No

Findings

- 1. The petitioner is requesting to change the zoning classification from HC-1 Highway Commercial District to HC-2 Highway Commercial District. The site is located on the northwest corner of LA Highway 22 and Belle Pointe Drive, Madisonville.

Zoning History

Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
85-034B	Unknown	C-2 Commercial
09-2116	C-2 Commercial	HC-1 Highway Commercial District

Compatibility or Suitability with Adjacent Area

2. Table 2: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Residential	A-4 Single-Family Residential District (Belle Pointe Subdivision)
South (Across Hwy 22)	Commercial	HC-2 Highway Commercial District
East	Undeveloped	HC-1 Highway Commercial District
West	Commercial	HC-1 Highway Commercial District

- 3. The subject property is currently undeveloped and is flanked by commercially-zoned properties of various intensities on all sides, except to the north where the Belle Pointe residential subdivision is situated.
- 4. Based on the typical rezoning pattern for the property situated along Highway 22 which is east of Highway 1085 and west of Perrilloux Road, there appears to be a majority of parcels that were either rezoned to accommodate commercial uses during the 2009 Comprehensive Rezoning or rezoned via submission of an application to the Zoning Commission and Parish Council. The current zoning patterns and associated zoning maps suggest that this section of Highway 22



ZONING STAFF REPORT
2022-3153-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

appears to be trending towards various levels of highway commercial zoning classifications which allow for commercial uses of various intensities.

5. The petitioner has submitted two concurrent applications for building permits to construct a yoga studio (2022-2383) and coffee shop (2022-3594) on the property. This includes the submittal of a traffic study, a hydrological analysis, civil and landscape plans, a DOTD driveway permit, and verification of connection to community sewer and water through Magnolia Water. The applicant has worked closely with staff to obtain the required approval through all Parish reviewing agencies and in addition, has worked closely with the adjacent Belle Pointe neighborhood to mitigate any impacts of the commercial development including:
- a. Providing a 25 ft. no cut-landscape buffer where a 10 ft. no cut buffer is required along the rear of the property
 - b. Providing a 94 ft. building setback where a 25 ft. building setback is required along the rear of the property
 - c. Providing a 190 ft. building setback where a 25 ft. building setback is required along the eastern portion of the property

6. Table 3: Community Outreach and Engagement

Year	Effort
2014	Initial efforts to connect with the Belle Pointe Subdivision after establishing the existing Yoga Studio located on Highway 22 across the street from the subject property. Outreach included an initial email offering a free yoga class to all residents of Belle Pointe.
2016	Applicants reached out to the Belle Pointe HOA president to state they had chosen a site for their new studio and would be in greater contact with the residents once their plans were solidified.
2019	Applicant applied for a driveway permit with DOTD which was granted. Applicant worked with Belle Pointe HOA to request that DOTD decrease the speed limit along this stretch of Highway 22 within close proximity to Lancaster Elementary school.
2020	Plans for the development were solidified and shared with the Belle Pointe HOA president.
2021	Zoom meeting was had with the Belle Point HOA president and property management group to discuss development plans to bring everyone up to date on the project.
Current	Applicant is in touch with Belle Point HOA president on current rezoning request needed to complete the project review and obtain building permits.

7. The reason for the request is that the site's existing HC-1 Highway Commercial District does not allow for a drive-thru coffee shop. The applicant is attempting to rezone the portion of the site where the proposed drive-thru coffee shop is located (27%) to allow the use but disallow any other more impactful uses allowable within the HC-2 Highway Commercial District and mitigate any potential impacts to the adjacent neighborhood to the west.
8. Staff has reviewed the applications and approved all plans subject to the current rezoning request.
9. Table 4: Comparison of Zoning Districts

Zoning District	Max. Building Size	Allowable Uses	Purpose
HC-1 Highway Commercial District (Existing)	20,000 sq. ft.	Any uses permitted in the NC Districts and: Automotive parts stores, Business college or business schools operated as a business enterprise, Catering establishments, Department stores, Funeral homes and mausoleums, Instruction of fine arts, Physical culture and health establishments, Enclosed plumbing, electrical and home building supply showrooms and sales centers with associated assembly processes, Printing, lithography and publishing establishments, Wholesale merchandise broker/agent including associated offices and indoor storage facilities. Any warehousing uses provided shall not exceed 3,000 square feet. However, if more than one use occupies a building, the entire building shall not exceed	To provide for the location of limited-scale highway commercial uses, generally located along major collectors and



ZONING STAFF REPORT
2022-3153-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

		9,000 square feet gross floor area, Drug stores, Dry cleaning, laundries and self-service laundries, Food stores, Public parking lots and garages, Single-family dwelling units above the first floor in a building designed for business uses. Dwelling units shall not exceed one story in height, Veterinary clinics (no outdoor kennels), Public or private auditoriums, Restaurants and restaurants with lounges, Car wash, Warehouse and distribution centers and associated uses such as offices and retail sales with a maximum of combined uses totaling 9,000 square feet or less of gross floor area, Indoor research and testing laboratories, Specialty food processing.	arterials designed to provide services to a portion of the parish.
HC-2 Highway Commercial District (Proposed)	40,000 sq. ft.	All uses permitted in the HC-1 Highway Commercial District and: Banks and financial institutions; Convenience stores with gas; Drive-in restaurants; Liquor stores; Any private office use that is a permitted use in the NC district over 20,000 sq. ft.; Clubs, lodges, fraternal and religious institutions, meeting halls (over 20,000 sq. ft.); Veterinary clinics (with outdoor kennels); Parcel post delivery stations; Mini-warehouses; Commercial kennels; Outdoor storage yards that do not occupy an area greater than 50 percent of land area, and are enclosed by an eight-foot opaque perimeter fence, located on the same parcel as, and are accessory to an existing mini-warehouse, not to be located on the street side; Lodging, 100 rooms or less (including apartments, hotels, motels); Automotive sales not to exceed two acres of display and storage; Outdoor retail and storage yards; Potable storage containers use for storage; Outdoor display area of pre-assembles building, pool and playground equipment.	To provide for the location of moderately scaled, more intense retail, office and service uses, generally located along major collectors and arterials designed to provide services to a portion of the parish.

Consistency with New Directions 2040

Mixed-Use: These areas are flexible and appropriate for higher concentration of residential and commercial uses, allowing shorter trips between destinations and opportunities for walkable, compact development patterns. Mixed Use areas are typically located at or near the Parish’s existing hubs of activity and intersections of major roads, as well as along major traffic corridors. Mixed Use areas may also include higher density residential uses, such as garden apartments and condominiums.

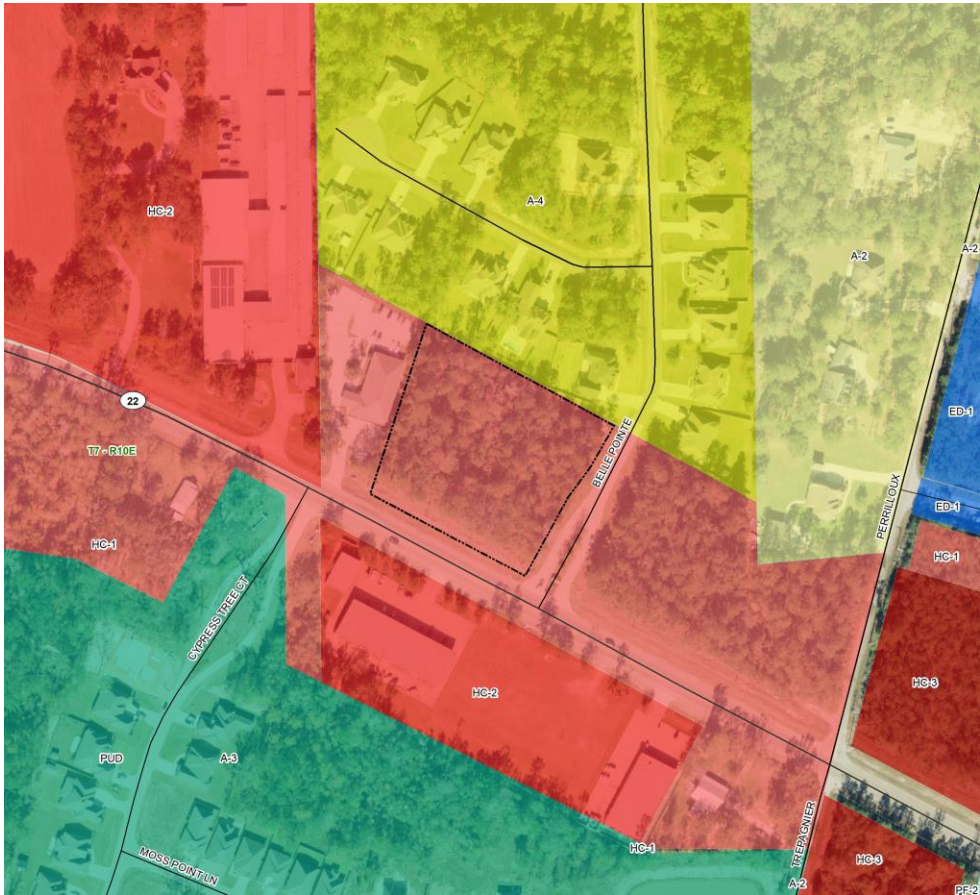
1. The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:
 - i. Strategy 1:5:1: Locate new residential and commercial development within, adjacent to, or near existing towns and activity centers and associated infrastructure, services, and amenities.
 - ii. Strategy 1:5:2 Locate high intensity land uses adjacent to high capacity transportation corridors.
 - iii. Goal 5:1: The Parish will designate adequate land served by supporting infrastructure for use by businesses and industries seeking to begin or expand.

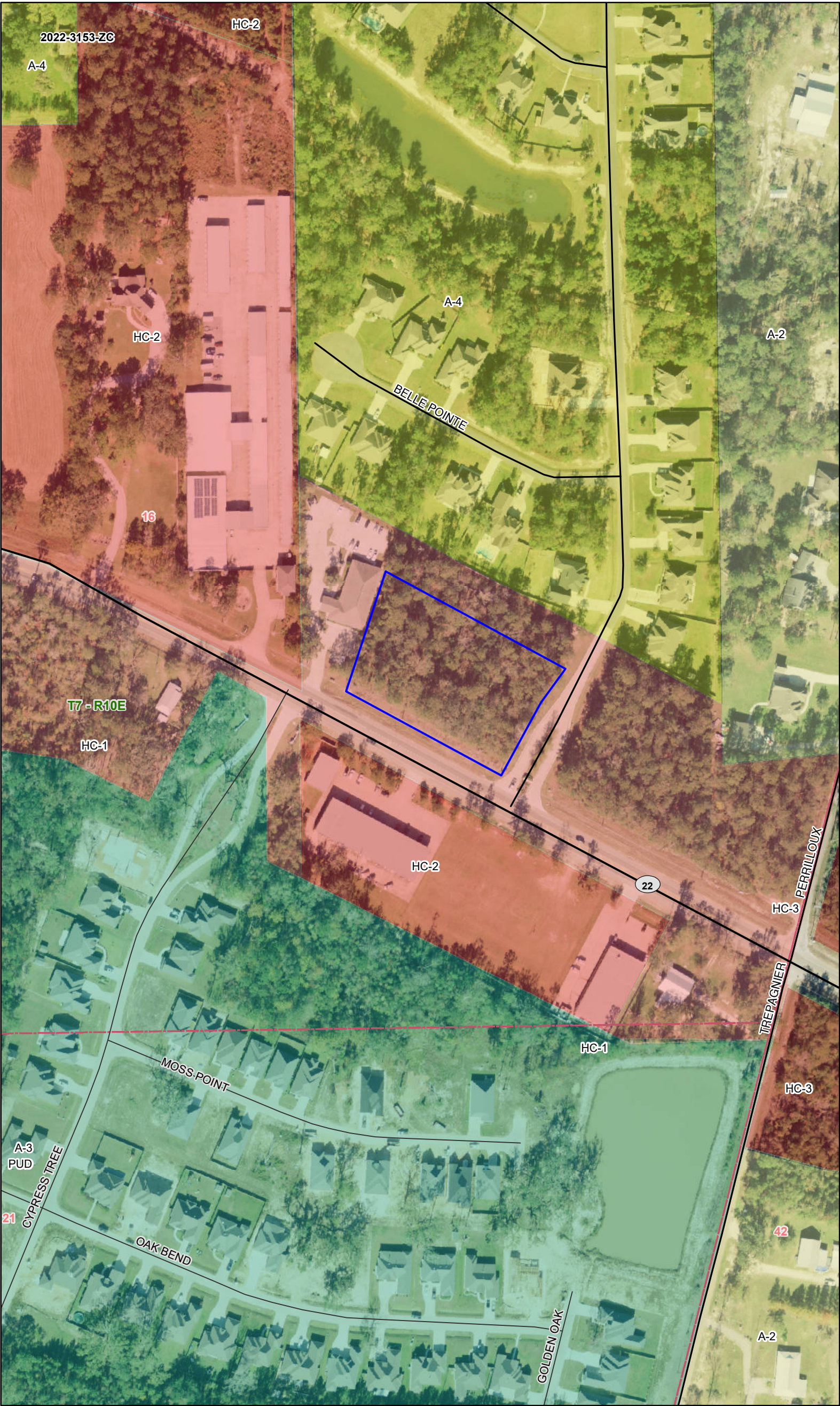


ZONING STAFF REPORT
2022-3153-ZC

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director





2022-3153-ZC

A-4

HC-2

HC-2

16

A-4

BELLE POINTE

A-2

T7-R10E

HC-1

HC-2

22

HC-3

PERRILLOUX

TREPAGNIER

HC-3

HC-1

MOSS POINT

A-3
PUD

CYPRESS TREE

21

OAK BEND

GOLDEN OAK

42

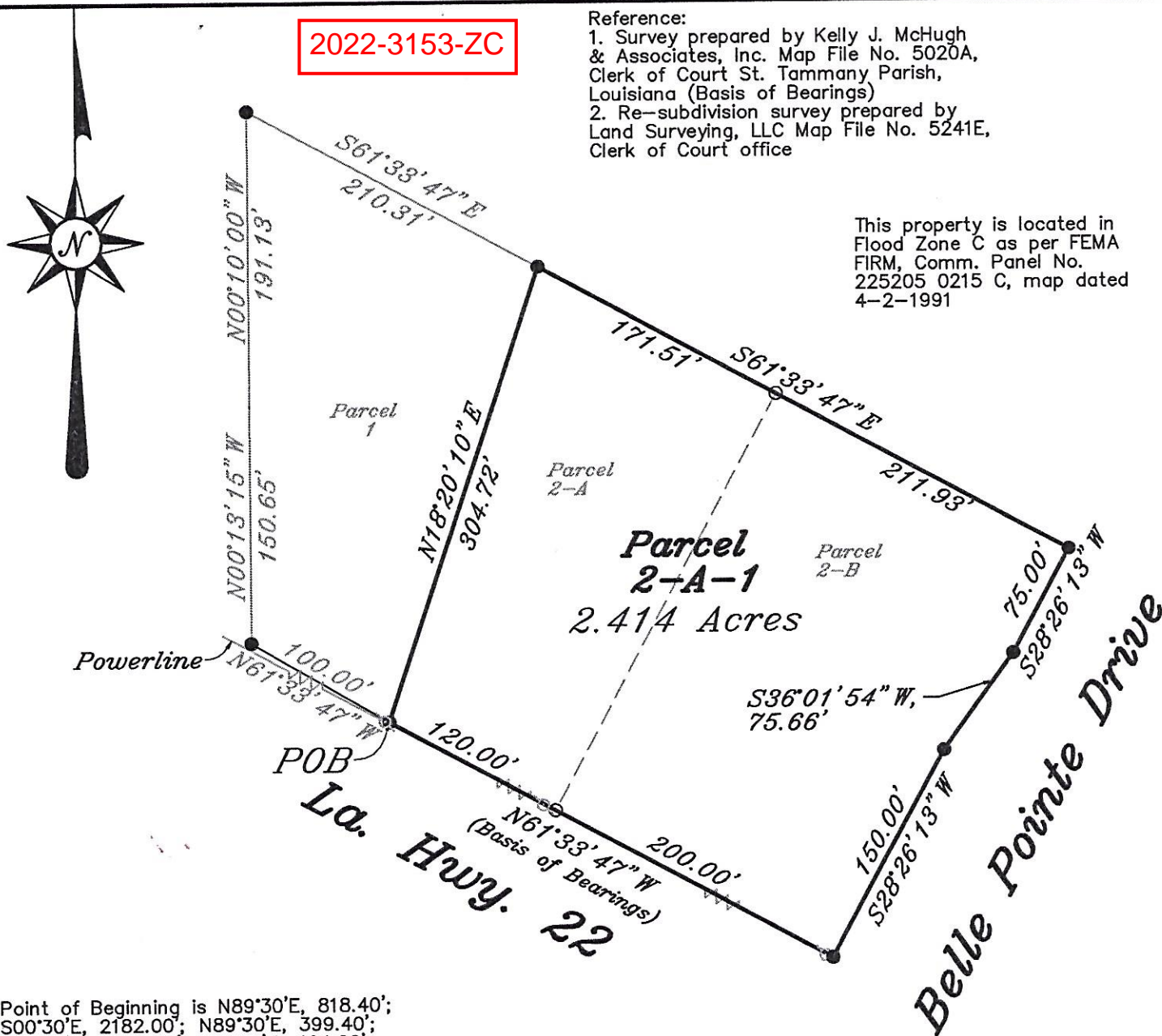
A-2

2022-3153-ZC

Reference:

1. Survey prepared by Kelly J. McHugh & Associates, Inc. Map File No. 5020A, Clerk of Court St. Tammany Parish, Louisiana (Basis of Bearings)
2. Re-subdivision survey prepared by Land Surveying, LLC Map File No. 5241E, Clerk of Court office

This property is located in Flood Zone C as per FEMA FIRM, Comm. Panel No. 225205 0215 C, map dated 4-2-1991



Point of Beginning is N89°30'E, 818.40';
S00°30'E, 2182.00'; N89°30'E, 399.40';
S00°30'E, 2225.00'; S81°10'E, 404.00';
S00°13'15"E, 150.65'; S61°33'47"E,
100.00' from the Section Corner common to
Sections 8, 9, 16 & 17 T7S R10E, St.
Tammany Parish, Louisiana

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE.
SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY
WILL BE ADDED HERETO UPON REQUEST AS THE UNDERSIGNED HAS
PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS
MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED
PEDESTALS.

THIS MAP IS IN ACCORDANCE WITH THE MINIMUM STANDARD DETAILED
REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A C SURVEY
AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46: LXI.
THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE
GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED.

Note: Improvements were not located at this time

Building setback lines should be determined by owner or contractor prior to any construction

Legend:

- 1/2" Rebar Set
- 1/2" Rebar Found
- ⊗ Powerpole

RESUBDIVISION MAP
OF PARCEL 2-A & 2-B
INTO PARCEL 2-A-1
LOCATED IN SECTION
16 TOWNSHIP 7 SOUTH
RANGE 10 EAST, ST.
TAMMANY PARISH,
LOUISIANA

BRUCE M. BUTLER, III
License No. 4894
PROFESSIONAL
1-26-2020

BRUCE M. BUTLER, III
LA. PROFESSIONAL LAND SURVEYOR
LICENSE NO. 4894

LS Land Surveying, LLC
518 N. Columbia Street
Covington, LA 70433
(985) 892-6271 office (985) 898-0355 fax
SCALE: 1" = 100' DATE: 3-23-2020 NUMBER: 19764

FILED FOR RECORD

DIR. DEPT. OF ENGINEERING

SECRETARY PLANNING COMM.

CLERK OF COURT

DATE

FILE NO.



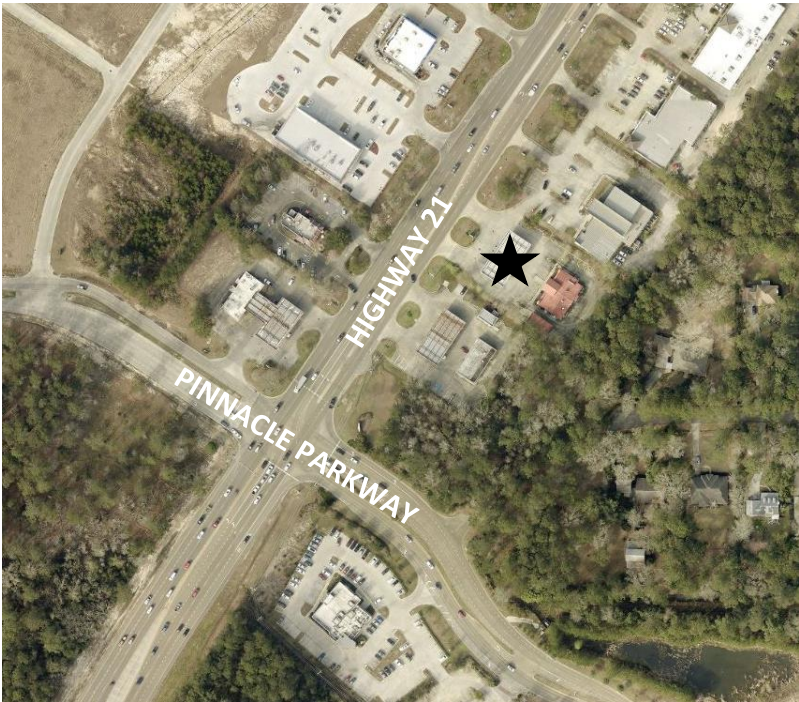
ZONING STAFF REPORT
2022-3058-PR

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Proposed Use: Tommy’s Carwash: New Construction **Gross Area Lot Size:** 1.32 acres
Previous/Current Use: Gas Station **Use Size:** 5,207 sq. ft.
Owner: Revive Holdings 21, LLC **Council District:** 1
Applicant: Jordan Williams **Posted:** December 22, 2022
Commission Hearing: January 3, 2023 **Determination:** Approved, Denied, Postponed
Location: Parcel located on the east side of LA Highway 21, south of Hyacinth Drive; Covington S47, T7S, R11E, Ward 1, District 1
Prior Determination 1: Postponed until November 2, 2022 - October 4, 2022
Prior Determination 2: Postponed until December 6, 2022 – November 2, 2022
Prior Determination 3: Postponed until January 3, 2023 – December 6, 2022



Current Zoning
HC-2 Highway Commercial District
Planned Corridor Overlay
Highway 21 Planned Corridor
Future Land Use
Commercial
Flood Zone
Preliminary: Flood Zone X
Effective Flood Zone C
Critical Drainage: No

Site Information:

- 1. The petitioned property consists of a total of 1.32 acres which is located on the east side of Highway 21, south of Hyacinth Drive, Covington. The property is currently developed with a non-operational gas station including an existing convenience store building, carwash, and gas station canopy.
- 2. The applicant is currently proposing to demolish the existing building, carwash, and gas station canopy and construct a new 5,207 sq. ft. carwash facility.
- 3. Table 1: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Commercial - Retail	HC-2 Highway Commercial District
South	Commercial – Gas Station	HC-2 Highway Commercial District
East	Residential	A-2 Suburban District
West	Commercial - Retail	HC-2 Highway Commercial District

Per Table 1 above, the subject site is within the Highway 21 Planned Corridor district and abuts an existing residential subdivision known as Flowers Estates to the east and several existing commercial uses to the north, south, and west.



ZONING STAFF REPORT
2022-3058-PR

MICHAEL B. COOPER
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PLANNING & DEVELOPMENT
Ross Liner
Director

Findings:

The applicant has submitted a survey, a site plan, and a landscape plan which provides the limits of work for the proposed carwash. Staff has reviewed the application and provided the applicant with a markup summary that notes several potential conflicts subject to the Planned Corridor Regulations including the following:

Highway 21 Street Buffer

1. Per Sec. 130-1814(1)(e)(1)(i)(B), the street planting area shall contain a minimum of one Class A tree per every 300 sq. ft. of the street planting area and one Class B tree per every 200 sq. ft. of the street planting area.
 - The property is 170 ft. wide and is required 44 ft. of landscaped tree buffer requiring 25 Class A trees and 37 Class B trees.
 - The proposed LS-1 and LS-2 landscape plans shows 6 Class A and 6 and therefore the applicant is requesting a waiver to the required number of trees within the Highway 21 Street Planting buffer.
 - Staff recognizes there are two existing 14'-15' concrete drives on the site which could prohibit the planting of the required number of Class A and Class B trees. The applicant has submitted a request to DOTD to keep these driveways as they are today. However, if the request is denied and DOTD requires the applicant modify the plan to show a singular two way entrance, this will provide more planting area for the applicant to provide the required number of Class A and B trees.

Northern Side Yard Buffer

2. Per Sec. 130-1977(b) buffer planting area width shall be a minimum of ten feet.
 - The current site plan and landscape plan show an existing 7.5 ft. side yard setback along the northern side property line. The applicant is requesting a waiver to the Side Yard Planting Area regulations to maintain the existing 7.5 ft. side yard buffer area.

Southern Side Yard Buffer

3. Per Sec. 130-1977(b) buffer planting area width shall be a minimum of ten feet.
 - The current site plan and landscape plan show an existing 8.2 ft. side yard setback along the southern side property line. The applicant is requesting a waiver to the Side Yard Planting Area regulations to maintain the existing 8.2 ft. side yard buffer area.

Additional Regulations

4. Per Sec. 130-1813(e)(2), the applicant must submit the following documentation:
 - a. An illustrative approved drainage plan by the Department of Engineering.
 - The applicant has provided a hydrological analysis in accordance with Sec. 115-111. This document has been reviewed by the Department of Engineering and sent back to the applicant with required revisions on November 17, 2022.
 - Per Sec. 130-1975, there is no significant soil disturbance or more than 1" of fill permitted within the required buffers. The current proposed 2 ft. swale in the northern side yard buffer will impede on the existing tree roots and required plantings and is therefore not permitted. The applicant must revise the drainage plan to reflect these requirements.
 - b. The location of trash disposal system and details of screening, including type, height and elevation of dumpster and fence.
 - All dumpsters must be screened on all sides with a minimum seven-foot-high opaque fence of wood or masonry. The applicant has revised Sheet LS-2 to reflect this requirement under the Begonia Street side landscaping calculations.
5. Per Sec. 130-1814(1)(e)(1)(iii)(B), planting areas shall be a minimum of ten percent of the paved parking area.
 - The applicant has provided an interior calculation of the parking area of 10.8% which is consistent with the requirements listed above.
6. A lighting plan in accordance with Chapter 130, Article VI, Division 4.



ZONING STAFF REPORT
2022-3058-PR

MICHAEL B. COOPER
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PLANNING & DEVELOPMENT
Ross Liner
Director

- **The applicant has submitted a photometric plan which appears to meet the requirements listed by ordinance.**

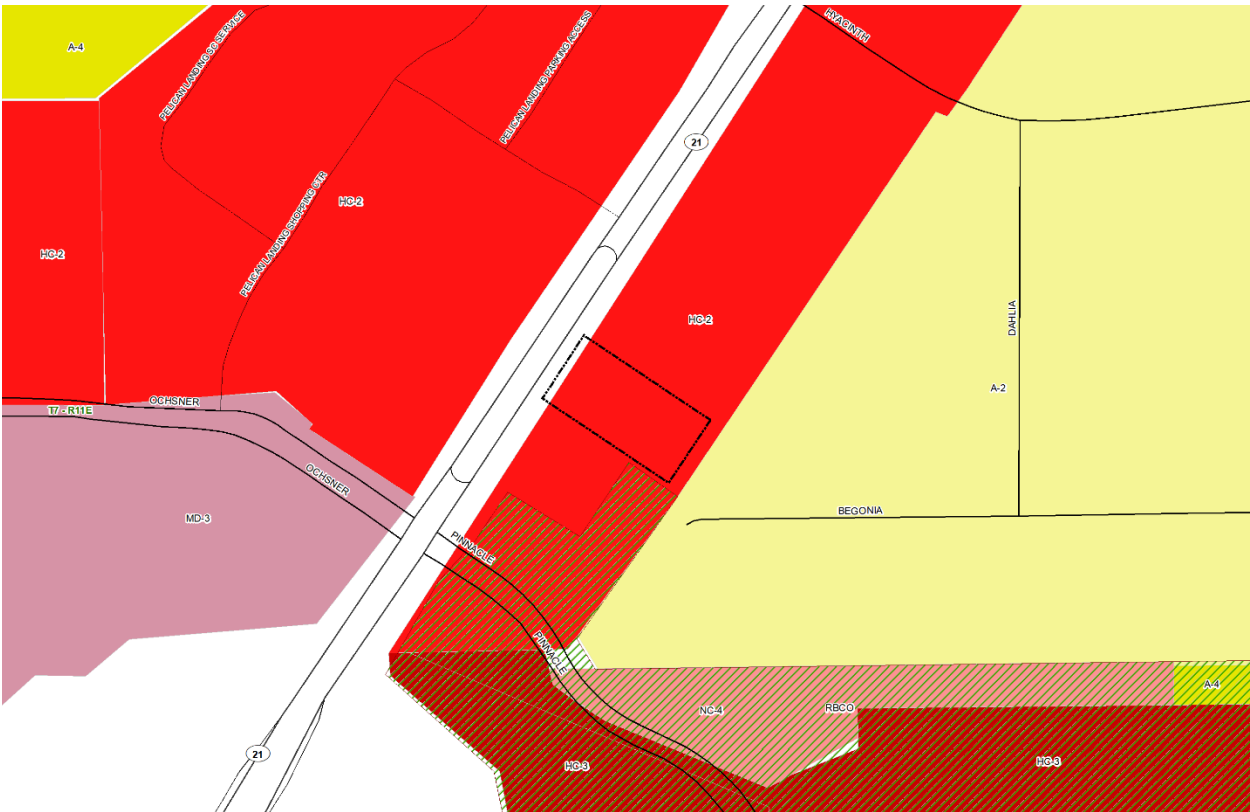
Informational Items:

1. The applicant must provide a LADOTD driveway permit or written verification that a driveway permit is not required at the permitting phase.
2. The applicant must provide utilities and civil plans to avoid conflicts with existing and proposed trees per code.
3. The applicant must contact applicable utility companies to inquire about capacity and or cost of service to accommodate the proposed addition. If capacity is unavailable, the applicant must contact LDH to inquire about sewer and water expansions/updates.
4. An STP Stormwater Agreement is required to be completed by the owner or contractor per Sec. 115-106.
5. The property owner shall be responsible for the maintenance and the replacement of the required plant materials.
6. During construction, planting or open ground areas surrounding preserved trees shall be wired off with a properly flagged, reinforced & rolled wire mesh.

Consistency with New Directions 2040

Commercial: Concentrations of offices, retailers, services, and other employers that generate varying levels of traffic. They range from neighborhood-serving uses such as personal care and convenience goods, to large-scale shopping centers. May also include high intensity residential uses.

1. The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:
 - i. Strategy 1:9:3 Encourage redevelopment and adaptive reuse of existing, vacant buildings.
 - ii. Goal 5:1: The Parish will designate adequate land served by supporting infrastructure for use by businesses and industries seeking to begin or expand.
 - iii. Goal 5:2: St. Tammany Parish will attract and grow businesses that expand the Parish's tax base and provide living wage jobs to residents of varying skill levels.



HC-2

PELICAN LANDING SHOPPING CTR

PELICAN LANDING PARKING ACCESS

HYACINTH DR

21

STYLER ST

STYLER ST



47

OCHSNER BLVD

OCHSNER BLVD

MD-3

21

PINNACLE PKWY

A-2

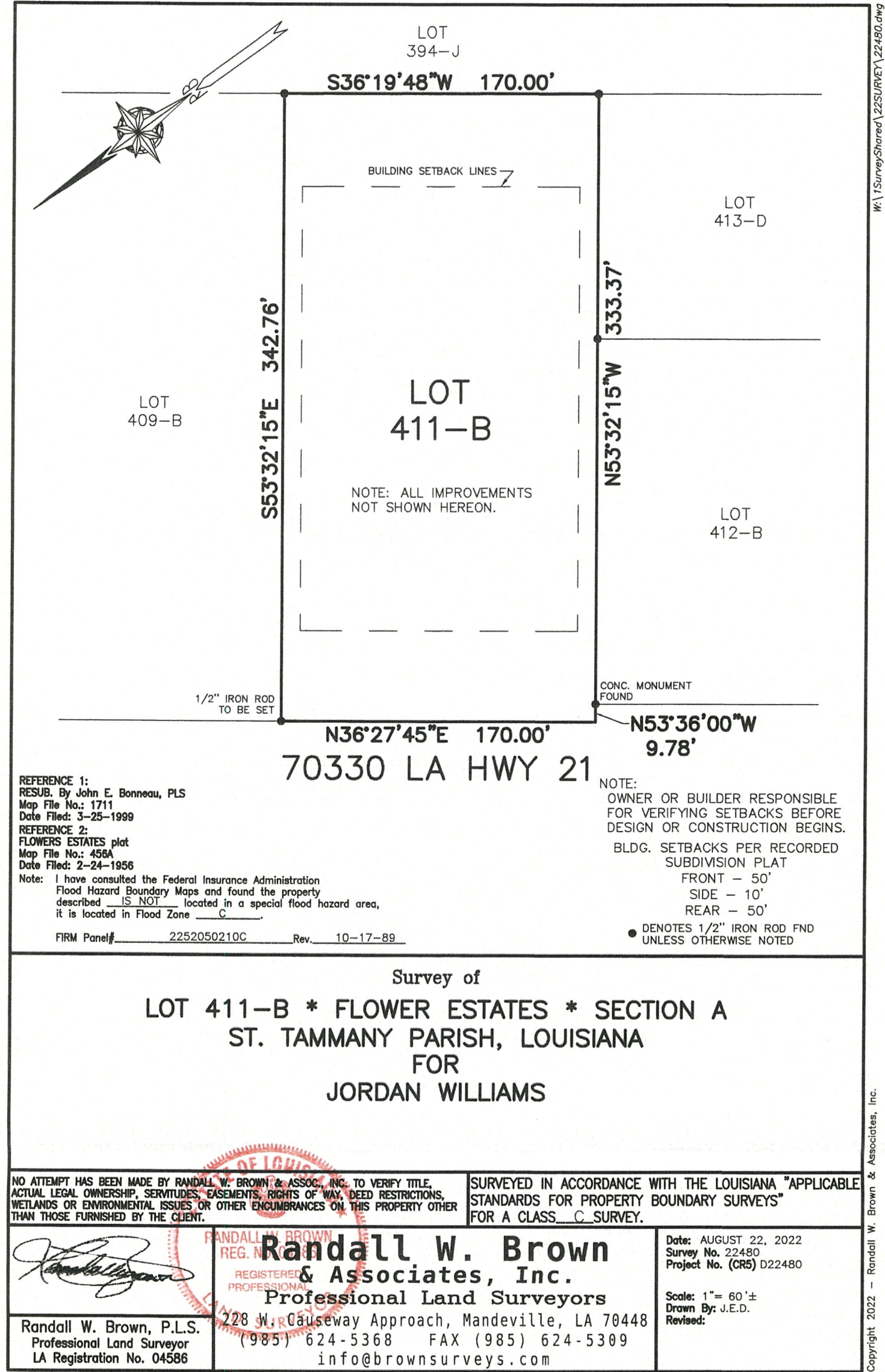
T7-R1E

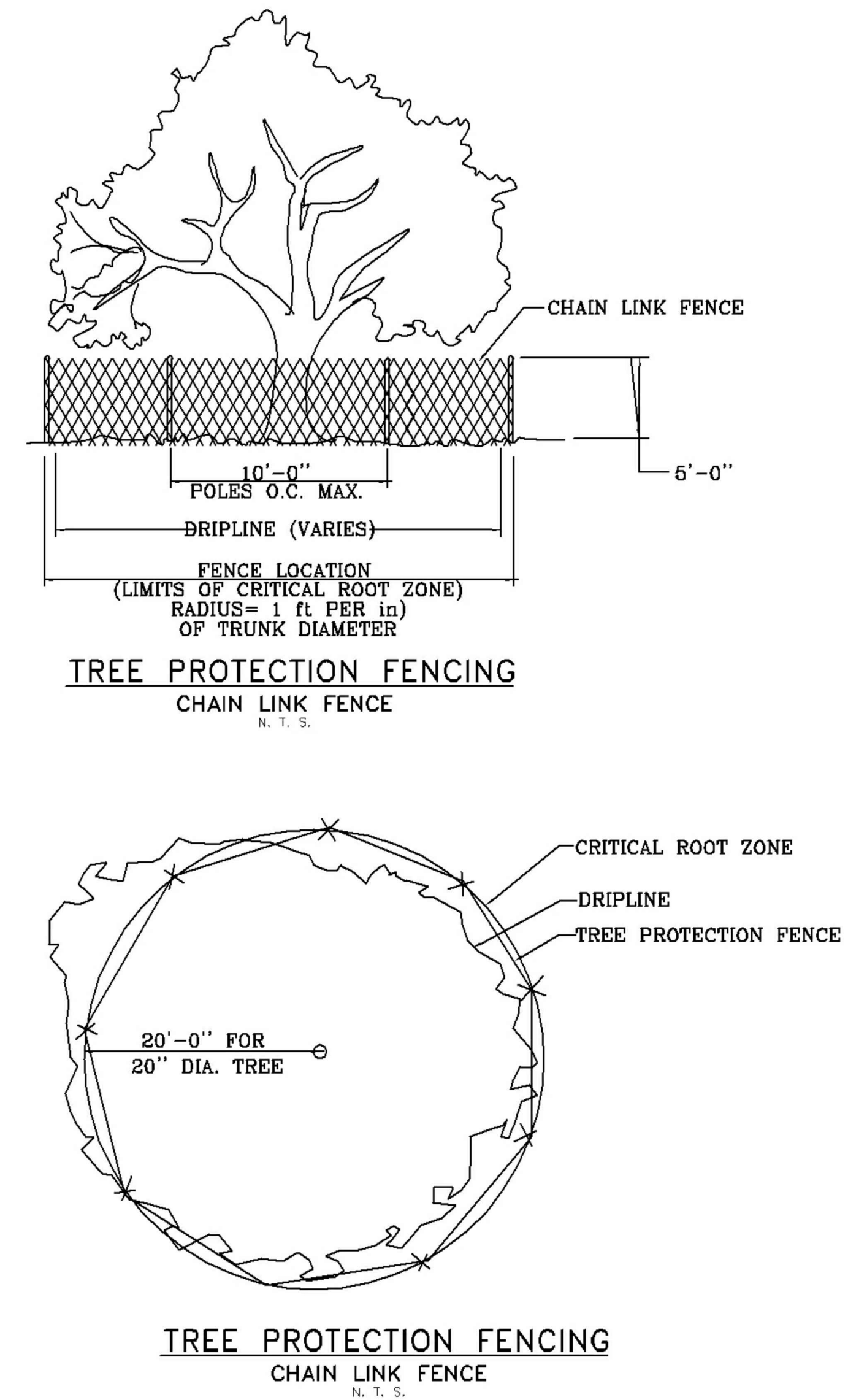
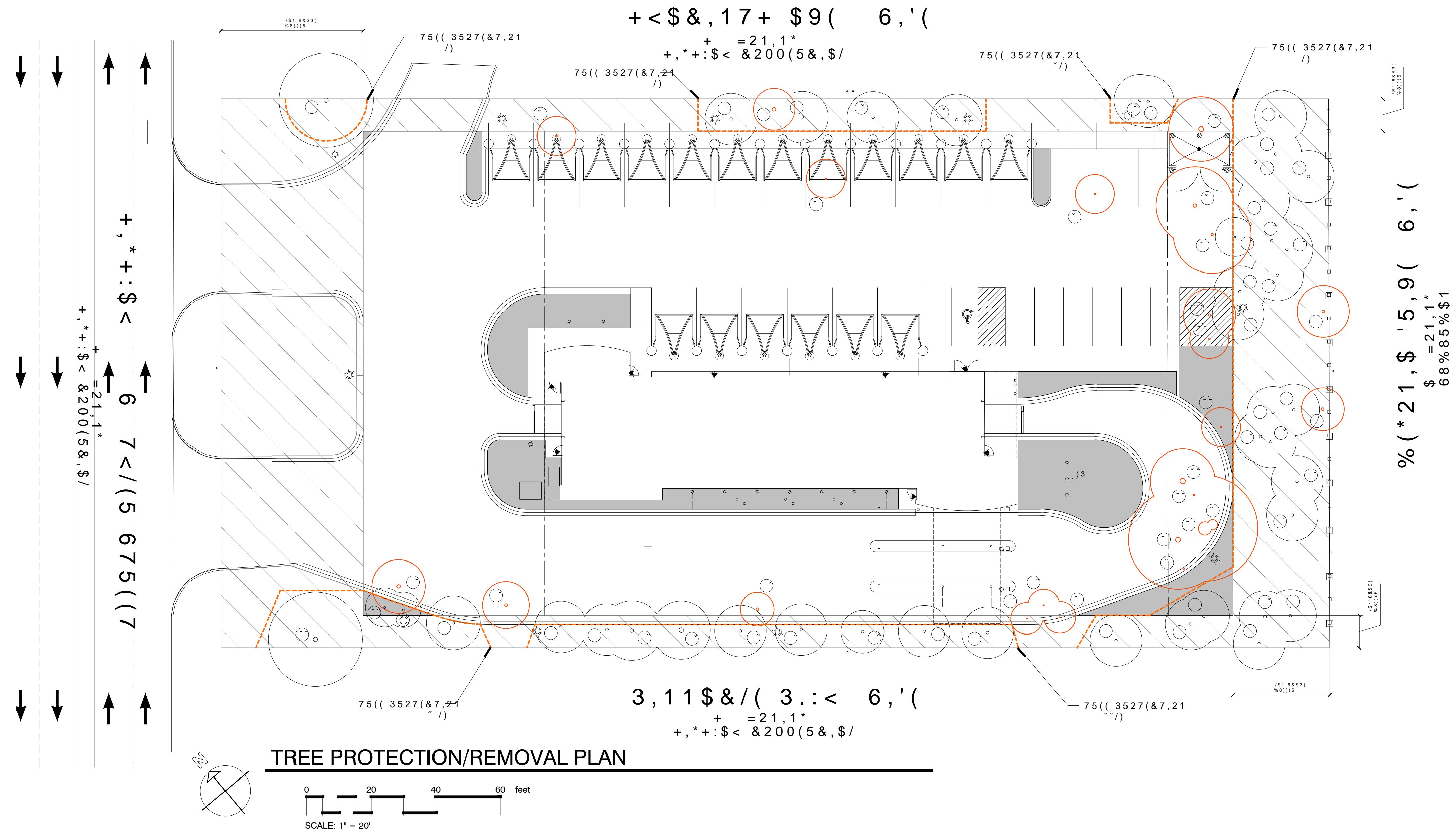
BEGONIA DR

NC-4

RECO

HC-3



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HIGHWAY 21 (S. TYLER STREET)



- A. MAINTENANCE: The Owner or his agent shall be responsible for the maintenance and repair of all landscaping materials and barriers as may be required by the provisions of this Section.
1. Planting Beds shall be mulched to prevent weed growth and maintain soil moisture.
 2. Plant Materials shall be pruned as required to maintain good health and character.
 3. Turf areas shall be mowed periodically.
 4. All roadways, curbs and sidewalks shall be edged when necessary in order to prevent encroachment from the adjacent grassed areas.
 5. The Owner of the Property shall be responsible for the provision of adequate water, fertilizer and nutrients to the required plant materials.
- B. REPLACEMENT: Subject to the provisions of Section 7.0105.E entitled, "Replacement of Preserved Trees that Die", trees and plants that die must be replaced within six (6) months of the death of the tree or plant with trees or plants that meet the requirements of Section 7.01. Barriers and curbs that are damaged or destroyed beyond repair shall be replaced within six (6) months after the damage or destruction.

LANDSCAPE CALCULATIONS

HIGHWAY 21 ROW - (S. TYLER STREET)

44' WIDE LANDSCAPE BUFFER REQUIRED (44' WIDE BUFFER PROVIDED)

170 LF * 44 = 7,480 / 300 = 25 CLASS A	6 TOTAL TREE CREDIT
170 LF * 44 = 7,480 / 200 = 37 CLASS B	8 CLASS B TREES PROVIDED
17 REQUIRED SHRUBS	+/-350 PROVIDED SHRUBS
	TREE VARIANCE REQUIRED

HYACINTH AVE. STREET (SIDE)

10' WIDE LANDSCAPE BUFFER REQUIRED (526.21SF ENCROACHMENT INTO SIDE BUFFER)

342.76 LF / 30 = 11.42 12 CLASS A AND 12 CLASS B REQUIRED
18 EXISTING TREE CREDIT
6 CLASS B PROVIDED BUFFER VARIANCE REQUIRED

BEGONIA STREET (SIDE)

30' WIDE LANDSCAPE BUFFER REQUIRED (30' WIDE BUFFER PROVIDED)

170 LF / 30 = 5.6
6 CLASS A AND 6 CLASS B REQUIRED
49 EXISTING TREE CREDIT
NO ADDITIONAL TREES PROVIDED
7' OPAQUE FENCE WITH BAMBOO SCREEN PROVIDED

PINNACLE PKWY (SIDE)

10' WIDE LANDSCAPE BUFFER REQUIRED (528.19 SF ENCROACHMENT INTO SIDE BUFFER)

333.37 LF / 30 = 11.11 12 CLASS A AND 12 CLASS B REQUIRED
33 EXISTING TREE CREDIT
NO ADDITIONAL TREES PROVIDED BUFFER VARIANCE REQUIRED

INTERIOR TREES

1 CLASS A TREE PER LANDSCAPE ISLAND (3) CLASS A TREES PROVIDED
11 PARKING SPACES PROPOSED

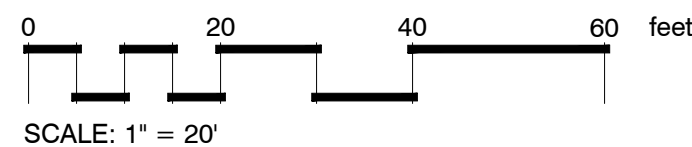
58,302SF TOTAL PROPERTY

-17,957SF TOTAL BUFFERS
-5,210SF TOTAL BUILDING
-35,135SF TOTAL VUA X 10% = 3,514 SF REQUIRED
3,796 SF PROVIDED 10.8% PROVIDED

MITIGATED TREES

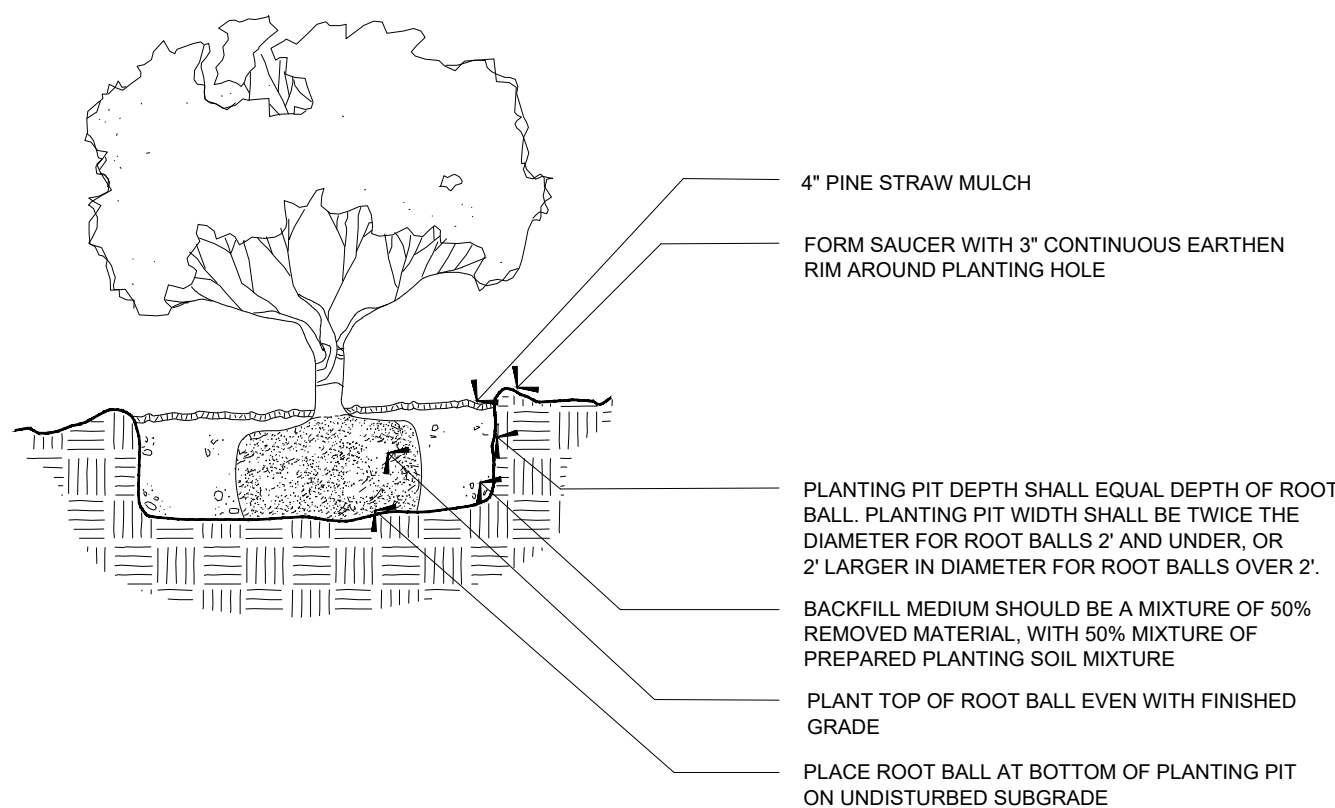
REPLACE REMOVED PROTECTED TREES
20" CALIPER INCHES TO BE REMOVED AND MITIGATED ON SITE

(5) 4" CALIPER CYPRESS TREES TO BE PROVIDED

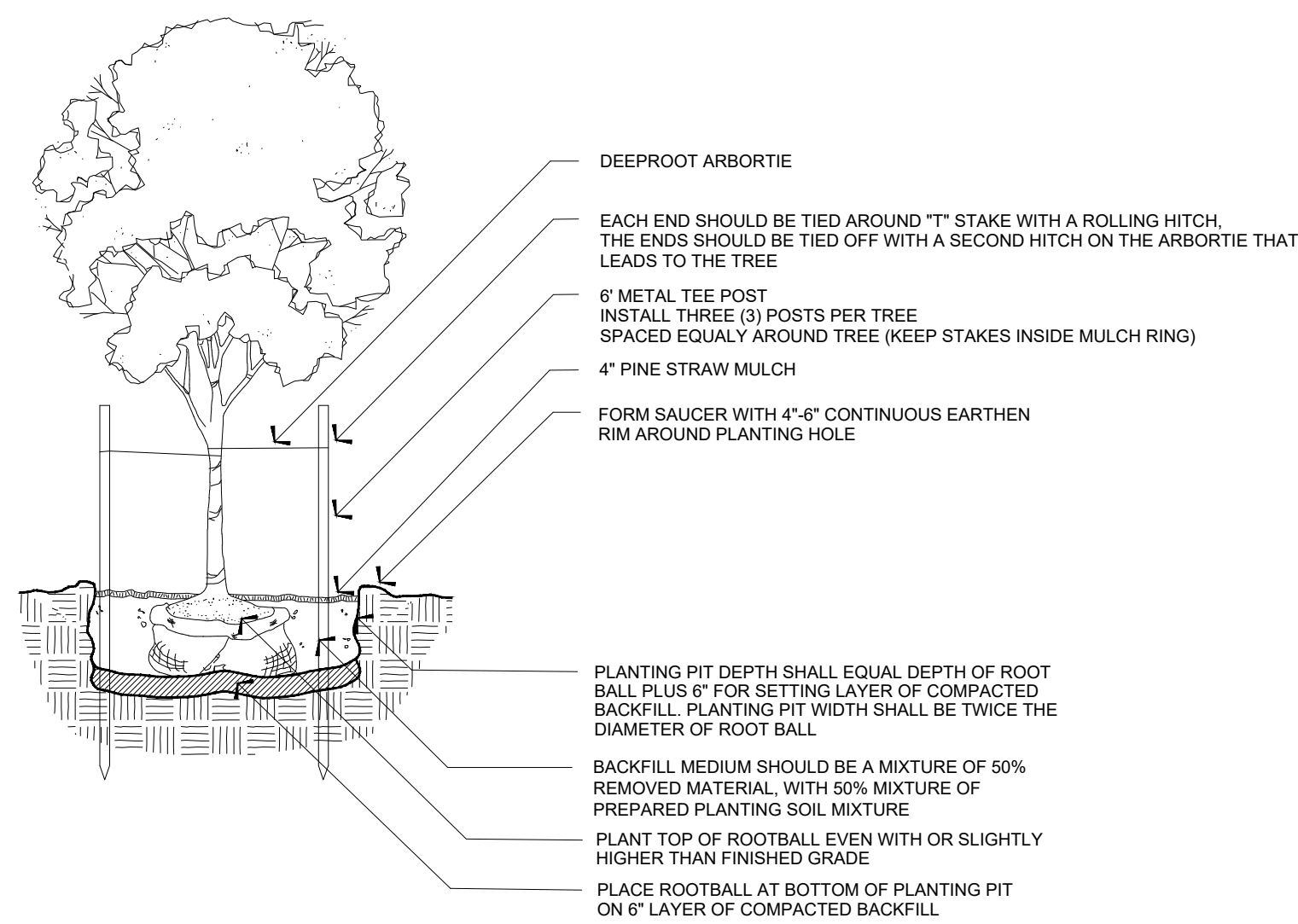


PARKING CALCULATION

OF EMPLOYEES (4) + (6 X BAY CAPACITY(3)) = 22
INCLUDING VACUUM STALLS, WE CURRENTLY HAVE 30 SPACES







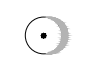








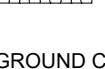



1	SHRUB PLANTING DETAIL
LS-1	N.T.S.



2	TREE PLANTING DETAIL
LS-1	N.T.S.

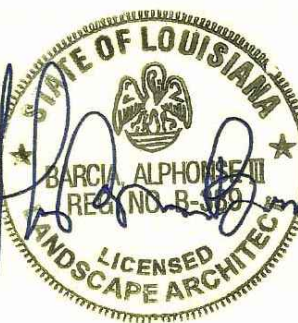
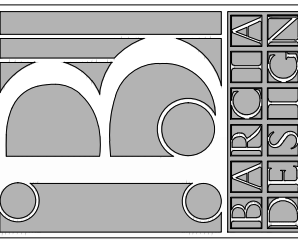
PLANT SCHEDULE

CLASS 'B'	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	IX	2	Ilex x 'Magland' / Oakland™ Holly	30 Gal. Full to the Ground	1 1/2" Cal.	8'-10" ht.
	IE	12	Ilex x attenuata 'Eagleston' / Eagleston Holly	Gallon or B&B	1.5" Cal.	8'-10" ht.
CLASS 'A'	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	UB	3	Ulmus parvifolia 'UPMTF' / Bosque® Lacebark Elm	Gallon or B&B	2.50" Cal.	10' - 12' Ht.
MITIGATED TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	TD	5	Taxodium distichum / Bald Cypress	Gallon or B&B	4" Cal.	14' - 16' Ht.
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	
	AA	33	Agapanthus africanus / African Lily	1-Gal.	Full Pots	
	BA	22	Bambusa multiplex 'Alphonse Karr' / Alphonse Karr Hedge Bamboo	B&B	4' Tall Clumping	
	BW	349	Buxus sinica insularis 'Wintergreen' / Wintergreen Korean Boxwood	1-Gal.	Full Pots	
	BW2	18	Buxus sinica insularis 'Wintergreen' / Wintergreen Korean Boxwood	7-Gal.	2' Topiary Globe	
	CG	27	Camellia sasanqua 'Shishi Gashira' / Shishi Gashira Camellia	7-Gal.	18"ht. 18"spd.	
	PM	30	Podocarpus macrophyllus / Japanese Yew	3-Gal.	18" Min. Ht.	
	RG	17	Rhododendron indicum 'George L. Taber' / George L. Taber Indica Azalea	3-Gal.	2' ht. at the time of planting	
	RF	22	Rhododendron obtusum 'Fashion' / Fashion Azalea	3-Gal.	18"ht. 18"spd.	
SHRUB AREAS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	
	RI	34	Rosa x 'Mejicos'™ / Pink Drift Groundcover Rose	3-Gal.		36" o.c.
	RR	54	Rosa x 'Radwhite'™ / White Knock Out Rose	3-Gal.		42" o.c.
	SA	508	Seasonal Color / Annuals	To be selected	Full Pots	10" o.c.
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	REMARKS	
	SOD	10,411 sf	Cynodon dactylon / Bermuda Grass	Squares or Mini Rolls	Class 'A'	
	MULCH	3,229 sf	Existing Buffer (Woods) / Pine Straw Mulch	SF	3" Depth	

IF DRAWING IS NOT 24" X 36" SCALE ACCORDINGLY

ALPHONSE BARCIA III
LANDSCAPE ARCHITECT LLC.

562 CLAYTON COURT
SLIDELL, LOUISIANA 70461
BARCIADESIGNS@GMAIL.COM
(985) 960-0429



10/25/2022

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF THE ARCHITECT AND MAY BE USED ONLY ON THE PROJECT NAMED HEREIN. THIS DRAWING SHALL NOT BE REPRODUCED, COPIED OR USED IN WHOLE OR PART WITHOUT WRITTEN PERMISSION OF THE ARCHITECT. ANY USE IS A VIOLATION OF FEDERAL AND STATE COPYRIGHT STATUTES.

Tommy's Car Wash
70330 Highway 21 (S. Tyler Street)
St. Tammany Parish, LA.

Sheet Title: Landscape Plan

OB No.:

CALE: AS SHOW

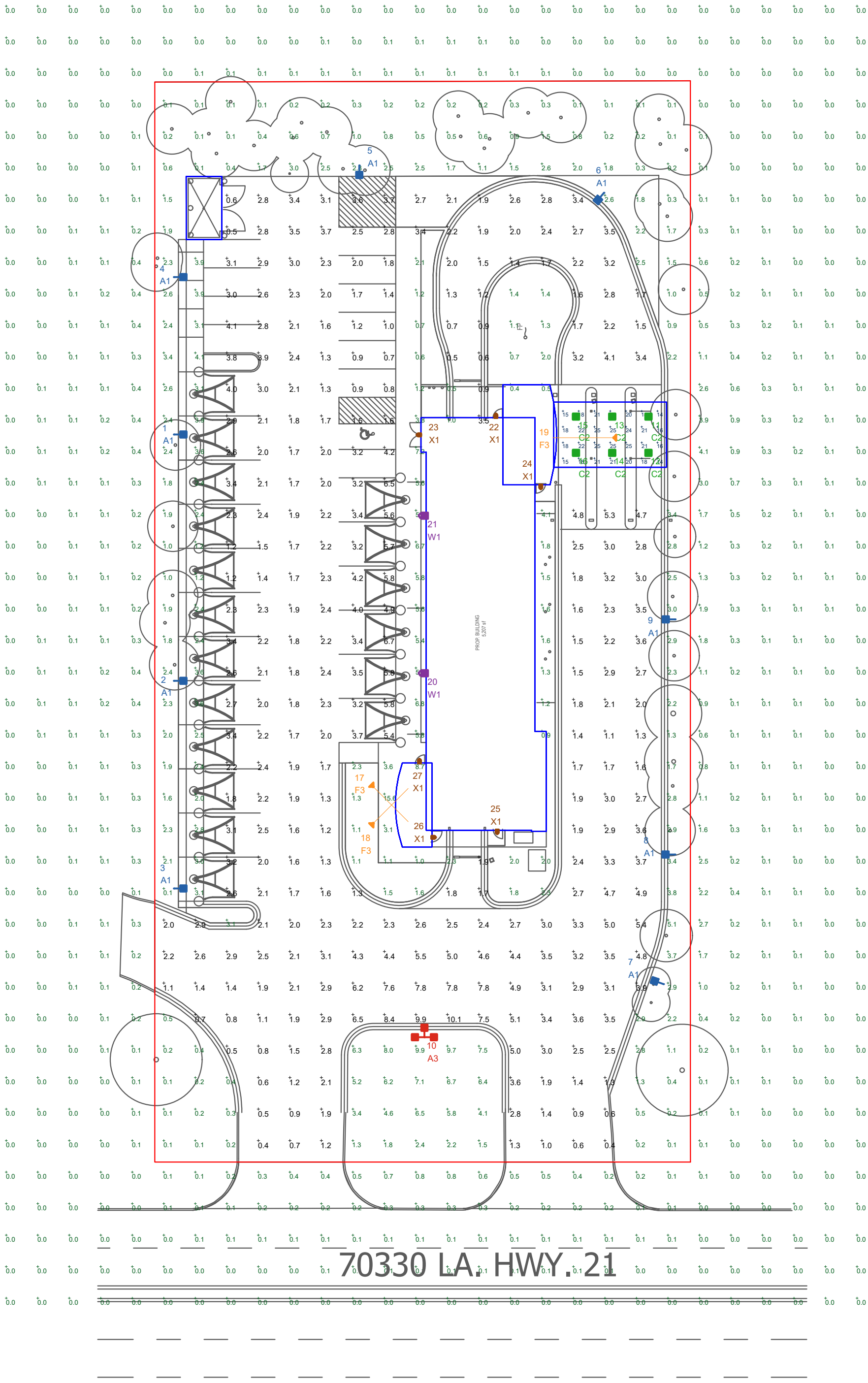
RAWN BY: AB3

SHEET:

LS-2

EV.

DATE: OCTOBER 25TH 2022



NOTE:
- ALL AREA LIGHTS ON NEW 17 FT. POLES MOUNTED ON 3 FT. CONCRETE BASES



THIS SITE IS LOCATED IN A REGION WHERE LIGHTING IS
REGULATED BY LOCAL ORDINANCES

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
CANOPY	19.89	25	14	1.42	1.79
PAVED	2.67	10.1	0.4	6.68	25.25
UNDEFINED	0.70	15.6	0.0	N.A.	N.A.



LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
1	A1	20
2	A1	20
3	A1	20
4	A1	20
5	A1	20
6	A1	20
7	A1	20
8	A1	20
9	A1	20
10	A3	20
11	C2	15
12	C2	15
13	C2	15
14	C2	15
15	C2	15
16	C2	15
17	F3	1
18	F3	1
19	F3	15
20	W1	15
21	W1	15
22	X1	9
23	X1	9
24	X1	9
25	X1	9
26	X1	9
27	X1	9

LUMINAIRE SCHEDULE										
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	CATALOG LOGIC
	9	A1	SINGLE	8574	1.010	B1-U0-G2	72	648	Cree Inc	OSQM-B-11L-57K7-4M-XX-NM-XX-Q9 + OSQ-BLSMF
	1	A3	3 @ 90°	11174	1.010	B2-U0-G2	72	216	Cree Inc	OSQM-B-11L-57K7-4M-UL-NM-XX
	6	C2	SINGLE	5249	1.010	B2-U0-G1	45	270	CREE, INC.	CAN-304-SL-XX-04-E-UL-XX-350-57K
	3	F3	SINGLE	3048	1.010	B2-U0-G0	25	75	CREE, INC.	FLD-EDG-N6-AA-02-E-UL-XX-350-57K
	2	W1	SINGLE	11259	1.010	B3-U0-G3	134	268	CREE, INC.	SEC-EDG-4M-WM-06-E-UL-XX-700-57K-DIM
	6	X1	SINGLE	1530	1.000	N.A.	15.8	94.8	BARRON LGHTING GROUP	SLW-15-4K-XX-EM (BY OTHERS)



AREA





CANOPY



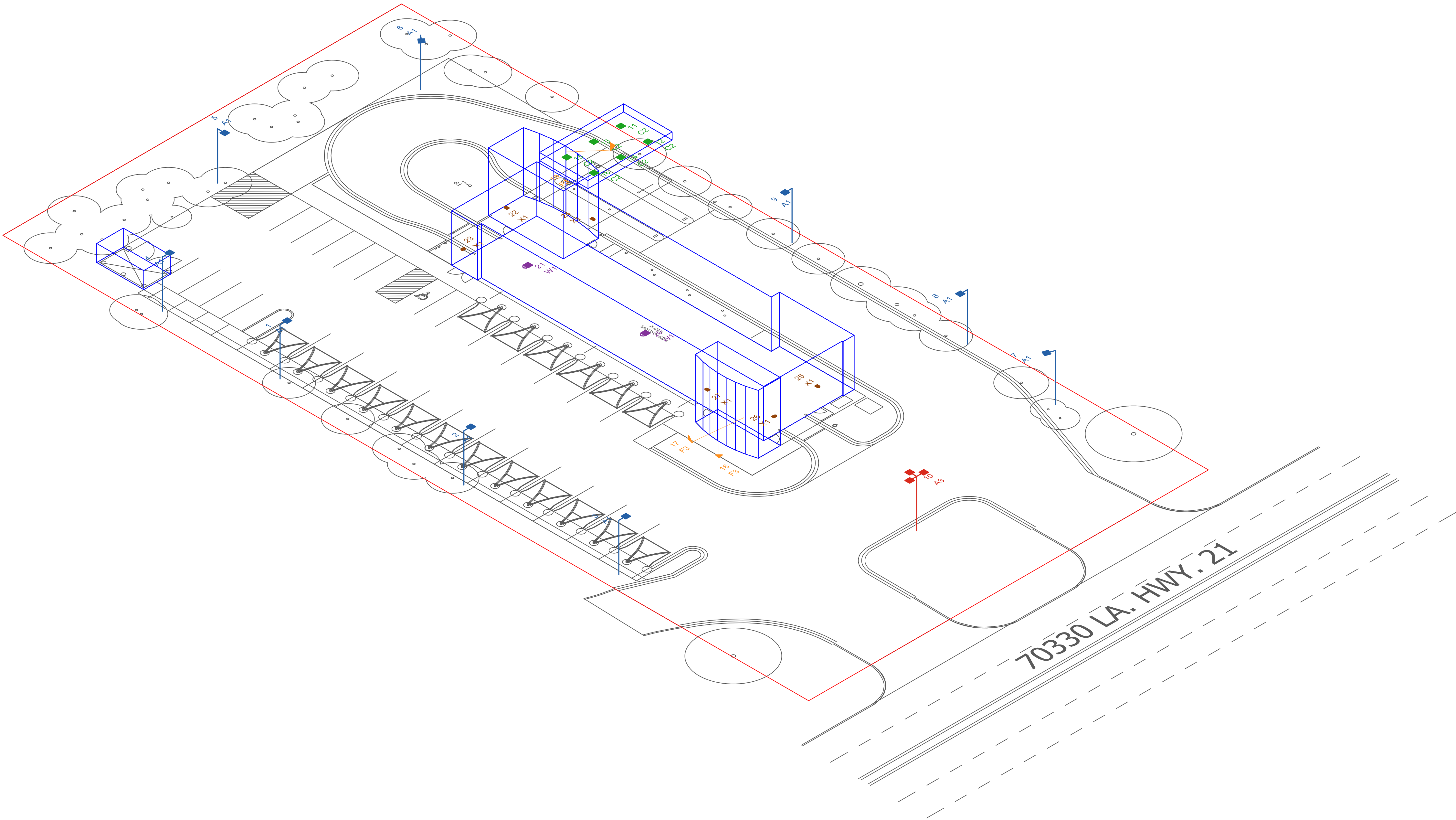
FLOOD

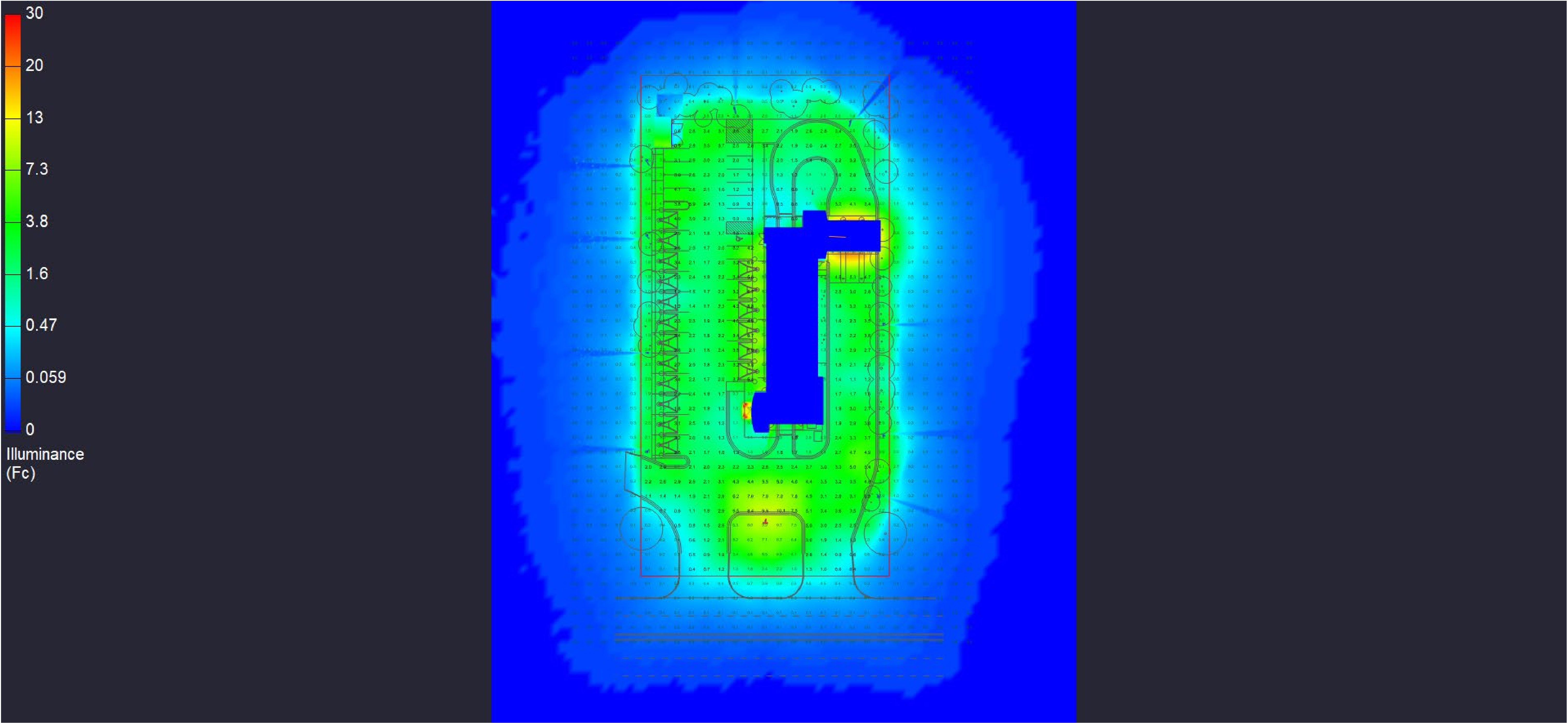


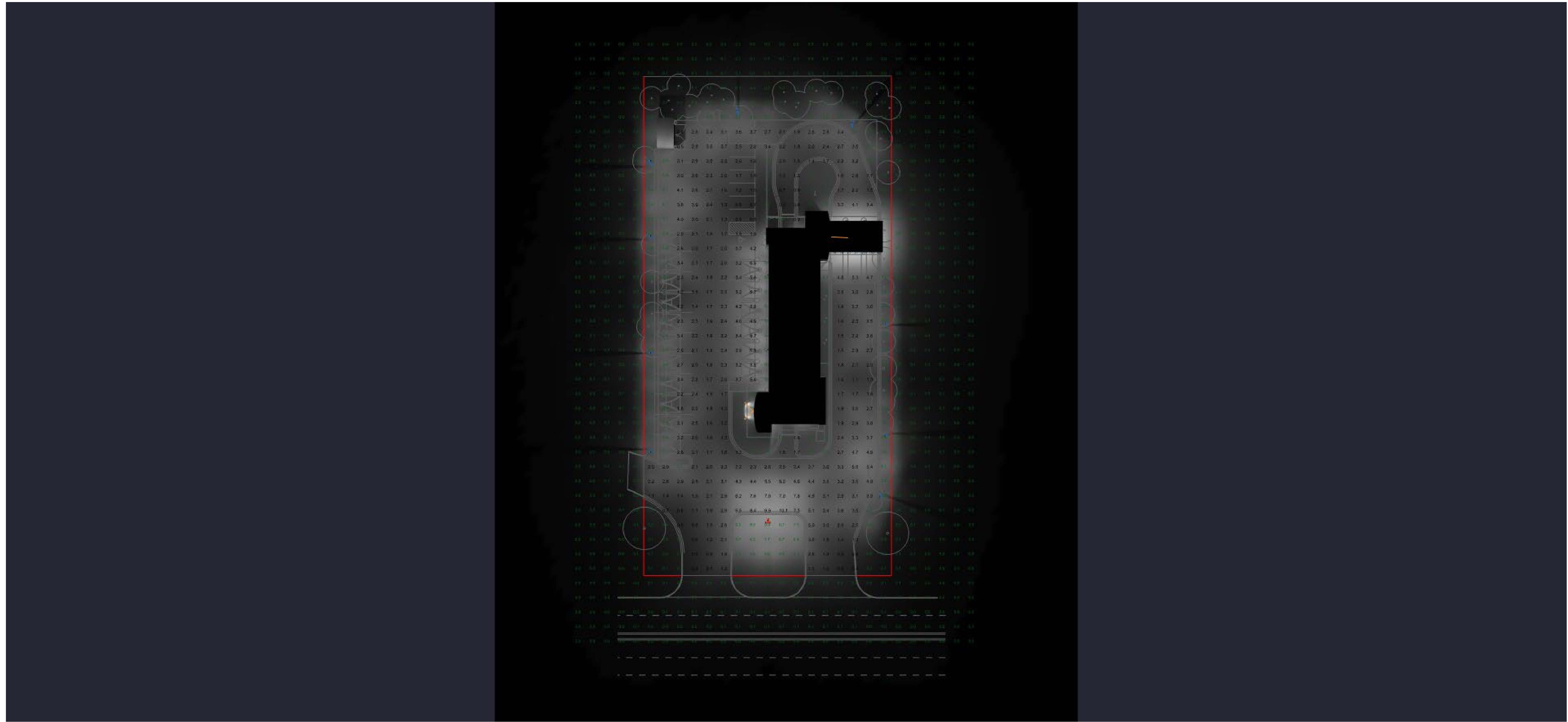
WALL MOUNTED



2022-3058-PR









ZONING STAFF REPORT
2022-3168-PR

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Proposed Use: Metairie Bank: New Construction **Gross Area Lot Size:** 1.66 acres
Previous/Current Use: 24 Hour ATM & Undeveloped **Use Size:** 5,477 sq. ft.
Owner: Metairie Bank & Trust Company **Council District:** 1
Applicant: Paul A Myers, IV **Posted:** December 20, 2022
Determination: Approved, Denied, Postponed **Commission Hearing:** January 3, 2023
Location: Parcel located on the southeast corner of Zinnia Drive and LA Highway 21, Covington; S47, T7S, R11E, Ward 1, District 1



Current Zoning
HC-2 Highway Commercial District
Planned Corridor Overlay
Highway 21 Planned Corridor
Future Land Use
Commercial
Flood Zone
Preliminary: Flood Zone AE
Effective Flood Zone A
Critical Drainage: Yes

Site Information:

1. The petitioned property consists of a total of 1.66 acres which is located on the southeast corner of Zinnia Drive and LA Highway 21, Covington. The property is currently developed with a 24-hour ATM and is otherwise undeveloped.
2. The applicant is proposing to construct a new 3,245 sq. ft. bank and 2,232 sq. ft. retail space.
3. Table 1: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Undeveloped	HC-2 Highway Commercial District
South	Commercial – Retail	HC-2 Highway Commercial District
East	Undeveloped	PF-2 Public Facilities District
West	Commercial – Gas Station	HC-2 Highway Commercial District

Per Table 1 above, the subject site is within the Highway 21 Planned Corridor District and abuts undeveloped property that is zoned HC-2 Highway Commercial District to the north, undeveloped property zoned PF-2 Public Facilities District to the east, and existing commercial development zoned HC-2 Highway Commercial District to the south and west.



ZONING STAFF REPORT
2022-3168-PR

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

Findings:

The applicant has submitted a survey, a site plan and landscape plan, a drainage plan and drainage report, a hydrologic study, an electrical site permit set, and a topographic map, tree survey, and utility plan. Staff has reviewed the application and supporting documents and provided the applicant with a markup summary which is summarized as follows:

Highway 21 Street Buffer

1. Per Sec. 130-1814(1)(e)(1)(i)(B), the Highway 21 street planting area shall contain a minimum of one Class A tree per every 300 sq. ft. of the street planting area and one Class B tree per every 200 sq. ft. of the street planting area.
 - **The property is 185 ft. wide (less the side yard planting areas) and is required a 50 ft. landscaped tree buffer requiring 30 Class A trees, 46 Class B trees, and 22 shrubs.**
 - **The proposed LS-3 landscape plan shows 26 trees preserved providing 74 tree credits and 22 existing shrubs. The applicant must revise the landscape plan to provide 2 Class B trees to meet the planting requirements or request a waiver to the required number of trees within the Highway 21 Street Planting buffer.**

Western Street Buffer

2. Per Sec. 130-1976(a)(2) where a property abuts two or more streets or roads and is between 300-399 feet in depth, a 25 ft. street planting width is required. In addition, 1 Class A tree and 1 Class B tree per 30 linear ft. of road frontage as well as 1 shrub per 10 linear ft. of road frontage is required.
 - **The current site plan and landscape plan shows a 50 ft. no cut buffer provided along Zinnia Drive, where a 25 ft. no cut buffer is required. While staff welcomes the additional planting area, the number of trees that should be counted towards tree credits should only be within the required buffer dimension. The applicant must revise the landscape plan to more accurately reflect the number of existing trees within the required buffer and recalculate the number of trees provided and proposed to ensure compliance with planting requirements.**

Southern Rear Yard Buffer

3. Per Sec. 130-1977(b), the rear buffer planting area width shall be a minimum of ten feet.
 - **The current site plan and landscape plans show a 25 ft. rear yard buffer where a 10 ft. rear yard buffer is required. While staff welcomes the additional planting area, the plans should be revised to show a 10 ft. required rear yard.**

Eastern Side Yard Buffer

4. Per Sec. 130-1977(b), the side buffer planting area width shall be a minimum of ten feet.
 - **The current design of the site and property lines provide an existing 35 ft. driveway off of LA Highway 21 which encroaches into the required side yard buffer area while allowing common access to the adjacent property. Staff recognizes this is an existing situation and the required buffers and plantings cannot be provided.**

Additional Regulations

5. Per Sec. 130-1813(e)(m), the applicant is required to submit an illustrative drainage plan which has been approved by the Department of Engineering.
 - **The applicant has submitted a drainage plan and drainage report and a hydrologic study for the site. These documents have been reviewed by the Engineering Department and comments have been issued for revisions on December 16, 2022.**
 - **Per Sec. 115-3, the subject property is located within a critical drainage area and therefore the applicant must supply a Fill Mitigation Plan prepared and stamped by a Louisiana Licensed Engineer indicating no net increase of fill for the development of the property**



ZONING STAFF REPORT
2022-3168-PR

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

6. Per Sec. 130-1814(1)(e)(1)(iii)(B), planting areas shall be a minimum of ten percent of the paved parking area.
 - **The applicant must provide an interior calculation of the parking area consistent with the requirements listed above or request a waiver to the Planned Corridor Requirements.**
7. A lighting plan in accordance with Chapter 130, Article VI, Division 4.
 - **The applicant has submitted a photometric plan which appears to meet the requirements listed by ordinance.**

Informational Items:

1. The applicant must provide a LADOTD driveway permit or written verification that a driveway permit is not required at the permitting phase.
2. The applicant must provide water and sewer plans prior to the issuance of a building permit.
3. The applicant must contact applicable utility companies to inquire about capacity and or cost of service to accommodate the proposed addition. If capacity is unavailable, the applicant must contact LDH to inquire about sewer and water expansions/updates.
4. A Traffic Impact Analysis is required to be reviewed and approved by the Engineering Department and LADOTD prior to issuance of a building permit.
5. A Temporary Erosion Control Plan and STP Stormwater Agreement is required to be completed by the owner or contractor per Sec. 115-106.
6. The property owner shall be responsible for the maintenance and the replacement of the required plant materials.
7. During construction, planting or open ground areas surrounding preserved trees shall be wired off with a properly flagged, reinforced & rolled wire mesh.

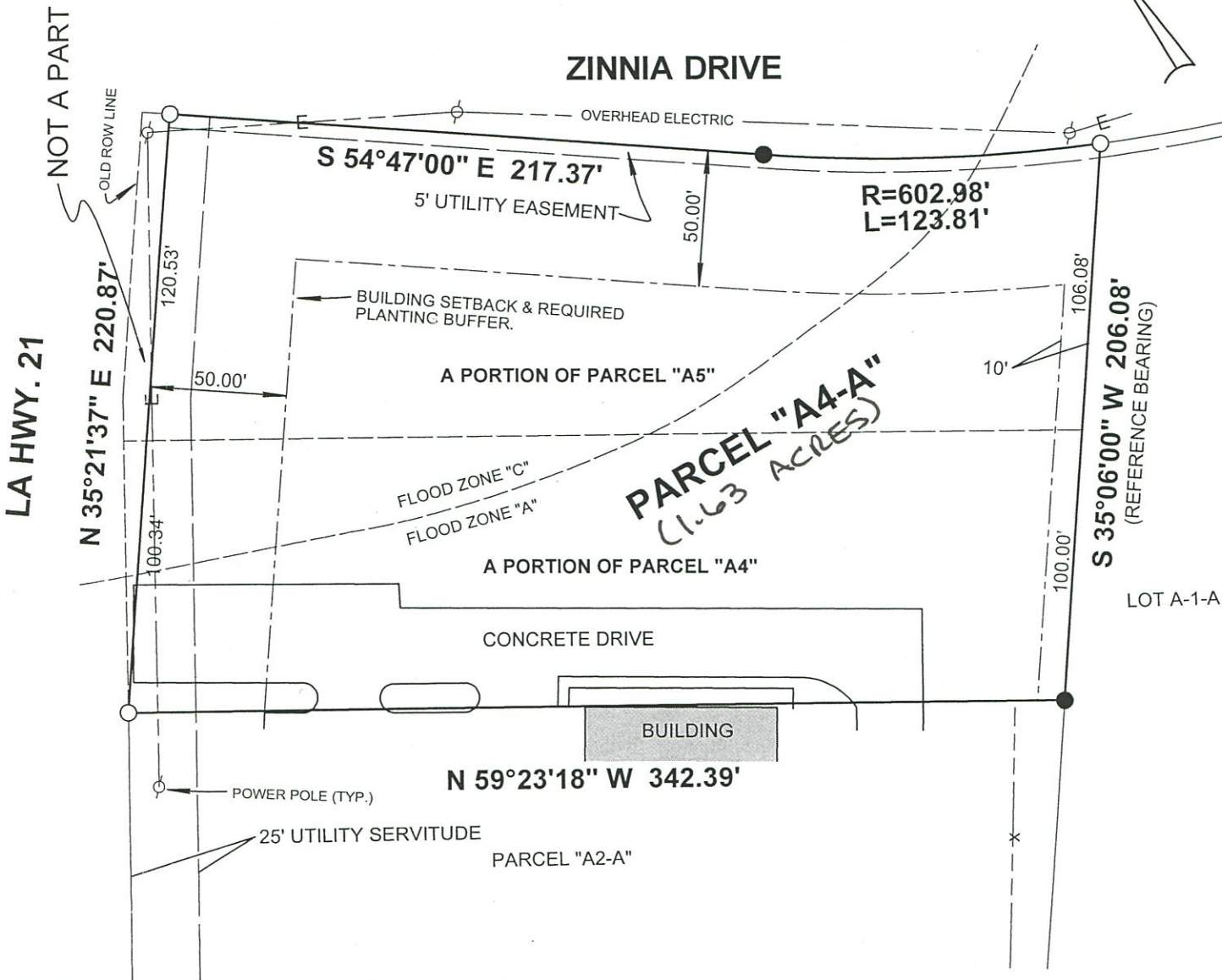
Consistency with New Directions 2040

Commercial: Concentrations of offices, retailers, services, and other employers that generate varying levels of traffic. They range from neighborhood-serving uses such as personal care and convenience goods, to large-scale shopping centers. May also include high intensity residential uses.

1. The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:
 - i. Strategy 1:5:1 Locate new residential and commercial development within, adjacent to, or near existing towns and activity centers and associated infrastructure, services, and amenities.
 - ii. Strategy 1:5:2 Locate high intensity land uses adjacent to high capacity transportation corridors.
 - iii. Goal 5:1: The Parish will designate adequate land served by supporting infrastructure for use by businesses and industries seeking to begin or expand.
 - iv. Goal 5:2: St. Tammany Parish will attract and grow businesses that expand the Parish's tax base and provide living wage jobs to residents of varying skill levels.

THIS PROPERTY IS LOCATED IN FLOOD ZONES A & C; BASE FLOOD ELEV. UNDETERMINED; F.I.R.M. PANEL NO. 220205 0210 C; REV. 10-17-1989

2022-3168-PR



APPROVAL:

Ron Kelle
SECRETARY PLANNING COMMISSION
J. L. H. Smith
DIRECTOR OF THE DEPARTMENT OF ENGINEERING

8-6-2009 4807C
DATE FILED FILE NO.

Jane C. Murphy
CLERK OF COURT

NOTE: SERVITUDES SHOWN HEREON ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST, AS SURVEYOR HAS NOT PERFORMED ANY TITLE SEARCH OR ABSTRACT.



KELLY J. McHUGH REG. NO. 4443

CERTIFIED CORRECT AND IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND AND COMPLYING WITH THE CURRENT APPLICABLE STANDARDS OF PRACTICE FOR A CLASS "C" SURVEY. RED STAMP SIGNIFIES CORRECT PLAT.

-- LEGEND --

● = 3/8" IRON ROD FOUND
○ = 1/2" IRON ROD SET

REFERENCES:

1. RESUBDIVISION PLAT BY JOHN E. BONNEAU & ASSOC., INC., FILED 02-04-2004, MAP FILE NO. 3355E FROM WHICH THE SERVITUDES AND BASIS OF BEARINGS WERE TAKEN.
2. SURVEY BY MANDLE-EDWARDS SURVEYING, INC., DATED 04-11-2006, FILED IN THE OFFICIAL RECORDS OF ST. TAMMANY PARISH, INSTRUMENT NO. 1548820.
3. SURVEY BY JOHN E. BONNEAU & ASSOC., INC., DATED 05-14-2007, SURVEY NO. 20061239 EAST_001 AND FILED THE OFFICIAL RECORDS OF ST. TAMMANY PARISH, INSTRUMENT NO. 1678023.
4. RECIPROCAL SERVITUDE AGREEMENT FILED THE OFFICIAL RECORDS OF ST. TAMMANY PARISH, INSTRUMENT NO. 1570339.

BOUNDARY SURVEY OF:

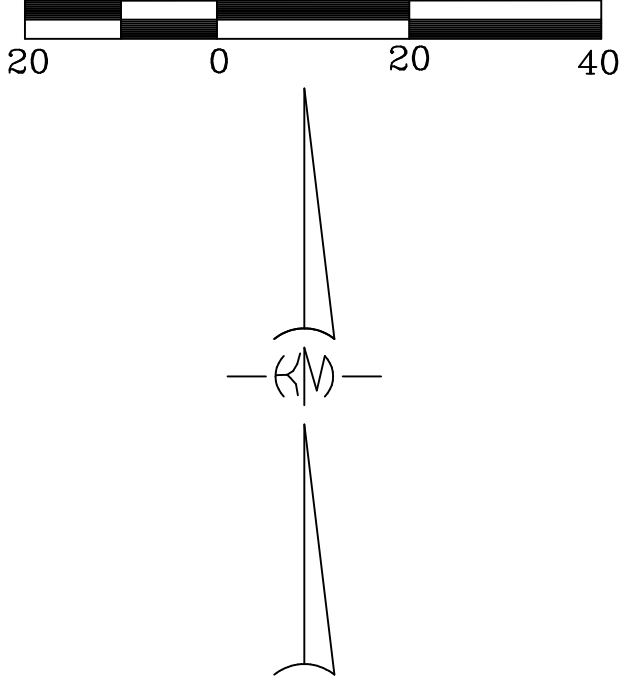
A RESUBDIVISION OF
A PORTION OF PARCELS "A4" & "A5"
INTO PARCEL "A4-A"
FLOWER ESTATES SUBDIVISION
SECTION 47, T-7-S, R-11-E
ST. TAMMANY PARISH, LA.

PREPARED FOR:

METAIRIE BANK & TRUST COMPANY

KELLY J. McHUGH & ASSOC., INC.
CIVIL ENGINEERS & LAND SURVEYORS
845 GALVEZ ST., MANDEVILLE, LA. 626-5611

SCALE:	1" = 60'	DATE:	07-22-2009
DRAWN:	R.F.D.	JOB NO.:	09-087
REVISED:			



TREE CHART

01. 10" PINE TREE	26. 20" PINE	51. 12" PINE	76. 18" PINE
02. 15" OAK	27. 20" PINE	52. 10" CHERRY	77. 10" GUM
03. 18" PINE	28. 8" PINE	53. 15" PINE	78. 18" PINE
04. 12" PINE	29. 18" PINE	54. 12" OAK	79. 20" OAK
05. 10" PINE	30. 8" OAK	55. 10" OAK	80. 18" PINE
06. 15" L.OAK	31. 10" CHERRY	56. 15" OAK	81. 15" PINE
07. 10" PINE	32. 15" PINE	57. 15" PINE	82. 15" PINE
08. 20" PINE	33. 8" HICKORY	58. 18" PINE	83. 12" L.OAK
09. 15" OAK	34. 12" PINE	59. 6" OAK	84. 10" PINE
10. 12" PINE	35. 15" PINE	60. 12" OAK	85. 12" OAK
11. 18" PINE	36. 15" PINE	61. 6" PINE	86. 20" PINE
12. 10" OAK	37. 12" OAK	62. 12" PINE	87. 8" MAGNOLIA
13. 12" PINE	38. 12" OAK	63. 8" OAK	88. 15" OAK
14. 8" OAK	39. 12" OAK	64. 18" OAK	89. 12" OAK
15. 12" OAK	40. 15" OAK	65. 6" L.OAK	90. 12" PINE
16. 24" PINE	41. 30" PINE	66. 24" PINE	91. 18" PINE
17. 20" OINE	42. 24" PINE	67. 12" OAK	92. 15" PINE
18. 18" OAK	43. 30" PINE	68. 6" L.OAK	93. 10" PINE
19. 24" PINE	44. 10" PINE	69. 15" PINE	94. 6" OAK
20. 12" PINE	45. 12" OAK	70. 8" OAK	
21. 18" PINE	46. 10" PINE	71. 12" MAGNOLIA	
22. 12" OAK	47. 10" PINE	72. 10" PINE	
23. 18" PINE	48. 15" PINE	73. 10" OAK	
24. 20" PINE	49. 10" OAK	74. 10" PINE	
25. 8" PINE	50. 10" GUM	75. 10" L.OAK	

- LEGEND
- = 1/2" IRON ROD FOUND
 - = 1/2" IRON ROD SET
 - = R.O.W. MONUMENT FOUND
 - ⊙ = GAS METER
 - G/V — = GAS VALVE
 - W/V — = WATER VALVE
 - ⊞ = TEL. PED.
 - E — = OVERHEAD ELEC
 - ⚡ = STREET LIGHT
 - ⦿ = POWER POLE
 - B/C 12.10' = BOTTOM OF CURB
 - T/C 12.62' = TOP OF CURB
 - 12.03' = SPOT ELEVATION
 - ⊙ = BENCHMARK
- AS SHOWN, ELEV. IS REFERENCED TO NAVD 83, GEOD 18

NOTE:
NO ATTEMPT HAS BEEN MADE BY KELLY McHUGH & ASSOC., INC. TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT. THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON. THE UNDERSIGNED SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPLYING THE DATA FOR THIS SURVEY.

THE WORDS "CERTIFY", "CERTIFIES" OR "CERTIFICATION" AS USED HEREIN IS UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL OPINION BY THE SURVEYOR, BASED UPON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF, AS SUCH, IT DOES NOT CONSTITUTE A GUARANTEE NOR A WARRANTY, EXPRESSED OR IMPLIED.

Call before you dig.
1-800-272-3020



07-29-22

UTILITIES WERE LOCATED AS PER DOTTIE LOCATE TICKET NO.220448588

THIS PROPERTY IS LOCATED IN FLOOD ZONE A & C
BASE FLOOD ELEV. UNDETERMINED
FIRM, PANEL NO. 220205 0210 C
REV. 10-17-1989

NOTE:
OWNER OR CONTRACTOR IS RESPONSIBLE FOR VERIFYING BUILDING SETBACKS BEFORE CONSTRUCTION BEGINS.

SETBACKS AS SHOWN HEREON, TAKEN FROM REFERENCED PLAT

REFERENCE: A RESUBDIVISION PLAT BY THIS FIRM, FILED FOR RECORD 08-06-2009, MAP FILE NO. 4807C FROM WHICH BASIS OF BEARINGS WERE TAKEN.

PREPARED FOR:
METAIRIE BANK

TOPOGRAPHIC, TREE & UTILITY SURVEY OF:
PARCEL "A4-A"
FLOWER ESTATES SUBDIVISION
SECTION 47, T-7-S, R-11-E
ST. TAMMANY PARISH, LA.

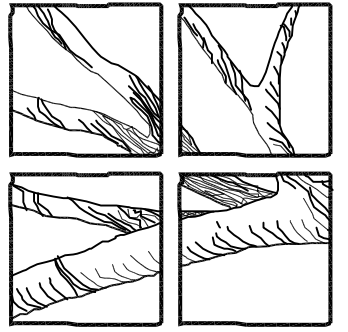
REVISIONS	
MARK	DATE

KELLY McHUGH & ASSOCIATES, INC.
CIVIL ENGINEERS & LAND SURVEYORS
845 GALVEZ ST., MANDEVILLE, LA.
626-5611

SCALE: 1" = 20'
DATE: 07-25-25
DRAWN: MDM
JOB NO.: 09-087
CHECKED: KJM
DWG. NO.: 09-087 TOPO



James R. Aultman, AIA
An Architectural Corporation
Landscape Architecture
223 West 19th Avenue
Covington, Louisiana 70433



A Landscape Plan for
Metairie Bank
26246 U.S. Hwy 190 Covington, Louisiana

Landscape
Plan

11.29.22

L3

PLANTING LEGEND				
MARK	NAME	QTY.	SIZE	CALIPER INCH CLASS
AJ	ANDORRA JUNIPER JUNIPERUS HORIZONTALIS 'YOUNGSTOWN'	66	1 GAL	
AZ	AZALEA	31	5 GAL	
BB	DWARF BOTTLE BRUSH RHODODENDRON JAPONICA 'GG GERBING'	3	1 GAL	
BC	BALD CYPRESS CALLISTEM 'LITTLE JOHN'	3	8-10'	
DE	DRAKE ELM TAXODIUM DISTICHUM	4	6-8'	
DR	DRIFT ROSE ULMUS PARVIFOLIA 'DRAKE'	69	3 GAL	
HY	HYDRANGEA H. MACROPHYLLA 'BIG DADDY'	19	3 GAL	
JM	JAPANESE MAPLE ACER PALMATUM 'WATERFALL'	4	4-6'	
LI	L. MUSCARI 'SUPERBLUE'	241	PINT	
MO	MOOREY GRASS OPHIOPOGON JAPONICUS	135	PINT	
NA	NANDINA N. DOMESTICA 'GULF STREAM'	6	5 GAL	
SC	SASANQUA CAMELLIA C. SASANQUA 'SHISHI GASHIRA'	32	5 GAL	
SO	SHUMARD OAK Q. SHUMARDII	9	10-12'	2 1/2" MIN. A
OL	SPANISH OLIVE OLEA EUROPEANA	6	4-6'	
ZG	ZEBRA GRASS MISCANTHUS SINENSIS	8	3 GAL	

LANDSCAPE NOTES:
1. PREPARE ALL BEDS AND TREE PLANTING PITS AS PER SPECIFICATIONS OF THE AMERICAN SOCIETY OF NURSERYMEN.
2. LANDSCAPE CONTRACTOR AND ALL RELATED SUBCONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH THE SITE AND DETERMINE LOCATIONS OF ALL UTILITIES AND BOUNDARIES PRIOR TO ANY EXCAVATION OR OTHER WORK.
3. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING AND SIDEWALKS.
4. AFTER INSTALLATION, ALL PLANTS SHALL BE HEALTHY, PERPENDICULAR TO THE GROUND PLANE AND AT LEAST TO THE SIZE SPECIFIED.
5. EXCAVATED SOIL SHALL BE DISPOSED OF LEGALLY. COMPACT PLANTING SOIL AS IT IS BACKFILLED.
6. INSTALL GRADE 'A' LOUISIANA-GROWN CENTIFEDE SOD AT ALL PARKING ISLANDS AND AREAS SHOWN AS 'SOD'.
7. INSTALL 4" ORGANIC MULCH AT ALL PLANTING BEDS AND PITS.
8. INSTALL IRRIGATION SYSTEM FOR PLANTINGS AROUND BUILDING.
9. LEAVE SITE CLEAN.

PARKING CALCULATIONS:
RETAIL - 2139 SF / 350 SF. = 6.1 PARKING SPACES
BANK - 3233 SF / 350 SF. = 9.2 PARKING SPACES
16 TOTAL SPACES REQ'D. 39 SPACES PROVIDED.

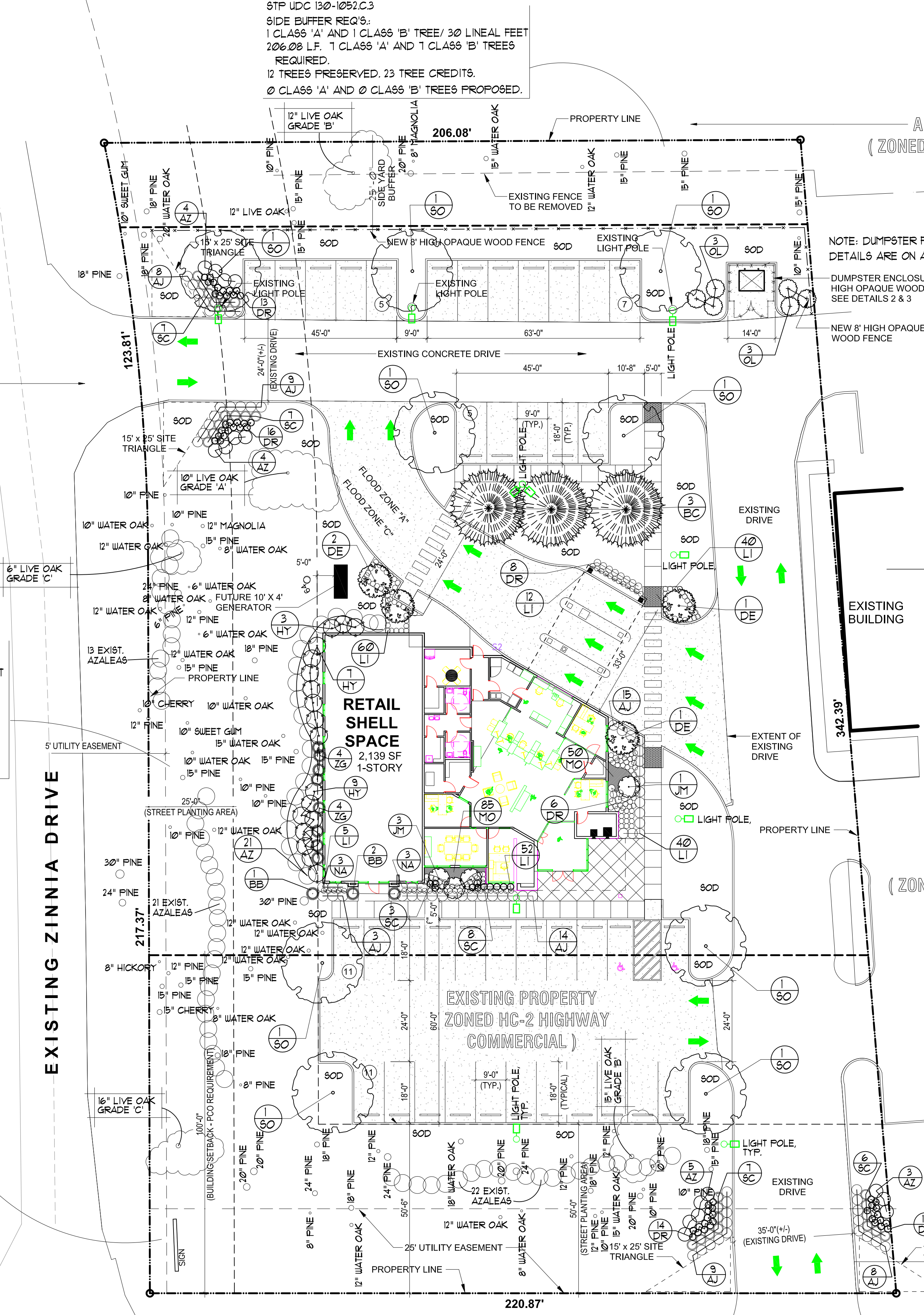
ADJACENT PROPERTY
(ZONED HC-2 HIGHWAY COMMERCIAL)
NOT - A - PART

STP UDC 130-1814 HWY 21 OVERLAY
25' STREET PLANTING AREA:
1 CLASS 'A' / 300 SF. AND 1 CLASS 'B' TREE / 200 SF.
1 SHRUB / 10 L.F.
5455 SF. 18 CLASS 'A' AND 21 CLASS 'B' TREES
REQUIRED. 22 SHRUBS REQUIRED.
26 TREES PRESERVED. 14 TREE CREDITS
22 SHRUBS PRESERVED.
0 CLASS 'A' AND 0 CLASS 'B' TREES PROPOSED.
0 SHRUBS PROPOSED.

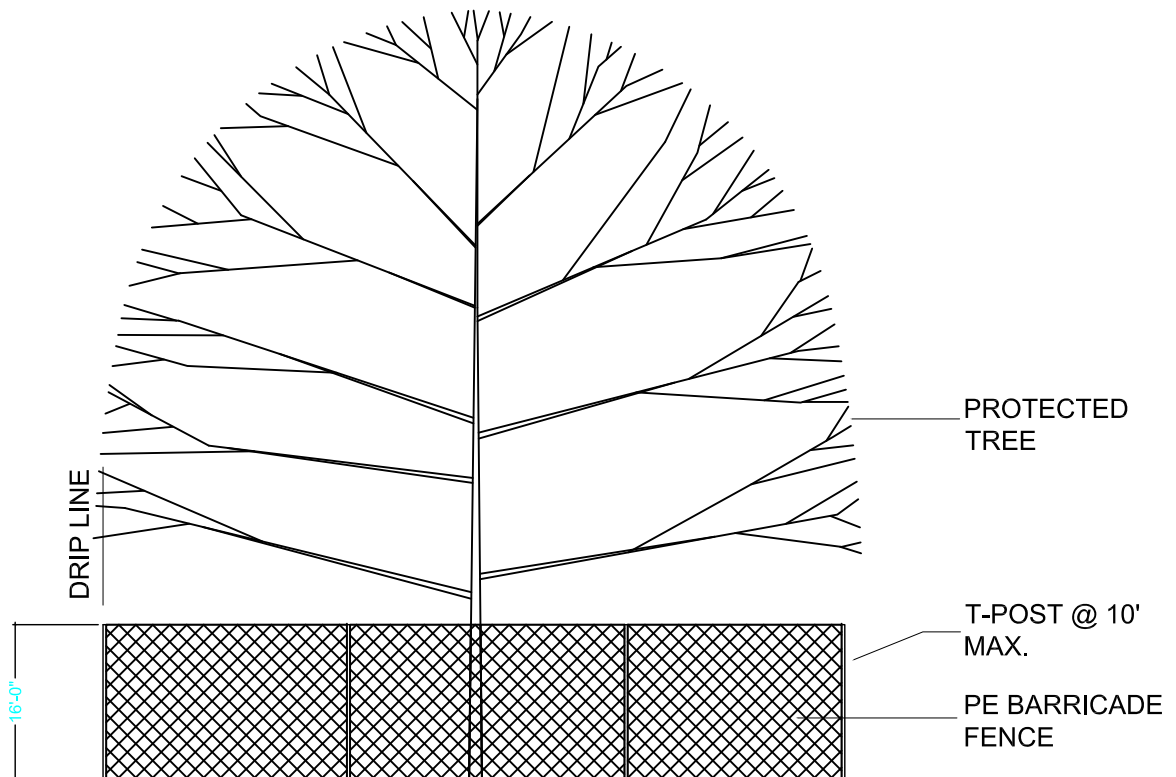
STP UDC 130-1052.C2
25' STREET PLANTING AREA:
1 CLASS 'A' AND 1 CLASS 'B' TREE / 30 LINEAL FEET
1 SHRUB / 10 L.F.
34118 L.F. 12 CLASS 'A' AND 12 CLASS 'B' TREES
REQUIRED. 35 SHRUBS REQUIRED.
48 TREES PRESERVED. 80 TREE CREDITS
35 SHRUBS PRESERVED.
0 CLASS 'A' AND 0 CLASS 'B' TREES PROPOSED.
0 SHRUBS PROPOSED.

EXISTING ZINNIA DRIVE

STP UDC 130-1052.C3
SIDE BUFFER REQ'D.
1 CLASS 'A' AND 1 CLASS 'B' TREE / 30 LINEAL FEET
206.08 L.F. 1 CLASS 'A' AND 1 CLASS 'B' TREES
REQUIRED.
12 TREES PRESERVED. 23 TREE CREDITS.
0 CLASS 'A' AND 0 CLASS 'B' TREES PROPOSED.

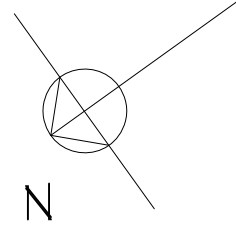


ADJACENT PROPERTY
(ZONED PF-2 PUBLIC FACILITIES)
NOT - A - PART



NOTE: PROTECTIVE BARRICADES SHALL BE PLACED AROUND ALL LIVE OAKS AND SHALL REMAIN IN PLACE UNTIL LAND ALTERATIONS, SITE CLEARING, CONSTRUCTION ACTIVITIES ARE COMPLETED.

ADJACENT PROPERTY
(ZONED HC-2 HIGHWAY COMMERCIAL)
NOT - A - PART

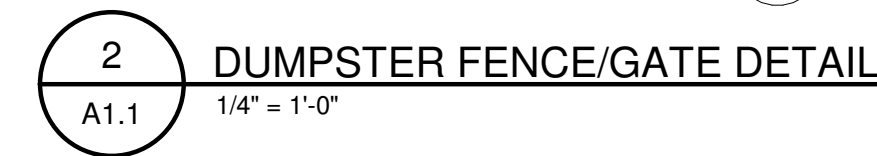


LANDSCAPE PLAN

BASED ON A SURVEY BY KELLY MCHUGH AND ASSOCIATES, INC., DATED 1/25/22

EXISTING L.A. HWY. 21

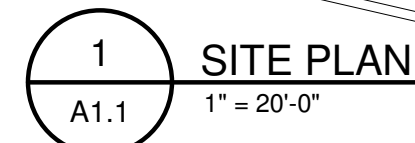
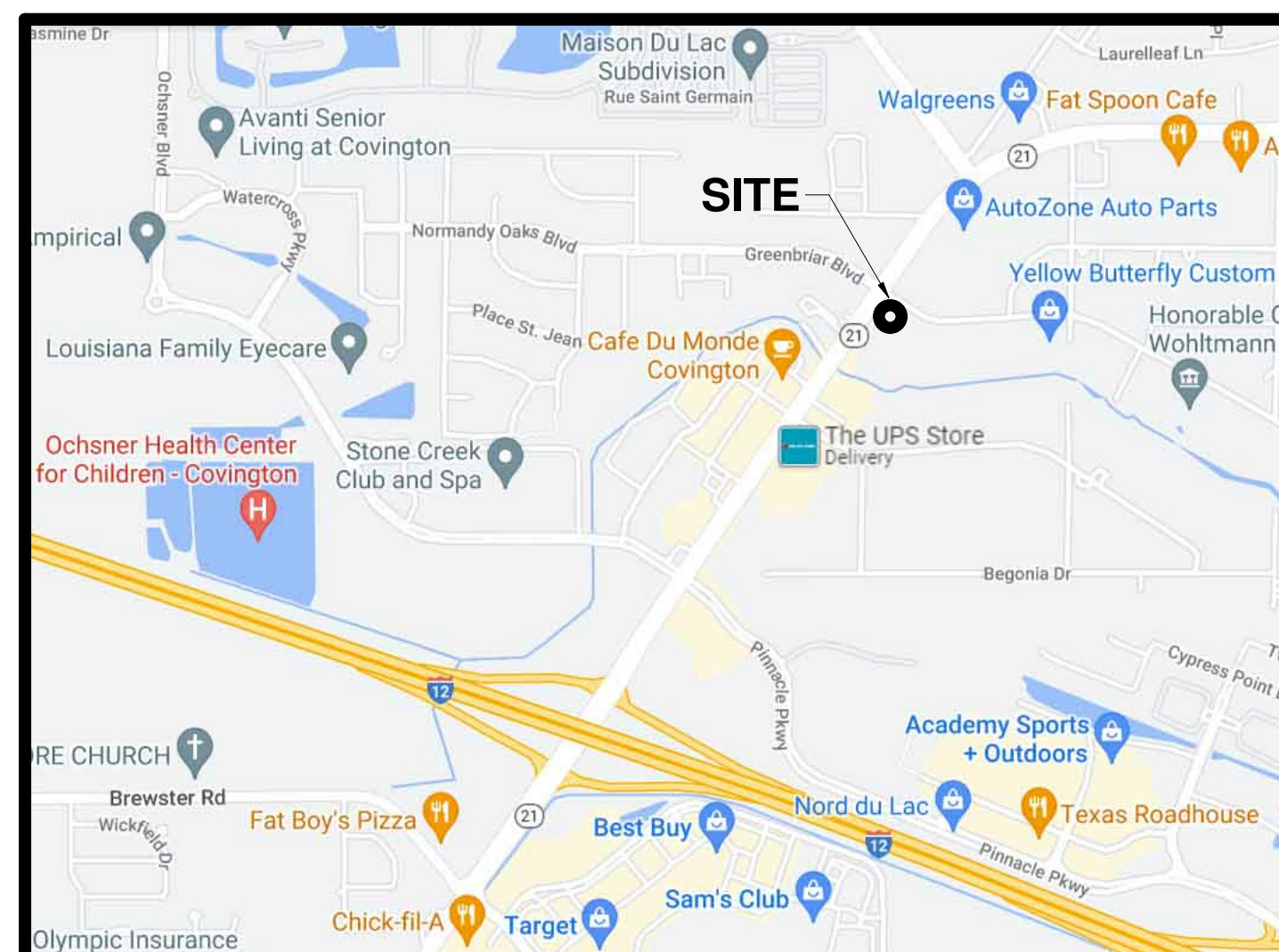
1"=20'-0"



EXISTING ZINNIA DRIVE



ADJACENT PROPERTY
(ZONED HC-2 HIGHWAY COMMERCIAL)
NOT - A - PART



<p> </p>	<p> </p>
<p> </p>	<p>NOTE: CONTRACTOR SHALL SEE ELECTRICAL SPECIFICATIONS.</p>

1. ALL WORK SHALL CONFORM TO THE 2014 EDITION OF THE NATIONAL ELECTRICAL CODE AND ALL LOCAL, STATE AND NATIONAL CODES AND STANDARDS.
2. ALL ELECTRICAL LOCATIONS SHOWN ON THESE DRAWINGS ARE APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY ALL INSTALLATIONS WITH THE ARCHITECTURAL DRAWINGS.
3. CONTRACTOR SHALL APPLY FOR AND PAY ALL NECESSARY PERMIT AND INSPECTION FEES.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR PAINTING ALL EXPOSED EXTERIOR ELECTRICAL DEVICES INCLUDING, BUT NOT LIMITED TO, CONDUITS AND JUNCTION BOXES. THE PAINT SHALL BLEND WITH THE INDICATED SURFACE. VERIFY EXACT COLOR WITH THE ARCHITECT.
5. CONTRACTOR SHALL VERIFY THE ELECTRICAL REQUIREMENTS FOR ALL OWNER PROVIDED AND MECHANICAL EQUIPMENT WITH THE EQUIPMENT SUPPLIER. BREAKER AND DISCONNECT SIZES SHALL MATCH THE ACTUAL REQUIREMENTS OF THE EQUIPMENT PROVIDED. REFERENCE MECHANICAL DRAWINGS FOR DETAILS, DIMENSIONS, AND EXACT LOCATIONS OF MECHANICAL EQUIPMENT.
6. PENETRATIONS THROUGH FIRE/SMOKE RATED CONSTRUCTION SHALL BE SEALED WITH A MATERIAL CAPABLE OF PREVENTING THE PASSAGE OF FLAMES AND HOT GASES WHEN TESTED IN ACCORDANCE WITH ASTM-E814. REFERENCE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS OF RATED WALLS.
7. THE CONTRACTOR SHALL USE METAL RACEWAYS AND BOXES FOR OUTLET LOCATIONS. ALL RACEWAYS AND BOXES THAT CANNOT BE RECESSED IN THE WALL SHALL BE APPROVED BY THE ARCHITECT AND SHALL BE METAL SUPPORTED WITH SCREW/ANCHOR FASTENERS. GLUED OR TAPED SUPPORTS ARE NOT ACCEPTABLE.
8. ALL RECEPTACLES SHALL BE TAMPERPROOF.
9. CONTRACTOR SHALL PROVIDE ALL 120V & FIRE ALARM CONNECTORS FOR ALL SMOKE AND FIRE DAMPERS. SEE MECHANICAL PLANS FOR LOCATIONS.
10. ALL EXTERIOR CONDUIT/JUNCTION BOXES SHALL BE PAINTED TO BLEND IN WITH THE FINISH OF SURROUNDING AREA. VERIFY PAINT COLOR WITH ARCHITECT PRIOR TO PURCHASING.
11. CONTRACTOR SHALL VISIT SITE PRIOR TO BIDDING TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NO EXTRAS WILL BE ALLOWED FOR CONDITIONS THAT A SITE VISIT SHOULD HAVE REVEALED.
12. CONTRACTOR SHALL SEE VOLTAGE DROP SCHEDULE ON THIS SHEET FOR ALL BRANCH CIRCUITS CONDUCTORS ON THIS PROJECT OR AS NOTED ON THE PLAN.

NOTE: CONTRACTOR SHALL UPSIZE CONDUCTORS PER VOLTAGE DROP SCHEDULE ABOVE.

PLANS DO NOT ATTEMPT TO SHOW ALL ELECTRICAL DEMOLITION ITEMS. UNLESS OTHERWISE NOTED, THE DEVICES THAT ARE SHOWN FOR INFORMATION PURPOSES. FIELD VERIFY ALL DEMOLITION ITEMS AND PROVIDE REMOVAL OF ALL DEVICES ACCORDINGLY.

REMOVE ALL EXISTING ELECTRICAL EQUIPMENT SUCH AS LIGHT FIXTURES, SWITCHES/DIMMERS, EXIT LIGHTS, RECEPTACLES, TELEPHONE, DATA, MISC. OUTLETS, COMMUNICATION DEVICES, ETC. IN THE DEMOLITION AREAS. REMOVE CONDUIT/WIRE BACK TO PANEL(S) AND LABEL ALL ASSOCIATED BREAKERS AS "SPARE". CARE SHALL BE TAKEN TO MAINTAIN CIRCUIT CONTINUITY TO ELECTRICAL DEVICES THAT SHALL REMAIN. PROVIDE NEW CONDUIT/WIRE AS REQUIRED.

DAMAGE TO EXISTING MATERIALS/EQUIPMENT WILL BE REPAIRED AT NO ADDITIONAL COST TO OWNER. RE-SUPPORT ANY REMAINING CONDUIT OR DEVICE THAT WERE SUPPORTED BY WALLS/MILLWORK BEING REMOVED.

NON-DEMOLITION AREAS: DEMOLITION WORKS SHALL NOT AFFECT AREAS NOT INCLUDED IN DEMOLITION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTINUITY OF ALL SERVICES IN NON-DEMOLITION AREAS. ALL SERVICES SHALL BE MAINTAINED AT ALL TIMES. MAINTAIN SERVICE BY EXTENDING, RE-ROUTING AND/OR RECONNECTING ANY CIRCUITS AFFECTED BY DEMOLITION. PROVIDE ADDITIONAL CONDUIT/WIRE AS REQUIRED TO MAINTAIN SERVICE. CIRCUITS IN NON-DEMOLITION AREAS THAT ARE CONNECTED TO DEMOLISHED PANELS AND/OR CIRCUITS SHALL BE RE-CIRCUITED TO THE EXISTING PANELS. PROVIDE TEMPORARY POWER AS REQUIRED DURING CHANGE-OVER TO MAINTAIN CONTINUOUS SERVICE. PROVIDE TEMPORARY POWER FOR ALL RELOCATED CIRCUITS AS REQUIRED TO MAINTAIN CONTINUOUS SERVICE.

FIELD INVESTIGATE THE EXISTING ELECTRICAL INSTALLATION. ALL EXISTING INSTALLATIONS IN THE RENOVATION AREAS THAT ARE TO REMAIN BUT ARE NOT CURRENTLY IN COMPLIANCE WITH CURRENT CODES SHALL BE CORRECTED, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

UN-SUPPORTED CONDUIT AND JUNCTION BOXES LAYING ON TOP OF CEILING TIES, CONDUIT AND/OR JUNCTION BOXES SUPPORTED ONLY BY TIE-WIRE - RAISE AND SUPPORT CONDUIT WITH STRAP PER SPECS. PROVIDE NEW CONDUIT/WIRE AS REQUIRED. CIRCUITS WITHOUT A SEPARATE GREEN GROUNDING WIRE - INSTALL A GREEN GROUNDING WIRE FOR EVERY RECEPTACLE OUTLET AND DEVICES. INSTALLATION OF THE GREEN GROUNDING WIRE MAY REQUIRE THE REMOVAL AND RE-INSTALLATION OF THE EXISTING WIRES. PROVIDE NEW WIRE AS REQUIRED.

FIXTURES IMPROPERLY SUPPORTED OR INADEQUATELY SUPPORTED BY DEVICE BOXES - PROVIDE PROPER SUPPORT PER N.E.C.

PRIOR TO STARTING OF DEMOLITION, CONFER WITH ARCHITECT FOR GENERAL INSTRUCTIONS.

SEAL ALL PENETRATIONS IN EXISTING FLOORS, CEILINGS, WALLS, ETC., WHERE ELECTRICAL EQUIPMENT, DEVICES, CABLING, ETC., ARE REMOVED TO SATISFACTION OF ARCHITECT.

A. REMOVE EXISTING CIRCUITRY. PROVIDE ADDITIONAL CONDUIT, WIRING, ETC., NECESSARY TO MAINTAIN CIRCUIT CONTINUITY TO EXISTING DEVICES ON THE SAME CIRCUIT THAT ARE NOT TO BE RECIRCUITED.

C. RECIRCUIT DEVICES AS INDICATED.

WHERE AN EXISTING DEVICE OR LIGHT FIXTURE IS REMOVED BUT THE RACEWAY AND BOX REMAINS FOR CIRCUIT CONTINUITY, PROVIDE AN APPROPRIATE BLANK COVER PLATES OF MATERIAL AND FINISH TO MATCH THE COVER PLATES ON THE DEVICES IN THAT ROOM.

ENGINEER

ALL EXISTING PENETRATIONS THRU FIRE RATED WALLS, FLOORS, ETC. WITH FIREPROOFING MATERIAL EQUAL OR GREATER THAN FIRE RATING OF WALLS, FLOORS, ETC.	60 WEST COURT MANDERVILLE, LA. 70471	(504) 888-1507
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SITE LIGHTING FIXTURE SCHEDULE		
TYPE	MANUFACTURER CAT. NO.	DESCRIPTION
S1	HALO COMM HC620D010-HM12835-6IMDC	6" LED RECESSED CAN, 21W, 3500K COLOR TEMPERATURE, 2000 LUMENS. VERIFY FINISH AND TRIM WITH ARCHITECT.
S2	LIGMAN UTA-31862-29W-AS-W35-06-120/27V	LED DOWN LIGHT WALL SCONCE, 37W, 3500K COLOR TEMPERATURE, 2700 LUMENS. VERIFY FINISH AND TRIM WITH ARCHITECT.
S3	ASD LIGHTING CAN05-70D40-BZ-PRM	SQUARE SURFACE MOUNTED LED, 70W, 8400 LUMENS, 4000K COLOR TEMPERATURE, AND UNIVERSAL VOLTAGE.
S4	LIGMAN ULH-10665-27-W35-(FINISH)-120/27V	39" HEIGHT BOLLARD WITH LED DOWN THROW OPTICS, 27W, 3500K COLOR TEMPERATURE, 1100 LUMENS. VERIFY FINISH WITH ARCHITECT.
SL1	LUMARK PRV-C40-D-UNV-T3-BZ/SINGLE/25FT POLE	(1) 131W LED, 13,140 LUMENS, 4000K COLOR TEMPERATURE, TYPE 3 DISTRIBUTION, SINGLE POLE MOUNT ARM, 25' POLE, BRONZE FINISH.
SL2	LUMARK PRV-C40-D-UNV-T4-BZ/2@90/25FT POLE	(2) 131W LED, 17,144 LUMENS, 4000K COLOR TEMPERATURE, TYPE 4 DISTRIBUTION, SINGLE POLE MOUNT ARM, 25' POLE, BRONZE FINISH.

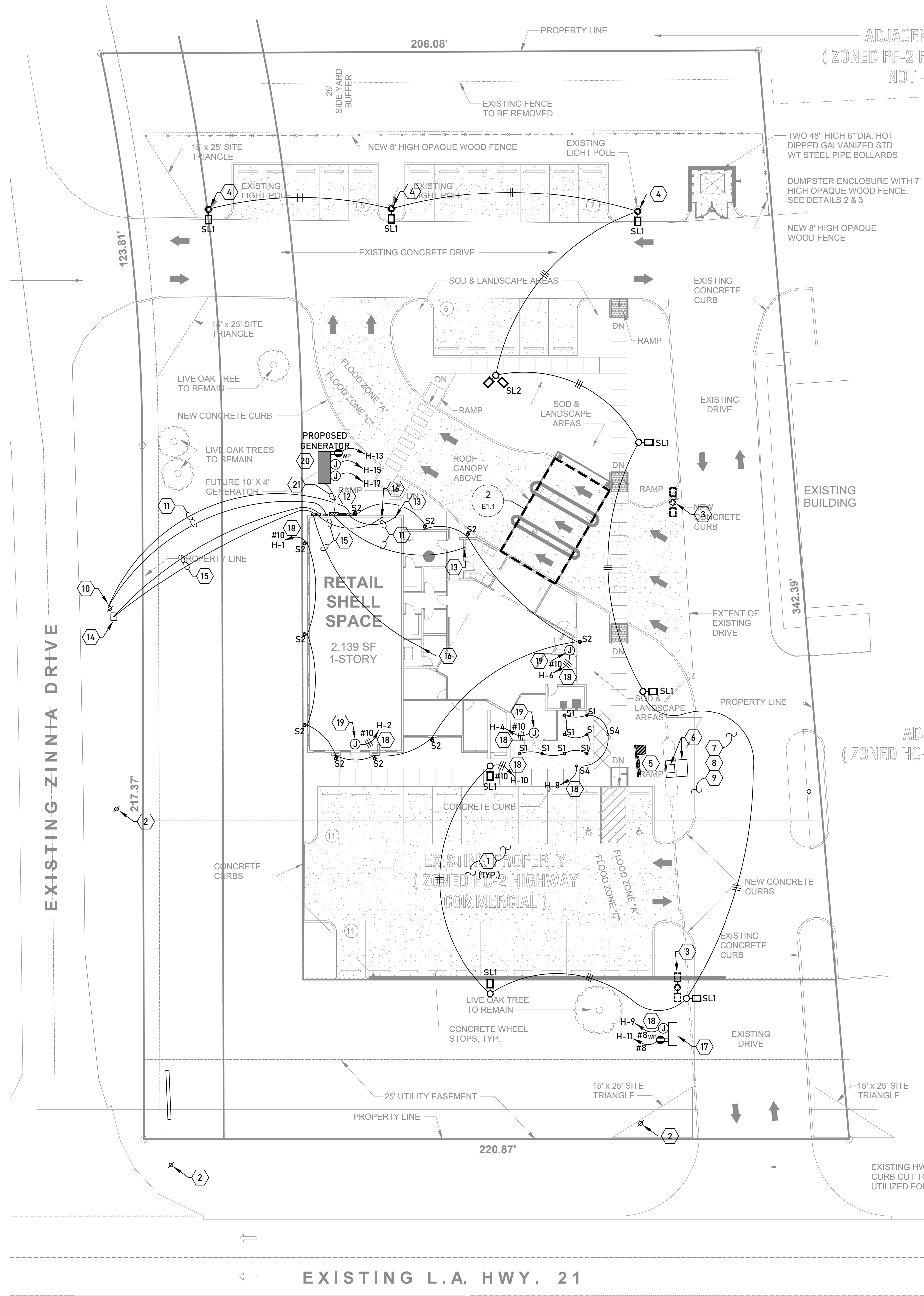
NOTE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DETAILED SPECIFICATIONS OF ALL PURCHASED LIGHT FIXTURES TO DRAKE ENGINEERING FOR APPROVAL. THE SUBMITTAL PROCESS IS MANDATORY. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ALL LIGHT FIXTURES SUBMITTED WITHOUT APPROVED SUBMITTALS.

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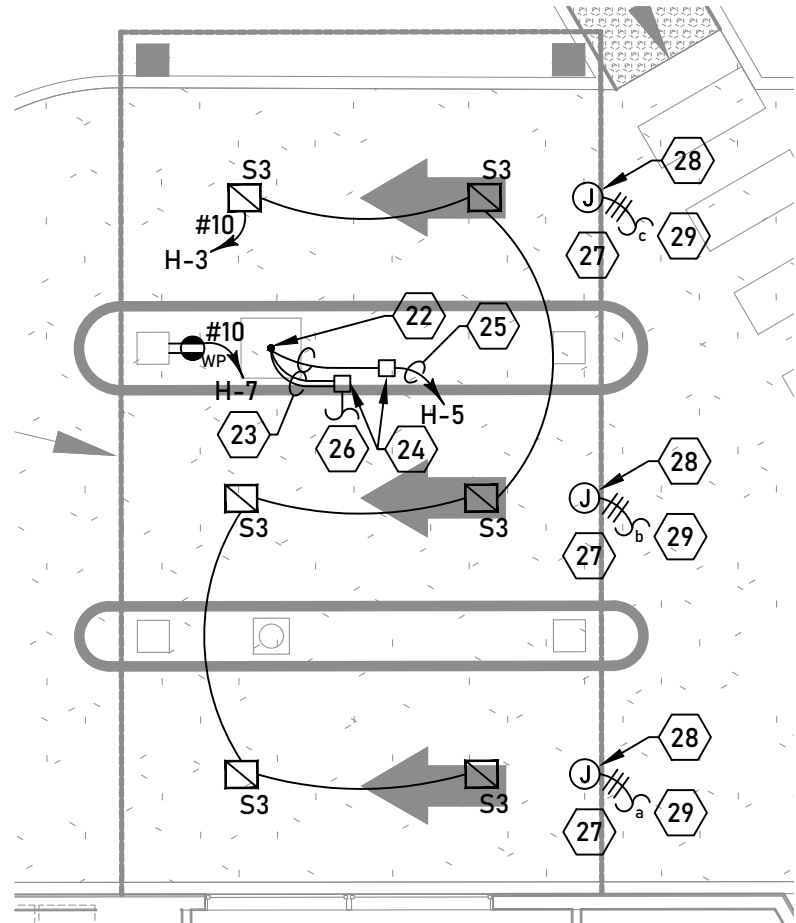
ELITE

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1 ELECTRICAL SITE PLAN
1" = 20'-0"

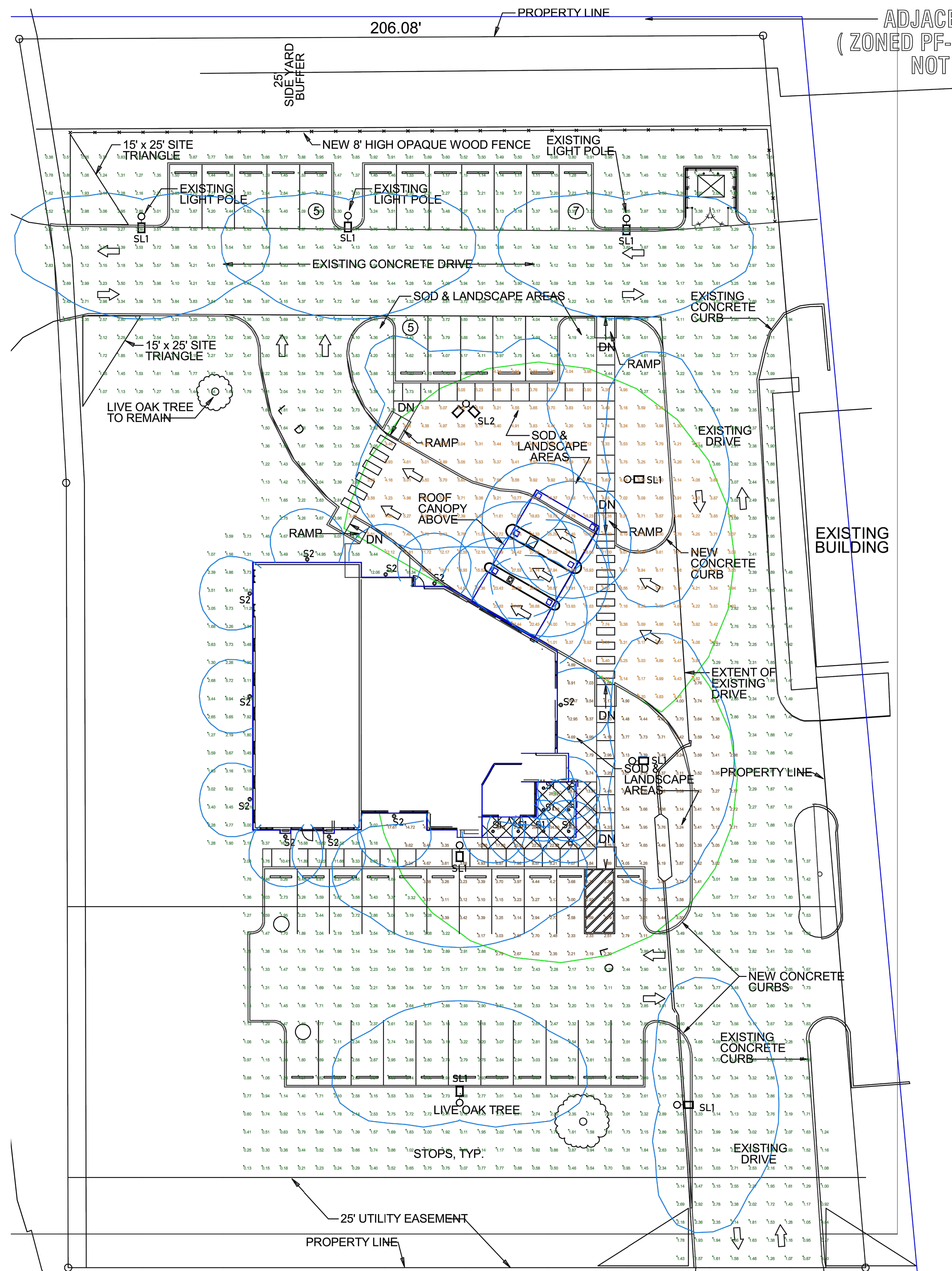


2 DETAILED - DRIVE-UP ATM
1/8" = 1'-0"

ELECTRICAL KEY NOTES:

- 1 ASSURE ACCURATE KNOWLEDGE OF THE SITE FOR UNDERGROUND UTILITIES. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO TRENCHING OR AUGURING.
- 2 APPROXIMATE LOCATION OF EXISTING UTILITY POLE TO REMAIN.
- 3 APPROXIMATE LOCATION OF EXISTING POLE LIGHT TO BE REMOVED. THE POLE LIGHT SHALL REMAIN UNTIL THE ATM HAS BEEN REMOVED.
- 4 APPROXIMATE LOCATION OF EXISTING POLE LIGHT TO BE REPLACED WITH NEW POLE AND HEAD. VERIFY THE EXISTING POLE BASE BOLT PATTERN WITH THE NEW POLE PRIOR TO REMOVING THE POLE.
- 5 APPROXIMATE LOCATION OF EXISTING ATM ELECTRICAL AND SPECIAL SYSTEMS SERVICES TO BE REMOVED. CONTRACTOR SHALL COORDINATE THE REMOVAL OF THE SERVICES WITH THE OWNER AND THE CONTRACTOR PRIOR TO START OF WORK.
- 6 APPROXIMATE LOCATION OF EXISTING DRIVE UP ATM AND CANOPY TO BE REMOVED. CONTRACTOR SHALL COORDINATE THE REMOVAL OF THE ATM WITH THE OWNER AND THE CONTRACTOR PRIOR TO START OF WORK.
- 7 UNLESS NOTED OTHERWISE, ALL OF THE EXISTING ELECTRICAL EQUIPMENT CURRENTLY LOCATED IN THE AREAS OF DEMOLITION, WHETHER SPECIFICALLY INDICATED ON THIS DRAWING OR NOT, SHALL BE DISCONNECTED AND REMOVED FROM SERVICE. THE OWNER HAS FIRST RIGHT OF REFUSAL ON ALL REMOVED ITEMS. ALL ITEMS NOT WANTED BY THE OWNER SHALL BE PROPERLY DISPOSED OF OFFSITE BY THE CONTRACTOR IN ACCORDANCE WITH THE LAW. CARE SHALL BE TAKEN TO MAINTAIN CIRCUIT CONTINUITY TO ALL EXISTING ELECTRICAL DEVICES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ELECTRICAL DEMOLITION WORK CONTAINED IN THE DRAWINGS AND SPECIFICATIONS. THIS INCLUDES ANY ELECTRICAL WORK NECESSARY FOR THE DEMOLITION OF ITEMS INDICATED IN THE ARCHITECTURAL AND MECHANICAL PLANS. SEE GENERAL ELECTRICAL DEMOLITION NOTES ON THIS SHEET FOR MORE INFORMATION.
- 8 EXISTING CONDUIT; INTENT OF THIS PROJECT IS TO REMOVE ALL INACTIVE CONDUIT AND WIRES IN PROJECT AREA. ACTIVE WIRING CONDUIT THAT WOULD BE EXPOSED SHALL BE RELOCATED TO A RACEWAY, ABOVE OR BEHIND NEW FINISHED CEILINGS AND/OR WALLS WHEN POSSIBLE, UNLESS INDICATED OTHERWISE. CONTRACTOR SHALL FIELD INSPECT PRIOR TO BIDDING PROJECT.
- 9 THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ELECTRICAL WORK ASSOCIATED WITH THE REMOVAL OF THE ATM AND ASSOCIATED POLE LIGHTS. THE ELECTRICAL PLANS DO NOT ATTEMPT TO SHOW ALL ELECTRICAL ITEMS THAT WILL BE REQUIRED. EXISTING LIGHT FIXTURES, ELECTRICAL DEVICES, SECURITY SYSTEMS, ETC., SHALL BE REMOVED UNLESS NOTED OTHERWISE. PRIOR TO BIDDING, THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING CONDITIONS AND TO DETERMINE WHAT WORK WILL BE REQUIRED NO EXTRAS WILL BE ALLOWED FOR CONDITIONS THAT A SITE VISIT COULD HAVE REVEALED.
- 10 APPROXIMATE LOCATION OF NEW UTILITY POWER POLE. INSTALLATION SHALL BE PER UTILITY SPECIFICATIONS. PROVIDE ALL NECESSARY MATERIALS.
- 11 CONDUITS SHALL BE ROUTED UNDERGROUND TO THE UTILITY POLE FROM THE INDICATED LOCATION. THESE CONDUITS SHALL BE BURIED A MINIMUM OF 36" BELOW GRADE. SEE ELECTRICAL RISER DIAGRAM FOR MORE INFORMATION.
- 12 APPROXIMATE LOCATION OF ELECTRICAL SERVICE AND ATS. CONTRACTOR SHALL VERIFY EXACT LOCATION WITH THE ARCHITECT PRIOR TO INSTALLATION. CARE SHALL BE TAKEN TO MAINTAIN PROPER WORKING CLEARANCE PER NEC. SEE ELECTRICAL RISER DIAGRAM FOR MORE INFORMATION.
- 13 APPROXIMATE LOCATION OF ELECTRICAL CONDUIT PENETRATIONS TO THE SLAB. COORDINATE EXACT LOCATION WITH THE STRUCTURAL ENGINEER AND THE ARCHITECT.
- 14 APPROXIMATE LOCATION OF NEW UTILITY SERVICE JUNCTION BOX.
- 15 CONDUITS WITH PULL STRING SHALL BE ROUTED UNDERGROUND TO THE UTILITY SERVICE JUNCTION BOX FROM THE INDICATED LOCATION. THESE CONDUITS SHALL BE BURIED A MINIMUM OF 36" BELOW GRADE. SEE ELECTRICAL RISER DIAGRAM FOR MORE INFORMATION.
- 16 APPROXIMATE LOCATION OF SPECIAL SYSTEMS CONDUIT PENETRATIONS TO THE SLAB. COORDINATE EXACT LOCATION WITH THE STRUCTURAL ENGINEER, THE ARCHITECT.
- 17 APPROXIMATE LOCATION OF NEW MONUMENT SIGN. CONTRACTOR SHALL VERIFY EXISTING POWER REQUIREMENTS OF SIGN AND PROVIDE A NEW LIGHTING CIRCUIT AND RECEPTACLE AS INDICATED. PROVIDE A PROPERLY SIZED BREAKER/FEDERS FOR A COMPLETE INSTALLATION.
- 18 INDICATED CIRCUITS SHALL BE ROUTED THROUGH AN EXTERIOR LIGHTING CONTROL AND PHOTOCELL.
- 19 COORDINATE HEIGHT OF JUNCTION BOX ON INTERIOR WALL WITH ARCHITECT FOR EXTERIOR L.E.D. BACKLIT SIGNAGE. CONTRACTOR SHALL PROVIDE PROPER MEANS OF DISCONNECT AND ROUGH IN 3/4" CONDUIT THROUGH THE BRICK AND STUBBED THROUGH EXTERIOR WALL SHEATHING FOR EACH SIGN CHARACTER. VERIFY CONDUIT SIZE AND LOCATION WITH ARCHITECT PRIOR TO INSTALLATION.
- 20 APPROXIMATE LOCATION OF NEW GENERATOR. PROVIDE TWO (2) 20A/1P CIRCUITS FOR THE GENERATOR BATTERY CHARGER AND BLOCK HEATER. VERIFY INSTALLATION DETAILS AND EQUIPMENT SPECIFICATIONS WITH THE GENERATOR VENDOR PRIOR TO INSTALLATION. SEE ELECTRICAL RISER DIAGRAM FOR MORE INFORMATION.
- 21 CONDUITS SHALL BE ROUTED UNDERGROUND FROM THE GENERATOR TO THE AUTOMATIC TRANSFER SWITCHES. THESE CONDUITS SHALL BE BORED OR BURIED A MINIMUM OF 36" BELOW GRADE. SEE ELECTRICAL RISER DIAGRAM FOR MORE INFORMATION.
- 22 APPROXIMATE LOCATION OF DRIVE THROUGH ATM. CONTRACTOR SHALL VERIFY ATM POWER REQUIREMENTS AND PROVIDE A PROPERLY SIZED BREAKER/FEDERS FOR A COMPLETE INSTALLATION. CONTRACTOR SHALL COORDINATE THE INSTALLATION, LOCATION, AND REQUIREMENTS OF ATM PRIOR TO INSTALLATION.
- 23 CONTRACTOR SHALL PROVIDE 3/4" CONDUIT WITH PULLSTRING EACH INCASED IN CONCRETE. SEE DRIVE UP CANOPY DETAILS PRIOR TO INSTALLATION.
- 24 APPROXIMATE LOCATION OF ATM INGROUND JUNCTION BOX (SIZED PER NEC). JUNCTION BOX SHALL BE FLUSHED WITH TOP OF CONCRETE ISLAND. VERIFY LOCATION AND INSTALLATION DETAILS PRIOR TO INSTALLATION.
- 25 ONE (1) 3/4" CONDUIT WITH TWO (2) #8 AWG CONDUCTORS AND #10 AWG GROUND ROUTED FROM THE UNDERGROUND JUNCTION BOX TO THE ELECTRICAL PANEL. VERIFY CONDUIT STUB-UP LOCATION AND INSTALLATION DETAILS PRIOR TO INSTALLATION.
- 26 ONE (1) 2" CONDUIT 3-CELL MAXCELL INNERDUCT AND ONE (1) 1" CONDUIT WITH PULLSTRING SHALL BE ROUTED FROM THE UNDERGROUND JUNCTION BOX TO THE DATA ROOM. THESE CONDUITS ARE FOR DATA AND SECURITY CONNECTIONS FOR THE ATM. VERIFY CONDUIT STUB-UP LOCATION IN THE DATA ROOM AND INSTALLATION DETAILS PRIOR TO INSTALLATION.
- 27 PROVIDE CONNECTION FROM SWITCH CONTROL TO DRIVE-THRU SIGN.
- 28 CONTRACTOR SHALL PROVIDE A JUNCTION BOX FOR THE DRIVE-UP LANE FIXTURE TO BE PROVIDED BY SIGNAGE CONTRACTOR. CONTRACTOR SHALL PROVIDE A 6" WHIP AND CAPPED CONDUCTORS IN THE JUNCTION BOX FOR THE SIGNAGE CONTRACTOR. VERIFY INSTALLATION DETAILS AND LOCATION PRIOR TO INSTALLATION.
- 29 EACH CIRCUIT FOR LIGHTING SHALL BE CONNECTED TO IT'S ALPHABETICALLY SYMBOLIZED SWITCH. SWITCHES SHALL BE FLUSH MOUNTED ON WALL.

2022-3168-PR



1 PHOTOMETRIC SITE PLAN
N.T.S

NOTE: THIS SHEET IS FOR PHOTOMETRIC
REFERENCE ONLY. CONTRACTOR SHALL
SEE THE SITE PLAN FOR FIXTURE LOCATIONS.

architecture
planning
interior design
landscape design
sustainable design
consulting

fl+WB
architects
a professional corporation

RYAN C. OSERSON
PROFESSIONAL ENGINEER
1404 GREENGATE DRIVE, SUITE 101
COSTA MESA, CA 92626
949.883.4100

STATE OF LOUISIANA
Professional Engineer
No. 10000
Expiry Date 12/30/22

ISSUE	DATE

**NEW BRANCH BANK FOR
METAIRIE BANK NORTHSHORE**

SITE
PERMIT SET

Date
30 NOVEMBER 2022

**Metairie
Bank**
NORTHSHORE

Job No. 222018.01

Drawn by JNW
Checked by JNW

E1.2
Sheet No.

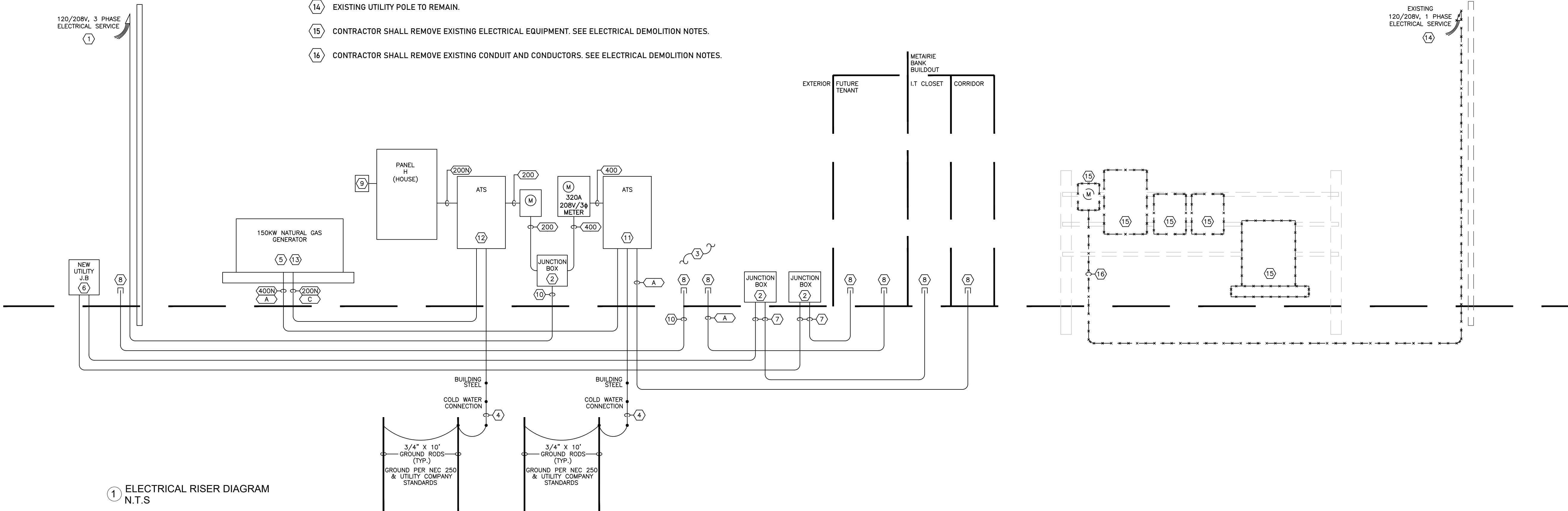
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DIRECTORY		CKT. NO.	BKR. AMPS	<div>L1L2L3</div>	BKR. AMPS	CKT. NO.	DIRECTORY	
EXTERIOR BUILDING LIGHTS		1	20	<div></div>	20	2	BUILDING SIGN	
EXTERIOR DRIVE-THROUGH CANOPY LIGHTS		3	20		20	4	BUILDING SIGN	
DRIVE-UP ATM		5	30		20	6	BUILDING SIGN	
DRIVE-UP RECEPTACLE		7	20		20	8	EXTERIOR ENTRY LIGHTS	
MONUMENT SIGN		9	20		20	10	POLE LIGHTS	
MONUMENT SIGN RECEPTACLE		11	20		12	<div>↓</div>		
GENERATOR RECEPTACLE		13	20		20			
GENERATOR HEATER		15	20		20	16	SPARE	
GENERATOR CHARGER		17	20		20	18	SPARE	
SPARE		19	20		20	20	SPARE	
SPARE		21	20		20	22	SPARE	
SPARE		23	20		20	24	SPARE	
SPARE		25	20		20	26	SPARE	
SPARE		27	20		20	28	SPARE	
SPARE		29	20		20	30	SPARE	
SPARE		31	20		20	32	SPARE	
SPARE		33	20		20	34	SPARE	
SPARE		35	20		20	36	SPARE	
SPARE		37	20		60	38	SPD	
SPARE		39	20		40	<div>↓</div>		
SPARE		41	20	42				
VOLTAGE: 120/208V 3P.H. 4W. SN MAIN BUS: 200A							PANEL NO.	H
MAIN BREAKER: MAIN LUGS ONLY							LOC.	EXTERIOR
MOUNTING: SURFACE 42,000 A.I.C.								
NOTE: NEMA 3R, SPD PER MANUFACTURER'S RECOMMENDATION.								

ELECTRICAL KEY NOTES

- CONTRACTOR SHALL COORDINATE AND PAY ALL FEES FOR INSTALLATION OF A NEW ELECTRICAL SERVICE. VERIFY LOCATION OF UTILITY POLE PRIOR TO INSTALLATION.
- JUNCTION BOX SHALL BE SIZED PER UTILITY STANDARDS.
- CONTRACTOR SHALL MAKE WALL SPACE PROVISION FOR A FUTURE 320A METER AND A 400A DISCONNECT.
- #1/0 AWG THHN CU GROUNDING ELECTRODE CONDUCTOR ROUTED TO TWO (2) 3/4" X 10" COPPERBONDED GROUND RODS, DRIVEN A MINIMUM OF SIX FEET APART. PROVIDE #1/0 AWG THHN CU BARE COPPER BETWEEN RODS, MINIMUM OF 18" BELOW GRADE. ALL CONNECTIONS SHALL BE CADWELDED.
- CONTRACTOR SHALL INSTALL NEW CONCRETE PAD FOR THE GENERATOR AND PROVIDE PROPER GROUND PER NEC.
- COORDINATE AND PAY ALL FEES OF NEW UTILITY JUNCTION BOX.
- TWO (2) 2" CONDUITS WITH PULLSTRING FROM THE UTILITY JUNCTION BOX TO THE INDICATED LOCATION.
- CONTRACTOR SHALL CAPPED THE CONDUIT AND MARKED FUTURE USED.
- 20A, 20 POLE, 250V LIGHTING CONTACTOR WITH 120V COIL, A THREE POSITION SWITCH SHALL BE MOUNTED NEXT TO THE CONTACTOR. THIS SWITCH SHALL BE WIRED TO OPERATE THE LIGHTS AS LISTED BELOW:
"ON" - LIGHTS SHALL BE TURNED ON.
"OFF" - LIGHTS SHALL BE TURNED OFF.
"AUTO" - LIGHTS SHALL BE CONTROLLED THROUGH A PHOTOCCELL SHALL BE MOUNTED ON THE EXTERIOR OF THE BUILDING.
- TWO (2) 4" CONDUITS WITH PULL STRING ROUTED UNDERGROUND TO UTILITY POWER POLE. ONE (1) CONDUIT SHALL BE MARKED AS A SPARE AND CAPPED.
- AUTOMATIC TRANSFER SWITCH - ATS, PROVIDE 400A SERVICE ENTRANCE RATED BREAKER, 120/208V, 3φ.
- AUTOMATIC TRANSFER SWITCH - ATS, PROVIDE 200A SERVICE ENTRANCE RATED BREAKER, 120/208V, 3φ.
- PROVIDE GENERATOR WITH TWO (2) BREAKERS AS INDICATED:
ONE (1) 400A BREAKER
ONE (1) 200A BREAKER
VERIFY BREAKER SIZE PRIOR TO PURCHASING THE GENERATOR.
- EXISTING UTILITY POLE TO REMAIN.
- CONTRACTOR SHALL REMOVE EXISTING ELECTRICAL EQUIPMENT. SEE ELECTRICAL DEMOLITION NOTES.
- CONTRACTOR SHALL REMOVE EXISTING CONDUIT AND CONDUCTORS. SEE ELECTRICAL DEMOLITION NOTES.



FEEDER SCHEDULE
3φ, 4W, COPPER CONDUCTORS

FEEDER NO.	CONDUITS NO.-SIZE	PHASE CONDUCTORS PER CONDUIT	NUETRAL CONDUCTORS PER CONDUIT	GROUND CONDUCTORS PER CONDUIT	NOTES
20N	1-.75"	3-#12 AWG	1-#12 AWG	1-#12 CU AWG	X
25N	1-.75"	3-#10 AWG	1-#10 AWG	1-#10 CU AWG	X
30N	1-.75"	3-#10 AWG	1-#10 AWG	1-#10 CU AWG	X
35N	1-1"	3-#8 AWG	1-#8 AWG	1-#10 CU AWG	X
40N	1-1"	3-#8 AWG	1-#8 AWG	1-#10 CU AWG	X
45N	1-1"	3-#8 AWG	1-#8 AWG	1-#10 CU AWG	X
50N	1-1"	3-#8 AWG	1-#8 AWG	1-#10 CU AWG	X
60N	1-1"	3-#6 AWG	1-#6 AWG	1-#10 CU AWG	X
70N	1-1.25"	3-#4 AWG	1-#4 AWG	1-#8 CU AWG	X
80N	1-1.25"	3-#4 AWG	1-#4 AWG	1-#8 CU AWG	X
90N	1-1.25"	3-#3 AWG	1-#3 AWG	1-#8 CU AWG	X
100N	1-1.25"	3-#3 AWG	1-#3 AWG	1-#8 CU AWG	X
110N	1-1.5"	3-#2 AWG	1-#2 AWG	1-#6 CU AWG	X
125N	1-1.5"	3-#1 AWG	1-#1 AWG	1-#6 CU AWG	X
150N	1-2"	3-#1/0 AWG	1-#1/0 AWG	1-#6 CU AWG	X
175N	1-2"	3-#2/0 AWG	1-#2/0 AWG	1-#6 CU AWG	X
200N	1-2"	3-#3/0 AWG	1-#3/0 AWG	1-#6 CU AWG	X
225N	1-2.5"	3-#4/0 AWG	1-#4/0 AWG	1-#4 CU AWG	X
250N	1-3"	3-#250 KCMIL	1-#250 KCMIL	1-#4 CU AWG	X
300N	1-3"	3-#350 KCMIL	1-#350 KCMIL	1-#4 CU AWG	X
350N	1-3"	3-#500 KCMIL	1-#500 KCMIL	1-#3 CU AWG	X
400N	1-4"	3-#600 KCMIL	1-#600 KCMIL	1-#3 CU AWG	X
600N	2-3"	3-#350 KCMIL	1-#350 KCMIL	1-#1 CU AWG	X
800N	2-4"	3-#600 KCMIL	1-#600 KCMIL	1-#1/0 CU AWG	X
1000N	3-4"	3-#500 KCMIL	1-#500 KCMIL	1-#2/0 CU AWG	X
1200N	3-4"	3-#600 KCMIL	1-#600 KCMIL	1-#3/0 CU AWG	X
1600N	4-4"	3-#600 KCMIL	1-#600 KCMIL	1-#4/0 CU AWG	X
2000N	5-4"	3-#600 KCMIL	1-#600 KCMIL	1-#250 CU KCMIL	X
2500N	6-4"	3-#600 KCMIL	1-#600 KCMIL	1-#350 CU KCMIL	X
3000N	8-4"	3-#500 KCMIL	1-#500 KCMIL	1-#400 CU KCMIL	X
4000N	10-4"	3-#600 KCMIL	1-#600 KCMIL	1-#500 CU KCMIL	X

FEEDERS SCHEDULE REMARKS:	COMMENTS:
(A) PROVIDE TWO(1) ADDITIONAL 4" CONDUIT WITH PULLSTRING, CAPPED, AND MARKED SPARE. (B) PROVIDE ONE(1) ADDITIONAL 3" CONDUIT WITH PULLSTRING, CAPPED, AND MARKED SPARE. (C) PROVIDE ONE(1) ADDITIONAL 2" CONDUIT WITH PULLSTRING, CAPPED, AND MARKED SPARE. (D) PROVIDE ONE(1) ADDITIONAL 2 1/2" CONDUIT WITH PULLSTRING, CAPPED, AND MARKED SPARE.	

FEEDER SCHEDULE
3φ, 3W OR 1φ, 3W COPPER CONDUCTORS

FEEDER NO.	CONDUITS NO.-SIZE	PHASE CONDUCTORS PER CONDUIT	NUETRAL CONDUCTORS PER CONDUIT	GROUND CONDUCTORS PER CONDUIT	NOTES
20	1-.75"	3-#12 AWG	---	1-#12 CU AWG	X
25	1-.75"	3-#10 AWG	---	1-#10 CU AWG	X
30	1-.75"	3-#10 AWG	---	1-#10 CU AWG	X
35	1-1"	3-#8 AWG	---	1-#10 CU AWG	X
40	1-1"	3-#8 AWG	---	1-#10 CU AWG	X
45	1-1"	3-#8 AWG	---	1-#10 CU AWG	X
50	1-1"	3-#8 AWG	---	1-#10 CU AWG	X
60	1-1"	3-#6 AWG	---	1-#10 CU AWG	X
70	1-1.25"	3-#4 AWG	---	1-#8 CU AWG	X
80	1-1.25"	3-#4 AWG	---	1-#8 CU AWG	X
90	1-1.25"	3-#3 AWG	---	1-#8 CU AWG	X
100	1-1.25"	3-#3 AWG	---	1-#8 CU AWG	X
110	1-1.5"	3-#2 AWG	---	1-#6 CU AWG	X
125	1-1.5"	3-#1 AWG	---	1-#6 CU AWG	X
150	1-2"	3-#1/0 AWG	---	1-#6 CU AWG	X
175	1-2"	3-#2/0 AWG	---	1-#6 CU AWG	X
200	1-2"	3-#3/0 AWG	---	1-#6 CU AWG	X
225	1-2.5"	3-#4/0 AWG	---	1-#4 CU AWG	X
250	1-3"	3-#250 KCMIL	---	1-#4 CU AWG	X
300	1-3"	3-#350 KCMIL	---	1-#4 CU AWG	X
350	1-3"	3-#500 KCMIL	---	1-#3 CU AWG	X
400	1-4"	3-#600 KCMIL	---	1-#3 CU AWG	X
600	2-3"	3-#350 KCMIL	---	1-#1 CU AWG	X
800	2-4"	3-#600 KCMIL	---	1-#1/0 CU AWG	X
1000	3-4"	3-#500 KCMIL	---	1-#2/0 CU AWG	X
1200	3-4"	3-#600 KCMIL	---	1-#3/0 CU AWG	X
1600	4-4"	3-#600 KCMIL	---	1-#4/0 CU AWG	X
2000	5-4"	3-#600 KCMIL	---	1-#250 CU KCMIL	X
2500	6-4"	3-#600 KCMIL	---	1-#350 CU KCMIL	X
3000	8-4"	3-#500 KCMIL	---	1-#400 CU KCMIL	X
4000	10-4"	3-#600 KCMIL	---	1-#500 CU KCMIL	X

NOTE: FOR 1φ 3W SERVICES PROVIDE TWO (2) PHASE CONDUCTORS, ONE (1) NEUTRAL CONDUCTOR, AND ONE (1) GROUND CONDUCTOR PER FEEDER SIZING ABOVE.