

AGENDA MEETING
ST. TAMMANY PARISH BOARD OF ADJUSTMENT MEETING
AUGUST 2, 2023 – 2PM
ST. TAMMANY PARISH GOVERNMENT COMPLEX BUILDING A
21490 KOOP DRIVE, PARISH COUNCIL CHAMBERS
MANDEVILLE, LOUISIANA

CALL TO ORDER

ROLL CALL

ANNOUNCEMENTS

- Please silence all phones and electronic devices
- Appeals
- Speaker Cards
- Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal
- Please exit the building

APPROVAL OF THE JULY 5, 2023 MINUTES

1- BOA CASE NO. 2023-3387-BOA - WITHDRAWN

Request by applicant in a PUD Planned Unit Development Overlay to reduce the required rear setbacks from 10 feet to 1 foot

The property is located: N. Verona Drive, lots 53 & 54, Covington, Louisiana, Ward 1, District 3

Applicant & Representative: Richard C. Lambert

POSTPONED FROM JULY 5TH, 2023 MEETING

2- BOA CASE NO. 2023-3439-BOA

Request by applicant in an I-2 Industrial District for an after the fact waiver of the required 10 foot buffer on each side of the property line for lots 20 & 22A and for the waiver of the required number of Class A & Class B trees.

The property is located: East side of Winward Drive, being lots 20 & 22A, Covington, Louisiana, Ward 1, District 3

Applicant & Representative: Lamp Design Build, LLC/Matthew Lamp

3- BOA CASE NO. 2023-3441-BOA

Request by applicant in an A-2 Suburban District for an after the fact request to exceed the maximum allowable height for an accessory structure and to exceed the 25% allotted expansion amount of a legal non-conforming structure

The property is located: 28480 Lapont Drive, Lacombe, Louisiana, Ward 7, District 7

Applicant: Anthony Matthew

Representative: Garry Jones

4- BOA CASE NO. 2023-3442-BOA

Request by applicant in an I-2 Industrial District for an after the fact waiver of the required 10 foot internal side buffers for lots 3A & 5A and the required number of Class A and Class B trees and a waiver for the northern side buffer on Lot 5A and the required number of Class A & Class B trees.

The property is located: 650 & 800 Winward Drive, Covington, Louisiana, Ward 1, District 3

Applicant & Representative: Lamp Design Build, LLC/Matthew Lamp

OLD BUSINESS

NEW BUSINESS

ADJOURNMENT

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The June 6, 2023 meeting of the St. Tammany Parish Board of Adjustment was called to order by the Vice Chairwoman, Mrs. Thomas.

The roll was called as follows:

PRESENT:, Mr. Blache, Mrs. Thomas, Mr. Daly, Mr. Sanders (Voting Members), Mr. Swindell (Voting Members)

ABSENT: Mr. Ballantine

STAFF PRESENT: Mrs. Lambert, Mrs. Couvillion, Mrs. Velez & Mrs. Cook.

APPROVAL OF THE MINUTES

Moved by Mr. Blache and seconded by Mr. Swindell to approve the June 6, 023 minutes.

MOTION CARRIES UNANIMOUSLY

1- BOA CASE NO. 2023-3346-BOA

Request by applicant in an A-2 Suburban District for an after the fact variance request to reduce the required rear yard setback from 19'3" to 12'

The property is located: 314 Fountain Street, Mandeville, Louisiana, Ward 4, District 4

Applicant: Cassandra L. Luquet

Representative: Charles M. Raymond

(Mrs. Lambert read the staff report into the record...)

Charles M. Raymond: Attorney representing the owner Cassandra Luquet. Provides background information regarding property owner. Original plans submitted from Architect included the back porch. The plans were approved and later on the permit was rescinded. The back porch adds to the aesthetic of the owner's house. The property is located in Old Mandeville, describes the area as having a Rural character. Many homes located area have built into the setbacks and the abutting property owner in the rear has a shed on the property line.

The report refers to a 37% encroachment. Asking for a variance just to have the back porch which extends out from the house and is in the setback area, which is 160 square feet, which is not a 37% encroachment but a 12% encroachment. Submitted list/petition from neighbors in the area who are not in objection of the requested variance. Many other owners in the area have placed structures in the setback area. Defined the area as not a defined subdivision but lots that have been developed over the years. Ask the Board to grant the variance as requested.

Mr. Blache: Request information regarding previous variance requests/cases heard by the Board of Adjustment.

Mrs. Lambert: Previous cases were heard in 2021.

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Charles M. Raymond: The owner was represented by the builder for previous variance requests.

Mr. Blache: Recall previous requests. How many square feet will encroach in the setback? Read the petition submitted by owners in the area.

Charles M. Raymond: A total of 160 square feet.

Mr. Swindell: General statement for any type of variance: should not imply that the Board should overlook compliance issue simply because other neighbors have encroachments in the rear yard setback.

Charles M. Raymond: This is not what I am suggesting.

Mr. Swindell: In your statement, you particularly indicated that others in the area have encroached. Takes the argument as if it should be taken into consideration to justify the approval of the request and overlook the variance request.

Charles M. Raymond: Point is to show the Board who may not be familiar with the area and that the area developed overtime before the code of ordinances was enacted uniformly.

Mr. Swindell: It places the Board in a difficult position since codes are being updated all the time. The Unified Development Code has not been in place forever. For the Board to use that logic as a justification is very difficult. It is presented frequently in that fashion to the Board. Challenge to maintain uniformity and not look in past and keep things going forward.

Charles M. Raymond: Would understand if the property would be located in a subdivision west of Madisonville, would appreciate that there is a need for setback lines. Lots of non-confirming structures in the area. The intent of the code is to have an aesthetic approach to a subdivision.

Mrs. Lambert: Brings to the attention to the Board that Sec. 130-2191 of the Unified Development Code, which had more than likely a different section number under the previous ordinance has been in effect for more than 25 years.

Mr. Daly: Ask if setback issue was corrected by correcting the size but the if the roofline is still within the setback?

Charles M. Raymond: Roofline can extend into the setback area/no more than five feet into a required rear yard. The requested waiver is not for the encroachment of the roof into the setback. Refers to the pictures: porch was cut to meet the setback requirements before occupancy was issued for the residence. After occupancy was granted, the portion of the porch removed, was reattached to the porch.

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Mr. Daly: The porch was reattached?

Charles M. Raymond: Correct, the porch was reattached.

Mrs. Lambert: The roof can extend into the setback

Motion by Mr. Swindell and seconded by Mr. Blache to approved the variance as requested.

Mr. Daly & Mrs. Thomas: YEAS

Mr. Blache, Mr. Swindell, Mr. Sanders: NAYS

MOTION FAILS

2- BOA CASE NO. 2023-3387-BOA

Request by applicant in a PUD Planned Unit Development Overlay to reduce the required rear setbacks from 10 feet to 1 foot

The property is located: N. Verona Drive, lots 53 & 54, Covington, Louisiana, Ward 1, District 3

Applicant & Representative: Richard C. Lambert

(Mrs. Lambert read the staff report into the record...)

Mrs. Thomas: Read email from Tuscany West HOA, requesting to deny variance request.

Richard Lambert: Property owner. Cannot sell the 2 lots because it is not possible to fit a residence on the lots. If there is an abutting neighbor in rear, would not be in favor of variance request; however, in this case there is 5.4 acres behind one lot and 2.6 acres behind the other lot of preserved greenspace in the rear of the lots in question. No construction will be taking place within the greenspace as it part of the approved plan for the subdivision. To construct a residence on the lots and be consistent with other constructions in the subdivision, there is a need for additional depth. With the required setback the property is only 61 feet deep. Difficult to make the garage fit. By reducing the setback, the garage can be pushed back and provides more space for the driveway. Hardship is that it is not possible to sell the lots. Fact is that the lots are abutting preserved greenspace in the rear. The variance request will not affect anyone. The HOA may not fully understand the request and that the lots are abutting preserved greenspace.

Mrs. Thomas: Is there a total of 7 acres behind the lots?

Richard Lambert: There is a total of 5.4 acres behind one lot and 2.6 acres behind the other.

Mr. Daly: It would be preferable to work with the HOA first. The Board rarely votes against any HOA that has its own covenants. For the most part, request that comes in front of the Board have already been approved by the HOA. Recommends to postpone the variance request, until HOA approves the variance request.

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Mr. Blache: Agrees with statement from Mr. Daly. While valid points have been explained to the Board, the request is in violation of the HOA covenants. In favor of postponing the request.

Motion by Mr. Daly seconded by Mr. Blache to postponed the variance request until the August Board meeting.

MOTION CARRIES UNANIMOUSLY

3- BOA CASE NO. 2023-3389-BOA

Request by applicant in an A-2 Suburban District for a waiver of the required 25 foot pond setback between parcels A & B.

The property is located: northeast corner of LA Highway 41 & Evans Road, Bush, Louisiana, Ward 5, District 6

Applicant & Representative: Karl Sternberger
(Mrs. Cook read the staff report into the record...)

Karl Sternberger: Property owner. Property was donated through succession to him and his brother. The property identified on the survey as the 5 acres is the parcel where he will build his residence. A section of the 5 acres goes into the pond. Pond takes up a large portion of the entire piece of property. No construction will be taking place in the pond. Pond will continue to be maintained.

Mrs. Thomas: Refers to notarized maintenance agreements submitted by property owners

Mr. Blache: Is a plan required to be submitted besides the maintenance agreements?

Mrs. Lambert: No plan is required to be submitted. The maintenance agreements are sufficient.

Motion by Blache and seconded by Mr. Daly to approve the variance as requested.

MOTION CARRIES UNANIMOUSLY

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4- BOA CASE NO. 2023-3390-BOA

Request by applicant in an A-1A Suburban District for a variance to remove 4 trees located within the required southern 50 foot no cut buffer

The property is located: 61308 Lemieux Blvd, Lacombe, Louisiana, Ward 4, District 7

Applicant & Representative: Keith J. Philip Sr.

(Mrs. Cook read the staff report into the record...)

Keith J. Philip Sr.: Property owner. Request to remove 4 trees that are a treat to the property and to my family. 2 of the 4 trees are very tall pine trees, over 100 foot tall and located 36 feet from property/residence. Not against preservation of trees. Most of existing trees including pecan and oak trees will be maintained. Would not have to make a claim to insurance company, in the event tree would fall.

Mr. Blache: Has a replanting plan been submitted.

Mrs. Lambert: No replanting plan submitted or required, considering that it is abutting a large existing buffer and only 4 pine trees are requested to be removed. All other buffers and more are going to be maintained.

Motion by Mr. Daly and seconded by Mr. Sanders to approve variance as requested subject to maintaining all existing/required no cut buffers.

MOTION CARRIES UNANIMOUSLY

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5- BOA CASE NO. 2023-3393-BOA

Request by applicant in an A-3 Suburban District for a variance to reduce the required rear yard setback from 25 feet to 20 feet and to reduce the required side yard setback from 10 feet to 7 feet
The property is located: 179 Tchefuncte Drive, Covington, Louisiana, Ward 4, District 4
Applicant & Representative: Christopher J. Licciardi
(Mrs. Cook read the staff report into the record...)

Christopher J. Licciardi: Property owner. If the structure would be detached, it would not could not be placed 10 feet from the rear property line because there is a 20 foot servitude in the rear of the property. My original request was to build a detached garage but because of the utility servitude, it had to be moved forward 10 feet and part of the structure is attached to my house. There is no hardship for this request. I would like to construct a carport and garage and the size of the structure fits my woodworking equipment. Because the garage has to be as close to my house, it also has to be 7 feet from side property line, to be able to access the garage. No objection letters provided from abutting property owners. Also, no objection letter submitted from the HOA.

Mr. Blache: If the structure would be detached, approximately 2 inches, it would not meet the setbacks. No issue with the request.

Motion by Mr. Blache and seconded by Mr. Swindell to approve the variance as requested.

MOTION CARRIES UNANIMOUSLY

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6- BOA CASE NO. 2023-3403-BOA

Request by applicant in an A-4 Single Family Residential District for a variance to reduce the rear yard setback from 25 feet to 10 feet

The property is located: 209 Mako Nako Drive, Mandeville, Louisiana, Ward 4, District 4

Applicant & Representative: Scott & Shari Jernstrom

(Mrs. Cook read the staff report into the record...)

Elwin Ordone: Builder representing the owners. Most of the house in Beau Chene Subdivision have detached garage with a single breezeway to stay out of the weather. No objection letter provided by HOA, stating that it meets the subdivision setback requirements. Area screened in between house and garage. Six foot section is connecting the house and the garage. It was previously connected with a 3 foot section. Would like to add storage building attached to garage instead of having a 2" gap or a 1 foot gap between the 2 building. When pulling up to the property, it looks like it is detached. The screened in area will act as connection.

Mr. Daly: HOA document states that the subdivision setback is 10 feet and the Parish setback regulation is 25 feet. HOA is more permissive setback regulation is more permissive than Parish regulation.

Motion by Mr. Daly and seconded by Mr. Blache to approve the variance as requested.

MOTION CARRIES UNANIMOUSLY

7- BOA CASE NO. 2023-3405-BOA – WITHDRAWN

Request by applicant in an A-3 Suburban District for a variance to clear a portion of the required 25 foot front planting buffer area to allow for clearance for the overhead circuits for a substation.

The property is located: 73051 Highway 1077, Covington, Louisiana, Ward 1, District 3

Applicant & Representative: CLECO Power, LLC- Justin G. Fontenot

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8- BOA CASE NO. 2023-3406-BOA

Request by applicant in a HC-3 Highway Commercial District for a variance to allow for the modification of an existing Pylon sign

The property is located: northeast corner of US Highway 190 & Park Place Drive, Covington, Louisiana, Ward 3, District 5

Applicant: St. Tammany Oaks Subdivision Association, LLC- Beau Bryant

Representative: Michael Saucier

(Mrs. Cook read the staff report into the record...)

Jason Reibert: Representing St. Tammany Oaks Subdivision Association. Request is to allow for the renovation of existing pylon sign located on a 25' X 25' servitude at the corner of Hwy 190 and Park Place Drive, Covington, entrance of St. Tammany Oaks Subdivision. Partnership purchase Rouses food store in October 2022 and now in the process of redeveloping the property with new tenants: Urban Air and Gold Fish Swim School and another future tenant on an out-parcel. Building permits have been applied for to allow for the renovation of the building and allow the tenants to move in before the end of the year 2023. As part of the same building, 2 additional sub-tenants will be located in the building: gaming & ice cream businesses. The existing pylon sign was built in the 90's and would like to renovate the sign, adding some sign panels and make the sign more aesthetically pleasing. Refers to the drawing, new panels for the new tenants and for future tenant on the out-parcel. The total square footage of the sign will be reduced by 32 square feet on the north and south sides. No changes on the east side, replaced with stucco. The outdated roof structure will be removed which will result in the reduction of the total height of the sign.

Mr. Blache: The request variance is a big improvement.

Motion by Mr. Blache and seconded by Mr. Sanders to approve the variance as requested.

MOTION CARRIES UNANIMOUSLY

9- BOA CASE NO. 2023-3407-BOA

Request by applicant in a NC-4 Neighborhood Institutional District for a variance to reduce a portion of the required side street landscape buffer from 20 feet to 13 feet.

The property is located: 476 Falconer Drive, Covington, Louisiana, Ward 3, District 5

Applicant: Crystal Ferris Properties, LLC – Crystal Ferris

Representative: Thomas Brackley

Mrs. Lambert: Indicated that she spoke to the Representative and he is trying to find a solution/way not to have to request variance. Request the Board to postpone until the August meeting.

Motion by Mr. Daly and seconded by Mr. Blache to postpone the request until the August BOA meeting.

MOTION CARRIES UNANIMOUSLY

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10- BOA CASE NO. 2023-3409-BOA

Request by applicant in an A-2 Suburban District for a variance to allow to clear 10 feet of the required 25 foot roadway no cut buffer and to clear 10 feet of the required 50 foot sides and rear no cut buffers.

The property is located: 79418 A. Crawford Road, Bush, Louisiana, Ward 5, District 6
Applicant & Representative: Dupont Homes, LLC – James Dupont
(Mrs. Lambert read the staff report into the record...)

James Dupont: Property owner. Requesting to move the setback to allow for the construction of a fence. It was an old cattle farm in the past. Currently maintained as a cattle farm. The fence will allow to keep cows on the property.

Motion by Mr. Daly and seconded by Mr. Blache to approve the variance as requested subject to only clear the 10 foot area, along the property line, and maintain the required no cut buffers behind the 10 foot area, requested to be cleared.

MOTION CARRIES UNANIMOUSLY

11- BOA CASE NO. 2023-3413-BOA

Request by applicant in a PUD Planned Unit Development Overlay for a variance to reduce the front setback from 14 feet to 12 feet

The property is located: 118 Covington Cottage Lane, Covington, Louisiana, Ward 3, District 2
Applicant & Representative: Jim Salvant
(Mrs. Lambert read the staff report into the record...)

Jim Salvant: Property owner. Request to reduce the setback from 14 feet to 12 feet. It is a small property. House is like a box or a square. Variance would allow to pull the bedroom and living room wall 2 feet towards the street to give it a better aesthetic. Most of the houses in the area have a similar look instead of a flat façade. When Covington Cottage Lane was design, the lot in question was the last lot and it was a dead end, since then the street has been extended and tied in the street away from lot 65 making it look like a much larger front yard. Bringing the house in 2 feet would give it a better aesthetic.

Mr. Swindell: Did you contact the abutting neighbors and the HOA?

Jim Salvant: Own property to the south and could not get in touch with abutting neighbor to the north. No HOA involved. The house to the north is a lot closer to the street due to the curve in the street.

Mr. Daly: The Board has granted variances in the past when there is an usually sized lot. As stated on the staff report, the buildable area is the same as the other lots to the south. There is a transition point to the second phase of the project and it makes it slightly different than the other lots.

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Mr. Blache: Board has granted similar variance in the past. It should not create major problems in the neighborhood or create major precedent.

Motion by Mr. Swindell and seconded by Mr. Sanders to approve the variance as requested.

OLD BUSINESS

Mrs. Thomas: Request an update on the Identification Card for the Board members.

Mrs. Lambert: Indicated that she will inquire with the Department of Human Resources.

NEW BUSINESS

ADJOURNMENT: Mr. Ballantine, CHAIRMAN

MR. TOM BALLANTINE, CHAIRMAN
ST. TAMMANY PARISH BOARD OF ADJUSTMENTS

Disclaimer: These minutes are intended to represent an overview of the meeting and general representation of the testimony given; and therefore, does not constitute verbatim testimony or a transcription of the proceedings.



BOA STAFF REPORT
2023-3439-BOA

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Location: East side of Winward Drive, being lots 20 & 22A, Covington, Louisiana, Ward 1, District 3

Applicant and Representative: Lamp Design Build, LLC/Matthew Lamp **Posted:** July 14, 2023

Initial Hearing Date: August 2, 2023

Date of Report: July 21, 2023



Variance(s) Requested

Request by applicant in an I-2 Industrial District for an after the fact waiver of the required 10-foot buffer on each side of the property line for lots 20 & 22A and for the waiver of the required number of Class A & Class B trees

Zoning of Property: I-2 Industrial District

FINDINGS

The petitioned property is currently developed with an outdoor storage yard located on two separate lots of record, being Lots 20 and 22A, Northpointe Business Park. A site work permit to develop the storage yard was issued (Permit Number 2022-1891). While flat work and fencing were completed, no inspections were scheduled and the site has been operating as an outdoor storage yard without occupancy. The property has been posted by Code Enforcement for being in violation of Sec. 115-3(8)(4)(c) – Inspections Required (2023-CE-23402). The following are required before a certificate of occupancy can be granted by the Department of Permits and Inspections:

- Revised Paving and Drainage Plan
- Drainage Inspection
- Drainage Final Inspection
- Landscape Final Inspection

The has applicant submitted an after the fact variance request for a waiver to the required internal side buffers between Lot 20 and Lot 22A and the required number of Class A & B trees. The objective of the request is to allow for the two lots to be used as a single outdoor storage yard.

Board of Adjustments
August 2, 2023

Department of Planning and Development
St Tammany Parish, Louisiana

2023-3439-BOA



BOA STAFF REPORT
2023-3439-BOA

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

A revised landscape plan has been submitted showing the addition of 28 Class B trees and 18 shrubs to be planted within the street buffer along Winward Drive. The additional number of trees and shrubs are proposed to be provided to mitigate for the required number of trees within the internal side buffers and planted in addition to the minimum required number street plantings.

No evidence of hardships or practical difficulties has been demonstrated to warrant the support of the requested variance. The two separate lots of record could be resubdivided into a single lot which would remove the requirements for the internal buffers and trees.

If the requested variance is approved as proposed, it shall be subject to the applicant submitting a revised drainage and grading plan and stormwater pollution prevention plan reflecting the elimination of the internal buffers.

If the requested variance is denied, it shall be subject to the applicant providing the required buffers and number of trees as per the previously approved landscape plan submitted with site work Permit No. 2022-1891.

2023-3439-BOA

NORTHPOINTE

HC-2

PF-1

TURNPIKE RD

HC-2

WINWARD

I-2

I-2

A-3

PUD

LEEWARD

I-2

HC-2

HC-2

A-2

BOOTLEGGER RD

I-2

Ref: Letter of Representation

Date: 6/22/23

To Whom it may concern,

As an authorized agent solely acting on behalf of Cain Properties, LLC. I hereby authorize Lamp Design Build, LLC. / Matthew Lamp to act on behalf of Cain Properties, LLC. solely for the purpose of variance application/submission and appeal for the following properties:

Lot 20:

PARCEL ONE: ALL THAT CERTAIN PIECE OR PARCEL OF GROUND, together with all buildings and improvements thereon, all rights, ways, means, privileges, servitudes, prescriptions and appurtenances thereunto belonging or in anywise appertaining thereto, situated in the Northwest Quarter (¼) of Section 3, T7s, R10E, St. Tammany Parish, Louisiana, said property being more fully described as follows, to wit:

LOT 20, OF NORTHPOINTE BUSINESS PARK, PHASE 1, all as shown on the subdivision plat by Ned R. Wilson, dated May 1, 2007 and recorded as Map File #4465.

Lot 22A:

PARCEL TWO: ALL THAT CERTAIN PIECE OR PARCEL OF GROUND, together with all buildings and improvements thereon, all rights, ways, means, privileges, servitudes, prescriptions and appurtenances thereunto belonging or in anywise appertaining thereto, situated in the Parish of St. Tammany, State of Louisiana, and being more fully described as follows, to wit:

LOT 22, NORTHPOINTE BUSINESS PARK, ST. TAMMANY PARISH, LOUISIANA, all in accordance with a subdivision plat by Ned R. Wilson, PLS, recorded on 5/15/2007 as Map File #4465.

June 22, 2023

Ref: Request for variance or appeal of denial
Lots 20 and 22A, Northpointe Subdivision, Windward Drive, Covington

Ladies and Gentlemen of the Board,

Please consider this application for variance for Lots 20 and 22A, Northpointe Subdivision Windward Drive, in Covington. The variance proposes to exchange landscaping that cannot be seen from the street for landscaping that is more functional and visually appealing, while exceeding regulatory minimums.

Itemized Address of Variance Requirements:

1. Individually the properties are non functional, at a minimum they are vastly restricted. The variance will allow both properties to function as a viable resource for the owner, the lessor, and St. Tammany Parish.
2. The variance provides a solution to a functional difficulty that can not be corrected otherwise. A resubdivision of the properties would unreasonably and unpredictably restrict the future use of both properties. Without the variance, the properties cannot function for the business or most businesses in a reasonable fashion.
3. The variance provides the shared use of a non-visible storage yard. It allows for parking overflow and lessens visible commercial equipment storage on Windward Drive. Separating the lots will unnecessarily redirect equipment traffic onto Windward Drive, burdening surrounding businesses and traffic.

The Tempest Storm Rentals, LLC. has a lease in place to utilize both properties. Without the variance approval the business will be forced to relocate outside of the Parish and possibly the State of Louisiana. The business is a valuable and growing asset to Parish.

Additional documentation is attached.

4. The variance provides landscaping in excess of the required minimums around the facility. The proposed landscape plan provides additional landscape in the most visible areas. The intent is to increase the barrier between these properties and the surrounding commercial park.
5. The proposed variance has a positive effect on the surrounding properties, and does not set

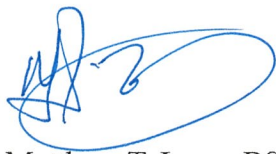
a negative precedent. It provides only an increase in landscaping and beautification in excess of the original requirement.

Synopsis of Additional Landscaping:

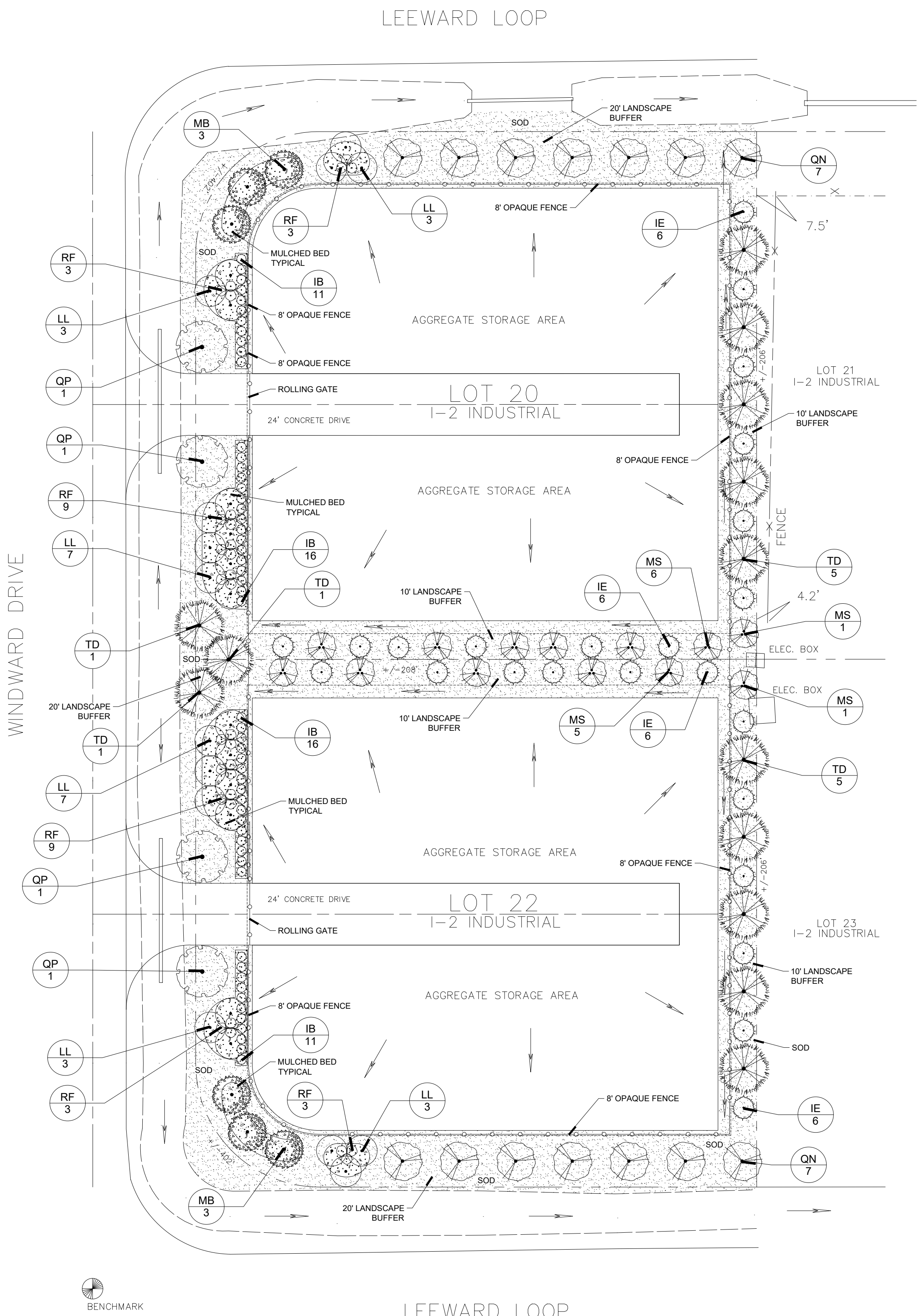
Lot 20 West side, 1 additional Class A tree provided in place of Class B. 8 additional shrubs provided.

Lot 22A West side, 1 additional Class A tree provided in place of Class B. 8 additional shrubs provided.

Sincerely,

A handwritten signature in blue ink, appearing to read 'MT Lamp', enclosed within a blue oval.

Matthew T. Lamp BSCM, BABA, COSS
President, Lamp Design + Build, LLC
Commercial and Residential
Contractors & Architects
LA Lic #88307, #45507, AF0667
O: (985)386.9212 I F: (985)386.0819



PLANT SCHEDULE

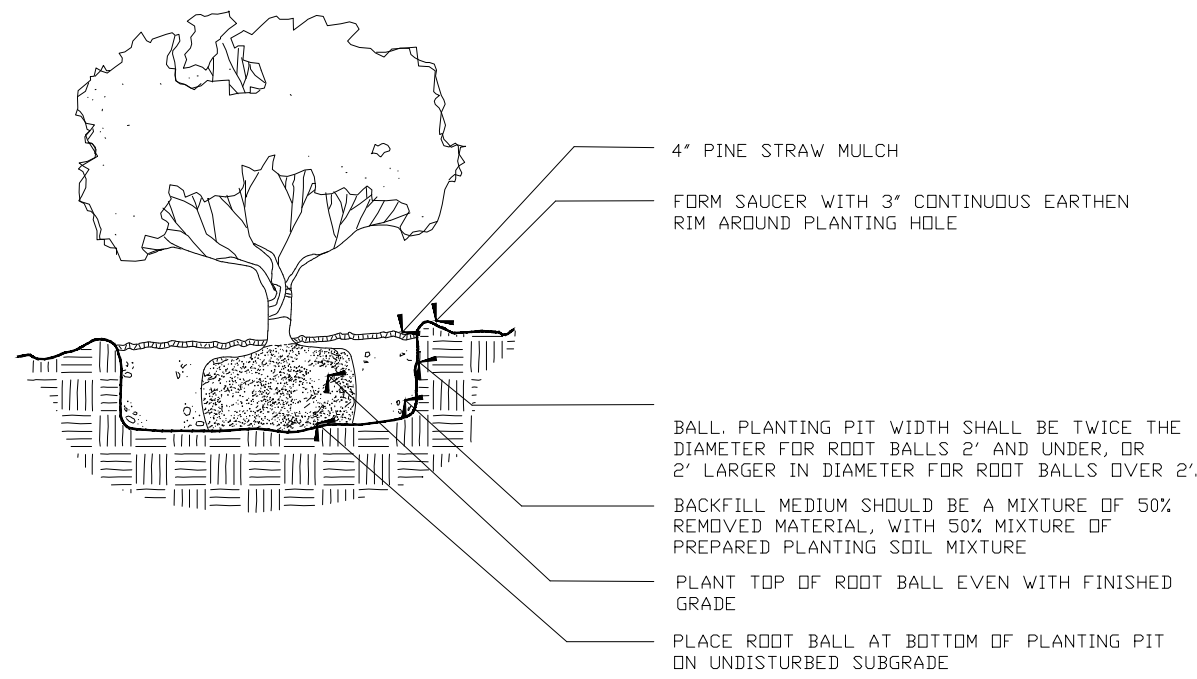
CLASS B	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	IE	23	Ilex x attenuata 'Eagleston' / Eagleston Holly	Gallon or B&B	1 1/2" Cal. Standard Trunk	8'-10' ht.
	LL	26	Lagerstroemia indica 'Lavender' / Lavender Crape Myrtle Multi-Trunk	Gallon or B&B	1 Inch per truck, Min. 3 trunks	8'-10' ht.
CLASS A	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	MB	6	Magnolia grandiflora 'D.D. Blanchard' / D.D. Blanchard Southern Magnolia	Gallon or B&B	2.50" Cal.	10' - 12' Ht.
	MS	12	Magnolia virginiana / Multi Trunk Sweetbay Magnolia	Gallon or B&B	1 Inch per truck, Min. 3 trunks	10' - 12' Ht.
	QN	14	Quercus nuttallii / Nuttall Oak	Gallon or B&B	2.50" Cal. Single Trunk	10' - 12' Ht.
	QP	4	Quercus phellos / Willow Oak	Gallon or B&B	2.50" Cal.	10' - 12' Ht.
	TD	13	Taxodium distichum / Bald Cypress	100-Gal.		
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	
	IB	54	Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly	3-Gal.	2' ht. at the time of planting	
	RF	30	Rhododendron indicum 'Formosa' / Formosa Indica Azalea	3-Gal.	2' ht. at the time of planting	
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	REMARKS	
	EO	26,955 sf	Eremochloa ophiuroides / Centipede Sod	Squares or Mini Rolls	Class 'A'	
	MP	3,447 sf	Mulch Area / Pine Straw Mulch	4" Depth		

LANDSCAPE CALCULATIONS

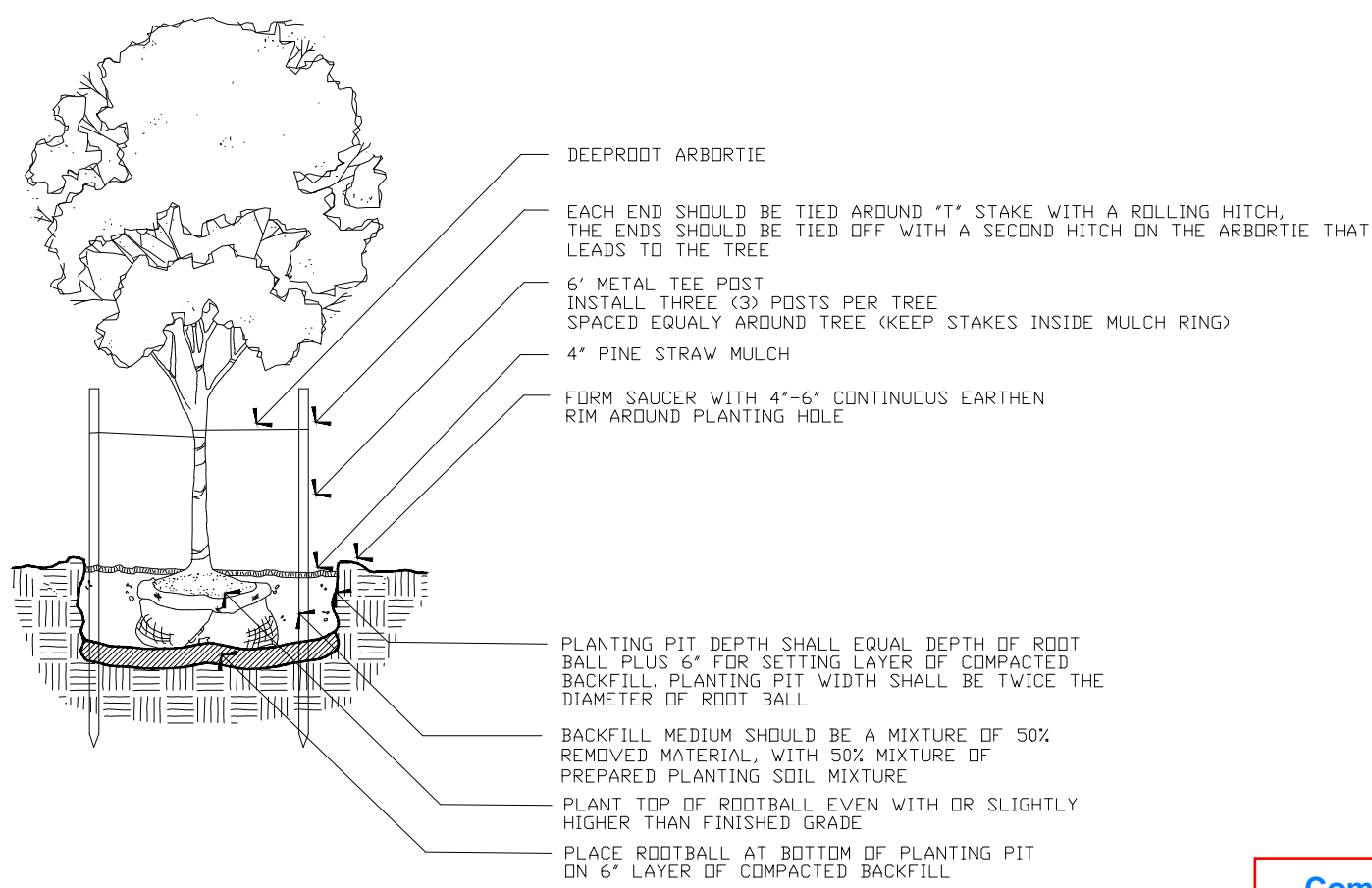
LOT 20				
20' WIDE STREETYARD BUFFER				
WINDWARD DRIVE AND LEEWARD LOOP	402'/30=13.4	13 CLASS A + 13 CLASS B REQUIRED	40 SHRUBS REQUIRED	
NOTE: COMBINE STREET BUFFERS DO TO RADIUS CORNER PROPERTY LINE		13 CLASS A + 13 CLASS B PROVIDED	42 SHRUBS PROVIDED	
SOUTH BUFFER				
10' WIDE BUFFER	208'/30=6.93	6 CLASS A + 6 CLASS B REQUIRED		
		6 CLASS A + 6 CLASS B PROVIDED		
EAST BUFFER				
10' WIDE BUFFER	206'/30=6.86	6 CLASS A + 6 CLASS B REQUIRED		
		6 CLASS A + 6 CLASS B PROVIDED		
LOT 22				
STREETYARD BUFFER				
WINDWARD DRIVE AND LEEWARD LOOP	402'/30=13.4	13 CLASS A + 13 CLASS B REQUIRED	40 SHRUBS REQUIRED	
NOTE: COMBINE STREET BUFFERS DO TO RADIUS CORNER PROPERTY LINE		13 CLASS A + 13 CLASS B PROVIDED	42 SHRUBS PROVIDED	
NORTH BUFFER				
10' WIDE BUFFER	208'/30=6.93	6 CLASS A + 6 CLASS B REQUIRED		
		6 CLASS A + 6 CLASS B PROVIDED		
EAST BUFFER				
10' WIDE BUFFER	206'/30=6.86	6 CLASS A + 6 CLASS B REQUIRED		
		6 CLASS A + 6 CLASS B PROVIDED		

SECTION 7.0112 MAINTENANCE & REPLACEMENT

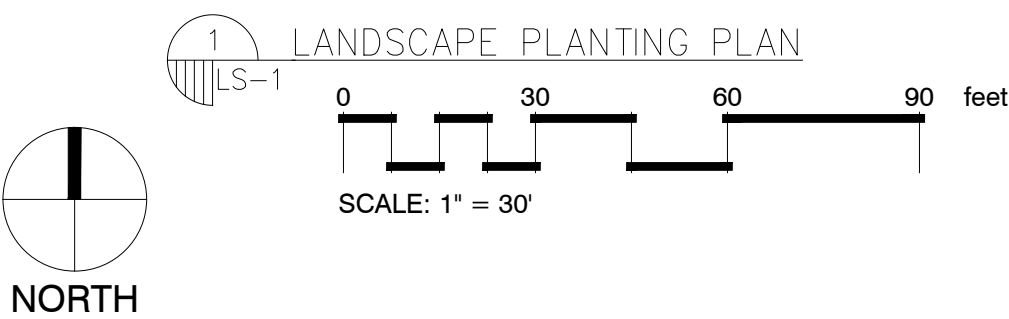
- A. MAINTENANCE: The Owner or his agent shall be responsible for the maintenance and repair of all landscaping materials and barriers as may be required by the provisions of this Section.
- Planting Beds shall be mulched to prevent weed growth and maintain soil moisture.
 - Plant Materials shall be pruned as required to maintain good health and character.
 - Turf areas shall be mowed periodically.
 - All roadways, curbs and sidewalks shall be edged when necessary in order to prevent encroachment from the adjacent grassed areas.
 - The Owner of the Property shall be responsible for the provision of adequate water, fertilizer and nutrients to the required plant materials.
- B. REPLACEMENT: Subject to the provisions of Section 7.0105.E entitled, "Replacement of Preserved Trees that Die", trees and plants that die must be replaced within six (6) months of the death of the tree or plant with trees or plants that meet the requirements of Section 7.01. Barriers and curbs that are damaged or destroyed beyond repair shall be replaced within six (6) months after the damage or destruction.



1 SHRUB PLANTING DETAIL
LS-1 N.T.S.



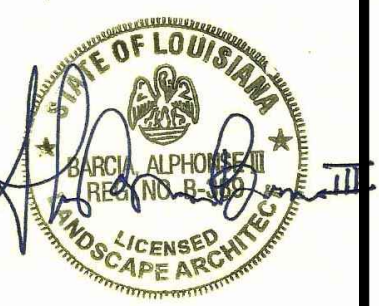
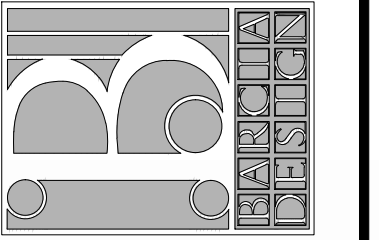
2 TREE PLANTING DETAIL
LS-1 N.T.S.



Commercial Plans
RECEIVED
4/18/2022 - 10:00 A.M.
DEPARTMENT OF
ENGINEERING

ENGINEERING
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ALPHONSE BARCIA III
LANDSCAPE ARCHITECT LLC.
562 CLAYTON COURT
SLIDELL, LOUISIANA 70461
BARCIADESIGNS@GMAIL.COM
(985) 960-0429



4-17-22

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Lots #20 and #22
Northpointe Business Park Phase I
St. Tammany Parish, Louisiana
Sheet Title: Landscape Planting Plan

JOB No.:

SCALE: AS SHOWN

DRAWN BY: AB3

CHECKED BY: AB3

SHEET:

LS-1

REV.

DATE: APRIL 17TH 2022

Index of Drawings

- T-1 - Cover Sheet
- S-1 - New Site Plan
- S-2 - Existing Site Plan
- LS-1 - New Landscape Plan
- LS-2 - Existing Landscape Plan
- D-1 - New Drainage Plan
- U-1 - Utility Plan

2023-3439-BOA

Landscape Buffer Variance
NORTH POINTE BUSINESS PARK
Lot 20/22 Windward Dr.
Covington, LA 70443



LANDSCAPE BUFFER
VARIANCE
LOT 20/22 WINDWARD DR.
COVINGTON, LA 70443

LAMP
DESIGN + BUILD

1133 E. PINE ST
SUITE B
PONCHATOULA, LA.
70454
(985) 386-9212

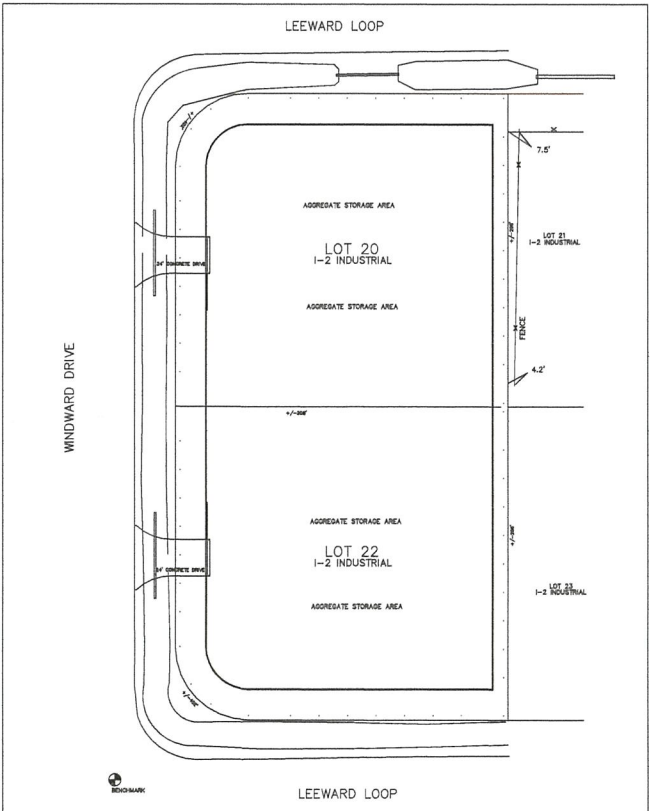


REVISIONS:

DATE: 06/22/23
SHEET NO
T1



Vicinity Map



SITE PLAN
N.T.S.



LOT 20/22 WINDWARD DR.
COVINGTON, LA 70443

LAMP
DESIGN+BUILD

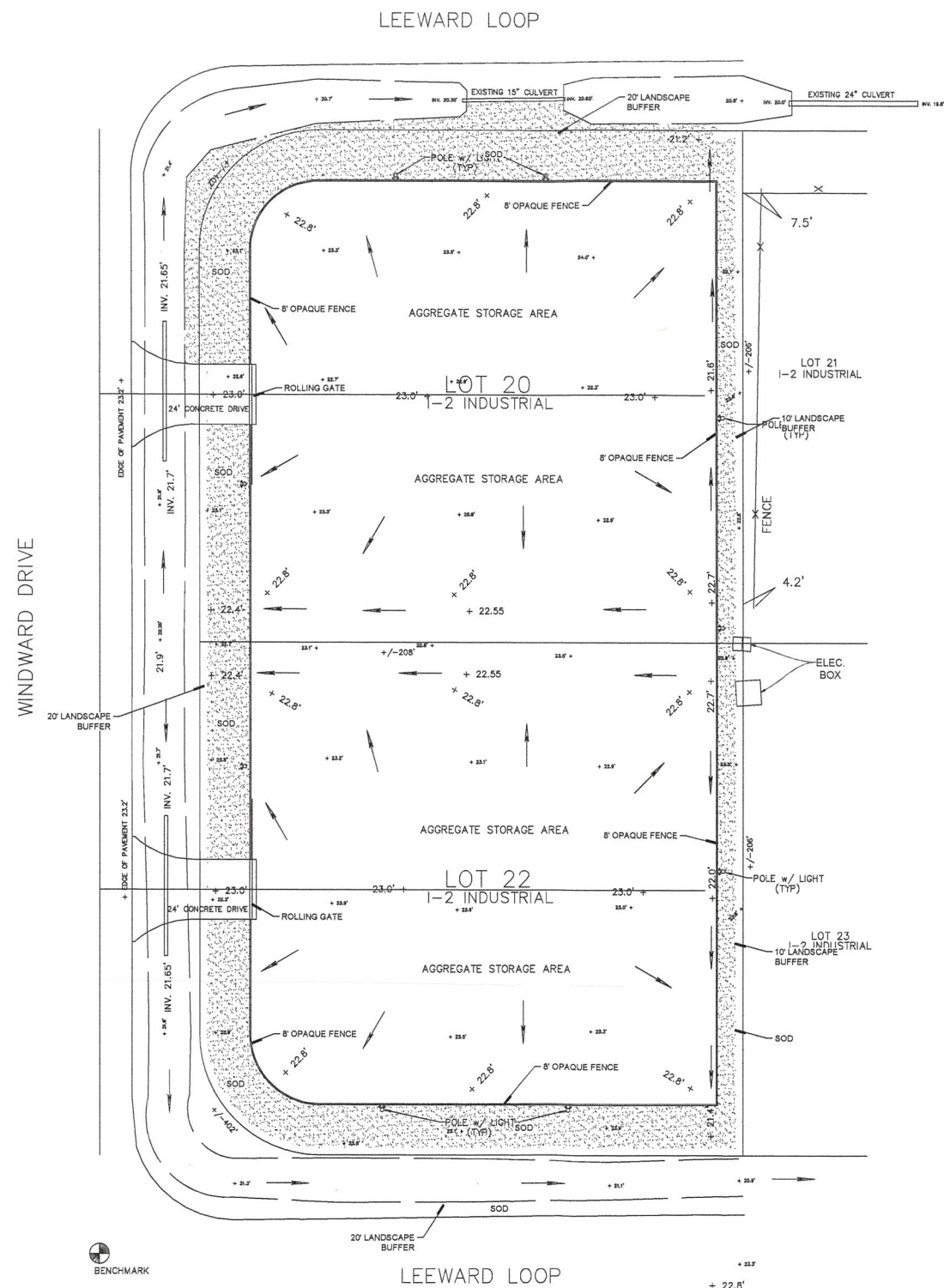
1133 E. PINE ST
SUITE B
PONCHATOULA, LA.
70454
(985) 386-9212



S-1



FULL SIZE: $\frac{1}{32}'' = 1'-0''$
 $\frac{1}{4}''$ SIZE: $\frac{1}{64}'' = 1'-0''$ IF DRAWING IS NOT 24" X 36" SCALE ACCORDINGLY



LANDSCAPE BUFFER
VARIANCE
LOT 20/22 WINDWARD DR.
COVINGTON, LA 70443

LAMP
DESIGN+BUILD

1133 E. PINE ST
SUITE B
PONCHATOULA, LA.
70454
(985) 386-9212



REVISIONS:

DATE: 06/22/23

SHEET NO

LS-2

EXISTING LANDSCAPE PLAN
FULL SIZE: 1/8" = 1'-0"
1/2" SIZE: 1/16" = 1'-0"
IF DRAWING IS NOT 24" X 36" SCALE ACCORDINGLY



PLANT SCHEDULE

CLASS B'	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
CLASS B'	IE	30	Ilex x attenuata 'Eagleston' / Eagleston Holly	Gallon or B&B	1 1/2" Cal. Standard Trunk	8'-10' ht.
	LL	34	Lagerstroemia indica 'Lavender' / Lavender Crape Myrtle Multi-Trunk	Gallon or B&B	1 inch per truck, Min. 3 trunks	8'-10' ht.
	ML	4	Magnolia grandiflora 'Little Gem' / Little Gem Dwarf Southern Magnolia	Gallon or B&B	2.50" Cal.	10' - 12' Ht.
	MS	12	Magnolia virginiana / Multi Trunk Sweetbay Magnolia	Gallon or B&B	1 inch per truck, Min. 3 trunks	10' - 12' Ht.
	QN	6	Quercus nuttallii / Nuttall Oak	Gallon or B&B	2.50" Cal, Single Trunk	10' - 12' Ht.
CLASS A'	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
CLASS A'	QP	4	Quercus phellos / Willow Oak	Gallon or B&B	2.50" Cal.	10' - 12' Ht.
	UD	10	Ulmus parvifolia 'Drake' / Drake Lacebark Elm	100-Gal.		
	IB	54	Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly	3-Gal.	2' ht. at the time of planting	
	RF	42	Rhododendron indicum 'Formosa' / Formosa Indica Azalea	3-Gal.	2' ht. at the time of planting	
	EO	21,090 sf	Eremochloa ophiroides / Centipede Sod	Squares or Mini Rolls	Class 'A'	
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	REMARKS	
GROUND COVERS	MP	3,844 sf	Mulch Area / Pine Straw Mulch	4" Depth		

LANDSCAPE CALCULATIONS

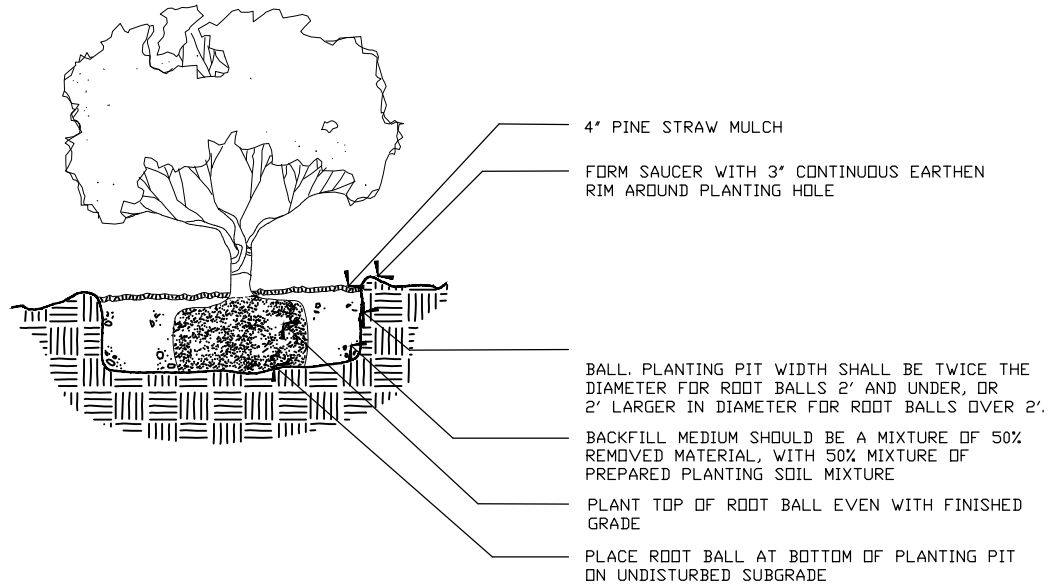
LOT 20 20' WIDE STREETYARD BUFFER WINDWARD DRIVE (WEST)	195'/30=6.5	6 CLASS A + 6 CLASS B REQUIRED 19 SHRUBS REQUIRED 6 CLASS A + 12 CLASS B PROVIDED 42 SHRUBS PROVIDED
20' WIDE STREETYARD BUFFER LEEWARD LOOP (NORTH)	207'/30=6.9	6 CLASS A + 6 CLASS B REQUIRED 20 SHRUBS REQUIRED 6 CLASS A + 14 CLASS B PROVIDED 6 SHRUBS PROVIDED
SOUTH BUFFER 10' WIDE BUFFER	208'/30=6.93	6 CLASS A + 6 CLASS B REQUIRED VARIANCE REQUESTED ADDED 13 CLASS B TO STREET BUFFERS
EAST BUFFER 10' WIDE BUFFER	206'/30=6.86	6 CLASS A + 6 CLASS B REQUIRED 6 CLASS A + 6 CLASS B PROVIDED

LANDSCAPE CALCULATIONS

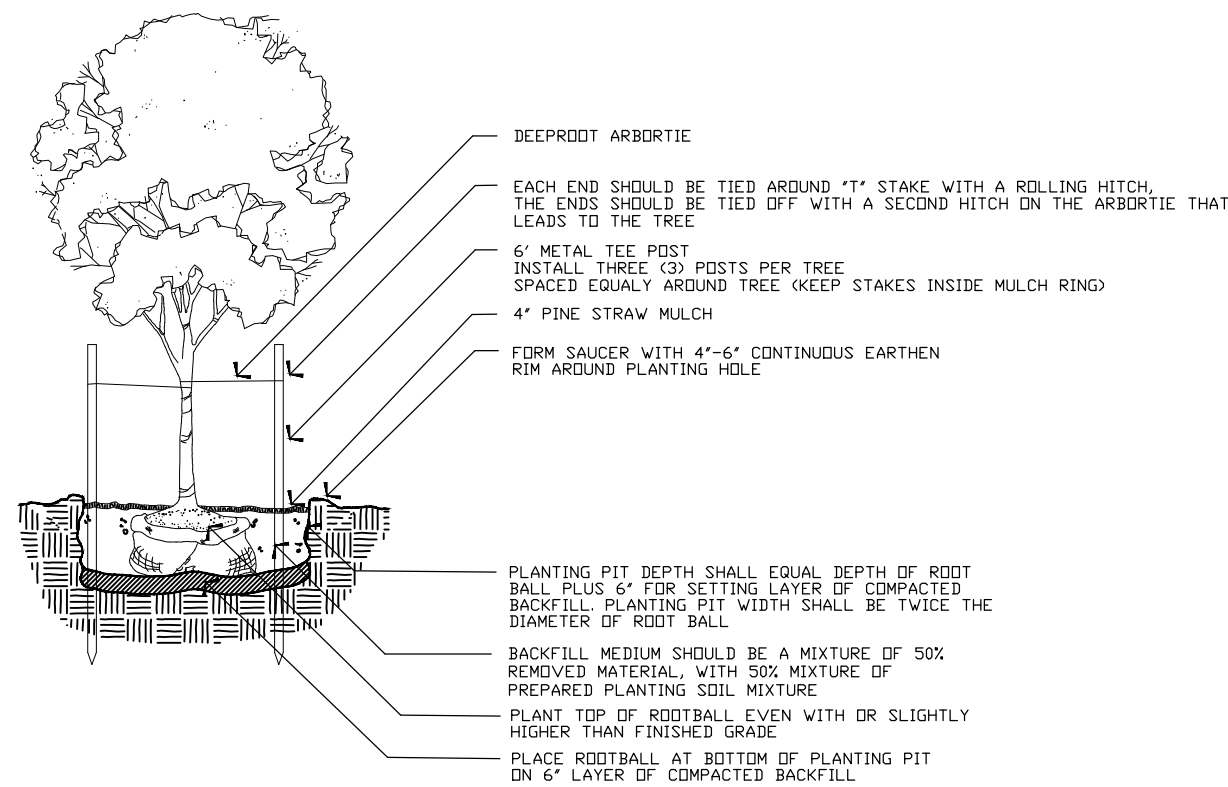
LOT 22 20' WIDE STREETYARD BUFFER WINDWARD DRIVE (WEST)	195'/30=6.5	6 CLASS A + 6 CLASS B REQUIRED 19 SHRUBS REQUIRED 6 CLASS A + 12 CLASS B PROVIDED 42 SHRUBS PROVIDED
20' WIDE STREETYARD BUFFER LEEWARD LOOP (SOUTH)	207'/30=6.9	6 CLASS A + 6 CLASS B REQUIRED 20 SHRUBS REQUIRED 6 CLASS A + 14 CLASS B PROVIDED 6 SHRUBS PROVIDED
NORTH BUFFER 10' WIDE BUFFER	208'/30=6.93	6 CLASS A + 6 CLASS B REQUIRED VARIANCE REQUESTED ADDED 13 CLASS B TO STREET BUFFER
EAST BUFFER 10' WIDE BUFFER	206'/30=6.86	6 CLASS A + 6 CLASS B REQUIRED 6 CLASS A + 6 CLASS B PROVIDED

SECTION 7.0112 MAINTENANCE & REPLACEMENT

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1 SHRUB PLANTING DETAIL
LS-1 N.T.S.

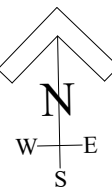


2 TREE PLANTING DETAIL
LS-1 N.T.S.

NEW LANDSCAPE PLAN

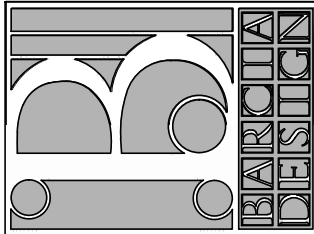
FULL SIZE: 1/2" = 1'-0"
1/2" SIZE: 1/4" = 1'-0"

IF DRAWING IS NOT 24" X 36" SCALE ACCORDINGLY



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LANDSCAPE ARCHITECT LLC.

562 CLAYTON COURT
SUITE 101, LOUISIANA 70461
BARCIADESIGNS@GMAIL.COM
(985) 960-0429



7/24/2023

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Lots 20A and 22A
Northpointe Business Park Lot
St. Tammany Parish, LA

Sheet Title: Landscape Plan

JOB No.:

SCALE: AS SHOWN

DRAWN BY: AB3

CHECKED BY: AB3

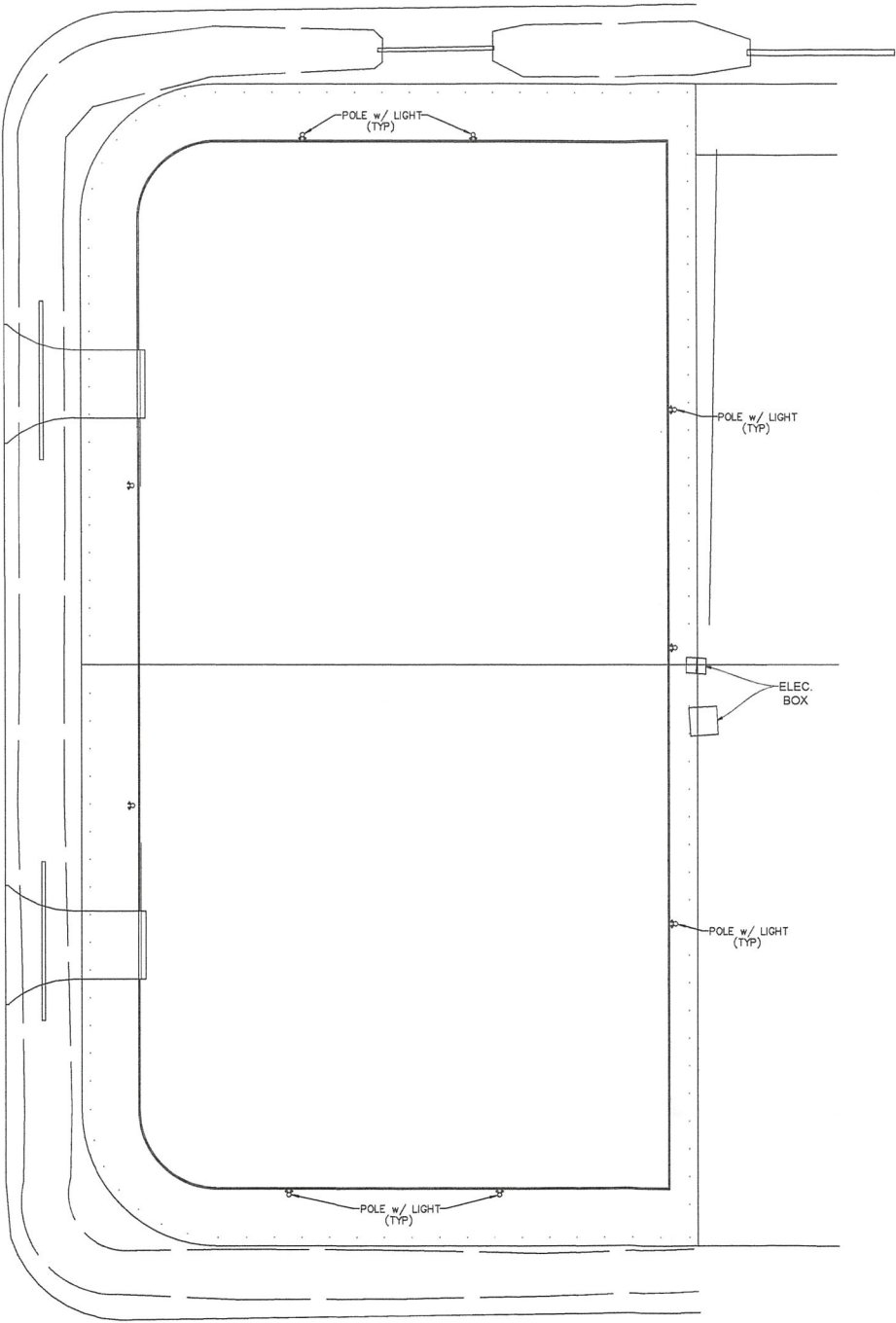
SHEET:

LS-1

REV.

DATE: JULY 24TH 2023

2023-3439-BOA



UTILITY PLAN

FULL SIZE: 1/2" = 1'-0"
1/4" = 1'-0" IF DRAWING IS NOT 24" X 36" SCALE ACCORDINGLY



LANDSCAPE BUFFER
VARIANCE
LOT 20/22 WINDWARD DR.
COVINGTON, LA 70443

LAMP
DESIGN + BUILD

1133 E. PINE ST
SUITE B
PONCHATOULA, LA.
70454
(985) 386-9212



REVISIONS:

DATE: 06/22/23

SHEET NO

U1



BOA STAFF REPORT

2023-3441-BOA

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT

Ross Liner
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Location: 28480 Lapont Drive, Lacombe, Louisiana, Ward 7, District 7

Applicant: Anthony Matthew

Representative: Garry Jones

Posted: July 13, 2023

Initial Hearing Date: August 2, 2023

Date of Report: July 21, 2023



Variance(s) Requested

Request by applicant in an A-2 Suburban District for an after the fact request to exceed the maximum allowable height for an accessory structure and to exceed the 25% allotted expansion amount of a legal non-conforming structure

Zoning of Property: A-2 Suburban District

FINDINGS

The petitioned property is developed with an existing single-family residence and two existing accessory structures. The applicant applied for a residential remodel permit to raise the ceiling of one of the existing structures by 6'6" (Building Permit No. 2022-4977 issued in July, 2022). The work that was performed on the accessory structure exceeded the scope of work that was allowable under the building permit that was issued. The property was subsequently posted by Code Enforcement for being in violation of Sec. 105-57 – Permit Required (Code Enforcement Case No. 2022-CE-22034).

Per the Unified Development Code Sec. 130-2127, accessory buildings must be located at least 10 feet from the rear property line. Both existing accessory structures are roughly 1'6" from the rear property line, making them legal nonconforming structures. Per Sec. 130-161(2) – Legal Nonconforming Expansions, "expansions including structural additions to a legal nonconforming building or structure may be permitted provided the total expansion shall not exceed 25% of the total area of the existing structures or uses".

Board of Adjustments
August 2, 2023

Department of Planning and Development
St Tammany Parish, Louisiana

2023-3441-BOA

**BOA STAFF REPORT**

2023-3441-BOA

MICHAEL B. COOPER
PARISH PRESIDENT**PLANNING & DEVELOPMENT****Ross Liner**
Director

The applicant is requesting an after the fact variance to allow for the accessory building to remain on the site, as shown on the attached picture and submitted plans. Note that an after the fact building permit (Building Permit 2022-7184) has been applied for, which includes the following scope of work :

- Addition of a 34.8'x 29.5' second story totaling 1,026 sq. ft., which exceeds the 25% allowable expansion of the original 29.7' x 19.5', 579 sq. ft. legal nonconforming shed by 881.21 square feet. This total expansion includes a second story wrap around deck and an external staircase to access the second story which faces the northern front property line.

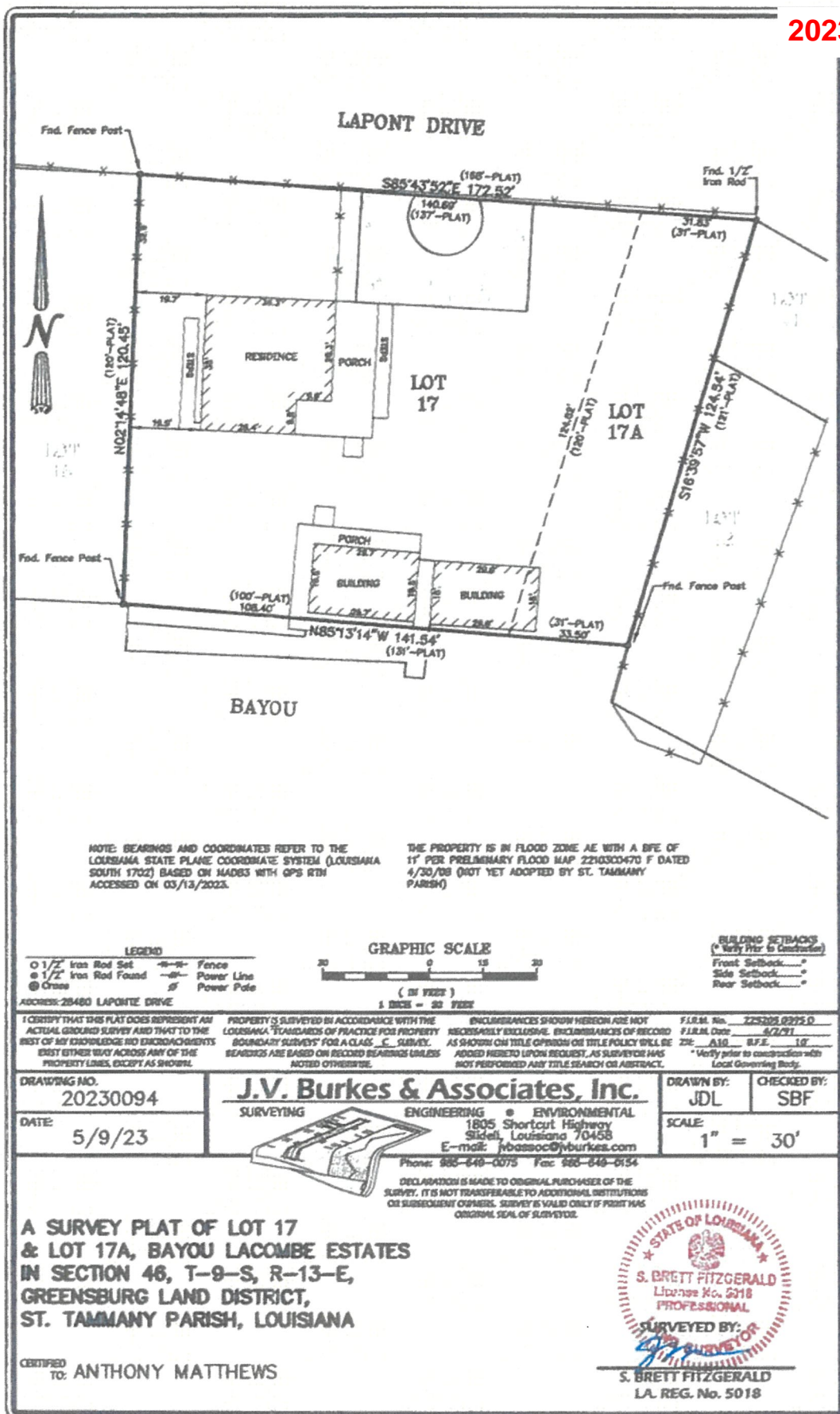
Additionally, per the Unified Development Code Sec. 130-2127(d), an accessory building or structure in a residentially zoned district cannot exceed 20 feet in height above the base flood elevation. The original height of the shed was 11'7". The applicant obtained a building permit for a 6'6" addition and then added a 10'11" second story addition, which was not permitted. The total overall height of the accessory structure is 22'6" feet.

No evidence of hardships or practical difficulties have been demonstrated to warrant the support of the requested variances.

Informational Items:

- The subject property is located on a tributary of Bayou Lacombe and therefore has a Base Flood Elevation of 10 feet. Based on the elevation certificate submitted with the building permit application, the top of bottom floor of the addition is currently at 11' 7" making the building in compliance with the required Base Flood Elevation.
- Per the Unified Development Code Sec. 130-2127(c), the size of any accessory building shall not exceed 7.5% of the area of the lot on which the main building is situated. The total size of the lot is 19,235 sq. ft. and 7.5% of that lot size is 1,442 sq. ft. The original size of the subject accessory structures was 579 sq. ft. With the addition, the total size of the accessory structure is 1,026 sq. ft. which meets this requirement.





June 26, 2023

In Reference to :

Storage structure built on property
of Anthony Matthew at
28480 Lapont St.
Lacombe, La. 70445

To Whom This May Concern :

This structure will provide secure and
elevated storage for my boating equipment
and accessories, lawn tools, sentimental items,
important documents, etc.

A. Matthews
CELL 504 327-6309
28480 LAPONT DR
LACOMBE LA 70445

Sammy Jane Matthews
(504) 831-3150
28480 Lapont St,

June 26, 2023

In Reference to:

Storage structure, built on property
of Anthony Matthew at
28480 Lapont St.
Lacombe, La. 70445

To Whom This May Concern:

I have no objections to this structure being
built on property, at above said property
for the purpose of elevated and secure
storage purposes.

Celaste Dill
28493 Lapont Dr
Lacombe 70445

985-720-5720

Celaste Dill

June 26, 2023

In Reference to:
Storage structure, built on property
of Anthony Matthew at
28480 Lapont St.
Lacombe, La. 70445

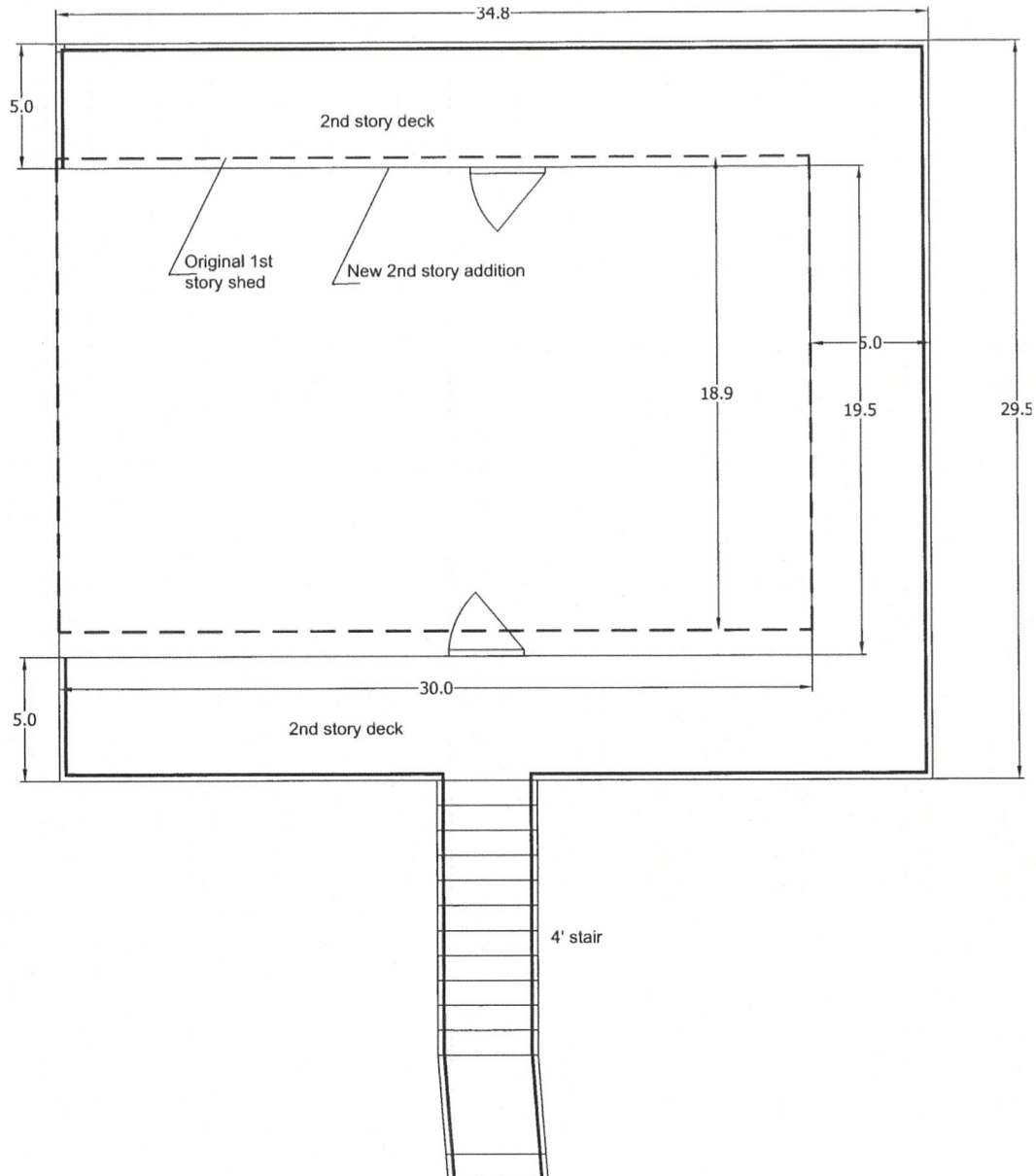
To Whom This May Concern:

I have no objections to this structure being
built on property, at above said property
for the purpose of elevated and secure
storage purposes.

Julie Hustenmacher
28464 La Pont Dr.
Lacombe, La. 70445

Julie Hustenmacher
985-768-0451

2023-3441-BOA



Robert C. Barrilleaux
2/6/23

Dimensions of New 2nd story
addition and original shed

28480 Lapont Road
Lacombe, LA



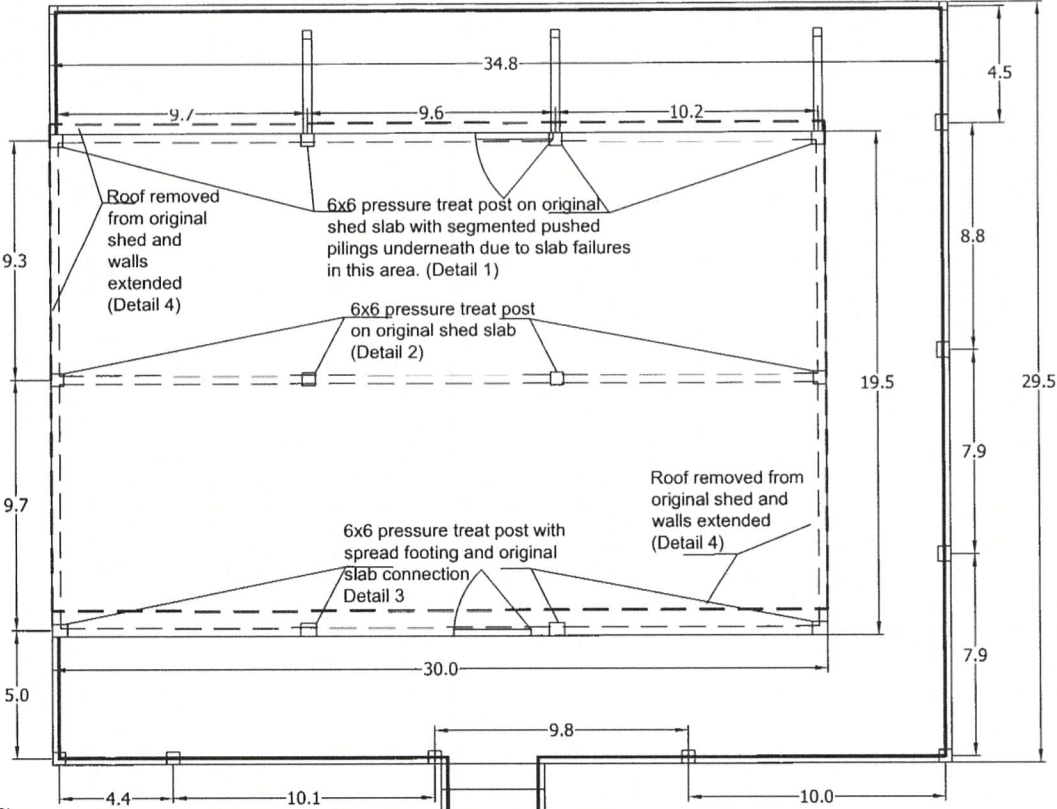
Engineers - Land Surveyors - Environmental Consultants
ph: (985)-542-0391 fax: (985)-542-6515
42333 Deluxe Plaza Suite 8 Hammond, LA
Engineer - Robert C. Barrilleaux, PE # 28869

Date: 02/06/2023

Scale: 1" = 5'

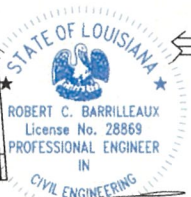
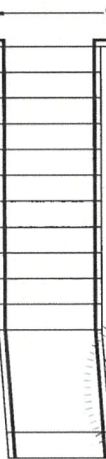
Drawn by: RCB

Sheet 4 of 8



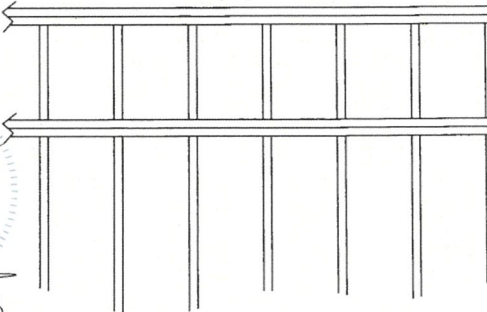
General Notes:
These plans are for the addition of a second level to existing shed. At time of design addition had been constructed, but sign/construction is being modified to give proper foundation support.
All but interior work was complete at time these plans were prepared so this is more of an as-built drawing.
Engineer used field inspection and photographs of the construction process to prepare plans to match construction.
All construction shall meet or exceed current IRC 2015 Specifications.

Design Notes:
Design Loads to beams are 30 lbs/SF dead load and 20 lbs/SF live load for storage area.
Allowable beam deflection is L/D=360.
No soil boring was provided. Soil is a Aquents or Dredged soil per USDA. This is man-made land and a bearing capacity of 10 lb/SF was used for design of foundation.
Foundation is designed to withstand 128 mph ultimate windspeed (3 second burst) as per ASCE 7-16 for a risk category 1

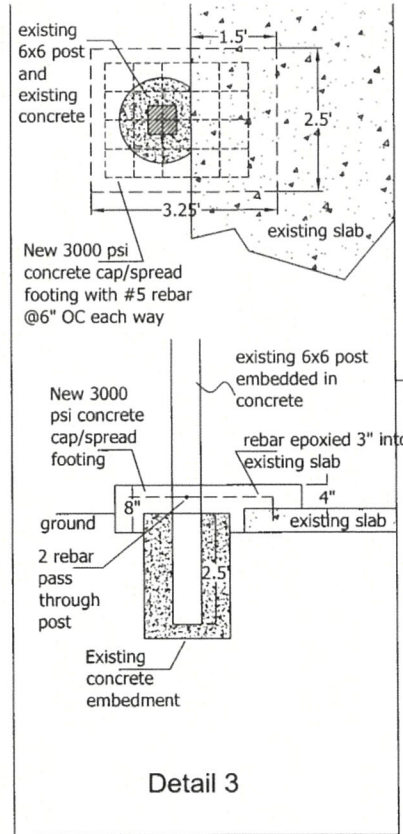


RCB
2/4/23

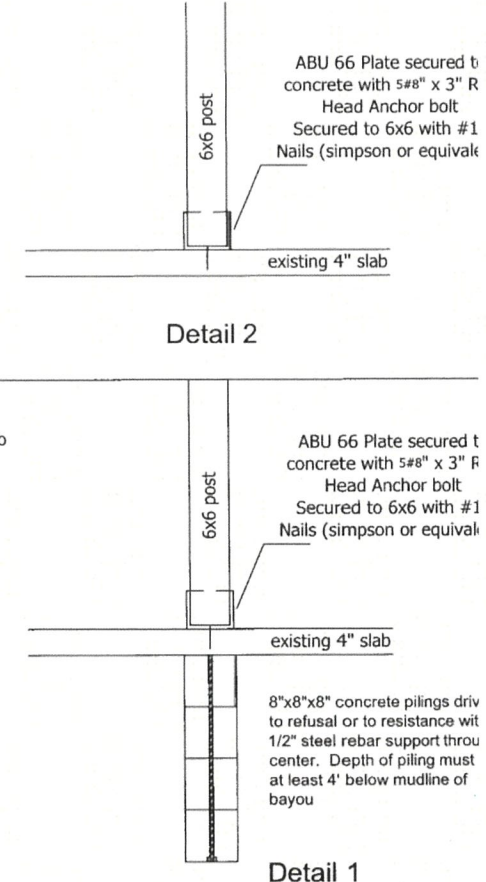
Header (See tables R502.5(1) and R502.5(2) in IRC 2009)



Detail 4



Detail 3



Detail 2

Detail 1

2nd Story Foundation/Floor support

28480 Lapont Road
Lacombe, LA



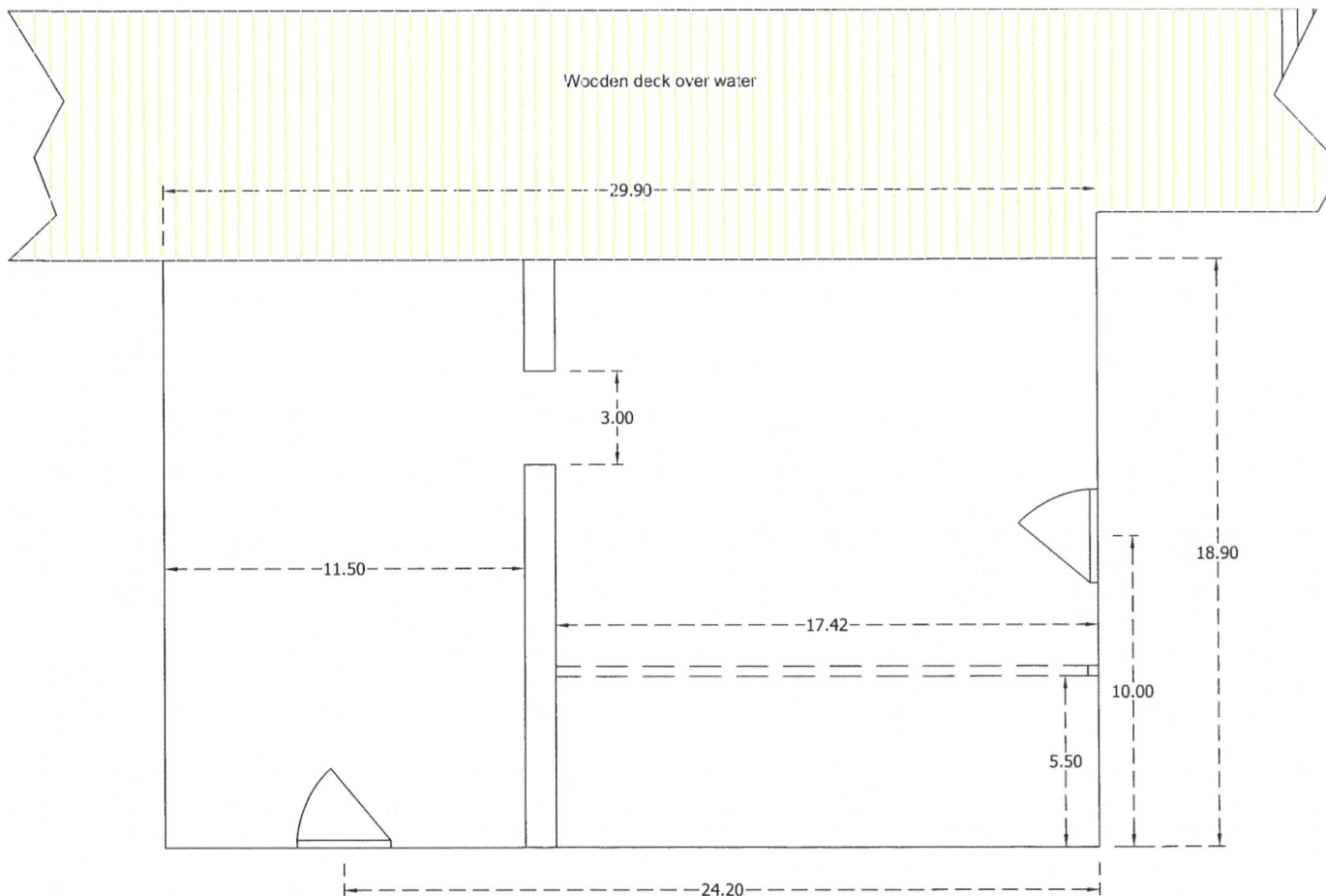
Engineers - Land Surveyors - Environmental Consultants
ph: (985)-542-0391 fax: (985)-542-6515
42333 Deluxe Plaza Suite 8 Hammond, LA
Engineer - Robert C. Barrilleaux, PE # 28869

Date: 02/06/2023 Scale: 1" = 5'
Drawn by: RCB Sheet 5 of 8

2023-3441-BOA

Notes:

- 1) These plans are for the addition on rear of building only.
- 2) All but interior work was complete at time these plans were prepared so this is more of an as-built drawing.
- 3) Engineer used field inspection and photographs of the construction process to prepare plans to match construction done.
- 4) All construction shall meet or exceed current IRC 2015 Specifications.
- 5) All construction shall meet 130 mph wind burst requirements.



Robert C. Barrilleaux
2/6/23

Original Shed

28480 Lapont Road
Lacombe, LA



Engineers - Land Surveyors - Environmental Consultants
ph: (985)-542-0391 fax: (985)-542-6515
42333 Deluxe Plaza Suite 5 Hammond, LA
Engineer - Robert C. Barrilleaux, PE # 28869

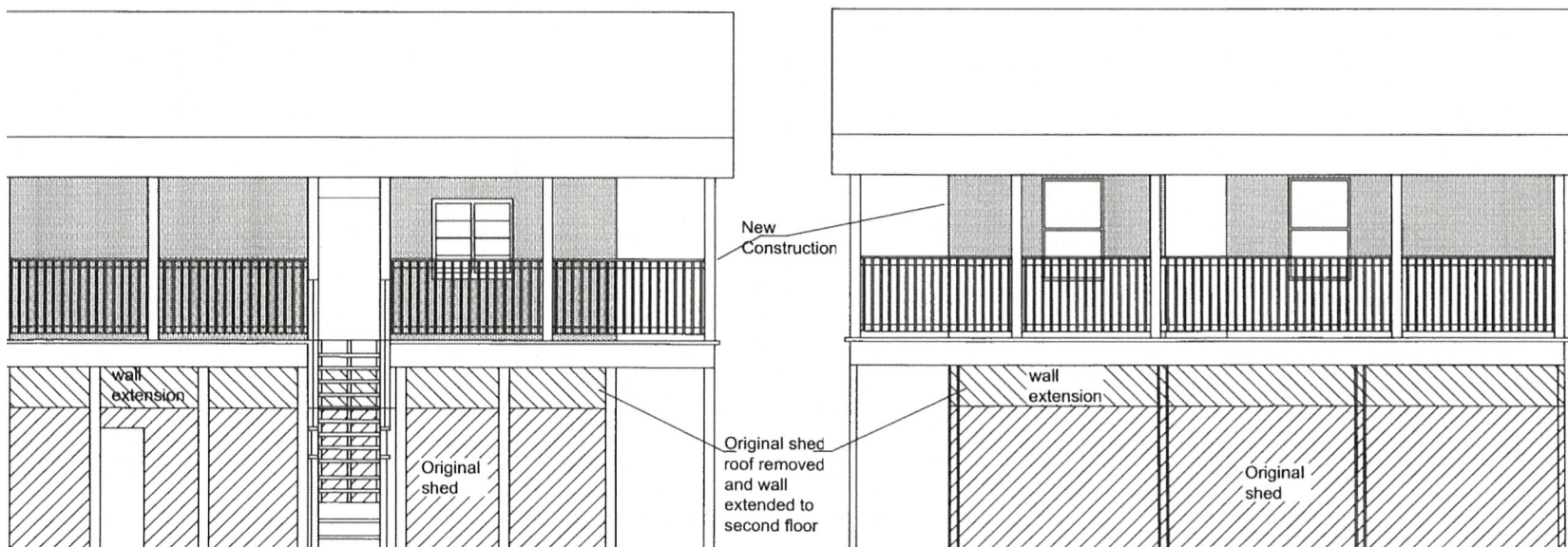
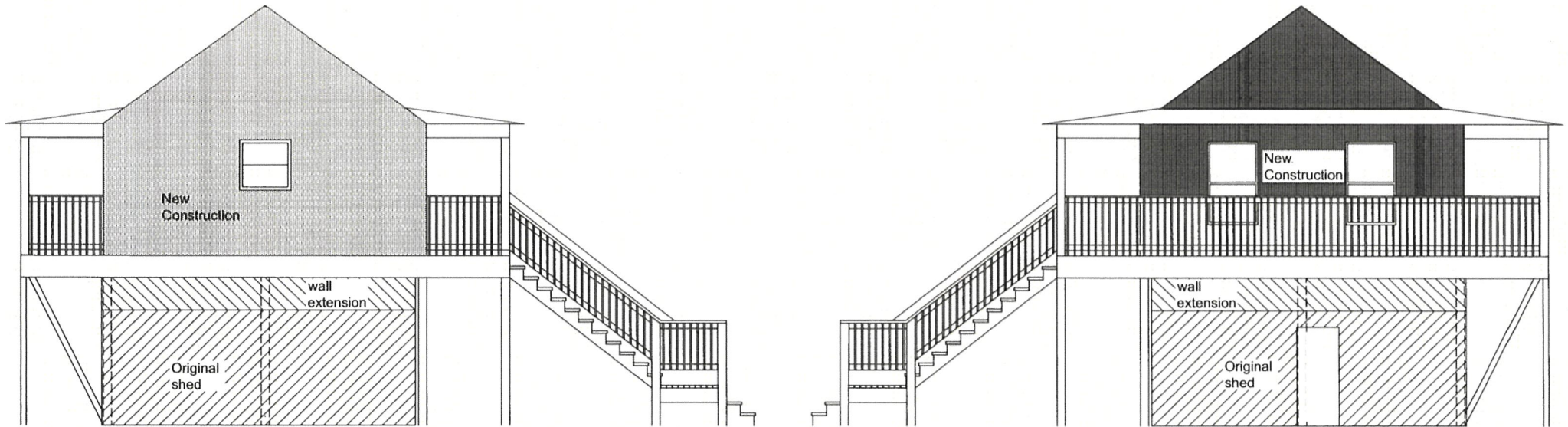
Date: 02/06/2023

Scale: 1" = 4'

Drawn by: RCB

Sheet 1 of 8

2023-3441-BOA



Robert C. Barrilleaux
2/4/23

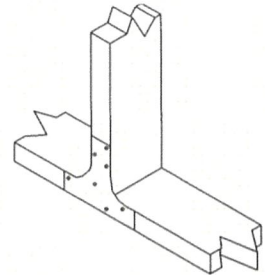
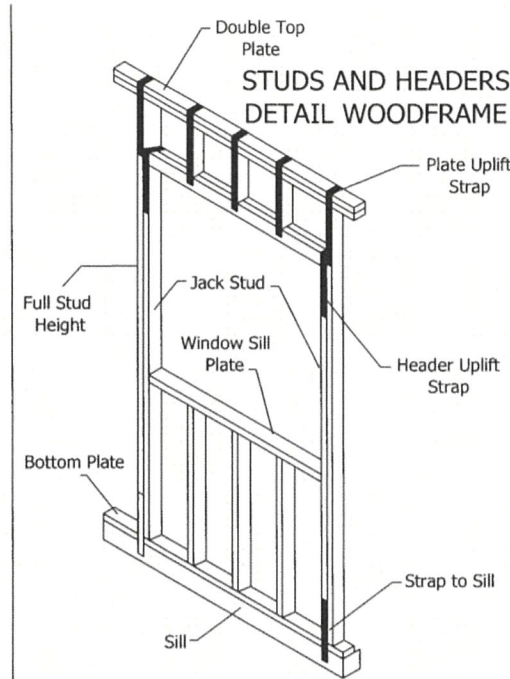
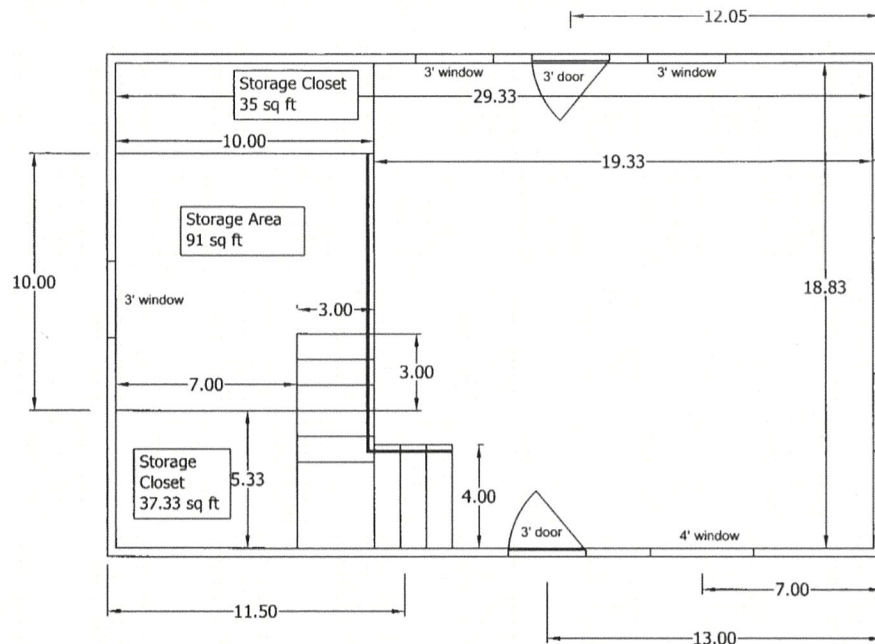
Post Construction
Elevation Side Views

28480 Lapont Road
Lacombe, LA

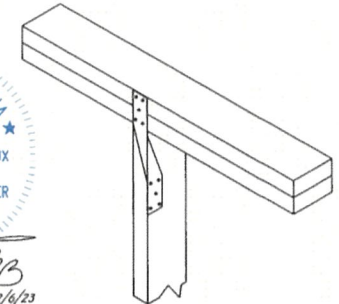
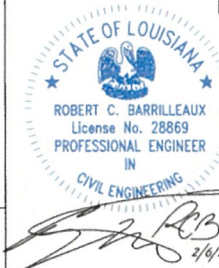


Engineers - Land Surveyors - Environmental Consultants
ph: (985)-542-0391 fax: (985)-542-6515
42333 Delux Plaza Suite B Hammond, LA
Engineer - Robert C. Barrilleaux, PE # 28869

Date: 02/06/2023 Scale: 1" = 6'
Drawn by: ATR Sheet 2 of 8



SIMPSON STRONG-TIE #SP1 REQUIRED OR U.S.P. EQUAL
(SEE MFGS. SPECS. FOR FASTENERS AND INSTALLATION REQUIREMENTS)
CLIP REQUIRED AT EVERY EXTERIOR STUD
AND INTERIOR LOAD BEARING WALL BOTTOM PLATES
STUD TO SOLE PLATE DETAIL



SIMPSON STRONG-TIE #H8 OR LST AT LENGTH
REQUIRED OR U.S.P. EQUAL
(SEE MFGS. SPECS. FOR FASTENERS AND INSTALLATION REQUIREMENTS)
CLIP REQUIRED AT EVERY EXTERIOR STUD
AND INTERIOR LOAD BEARING WALL TOP PLATES
STUD TO TOP PLATE DETAIL

2nd Story Floor Plan with Wall Details

28480 Lapont Road
Lacombe, LA



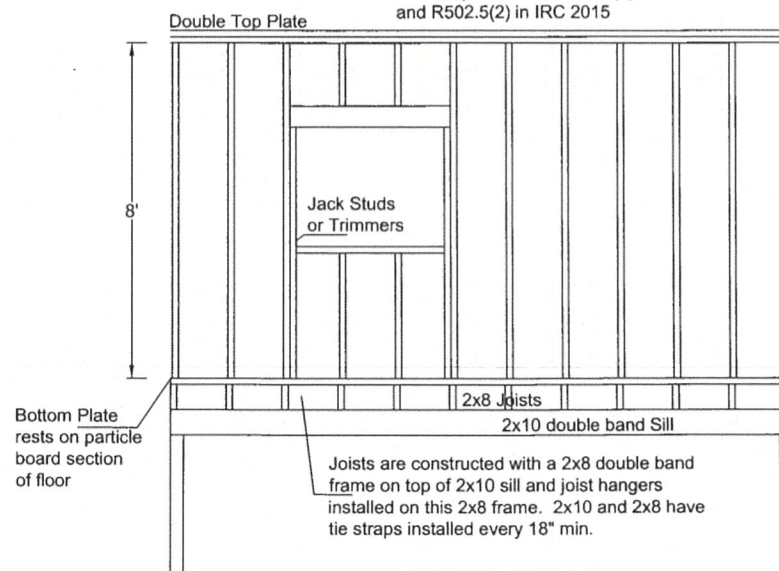
Engineers - Land Surveyors - Environmental Consultants
ph: (985)-542-0391 fax: (985)-542-6515
42333 Deluxe Plaza Suite 8 Hammond, LA
Engineer - Robert C. Barrilleaux, PE # 28869

Date: 02/06/2023

Scale: 1" = 5'

Drawn by: RCB

Sheet 6 of 8



2x4 Wall Studs
@ 16" OC and
meets IRC
R602.3

General Notes:

- 1) These plans are for the addition of a second level to existing shed. At time of design addition had been constructed, but design/construction is being modified to give proper foundation support.
 - 2) All but interior work was complete at time these plans were prepared so this is more of an as-built drawing.
 - 3) Engineer used field inspection and photographs of the construction process to prepare plans to match construction done
 - 4) All construction shall meet or exceed current IRC 2015 Specifications.
 1. Studs shall be 2x4 on 16" OC spacing.
 2. Top Plates shall be double 2x4 and shall overlap at corners and shall have at least a 4' splice length.
- Reference: Table 5, Section 4.2, exterior walls, 130 MPH Exposure B Wind Zone.

Design Notes:

- 1) Design Loads to beams are 30 lbs/SF dead load and 20 lbs/SF live load for storage area.
- 2) Allowable beam deflection is $L/D=360$.
- 3) Bottom plate shall be connected to floor and sill as per IRC 2015 code
- 4) Wall are designed to withstand 128 mph ultimate windspeed (3 second burst) as per ASCE 7-16 for a risk category 1 structure.

Uplift Connections

Roof Assembly to Wall Assembly:

Uplift connections shall be from rafter to wall stud. When rafters or trusses are not located directly above studs, rafters shall be attached to the wall plate and the wall top plate shall be attached directly to the wall stud with uplift connections. Uplift connections shall be as per WFCM current edition.

Wall Assembly to Wall Assembly:

Story to story uplift connections from upper story wall stud to lower story wall stud. When upper story wall studs are not located directly above lower wall studs, the studs shall be attached to a common member in the floor assembly by uplift connections. Uplift connections shall be as per WFCM current edition.

Wall Assembly to Foundation:

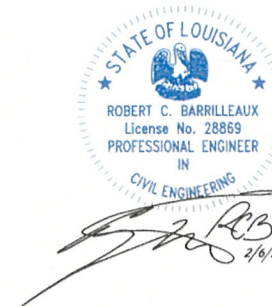
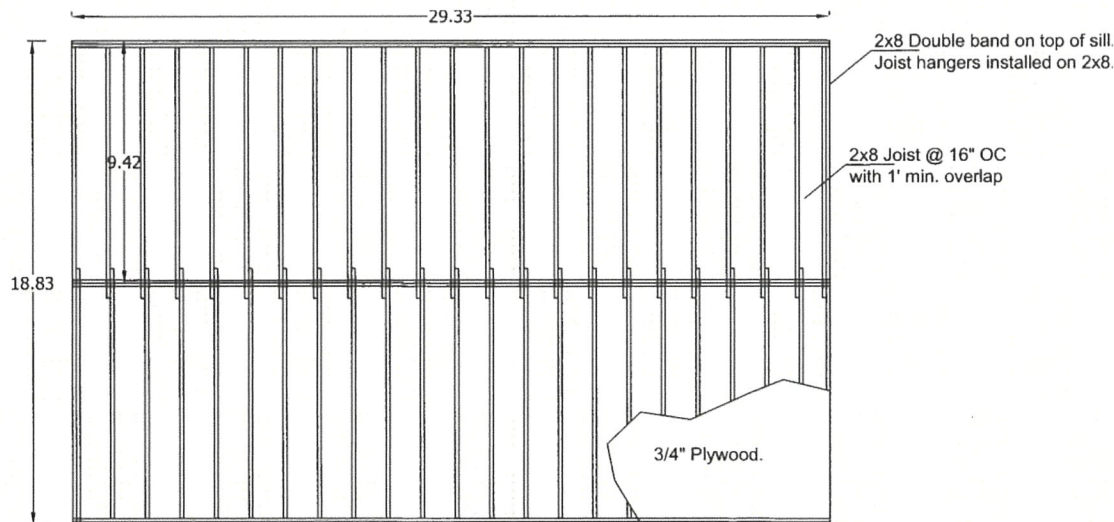
First floor wall studs shall be connected to the foundation, sill, plate, or bottom plate. A minimum of 1-1/4" x 20 gauge ASTM A653 grade steel strap shall be nailed to the wall studs and have a minimum of 18" along the piling/column if wood foundation is used. Steel straps shall be hot-dipped galvanized after fabrication or manufactured from G185 or Z450 galvanized steel.

General Notes:

- 1) These plans are for the addition of a second level to existing shed. At time of design addition had been constructed, but design/construction is being modified to give proper foundation support.
- 2) All but interior work was complete at time these plans were prepared so this is more of an as-built drawing.
- 3) Engineer used field inspection and photographs of the construction process to prepare plans to match construction done
- 4) All construction shall meet or exceed current IRC 2015 Specifications.
- 5) All construction shall meet 130 mph wind burst requirements.

Design Notes:

- 1) Design Loads to beams are 30 lbs/SF dead load and 20 lbs/SF live load for storage area.
- 2) Allowable beam deflection is $L/D=360$.
- 3) Bottom plate shall be connected to floor and sill as per IRC 2015 code
- 4) Wall are designed to withstand 128 mph ultimate windspeed (3 second burst) as per ASCE 7-16 for a risk category 1 structure.



Flooring Framing Plan Diagram

28480 Lapont Road
Lacombe, LA



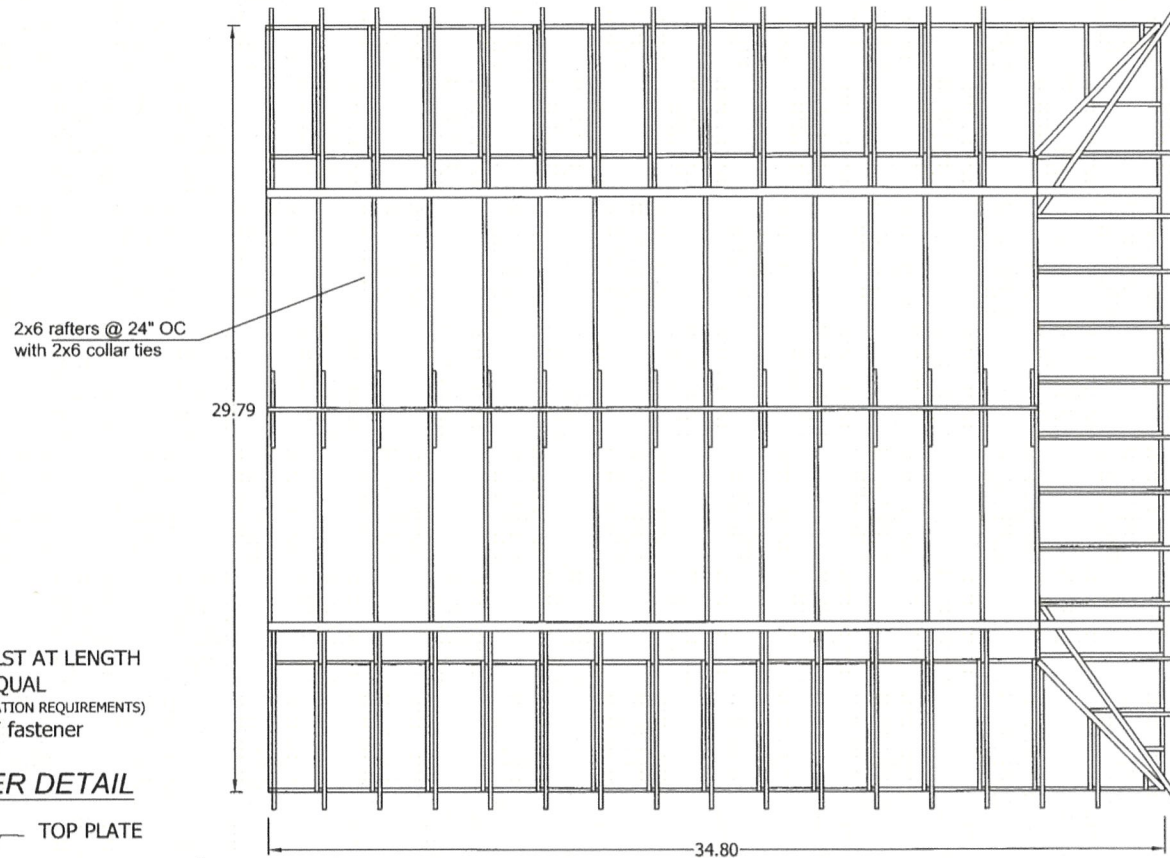
Robert Barrilleaux & Associates, Inc.
Engineers - Land Surveyors - Environmental Consultants
ph: (985) 542-0391 fax: (985) 542-6515
42333 Deluxe Plaza Suite 8 Hammond, LA
Engineer - Robert C. Barrilleaux, PE # 28869

Date: 02/06/2023

Scale: 1" = 5'

Drawn by: RCB

Revised: 7 of 8



General Notes:

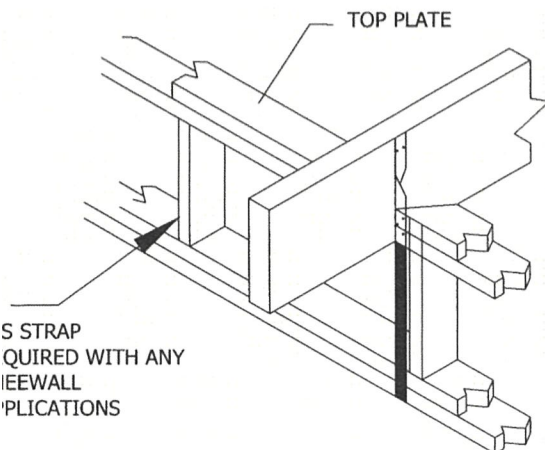
- 1) These plans are for the addition of a second level to existir shed. At time of design addition had been constructed, but design/construction is being modified to give proper foundatic support.
- 2) All but interior work was complete at time these plans were prepared so this is more of an as-built drawing.
- 3) Engineer used field inspection and photographs of the construction process to prepare plans to match construction done
- 4) All construction shall meet or exceed current IRC 2015 Specifications.
- 5) All construction shall meet 130 mph wind burst requiremer

Design Notes:

- 1) Roof construction shall meet IRC 2015 and WFCM 130 MF high wind guide Exposure B requirements.
- 2) Roof Assembly to Wall Assembly:
Uplift connections shall be from rafter to wall stud. When rafte or trusses are not located directly above studs, rafters shall b attached to the wall plate and the wall top plate shall be attac directly to the wall stud with uplift connections. Uplift connecti shall be as per WFCM current edition.
- 3) 2"x4" Rafter collar located in the upper third of the attic spe and connected to rafters using 7-10d nails at each end.

SIMPSON STRING-TIE #H8 OR LST AT LENGTH
REQUIRED or U.S.P. EQUAL
SEE MFGS. SPECS. FOR fasteners AND INSTALLATION REQUIREMENTS)
CLIP REQUIRED AT EVERY fastener

TOP PLATE TO RAFTER DETAIL



Roof Rafter Plan

28480 Lapont Road
Lacombe, LA



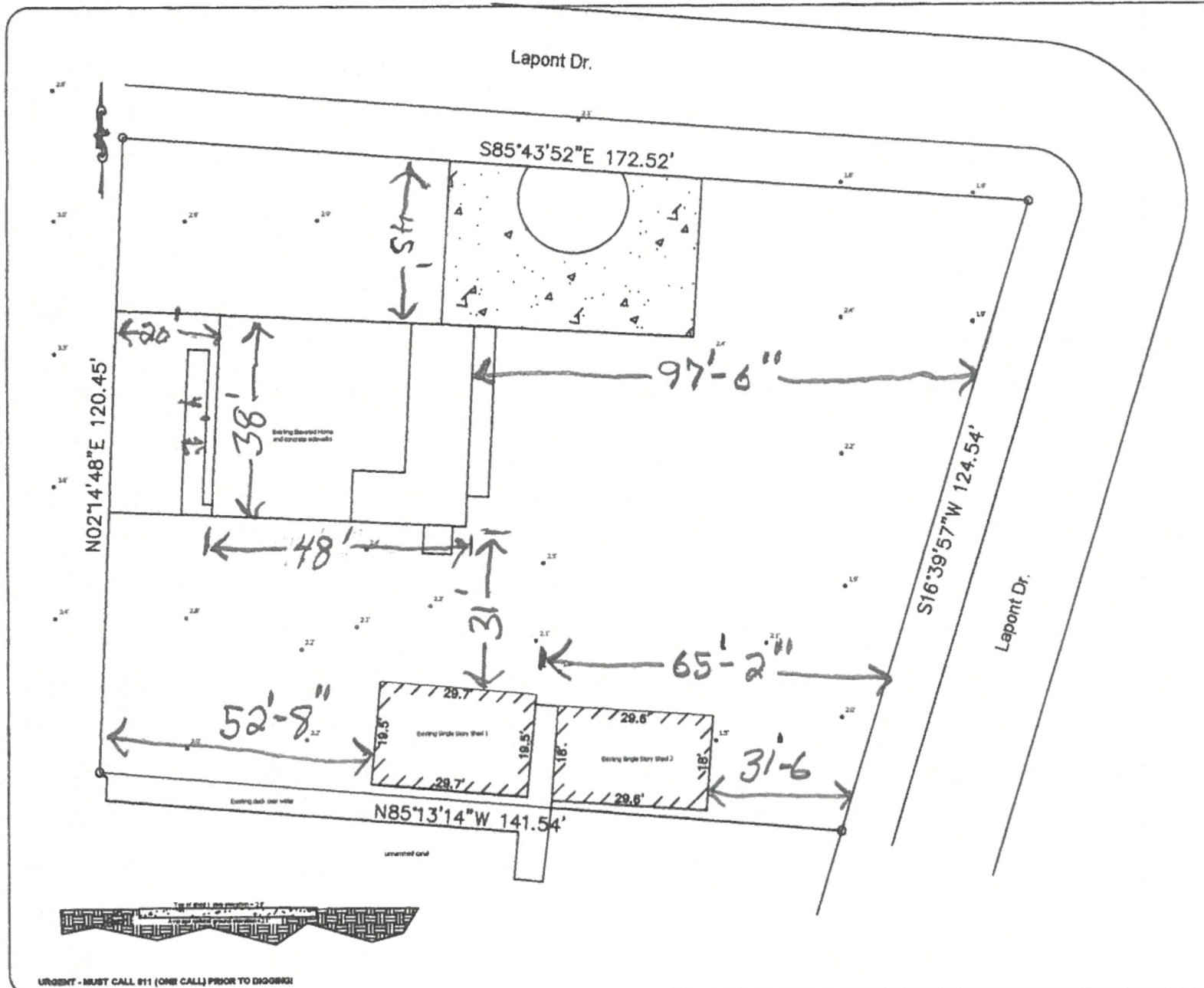
Engineers - Land Surveyors - Environmental Consultants
ph: (985) 542-0391 fax: (985) 542-6515
42333 Deluxe Plaza Suite 8 Hammond, LA
Engineer - Robert C. Barrilleaux, PE # 28869

Date: 02/06/2023

Scale: 1" = 5'

Drawn by: RCB

Sheet 8 of 8



ELEVATION CERTIFICATE

BUILDING PHOTOGRAPHS

Continuation Page

2023-3441-BOA

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 28480 Lapont Dr			Policy Number:
City Lacombe	State Louisiana	ZIP Code 70445	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.



Photo Three

Photo Three Caption LEFT SIDE VIEW

Clear Photo Three

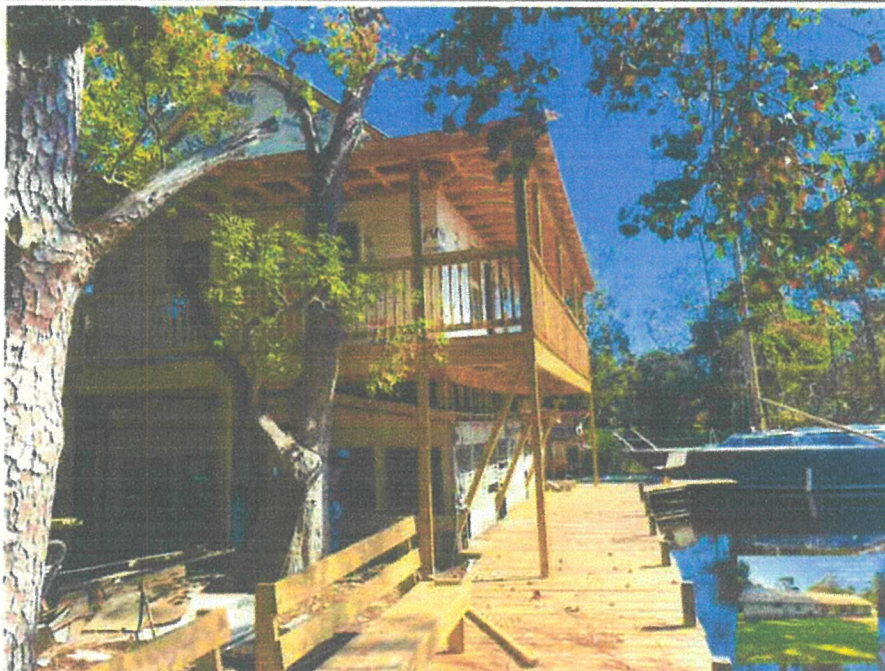


Photo Four

Photo Four Caption RIGHT SIDE VIEW

Clear Photo Four

BUILDING PHOTOGRAPHS

2023-3441-BOA

ELEVATION CERTIFICATE

See Instructions for Item A6.

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 28480 Lapont Dr			Policy Number:
City Lacombe	State Louisiana	ZIP Code 70445	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



Photo One

Photo One Caption FRONT VIEW

Clear Photo One



Photo Two

Photo Two Caption REAR VIEW

Clear Photo Two

2023-3441-BOA



2023-3441-BOA

Description

Date Taken

08/31/2022 15:24





BOA STAFF REPORT
2023-3442-BOA

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

985-898-2529 21454 Koop Drive, Suite 1B, Mandeville, LA 70471 stpgov.org/planning

Location: 650 & 800 Winward Drive, Covington, Louisiana, Ward 1, District 3

Applicant and Representative: Lamp Design Build, LLC/Matthew Lamp

Initial Hearing Date: August 2, 2023

Date of Report: July 21, 2023

Posted: July 14, 2023



Variance(s) Requested

Request by applicant in an I-2 Industrial District for an after the fact waiver of the required 10-foot internal side buffers for lots 3A & 5A and the required number of Class A and Class B trees and a waiver for the northern side buffer on Lot 5A and the required number of Class A & Class B trees.

Zoning of Property: I-2 Industrial District

FINDINGS

The subject property consists of Lots 3A and 5A, Northpoint Business Park and are each developed with existing office warehouses which historically have operated as individual development sites. Both lots were the subject of a previous Board of Adjustments case (BOA-15-07-019) for a waiver to maintain the current location of the side yard buffers on Lots 3A and 5A rather than moving the required buffers to accommodate a revision to the lot lines (see attached drawing). Lots 3A and 5A are now the subject of a proposed single-development site use in which a new parking lot and aggregate storage are being proposed. The Department of Planning & Development was made aware that site work was being done without a permit and the site was posted by Code Enforcement per Sec. 105-57 – Permit Required (2023-CE-23331). The current variance requests are as follows:

- An after the fact variance to relocate the internal buffers, previously approved under BOA case # BOA-15-07-019, to the rear of the property, just outside of the required 20' rear landscape buffer and the 99' rear drainage servitude.
- A waiver of the required 10 ft. northern side yard buffer and the required number of Class A & Class B trees.

Board of Adjustments
August 2, 2023

Department of Planning and Development
St Tammany Parish, Louisiana

2023-3442-BOA



BOA STAFF REPORT
2023-3442-BOA

MICHAEL B. COOPER
PARISH PRESIDENT

PLANNING & DEVELOPMENT
Ross Liner
Director

The total plantable area required for the two 10' internal side yard buffer areas is 8,716 square feet of landscaped buffer. The total proposed 10' mitigation buffer area along the rear of the property equates to 5,271 square feet of landscaped buffer. While staff agrees that the buffer and associated landscaping is better suited to the rear of the property where the site abuts single-family residential development, the size of the mitigation buffer and the proposed plantings should be at a minimum equal to the buffer area proposed to be reduced.

In addition, staff is not in favor of the requested waiver to the northern side yard buffer and required number of Class A & Class B trees. The applicant has not provided any factual documentation or evidence that a practical difficulty or unnecessary hardship exists to warrant the support of the requested variance.

If the requested variances are approved, it shall be subject to the applicant submitting an updated site and landscape plan depicting the required buffers and planting areas.

If the requested variances are denied, it shall be subject to the applicant planting the property as was previously approved under BOA case BOA-15-07-019.

2023-3442-BOA

NORTHPOINTE

TURPIKE RD

RUE CHARLOTTE

WINWARD

LEEWARD

KEITTLE

BOOTLEGGER RD

DIVERSIFIED

June 22, 2023

Ref: Request for variance or appeal of denial

Lot 5A-650/ Lot 3A-800 Windward Drive, Northpointe Subdivision, Covington, LA

Ladies and Gentlemen of the Board,

Please consider this application for variance for Lots 5A-650 and 3A, 800 Windward Drive, Northpointe Subdivision, in Covington. The variance proposes to exchange landscaping that cannot be seen from the street for landscaping that is more functional and visually appealing, while exceeding regulatory minimums.

Itemized Address of Variance Requirements:

1. When the owner purchased the property no division buffer was in existence. The requested variance will allow both properties to function as they have prior to the purchase.
2. The variance provides a solution to a functional difficulty that can not be corrected otherwise. A resubdivision of the properties would unreasonably and unpredictably restrict the future use of both properties. Without the variance, the properties cannot function for the business or most businesses in a reasonable fashion.
3. The variance provides the shared use of a non-visible storage yard. It allows for parking overflow and lessens visible commercial equipment storage on Windward Drive. Separating the lots will unnecessarily redirect equipment traffic onto Windward Drive, burdening surrounding businesses and traffic.

The Tempest Storm Rentals, LLC. has a lease in place to utilize both properties. Without the variance approval the business will be forced to relocate outside of the Parish and possibly the State of Louisiana. The business is a valuable and growing asset to Parish.

Additional documentation is attached.

4. The variance provides landscaping in excess of the required minimums around the facility. The proposed landscape plan provides additional landscape in the most visible areas. The intent is to increase the barrier between these properties and the surrounding residential area.

5. The proposed variance has a positive effect on the surrounding properties, and does not set a negative precedent. It provides only an increase in landscaping and beautification in excess of the original requirement.

Synopsis of Additional Landscaping:

Lot 5A East side, Existing trees exceed the buffer requirements. 5 additional Class A trees provided. Added evergreen hedge to screen parking.

Lot 3A East side, Existing trees exceed the buffer requirements. 4 additional Class A trees provided. Added evergreen hedge to screen parking.

Sincerely,

A handwritten signature in blue ink, appearing to read 'M. Lamp', with a long horizontal flourish extending to the right.

Matthew T. Lamp BSCM, BABA, COSS
President, Lamp Design + Build, LLC
Commercial and Residential
Contractors & Architects
LA Lic #88307, #45507, AF0667
O: (985)386.9212 I F: (985)386.0819

Previously approved variance request per BOA-15-07-019

2023-3442-BOA



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DRAWN BY	SPH
DATE	03/03/15
REVISION	DATE
CHECKED	JEB
SCALE	1" = 30'
SURVEY #	2015-1439

- UG = UNDERGROUND ELECTRIC BOX
- E = ELECTRIC BOX
- T = TELEPHONE PEDESTAL
- B = BREAKER BOX
- DI = DRAIN INLET
- MT = MAGNOLIA TREE
- PT = PALM TREE
- CM = CREPE MYRTLE TREE
- CT = CYPRESS TREE
- RM = RED MAPLE TREE
- OT = OAK TREE
- LP = LIGHT POLE
- SM = SEWER MANHOLE
- WM = WATER METER
- CN = CLEANOUT
- SV = SEWER VALVE
- ICV = IRRIGATION CONTROL VALVE

GENERAL NOTES

- THE LOCATION OF EXISTING UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THEY WERE NOT EXCAVATED TO BE ACCURATELY LOCATED. CALL LOUISIANA ONE CALL "DOTTIE" BEFORE DIGGING. (1-800-272-3020)
- SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE "1" PER FIRM, COMMUNITY NO. 88888, DATED OCTOBER 17, 1989 WITH A BASE FLOOD ELEVATION OF 38'.
- SERVITUDES SHOWN HEREON ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST, AS SURVEYOR HAS NOT PERFORMED ANY TITLE SEARCH ABSTRACT.
- THIS SURVEY WAS DONE ON THE GROUND UNDER MY DIRECT SUPERVISION AND CONTROL AND FOUND NO ENCROACHMENTS ON THE SUBJECT PROPERTY UNLESS OTHERWISE NOTED ON SURVEY.
- THIS SURVEY MEETS OR EXCEEDS A CLASS "1" SURVEY AND IS IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.
- SETBACK LINES SHALL BE VERIFIED BY OWNER OR CONTRACTOR PRIOR TO ANY CONSTRUCTION, AS AN ABSTRACT HAS NOT BEEN PERFORMED BY THE UNDERGROUND.
- REFERENCE SURVEY: THE RECORDED SURVEY MAP.
- BASE FOR BEARINGS IS THE REFERENCE SURVEY.

SURVEYOR'S CERTIFICATION

I do hereby certify that, as of the date set forth above that, I or others under my direct supervision, have made a careful survey of certain described features relating to a portion of ground in Section 3, Township 7 South, Range 10 East, St. Tammany Parish, Louisiana.

JOHN E. BONNEAU
License No. 4423
PROFESSIONAL
03/03/15

JOHN E. BONNEAU
Registered Professional Land Surveyor
Louisiana Registration No. 4423

SURVEYOR'S INFORMATION

JB JOHN E. BONNEAU & ASSOCIATES, INC.
Professional Land Surveyors - Planners - Consultants
833 NORTH LOTUS DRIVE, WANDOVILLE, LA 70471
(855) 845-1012 • (855) 845-1013 • FAX No.: (855) 845-1778
www.JEBOSurveying.com • e-mail: info@jebosurvey.com

Survey for: VOELKELMCWILLIAMS CONSTRUCTION, LLC

Property: AN ABSULT SURVEY OF LOTS 5A & 5B, NORTHPOINTE BUSINESS PARK, PHASE 1, ST. TAMMANY PARISH, LOUISIANA.

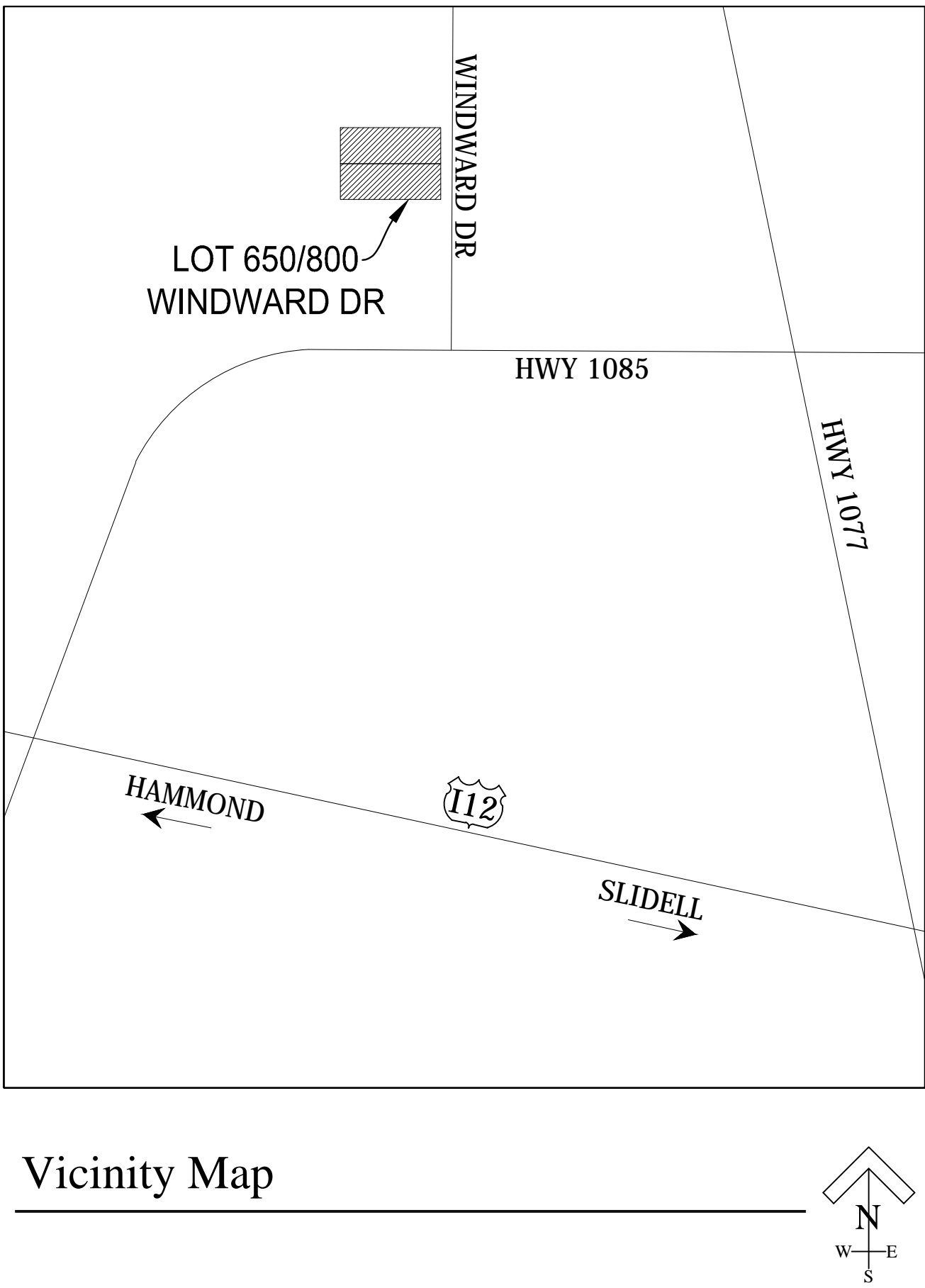
SHEET NUMBER
LS-1
1 OF 1

Index of Drawings

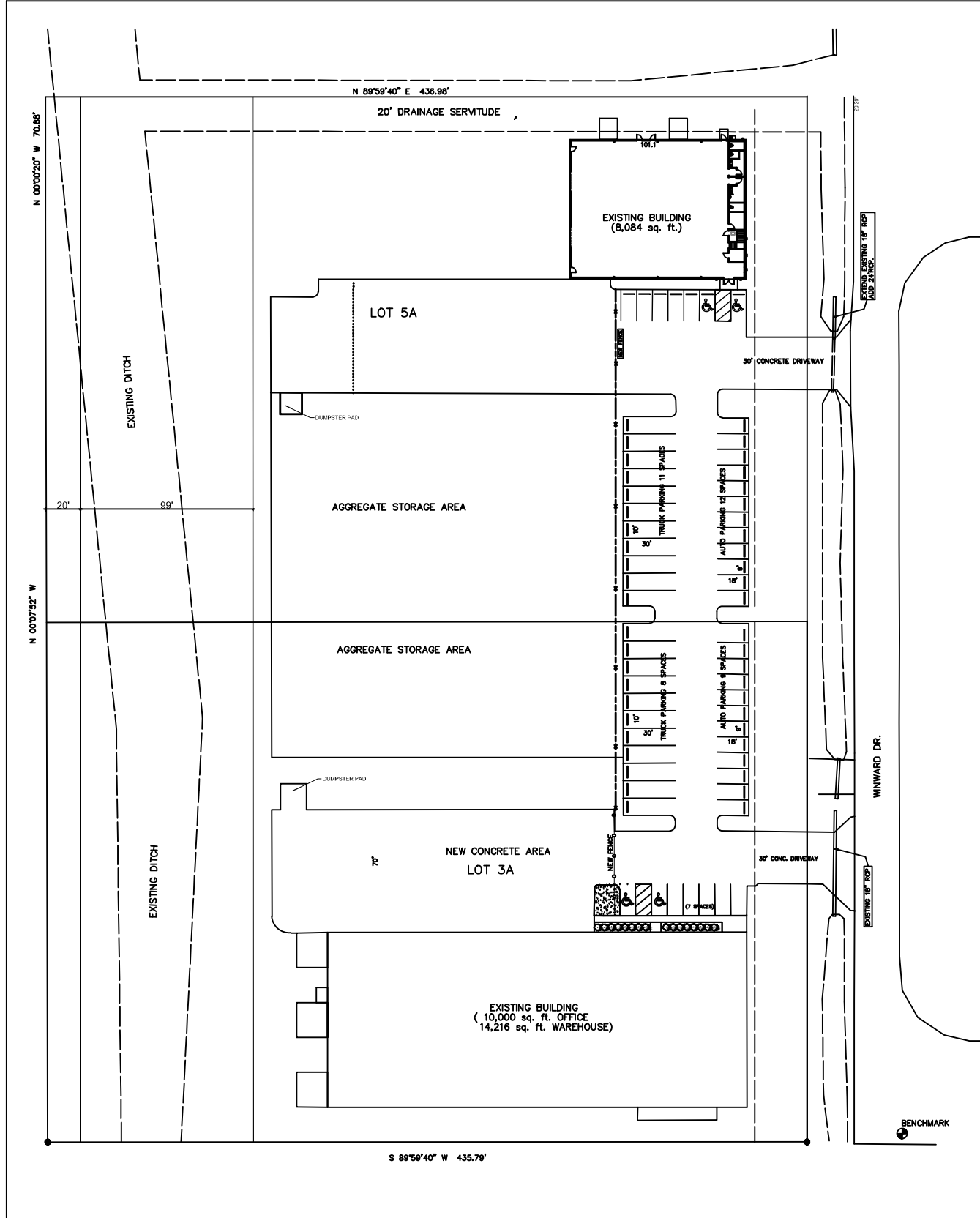
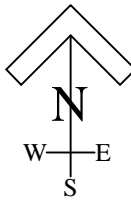
- T-1 - Cover Sheet
- S-1 - New Site Plan
- S-2 - Existing Site Plan
- LS-1 - New Landscape Plan
- LS-2 - Existing Landscape Plan
- D-1 - New Drainage Plan
- SV-1 - Survey

2023-3442-BOA

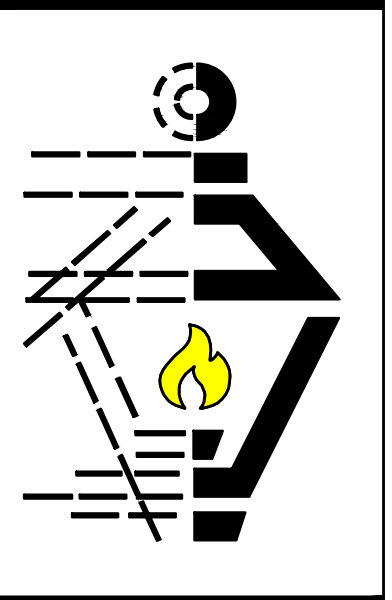
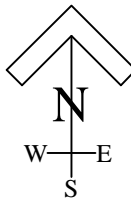
Site Work
3A/5A - 650/800 Windward Dr.
NORTHPOINTE BUSINESS PARK
Covington, LA 70443



Vicinity Map



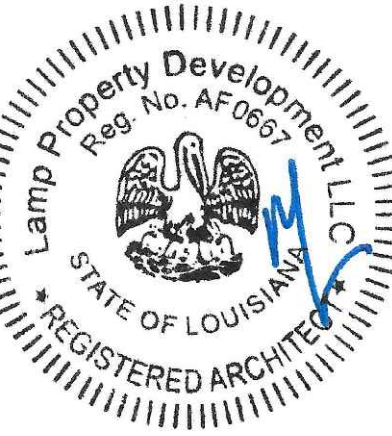
SITE PLAN
N.T.S.



CAIN PROPERTIES
3A/5A - 650/800 WINDWARD DR.
LOT 20/22 WINDWARD DR.
COVINGTON, LA 70443

LAMP
DESIGN + BUILD

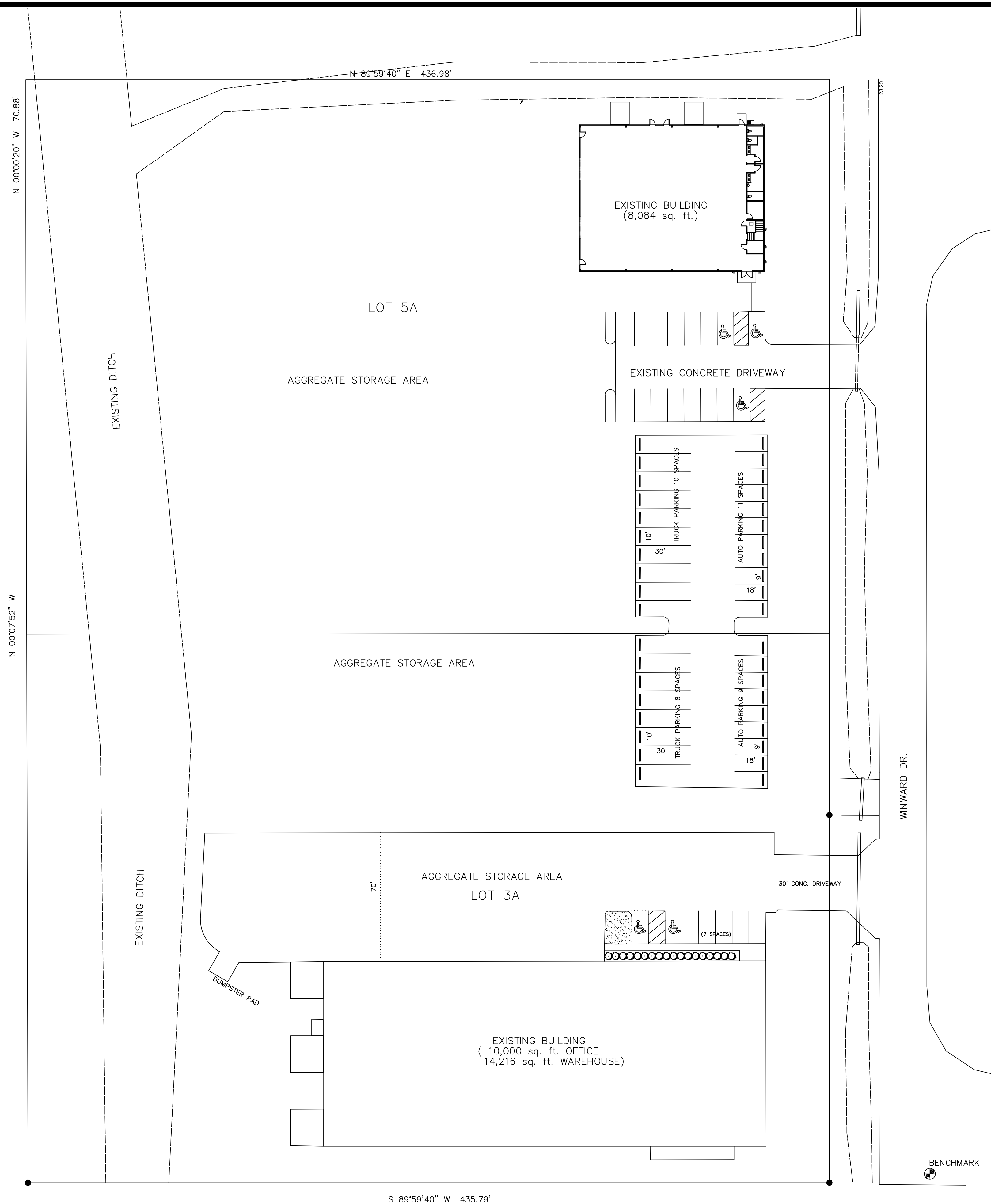
1133 E. PINE ST
SUITE B
PONCHATOULA, LA.
70454
(985) 386-9212



REVISIONS:

DATE: 07/17/23

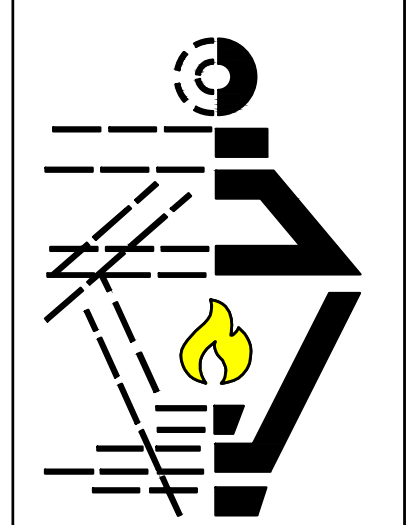
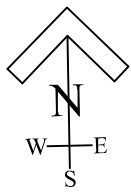
SHEET NO
T-1



2023-3442-BOA

EXISTING SITE PLAN

FULL SIZE: 1/32" = 1'-0" 1/2 SIZE: 1/64" = 1'-0" IF DRAWING IS NOT 24" X 36" SCALE ACCORDINGLY



CAIN PROPERTIES
3A/5A - 650/800 WINDWARD DR.
LOT 20/22 WINDWARD DR.
COVINGTON, LA 70443

LAMP
DESIGN + BUILD

1133 E. PINE ST
SUITE B
PONCHATOULA, LA.
70454
(985) 386-9212








REVISIONS:

DATE: 07/17/23

SHEET NO

S-2

	EXISTING CYPRESS	41
	EXISTING CRAPE MYRTLE	24
	EXISTING LIVE OAK	15
	EXISTING PALM	6
	EXISTING MAPLE	2

SECTION 7.0112 MAINTENANCE & REPLACEMENT

- A. MAINTENANCE: The Owner or his agent shall be responsible for the maintenance and repair of all landscaping materials and barriers as may be required by the provisions of this Section.
- Planting Beds shall be mulched to prevent weed growth and maintain soil moisture.
 - Plant Materials shall be pruned as required to maintain good health and character.
 - Turf areas shall mowed periodically.
 - All roadways, curbs and sidewalks shall be edged when necessary in order to prevent encroachment from the adjacent grassed areas.
 - The Owner of the Property shall be responsible for the provision of adequate water, fertilizer and nutrients to the required plant materials.
- B. REPLACEMENT: Subject to the provisions of Section 7.0105.E entitled, "Replacement of Preserved Trees that Die", trees and plants that die must be replaced within six (6) months of the death of the tree or plant with trees or plants that meet the requirements of Section 7.01. Barriers and curbs that are damaged or destroyed beyond repair shall be replaced within six (6) months after the damage or destruction.

EXISTING TREE CHARTS
LOT 3A AND 5A

EAST PROPERTY BUFFER

#	SIZE	TYPE	TREE CREDIT
18.	6"	LIVE OAK	2
19.	8"	LIVE OAK	2
20.	10"	CYPRESS	3
21.	CREPE MYRTLE	1	
22.	CREPE MYRTLE	1	
23.	CREPE MYRTLE	1	
24.	12"	CYPRESS	3
25.	CREPE MYRTLE	1	
26.	CREPE MYRTLE	1	
27.	CREPE MYRTLE	1	
28.	12"	CYPRESS	3
29.	CREPE MYRTLE	1	
30.	CREPE MYRTLE	1	
31.	CREPE MYRTLE	1	
32.	10"	CYPRESS	3
33.	4"	LIVE OAK	1
34.			
35.	4"	LIVE OAK	1
36.	6"	LIVE OAK	2
37.	CREPE MYRTLE	1	
38.	4"	CYPRESS	1
39.	CREPE MYRTLE	1	
40.	4"	CYPRESS	1
41.	CREPE MYRTLE	1	
42.	CREPE MYRTLE	1	
43.	CREPE MYRTLE	1	
44.	6"	CYPRESS	2
45.	WAX MYRTLE	1	
46.	6"	CYPRESS	2
47.	CREPE MYRTLE	1	
48.	CREPE MYRTLE	1	
49.	6"	CYPRESS	1
50.	WAX MYRTLE	1	
51.	6"	CYPRESS	2
52.	CREPE MYRTLE	1	
53.	CREPE MYRTLE	1	
54.	6"	CYPRESS	2
55.	CREPE MYRTLE	1	
56.	4"	CYPRESS	1
57.	4"	CYPRESS	1
58.	4"	CYPRESS	1
59.	CREPE MYRTLE	1	
60.	CREPE MYRTLE	1	
61.	CREPE MYRTLE	1	
62.	4"	CYPRESS	1
63.	12"	PALM	1
64.	12"	PALM	1
65.	12"	PALM	1
66.	12"	PALM	1
67.	12"	PALM	1
68.	12"	PALM	1
69.	4"	CYPRESS	REMOVE
70.	4"	CYPRESS	REMOVE
71.	4"	CYPRESS	1
72.	4"	CYPRESS	1
73.	4"	CYPRESS	1
74.	4"	CYPRESS	1
75.	4"	CYPRESS	1
76.	4"	CYPRESS	1
77.	4"	MAPLE	1
78.	4"	CYPRESS	1
79.	4"	MAPLE	1
80.	4"	CYPRESS	1
81.	4"	CYPRESS	1
82.	4"	CYPRESS	1

SOUTH PROPERTY BUFFER

#	SIZE	TYPE	TREE CREDIT
01.	10"	CYPRESS	3
02.	8"	LIVE OAK	2
03.	8"	CYPRESS	2
04.	8"	LIVE OAK	2
05.	8"	CYPRESS	2
06.	6"	LIVE OAK	2
07.	8"	CYPRESS	2
08.	8"	LIVE OAK	2
09.	8"	CYPRESS	2
10.	8"	LIVE OAK	2
11.	8"	CYPRESS	2
12.	6"	LIVE OAK	2
13.	10"	CYPRESS	3
14.	4"	LIVE OAK	2
15.	6"	LIVE OAK	2
16.	8"	LIVE OAK	2
17.	6"	LIVE OAK	2

WEST PROPERTY BUFFER

EXISTING WOODS TO REMAIN ON EITHER SIDE OF DITCH DETENTION AREA

NORTH PROPERTY BUFFER

#	SIZE	TYPE	TREE CREDIT
83.	4"	CYPRESS	1
84.	4"	CYPRESS	1
85.	4"	CYPRESS	1
86.	4"	CYPRESS	1
87.	4"	CYPRESS	1
88.	4"	CYPRESS	1
89.	4"	CYPRESS	1
90.	4"	CYPRESS	1

8 TREE CREDIT

LANDSCAPE CALCULATIONS LOT 3A&5A

EAST PROPERTY BUFFER

30' LANDSCAPE BUFFER
+/-600 LF/30 = 20 20 CLASS A AND 20 CLASS B TREES 60 SHRUBS REQUIRED
70 TREE CREDITS TO REMAIN (NO ADDITIONAL TREES PROVIDED)
54 EXISTING SHRUBS TO REMAIN 59 SHRUBS PROVIDED

SOUTH PROPERTY BUFFER

10' LANDSCAPE BUFFER
435.79 LF/30 = 14.52 14 CLASS A AND 14 CLASS B TREES REQUIRED
36 TREE CREDITS TO REMAIN (NO ADDITIONAL TREES PROVIDED)






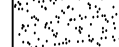
WEST PROPERTY BUFFER

10' LANDSCAPE BUFFER (REQUIRED) +/-70' BUFFER PROVIDED
+/-600 LF/30 = 20 20 CLASS A AND 20 CLASS B TREES REQUIRED
EXISTING WOODS TO REMAIN ON EITHER SIDE OF DITCH DETENTION AREA (NO ADDITIONAL TREES PROVIDED)

NORTH PROPERTY BUFFER

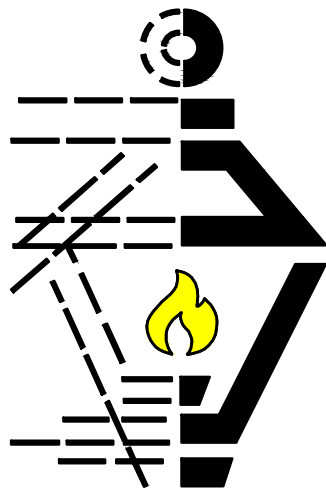
10' LANDSCAPE BUFFER
+/-436 LF/30 = 14.53 14 CLASS A AND 14 CLASS B TREES REQUIRED
(2)DRIVEWAY CROSSINGS 8 EXISTING TREE CREDIT TO REMAIN 6 CLASS A & 14 CLASS B TREES PROVIDED

PLANT SCHEDULE

CLASS 'B'	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	CAL.	SIZE
	IE	14	Ilex x attenuata 'Eagleston' / Eagleston Holly	Gallon or B&B	1 1/2" Cal. Standard Trunk	6'-8' ht.
CLASS 'A'	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	CAL.	SIZE
	QP	10	Quercus phellos / Willow Oak	Gallon or B&B	2.50" Cal, Single Trunk	10' - 12' Ht.
	QS	3	Quercus shumardii / Shumard Oak	Gallon or B&B	2.50" Cal, Single Trunk	10' - 12' Ht.
MITIGATED TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	CAL.	SIZE
	TD	3	Taxodium distichum / Bald Cypress	Gallon or B&B	2" Cal. Standard Trunk	10' - 12' Ht.
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SIZE	
	IB	170	Ilex cornuta 'Burfordii Nana' / Dwarf Burford Holly	7-Gal.	2' ht. at the time of planting	
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	REMARKS	
	SOD	3,536 sf	Eremochloa ophiuroides / Centipede Sod	Squares or Mini Rolls	Class 'A'	

EXISTING LANDSCAPE PLAN

FULL SIZE: 1/32" = 1'-0"
1/2 SIZE: 1/64" = 1'-0"
IF DRAWING IS NOT 24" X 36" SCALE ACCORDINGLY



CAIN PROPERTIES
3A/5A - 650/800 WINDWARD DR.
LOT 20/22 WINDWARD DR.
COVINGTON, LA 70443

LAMP
DESIGN+BUILD

1133 E. PINE ST
SUITE B
PONCHATOULA, LA.
70454
(985) 386-9212



REVISIONS:

DATE: 07/17/23

SHEET NO

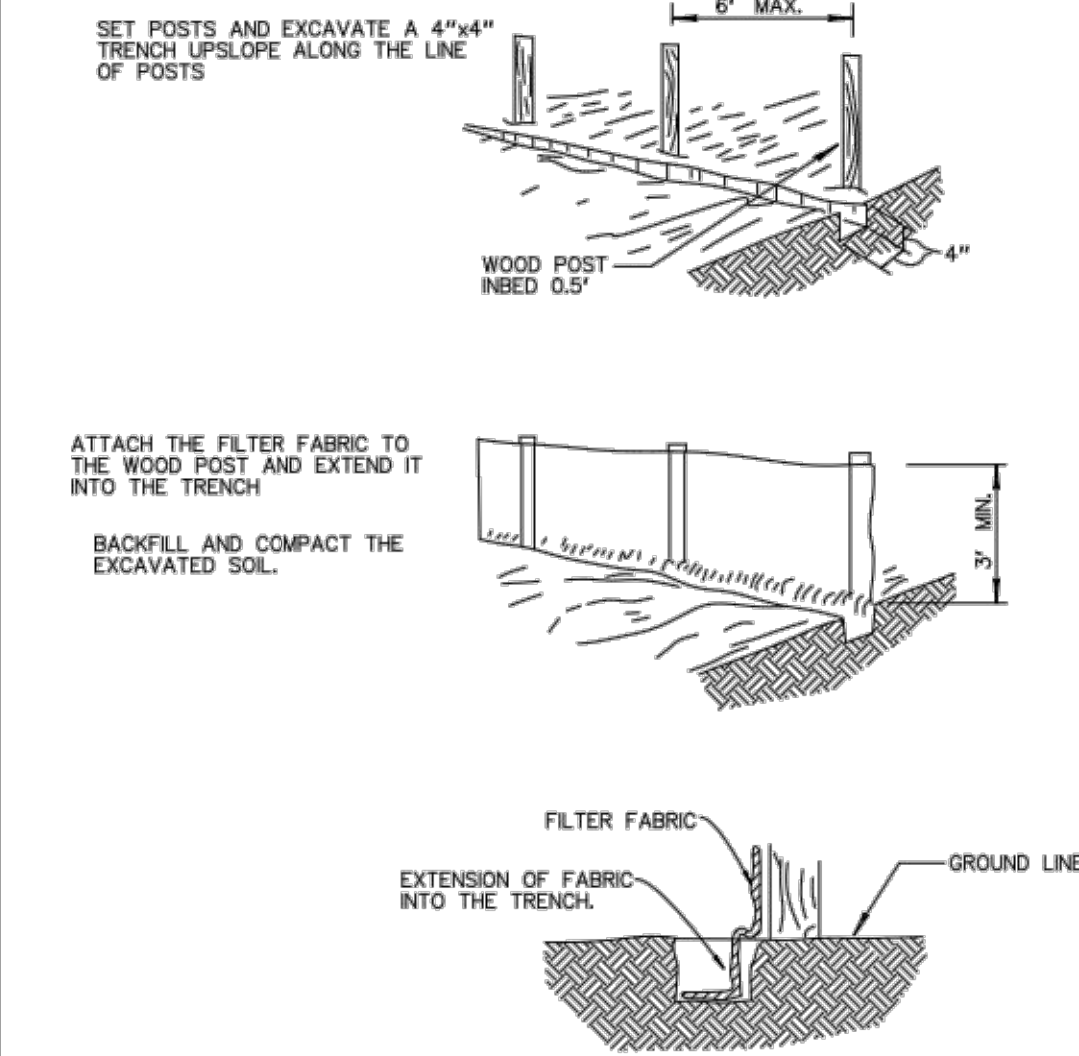
LS-2

LAMP
DESIGN+BUILD

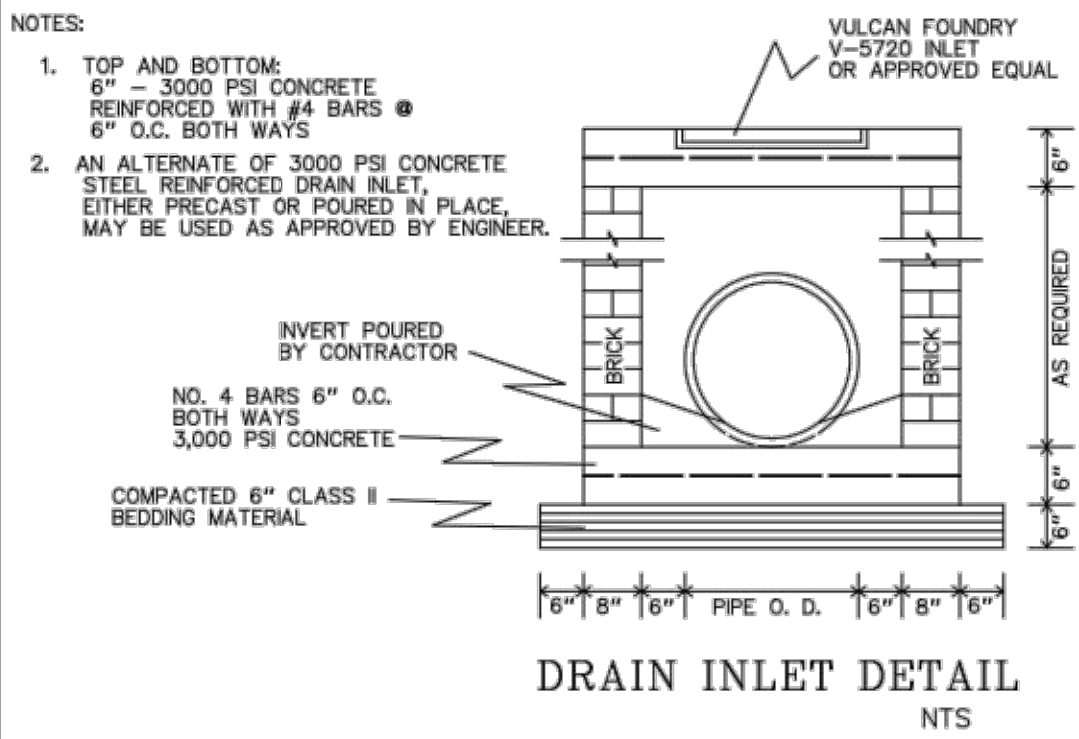
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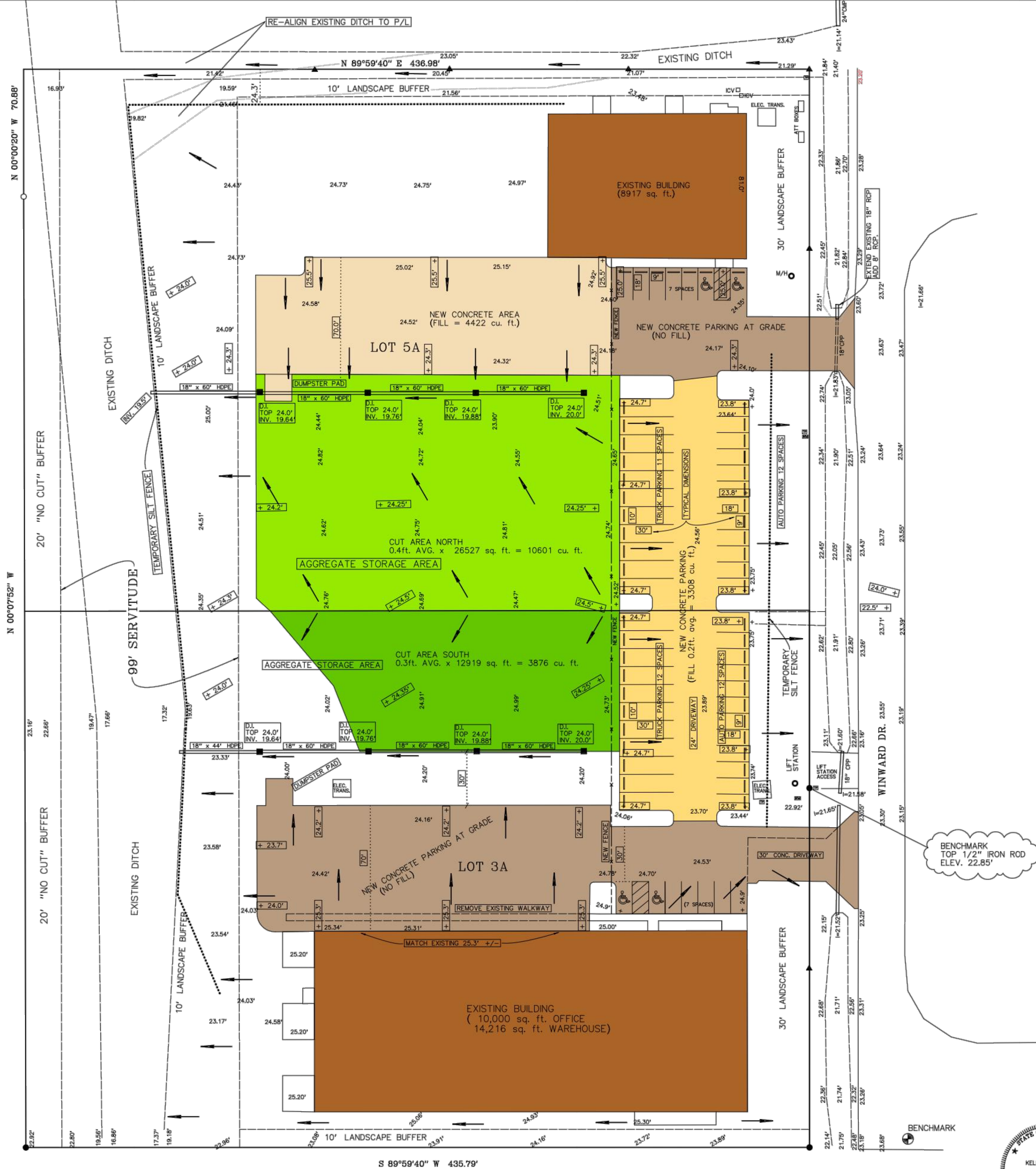
FULL SIZE: $\frac{1}{32}" = 1'-0"$
 $\frac{1}{2}$ SIZE: $\frac{1}{64}" = 1'-0"$ IF DRAWING IS NOT 24" X 36" SCALE ACCORDINGLY



TEMPORARY SILT FENCE
N.T.S.



- LEGEND:
- 22.66' = EXISTING ELEVATION
 - ***** = PROPOSED ELEVATIONS AND DATA
 - = EXISTING/PROPOSED DRAINAGE PATTERN
 - [Brown Box] = EXISTING BUILDING TO REMAIN
 - [Light Brown Box] = PROPOSED CONCRETE AT GRADE (NO FILL)
 - [Orange Box] = PROPOSED CONCRETE FILL 0.2ft. AVG. x 12858 sq. ft. = 3308 cu. ft.
 - [Light Orange Box] = PROPOSED CONCRETE FILL 0.2ft. x 12858 sq. ft. = 2572 cu. ft. FILL 0.3ft. x 12858 sq. ft./2 = 1929 cu. ft. TOTAL = 4501 cu. ft.
 - [Green Box] = CUT AREA NORTH 0.4ft. AVG. x 26527 sq. ft. = 10611 cu. ft. CUT AREA SOUTH 0.3ft. AVG. x 12919 sq. ft. = 3876 cu. ft. TOTAL = 14487 cu. ft.
 - [Green Box] = CUT AREA NORTH 0.4ft. AVG. x 26527 sq. ft. = 10611 cu. ft. CUT AREA SOUTH 0.3ft. AVG. x 12919 sq. ft. = 3876 cu. ft. TOTAL = 14487 cu. ft.
 - [Circle with Cross] = BENCHMARK - "MAG" NAIL IN PAVEMENT ELEV. 23.56' MSL NAVD 88 (GEOD. 18)
- CUT AND FILL CALCULATIONS



SITE PLAN, DRAINAGE AND GRADING PLAN
& STORMWATER POLLUTION PREVENTION PLAN

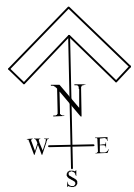
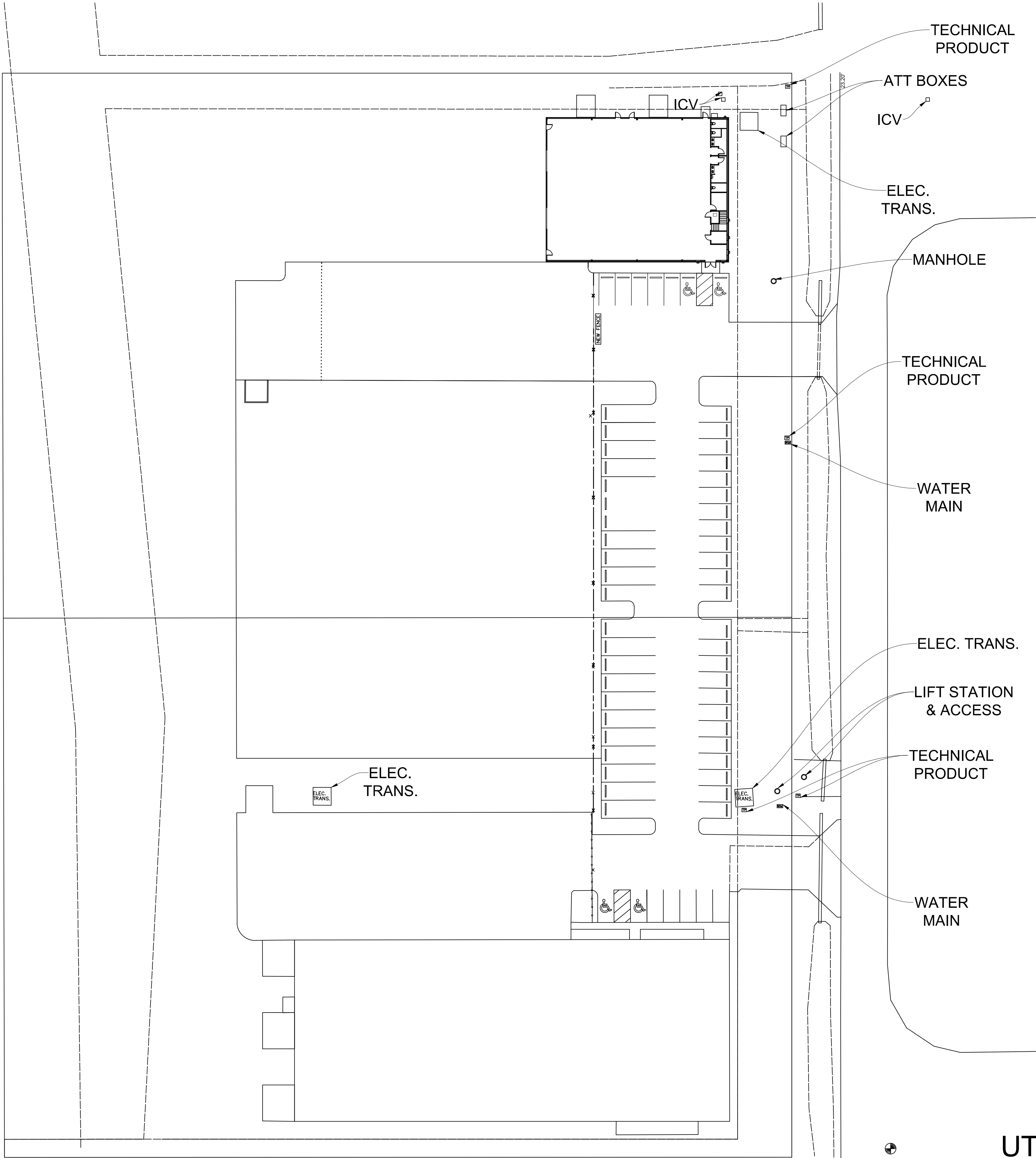
LOTS 3A & 5A
NORTHPOINTE BUSINESS PARK PHASE 1
SECTION 3, T-7-S, R-10-E,
GREENSBURG LAND DISTRICT,
ST. TAMMANY PARISH, LA.

PREPARED FOR:

CAIN PROPERTIES

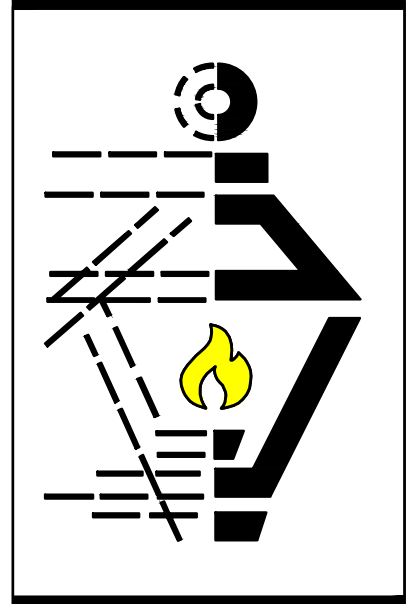
D1

REVISIONS		KELLY McHUGH & ASSOCIATES, INC. CIVIL ENGINEERS & LAND SURVEYORS 845 GALVEZ ST., MANDEVILLE, LA. 626-5611	
MARK	DATE		
	07-13-23	SCALE: 1" = 30' DATE: 06-21-23	
		DRAWN: DRJ JOB NO.: 21-390	
		CHECKED: KJM DWG. NO.: 21-390-5	



UTILITY PLAN

FULL SIZE: 1/32" = 1'-0"
1/2 SIZE: 1/64" = 1'-0" IF DRAWING IS NOT 24" X 36" SCALE ACCORDINGLY



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3A/5A - 650/800 WINDWARD DR.
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