

**AGENDA**  
**ST. TAMMANY PARISH ZONING COMMISSION MEETING**  
**6:00 P.M. – TUESDAY, SEPTEMBER 5, 2023**  
**ST. TAMMANY PARISH ADMINISTRATIVE COMPLEX, COUNCIL CHAMBERS**  
**KOOP DRIVE OFF OF HIGHWAY 59**  
**MANDEVILLE, LOUISIANA**

A livestream will be available for viewing on regular broadcast channels (Charter Channel 710; U-verse Channel 99) or on the Parish website: [www.stpgov.org](http://www.stpgov.org). The livestream will begin at 6:00 PM on Tuesday, September 5, 2023

**ROLL CALL**

**CALL TO ORDER**

**ANNOUNCEMENTS**

- **Please silence all phones and electronic devices**
- **Appeals**
- **Speaker Cards**
- **Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal**
- **Please exit the building**

**INVOCATION**

**PLEDGE OF ALLEGIANCE**

**APPROVAL OF THE AUGUST 1, 2023 MINUTES**

**POSTPONING OF CASES**

**PUBLIC HEARINGS**

**APPEARERS**

**ZONING CHANGE REQUEST CASES - APPLICATIONS FOR A PROPOSED CHANGE OF ZONING DISTRICT OR AMENDMENTS TO THE LAND USE ORDINANCE REQUIRING REVIEW & RECOMMENDATION OF APPROVAL BY THE ZONING COMMISSION BEFORE ACTION BY THE PARISH COUNCIL ARE AS FOLLOWS:**

**1. 2023-3330-ZC**

Existing Zoning:	A-1 (Suburban District)
Proposed Zoning:	A-5 (Two-Family Residential District)
Location:	Parcel located on the east side of Fussell Road, east of Fitzgerald Church Road, Covington; S28, T5S, R11E; Ward 2, District 6
Acres:	1.64 acres
Petitioner:	Robert A LaCroix
Owner:	Judith LaCroix
Council District:	6

**POSTPONED FROM THE JUNE 6, 2023 AND JULY 5, 2023 MEETINGS**

**2. 2023-3398-ZC**

Existing Zoning:	A-4A (Single-Family Residential District)
Proposed Zoning:	HC-2 (Highway Commercial District)
Location:	Parcel located on the northeast corner of Coast Boulevard and Bosworth Avenue, being lots 22, 23, 24, 25, 26, 27, 28, Square 6, Central Park Subdivision Section A, Slidell S23, T9S, R14E; Ward 8, District 12
Acres:	28,125 sqft
Petitioner:	Air Comfort Products, Inc. - Wilfred Lewis
Owner:	Wilfred Lewis
Council District:	12

**POSTPONED FROM THE AUGUST 1, 2023 MEETING**

**AGENDA**  
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**MANDEVILLE, LOUISIANA**

3. **2023-3456-ZC**  
 Existing Zoning: A-1 (Suburban District)  
 Proposed Zoning: A-2 (Suburban District)  
 Location: Parcel located on the south side of F Dutruch Road, west of Highway 40, being 21154 F Dutruch Road, Bush; S13, T5S, R11E; Ward 2, District 6  
  
 Acres: 3.025 acres  
 Petitioner: Ralph Dutruch  
 Owner: Ralph & Lincoln Dutruch  
 Council District: 6
  
4. **2023-3462-ZC**  
 Existing Zoning: A-2 (Suburban District)  
 Proposed Zoning: A-3 (Suburban District) and MHO (Manufactured Housing Overlay)  
 Location: Parcel located on the west side of Mill Street, Abita Springs; S36, T6S, R11E; Ward 3, District 2  
  
 Acres: 1.135 acres  
 Petitioner: Steven Copeland  
 Owner: Steven Copeland  
 Council District: 2
  
5. **2023-3466-ZC**  
 Existing Zoning: A-1 (Suburban District), RO (Rural Overlay) and MHO (Manufactured Housing Overlay)  
 Proposed Zoning: A-1A (Suburban District), RO (Rural Overlay) and MHO (Manufactured Housing Overlay)  
 Location: Parcel located on the south side of Eliza Lee Cemetery Road, east of Neal Cemetery Road, Folsom; S5, T5S, R10E; Ward 3, District 2  
  
 Acres: 6.51 acres  
 Petitioner: Penny Ernst  
 Owner: Carl Baham  
 Council District: 2
  
6. **2023-3467-ZC**  
 Existing Zoning: A-1 (Suburban District)  
 Proposed Zoning: A-2 (Suburban District)  
 Location: Parcel located on the west side of Hill Road, south of Hay Hollow Road, Folsom; S33, T4S, R10E; Ward 2, District 3  
  
 Acres: 4 acres  
 Petitioner: Mary Ann Perry  
 Owner: Mary Ann Perry  
 Council District: 3
  
7. **2023-3471-ZC**  
 Text change: AN ORDINANCE TO AMEND ST. TAMMANY PARISH CODE OF ORDINANCES SECTIONS 130-918, 130-945, 130-969 TO REMOVE THE TERM APARTMENTS FROM THE DEFINITION OF LODGING AS SET FORTH IN THOSE ORDINANCES

**PLAN REVIEW CASES – APPLICATIONS REQUIRING REVIEW AND APPROVAL OF SITE PLANS ALONG A PLANNED DISTRICT BY THE ZONING COMMISSION ARE AS FOLLOWS:**

1. **2023-3440-PR** – USE: Dentist Office  
 CORRIDOR: Highway 21 Planned Corridor  
 ZONING: NC-4 (Neighborhood Institutional District)  
 USE SIZE: 6,900 sqft + 3,000 sqft  
 PETITIONER: Paul J. Mayronne  
 OWNER: Olivier Brasuell Properties, LLC – Brian Olivier & Todd Brasuell  
 LOCATION: Parcel located on the west side of LA Highway 21, south of Keys Road, north of Pinecrest Drive, Covington.

**POSTPONED FROM THE AUGUST 1, 2023 MEETING**



**AGENDA**

**ST. TAMMANY PARISH ZONING COMMISSION MEETING**

**6:00 P.M. – TUESDAY, SEPTEMBER 5, 2023**

**ST. TAMMANY PARISH ADMINISTRATIVE COMPLEX, COUNCIL CHAMBERS**

**KOOP DRIVE OFF OF HIGHWAY 59**

**MANDEVILLE, LOUISIANA**

**NEW BUSINESS**

**OLD BUSINESS**

**ADJOURNMENT**

**MINUTES OF THE  
ST. TAMMANY PARISH ZONING COMMISSION MEETING  
6:00 P.M. – TUESDAY, AUGUST 1, 2023  
ST. TAMMANY PARISH ADMINISTRATIVE COMPLEX, COUNCIL CHAMBERS  
KOOP DRIVE OFF OF HIGHWAY 59  
MANDEVILLE, LOUISIANA**

**ROLL CALL**

Present: Seeger, Truxillo, Ress, McInnis, Doherty, Gaines, Crawford, Smail, Troncoso and Hernandez

Absent: None

**STAFF PRESENT:** Ross Liner, Helen Lambert, Leslie DeLatte, Mitchell Kogan, Erin Cook, Diana Velez and Emily Couvillion

**CALL TO ORDER**

**ANNOUNCEMENTS**

- **Please silence all phones and electronic devices**
- **Appeals**
- **Speaker Cards**
- **Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal**
- **Please exit the building**

**INVOCATION** Seeger

**PLEDGE OF ALLEGIANCE** Crawford

**APPROVAL OF THE JULY 5, 2023 MINUTES**

**Crawford made a motion to accept, second by Smail**

YEA: Seeger, Truxillo, Ress, McInnis, Doherty, Gaines, Crawford, Smail, Troncoso and Hernandez

NAY:

ABSTAIN:

**POSTPONING OF CASES:**

**4. 2023-3398-ZC**

Existing Zoning:	A-4A (Single-Family Residential District)
Proposed Zoning:	HC-2 (Highway Commercial District)
Location:	Parcel located on the northeast corner of Coast Boulevard and Bosworth Avenue, being lots 22, 23, 24, 25, 26, 27, 28, Square 6, Central Park Subdivision Section A, Slidell S23, T9S, R14E; Ward 8, District 12
Acres:	28,125 sqft
Petitioner:	Air Comfort Products, Inc. - Wilfred Lewis
Owner:	Wilfred Lewis
Council District:	12

Jeff Schoen came to the podium

**Seeger made a motion to postpone for one month, second by Crawford**

YEA: Seeger, Truxillo, Ress, McInnis, Doherty, Gaines, Crawford, Smail, Troncoso and Hernandez

NAY:

ABSTAIN:

**1. 2023-3440-PR – USE: Dentist Office**

CORRIDOR:	<u>Highway 21 Planned Corridor</u>
ZONING:	NC-4 (Neighborhood Institutional District)
USE SIZE:	6,900 sqft + 3,000 sqft
PETITIONER:	Paul J. Mayronne
OWNER:	Olivier Brasuell Properties, LLC – Brian Olivier & Todd Brasuell
LOCATION:	Parcel located on the west side of LA Highway 21, south of Keys Road, north of Pinecrest Drive, Covington.

**MINUTES OF THE  
ST. TAMMANY PARISH ZONING COMMISSION MEETING  
6:00 P.M. – TUESDAY, AUGUST 1, 2023  
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MANDEVILLE, LOUISIANA**

Jeff Schoen came to the podium

**Crawford made a motion to postpone for one month, second by Troncoso**

YEA: Seeger, Truxillo, Ress, McInnis, Doherty, Gaines, Crawford, Smail, Troncoso and Hernandez

NAY:

ABSTAIN:

**ZONING CHANGE REQUEST CASES:**

**1. 2023-3273-ZC**

Text change: ORDINANCE TO AMEND ST. TAMMANY PARISH CODE OF ORDINANCES, PART II -LAND DEVELOPMENT CODE, CHAPTER 130— UNIFIED DEVELOPMENT CODE, ARTICLE V - OVERLAYS, DIVISION 6 - PLANNED CORRIDOR DISTRICT, SECTIONS 130-1809 THROUGH 130-1814, TO ADD MILITARY ROAD (HIGHWAY 190) IN SLIDELL AS A PLANNED CORRIDOR DISTRICT. (WARD 8, DISTRICT 9.)

**POSTPONED FROM THE MAY 2, 2023 AND JULY 5, 2023 MEETINGS**

**Hernandez made a motion to approve as amended, second by Seeger**

YEA: Seeger, Truxillo, Ress, McInnis, Doherty, Gaines, Crawford, Smail, Troncoso and Hernandez

NAY:

ABSTAIN:

**2. 2023-3394-ZC**

Existing Zoning:	A-1 (Suburban District)
Proposed Zoning:	A-1 (Suburban District) and MHO (Manufactured Housing Overlay)
Location:	Parcel located on the west side of LA Highway 25, north of Mocking Bird Hill Road, Franklinton S22, T4S, R10E; Ward 2, District 3
Acres:	4 acres
Petitioner:	Amy & Troy Wise
Owner:	Amy & Troy Wise
Council District:	3

Amelia Haydel had some questions about this case

Amy Wise came to the podium

**Seeger made a motion to approve, second by Truxillo**

YEA: Seeger, Truxillo, Ress, McInnis, Doherty, Crawford, Troncoso and Hernandez

NAY: Gaines and Smail

ABSTAIN:

**3. 2023-3396-ZC**

Text change: AN ORDINANCE TO AMEND ST. TAMMANY PARISH CODE OF ORDINANCES CHAPTER 130 – UNIFIED DEVELOPMENT CODE, DIVISION 31 – I-2 INDUSTRIAL DISTRICT SECTION. 130-1074 – PERMITTED USES: ADD (33). SALES AND REPAIR OF SEMI TRUCKS AND TRAILERS WHEN THE CRITERIA OF SECTION 130-2213 (4) & (21) ARE MET AND AMEND SECTION 130.1076 (e) INCREASE MAXIMUM ALLOWABLE HEIGHT REGULATIONS.

Matt Organ and Mark Sieverding came to the podium

**Gaines made a motion to approve as drafted, second by Crawford**

**Then a motion was made by McInnis to approve as amended, second by Crawford**

YEA: Seeger, Truxillo, Ress, McInnis, Doherty, Gaines, Crawford, Smail, Troncoso and Hernandez

NAY:

ABSTAIN:

**MINUTES OF THE  
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MANDEVILLE, LOUISIANA**

This case **2023-3437-ZC** was requested to be moved up by Chairman Doherty

**10. 2023-3437-ZC**

Existing Zoning: I-1 (Industrial District)  
Proposed Zoning: I-2 (Industrial District)  
Location: Parcel located on the west side of Krentel Road, north of I-12, Lacombe S18, T8S, R13E; Ward 7, District 7  
Acres: 25.087 acres  
Petitioner: Cynthia R. Penton  
Owner: Peter J. Penton  
Council District: 7

Matt Organ and Mark Sieverding came to the podium representing the Penton’s

**Crawford made a motion to approve, second by Gaines**

YEA: Seeger, Truxillo, Ress, McInnis, Doherty, Gaines, Crawford, Smail, Troncoso and Hernandez  
NAY:  
ABSTAIN:

**5. 2023-3415-ZC**

Existing Zoning: A-1A (Suburban District)  
Proposed Zoning: A-2 (Suburban District)  
Location: Parcel located on the east side of LA Highway 40, north of Wallace King Road, Bush S13, T5S, R11E; Ward 2, District 6  
Acres: 5.74 acres  
Petitioner: Terry Jenkins  
Owner: Terry & Sandra Jenkins  
Council District: 6

Terry Jenkins came to the podium

**Seeger made a motion to approve, no second**

**McInnis made a motion to approve as amended, second by Seeger**

YEA: Seeger, Truxillo, Ress, McInnis, Doherty, Gaines, Crawford, Smail, Troncoso and Hernandez  
NAY:  
ABSTAIN:

**6. 2023-3427-ZC**

Existing Zoning: A-1A (Suburban District)  
Proposed Zoning: A-1A (Suburban District) and MHO (Manufactured Housing Overlay)  
Location: Parcel located on the north side of Henriques Street, west of LA Highway 59, being Lots 10 & 11, Square 102, Wilsonville Subdivision, Abita Springs S24, T6S, R11E; Ward 10, District 2  
Acres: 4,999.3 sqft  
Petitioner: Britney Magee  
Owner: Britney Magee  
Council District: 2

Britney Magee came to the podium

**Seeger made a motion to approve, second by McInnis**

YEA: Seeger, Truxillo, Ress, McInnis, Doherty, Gaines, Crawford, Smail, Troncoso and Hernandez  
NAY:  
ABSTAIN:

**MINUTES OF THE  
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- 7. 2023-3429-ZC**  
Existing Zoning: A-1 (Suburban District)  
Proposed Zoning: A-1 (Suburban District) and MHO (Manufactured Housing Overlay)  
Location: Parcel located on the west side of LA Highway 437, east of Hulin Road, Covington S10, T6S, R11E; Ward 3, District 2  
  
Acres: 1.29 acres  
Petitioner: Loyann Jenkins  
Owner: Loyann Jenkins  
Council District: 2

Loyann Jenkins came to the podium

Pamela Dychtwald spoke against this request

**Seeger made a motion to approve, second by Truxillo**

YEA: Seeger, Truxillo, Doherty,  
NAY: Ress, McInnis, Gaines, Crawford, Smail, Troncoso and Hernandez  
ABSTAIN:

This motion failed

- 8. 2023-3431-ZC**  
Existing Zoning: HC-2 (Highway Commercial District)  
Proposed Zoning: I-1 (Industrial District)  
Location: Parcel located on the east side of E. Howze Beach Road, the north side of Paul Street, and on the west side of Albert Street, being lot 3-A, lots 5 thru 10, a portion of Lots 19-22, Square 11, Lake Gardens Subdivision, being 288 E. Howze Beach Road, Slidell S44, T9S, R14E; Ward 9, District 13  
  
Acres: 1.383 acres  
Petitioner: Carl Hodge  
Owner: Carl Hodge, David D. Hodge, Daleen Ann Hodge Neal, Betty Jean Hodge, Sara Morgan  
Council District: 13

Carl Hodge came to the podium

**Crawford made a motion to approve, second by Gaines**

YEA: Seeger, Truxillo, Ress, McInnis, Doherty, Gaines, Crawford, Smail, Troncoso and Hernandez  
NAY:  
ABSTAIN:

**MINUTES OF THE  
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KOOP DRIVE OFF OF HIGHWAY 59  
MANDEVILLE, LOUISIANA**

- 9. 2023-3434-ZC**
- |                   |   |
|-------------------|---|
| Existing Zoning:  | A-2 (Suburban District)   |
| Proposed Zoning:  | A-2 (Suburban District) and MHO (Manufactured Housing Overlay)  |
| Location:         | Parcel located on the south side of West Main Street, west of Transmitter Road, being Lot 335, Square 8 and Lots 258 & 187, Square 5, and a portion of the revoked Clesi Avenue, East Oaklawn Town Lots, Lacombe S33, T8S, R13E; Ward 7, District 7 |
| Acres:            | .582 acres  |
| Petitioner:       | Cindy Champagne   |
| Owner:            | Cindy Champagne   |
| Council District: | 7   |

Cindy Champagne came to the podium

**Crawford made a motion to approve, second by Truxillo**

YEA: Seeger, Truxillo, Ress, McInnis, Doherty, Gaines, Crawford, Smail, Troncoso and Hernandez  
NAY:  
ABSTAIN:  
Commission member Chris Smail announced that he is resigning and running for Councilman for District 8

**NEW BUSINESS**

**OLD BUSINESS**

ADJOURNMENT Truxillo made a motion to adjourn



2023-3330-ZC



**ZONING STAFF REPORT**  
2023-3330-ZC

MICHAEL B. COOPER  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

985-898-2529      21454 Koop Drive, Suite 1B, Mandeville, LA 70471      stpgov.org/planning

**Location:** Parcel located on the east side of Fussell Road, east of Fitzgerald Church Road, Covington; S28, T5S, R11E; Ward 2, District 6  
**Council District:** 6

**Owner:** Judith LaCroix  
**Posted:** August 11, 2023

**Applicant:** Robert A LaCroix  
**Commission Hearing:** September 5, 2023

**Size:** 1.64 acres  
**Prior Determination:** Postponed at June 6, 2023 and July 5, 2023 Meetings

**Determination:** Approved, Denied, Postponed



**Current Zoning**  
A-1 Suburban District  
**Requested Zoning**  
A-5 Two-Family Residential District  
**Future Land Use**  
Rural and Agricultural  
**Flood Zone**  
Effective Flood Zone A  
Preliminary Flood Zone X  
**Critical Drainage:**  
No

**FINDINGS**

1. The applicant is requesting to rezone the 1.64-acre parcel from A-1 Suburban District to A-5 Two-Family Residential District. The property is located on the east side of Fussell Road, east of Fitzgerald Church Road, Covington.

*Zoning History*

2. Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
10-2234	Unknown	A-1 Suburban District

*Site and Structure Provisions*

3. The subject property is a 1.64-acre portion of a larger 20.53-acre parcel of land which is primarily wooded and developed with a duplex.

*Compatibility or Suitability with Adjacent Area*

4. Table 3: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Residential	A-1 Suburban District
South	Residential	A-1 Suburban District
East	Residential	A-1A Suburban District
West	Residential	A-1 Suburban District

5. The subject property abuts rural land primarily zoned A-1 Suburban District on all sides, except to the east where it abuts A-1A Suburban District zoning.
6. A zoning change to the A-2 Suburban zoning District designation was originally to subsequently apply for minor subdivision with the objective of creating an individual 1.64-acre legal lot of record. However, it was determined that since the property is developed with an existing duplex, the A-5 Two-Family Residential District would be more appropriate to bring the use in compliance with the appropriate zoning district.





**ZONING STAFF REPORT**  
2023-3330-ZC

**MICHAEL B. COOPER**  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

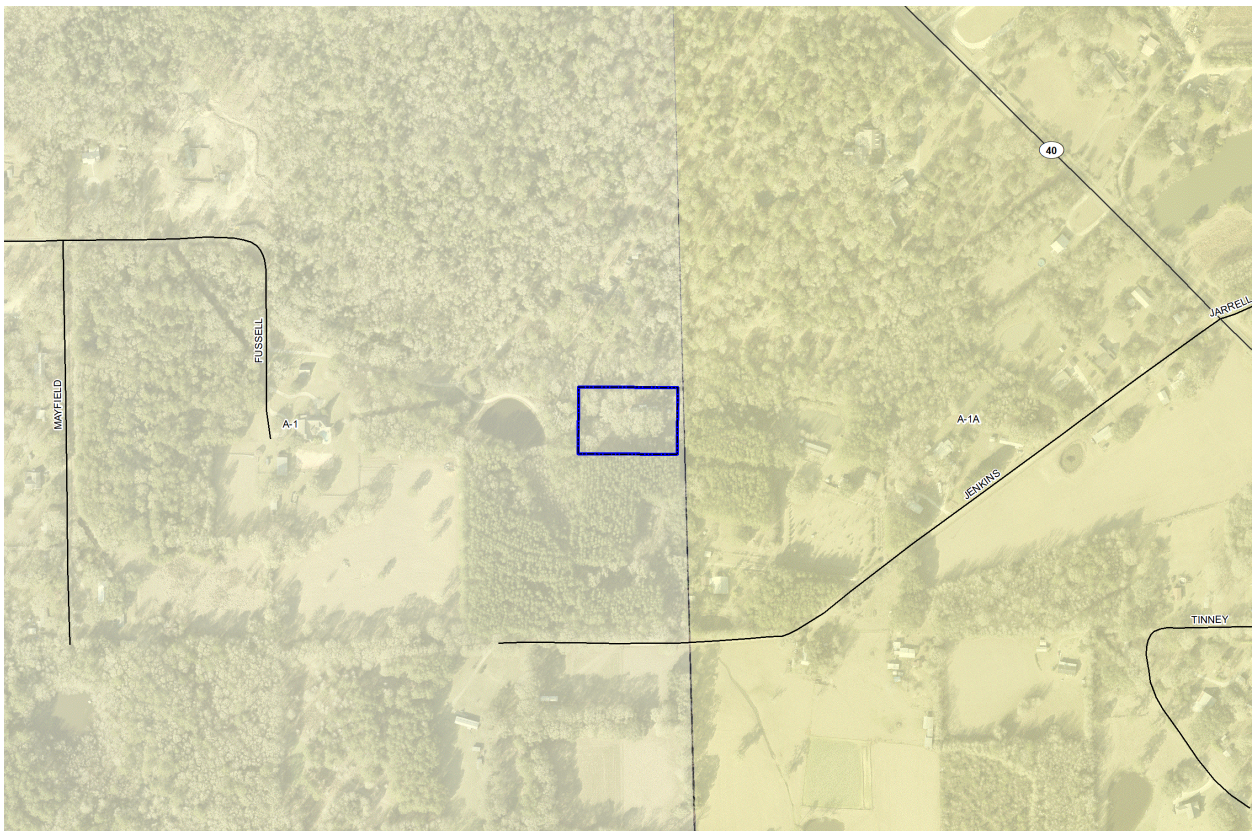
7. The A-5 Two-Family Residential District is currently part of a Parish-wide moratorium that prohibits high-density rezoning for all properties in St. Tammany Parish. The moratorium restricts the rezoning of properties to the following classifications: A-4A Single-Family Residential District, A-5 Two-Family Residential District, and A-6/A-7/A-8 Multiple-Family Residential District(s). Since the subject property was vacated from the Parish-wide moratorium as of Resolution No. C-6802, the 1.64 acre portion of the subject 23.53 acre property can be considered to be rezoned to the A-5 Two-Family Residential District.
8. If approved, the applicant can apply for a minor subdivision of the 20.53-acre parcel and create a legal 1.64-acre lot of record.
9. Staff has no objection as this corrects a zoning classification issue.

*Consistency with New Directions 2040*

**Rural and Agricultural** areas include mostly very low intensity uses in non-urbanized areas, such as agriculture, horse farms, timberlands, ranches, and very large single family lots typically larger than three acres. No large traffic generators or noisy or pollution causing uses are located in Rural and Agricultural areas. Low-capacity country roads—typically two lanes—serve these areas. Septic systems and wells are typical. The Parish's abundant rural areas provide ample space for low-intensity uses, offering residents privacy and access to the outdoors. The countryside also fosters a number of commercial activities, such as production farms, horse boarding, and lumber harvesting. The Rural and Agricultural category includes these commercial uses, as well as small rural serving businesses such as small groceries, gas stations, restaurants, and auto repair shops. St. Tammany's countryside supports a growing tourism industry, whose businesses in this area include bed and breakfasts, retreat centers, nature tours, and "u-pick" farms.

The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:

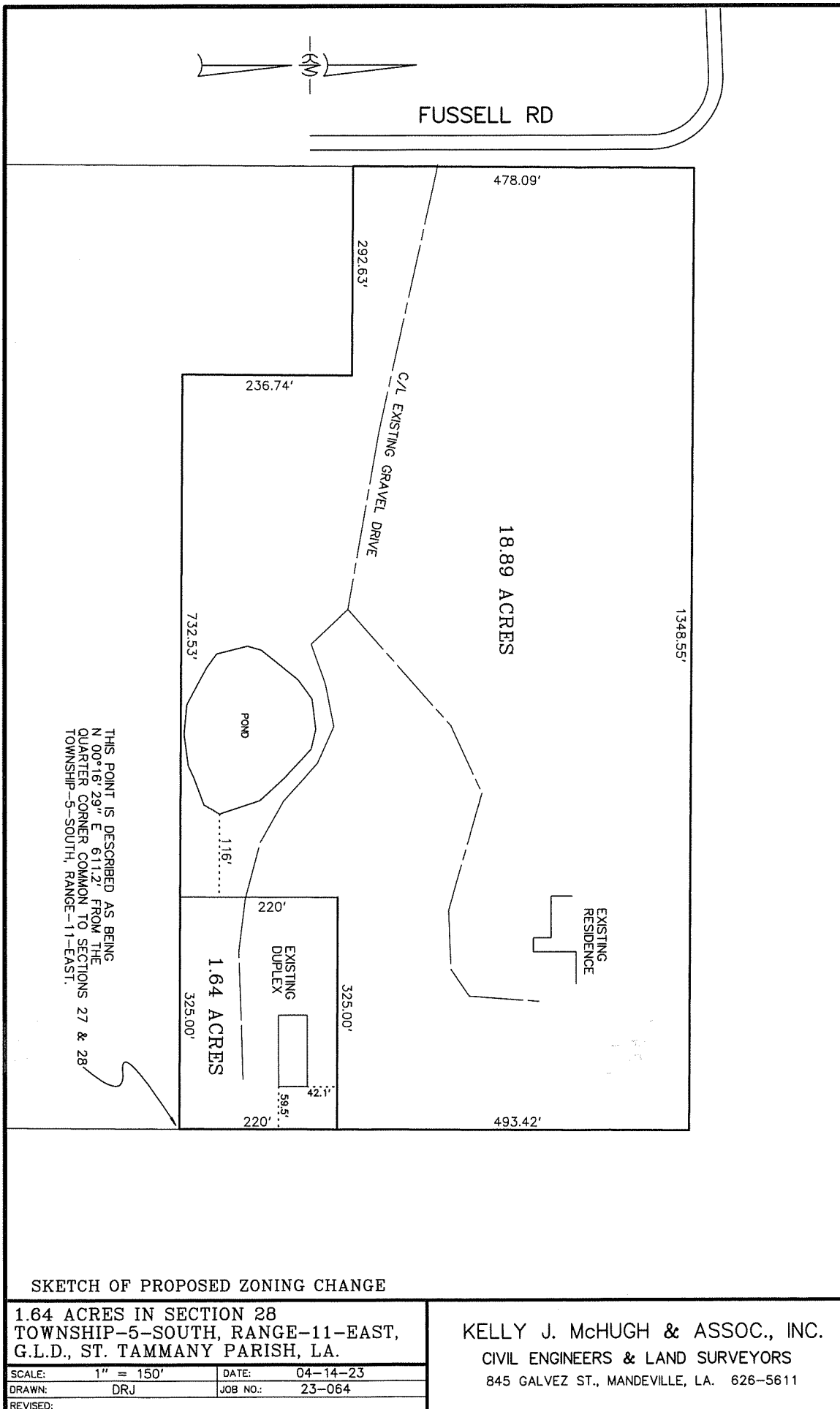
- i. Goal 1.3: The character of existing residential areas, expansive rural landscapes, and sensitive ecological areas will be preserved.











## ST. TAMMANY PARISH COUNCIL

## RESOLUTION

RESOLUTION COUNCIL SERIES NO: C-6802COUNCIL SPONSOR: MS. TANNERPROVIDED BY: COUNCIL STAFF

RESOLUTION TO VACATE, IN PART, THE MORATORIUM ORIGINALLY ESTABLISHED BY ORDINANCE C.S. NO. 22-4832 AND MOST RECENTLY EXTENDED BY ORDINANCE C.S. NO. 23-5149 ON THE RECEIPT OF SUBMISSIONS BY THE PARISH ZONING COMMISSION FOR THE REZONING OF PROPERTY WHICH WOULD RESULT IN AN INCREASE IN THE ALLOWABLE DENSITY OF A RESIDENTIALLY-ZONED PARCEL GREATER THAN A-4 (FOUR [4] UNITS PER ACRE), A PLANNED UNIT DEVELOPMENT OVERLAY ("PUD"), OR A TRADITIONAL NEIGHBORHOOD DEVELOPMENT DISTRICT ("TND"), SPECIFICALLY THE 1.64 ACRE PARCEL OF LAND LOCATED ON THE EAST SIDE OF FUSSELL RD., EAST OF FITZGERALD CHURCH RD., COVINGTON (WARD 2, DISTRICT 6).

WHEREAS, on March 05, 2022, the Parish Council adopted Ordinance C.S. No. 22-4832, establishing a Parishwide moratorium and subsequently extended the said moratorium four [4] times with the most recent being Ordinance C.S. No. 23-5149, extending the moratorium on the receipt of submission s by the Parish Zoning Commission for the rezoning of property which would result in an increase in the allowable density of a residentially-zoned parcel greater than A-4 (four [4] units per acre), a Planned Unit Development Overlay ("PUD"), or a Traditional Neighborhood Development District ("TND"); and

WHEREAS, the owner of a 1.64 acre parcel of land located on the east side of Fussell Rd., east of Fitzgerald Church Rd., Covington has requested that the moratorium be lifted on this property; and

WHEREAS, it has been determined that the lifting of the moratorium on the aforementioned property will not have adverse effects on the infrastructure.

THE PARISH OF ST. TAMMANY HEREBY RESOLVES, that pursuant to Chapter 2, Article XVI, Sec. 2-264 of the Code of Ordinances, the Parish Council vacates, in part, the moratorium established by Ordinance C.S. No. 22-4832, and any subsequent extension thereof, to remove therefrom the restriction of the receipt of submissions to the Parish Zoning Commission for the rezoning of a 1.64 acre parcel of land located on the east side of Fussell Rd., east of Fitzgerald Church Rd., Covington (Ward 2, District 6).

MOVED FOR ADOPTION BY: MS. O'BRIENSECONDED BY: MR. CANULETTE

THIS RESOLUTION HAVING BEEN SUBMITTED TO A VOTE, THE VOTE THEREON WAS AS FOLLOWS:

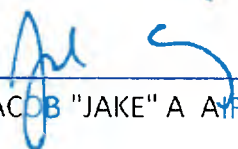
YEAS: DEAN, FITZGERALD, CAZAUBON, LORINO, TOLEDANO, TANNER, DAVIS, CANULETTE, SMITH, O'BRIEN, LAUGHLIN, BINDER, AIREY, RANDOLPH (14)

NAYS: (0)


ABSTAIN: (0)

ABSENT: (0)

AND THIS RESOLUTION WAS DECLARED DULY ADOPTED ON THE 3<sup>RD</sup> DAY OF AUGUST,  
2023 AT A REGULAR MEETING OF THE PARISH COUNCIL, A QUORUM OF THE MEMBERS BEING  
PRESENT AND VOTING.

  
\_\_\_\_\_  
JACOB "JAKE" A. AYREY, COUNCIL CHAIR

ATTEST:

  
\_\_\_\_\_  
KATRINA L. BUCKLEY, COUNCIL CLERK



2023-3398-ZC



**ZONING STAFF REPORT**  
2023-3398-ZC

MICHAEL B. COOPER  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

985-898-2529      21454 Koop Drive, Suite 1B, Mandeville, LA 70471      stpgov.org/planning

**Location:** Parcel located on the northeast corner of Coast Boulevard and Bosworth Street, being lots 22, 23, 24, 25, 26, 27, 28, Square 6, Central Park Subdivision Section A, Slidell; S23, T9S, R14E; Ward 8, District 12  
**Council District:** 12

**Owner:** Wilfred Lewis      **Posted:** July 18, 2023

**Applicant:** Air Comfort Products, Inc. - Wilfred Lewis      **Commission Hearing:** September 5, 2023

**Size:** 28,125 sqft      **Determination:** Approved, Denied, Postponed

**Prior Determination:** Postponed for 1 month at the August 2, 2023 Meeting



**Current Zoning**  
A-4A Single Family Residential  
**Requested Zoning**  
HC-2 Highway Commercial District  
**Future Land Use**  
Residential – Medium Intensity  
**Flood Zone**  
Effective Flood Zone A6  
Preliminary Flood Zone AE  
**Critical Drainage:**  
Yes

**FINDINGS**

1. The applicant is requesting to rezone the 28,125 sqft parcel from A-4A Single Family Residential to HC-2 Highway Commercial District. The property is located on the northeast corner of Coast Boulevard and Bosworth Street, being lots 22, 23, 24, 25, 26, 27, 28, Square 6, Central Park Subdivision Section A, Slidell.

*Zoning History*

1. Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
86-051A	Unknown	SD Suburban District
09-2117	SD Suburban District	A-4A Single-Family Residential District

*Site and Structure Provisions*

2. The subject property is currently undeveloped and consists of Lots 22-28, Square 6 of the Central Park Subdivision, each measuring 25' in width.

*Compatibility or Suitability with Adjacent Area*

3. Table 3: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Residential	A-4A Single-Family Residential District
South (across Coast Blvd)	Commercial (Office Warehouse)	HC-2 Highway Commercial District
East	Undeveloped	A-4A Single-Family Residential District
West	Undeveloped	A-4A Single-Family Residential District



**ZONING STAFF REPORT**  
2023-3398-ZC

MICHAEL B. COOPER  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

4. The subject property abuts developed property zoned A-4A Single-Family Residential District zoning to the north and undeveloped A-4A Single-Family Residential District classifications to the east, and west, and an office warehouse for a restoration company across Coast Boulevard to the south.
5. If approved for the requested zoning change, the applicant will need to apply for a minor resubdivision that combines the substandard lots of record into one contiguous parcel.
6. If the property is rezoned to the HC-2 Highway Commercial District, the applicant may construct any of the following uses on-site:

All uses permitted in the HC-1 Highway Commercial District and: Banks and financial institutions; Convenience stores with gas; Drive-in restaurants; Liquor stores; Any private office use that is a permitted use in the NC district over 20,000 sq. ft.; Clubs, lodges, fraternal and religious institutions, meeting halls (over 20,000 sq. ft.); Veterinary clinics (with outdoor kennels); Parcel post-delivery stations; Mini-warehouses; Commercial kennels; Outdoor storage yards that do not occupy an area greater than 50 percent of land area, and are enclosed by an eight-foot opaque perimeter fence, located on the same parcel as, and are accessory to an existing mini warehouse, not to be located on the street side; Lodging, 100 rooms or less (including apartments, hotels, motels); Automotive sales not to exceed two acres of display and storage; Outdoor retail and storage yards; Portable containers use for storage; Outdoor display area of pre-assembles building, pool and playground equipment.

7. Any future construction for commercial purposes on the site will be subject to all commercial Parish requirements.

*Consistency with New Directions 2040*

**Residential: Medium-Intensity:** neighborhoods include a broader mix of large and small lots but remain predominantly, single-family detached homes. Attached homes such as townhomes and 2-unit homes, as well as assisted living centers may fit into the character of Medium Intensity Residential Neighborhoods. The higher density of development makes central water and sewer more practical than on-site water and wastewater systems, and infrastructure like sidewalks, subsurface drainage, and street lighting are more common. These areas are appropriate buffers between Rural or Low Intensity Residential Neighborhoods and High Intensity Residential Neighborhoods or Commercial and Institutional areas.

The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:

- i. Strategy 1:5:1 Locate new residential and commercial development within, adjacent to, or near existing towns and activity centers and associated infrastructure, services, and amenities.

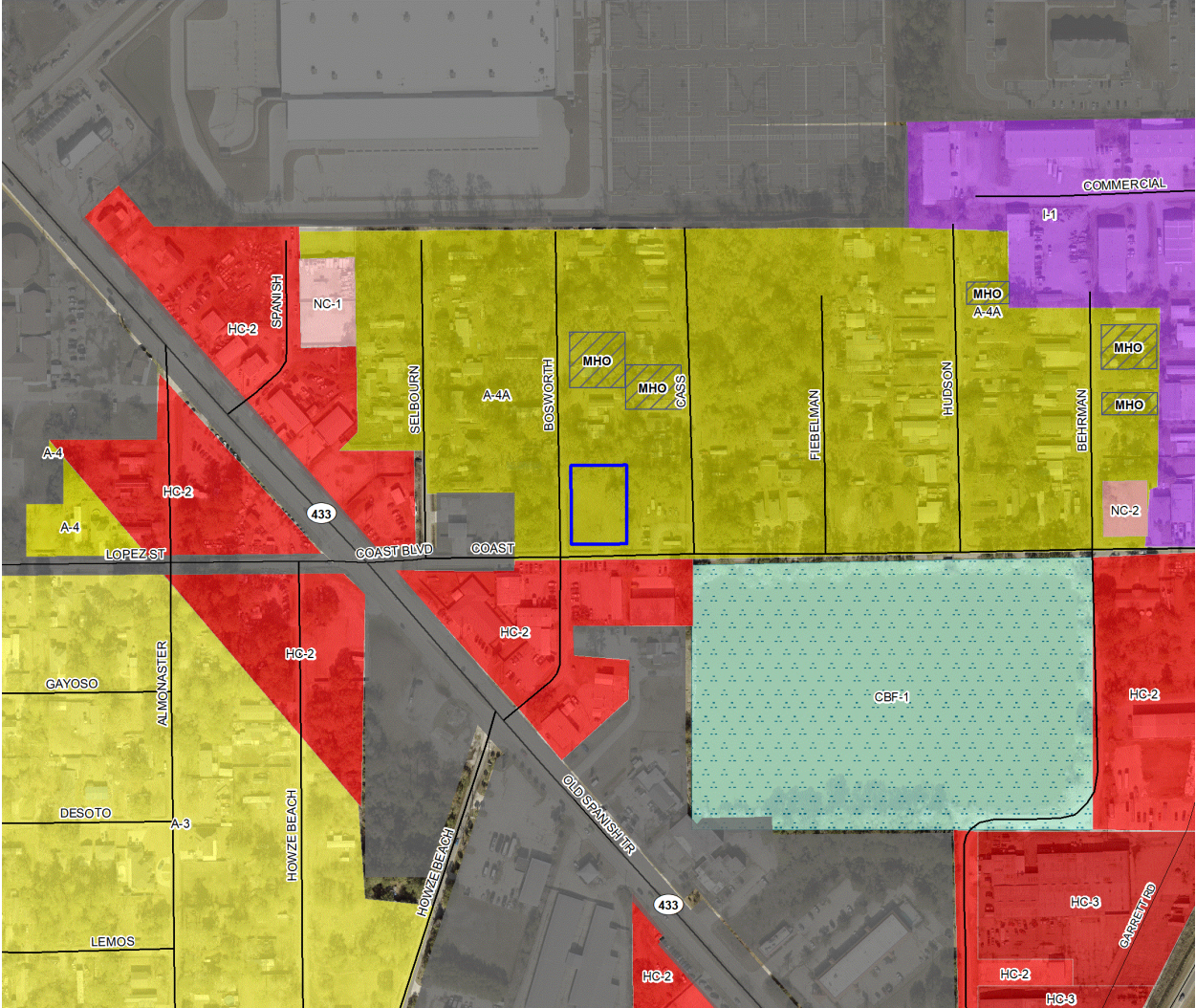




**ZONING STAFF REPORT**  
2023-3398-ZC

MICHAEL B. COOPER  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director



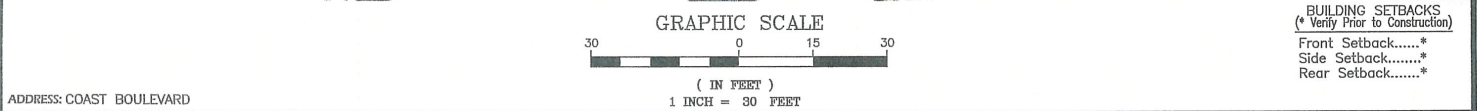






ADDRESS: COAST BOULEVARD		GRAPHIC SCALE ( IN FEET ) 1 INCH = 30 FEET		BUILDING SETBACKS (* Verify Prior to Construction) Front Setback.....* Side Setback.....* Rear Setback.....*	
I CERTIFY THAT THIS PLAT DOES REPRESENT AN ACTUAL GROUND SURVEY AND THAT TO THE BEST OF MY KNOWLEDGE NO ENCROACHMENTS EXIST EITHER WAY ACROSS ANY OF THE PROPERTY LINES, EXCEPT AS SHOWN.		PROPERTY IS SURVEYED IN ACCORDANCE WITH THE LOUISIANA "STANDARDS OF PRACTICE FOR PROPERTY BOUNDARY SURVEYS" FOR A CLASS C SURVEY. BEARINGS ARE BASED ON RECORD BEARINGS UNLESS NOTED OTHERWISE.		ENCUMBRANCES SHOWN HEREON ARE NOT NECESSARILY EXCLUSIVE. ENCUMBRANCES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST, AS SURVEYOR HAS NOT PERFORMED ANY TITLE SEARCH OR ABSTRACT.	
DRAWING NO. 20180677		J.V. Burkes & Associates, Inc. SURVEYING • ENGINEERING • ENVIRONMENTAL 1805 Shortcut Highway Slidell, Louisiana 70458 E-mail: jvbassoc@jvburkes.com Phone: 985-649-0075 Fax: 985-649-0154		F.I.R.M. No. 22505 0440 D F.I.R.M. Date 04/21/1999 ZN: A5 B.F.E. 9' * Verify prior to construction with Local Governing Body.	
DATE: 10/11/2018		DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL OF SURVEYOR.		DRAWN BY: KAR CHECKED BY: JDL SCALE: 1" = 30'	
REVISED:		A REZONING MAP OF LOTS 22 THRU 28, SQUARE 6, CENTRAL PARK, SECTION A FROM ZONE A-4A TO ZONE HC-2 LOCATED IN SECTION 23, T-9-S, R-14-E GREENSBURG LAND DISTRICT ST. TAMMANY PARISH, LOUISIANA		SURVEYED BY: SEAN M. BURKES LA REG. No. 4785	
CERTIFIED TO: WILFRED LEWIS					





ADDRESS: COAST BOULEVARD

I CERTIFY THAT THIS PLAT DOES REPRESENT AN ACTUAL GROUND SURVEY AND THAT TO THE BEST OF MY KNOWLEDGE NO ENCROACHMENTS EXIST EITHER WAY ACROSS ANY OF THE PROPERTY LINES, EXCEPT AS SHOWN.

PROPERTY IS SURVEYED IN ACCORDANCE WITH THE LOUISIANA STANDARDS OF PRACTICE FOR PROPERTY BOUNDARY SURVEYS FOR A CLASS C SURVEY. BEARINGS ARE BASED ON RECORD BEARINGS UNLESS NOTED OTHERWISE.

ENCUMBRANCES SHOWN HEREON ARE NOT NECESSARILY EXCLUSIVE. ENCUMBRANCES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST, AS SURVEYOR HAS NOT PERFORMED ANY TITLE SEARCH OR ABSTRACT.

F.I.R.M. No. 22505 0440.D  
F.I.R.M. Date 04/21/1999  
ZN: A5 B.F.E. 9'  
\* Verify prior to construction with Local Governing Body.

DRAWING NO. 20180677	<b>J.V. Burkes &amp; Associates, Inc.</b> SURVEYING ENGINEERING • ENVIRONMENTAL 1805 Shortcut Highway Slidell, Louisiana 70458 E-mail: jvbassoc@jvburkes.com Phone: 985-649-0075 Fax: 985-649-0154	DRAWN BY: KAR	CHECKED BY: SMB
DATE: 10/11/2018		SCALE: 1" = 30'	

REVISED:

DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL OF SURVEYOR.

A SITE PLAN MAP OF  
LOTS 22 THRU 28, SQUARE 6, CENTRAL PARK, SECTION A  
LOCATED IN SECTION 23, T-9-S, R-14-E  
GREENSBURG LAND DISTRICT  
ST. TAMMANY PARISH, LOUISIANA

CERTIFIED TO: WILFRED LEWIS

SURVEYED BY:

SEAN M. BURKES  
LA REG. No. 4785





2023-3456-ZC



**ZONING STAFF REPORT**  
2023-3456-ZC

MICHAEL B. COOPER  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

985-898-2529      21454 Koop Drive, Suite 1B, Mandeville, LA 70471      stpgov.org/planning

**Location:** Parcel located on the south side of F Dutruch Road, west of Highway 40, being 21154 F Dutruch Road, Bush; S13, T5S, R11E; Ward 2  
**Council District:** 6

**Petitioner:** Ralph Dutruch  
**Posted:** August 11, 2023

**Owner:** Ralph & Lincoln Dutruch  
**Commission Hearing:** September 5, 2023

**Size:** 3.025 acres  
**Determination:** Approved, Denied, Postponed



**Current Zoning**

A-1 Suburban

**Requested Zoning**

A-2 Suburban

**Future Land Use**

Rural and Agricultural

**Flood Zone**

Effective Flood Zone C

Preliminary Flood Zone X

**Critical Drainage:**

No

**FINDINGS**

1. The applicant is requesting to rezone the 3.025-acre parcel from A-1 Suburban District to A-2 Suburban District. The property is located on the south side of F Dutruch Road, west of Highway 40, being 21154 F Dutruch Road, Bush.

*Zoning History*

2. Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
10-2234	Unknown	A-1 Suburban District

*Site and Structure Provisions*

3. The site is currently developed with two single-family dwellings.

*Compatibility or Suitability with Adjacent Area*

4. Table 3: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Residential	A-1 Suburban District, RO Rural Overlay, and MHO Manufactured Housing Overlay
South	Residential	A-1 Suburban District, RO Rural Overlay, and MHO Manufactured Housing Overlay
East	Residential	A-1 Suburban District, RO Rural Overlay
West	Residential	A-1 Suburban District, RO Rural Overlay, and MHO Manufactured Housing Overlay



**ZONING STAFF REPORT**  
2023-3456-ZC

**MICHAEL B. COOPER**  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
**Ross Liner**  
Director

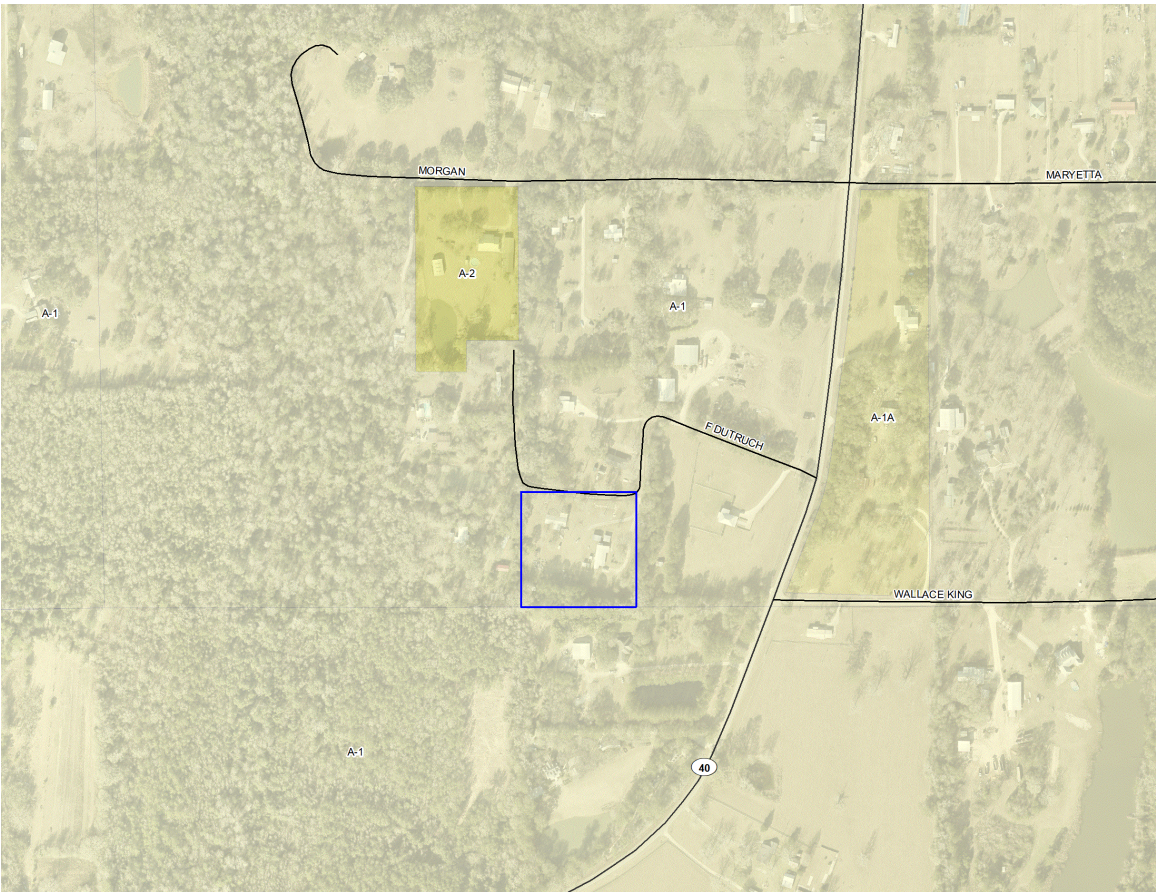
- 5. The subject property abuts A-1 Suburban District, RO Rural Overlay, and MHO Manufactured Housing Overlay zoning on all sides.
- 6. To the north of the subject property along Morgan Road sits a parcel that was also rezoned to the A-2 Suburban District designation in 2011 (Council Ord. 11-2509).
- 7. The existing A-1 Suburban District calls for a minimum 5-acre parcel size with an allowable density of 1 unit per every 5 acres and minimum parcel width of 300ft. The requested A-2 Suburban District requires a minimum 1-acre parcel size and a density of 1 unit per every 1 acre with a minimum parcel width of 150ft.
- 8. If approved, the applicant would be allowed to place one dwelling unit per acre on a 3.025-acre parcel, or can apply for a minor subdivision to allow for the parcel to be divided in a variety of configurations that are a minimum size of 1 acre.
- 9. Per the petitioner’s application, the reason for the request is to apply for a minor subdivision.

*Consistency with New Directions 2040*

**Rural and Agricultural** areas include mostly very low intensity uses in non-urbanized areas, such as agriculture, horse farms, timberlands, ranches, and very large single-family lots typically larger than three acres. No large traffic generators or noisy or pollution causing uses are located in Rural and Agricultural areas. Low-capacity country roads—typically two lanes—serve these areas. Septic systems and wells are typical. The Parish’s abundant rural areas provide ample space for low-intensity uses, offering residents privacy and access to the outdoors. The countryside also fosters a number of commercial activities, such as production farms, horse boarding, and lumber harvesting. The Rural and Agricultural category includes these commercial uses, as well as small rural serving businesses such as small groceries, gas stations, restaurants, and auto repair shops. St. Tammany’s countryside supports a growing tourism industry, whose businesses in this area include bed and breakfasts, retreat centers, nature tours, and “u-pick” farms.

The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:

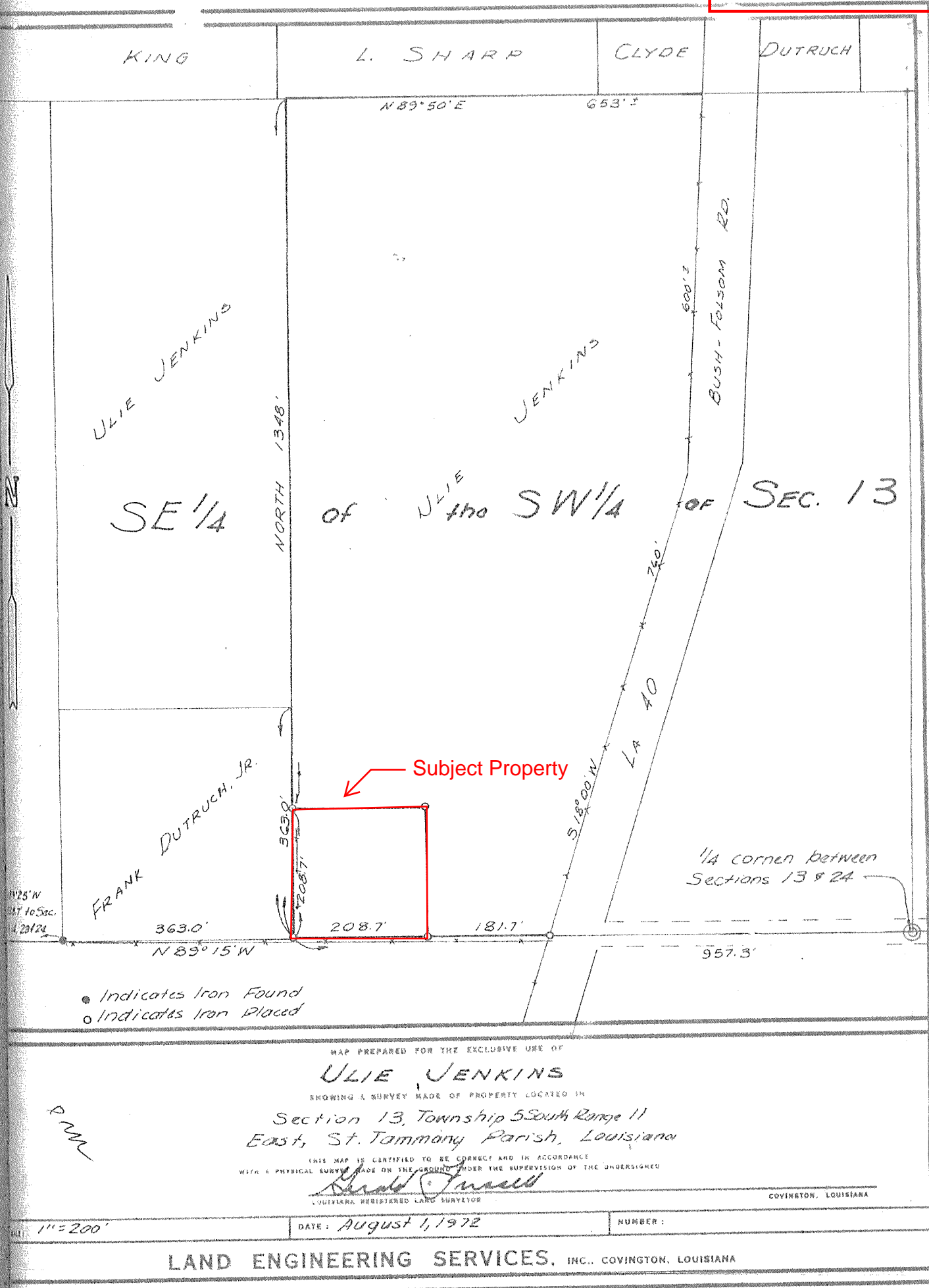
- i. Goal 1.3: The character of existing residential areas, expansive rural landscapes, and sensitive ecological areas will be preserved.













2023-3462-ZC



**ZONING STAFF REPORT**  
2023-3462-ZC

MICHAEL B. COOPER  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

985-898-2529      21454 Koop Drive, Suite 1B, Mandeville, LA 70471      stpgov.org/planning

**Location:** Parcel located on the west side of Mill Road, Abita Springs; S36, T6S, R11E; Ward 3, District 2  
**Council District:** 2

**Petitioner:** Steven Copeland      **Posted:** August 11, 2023  
**Owner:** Steven Copeland      **Commission Hearing:** September 5, 2023  
**Size:** 1.135 acres      **Determination:** Approved, Postponed, Denied



**Current Zoning**  
A-2 Suburban  
**Requested Zoning**  
A-3 Suburban and MHO Manufactured Housing Overlay  
**Future Land Use**  
Residential Medium Intensity  
**Flood Zone**  
Effective Flood Zone C  
Preliminary Flood Zone X  
**Critical Drainage:**  
No

**FINDINGS**

1. The applicant is requesting to rezone the 1.135-acre parcel from A-2 Suburban to A-3 Suburban District and MHO Manufactured Home Overlay. The property is located on the west side of Mill Road, Abita Springs.

*Zoning History*

1. Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
82-044A	Unknown	SA Suburban Agriculture
09-2116	SA Suburban Agriculture	A-2 Suburban District

*Site and Structure Provisions*

2. The subject property is comprised of 1.135 acres and is currently undeveloped.

*Compatibility or Suitability with Adjacent Area*

3. Table 3: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Residential	A-2 Suburban District
South	Undeveloped	A-2 Suburban District
East	Residential	A-2 Suburban District
West	Residential	A-2 Suburban District

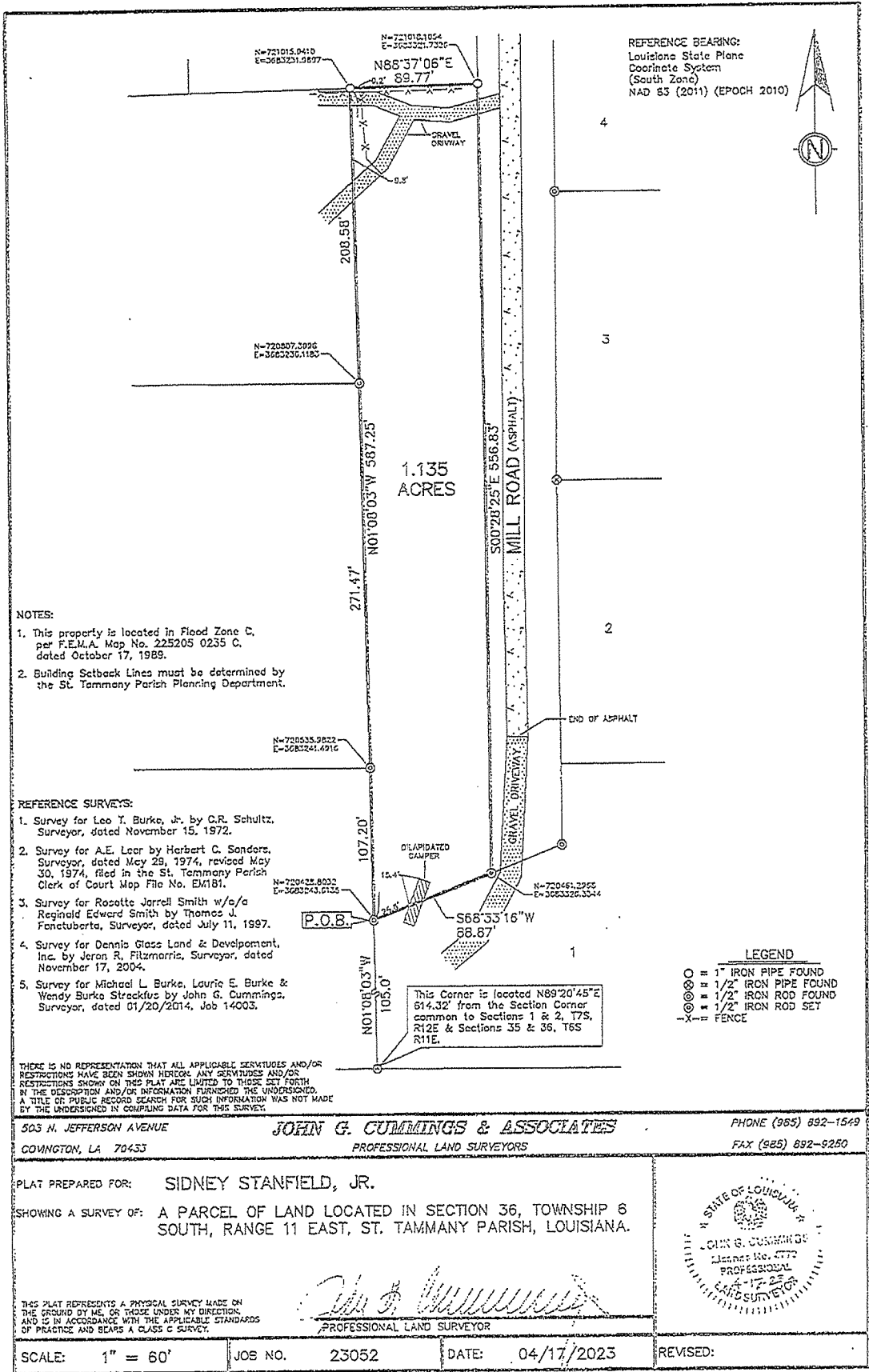














St. Tammany Parish Department of Planning &  
Development – Zoning Staff Report



**ZONING STAFF REPORT**  
2023-3466-ZC

MICHAEL B. COOPER  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

985-898-2529      21454 Koop Drive, Suite 1B, Mandeville, LA 70471      [stpgov.org/planning](http://stpgov.org/planning)

**Location:** Parcel located on the south side of Eliza Lee Cemetery Road, east of Neal Cemetery Road, Folsom; S5, T5S, R10E; Ward 3  
**Council District:** 2

**Petitioner:** Penny Ernst  
**Posted:** August 11, 2023

**Owner:** Carl Baham  
**Commission Hearing:** September 5, 2023

**Size:** 6.51 acres  
**Determination:** Approved, Denied, Postponed



**Current Zoning**

A-1 Suburban District, RO Rural Overlay, MHO  
Manufactured Housing Overlay

**Requested Zoning**

A-1A Suburban District, RO Rural Overlay, MHO  
Manufactured Housing Overlay

**Future Land Use**

Rural and Agricultural

**Flood Zone**

Effective Flood Zone A

Preliminary Flood Zone A

**Critical Drainage:** Yes

*Findings*

1. The petitioner is requesting to change the zoning classification from A-1 Suburban District to A-1A Suburban District. The site is located on the south side of Eliza Lee Cemetery Road, east of Neal Cemetery Road, Folsom.

*Zoning History*

Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
10-2234	Unknown	A-1 Suburban District

2. The subject property is currently undeveloped.

*Compatibility or Suitability with Adjacent Area*

3. Table 2: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Residential	A-1 Suburban District, RO Rural Overlay, MHO Manufactured Housing Overlay
South	Undeveloped and Residential	A-1 Suburban District, RO Rural Overlay, MHO Manufactured Housing Overlay
East	Undeveloped	A-1 Suburban District, RO Rural Overlay, MHO Manufactured Housing Overlay
West	Undeveloped	A-1 Suburban District, RO Rural Overlay, MHO Manufactured Housing Overlay

4. The existing A-1 Suburban District calls for a minimum 5-acre parcel size with an allowable density of 1 unit per every 5 acres and minimum parcel width of 300ft. The request A-1A Suburban District requires a minimum of 3 acres and a minimum parcel width of 200ft.
5. If approved, the applicant could petition to place a total of 2 residential dwellings on the property or subdivide the 6-acre parcel into two 3-acre parcels.





**ZONING STAFF REPORT**  
2023-3466-ZC

MICHAEL B. COOPER  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

6. Table 3: Zoning District Site and Structure Comparison

Zoning District	Max. Density	Allowable Uses	Purpose
A-1 Suburban District (Existing)	1 unit per every 5 acres	One single-family dwelling; Private garages and accessory structures; Garage Apartment or guest house under 1,000 sq. ft. when subject lot is no less than one acre in area; Community central water treatment, well, and storage facilities; Household Agriculture	To provide a single-family residential environment at a low-density level. The A-1(D) district is located primarily in less populated areas where the character of the area should be preserved through low densities.
A-1A Suburban District (Proposed)	1 unit per every 3 acres	One single-family dwelling; Private garages and accessory structures; Garage Apartment or guest house under 1,000 sq. ft. when subject lot is no less than one acre in area; Community central water treatment, well, and storage facilities; Household Agriculture	To provide a single-family residential environment on large, multi-acre lots. The A-1A(D) district is located primarily in less populated areas where the character of the area should be preserved through low densities.

*Consistency with New Directions 2040*

**Rural and Agricultural:** areas include mostly very low intensity uses in non-urbanized areas, such as agriculture, horse farms, timberlands, ranches, and very large single-family lots typically larger than three acres. No large traffic generators or noisy or pollution causing uses are located in Rural and Agricultural areas. Low-capacity country roads—typically two-lanes—serve these areas. Septic systems and wells are typical. The Parish’s abundant rural areas provide ample space for low-intensity uses, offering residents privacy and access to the outdoors. The countryside also fosters a number of commercial activities, such as production farms, horse boarding, and lumber harvesting. The Rural and Agricultural category includes these commercial uses, as well as small rural-serving businesses such as small groceries, gas stations, restaurants, and auto repair shops. St. Tammany’s countryside supports a growing tourism industry, whose businesses in this area include bed and breakfasts, retreat centers, nature tours, and “u-pick” farms.

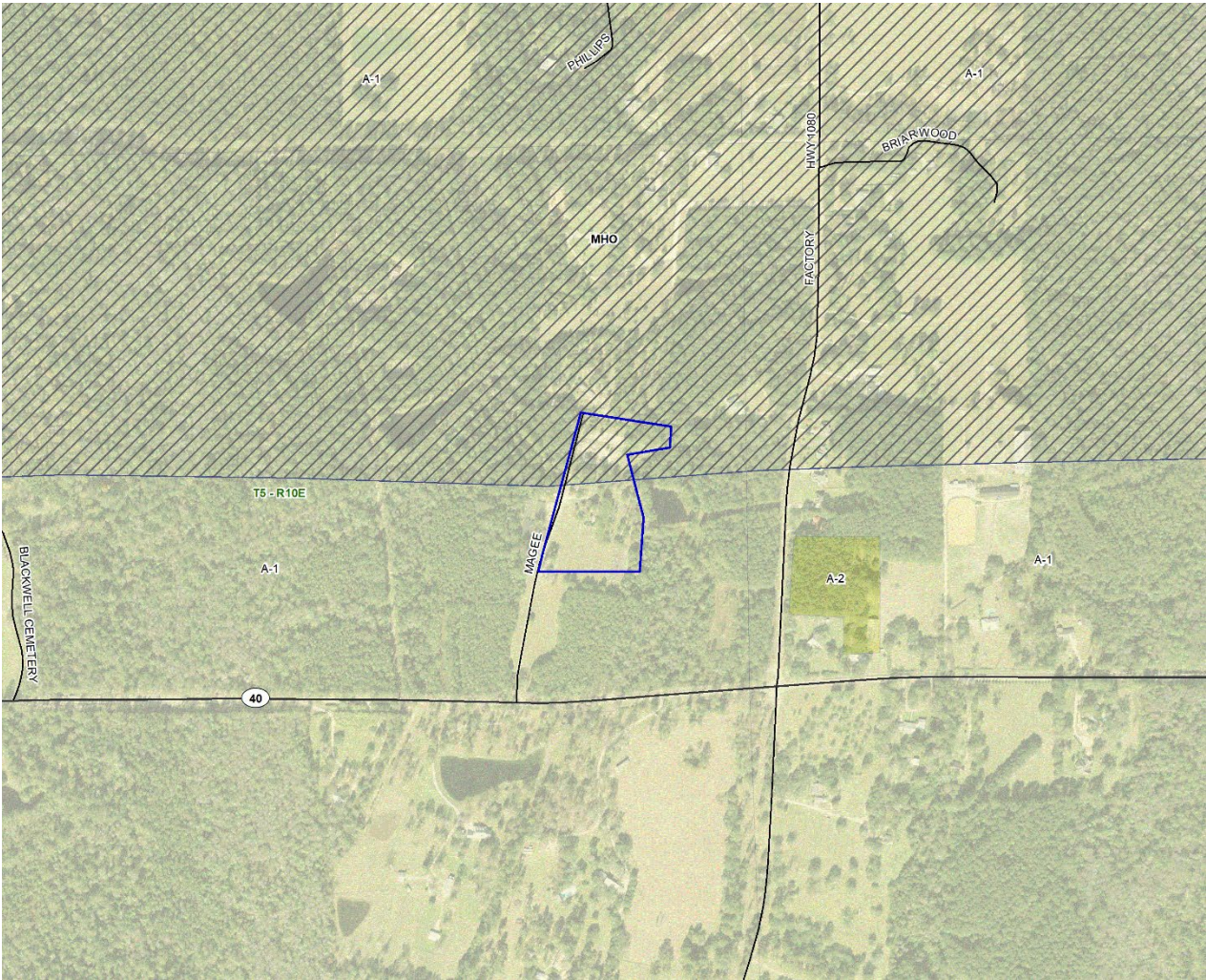
- 1. The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:
  - i. Goal 1.8: A variety of safe, affordable, and attractive housing types will meet the needs of our diverse community.
  - ii. Goal 1.3: The character of existing residential areas, expansive rural landscapes, and sensitive ecological areas will be preserved.



**ZONING STAFF REPORT**  
2023-3466-ZC

MICHAEL B. COOPER  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director





2023-3466-ZC

DEERFIELD

A-1

T4 - R10E

32

ELIZA LEE CEMETERY

A-1

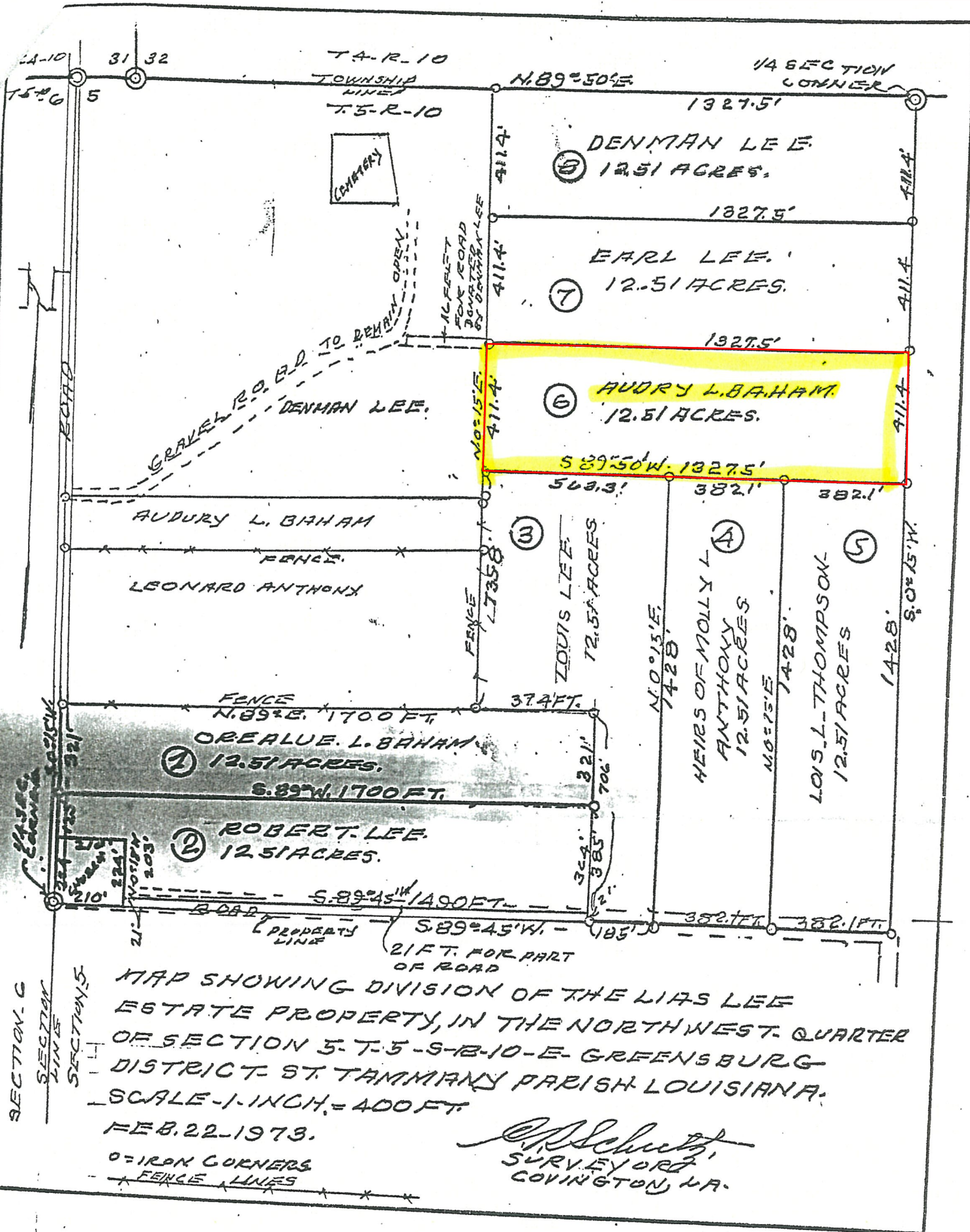
T5 - R10E

5

LEE SETTLEMENT

ANTHONY







2023-3467-ZC



**ZONING STAFF REPORT**  
2023-3467-ZC

MICHAEL B. COOPER  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

985-898-2529      21454 Koop Drive, Suite 1B, Mandeville, LA 70471      stpgov.org/planning

**Location:** Parcel located on the west side of Hill Road, south of Hay Hollow Road, Folsom; S33, T4S, R10E; Ward 2  
**Council District:** 3

**Owner:** Mary Ann Perry  
**Posted:** August 11, 2023

**Applicant:** Mary Ann Perry  
**Commission Hearing:** September 5, 2023

**Size:** 4 acres  
**Determination:** Approved, Denied, Postponed



**Current Zoning**

A-1 Suburban

**Requested Zoning**

A-2 Suburban

**Future Land Use**

Rural and Agricultural

**Flood Zone**

Effective Flood Zone C

Preliminary Flood Zone X

**Critical Drainage:**

No

**FINDINGS**

1. The applicant is requesting to rezone the 4-acre parcel from A-1 Suburban District to A-2 Suburban District. The property is located on the west side of Hill Road, south of Celia Brumfield Road; Folsom.

*Zoning History*

2. Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
10-2234	Unknown	A-1 Suburban District

*Site and Structure Provisions*

3. The site is comprised of 4 acres and is currently undeveloped.

*Compatibility or Suitability with Adjacent Area*

4. Table 3: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Residential	A-1 Suburban District, RO Rural Overlay
South	Residential	A-1 Suburban District, RO Rural Overlay, and MHO Manufactured Housing Overlay
East	Residential	A-1 Suburban District, RO Rural Overlay, and MHO Manufactured Housing Overlay
West	Residential	A-1 Suburban District, RO Rural Overlay, and MHO Manufactured Housing Overlay

5. The subject property abuts A-1 Suburban District on all sides, with MHO Manufactured Housing Overlay on the south, east, and west sides of the property.





**ZONING STAFF REPORT**  
2023-3467-ZC

MICHAEL B. COOPER  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

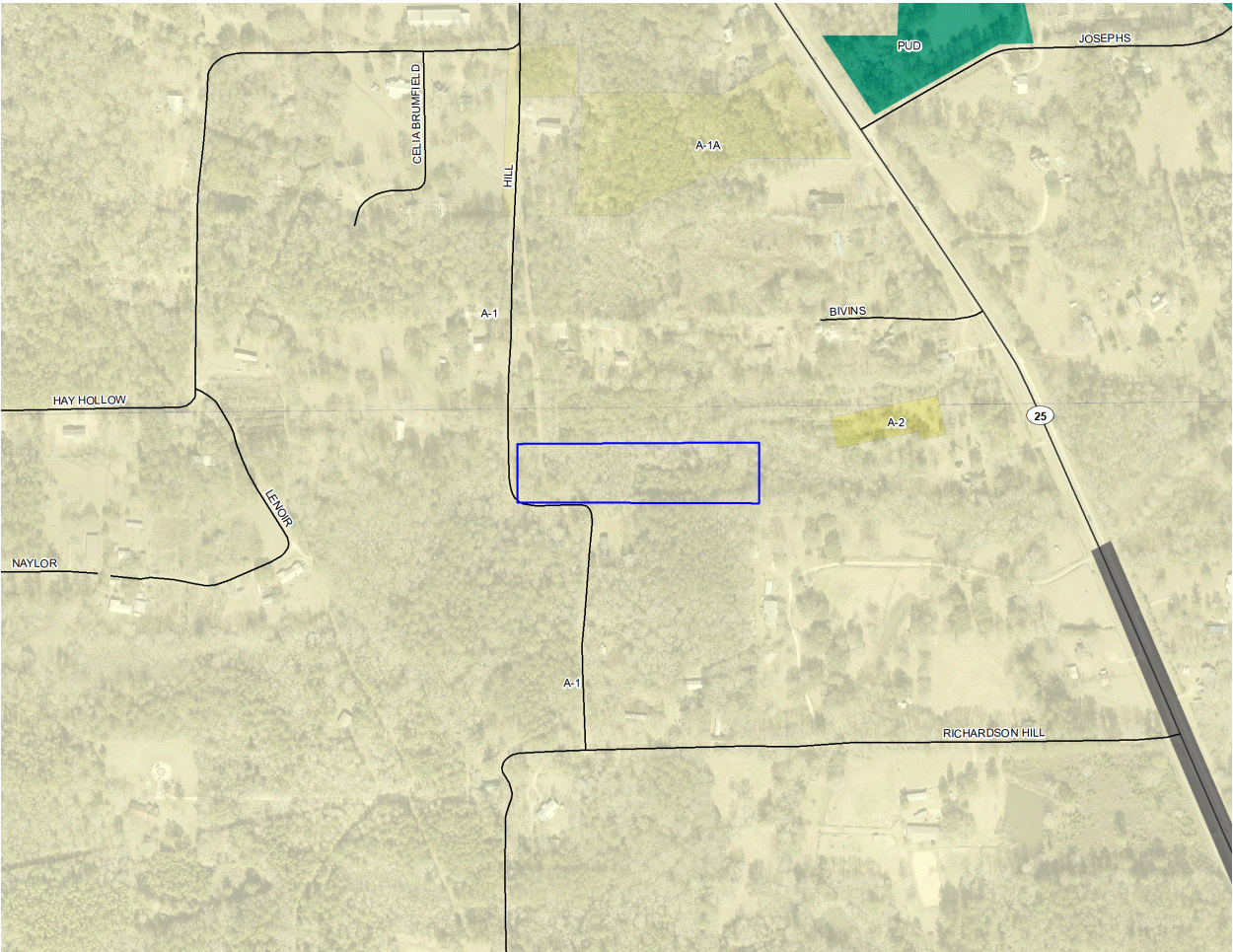
6. A similar request was on the St. Tammany Parish Zoning Commission July 5, 2023 Agenda to rezone the owner's adjacent 4-acre parcel to the A-2 Suburban District as well. Final vote for the requested zoning change will be on the September 7, 2023 Council Agenda.
7. The existing A-1 Suburban District calls for a minimum 5-acre parcel size with an allowable density of 1 unit per every 5 acres and minimum parcel width of 300ft. The requested A-2 Suburban District requires a minimum 1-acre parcel size and a density of 1 unit per every 1 acre with a minimum parcel width of 150ft.
8. If approved, the applicant could apply for building permits to place one dwelling unit per acre on a 4-acre parcel, or can apply for a minor subdivision to allow for the parcel to be divided in a variety of configurations that are a minimum size of 1 acre.

*Consistency with New Directions 2040*

**Rural and Agricultural** areas include mostly very low intensity uses in non-urbanized areas, such as agriculture, horse farms, timberlands, ranches, and very large single-family lots typically larger than three acres. No large traffic generators or noisy or pollution causing uses are located in Rural and Agricultural areas. Low-capacity country roads—typically two lanes—serve these areas. Septic systems and wells are typical. The Parish's abundant rural areas provide ample space for low-intensity uses, offering residents privacy and access to the outdoors. The countryside also fosters a number of commercial activities, such as production farms, horse boarding, and lumber harvesting. The Rural and Agricultural category includes these commercial uses, as well as small rural serving businesses such as small groceries, gas stations, restaurants, and auto repair shops. St. Tammany's countryside supports a growing tourism industry, whose businesses in this area include bed and breakfasts, retreat centers, nature tours, and "u-pick" farms.

The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:

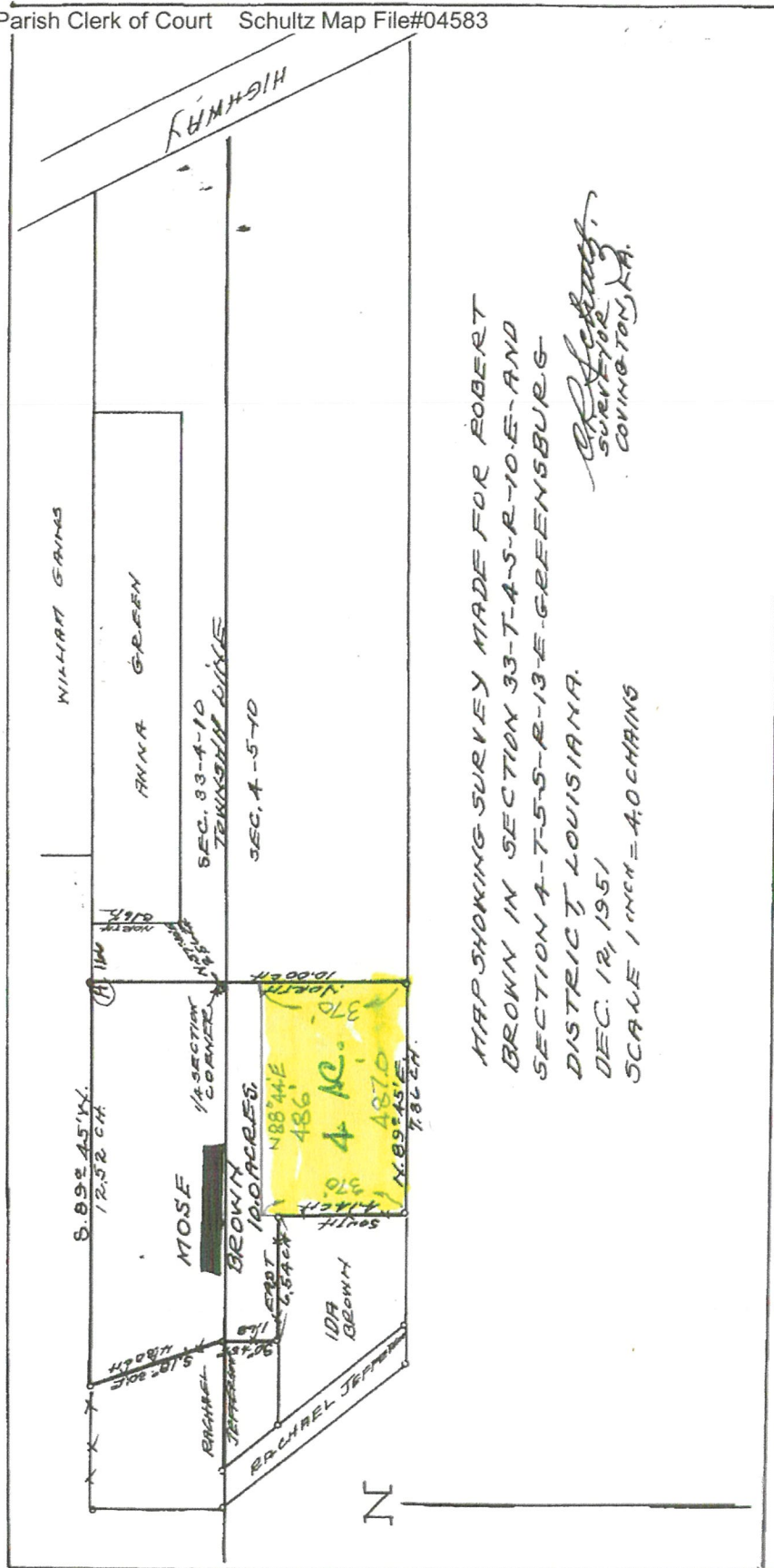
- i. Goal 1.3: The character of existing residential areas, expansive rural landscapes, and sensitive ecological areas will be preserved.











MAP SHOWING SURVEY MADE FOR ROBERT  
BROWN IN SECTION 33-T-4-S-R-10-E-AND  
SECTION 4-T-5-S-R-13-E-GREENSBURG  
DISTRICT LOUISIANA.  
DEC. 12, 1951  
SCALE 1 inch = 40 CHAINS

*Robert Brown*  
SURVEYOR  
CONVINGTON, LA.



2023-3440-PR



**ZONING STAFF REPORT**  
2022-3440-PR

MICHAEL B. COOPER  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

985-898-2529      21454 Koop Drive, Suite 1B, Mandeville, LA 70471      [stpgov.org/planning](http://stpgov.org/planning)

**Proposed Use:** Dentist's Office      **Gross Area Lot Size:** 1.72 acres  
**Previous/Current Use:** Undeveloped      **Use Size:** 6,900 sqft + 3,000 sqft  
**Owner:** Olivier Brasuell Properties, LLC – Brian Olivier & Todd Brasuell      **Council District:** 1

**Applicant:** Paul J. Mayronne      **Posted:** July 21, 2023

**Commission Hearing:** September 5, 2023      **Prior Determination:** Postponed for 1 month at the August 1<sup>st</sup>, 2023 Meeting

**Determination:** Approved, Denied, Postponed

**Location:** Parcel located on the west side of LA Highway 21, south of Keys Road, north of Pinecrest Drive, Covington; S41, T7S, R10E; Ward 1, District 1



**Current Zoning**  
NC-4 Neighborhood Institutional District  
**Planned Corridor Overlay**  
Highway 21 Planned Corridor  
**Future Land Use**  
Commercial  
**Flood Zone**  
Preliminary: Flood Zone X  
Effective Flood Zone C  
**Critical Drainage:** No

**Site Information:**

1. The petitioned property consists of a total of 1.72 acres which is located on the west side of Highway 21, south of Keys Road, Covington. The property is currently undeveloped.
2. The applicant is proposing to construct two medical office buildings in different phases. The first is a 6,900 sqft pediatric dentist's office, and the second being a 3,000 sqft orthodontics' office. The 1.72-acre parcel also has applied for a minor subdivision of the property which was postponed on the August 8, 2023 Planning Commission meeting to be placed on the September 12, 2023 agenda.
3. Table 1: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Undeveloped	NC-4 Neighborhood Institutional District
South	Undeveloped	NC-1 Professional Office District
East	Educational (Christ Episcopal School)	ED-2 Secondary Education District
West	Undeveloped	NC-1 Professional Office District

4. Per Table 1 above, the subject site is within the Highway 21 Planned Corridor district and abuts an undeveloped commercially-zoned property to the north, south and west, and is across from Christ Episcopal School zoned ED-2 Secondary Education District along LA Highway 21.





**ZONING STAFF REPORT**  
2022-3440-PR

MICHAEL B. COOPER  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

*Findings:*

5. The applicant has submitted a survey, a site plan, a proposed drainage plan, tree survey, landscape plan, utility plan, and lighting plan.

**Highway 21 Street Buffer**

1. Per Sec. 130-1814(1)(e)(1)(i)(B), the street planting area shall contain a minimum of one Class A tree per every 300 sq. ft. of the street planting area and one Class B tree per every 200 sq. ft. of the street planting area.
  - The property is 222 ft. wide and is required 50 ft. of landscaped tree buffer.
  - The applicant is proposing to keep a majority of trees within the Highway 21 Street buffer that exceeds the required number of plantings (37 Class A and 56 Class B trees).
  - The applicant has since revised their driveway conflicts including changing the dimension to 24' in width, revising placement of the monument sign, as well as removing existing trees that would be impacted by the grading of the future driveway. Staff has no objection to the removal of these trees as the site has excess tree credits within the street buffer.
  - Staff noted an existing water meter / water line that would conflict with trees in the street buffer as well. One tree has been impacted as far as the relocation of the water line as to not conflict with multiple plantings. Staff again does not have any objection to the removal of this existing tree.
  - Per Highway 21 Regulations, all developments are required a 100' setback from the front property line. The applicant has provided this setback and is in accordance with Planned Corridor regulations in this regard.

**Side & Rear Landscape Buffers**

2. Per Sec. 130-1977(b) & (e), the side yard and rear yard buffer planting area(s) width shall be a minimum of ten feet and provide 1 Class A tree and 1 Class B tree per every 30 linear ft. totaling the following amounts:
  - 7 Class A and 7 Class B Trees on the rear landscape buffer.
  - 13 Class A and 13 Class B Trees on the north and south landscape buffers.
  - The applicant has provided a site and landscape plan indicating proposed plantings that appear to meet the required number of Class A and Class B trees. The original landscape plan was not indicative of the proposed minor subdivision which would require the future property line to have an additional landscape buffer / tree survey showing existing trees down the middle of the property. The applicant is considering this site as one development, and as such is requesting a variance to waive the buffer requirements between the two parcels.
  - Staff has also noted that the two parcels both require their own mitigation for protected Live Oaks and Cypress Trees. The removal of 50% or more of these protected species are subject to variance requests. However, as the development is proposed to be accomplished in two phases, the applicant is requesting a variance to remove two Live Oaks (100%) from parcel A-1-A and replant once the future development occurs. Proposed plantings shall consist of the placement of 8 Bald Cypress trees.
  - Proposed fill in the south landscape buffer appears to conflict with existing trees that the applicant is requesting credit for and is required to preserve. Per Sec. 130-1975(d)(3)(c): "No more than one inch of fill shall be allowed around the tree root zone of a tree that is to be preserved."
  - The applicant has noted this requirement and is indicating on their drainage plan that this fill shall be classified as "general fill." Staff cannot confirm nor deny if this fill is plantable material. As such, the applicant is requesting a variance to allow this excess material in the south buffer.



**ZONING STAFF REPORT**  
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Director

**Additional Regulations**

1. Per Sec. 130-1813(e)(2), the applicant must submit the following documentation:
  - a. An illustrative approved drainage plan by the Department of Engineering.
    - **The applicant has provided a hydrological analysis & drainage plan in accordance with Sec. 115-111. This document has been reviewed by the Department of Engineering and satisfies Parish requirements - pending the variance requests indicated below.**
2. Per Sec. 130-1814(1)(e)(1)(iii)(B), planting areas shall be a minimum of ten percent of the paved parking area.
  - **The proposed landscape plan has been revised to indicate missing Class A Trees within landscape islands and satisfies these requirements.**
3. A lighting plan in accordance with Chapter 130, Article VI, Division 4.
  - **The applicant has submitted a lighting plan and satisfies Parish requirements.**

**Summary and Variance Requests:**

1. In sum, the proposed site plan appears to satisfy most Parish requirements in relation to landscaping, drainage and lighting. However, some outstanding issues such as fill in the required buffer and the removal of protected species to be replanted for future development shall require variances as follows per the applicant's landscape plan:
  - **As the site is being treated as one development, the applicant is requesting for a variance to remove two live oaks (100%) from the newly created western parcel (A-1-A). These live oaks shall be mitigated as future Bald Cypress Tree plantings. Staff has no objection to this request.**
  - **Variance requesting the existing trees in the newly-created middle landscape buffer between the two parcels be clear-cut. The applicant is proposing re-plantings of native trees to supplement the existing trees that are being removed in order to get the property to grade. Staff has no objection to this request.**
  - **Removal and mitigation of Existing 18" Willow Oak in the south buffer of the eastern parcel (A-1-B). Staff has no objection to this request.**
  - **Variance requesting to allow "general fill" within portions of southern buffer between the two parcels. Staff is opposed to this request as the applicant is requesting tree credits for trees that must be preserved and 1' of fill is against ordinance and will likely diminish the chances of the existing trees to survive.**
  - **Variance requesting the landscape to be implemented in two phases. Phase II plantings shall occur after second building in Phase II is to be completed which is inclusive of the replanting of mitigation Cypress Trees. Live Oak plantings shall be done in Phase I. Staff has no objection to this request.**

*Consistency with New Directions 2040*

**Commercial:** Concentrations of offices, retailers, services, and other employers that generate varying levels of traffic. They range from neighborhood-serving uses such as personal care and convenience goods, to large-scale shopping centers. May also include high intensity residential uses.

1. The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:
  - i. Strategy 1:9:3 Encourage redevelopment and adaptive reuse of existing, vacant buildings.
  - ii. Goal 5:1: The Parish will designate adequate land served by supporting infrastructure for use by businesses and industries seeking to begin or expand.
  - iii. Goal 5:2: St. Tammany Parish will attract and grow businesses that expand the Parish's tax base and provide living wage jobs to residents of varying skill levels.

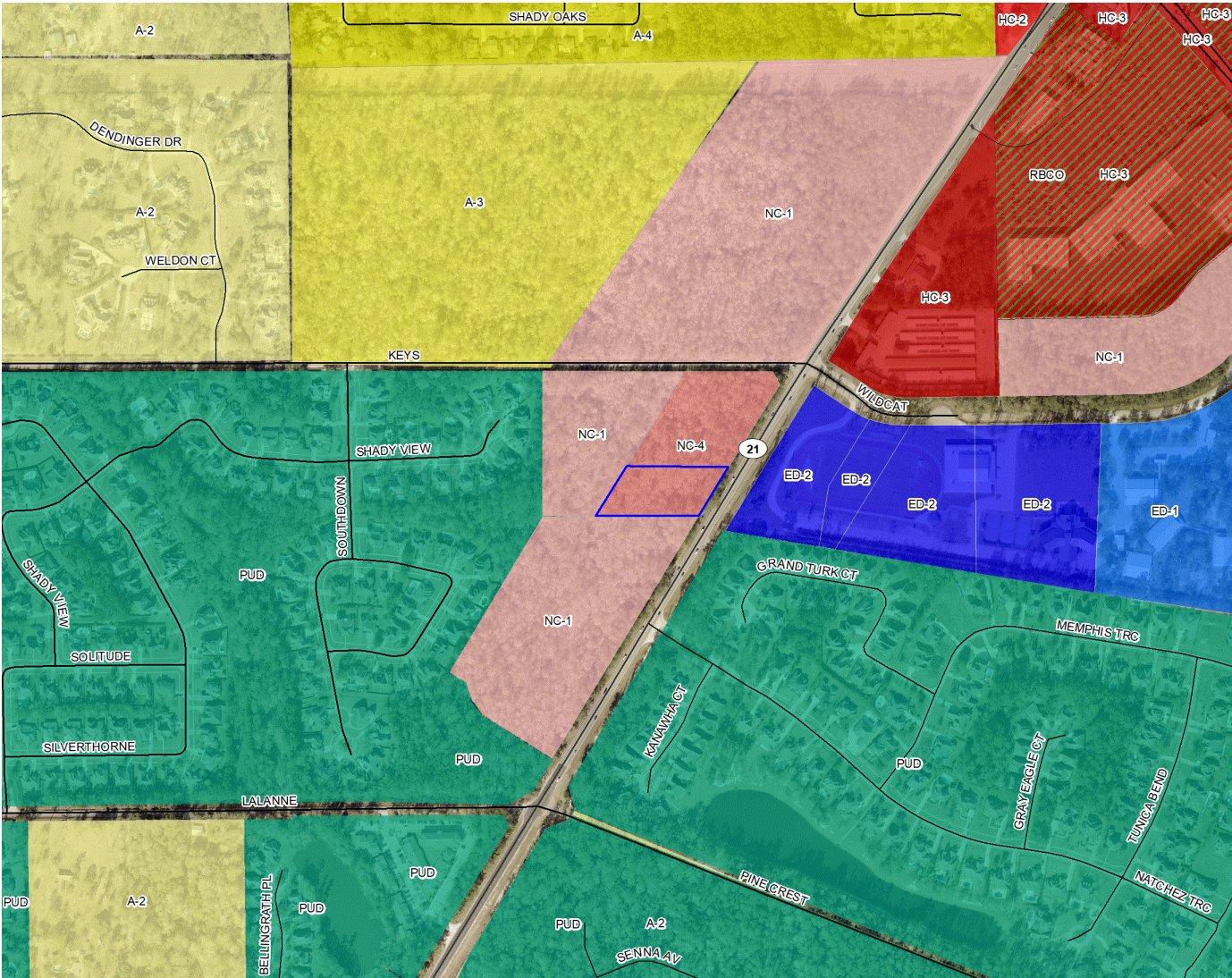




**ZONING STAFF REPORT**  
2022-3440-PR

MICHAEL B. COOPER  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director





2023-3440-PR

WOODLAWN

A-4

DUMAINE

13

SHADY OAKS

MAISON

BELLE VU

HC-3

BREWSTER

HC-2

HC-3

HC-3

46

RBCO HC-3

NC-1

A-3

HC-3

NC-1

KEYS

NC-4

NC-1

SHADY VIEW

SOUTHDOWN

PUD

41

NC-1

ED-2

ED-2

ED-2

ED-2

ED-1

T7 - R10E

GRAND TURK

NATCHEZ

KAWAHTA

MEMPHIS

GRAY EAGLE

TUNICA BEND

PUD

COVINGTON HWY

PUD

BRIGHT LEAF

PUD

A-2

SENA

HIBISCUS

SILVERBERRY

A-1

THUNDERBIRD

NC-4



2023-3440-PR

AREA ANALYSIS

PARCEL A-1	1.72 ACRES
TOTAL	1.72 ACRES

SITE ANALYSIS

PEDIATRIC DENTAL OFFICE	±6,900 S.F.
FUTURE ORTHODONTICS OFFICE	3,000 S.F.
PARKING PROVIDED	60 SPACES
PARKING REQUIRED*	50 SPACES
RATIO	6.06 / 1000 S.F.

INSTITUTIONAL AND COMMERCIAL MEDICAL USES, CLINICS, MEDICAL OFFICE  
BUILDINGS: 1 SPACE PER 200 SF; 6,900/200 = 35 SPACES

SITE PLAN NOTES:

- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS & DIMENSIONS OF BUILDINGS, DOORS, OVERHANGS, & EXACT BUILDING UTILITY SERVICE ENTRANCE LOCATIONS AT THE BUILDING.
- ALL UNSURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH, OR SOD, & WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. REFERENCE THE LANDSCAPING PLAN.
- PROPERTY & TOPOGRAPHIC SURVEY WAS PREPARED ON 1/11/2021 BY ACADIA LAND SURVEYING, LLC.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING BENCHMARK.
- PRIOR TO THE START OF CONSTRUCTION ACTIVITIES THE CONTRACTOR MUST CALL 811 AND THE LOCAL UTILITY PROVIDERS TO HAVE ALL UTILITIES MARKED WITHIN THE PROJECT AREA. AFTER UTILITIES ARE MARKED, THE CONTRACTOR SHALL PERFORM A PLAN IN HAND WALK THRU OF THE ENTIRE PROJECT AREA AND SHALL CONTACT THE CIVIL ENGINEER IMMEDIATELY IF THERE ARE ANY DEVIATIONS IN THE LOCATIONS OF EXISTING UTILITIES SHOWN IN THE PLANS AND/OR THE PRESENCE OF UTILITIES THAT ARE NOT SHOWN IN THE PLANS.
- CONTRACTOR SHALL REFER TO ARCHITECT'S PLANS & SPECIFICATIONS FOR ENTRY LOCATION OF ALL WATER, SEWER SERVICE, ELECTRICAL, TELEPHONE & GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS & ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO THE LOCATION & TIE-INS/CONNECTIONS TO THEIR FACILITIES.
- THE EARTHWORK FOR ALL BUILDING FOUNDATIONS & SLABS SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- ALL NECESSARY PERMITS & APPROVALS FROM AGENCIES GOVERNING THE CONSTRUCTION OF THIS WORK SHALL BE SECURED PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL AREAS INDICATED TO REMAIN UNDISTURBED OR TO REMAIN AS BUFFERS AND ALL PROPERTY MARKERS. CONTRACTOR SHALL REPLACE ALL PINS ELIMINATED OR DAMAGED DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OR DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC., REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, SANITARY SEWER, STORM SEWER, ELECTRICAL CONDUIT, IRRIGATION SYSTEMS, & ANY OTHER MISC. UTILITIES) SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL, & THE PLACEMENT OF ANY APPROPRIATE SOIL STABILIZATION TECHNIQUE.
- CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE & ALIGNMENT.
- ALL WORK SHOWN SHALL BE DONE IN ACCORDANCE WITH CONSTRUCTION DOCUMENTS.
- ALL STRIPING LOCATED ON SITE SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION UNLESS OTHERWISE NOTED. STRIPING IMPROVEMENTS LOCATED WITHIN THE ROAD RIGHT OF WAY SHALL COMPLY WITH THE REQUIREMENTS OF THE JURISDICTION.
- THE PROPERTIES SHOWN HEREIN LIE WITHIN ZONE C, ACCORDING TO FLOOD AREAS OF INSURANCE RATE MAPS PUBLISHED BY F.E.M.A. COMMUNITY PANEL NO. 2252050210C DATED OCTOBER 17, 1989.

SITE LAYOUT NOTES:

- SITE AREA = ±/- 1.72 ACRES.
- DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

LEGEND - STRIPING

SWSL/4" - SINGLE WHITE SOLID LINE / 4" WIDE  
SYSLL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE  
SBSLL/4" - SINGLE BLUE SOLID LINE / 4" WIDE  
SWSL/24" - SINGLE WHITE SOLID LINE / 24" WIDE

SITE LIGHTING NOTES:

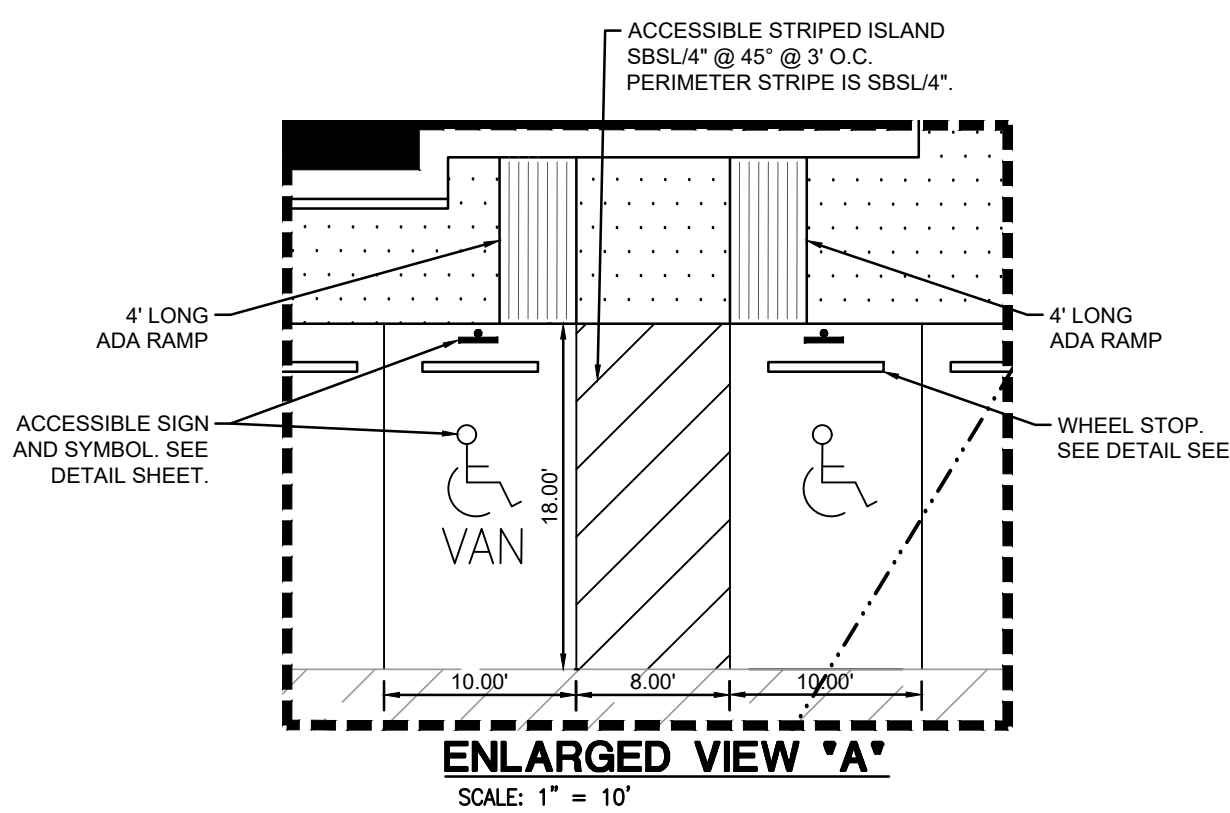
- SEE ELECTRICAL PLANS FOR ELECTRIC CIRCUITRY LAYOUT, PHOTOMETRIC PLAN, AND POLE AND FOUNDATION DETAILS.
- SEE DETAIL SHEET FOR LIGHT POLE BASE DETAIL.

LEGEND - EXISTING

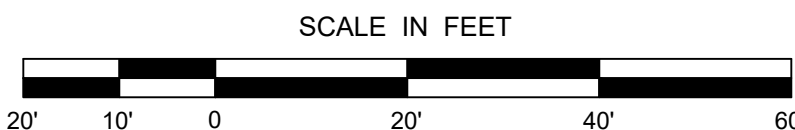
SET 3/4" IRON ROD (AS NOTED)	●	EXISTING SPOT ELEVATION	× 10.63
EXISTING CHAIN LINK FENCE	—○—	ELEVATION OF TOP OF CURB	18.50 TC
EXISTING DRAINAGE MANHOLE	⊙	ELEVATION OF FACE OF CURB	18.00 FC
EXISTING SUBSURFACE DRAINAGE	=====	EXISTING GROUND CONTOUR LINE	-----5'-----
EXISTING DRAINAGE DROP INLET	⊠	EXISTING CORRUGATED METAL PIPE	24" CMP
EXISTING FIRE HYDRANT	⊕	EXISTING REINFORCED CONCRETE PIPE	18" RCP
EXISTING WATER VALVE	⊕W	EXISTING TREE	● T1
ELEVATION OF TOP OF STRUCTURE	TOP = 18.00		
ELEVATION OF BOTTOM OF STRUCTURE	INV. = 15.00		

LEGEND - NEW IMPROVEMENTS

ARCHITECTURAL PAVEMENT/ SIDEWALK		BUILDING	
HEAVY DUTY CONCRETE PAVEMENT		CONCRETE CURB	
HEAVY DUTY PAVEMENT		PARKING SPACES	
STANDARD DUTY PAVEMENT		DIRECTIONAL ARROWS	
GRASS/LANDSCAPE AREA		TREE PROTECTION FENCE	
PAVEMENT REMOVAL		FENCE (6" ALUMINUM PICKET)	
		PROPERTY LINE	
		TRANSFORMER PAD	
		BOLLARD	
		SITE LIGHTING POLES	



SITE PLAN



PROPOSED DENTAL OFFICE

COVINGTON, LA

ST. TAMMANY PARISH

FOR MARC BOURGEOIS

REGAL CONSTRUCTION

1707 CONSTRUCTION

LAPLACE, LA 70068



16564 E. BREWSTER ROAD | SUITE 101  
COVINGTON, LA  
985.249.6180

PROGRESS SET - FOR REVIEW ONLY

Issue# 08/28/2023

These documents are for Design Review and not intended for Construction, Bidding, Recordation, Conveyance Sales, or as the Basis for Issuance of a Permit. They were prepared by, or under the supervision of:

Elizabeth H. Sonoy P.E. #46284  
Duplantis Design Group, P.C.

PROJECT NO. 21-209

SITE PLAN REVIEW  
8/17/2023

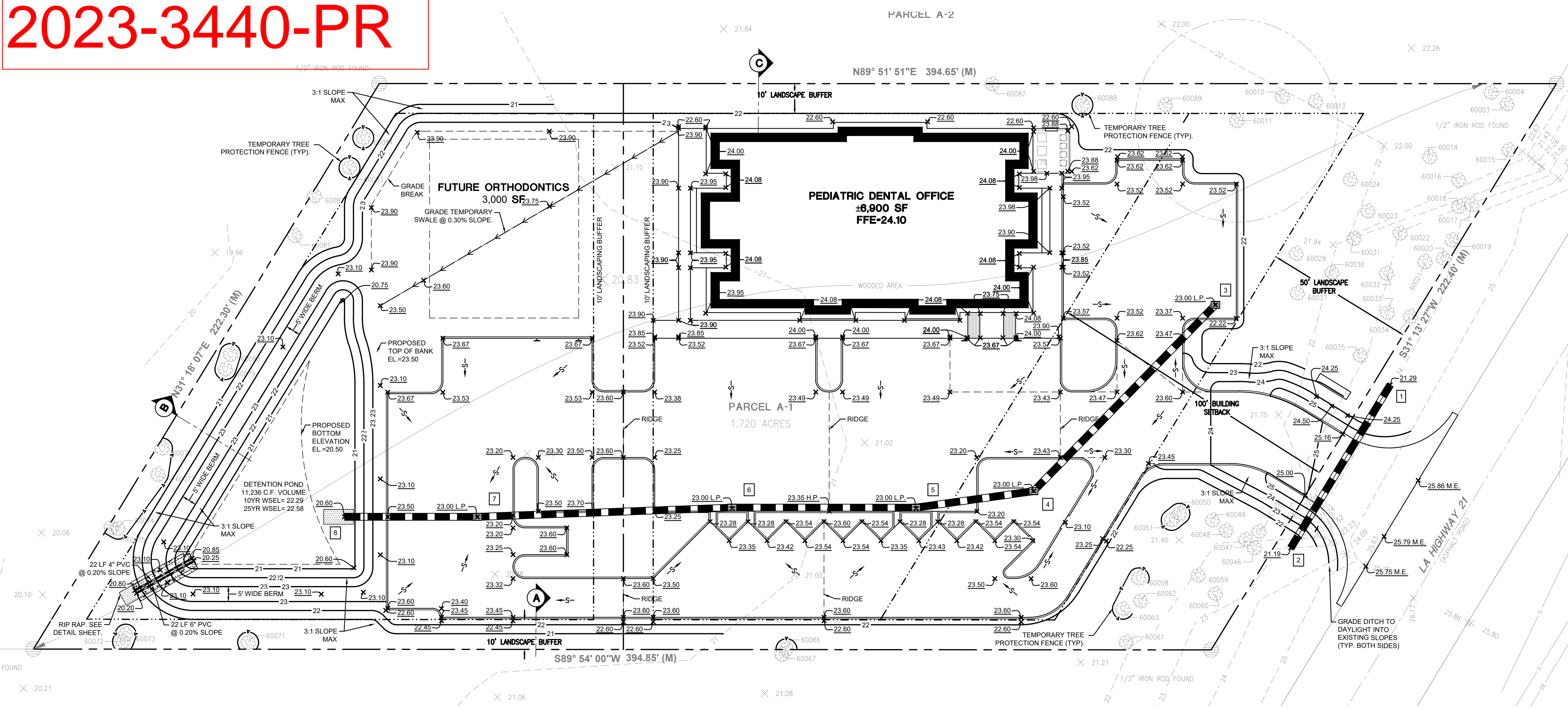
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SHEET

C-1



2023-3440-PR



#### GRADING NOTES:

- TOPOGRAPHIC INFORMATION WAS TAKEN FROM THE TOPOGRAPHIC SURVEY INCLUDED AS PART OF THESE CONSTRUCTION DOCUMENTS. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THE CONTRACTOR SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR & SUBMIT IT TO THE OWNER FOR REVIEW AND APPROVAL. EXISTING AND/OR PROPOSED GRADE CONTOURS ARE SHOWN AT ONE FOOT (1') INTERVALS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION &/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES & WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE REQUIRED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES & NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY HORIZONTAL & VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, & ALL UTILITIES PRIOR TO CONSTRUCTION. PRIOR TO ORDERING STORM DRAIN STRUCTURES, THE CONTRACTOR SHALL VERIFY THE INVERT OF THE EXISTING STORM DRAIN SYSTEM AT THE TIE IN POINT(S) AND NOTIFY THE CIVIL ENGINEER OF ANY DEVIATION TO WHAT IS SHOWN ON THE PLANS.
- CLEARING & GRUBBING LIMITS SHALL INCLUDE ALL AREAS DISTURBED BY GRADING OPERATIONS. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UNDISTURBED AREAS, ALL PROPERTY CORNERS & REPLACING ALL PROPERTY CORNER MARKERS ELIMINATED OR DAMAGED DURING CONSTRUCTION.
- THE EARTHWORK FOR ALL PAVEMENT AREAS OUTSIDE OF THE BUILDING FOUNDATIONS & SLABS SHALL BE IN ACCORDANCE WITH THE SITE PREPARATION NOTES.
- THE EARTHWORK FOR THE BUILDING FOUNDATION AND UP TO 5' BEYOND SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS AS NOTED IN THE GEOTECHNICAL ENGINEERING REPORT PREPARED BY STRATUM ENGINEERING, LLC DATED 1/29/21 (REPORT NO. G21-004).
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARD OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION & TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, & OTHER MEANS OF PROTECTION, THIS TO INCLUDE BUT NOT LIMITED TO, ACCESS & EGRESS FROM ALL EXCAVATION & TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
- THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING VERTICAL CONTROL INCLUDING THE SETTING OF CONSTRUCTION BENCHMARKS.
- DUE TO CONTINUAL CHANGES TO FLOOD MAPS THE CONTRACTOR SHALL CONTACT THE PERMIT AUTHORITY PRIOR TO START OF CONSTRUCTION AND CONFIRM THE NEED (OR LACK OF) FOR AN ELEVATION CERTIFICATE AND SHALL NOTIFY THE OWNER AND CIVIL ENGINEER IF THE MINIMUM REQUIRED FINISH FLOOR ELEVATION OF THE BUILDING IS HIGHER THAN WHAT IS SHOWN ON THE PLANS.
- ADAPTABLE DRAINAGE MEASURES MUST BE ESTABLISHED, MAINTAINED, AND TEMPORARILY ADJUSTED AS NEEDED THROUGHOUT CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE AT ALL TIMES AND PREVENT ACCUMULATION OF SURFACE WATER. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SUBGRADE CONDITIONS AND PROTECTING THE CONDITION OF PREVIOUSLY PERFORMED EARTHWORK.
- DEWATERING: GROUNDWATER LEVELS CAN FLUCTUATE DEPENDING ON TIME OF YEAR. THE CONTRACTOR SHALL INCLUDE PROVISIONS IN THEIR BASE BID FOR WATER CONTROL DURING CONSTRUCTION INCLUDING (BUT NOT LIMITED TO) DEEP EXCAVATIONS, DEMOLITION, PROOF ROLLING ACTIVITIES, FOUNDATION/FOOTING WORK, PLACEMENT OF FILL, AND INSTALLATION OF SUB-SURFACE IMPROVEMENTS.

#### STORM DRAINAGE NOTES:

- ALL PIPES ENTERING STORM SEWER STRUCTURES SHALL BE SEALED TO ASSURE CONNECTION AT STRUCTURE IS WATER TIGHT.
- ALL PIPES & STRUCTURES ON STREET RIGHT-OF-WAY SHALL BE PER LOUISIANA DEPARTMENT OF TRANSPORTATION STANDARDS & SPECIFICATIONS.
- REFERENCE LOUISIANA DEPARTMENT OF TRANSPORTATION FOR CB-01 DETAIL.

#### SITE PREPARATION NOTES:

- SITE PREPARATION IS EXPECTED TO INCLUDE, BUT NOT BE LIMITED TO, CLEARING OF THE SITE AND REMOVAL OF ALL TOPSOIL WITH ORGANICS AND OTHER DELETERIOUS MATERIALS AS WELL AS UNDERCUTTING THE SURFICIAL SILTY SOIL AS NECESSARY TO PROVIDE A STABLE SUBGRADE. BASED ON THE BORINGS, ABOUT 10 TO 12 INCHES OF SILTY TOPSOIL WAS ENCOUNTERED AT THIS SITE. HOWEVER, THE ACTUAL DEPTH OF STRIPPING AND UNDERCUTTING DEPTHS SHALL BE DETERMINED BY A REPRESENTATIVE OF THE GEOTECHNICAL ENGINEER AT THE TIME OF CONSTRUCTION.
- THE SILTY MATERIAL BELOW THE TOPSOIL, EXTENDED AS DEEP AS 2 FEET BELOW THE SURFACE AT SOME OF THE BORING LOCATIONS AND COULD EXTEND DEEPER AT OTHER LOCATIONS. DEPENDING ON THE SITE CONDITION AT THE TIME OF CONSTRUCTION, THE MOISTURE SENSITIVE SILTY SOILS COULD LOSE THEIR SUPPORT CAPABILITIES SUBJECT TO HIGH MOISTURE AND MAY NEED TO BE REMOVED AND REPLACED WITH COMPACTED STRUCTURAL FILL. THEREFORE, IT WILL BE PRUDENT THAT ADEQUATE DRAINAGE BE PROVIDED ACROSS THE SITE TO KEEP THE NEAR SURFACE SILTY MATERIAL DRAINED AND MINIMIZE THE AMOUNT OF UNDERCUT DURING CONSTRUCTION.
- THE SUBGRADE SHALL BE PROOFROLLED USING A SINGLE AXLE RUBBER Tired VEHICLE WEIGHING ABOUT 20 TONS. SOILS, WHICH ARE OBSERVED TO RUIT OR REFLECT EXCESSIVELY UNDER THE MOVING LOAD, SHALL BE UNDERCUT AND REPLACED WITH PROPERLY COMPACTED STRUCTURAL FILL. THE PROOFROLLING AND UNDERCUTTING ACTIVITIES SHALL BE WITNESSED BY A REPRESENTATIVE OF THE GEOTECHNICAL ENGINEER AND SHALL BE PERFORMED DURING A PERIOD OF DRY WEATHER.
- AFTER SUBGRADE PREPARATION AND OBSERVATION HAVE BEEN COMPLETED, THE INITIAL LAYER OF FILL SHALL BE PLACED IN A RELATIVELY UNIFORM HORIZONTAL LIFT AND BE ADEQUATELY KEYED INTO THE STRIPPED AND SCARIFIED SUBGRADE SOILS. THE STRUCTURAL FILL MAY CONSIST OF SANDY CLAYS OR CLAYEY SANDS AND SHALL HAVE A MAXIMUM LIQUID LIMIT OF 40 PERCENT AND A MAXIMUM PLASTICITY INDEX OF 20.
- THE FILL SHALL BE PLACED IN MAXIMUM LIFTS OF EIGHT (8) INCHES OF LOOSE MATERIALS AND SHALL BE COMPACTED WITHIN ONE (1) PERCENTAGE POINT BELOW AND THREE (3) PERCENTAGE POINTS ABOVE THE OPTIMUM MOISTURE CONTENT. IF WATER MUST BE ADDED, IT SHALL BE UNIFORMLY APPLIED AND THOROUGHLY MIXED INTO THE SOIL BY DISKING OR SCARPING. THE FILL SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698 STANDARD PROCEDURES. ADEQUATE DRAINAGE SHALL BE PROVIDED PRIOR TO AND DURING SITE WORK. THE SITE SHALL BE GRADED TO PROMOTE RAPID RUNOFF.
- DUE TO THE CHARACTERISTICS OF THE CLAY SOILS ENCOUNTERED IN THE BORINGS, IT IS RECOMMENDED THAT AT LEAST 3 FEET OF LOW SWELL POTENTIAL COMPACTED STRUCTURAL FILL BE PROVIDED UNDER THE BUILDING PAD AND EXTENDED FOR A DISTANCE OF FIVE (5) FEET BEYOND THE BUILDING PERIMETER TO REDUCE THE ESTIMATED POTENTIAL VERTICAL RISE (PVR) TO LESS THAN ONE (1) INCH. GROUNDWATER WAS INITIALLY ENCOUNTERED IN THE BUILDING BORINGS AT A DEPTH OF ABOUT 15 FEET DURING THE DRILLING OPERATIONS AND WAS LATER MEASURED AT APPROXIMATELY 13 FEET UPON COMPLETION OF THE DRILLING OPERATIONS. HOWEVER, IT IS POSSIBLE THAT SEASONAL VARIATION WILL CAUSE FLUCTUATIONS OF THE WATER TABLE. ADDITIONALLY, PERCHED WATER MAY BE ENCOUNTERED IN DISCONTINUOUS ZONES WITHIN THE OVERBURDEN SOILS. ANY WATER ACCUMULATION SHOULD BE REMOVED FROM THE EXCAVATIONS BY PUMPING. IF EXCESSIVE AND UNCONTROLLED AMOUNTS OF SEEPAGE OCCUR, THE GEOTECHNICAL ENGINEER SHOULD BE CONSULTED TO PROVIDE ADDITIONAL RECOMMENDATIONS, IF NECESSARY.
- THE UPPER SOILS ENCOUNTERED AT THIS SITE ARE EXTREMELY SENSITIVE TO DISTURBANCES CAUSED BY CONSTRUCTION TRAFFIC AND CHANGES IN MOISTURE CONTENT. DURING WET WEATHER PERIODS, AN INCREASE IN THE MOISTURE CONTENT OF THE SOIL CAN CAUSE SIGNIFICANT REDUCTION IN THE SOIL STRENGTH AND SUPPORT CAPABILITIES. IN ADDITION, SOILS THAT BECOME WET MAY BE SLOW TO DRY AND THUS SIGNIFICANTLY RETARD THE PROGRESS OF GRADING AND COMPACTION ACTIVITIES. IT WILL, THEREFORE, BE ADVANTAGEOUS TO PERFORM EARTHWORK AND FOUNDATION CONSTRUCTION ACTIVITIES DURING DRY WEATHER.

#### LEGEND - EXISTING

SET 3/4" IRON ROD (AS NOTED)	●	EXISTING SPOT ELEVATION	× 10.63
EXISTING CHAIN LINK LINE	—○—	ELEVATION OF TOP OF CURB	18.00 TC
EXISTING DRAINAGE MANHOLE	⊙	ELEVATION OF FACE OF CURB	18.00 FC
EXISTING SUBSURFACE DRAINAGE	=====	EXISTING GROUND CONTOUR LINE	---S---
EXISTING DRAINAGE DROP INLET	■	EXISTING CORRUGATED METAL PIPE	24" CMP
EXISTING FIRE HYDRANT	□	EXISTING REINFORCED CONCRETE PIPE	18" RCP
EXISTING WATER VALVE	⋈	EXISTING TREE	T-1
ELEVATION OF TOP OF STRUCTURE	TOP = 18.00		
ELEVATION OF BOTTOM OF STRUCTURE	INV. = 15.00		

#### LEGEND - NEW IMPROVEMENTS

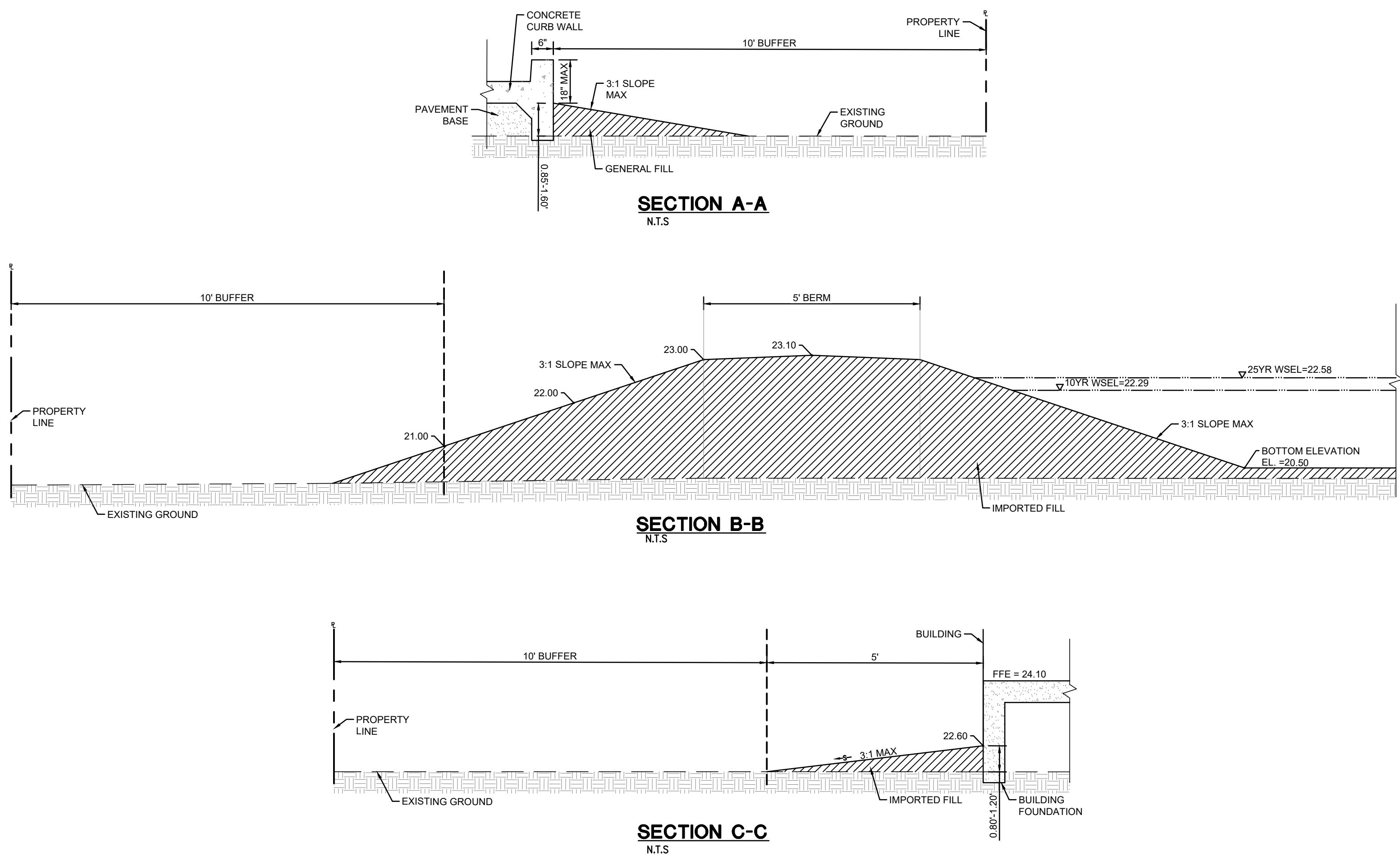
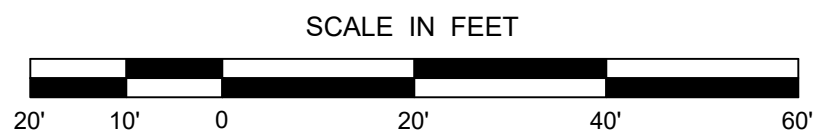
SUBSURFACE DRAINAGE	—■—	SPOT ELEVATION	× 20.75
CB-01	■	SPOT ELEVATION (MATCH EXISTING)	× 18.60 M.E.
SWALE	→→→	SLOPE	-S-
STRUCTURE NUMBER	1		

#### STRUCTURE TABLE

STRUCTURE NUMBER	TYPE	GUTTER/CASTING ELEV	INVERT IN	ELEVATION OUT	PIPE LENGTH	PIPE TYPE	PIPE SLOPE
1	OPEN PIPE			21.29 (2)	64	18" RCPC	0.15%
1-2	OPEN PIPE		21.19 (1)				
2	OPEN PIPE			21.08 (4)	87	18" RCPC	0.15%
3	AREA INLET	23.00		20.95 (5)	40	18" RCPC	0.15%
3-4	AREA INLET	23.00	20.95 (3)				
4	AREA INLET	23.00		20.89 (6)	62	18" RCPC	0.15%
4-5	AREA INLET	23.00	20.89 (4)				
5	AREA INLET	23.00		20.80 (7)	85	18" RCPC	0.15%
5-6	AREA INLET	23.00	20.80 (5)				
6	AREA INLET	23.00		20.67 (8)	45	18" RCPC	0.15%
6-7	AREA INLET	23.00	20.67 (6)				
7	AREA INLET	23.00		20.60 (7)			
7-8	AREA INLET	23.00	20.60 (7)				
8	OPEN PIPE						



## GRADING PLAN



## PROPOSED DENTAL OFFICE

COVINGTON, LA

ST. TAMMANY PARISH

FOR MARC BOURGEOIS

REGAL CONSTRUCTION

1707 CONSTRUCTION

LA PLACE, LA 70068



16564 E. BREWSTER ROAD | SUITE 101  
COVINGTON, LA  
985.249.6180

PROGRESS SET - FOR REVIEW ONLY

Issued 08/28/2023

These documents are for Design Review and not intended for Construction, Bidding, Recordation, Conveyance Sales, or as the Basis for Issuance of a Permit. They were prepared by, or under the supervision of, Elizabeth H. Sonny P.E. #46284 Duplantis Design Group, P.C.

PROJECT NO. 21-209

SITE PLAN REVIEW

8/17/2023

CHECKED EHS  
DRAWN BY ZPP

SHEET

C-2



2023-3440-PR

## BOUNDARY, TOPOGRAPHIC, AND TREE SURVEY

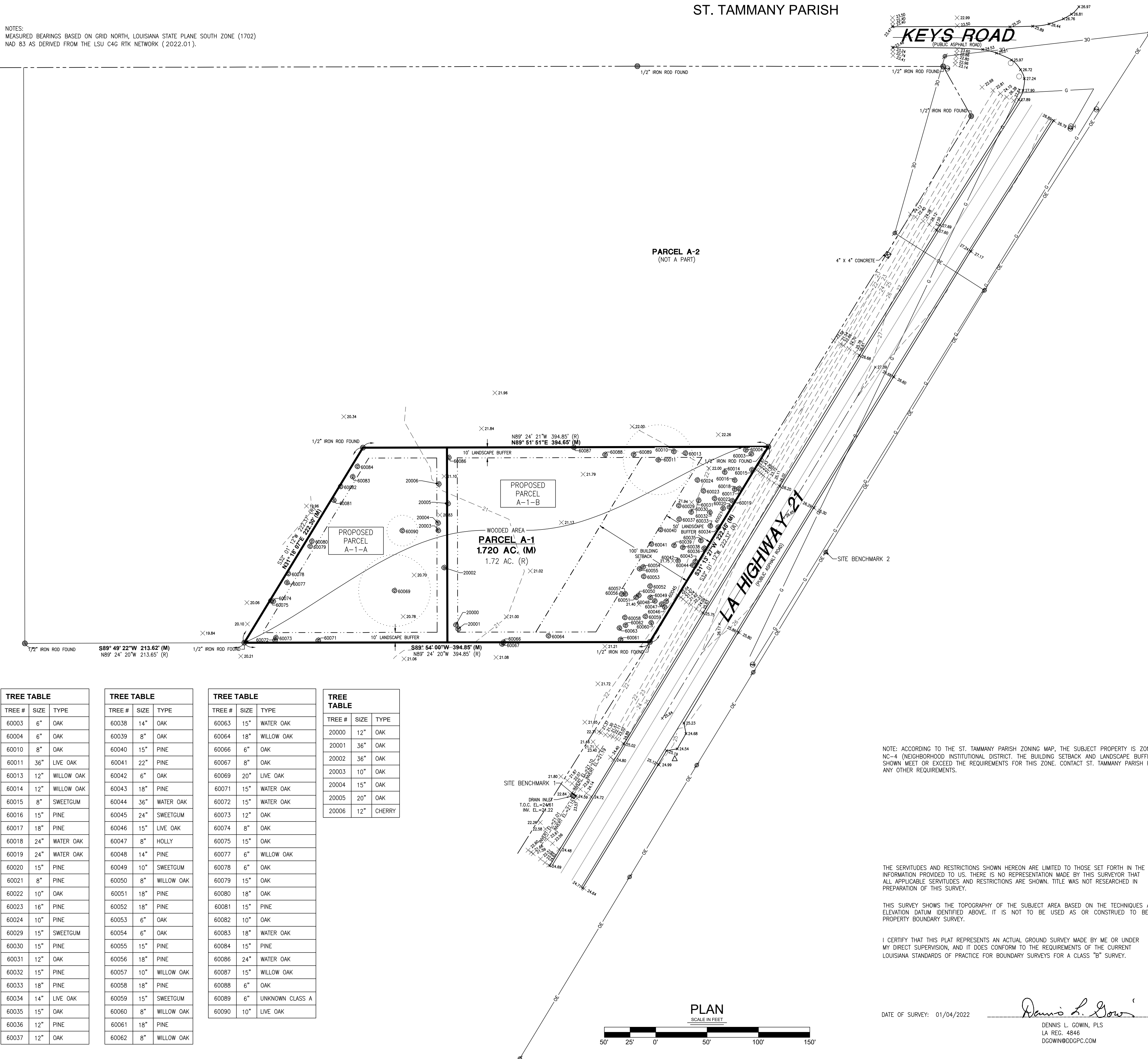
PARCEL A-

SECTION 41, TOWNSHIP 7 SOUTH, RANGE 10 EAST

# GREENSBURG LAND DISTRICT

# ST. TAMMANY PARISH
















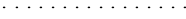

NOTES:  
MEASURED BEARINGS BASED ON GRID NORTH, LOUISIANA STATE PLANE SOUTH ZONE (1702)  
NAD 83 AS DERIVED FROM THE LSU C4G RTK NETWORK (2022.01).



# VICINITY MA

NOT TO SCALE

## Lege

- |   |                         |
|---|-------------------------|
|  | DRAIN INLET             |
|  | ELEVATION POINT         |
|  | FOUND PROPERTY CORNER   |
|  | GAS VALVE               |
|  | MISCELLANEOUS POLE      |
|  | PIPELINE UTILITY MARKER |
|  | POWER POLE              |
|  | RIGHT OF WAY MONUMENT   |
|  | TREE                    |
|  | PROPERTY LINE           |
|  | ADJACENT PROPERTY LINE  |
|  | CONTOUR LINE            |
|  | CROWN OF ROAD           |
|  | DRIP LINE               |
|  | GAS LINE                |
|  | OVERHEAD POWER LINE     |
|  | RIGHT OF WAY LINE       |

FLOOD ZONE NO.

SURVEYOR HAS CONSULTED THE FEMA FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR THIS LOCATION AND FOUND THAT THE SUBJECT PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA:  
FLOOD ZONE: "C"  
BASE FLOOD ELEVATION: NOT INDICATED  
COMMUNITY PANEL NO. 225205 0210 C & 255205 0220 C  
EFFECTIVE DATE: OCTOBER 17, 1989 & APRIL 2, 1991  
(CONTACT ST. TAMMANY PARISH FOR ADDITIONAL ELEVATION REQUIREMENTS.)

## REFERENCE

- 1) RESUBDIVISION OF 10.00 ACRES INTO PARCEL A1 (1.72 ACRES) AND PARCEL A2, (8.28 ACRES) BY KELLY J. MCHUGH & ASSOC. INC., JOB NO. 10-277, DATED DECEMBER 2, 2020

## ELEVATION NOTE

ELEVATIONS SHOWN ARE NAVD 1988 (GEOID 12B) AS DERIVED FROM GPS OBSERVATIONS USING THE LSU C4G NETWORK (2022.01).

SITE BENCHMARK 1: CHISLED "X" IN CONCRETE ON TOP OF CATCH BASIN  $\pm 166'$  SOUTHWEST OF SOUTHEASTERN PROPERTY CORNER, AND  $\pm 33'$  NORTHWEST OF CENTER OF LA HIGHWAY 21. (SEE DRAWING FOR LOCATION.)

ELEVATION: 24.59'

SITE BENCHMARK 2: 60D NAIL SET IN POWERPOLE  $\pm 50'$  SOUTHEAST OF CENTERLINE OF LA HIGHWAY 21, AND  $\pm 192'$  NORTHEAST OF SOUTHEASTERN PROPERTY CORNER. (SEE DRAWING FOR LOCATION.)

ELEVATION: 27.58'

UTILITY LOCATIONS:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM LA ONE CALL TICKET AND  
VISIBLE UTILITY FEATURES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND  
UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR  
ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE  
IN THE EXACT LOCATION INDICATED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE  
UNDERGROUND UTILITIES, EXCEPT FOR ABOVE GROUND VISIBLE UTILITY FEATURES, AND  
EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED  
UTILITIES/STRUCTURES.

UTILITY COMPANIES NOTIFIED VIA LOUISIANA ONE CALL TICKET #220072420:

- ST. TAMM. PAR GOVT/TAMM. UTIL
- CLECO POWER, LLC
- ATMOS ENERGY
- UNITI FIBER
- CHARTER COMMUNICATIONS
- AT&T DISTRIBUTION
- TOWN OF MADISONVILLE

DATE OF SURVEY: 01/04/20

DENNIS L. GOWIN, P  
LA REG. 4846  
DGOWIN@DDGPC.COM

[illegible]

**DUPLANTIS DESIGN GROUP, PC**

## SURVEY

**16564 Brewster Road, Suite 101**

**Phone: 985.249.6180 || FAX: 985.249.6190**

314 E. Bayou Road  
Thibodaux, LA 70301  
[www.DDGPC.com](http://www.DDGPC.com)



BDG  
DUPLANTIS DESIGN GROUP

## BOUNDARY, TOPOGRAPHIC, AND TREE SURVEY

ST. TAMMANY PARISH

**FOR:  
REGAL CONSTRUCTION**

**DRAWN**  
MER

**CHECKE**  
CMM

PROJECT NO.  
21-1152

**FILE**  
21-1152 BT TREE 08152023

**SHEET**

1-

S:\21-000\21-1152 DENTAL CLINIC KEYS ROAD\DWG\21-1152 BT TREE 08152023.dwg



PLANT SCHEDULE SITE PLAN					
TREES	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	REMARKS
	ACE DMM	Acer rubrum drummondii / Drummond Red Maple	12' Ht.	11	2.5" Cal.; CLASS A
	ILE CAS	Ilex cassine / Dahoon Holly	45 gal.	5	1.5" Cal.; CLASS B
	MAG SWE	Magnolia virginiana / Sweetbay Magnolia	12' Ht.	17	2.5 Cal.; Class A
	MYR CER	Myrica cerifera / Wax Myrtle	45 gal.	12	1.5" Cal.; Class B
	QOU NUT	Quercus nuttallii / Nuttall Oak	12' Ht.	8	2.5" Cal.; CLASS A
	QUE SHU	Quercus shumardii / Shumard Oak	15' Ht.	10	2.5" Cal.; CLASS A
	MIT LO	Quercus virginiana / Southern Live Oak	12' Ht.	2	3" Cal.; Class A; MITIGATION LIVE OAK
	MIT BC	Taxodium distichum / Bald Cypress	12' Ht.	8	3" Cal.; CLASS A; LIVE OAK MITIGATION
SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	REMARKS
	ILE NAN	Ilex vomitoria 'Nana' / Dwarf Yaupon Holly	7 gal.	33	FULL; DENSE
	MUH WHI	Muhlenbergia capillaris White Cloud / White Cloud Muhly Grass	3 gal.	10	
	SAB MIN	Sabal minor / Dwarf Palmetto	7 gal.	9	
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	REMARKS
	ERE OP2	Eremochloa ophiuroides / Centipede Seed	seed	36,707 sf	HYDROSEEDED TURF GRASS SEED
	ERE OPH	Eremochloa ophiuroides / Centipede Sod	sod	4,561 sf	

REQUIRED BUFFER PLANTING: PARCEL A-1-A

Parcel A-1-A North (66') - 10' WIDE

- 1 Class A every 30 LF
- 1 Class B every 30 LF

Required: 3 Class A  
3 Class B  
Credits: 0 Credits  
Provided: 3 Class A Trees (New)  
3 Class B Trees (New)

Parcel A-1-A South (170') - 10' WIDE

- 1 Class A every 30 LF
- 1 Class B every 30 LF

Required: 6 Class A  
6 Class B  
Credits: 9 Credits  
Provided: 3 Class A Trees (New)  
0 Class B Trees (New)

Parcel A-1-A East (170') - 10' WIDE

- 1 Class A every 30 LF
- 1 Class B every 30 LF

Required: 7 Class A  
6 Class B  
Credits: 0 Credits  
Provided: 6 Class A Trees (New)  
6 Class B Trees (New)

Parcel A-1-A West (200') - 10' WIDE

- 1 Class A every 30 LF
- 1 Class B every 30 LF

Required: 7 Class A  
7 Class B  
Credits: 28 Credits  
(15";8";6";15";15";18";15";10";18";15")  
Provided: 0 Class A Trees (New)  
0 Class B Trees (New)

REQUIRED BUFFER PLANTING: PARCEL A-1-B

Parcel A-1-B North (237') - 10' WIDE

- 1 Class A every 30 LF
- 1 Class B every 30 LF

Required: 8 Class A  
8 Class B  
Credits: 16 Credits  
(6";15";15";15";8";12")  
Provided: 0 Class A Trees (New)  
0 Class B Trees (New)

Parcel A-1-B South (136') - 10' WIDE

- 1 Class A every 30 LF
- 1 Class B every 30 LF

Required: 5 Class A  
5 Class B  
Credits: 5 Credits  
(6";18")  
Provided: 5 Class A Trees (New)  
0 Class B Trees (New)

Parcel A-1-B East (197') - 50' WIDE

- One Class A per 300 sq ft and Class B tree per 200 sq ft (Per Comment Received 7/17/2023)
- 1 shrub per 10 linear feet (or fraction thereof) of street or road frontage
- Street Planting Area = 11,067 SF (.25 Acres)

Required: 36 Class A  
55 Class B  
20 Shrubs  
Credits: 76 Credits

Provided: 8 Class A Trees (New)  
7 Class B Trees (New)  
30 Shrubs (To screen parking + enhance monument sign)

Parcel A-1-B West (170') - 10' WIDE

- 1 Class A every 30 LF
- 1 Class B every 30 LF

Required: 6 Class A  
6 Class B  
Credits: 0 Credits  
Provided: 6 Class A Trees (New)  
6 Class B Trees (New)

Response to Landscape Plan Comments Sent 7/17/2023:

- We understand a pre-land clearing inspection will be required prior to a building permit being issued.
- Our intent is to go through the Planned Review Procedures now for both buildings.
- We understand that two land clearing permits will need to be requested since we are dealing with two separate parcels.
- We understand that there is administrative permit needed for the monument sign.
- North Arrow and Scale on this drawing are correct.

Live Oak Mitigation

Total Live Oaks On Site: 5  
Total Removed Live Oaks: 2  
Total Removed Caliper: 30"

Provided (In Addition to Required Buffer Trees):

Total Provided Live Oaks: 2  
Total Provided Caliper: 6"

Total Provided  
Bald Cypress: 8  
Total Provided Caliper: 24"

\*\*LIVE OAK MITIGATION ASSUMED AT 100% AND IS SUBJECT TO CHANGE AFTER TREE ASSESSMENT ON SITE WITH REGAN CONTOIS

Parking Analysis:

Pediatric Dental Office	36,900 SF
Future Orthodontics Office	3000 SF
Parking Provided	59 SPACES
Parking Required	50 SPACES
Ratio	5.96/1000 SF
Note: Institutional and commercial medical clinics medical office buildings: 1 Space per 200 SF; 9,000/200 = 50 spaces	

Entire Property:

Parcel A-1-A: 26,419 SF (.61 Acres)  
Parcel A-1-B: 48,239 SF (1.11 Acres)

2023-3440-PR

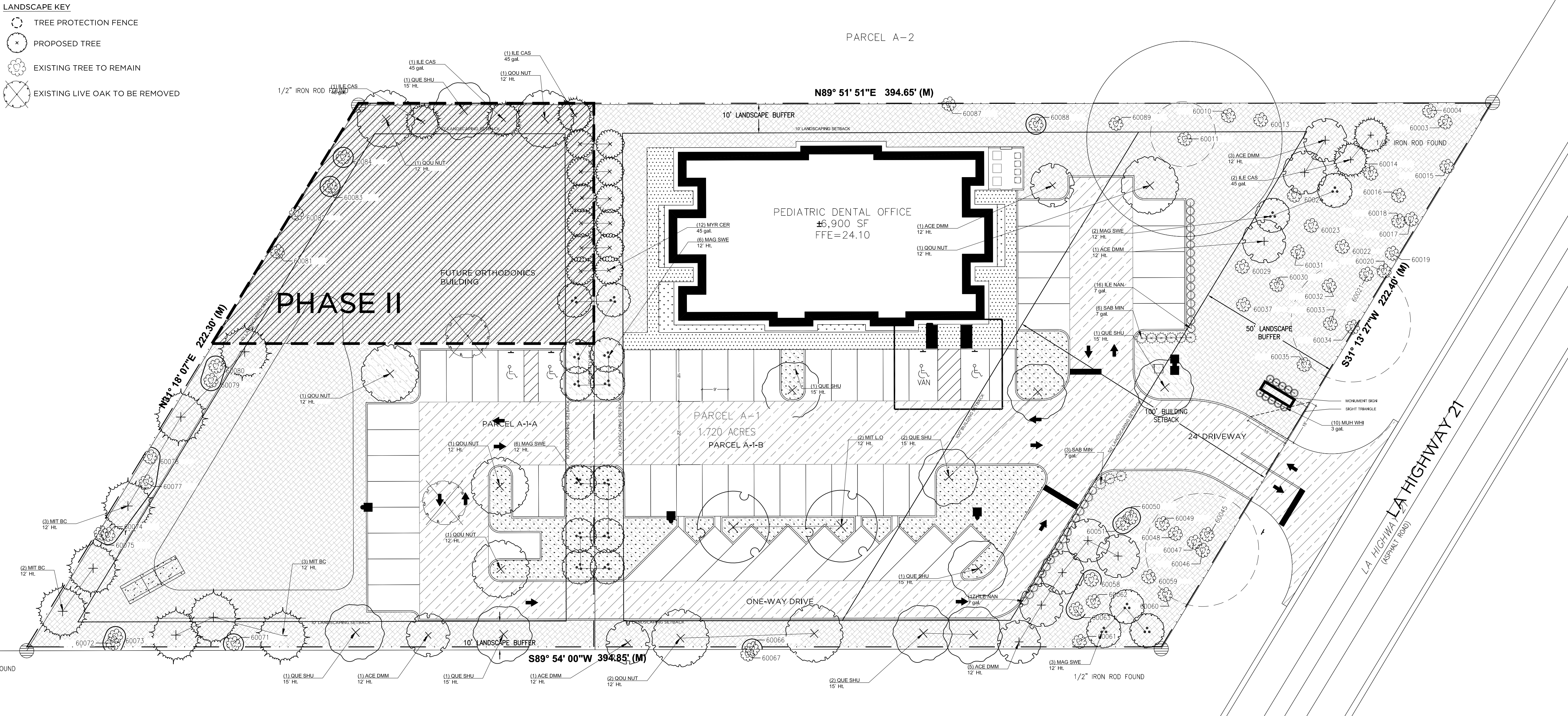
VARIANCE REQUESTS:

1. We understand that no more than 50% of Live Oaks are to be removed from any single parcel. Since we are treating this as one development we are asking for a variance to remove the two Live Oaks (100%) from Parcel A-1-A. These Live Oaks will be mitigated on Parcel A-1-A.
2. Removal of the trees in the landscape buffers Parcel A-1-A East and Parcel A-1-B West and replace with native trees. We request this variance as the site will be requiring fill and these trees will not survive.
3. Removal and mitigation of Existing 18" Willow Oak (60064) due to required fill. This tree is located in Parcel A-1-B South.
4. We are requesting to allow "general fill" conducive to currently proposed and future plantings within portions of the buffer of Parcel A-1-A and Parcel A-1-B.
5. We are requesting a variance for the landscape to be implemented in two phases. Phase II plantings will come after the Future Orthodontics Office is built. All of the Live Oak mitigation plantings will be done in Phase I.

Phase II

LANDSCAPE KEY

- TREE PROTECTION FENCE
- PROPOSED TREE
- EXISTING TREE TO REMAIN
- EXISTING LIVE OAK TO BE REMOVED

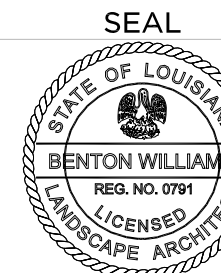


A BUFFER PLANTING & TREE PRESERVATION PLAN

0' 10' 20' 40' SCALE: 1"=20'-0"

OLIVIER - BRASUELL  
DENTAL CLINIC  
436 LA-21  
MADISONVILLE, LA 70447

REVISIONS



SHEET NUMBER

L101

LANDSCAPE & TREE  
PRESERVATION PLAN

MULLIN  
T (504) 275-6617 | 10356 RIVER ROAD  
MULLINLANDSCAPE.COM | ST. ROSE, LA 70087